

CANARANO ARCHITECTURE
 ARCHITECTURE, DEVELOPMENT,
 COMMERCIAL, RESIDENTIAL
 15658 N. BOULDER DR., FOUNTAIN HILLS, AZ. 85266 PH. 480.233.5939
 email: carlos@canarano.com

CAZO DE ORO RESTAURANT REMODEL
 1002 E. MAIN STREET
 MESA, AZ. 85203

REVISIONS	
NO.	DESCRIPTION
1	MAT. ELEV. CHANGE
2	CITY COMMENTS

Project No: 22011-02

SHEET TITLE
 COLOR ELEVATIONS

ISSUE DATE: 04/01/2024

A511

KEYNOTES

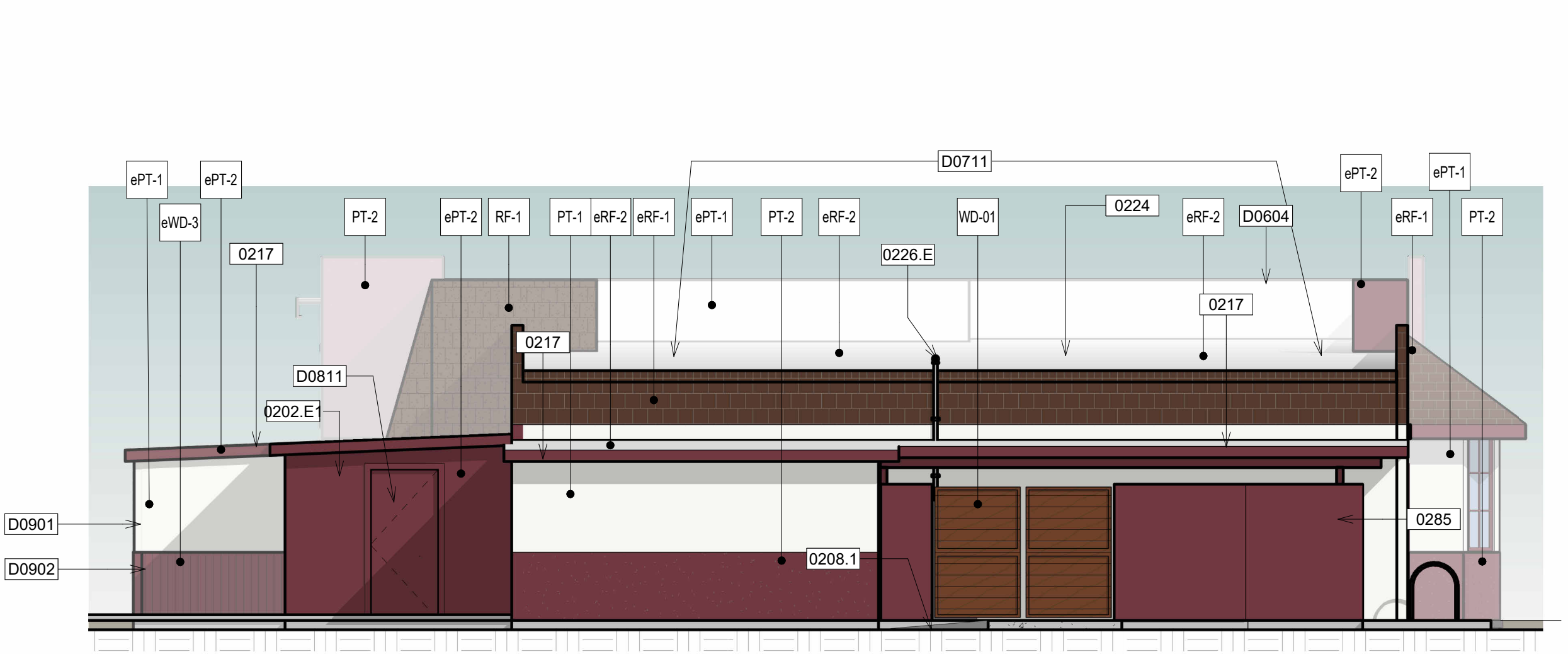
- 0202.E1 EXISTING STRUCTURE TO REMAIN
- 0205 EXISTING WINDOW TO REMAIN - PAINT FRAME TO MATCH NEW METAL TRIM COLOR
- 0208.1 EXISTING LOADING RAMP
- 0217 EXISTING SHED ROOF TO REMAIN
- 0224 EXISTING FLAT ROOF WITH BATT INSULATION
- 0226.E EXISTING ELECTRICAL RISER - REFER TO PICTURE EXHIBIT IN SHEET AD.511
- 0232 EXISTING COVERED PATIO TO REMAIN
- 0295 EXISTING FENCE TO REMAIN
- 0573 METAL RAILING
- 0741 ROOF PROJECTION BEYOND PARAPET
- 0784 DOWNSPOUT NOZZLE
- 0785 CONCRETE SPLASH BLOCK
- 1002 ADDRESS SIGN BY OTHERS
- 3281 BUILDING SIGN, SIMILAR TO EXISTING - UNDER SEPARATE PERMIT
- 3282 FLAG AND FLAG POLE
- 3283 SCUPPER IN SIDEWALK, PROVIDE 6"x4" GALVANIZED STEEL TUBE WITH 2" WELDED DOWELS 2" O.C. EMBEDDED IN CONCRETE AT EA. SIDE.
- D0604 EXISTING PARAPET TO REMAIN
- D0711 EXISTING OPEN ROOF AREA SHEDDING WATER TO SOUTH. NO PARAPET HERE.
- D0804 EXISTING LATTICE COVERING WINDOW BEHIND TO BE REMOVED AND WINDOW TO BE FIXED AS NEEDED
- D0811 EXISTING DOOR TO REMAIN
- D0812 EXISTING WINDOW TO REMAIN
- D0901 EXISTING LATTICE BOARDS TO BE FIXED AND PAINTED AS NEEDED. REFER TO COLOR ELEVATIONS
- D0902 EXISTING VERTICAL BOARDS TO BE FIXED AND PAINTED AS NEEDED. REFER TO COLOR ELEVATIONS

GENERAL NOTES

1. EXISTING BUILDING TO REMAIN.
2. EXISTING BUILDING ROOF TILES TO BE REPAIRED / FIXED AS NEEDED.
3. EXISTING WALLS AND TRIM TO BE PAINTED / REPAIRED AS NEEDED.
4. EXISTING BUILDING TO BE REPAINTED USING SIMILAR COLORS TO CURRENT ELEMENTS WHICH ARE MARKED "SIM. TO EXST. COLOR" IN THE LEGEND BELOW.
5. REFER TO MATERIAL LEGEND FOR EXTERIOR FINISHES AND COLOR.

MATERIAL LEGEND

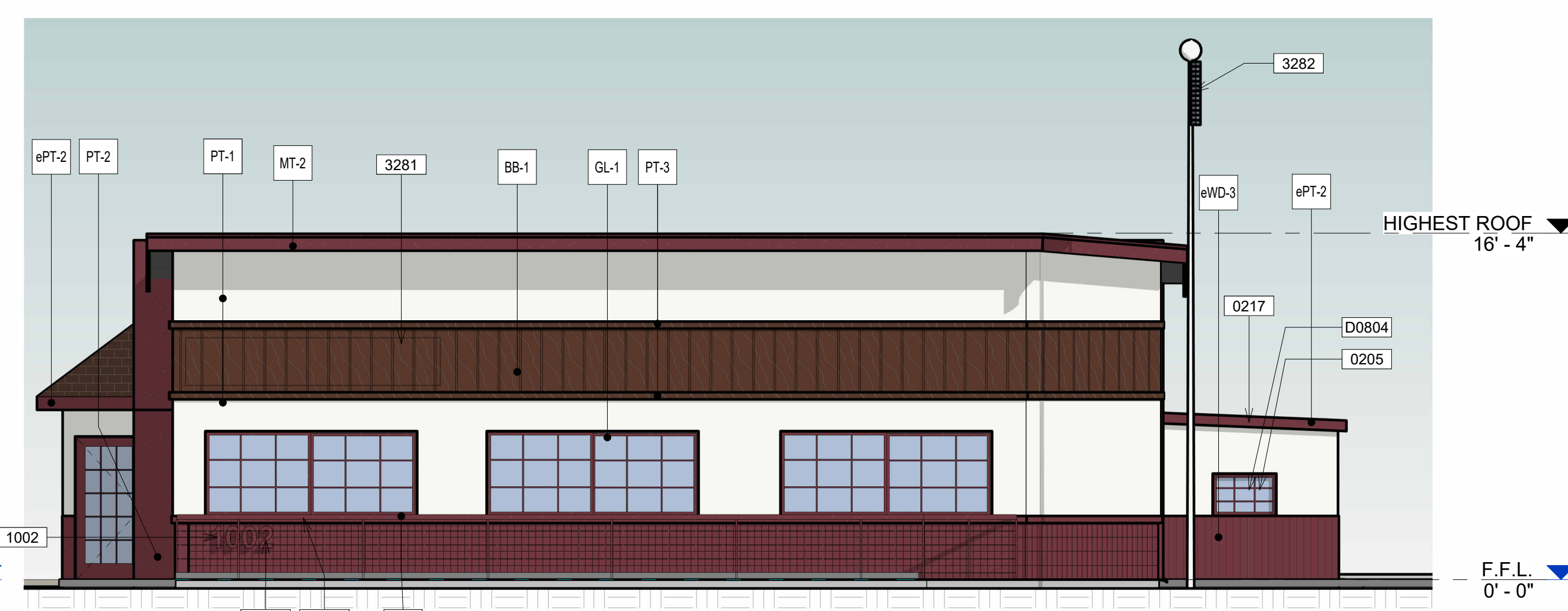
- EXISTING MATERIALS**
- eRF-1 EXST. ASPHALT SHINGLE ROOF TO REMAIN (REPAIR ONLY IF NEEDED)
 - eRF-2 EXISTING FLAT ROOF
 - eWD-3 EXISTING WOOD BOARDS PAINTED PPG1187-7 RED GUMBALL, RGB: 172 58 62, LRV: 12
 - ePT-1 EXISTING WALL PAINT PPG1007-1 WILLOW SPRINGS, RGB: 231 230 224, LRV: 79
 - ePT-2 EXISTING WALL PAINT PPG1187-7 RED GUMBALL, RGB: 172 58 62, LRV: 12
- NEW MATERIALS**
- PT-1 WHITE PAINT TO MATCH EXISTING PPG1007-1 WILLOW SPRINGS, RGB: 231 230 224, LRV: 79
 - PT-2 RED PAINT TO MATCH EXISTING PPG1187-7 RED GUMBALL, RGB: 172 58 62, LRV: 12
 - PT-3 BROWN PAINT COLOR SIMILAR TO EXISTING SHINGLES PPG15-23 CHESTNUT, RGB: 98 78 69, LRV: 9
 - BB-1 BOARD AND BATTEN - JAMES HARDIE OR NICHHA PPG15-23 CHESTNUT, RGB: 98 78 69, LRV: 9
 - MT-2 PAINT METAL EXTERIOR "SIM. TO EXST. COLOR" PPG1187-7 RED GUMBALL, RGB: 172 58 62, LRV: 12
 - MS-1 SCORED CMU BLOCK 8X8X16 PPG1187-7 RED GUMBALL, RGB: 172 58 62, LRV: 12
 - GL-1 INSULATED GLASS



NORTH MATERIALS' PERCENTAGE

MATERIAL	AREA	%
MS-1	66 SF	10%
PT-1	296 SF	45%
PT-2	296 SF	45%
TOTAL	658 SF	100%

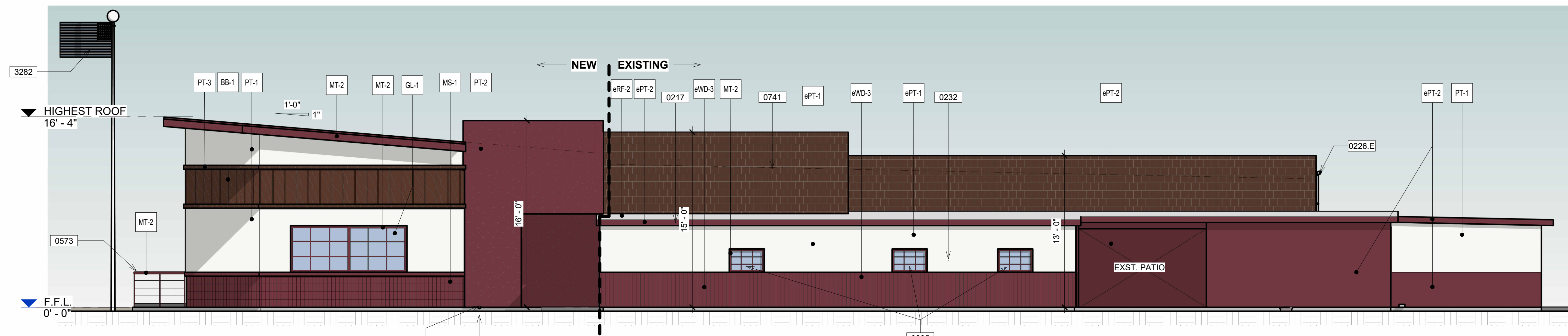
4 EXST. NORTH ELEVATION - REPAIR & PAINT ONLY
 3/16" = 1'-0"



SOUTH MATERIALS' PERCENTAGE

MATERIAL	AREA	%
BB-1	171 SF	23%
MS-1	140 SF	19%
PT-1	326 SF	44%
PT-2	99 SF	13%
TOTAL	736 SF	100%

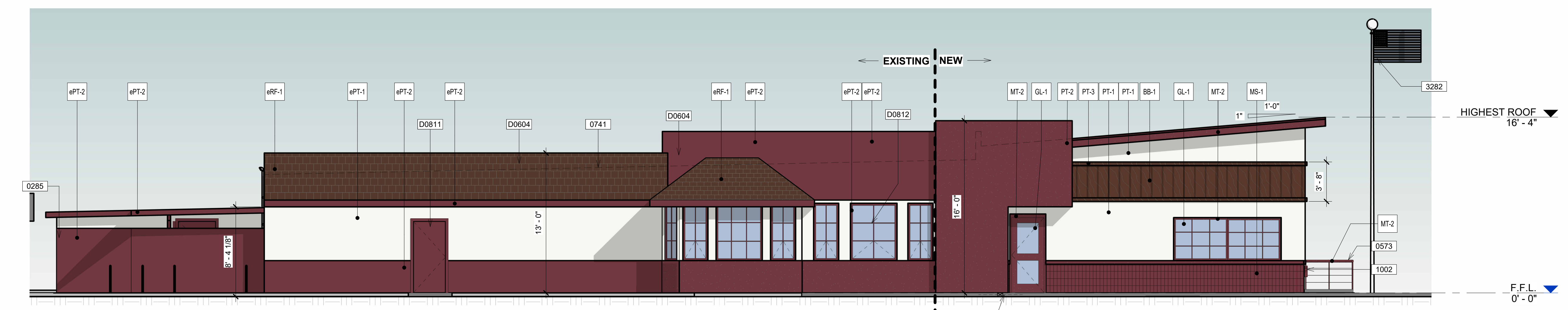
3 SOUTH ELEVATION
 3/16" = 1'-0"



EAST MATERIALS' PERCENTAGE

MATERIAL	AREA	%
BB-1	89 SF	8%
MS-1	72 SF	6%
PT-1	501 SF	44%
PT-2	478 SF	42%
TOTAL	1,140 SF	100%

2 EAST ELEVATION - NEW AND EXISTING
 3/16" = 1'-0"



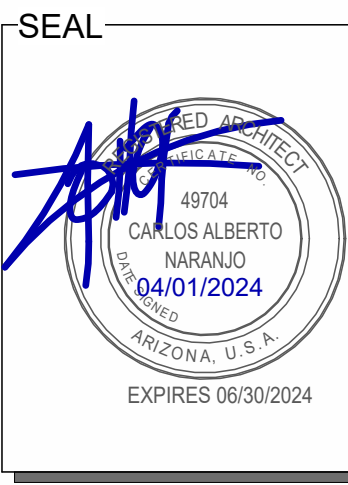
WEST MATERIALS' PERCENTAGE

MATERIAL	AREA	%
BB-1	80 SF	7%
MS-1	157 SF	14%
PT-1	386 SF	36%
PT-2	464 SF	43%
TOTAL	1,087 SF	100%

1 WEST ELEVATION - NEW AND EXISTING
 3/16" = 1'-0"

BOARD OF ADJUSTMENT SECOND SUBMITTAL

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REVISIONS	
NO.	DESCRIPTION
1	MAT. ELEV. CHANGE
2	CITY COMMENTS

Project No: 22011-02

SHEET TITLE
B&W
ELEVATIONS

ISSUE DATE: 04/01/2024

A512

KEYNOTES

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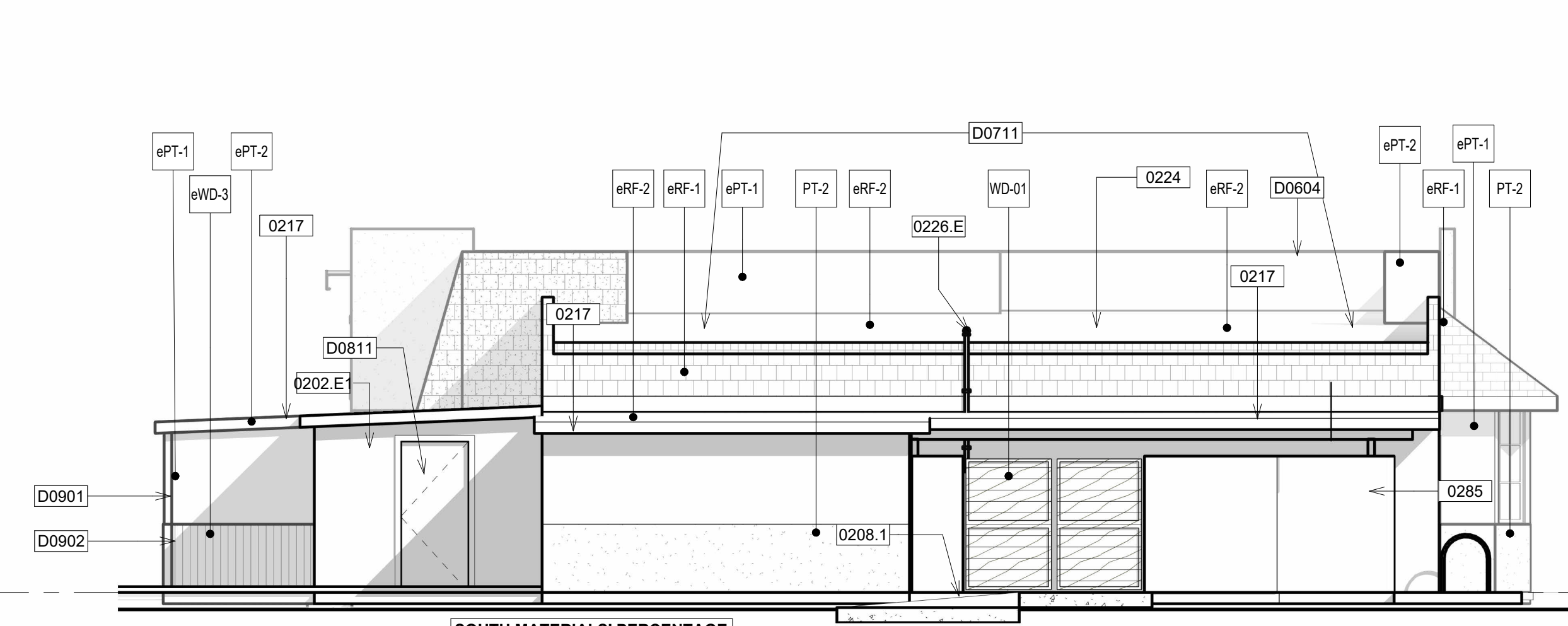
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NEW MATERIALS

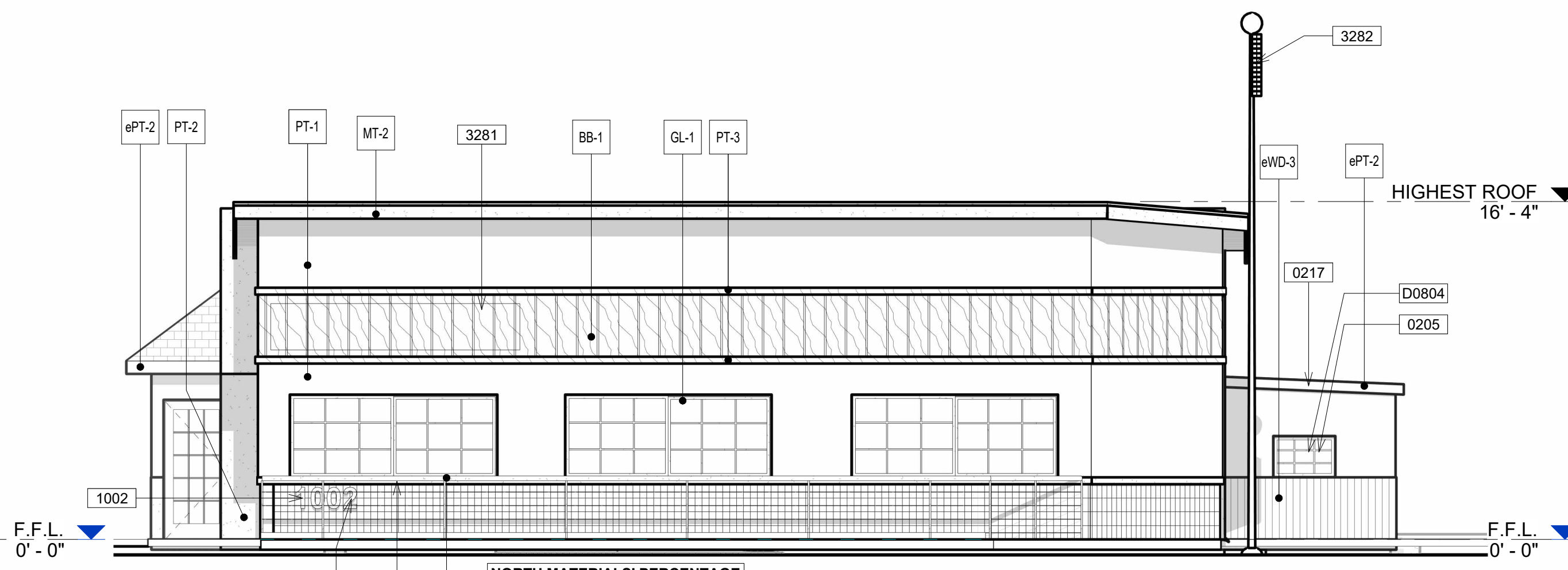
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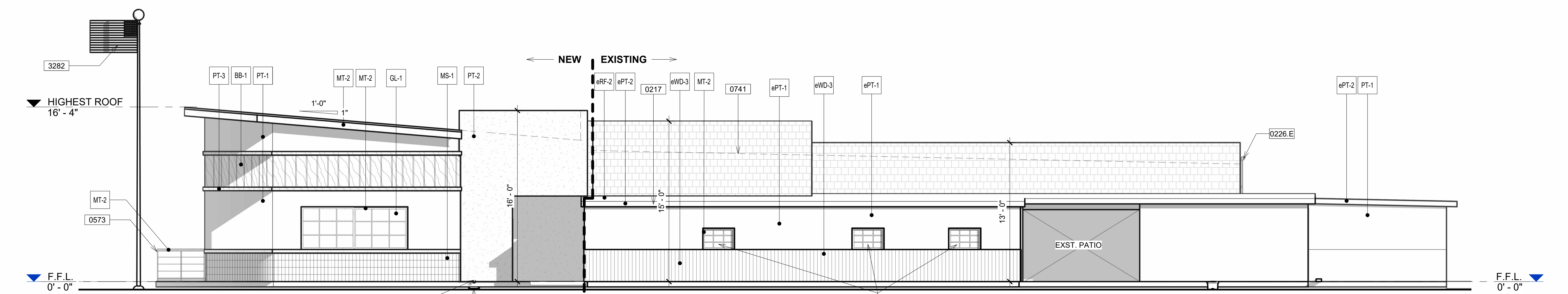
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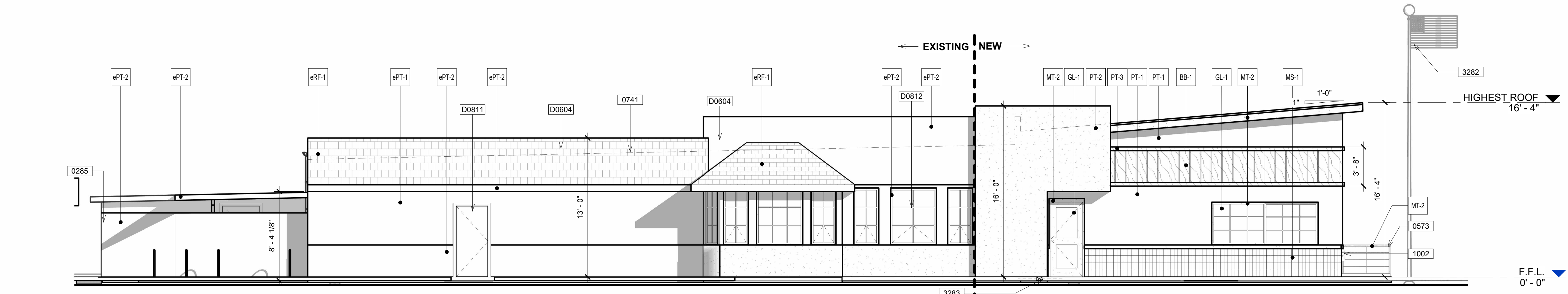
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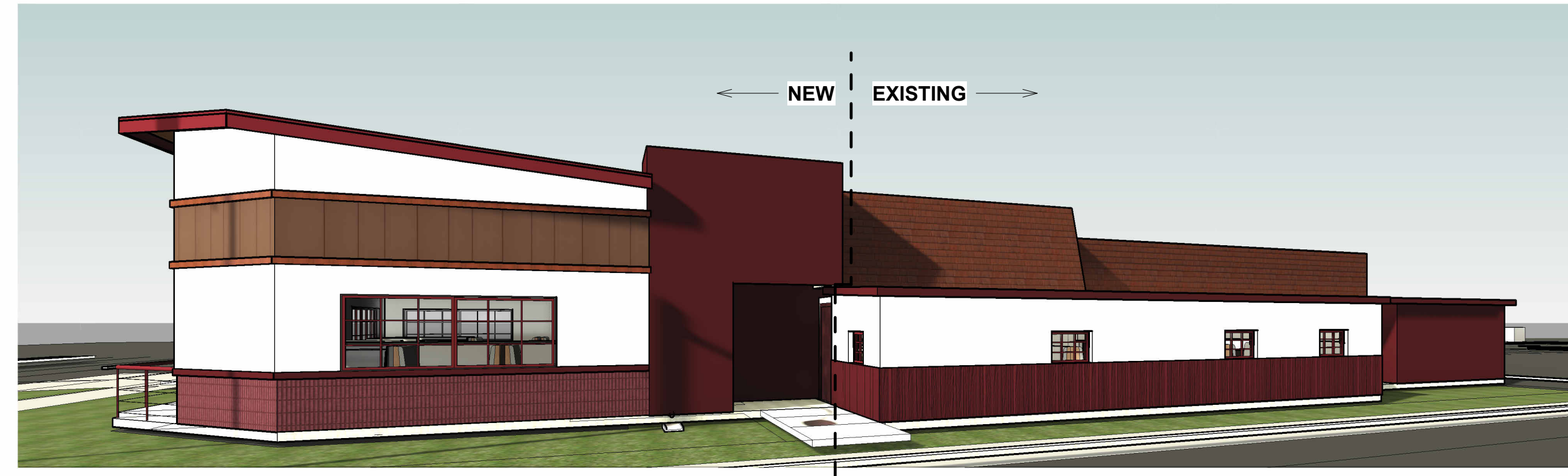


WEST MATERIALS' PERCENTAGE

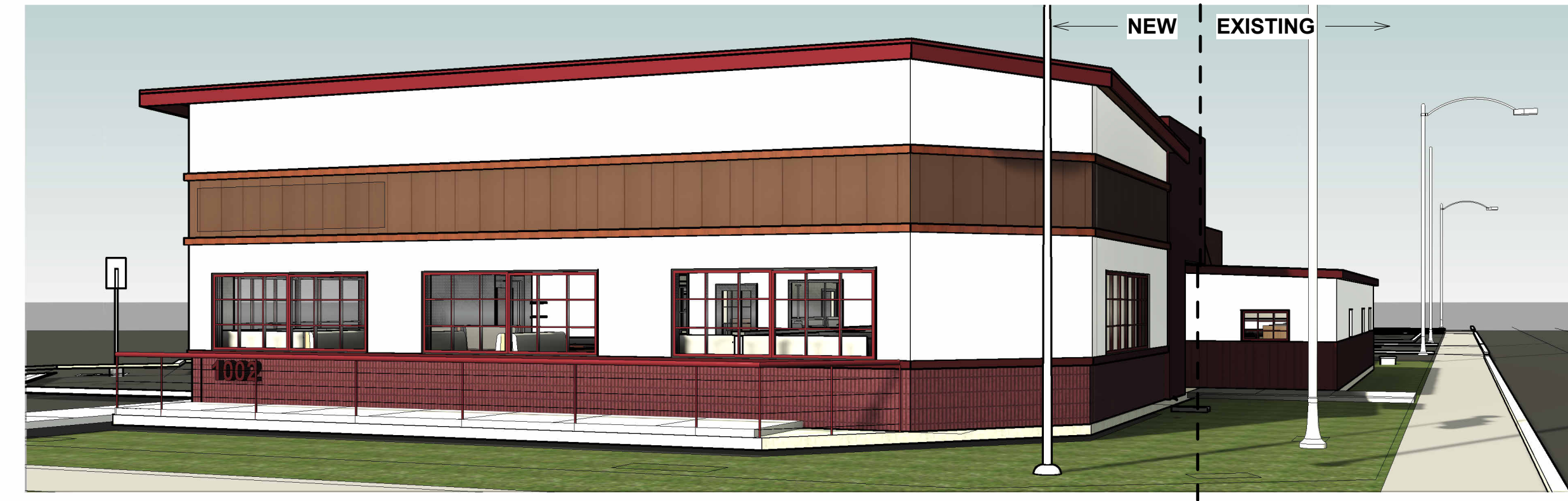
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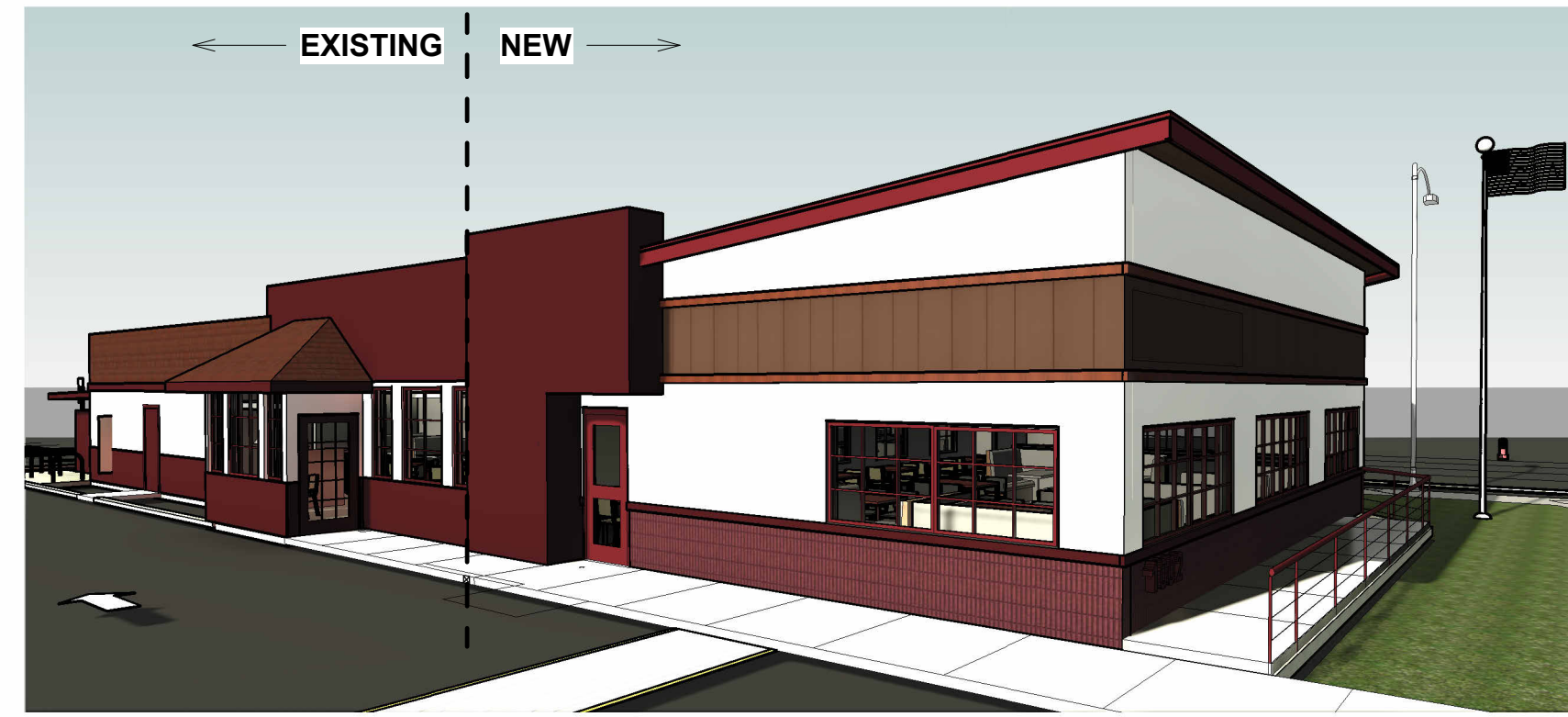
BOARD OF ADJUSTMENT SECOND SUBMITTAL
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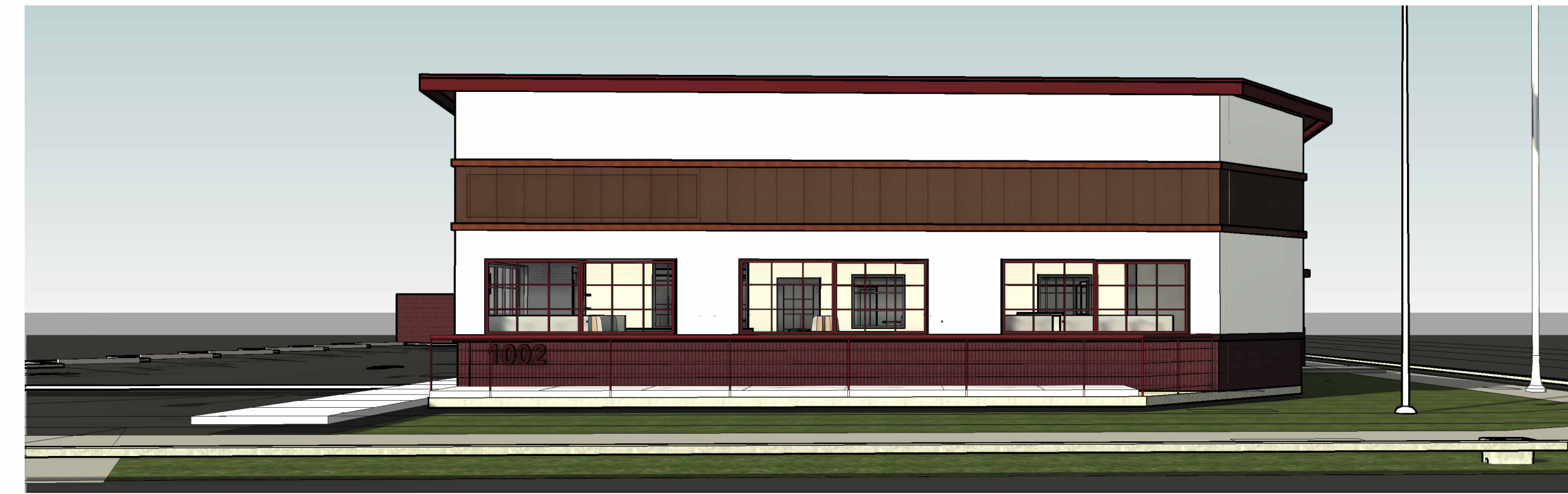
MILLER STREET PERSPECTIVE



SEC PERSPECTIVE



SWC PERSPECTIVE



MAIN STREET PERSPECTIVE



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email: carlo@canarano.com

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MESA, AZ. 85203

REVISIONS		
NO.	DESCRIPTION	DATE
1	MAT. ELEV. CHANGE	07/25/23

Project No: 22011-02

SHEET TITLE
PERSPECTIVES

ISSUE DATE: 04/01/2024

A901

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