



# PLANNING & ZONING BOARD

October 27, 2021



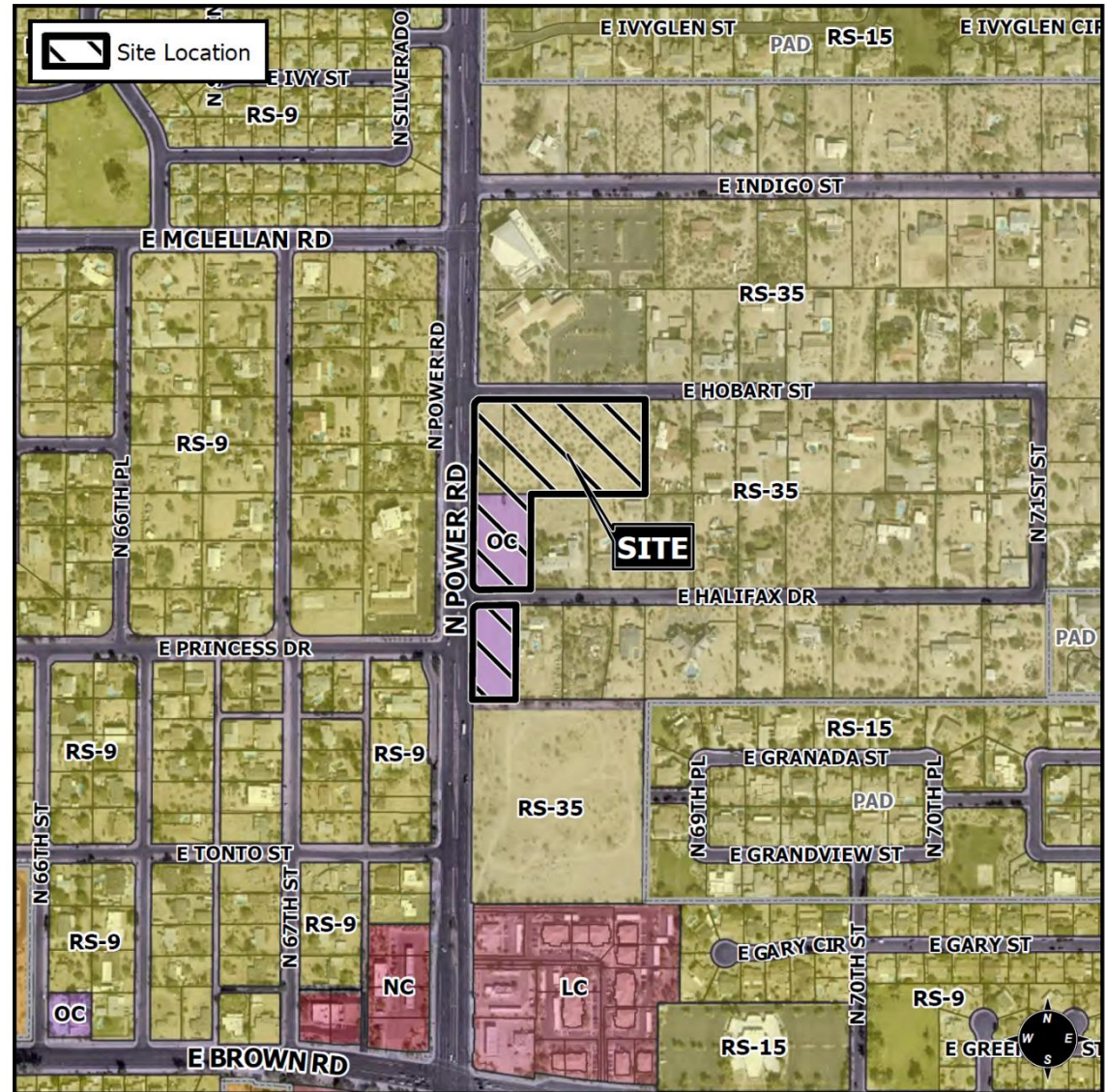


**ZON21-00278**

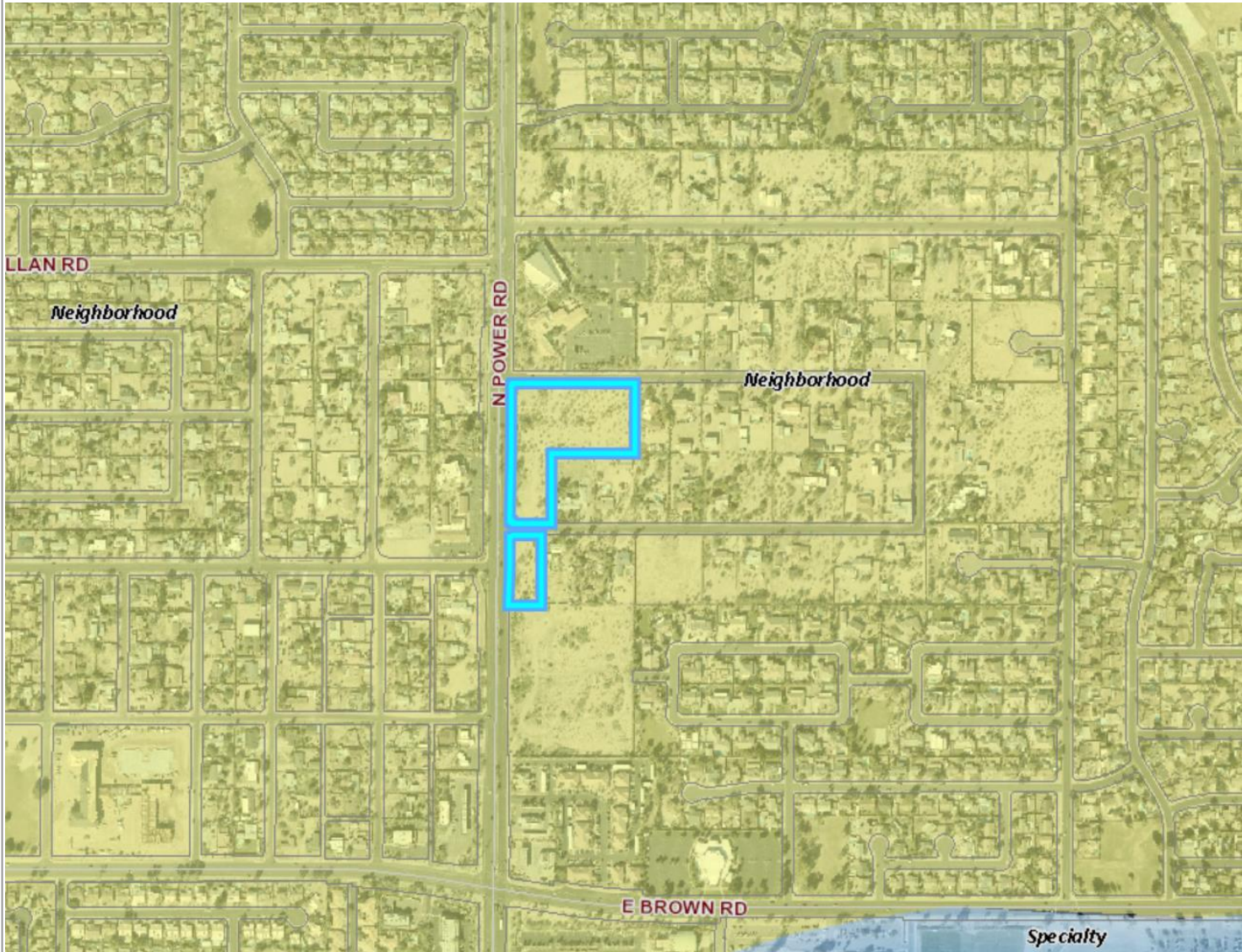


# Site/Location

- 6.13± acres
- North of Brown Road
- East side of Power Road







# General Plan

## Neighborhood - Suburban

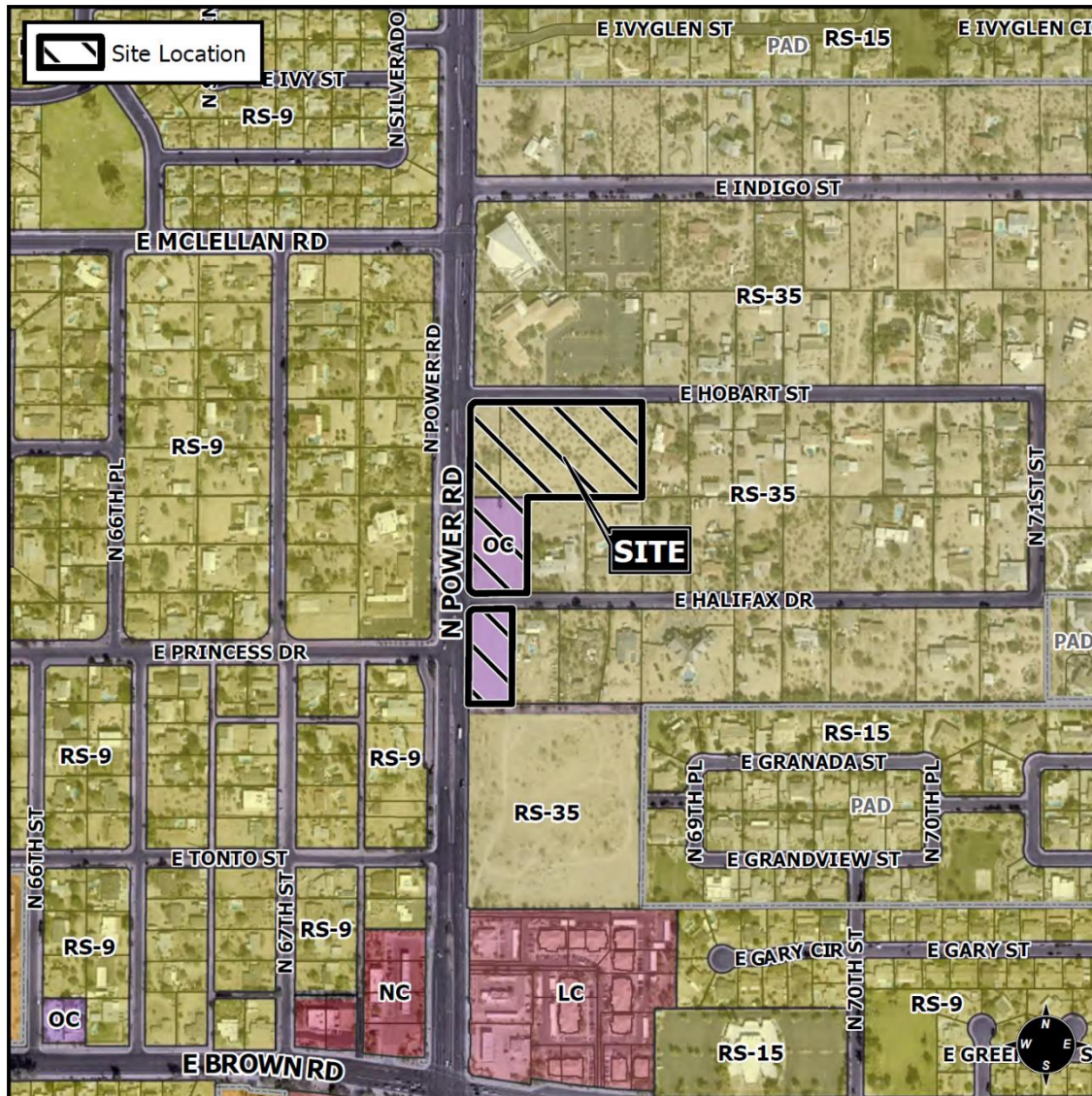
- Includes non-residential uses along arterial frontages
- Allows schools, parks, places of worship and local servicing businesses
- Goals:
  - Provide safe places for people to live
  - Enjoy their surrounding community



# History of Approvals

- **August 7, 1983** - Annexation of 1,382± acres of property, including the subject parcels, into the City of Mesa
- **July 16, 1984** - City Council assigned the RS-35 zoning district designation on the property.
- **July 9, 2007** - City Council approved to rezone 2.3± acres (parcels 218-04-005F and 218-04-007C) from RS-35 to Office Commercial (OC) and Site Plan Review to allow the development of office buildings on the property.
- **December 16, 2015** - Request to rezone the property from OC to ID-1 to develop the property for a self-storage facility. Tabled by Planning and Zoning Board.
- **July 18, 2018** - Request to rezone the property from OC to ID-1 to develop the property for a self-storage facility. Tabled by the Planning and Zoning Board.
- Neighborhood opposition on both requests. No City Council action was taken on either request.
- **October 13, 2021** - Board of Adjustment upheld an interpretation of the Zoning Administrator that current use of the property primarily for food trucks does not conform to the City's definition of Public Park and Recreation Facilities.





## Request

- Rezone from OC and RS-35 to NC-PAD, Site Plan Review

## Purpose

- Power Road Food Truck Development

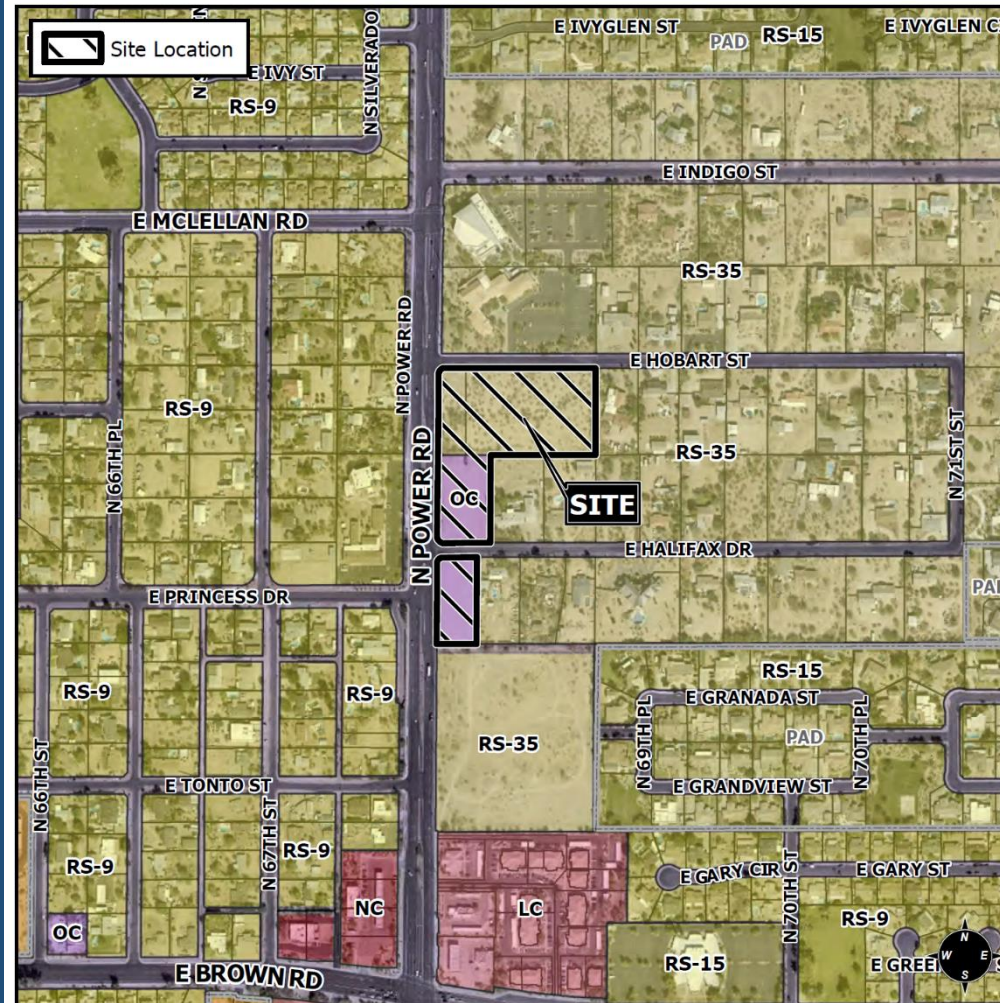


# Zoning (Proposed)

## Neighborhood Commercial (NC)

- Locally oriented retail and services
- Commercial uses such as:
  - Retail stores
  - Restaurants
  - Gas stations
  - Convenience stores

### Planning and Zoning Vicinity Map: ZON21-00278



### Case Details

**CASE:**  
ZON21-00278

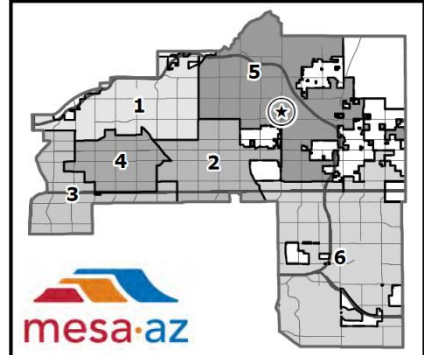
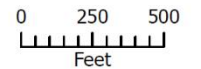
**PRE-PLAT :** ☐

#### **SITE / ADDRESS:**

District 5. Within the 1300 to 1500 blocks of North Power Road (east side), within the 6800 block of East Hobart Street (south side), and within the 6800 block of East Halifax Drive (both sides). Located north of Brown Road on the east side of Power Road. (6.13± acres).

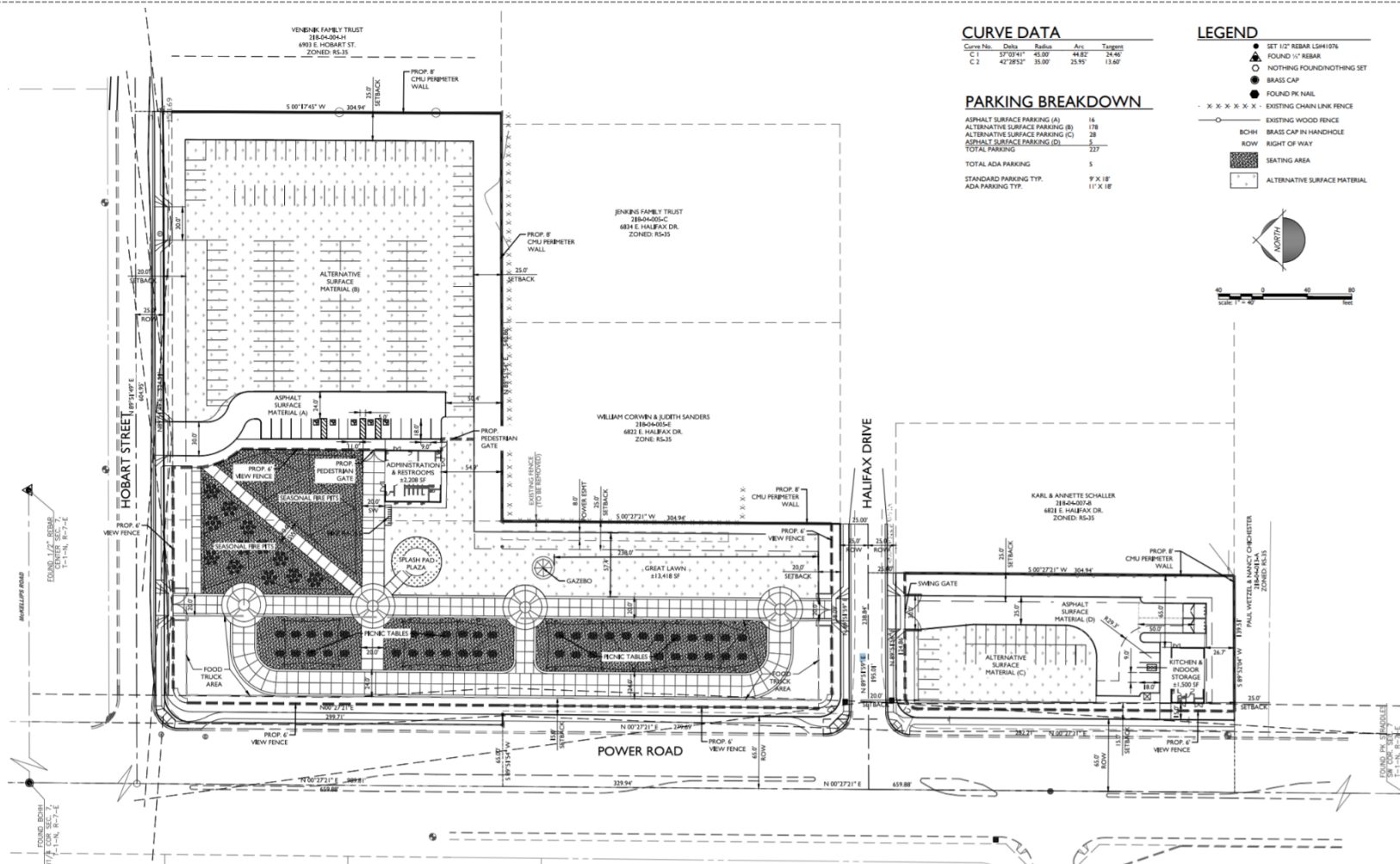
#### **REQUEST:**

Rezone from Office Commercial (OC) and Single Residence 35 (RS-35) to Neighborhood Commercial with a Planned Area Development overlay (NC-PAD); and Site Plan Review. This request will allow for the development of a Food Truck Park.





# Site Plan





# Landscape Plan

## KEYNOTES

- 1 PEDESTRIAN CONNECTION
- 2 SPLASH PAD PLAZA
- 3 PEDESTRIAN WALKWAY
- 4 COMMISSARY BUILDING
- 5 ADA PARKING STALLS
- 6 ADMINISTRATION & RESTROOM BUILDING
- 7 STREETSCAPE TREE PLANTING
- 8 SEASONAL FIRE PIT/ CABANAS WITH MARKET LIGHTS
- 9 ARTIFICIAL TURF
- 10 SIDEWALK CONNECTION
- 11 NOT USED
- 12 PICNIC TABLES WITH SHADE CANOPIES & MARKET LIGHTS
- 13 ENTRY PLAZA
- 14 GREAT LAWN
- 15 STAGE/ GAZEBO
- 16 8' CMU PERIMETER WALL, SEE SHEET L-2.01 & L-2.02
- 17 6' VIEW FENCE (2" WALL + 4" FENCING), SEE SHEET L-2.01 & L-2.02
- 18 VEHICULAR SWING GATE, SEE SHEET L-2.03
- 19 GREASE INTERCEPTOR
- 20 ALTERNATIVE SURFACE PARKING
- 21 GREY WATER DUMP TANK
- 22 PRIMARY MONUMENT SIGN
- 23 SECONDARY MONUMENT SIGN
- 24 TRASH ENCLOSURE, SEE SHEET L-2.02
- 25 PEDESTRIAN GATE

## CITY OF MESA PLANT DATA

| POWER ROAD (915 L.F.)  | REQUIRED               | PROVIDED               |
|--|------------------------|------------------------|
| 1 TREE AND 6 SHRUBS PER 25 L.F. OF STREET FRONTAGE   | 37 TREES<br>220 SHRUBS | 37 TREES<br>220 SHRUBS |
| *Per SRP tree trimming and powerlines guideline, no tree is allowed within 25' of powerline. |                        |                        |
| HOBART STREET (468 L.F.)   | REQUIRED               | PROVIDED               |
| 1 TREE AND 6 SHRUBS PER 25 L.F. OF STREET FRONTAGE   | 19 TREES<br>113 SHRUBS | 19 TREES<br>113 SHRUBS |
| HALIFAX DRIVE (254 L.F.)   | REQUIRED               | PROVIDED               |
| 1 TREE AND 6 SHRUBS PER 25 L.F. OF STREET FRONTAGE   | 11 TREES<br>61 SHRUBS  | 11 TREES<br>61 SHRUBS  |
| PROPERTY PERIMETER (1,396 L.F.)  | REQUIRED               | PROVIDED               |
| 4 NON DECIDUOUS TREES AND 20 SHRUBS PER 100 L.F. OF ADJACENT PROPERTY LINE                   | 56 TREES<br>278 SHRUBS | 56 TREES<br>278 SHRUBS |
| FOUNDATION BASE (355 L.F.)   | REQUIRED               | PROVIDED               |
| 1 TREE PER 50 L.F. OF EXTERIOR BUILDING WALL   | 7 TREES                | 7 TREES                |
| 10% OF FOUNDATION BASE TREES TO BE 36" BOX SIZE TREES  | 1 TREES                | 4 TREES                |
| TREE SIZE (177 TOTAL)  | REQUIRED               | PROVIDED               |
| 36" BOX (25% MIN.)   | 45 TREES               | 55 TREES               |
| 24" BOX (50% MIN.)   | 132 TREES              | 122 TREES              |

## PLANT LEGEND

| SYMBOL | SCIENTIFIC NAME                      | COMMON NAME                    | SIZE    | QTY |
|--------|--------------------------------------|--------------------------------|---------|-----|
| TREES  |                                      |                                |         |     |
|        | <i>Acacia aneura</i>                 | Mulga                          | 24" Box | 26  |
|        | <i>Acacia salicina</i>               | Willow Acacia                  | 24" Box | 10  |
|        | <i>Casahuate</i>                     | Casahuate                      | 24" Box | 39  |
|        | <i>Mondel Pine</i>                   | Pinus edulis                   | 24" Box | 12  |
|        | <i>Parkinsonia x 'Desert Museum'</i> | Desert Museum Palo Verde       | 24" Box | 14  |
|        | <i>Pittosporum 'Red Push'</i>        | 'Red Push' Chinese Pittosporum | 36" Box | 8   |
|        | <i>Pittosporum</i>                   | Classic                        | 24" Box | 17  |
|        | <i>Prosopis juliflora 'Theresa'</i>  | Thornless Mesquite             | 24" Box | 4   |
|        | <i>Ulmus parvifolia</i>              | Chinese Evergreen Elm          | 36" Box | 33  |
|        | <i>Viburnum</i>                      | Chinese Tree                   | 36" Box | 14  |

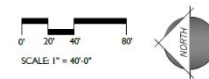
| SHRUBS/ACCENTS                               | COMMON NAME          | SIZE  |
|--|----------------------|-------|
| <i>Agave americana</i>                       | Century Plant        | 5 Gal |
| <i>Agave deserti</i>                         | Smooth Agave         | 5 Gal |
| <i>Casahuate</i>                             | Smooth Casahuate     | 5 Gal |
| <i>Casahuate pulcherrima</i>                 | Red Bird of Paradise | 5 Gal |
| <i>Dasylirion quadrangulum</i>               | Mexican Grass Tree   | 5 Gal |
| <i>Hesperaloe parviflora 'Brakeleaf'</i>     | Brakeleaf Red Yucca  | 5 Gal |
| <i>Justicia spicigera</i>                    | Mexican Honeysuckle  | 5 Gal |
| <i>Leucophyllum candidum 'Thunder Cloud'</i> | Thunder Cloud Sage   | 5 Gal |
| <i>Leucophyllum frutescens 'Rio Bravo'</i>   | Rio Bravo Sage       | 5 Gal |
| <i>Muhlenbergia capillaris 'Regal Mist'</i>  | 'Regal Mist' Muhly   | 5 Gal |
| <i>Portulacaria afra minima</i>              | Dwarf Elephant Food  | 5 Gal |
| <i>Ruellia peninsularis</i>                  | Desert Ruellia       | 5 Gal |
| <i>Ruellia equisetiformis</i>                | Coral Fountain       | 5 Gal |
| <i>Simmondsia chinensis 'Yucca'</i>          | Compact Yucca        | 5 Gal |
| <i>Tecoma x 'Orange Jubilee'</i>             | Orange Jubilee       | 5 Gal |
| <i>Tecoma stans 'Gold Star'</i>              | Yellow Bell          | 5 Gal |

| GROUNDCOVERS                                  | COMMON NAME        | SIZE  |
|---|--------------------|-------|
| <i>Eremophila procumbens 'Outback Sunset'</i> | 'Outback Sunset'   | 1 Gal |
| <i>Lantana x 'Dallas Red'</i>                 | Dallas Red Lantana | 1 Gal |
| <i>Lantana x 'New Gold'</i>                   | New Gold Lantana   | 1 Gal |

| VINE                          | COMMON NAME        | SIZE  |
|-------------------------------|--------------------|-------|
| <i>Bougainvillea speciosa</i> | Bougainvillea Vine | 5 Gal |

| MATERIAL                         | QTY                        |
|----------------------------------|----------------------------|
| Cynodon dactylon 'Tilley 419'    | Tilley 419 Sod 35,140 S.F. |
| Decomposed Granite with Planting | 75,610 S.F.                |
| Decomposed Granite               | 51,036 S.F.                |
| Artificial Turf                  | 991 S.F.                   |







## EXHIBIT 3.03

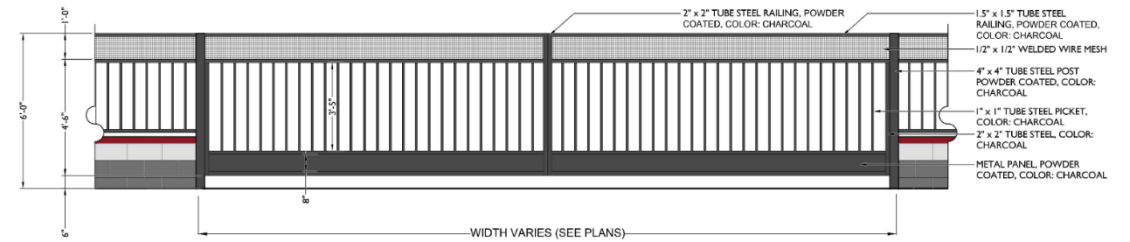
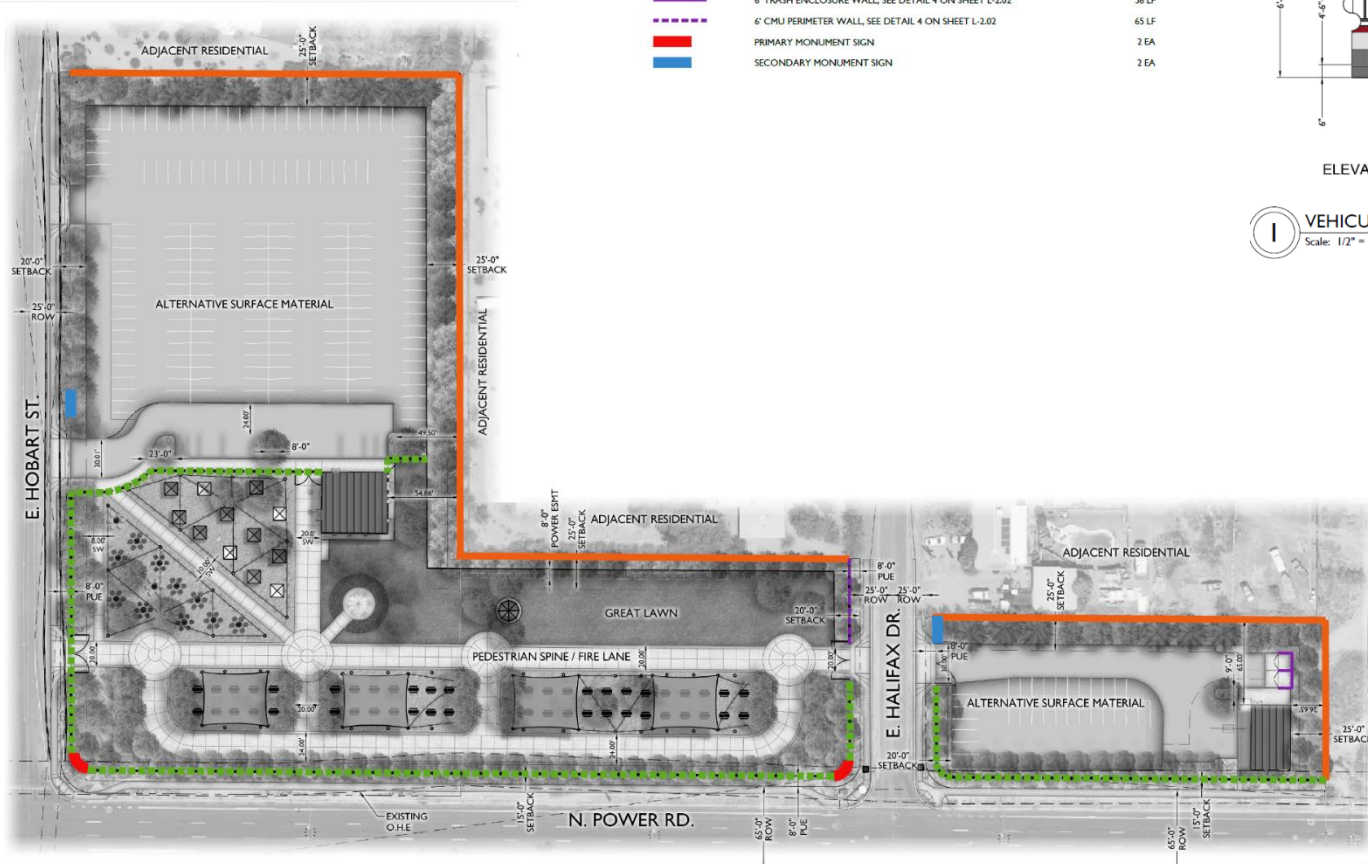




# Wall Location Plan

## WALLS AND SIGNAGE LEGEND

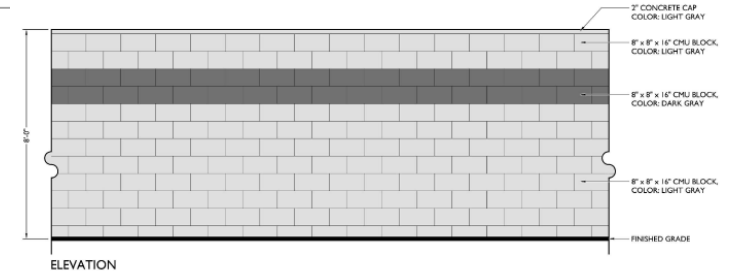
| SYMBOL  | ITEM  | QTY      |
|---|---|----------|
|  | 8" CMU PERIMETER WALL, SEE DETAIL 1 ON SHEET L-2.02   | 1,391 LF |
|  | 6' VIEW FENCE, SEE DETAILS 2 AND 3 ON SHEET L-2.02    | 1,425 LF |
|  | 6' TRASH ENCLOSURE WALL, SEE DETAIL 4 ON SHEET L-2.02 | 58 LF    |
|  | 6" CMU PERIMETER WALL, SEE DETAIL 4 ON SHEET L-2.02   | 65 LF    |
|  | PRIMARY MONUMENT SIGN                                 | 2 EA     |
|  | SECONDARY MONUMENT SIGN                               | 2 EA     |



ELEVATION

## 1 VEHICULAR GATE

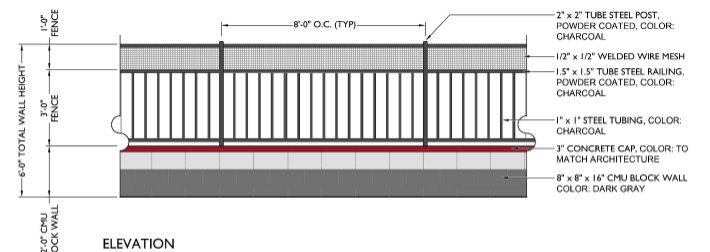
Scale: 1/2" = 1'-0"



ELEVATION

## 1 8" CMU PERIMETER WALL

Scale: 1/2" = 1'-0"



ELEVATION

## 2 6' VIEW FENCE

Scale: 1/2" = 1'-0"

EXHIBIT 3.04





# Design Review

- Requires Design Review approval



DECOMPOSED GRANITE -  
"TABLE MESA BROWN"



CONCRETE WITH ACID ETCH FINISH

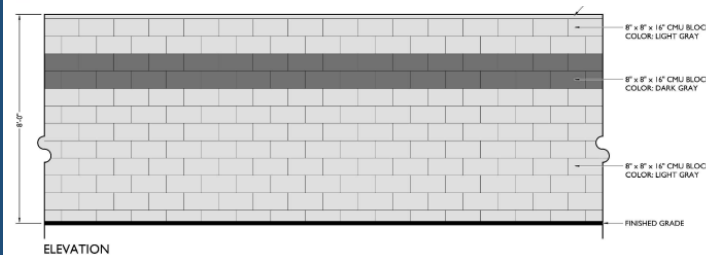


CMU BLOCK, COLOR: BLACK CANYON BY  
SUPERLITE

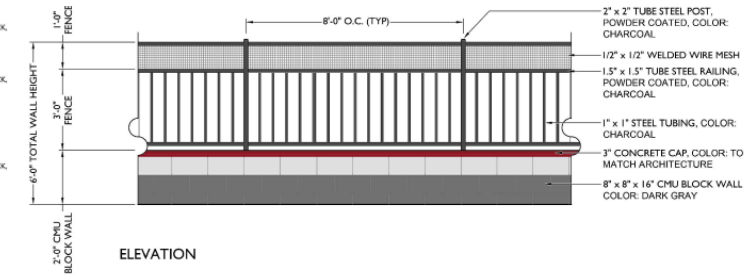


CMU BLOCK, COLOR: PEBBLE BEACH NW  
GRAY BY SUPERLITE

11



1 8' CMU PERIMETER WALL  
Scale: 1/2" = 1'-0"



2 6' VIEW FENCE  
Scale: 1/2" = 1'-0"

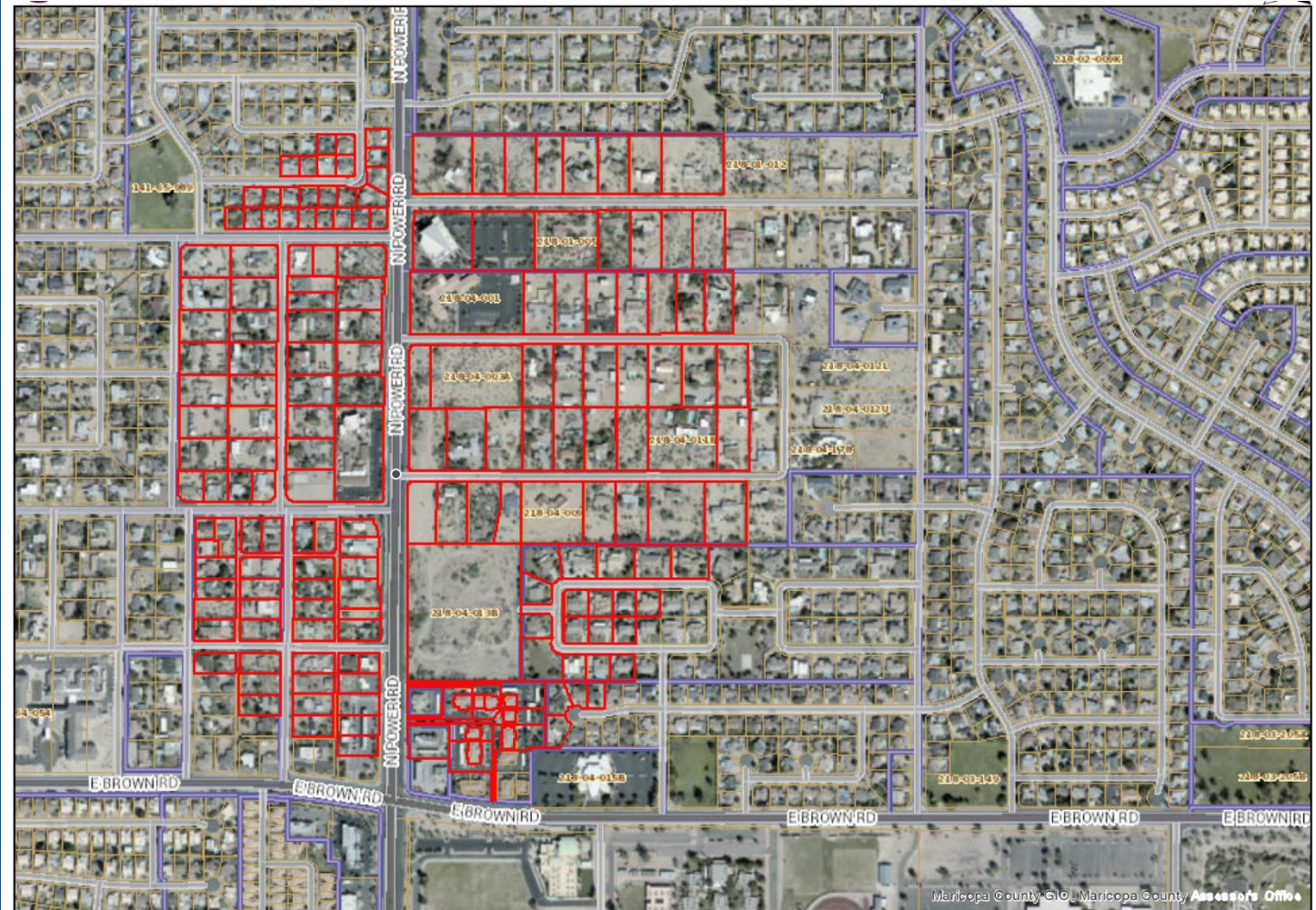


# PAD Request

| Development Standard                              | Required NC  | Proposed NC-PAD  | Justification   |
|---|--|--|---|
| On-site parking, loading and circulation          | Required parking spaces shall be permanently marked        | <b>No marking of parking spaces on alternative surface</b>     | Applicant requesting alternative surface material<br>A porous material will not sustain a delineation long term             |
| Interior parking lot landscaping                  | One parking lot landscape island for each 8 parking spaces | <b>No landscape islands for parking on alternative surface</b> | Parking areas on alternative surface may serve as additional open space during non-peak periods                             |
| Maximum fence height within the exterior boundary | 3.5-feet   | <b>6-foot maximum within setback along Power Road</b>          | Wall along Power will be a screen wall and view fence to secure the site and will be incorporated into the landscape design |



- Mailed required notifications
- Neighborhood Meeting
  - April 20, 2021, on subject site
  - Approximately 50 attendees
- Concerns related to:
  - Land use, fencing, lighting, noise, traffic, parking





# Summary

## Findings

Complies with:

- 2040 Mesa General Plan
- Criteria in Chapter 22 for PAD
- Criteria in Chapter 69 for Site Plan Review

## Staff Recommendation

Approval with Conditions





# PLANNING & ZONING BOARD

October 27, 2021