

Study Session Minutes

Mesa Council Chambers Lower Level – 57 E 1st St

Date: September 6, 2023 Time: 5:00 p.m.

MEMBERS PRESENT:

Chair Alexis Wagner
Vice Chair Shelly Allen
Boardmember Nicole Lynam
Boardmember Chris Jones
Boardmember Heath Reed
Boardmember Ethel Hoffman

MEMBERS ABSENT:

Boardmember Troy Glover

(*Boardmembers and staff participated in the meeting through the use of audio conference equipment)

STAFF PRESENT:

Evan Balmer
Michelle Dahlke
Charlotte Bridges
Joshua Grandlienard
Emily Johnson
Vanessa Felix

OTHERS PRESENT:

1 Call meeting to order.

Chair Wagner excused Boardmember Glover from the entire meeting and declared a quorum present, and the Study Session was called to order at 5:01 p.m.

2 Staff Update:

***2-a no updates**

3 Review and discuss items listed on the Public Hearing agenda for September 6, 2023.

***3-a Staff member Evan Balmer presented case BOA23-00269 to the Board.**

See attached presentation.

***3-b Staff member Joshua Grandlienard presented case BOA23-00462 to the Board.**

See attached presentation.

***3-c Staff member Evan Balmer presented case BOA23-00573 to the Board.**

See attached presentation.

***3-d Staff member Evan Balmer presented case BOA23-00574 to the Board.**

See attached presentation.

City of Mesa - Board of Adjustment – September 6, 2023
Study Session Minutes

***3-e Staff member Evan Balmer presented case BOA23-00575 to the Board.**
See attached presentation.

***3-f BOA23-00669 continued to October 4, 2023.**

4 Adjournment.

Boardmember Hoffman moved to adjourn the Study Session and was seconded by Boardmember Lynam. Without objection, the Study Session was adjourned at 5:30 p.m.

Respectfully submitted,

Evan Balmer,
On behalf of Zoning Administrator (Mary Kopaskie-Brown)



Board of Adjustment



BOA23-00269

Samantha Brannagan, Planner II

September 6, 2023



Request

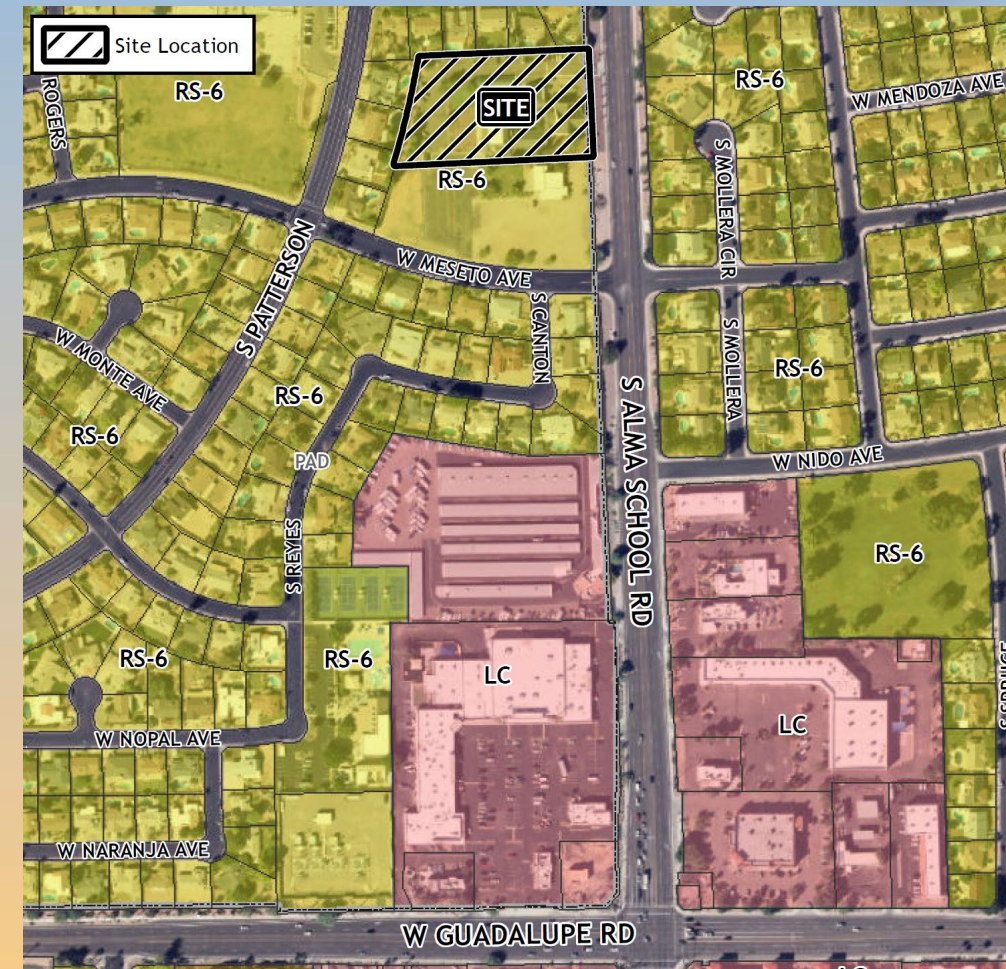
- Substantial Conformance Improvement Permit
- To allow deviations from certain development standards
- To allow for a new, two-story building to serve the existing K-8th grade school





Location

- North of Guadalupe Road
- West side of Alma School Road

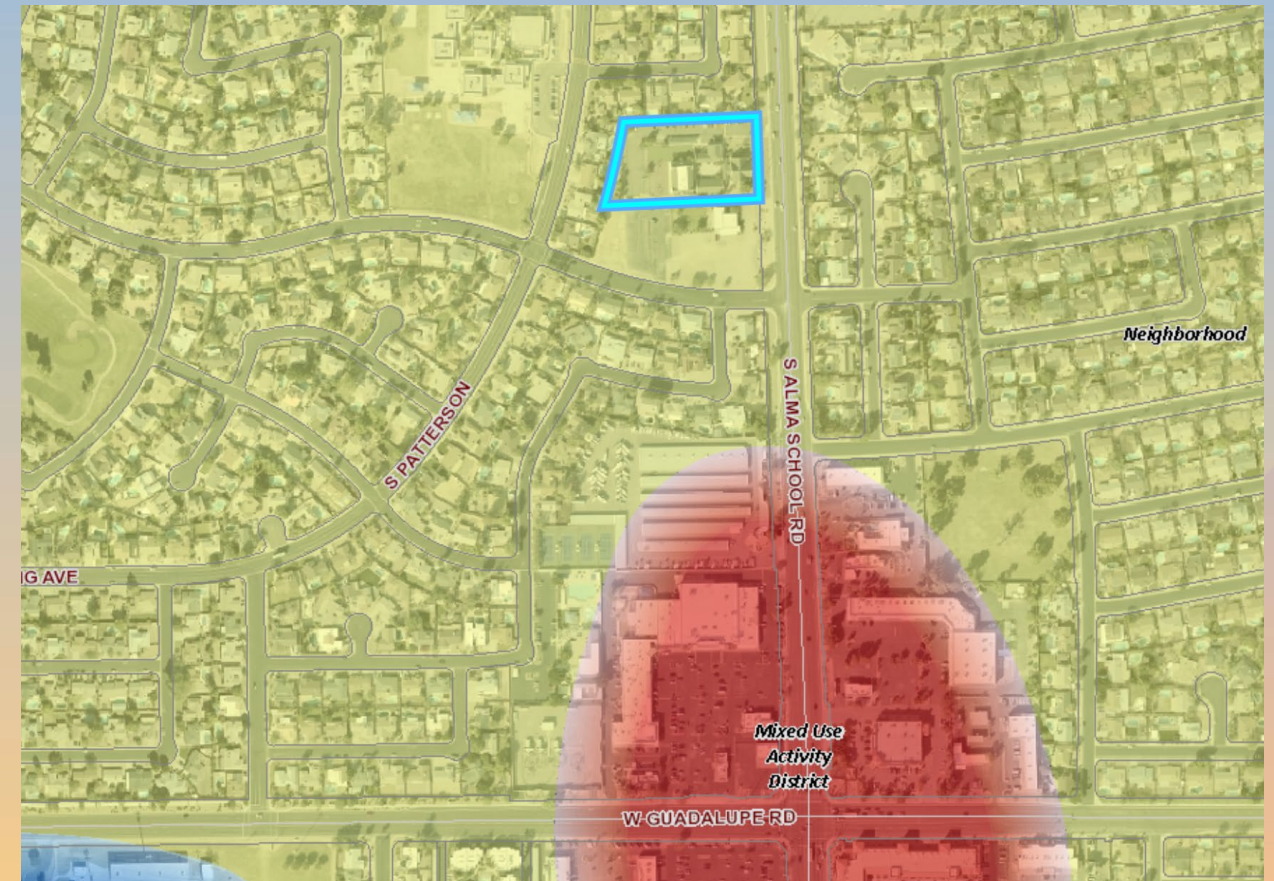




General Plan

Neighborhood

- Provide safe places for people to live and enjoy their surrounding community

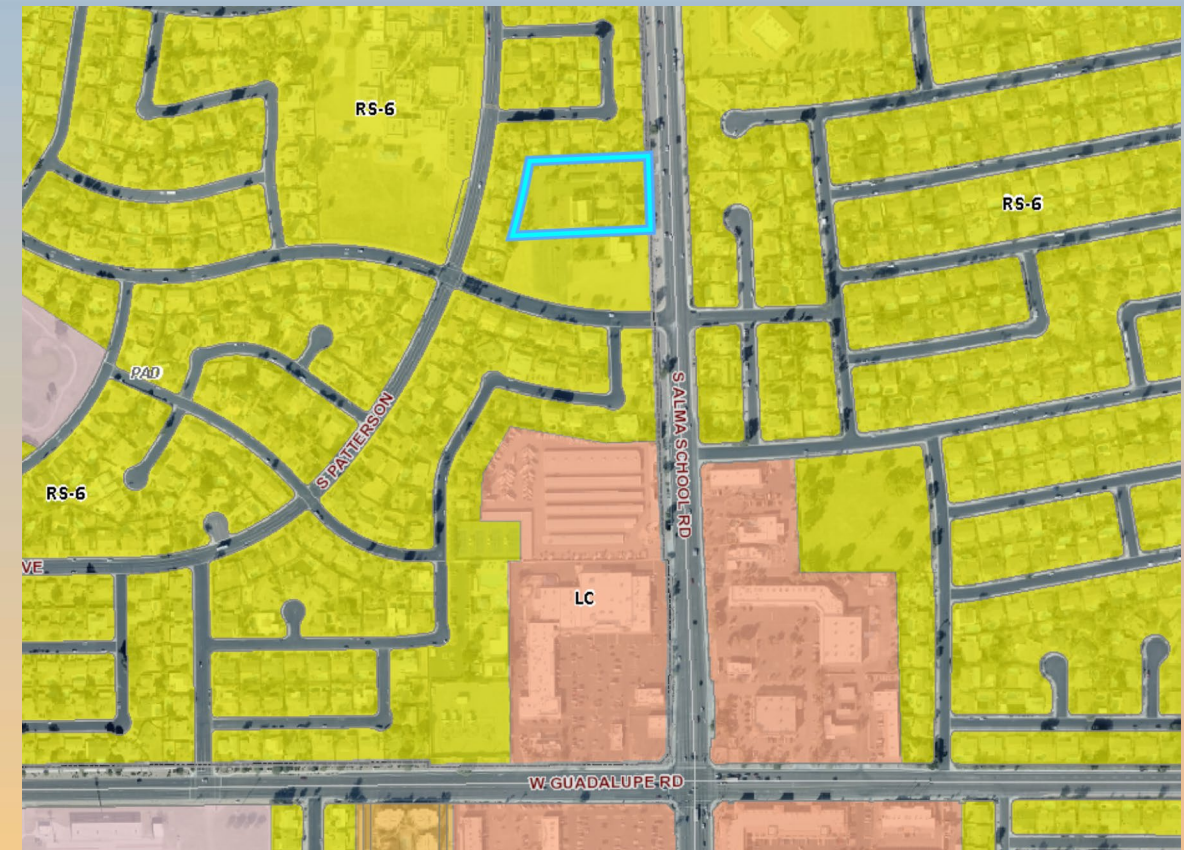




Zoning

RS-6-PAD

- Single Residence 6 with a Planned Area Development overlay (RS-6-PAD)
- A school is a permitted use in the RS-6 district





Site Photo

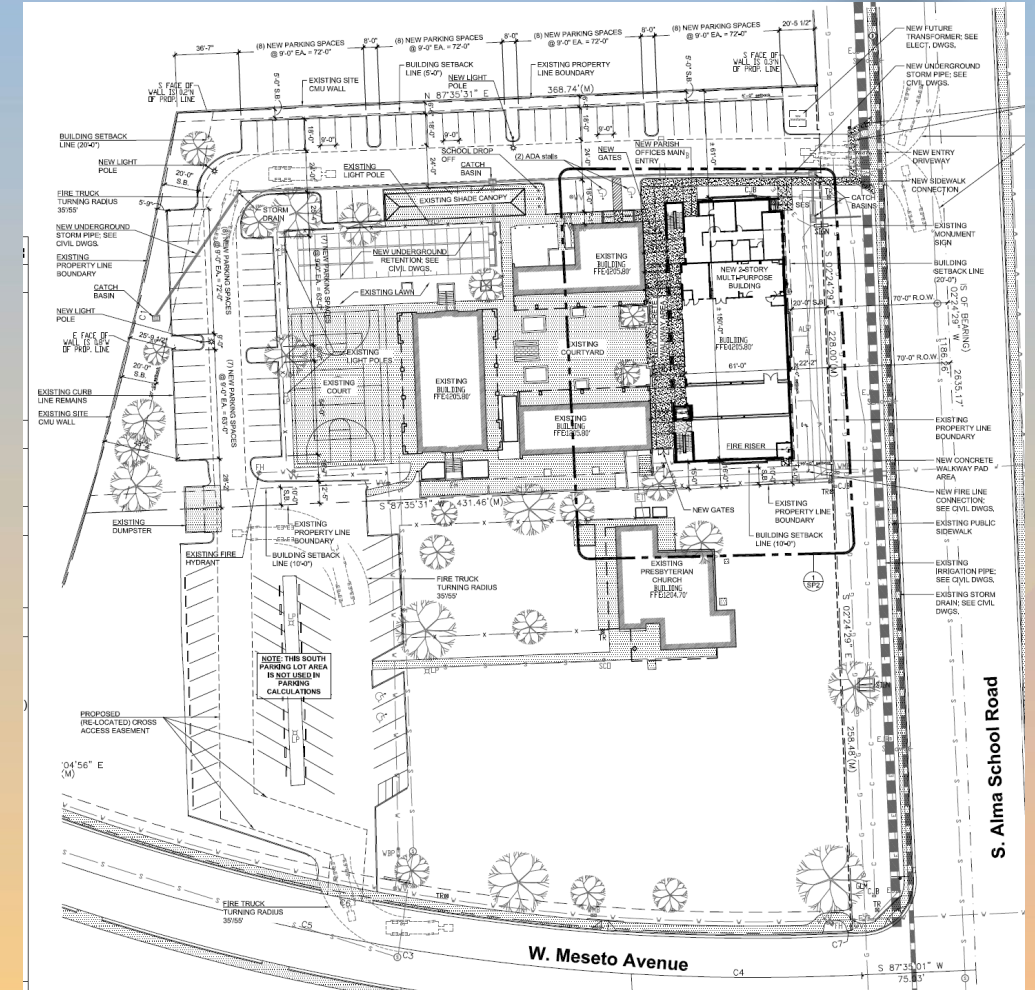


Looking southwest from Alma School Road



Site Plan

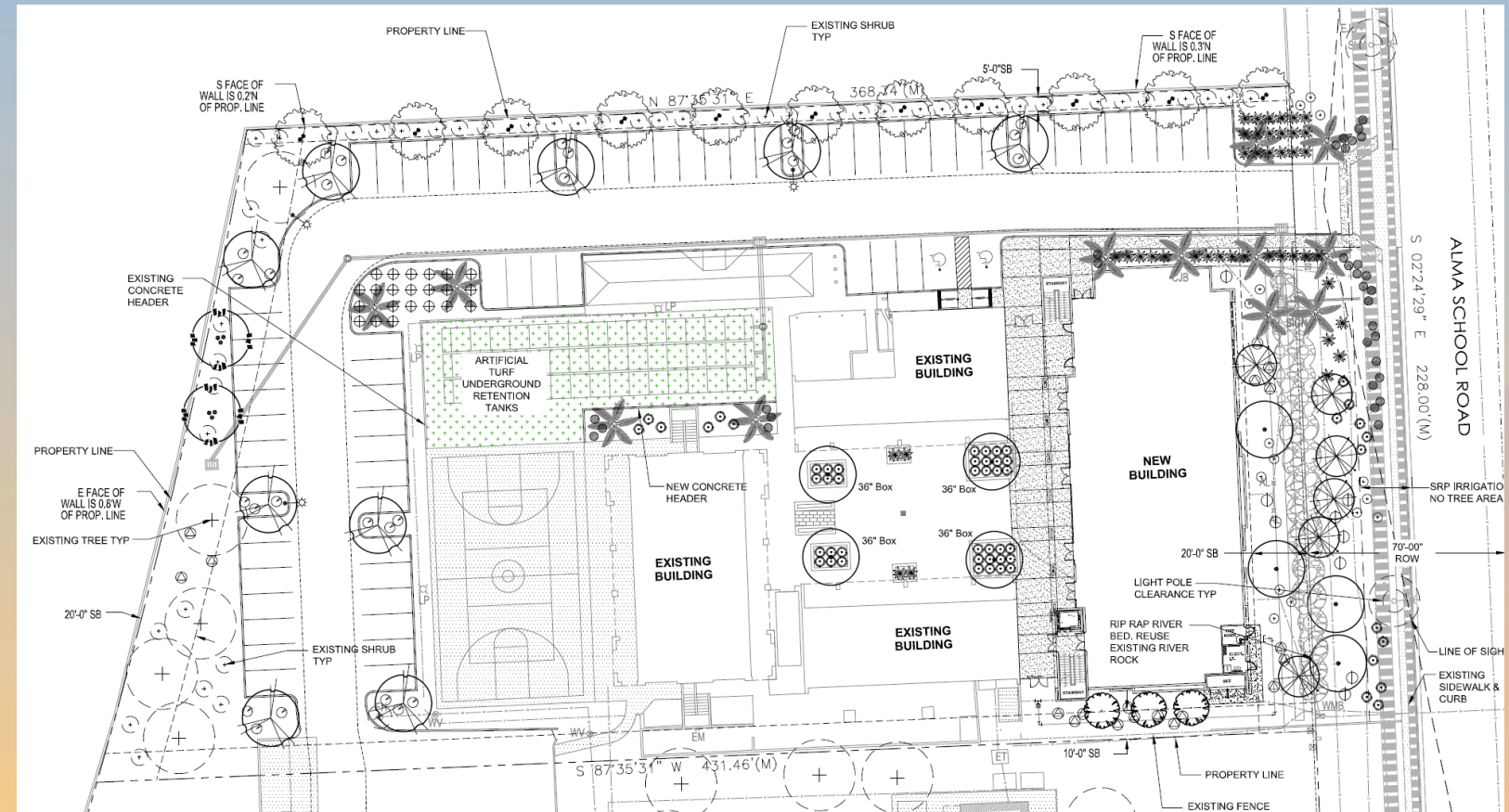
- New two-story building to replace existing building located at the front of the property along Alma School Road
- 3 new parking stalls, and restriping of existing stalls
- 5 new landscape islands
- New pedestrian paths





Landscape Plan

- 5 new landscape islands
- New landscaping along Alma School Road
- Improvements to perimeter landscaping





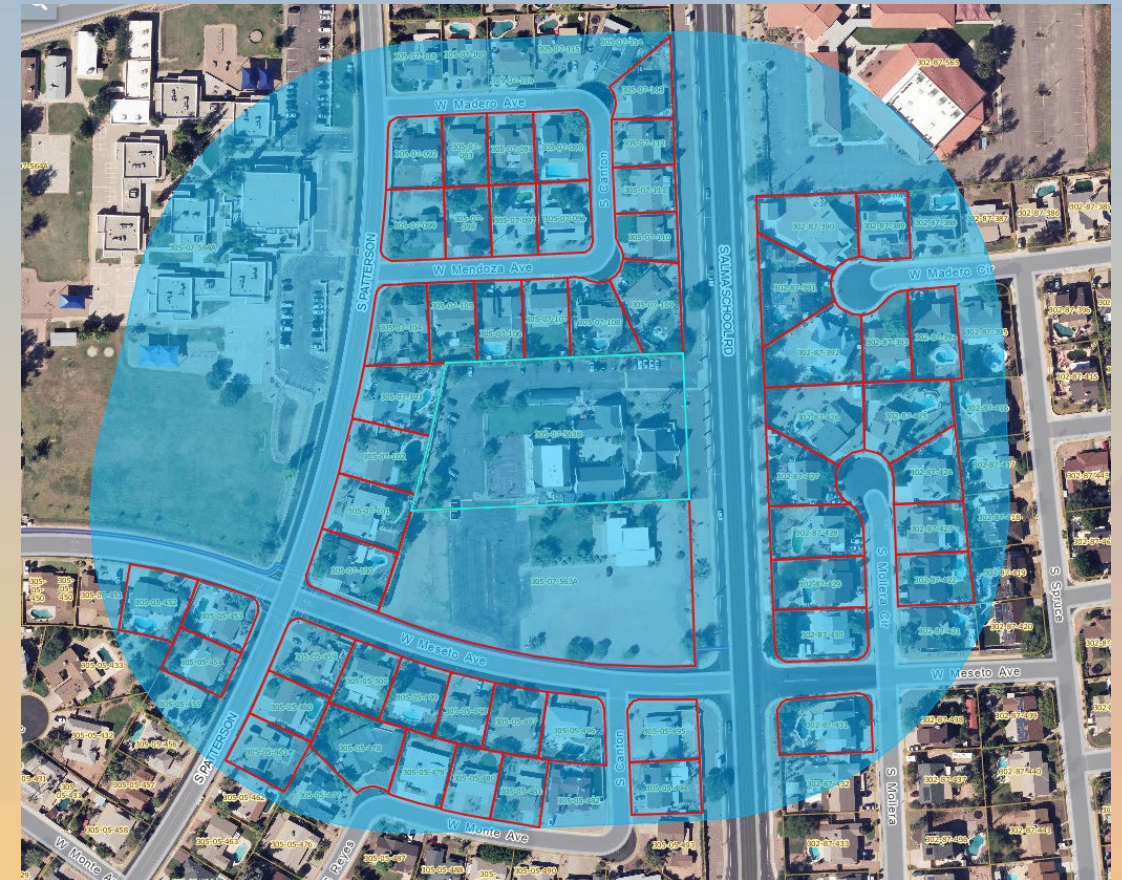
SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Minimum Landscape Yard:</i> – [Section 11-33-3(B)(1)]:</p> <p>Non-single residence to single-residence</p>	<p>20' (north, south, west)</p>	<p>5' (north) 10' (south) 5'-9" (west)</p>
<p><i>Minimum Parking Spaces</i> – [Table 11-32-3(A)]:</p>	<p>80 parking spaces</p>	<p>69 parking spaces</p>



Citizen Participation

- Notified property owners within 500 feet
- Staff has not received any comment





Approval Criteria

Section 11-73-3 SCIP Criteria

- ✓ Significant alterations to the site would need to occur to bring the site into full conformance with current MZO development standards
- ✓ Full compliance would discourage redevelopment of the site
- ✓ No new non-conforming conditions will be created
- ✓ Proposed request is compatible with, and not detrimental to, adjacent properties or neighborhood



Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Meets the SCIP findings of Section 11-73-3 of the MZO

Staff recommends Approval with Conditions



BOA23-00462

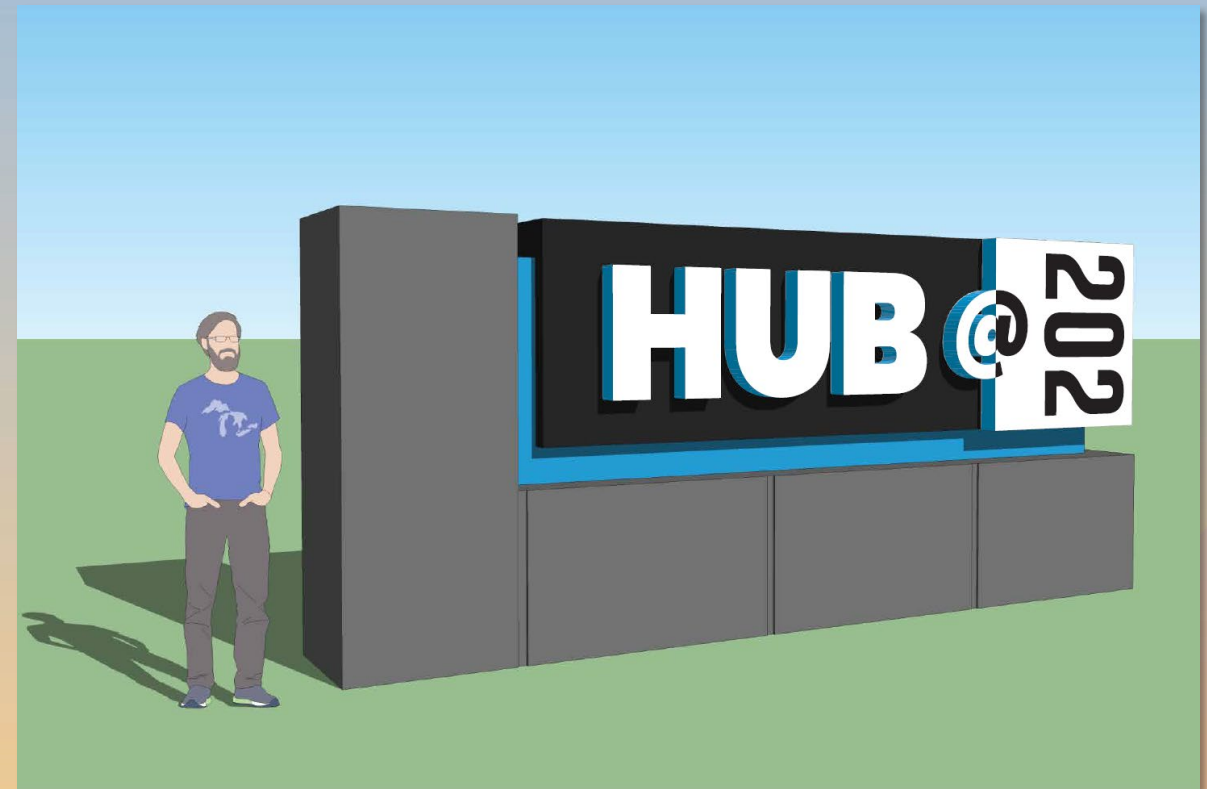
Josh Grandlienard, AICP, Planner II

September 6, 2023



Request

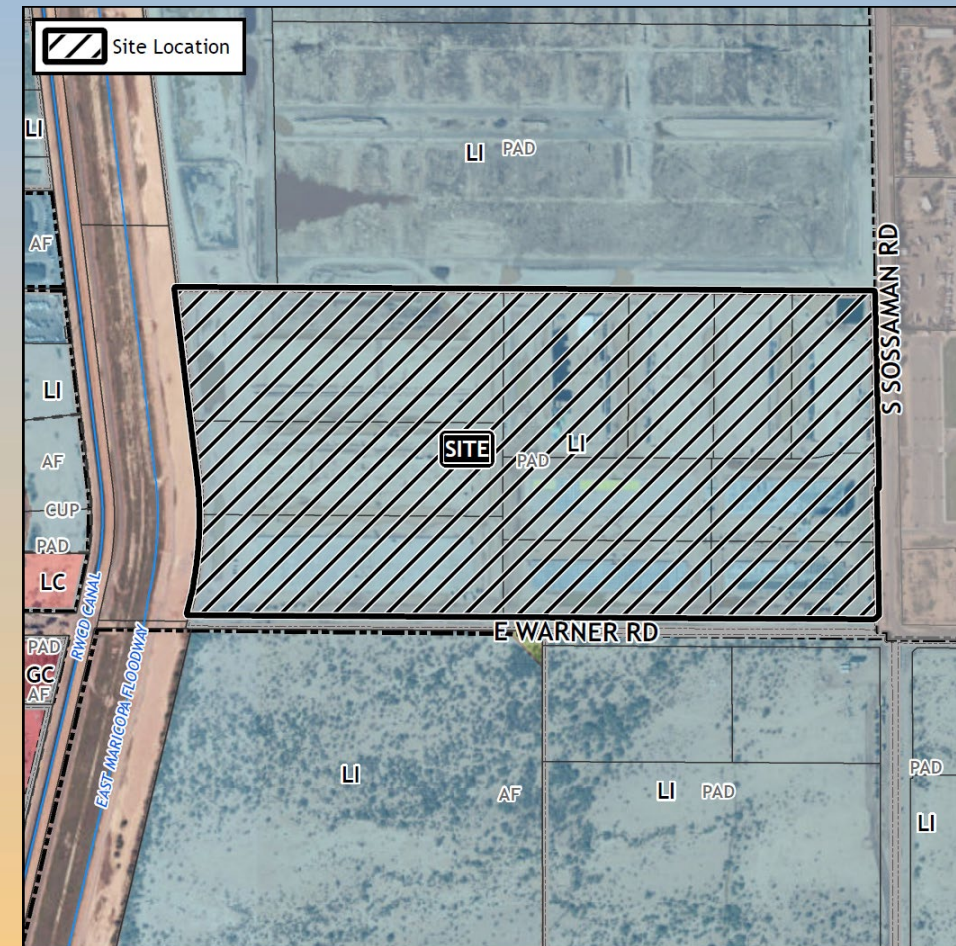
- Special Use Permit (SUP) for a Comprehensive Sign Plan (CSP)





Location

- North of E Warner Road
- West of South Sossaman Road





General Plan

Mixed Use Activity/ Employment

- Provides employment opportunities in High Quality Settings





Zoning

- Light Industrial with a Planned Area Development Overlay (LI-PAD)





Site Photos

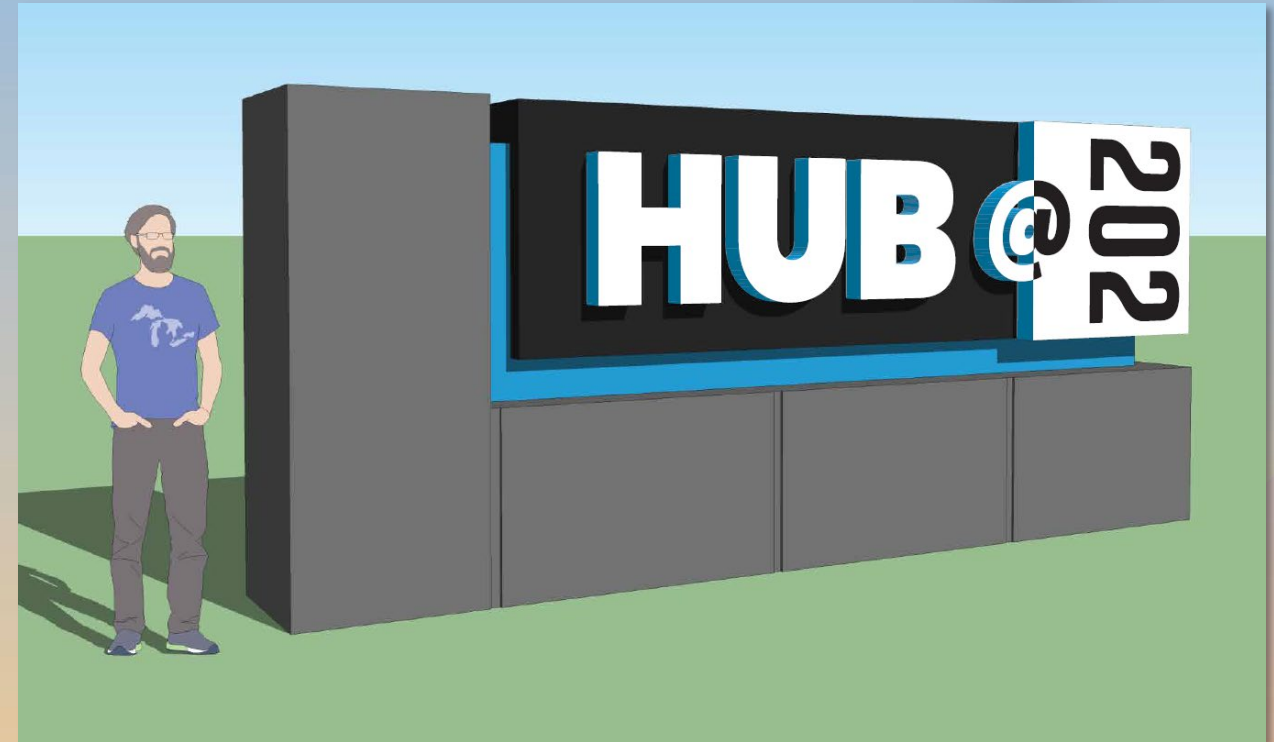


Looking southwest from S Sossaman Road



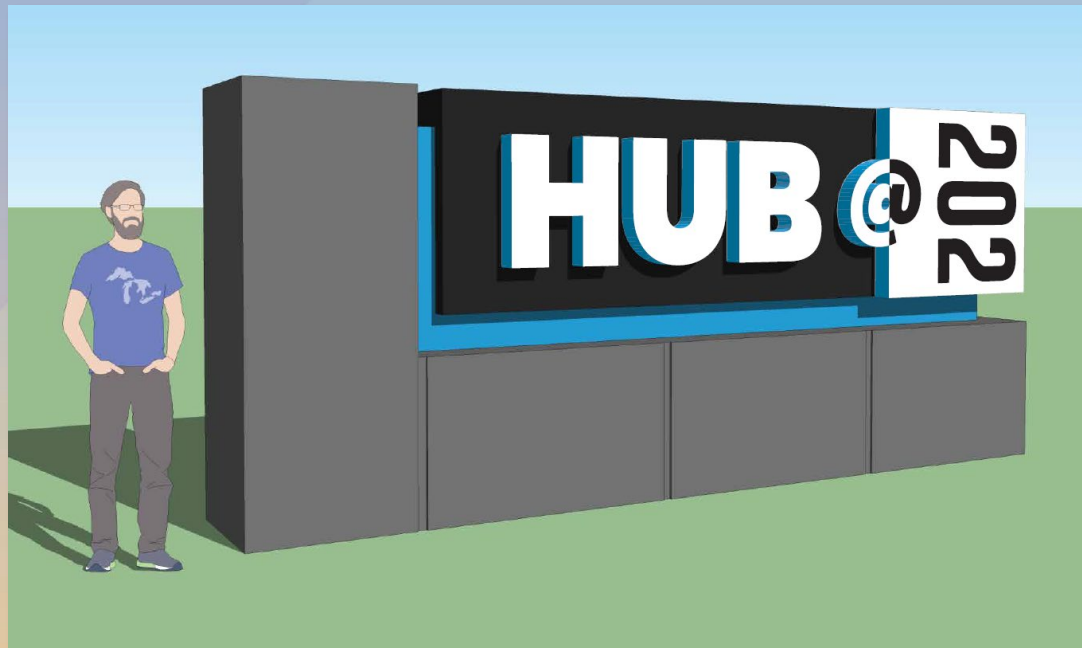
Proposed CSP

- Increase the percentage allow for attached sign area from 75% to 80% percent of width of the front of the occupancy
- Increase in Horizontal to vertical ratio for a monument sign from 2:1 to 2.5:1

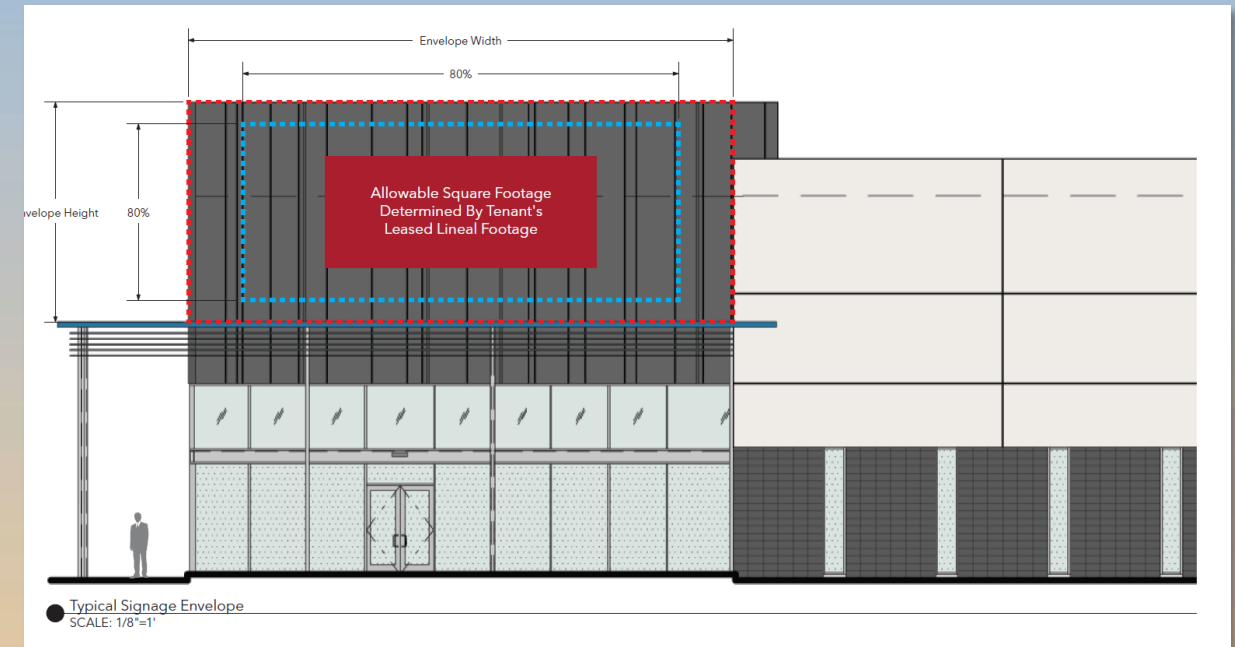




Sign Plan



Monument Sign Elevation

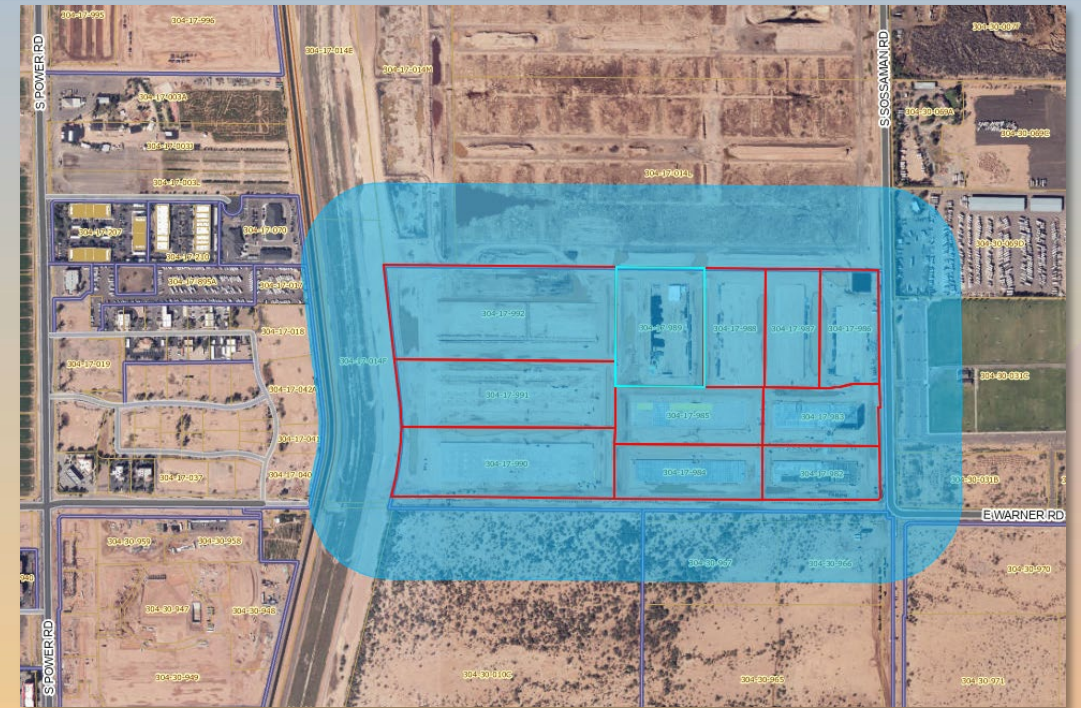


Attached sign typical Sign Envelope



Citizen Participation

- Notified property owners within 500 feet





Approval Criteria

Section 11-46-3.D CSP Criteria

- ✓ The site contains unique or unusual physical conditions that would limit or restrict normal sign visibility.
- ✓ The development exhibits unique characteristics of land use, that represent a clear variation from conventional development.
- ✓ The proposed signage incorporates special design features that reinforce or are integrated with the building architecture.



Approval Criteria

Section 11-70-5.E SUP Criteria

- ✓ Project will advance the goals and objectives of the General Plan and other City plan and/or policies;
- ✓ Location, size, design, and operating characteristics are consistent with the purposes of the district where it is located and conform with the General Plan and any other applicable City plan or policies;
- ✓ Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available.



Findings

- ✓ Complies with the Mesa 2040 General Plan
- ✓ Meets the CSP criteria of Section 11-46-3.D of the MZO
- ✓ Meets the SUP findings of Section 11-7-5.E of the MZO

Staff recommends Approval with Conditions



BOA23-00573



Request

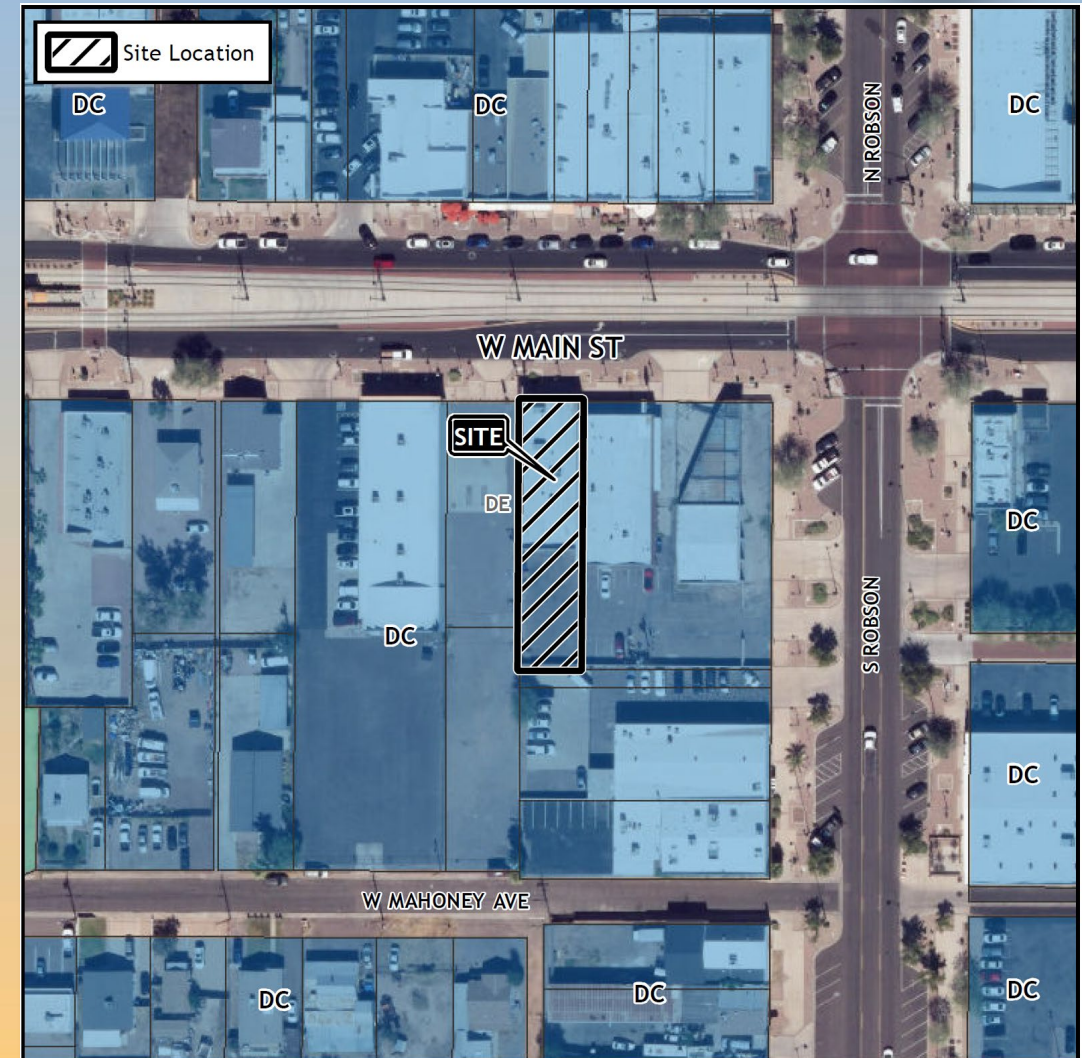
- Special Use Permit (SUP) for a Comprehensive Sign Plan (CSP)





Location

- 213 West Main Street
- West of South Robson
- South of Main Street





General Plan

Downtown/Transit Corridor

- Pedestrian-oriented, transit-rich environment with a lot of activity

Central Main Street Sub Area Plan

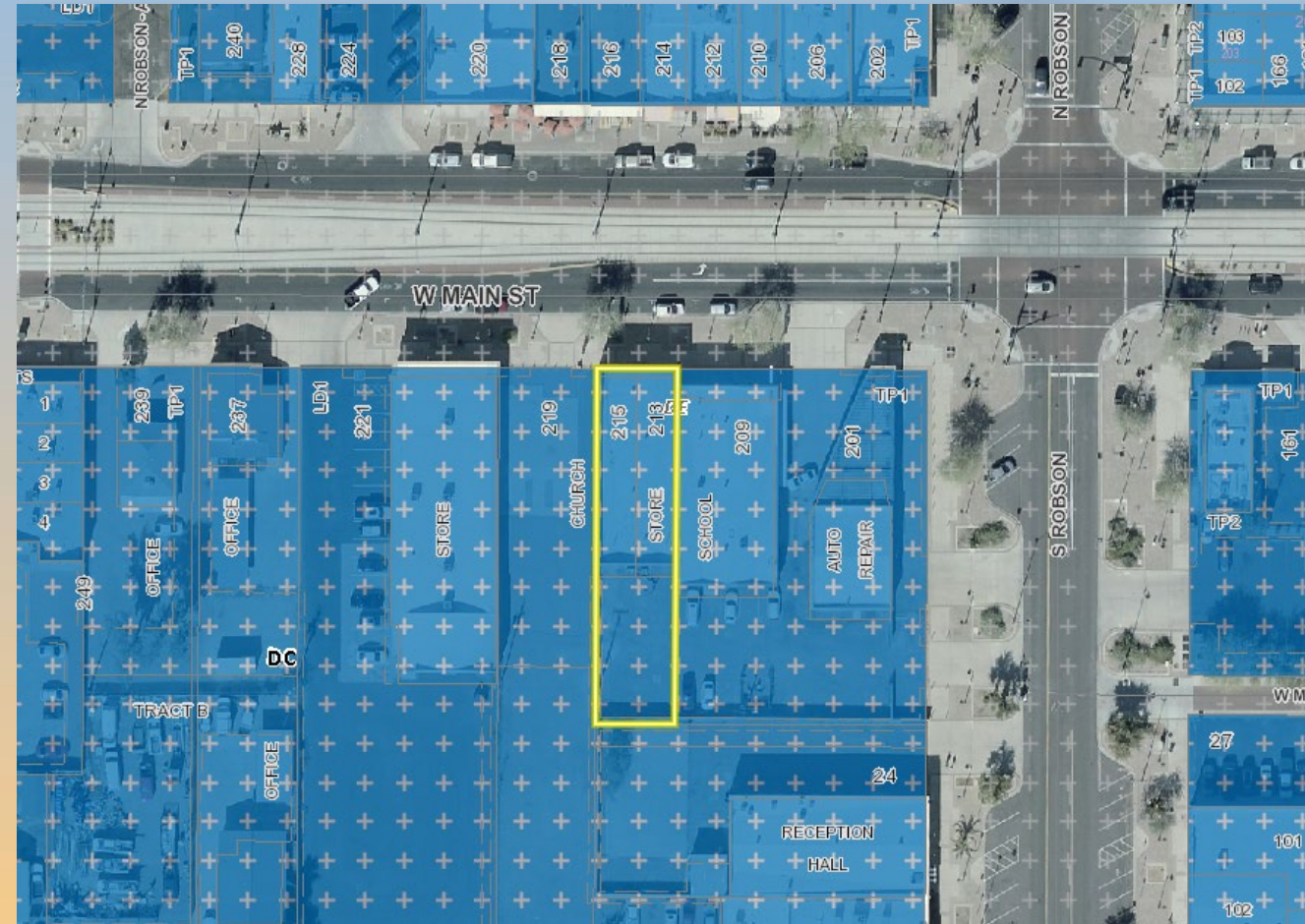
- Recognizes specialized signage in the creation of distinctive places





Zoning

- Downtown Core with a Downtown Events overlay (DC-DE)
- Existing use is permitted in the Downtown Core District





Site Photos



Looking south towards the site from Main Street



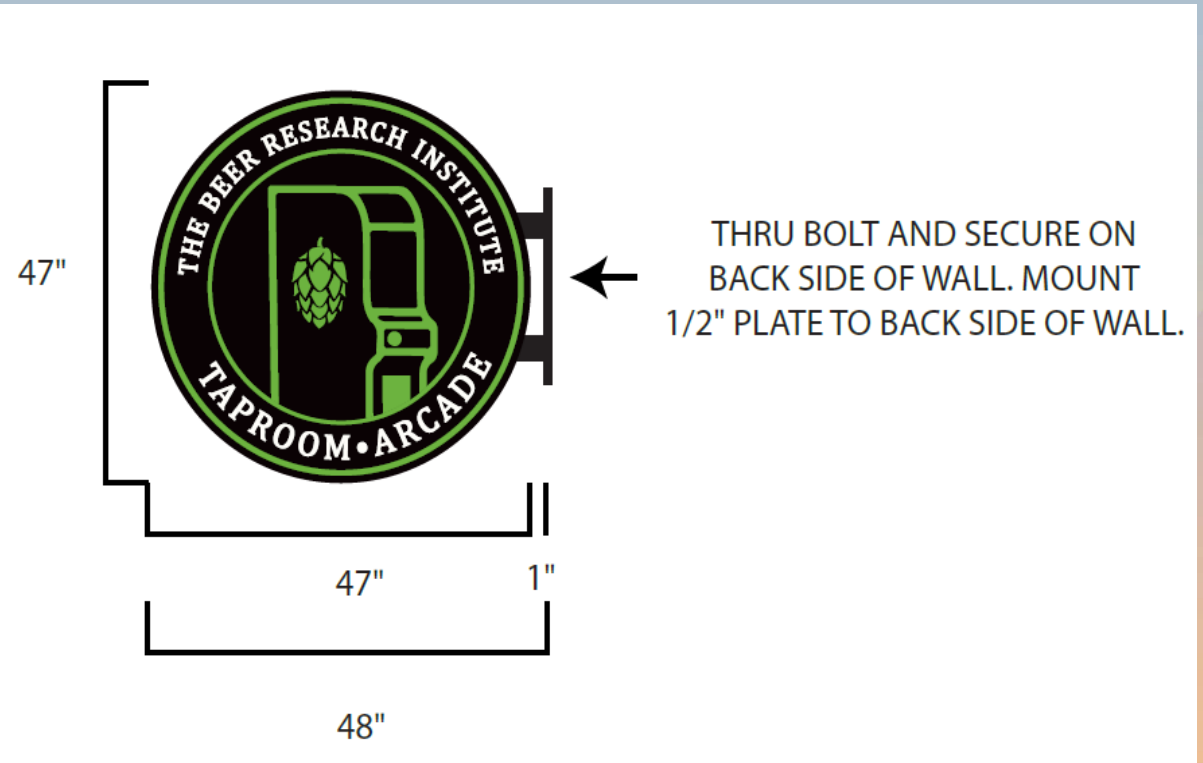
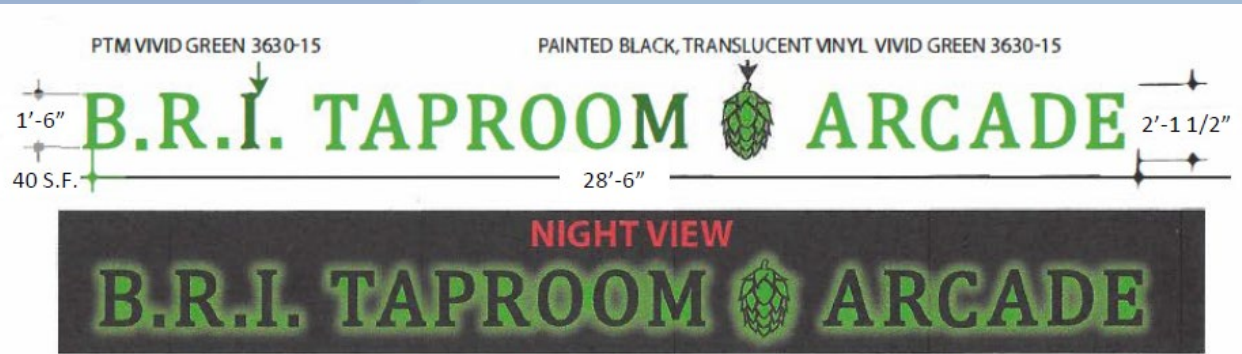
Proposed CSP

- Allows for the installation of 2 attached signs
 - Increase in the maximum sign length of existing wall sign to 71% of building frontage
 - Allows for the installation of a projecting sign in addition to a wall sign in the DC district





Sign Plan





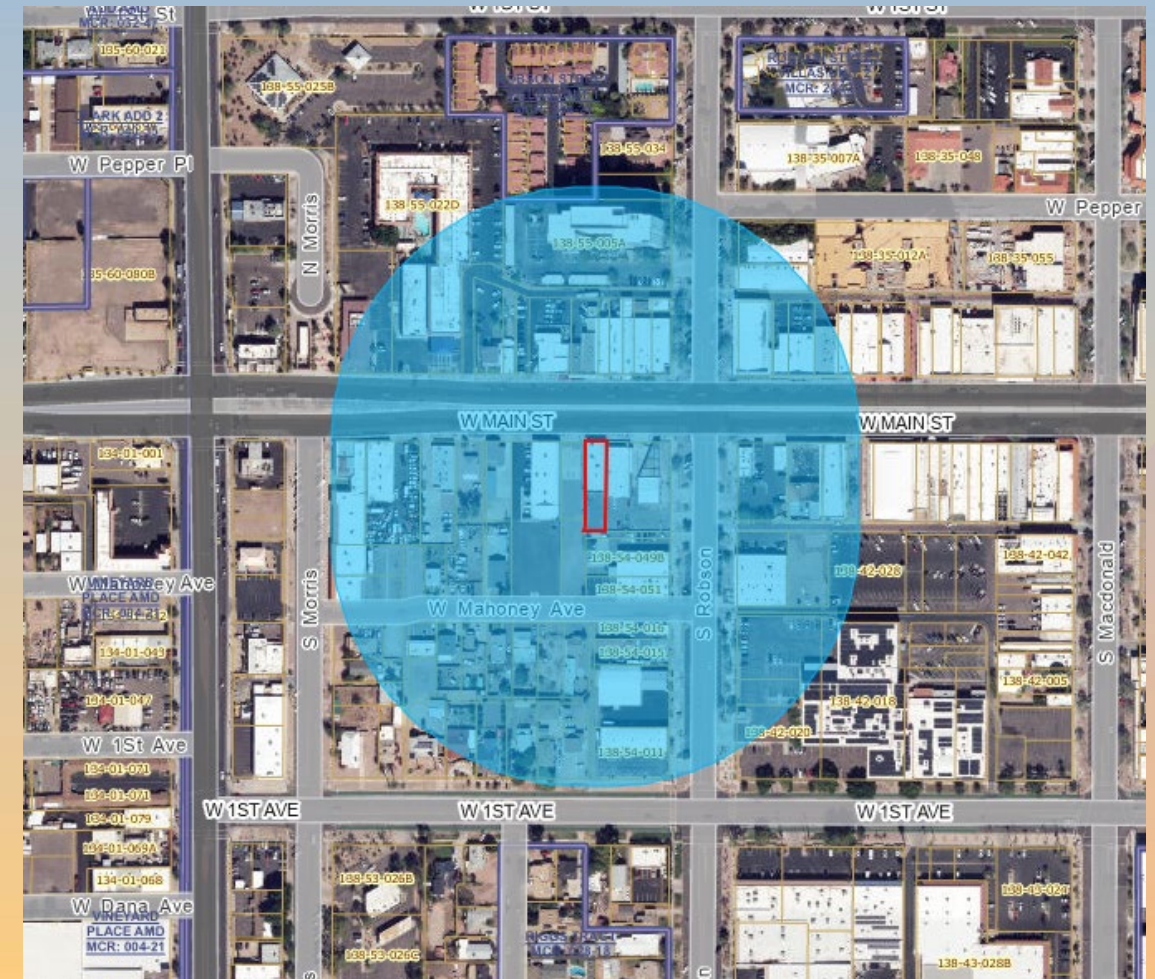
Sign Plan





Citizen Participation

- Notified property owners within 500 feet
- Staff has not been contacted by neighbors





Approval Criteria

Section 11-46-3(D) CSP Criteria

- ✓ The site contains unique or unusual physical conditions that would limit or restrict normal sign visibility.
- ✓ The development exhibits unique characteristics of land use, that represent a clear variation from conventional development.
- ✓ The proposed signage incorporates special design features that reinforce or are integrated with the building architecture.



Approval Criteria

Section 11-70-5(E) SUP Criteria

- ✓ Project will advance the goals and objectives of the General Plan and other City plan and/or policies;
- ✓ Location, size, design, and operating characteristics are consistent with the purposes of the district where it is located and conform with the General Plan and any other applicable City plan or policies;
- ✓ Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available.



Findings

- ✓ Complies with the Mesa 2040 General Plan
- ✓ Meets the CSP criteria of Section 11-46-3(D) of the MZO
- ✓ Meets the SUP findings of Section 11-7-5(E) of the MZO

Staff recommends Approval with Conditions



BOA23-00574

Samantha Brannagan, Planner II

September 6, 2023



Request

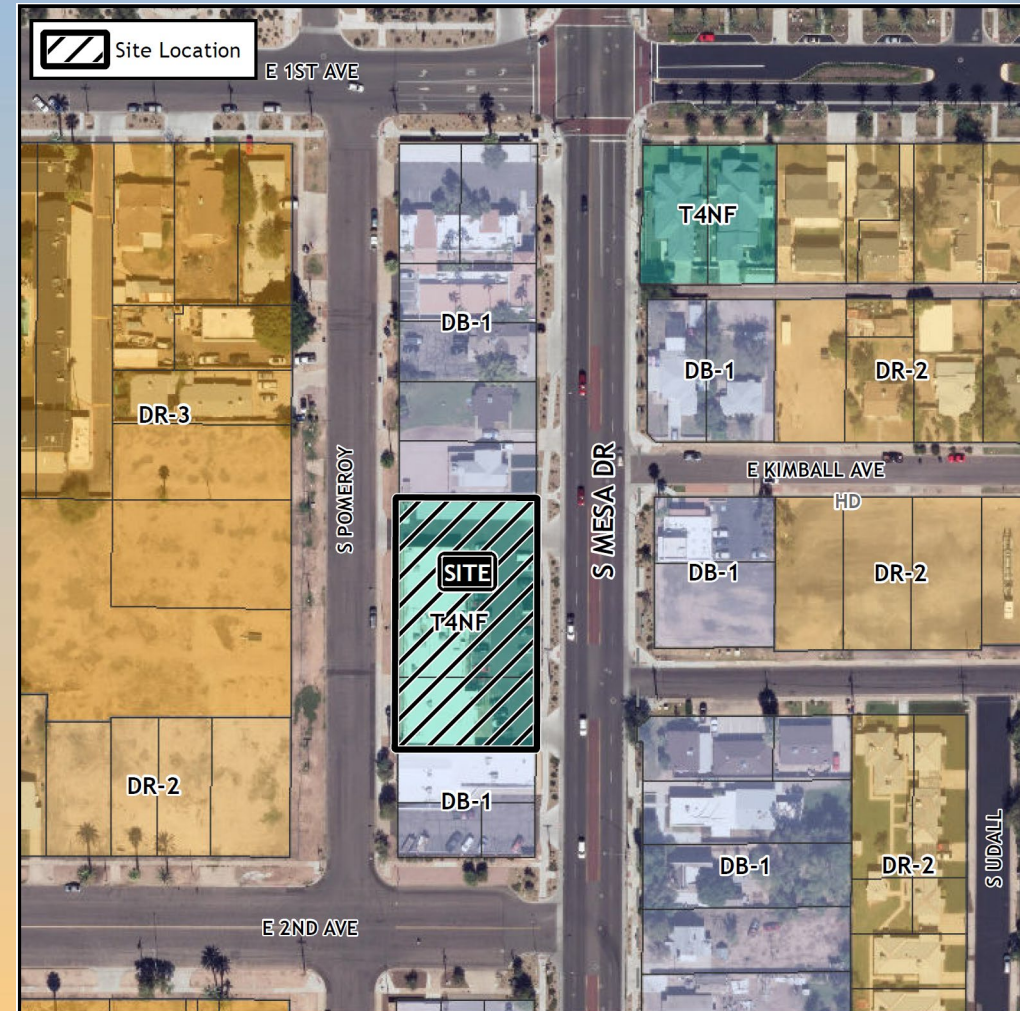
- Special Use Permit (SUP) for a Comprehensive Sign Plan (CSP)





Location

- South of 1st Avenue
- West of Mesa Drive





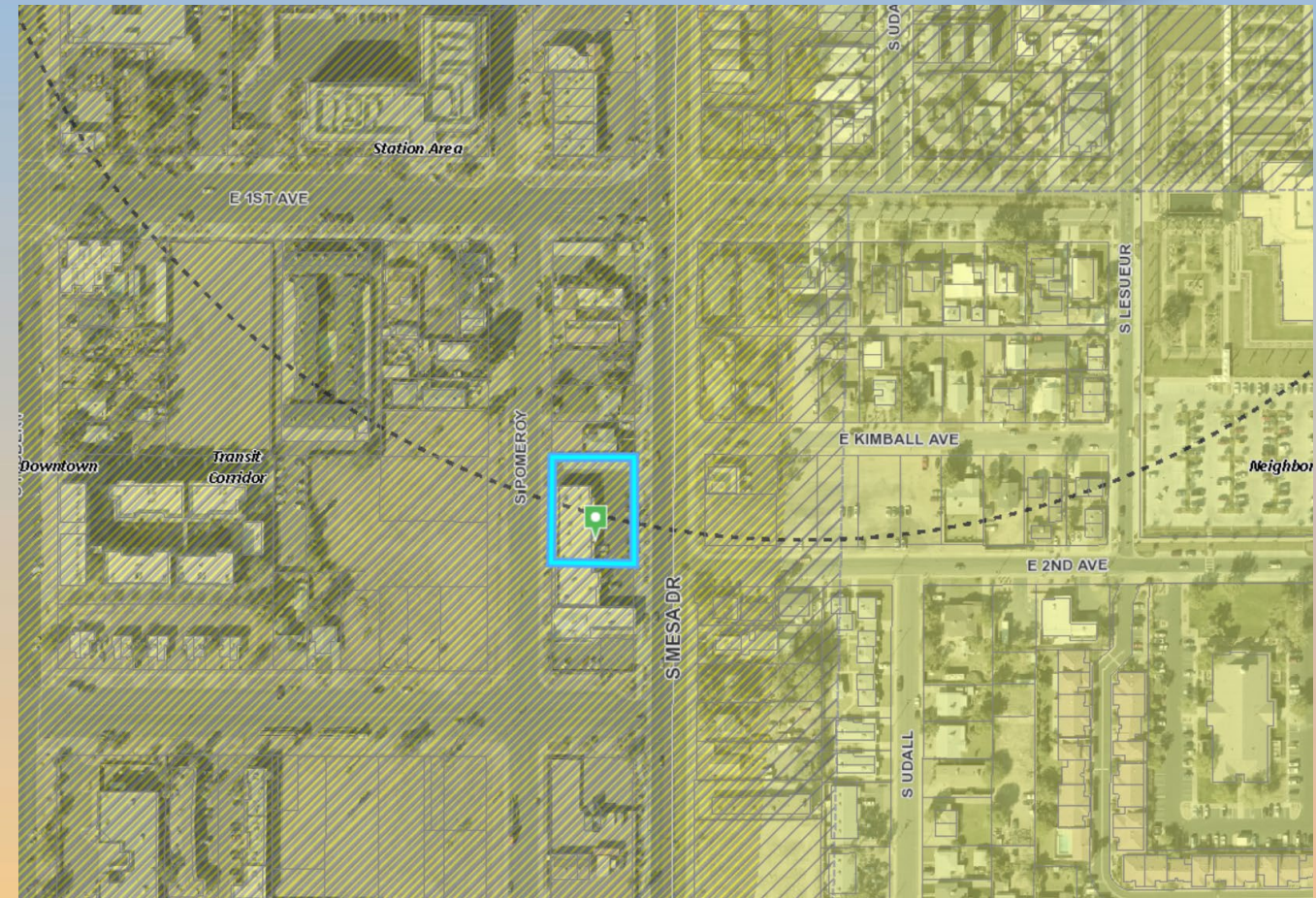
General Plan

Downtown Transit Corridor / Station Area

- Pedestrian oriented development

Central Main Street Area

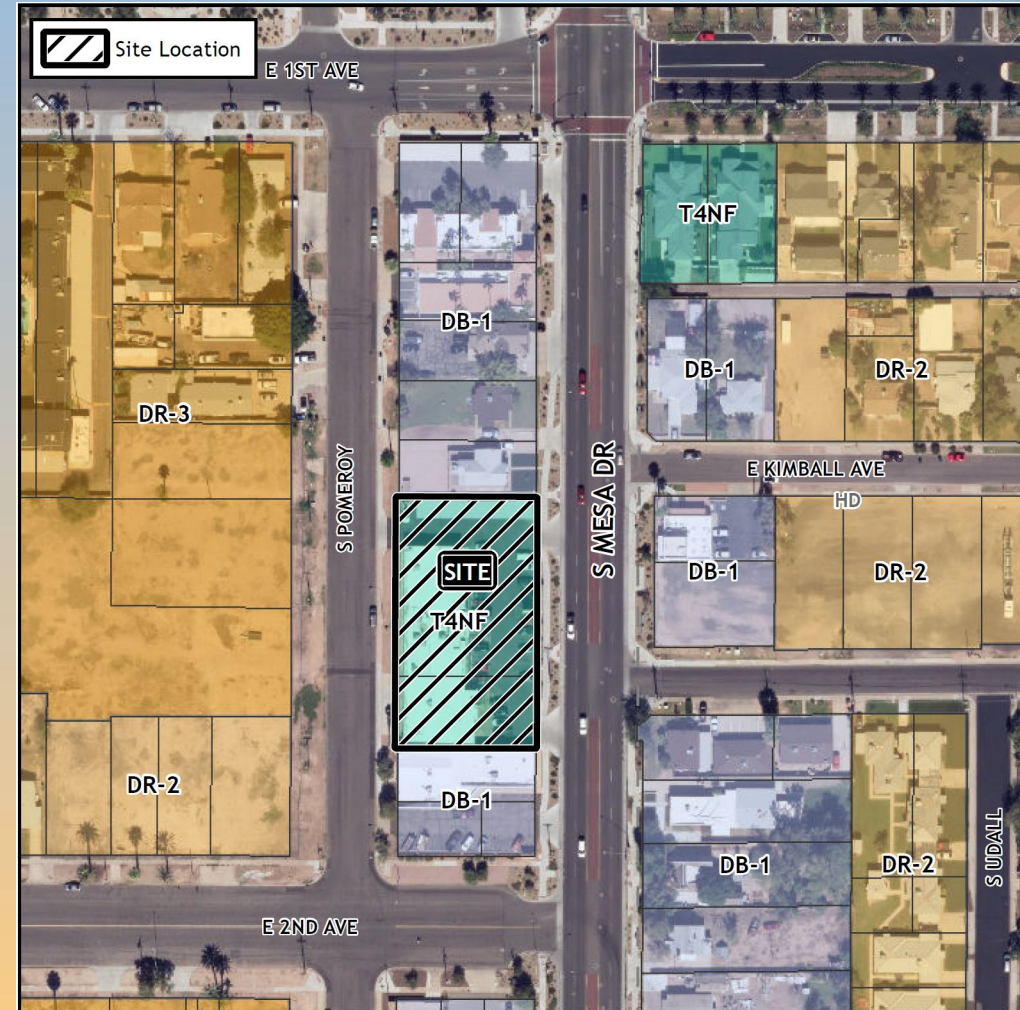
- Recognizes specialized signage in the creation of distinctive places





Zoning

- Transect 4 Neighborhood Flex (T4NF)





Site Photos



Looking west from Mesa Drive



Proposed CSP

Proposed Attached Signage	MZO Requirements	Proposed	Staff Recommendation
Maximum Number of Signs	<p><u>MZO Table 11-43-3(B):</u> Two sign signs per street front, attached or detached</p> <p>One additional attached sign on a street (maximum 32 sq ft)</p>	<p>One sign per tenant per street frontage</p> <p>Total of three signs for end-cap tenants located in the northernmost and southernmost suites</p>	As proposed
Maximum Area per Sign	<p><u>MZO Table 11-43-3(B)</u> 1 sq ft of sign area per 5-lineal feet of street frontage (maximum 32 sq ft)</p>	<p>2 sq ft of sign area per linear foot</p> <p>Minimum of 32 sq ft Maximum of 120 sq ft</p> <p>Maximum of 75% of width of the front of the tenant occupancy</p>	As proposed



Figure 4: Signage Location, West Elevation

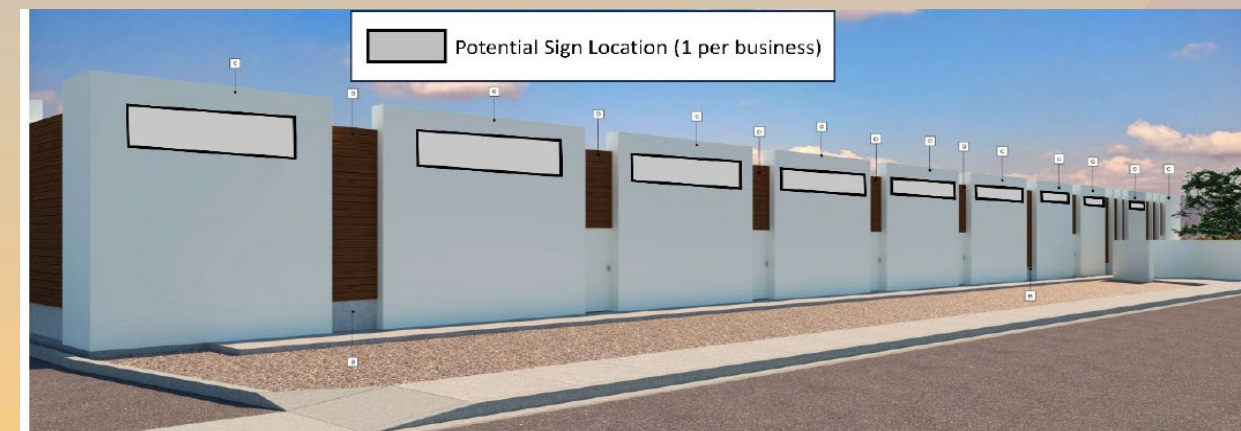


Figure 5: Signage Location, West Elevation



Proposed CSP - Detached

Proposed Detached Signage	MZO Requirements	Proposed	Staff Recommendation
Maximum Height of Freestanding Sign	<u>MZO Table 11-43-3(A):</u> Maximum height of 8-feet, detached	One detached 94 square foot monument sign with six tenant panels 15' 2" in height	As proposed

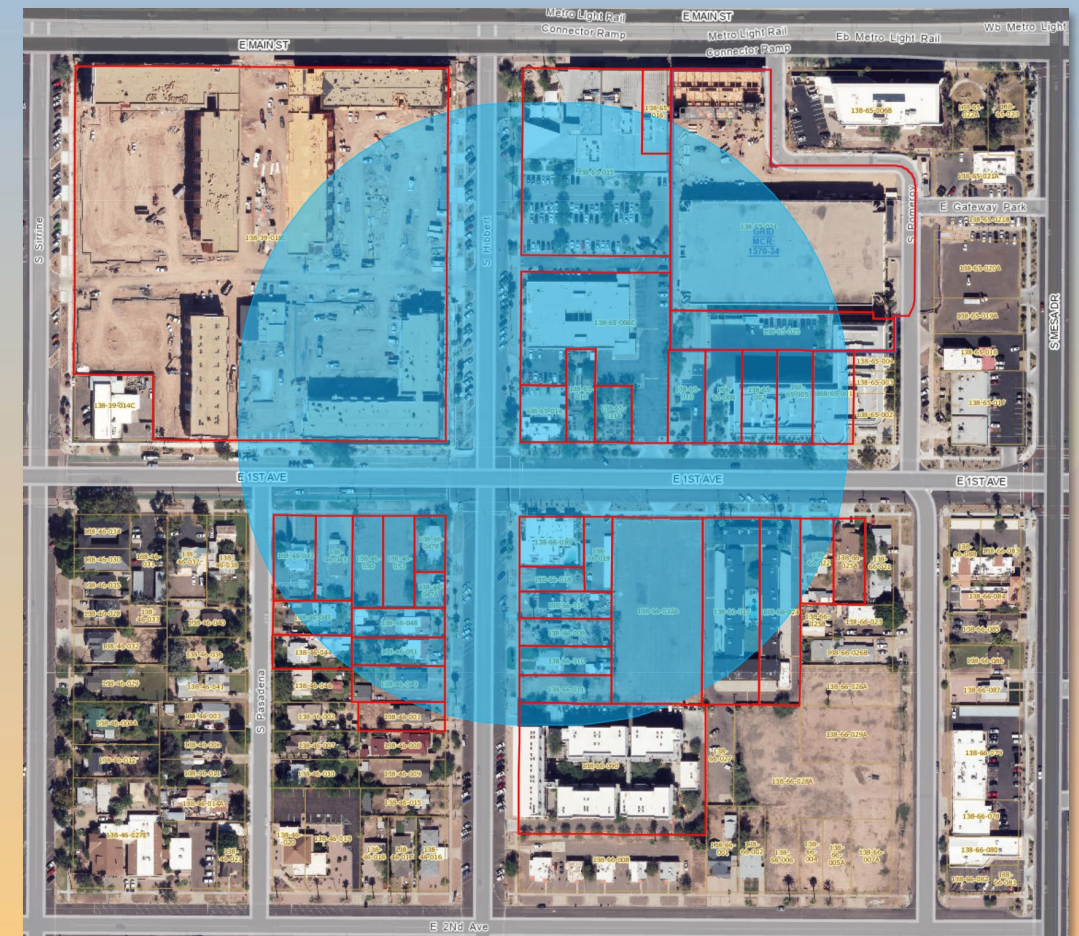


Figure 8: Proposed Refurbishment of Existing Freestanding Sign



Citizen Participation

- Notified property owners within 500 feet





Approval Criteria

Section 11-46-3.D CSP Criteria

- ✓ The site contains unique or unusual physical conditions that would limit or restrict normal sign visibility.
- ✓ The development exhibits unique characteristics of land use, that represent a clear variation from conventional development.
- ✓ The proposed signage incorporates special design features that reinforce or are integrated with the building architecture.



Approval Criteria

Section 11-70-5.E SUP Criteria

- ✓ Project will advance the goals and objectives of the General Plan and other City plan and/or policies;
- ✓ Location, size, design, and operating characteristics are consistent with the purposes of the district where it is located and conform with the General Plan and any other applicable City plan or policies;
- ✓ Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available.



Findings

- ✓ Complies with the Mesa 2040 General Plan
- ✓ Meets the CSP criteria of Section 11-46-3.D of the MZO
- ✓ Meets the SUP findings of Section 11-7-5.E of the MZO

Staff recommends Approval with Conditions



BOA23-00575

Emily Johnson, Planner I

September 6, 2023



Request

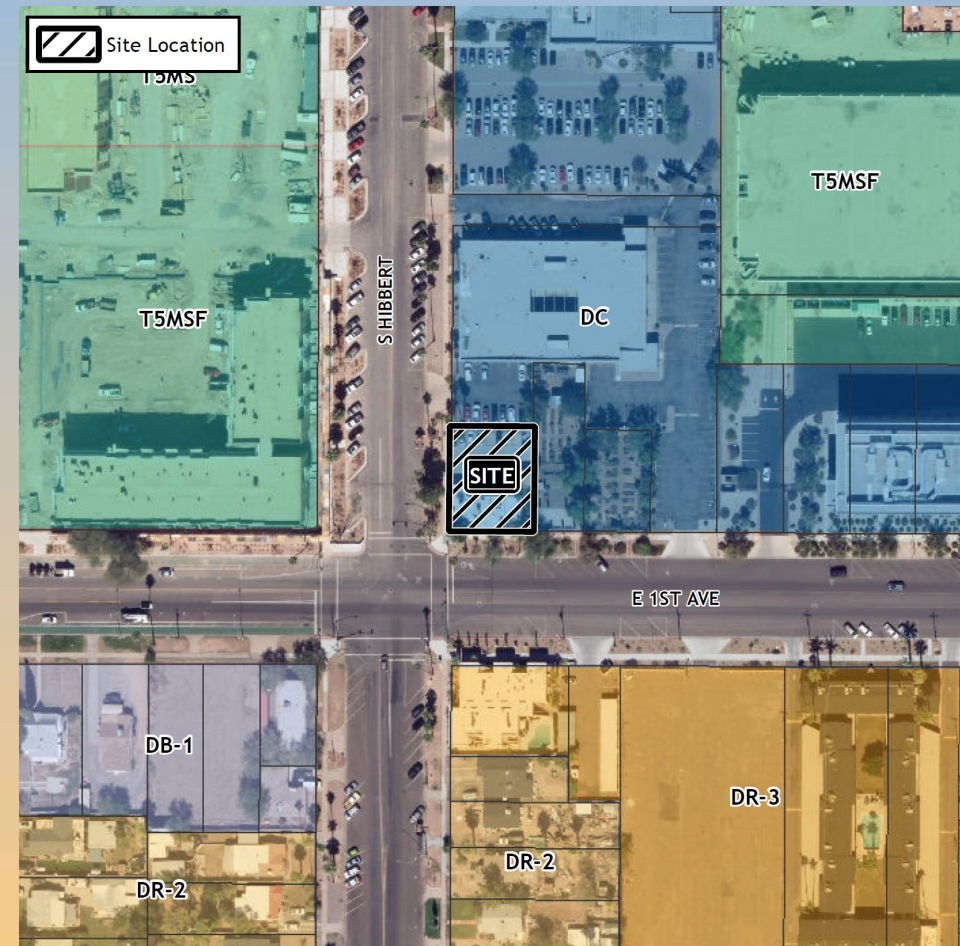
- Special Use Permit (SUP) for a Comprehensive Sign Plan (CSP)





Location

- North of E 1st Avenue
- East of S Hibbert
- Northeast corner of E 1st Street and S Hibbert





General Plan

Downtown Transit Corridor / Station Area

- Pedestrian oriented development

Central Main Street Area

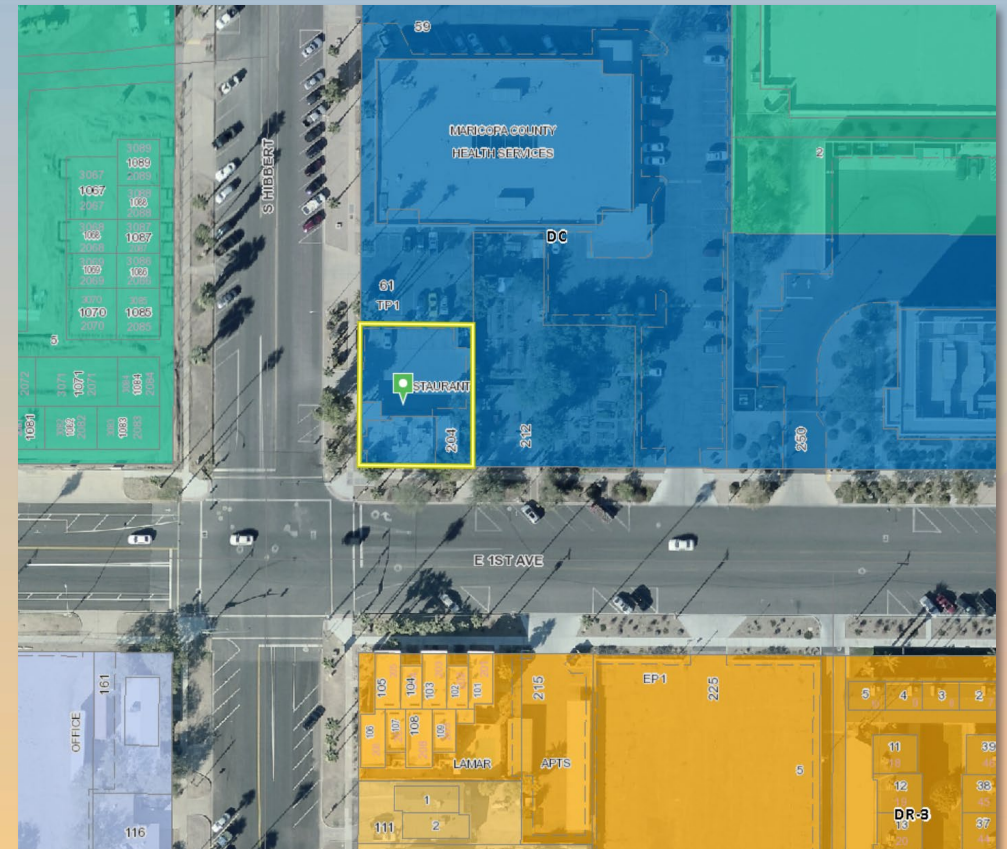
- Recognizes specialized signage in the creation of distinctive places





Zoning

- Downtown Core (DC)
- The existing use is permitted in the Downtown Core District





Site Photos



Looking north from E 1st Ave



Looking east from S Hibbert



Proposed CSP

- Increase the number of awning signs
- Increase awning sign length

Sign Standards	MZO Requirements	Proposed	Staff Recommendation
Maximum Number of Signs	MZO Section 11-43-3.F: Awning Signs - 1 per street frontage and 1 per alley frontage	3 total signs	As Proposed
Maximum Sign Area	MZO Section 11-43-3.F: Awning Signs – 1 square foot of sign area per linear foot of awning	South awnings: “Restaurant” – 2.3 square feet “Lunch Dinner” – 2.4 square feet North awning: “Empanadas” – 12 square feet	As Proposed
Maximum Sign Length	MZO Section 11-43-3.F: Awning Signs – 50% of awning	South awnings: “Restaurant” – 76% of awning (4.58 feet) “Lunch Dinner” – 81% (4.83 feet) North awning: “Empanadas” – 64% (9 feet)	As Proposed



Sign Plan



South Building Elevation



Sign Plan



North Building Elevation



West Building Elevation



Sign Plan



Existing monument
sign

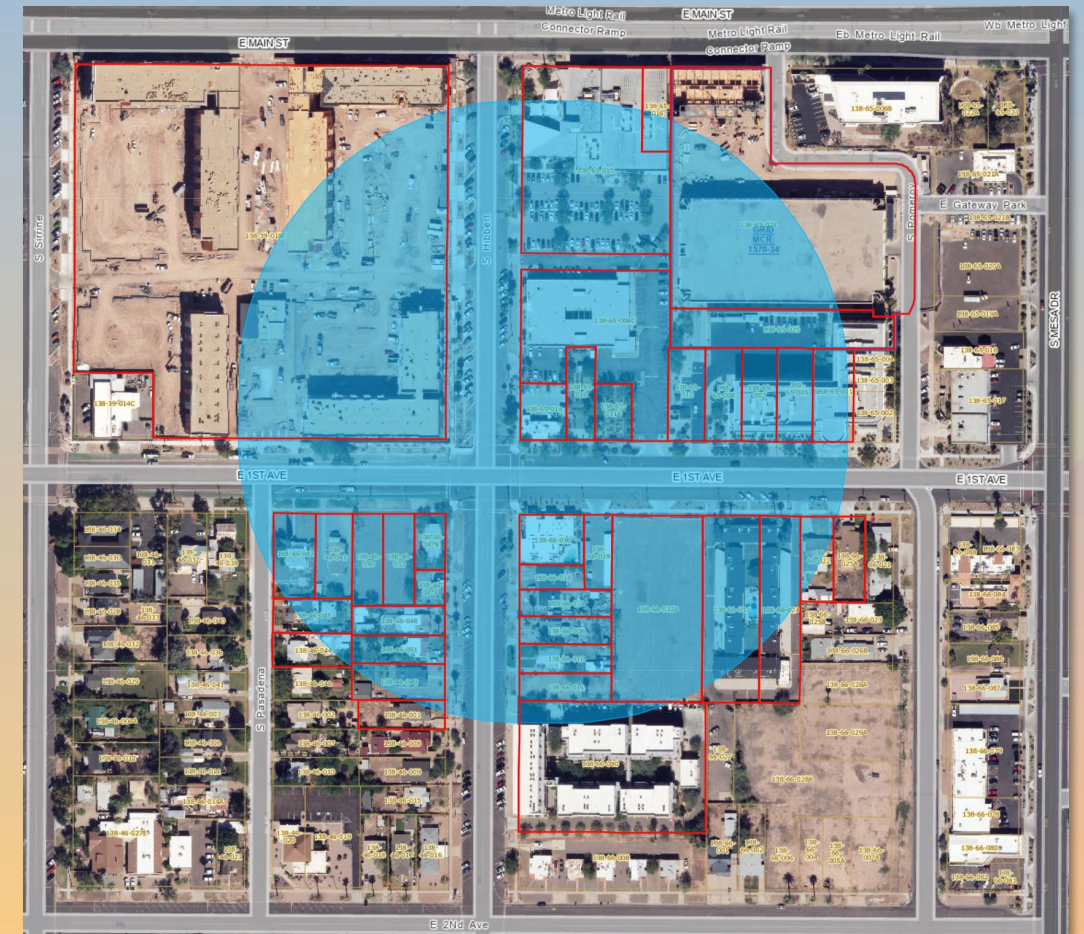


Refaced monument
sign



Citizen Participation

- Notified property owners within 500 feet
- Staff has not been contacted by neighbors





Approval Criteria

Section 11-46-3.D CSP Criteria

- ✓ The site contains unique or unusual physical conditions that would limit or restrict normal sign visibility.
- ✓ The development exhibits unique characteristics of land use, that represent a clear variation from conventional development.
- ✓ The proposed signage incorporates special design features that reinforce or are integrated with the building architecture.



Approval Criteria

Section 11-70-5.E SUP Criteria

- ✓ Project will advance the goals and objectives of the General Plan and other City plan and/or policies;
- ✓ Location, size, design, and operating characteristics are consistent with the purposes of the district where it is located and conform with the General Plan and any other applicable City plan or policies;
- ✓ Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available.



Findings

- ✓ Complies with the Mesa 2040 General Plan
- ✓ Meets the CSP criteria of Section 11-46-3.D of the MZO
- ✓ Meets the SUP findings of Section 11-70-5.E of the MZO

Staff recommends Approval with Conditions



Board of Adjustment

BOA23-00575