



SEG

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**Citizen Participation Report for
Case #ZON23-01002**

Whataburger Mesa

365 S. Power Road



(Example Rendering)

Request:

Site Plan Review for a proposed fast-food restaurant located at 365 S. Power Rd., Mesa, AZ

Date: April 2, 2024



Overview

This report provides results of the implementation of the Citizen Participation Plan for Whataburger, Case # ZON23-01002. The site is located at 365 S. Power Road on the northeast corner of Power Rd. and Broadway Rd. The application is a Site Plan Review for a new Quick Service Restaurant with 2-lane drive through. The existing bank building with drive through will be raised and a new building erected. This report provides evidence that the citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application.

Applicant Contact

Clint Basham
Planning and Entitlement Manager
Sustainability Engineering Group, LLC
5240 N 16th Street, Suite 105
Phoenix, Arizona 85016
Phone: 480-237-2511
Email: clint@azseg.com

City of Mesa Contact

Kwasi Abebrese, Planner I
City of Mesa
55 N Center Street
Mesa, Arizona 85201
Phone: 480-644-2764
Email: Kwasi.Abebrese@mesaaz.gov

Pre-Application Meeting

A pre-application meeting with the City of Mesa planning staff was held on March 28, 2023. The purpose of the pre-application meeting was for staff to conduct a review of the preliminary site plan and provide design recommendations.

Actions Taken

The following actions have been taken to provide opportunities to understand and address any real or perceived impacts this development will have on members of the community.

1. A contact list of property owners was provided by City Staff via DIMES consisting of neighbors within 1,000' of the property.
2. A contact list of registered neighborhood associations and HOAs within 1 mile of the property was provided by City Staff via DIMES.
3. For each application hearing required for citizens and agencies, notification letters were sent out. Notification letters included all of the following details:
 - All registered neighborhood associations and HOAs within 1 mile and property owners within 1000 ft. of the development site as required per Sec. 11-67-5.
4. Any Property Owners/HOAs listed on the contact list were sent a "Notice of Public Hearing" letter describing the application's request, project details, a copy of the site plan and notification of the time/date of the hearings.
5. Sign posting of application details and PZ hearing date. Sign was posted on March 26th that outlined the hearing/meeting date.

Correspondence and Meeting Schedules

Pre-Submittal Application Submittal – 2/27/23
Pre-Submittal Meeting – March 28, 2023
1st Site Plan Review Application Submittal – 12/8/23
2nd Site Plan Submittal – 2/12/24
3rd Site Plan Submittal – 3/15/24
Notification Letter Mailing – 3/26/24
Meeting Notification Sign Posted – 3/26/24
Zoning Hearing Planning & Zoning Board – 4pm, 4/10/24



Results

The results of the Citizen Participation Plan are as follows: 99 citizens, HOA's, businesses, plus the City of Mesa were notified of the Zoning Hearing for the Planning & Zoning Board. No phone calls, letters, or other correspondence were received in response to the notification. The Notification Sign was posted the same day the letters were mailed out and no inquiries were received about the meeting, the application for the new restaurant or any other reason related to the application.

Attachments

1. Notification Letter
2. Contact Mailing List
 - a. All registered neighborhood associations and HOAs within 1 mile and property owners within 1000 ft. of the development site as required per Sec. 11-67-5HOA
3. Site Plan
4. Building Elevations
5. Affidavit of Sign Posting and Photo of Sign Posted

****Public Hearing Notification by City of Mesa Planning Division****

(Planning & Zoning Board Hearing – WHATABURGER RESTAURANT WITH DRIVE-THRU)

Dear Neighbor,

We have applied for **SITE PLAN REVIEW** for the property located at **365 SOUTH POWER ROAD – NEC POWER ROAD AND BROADWAY ROAD, MESA ARIZONA**. This request is for the development of a **WHATABURGER RESTAURANT WITH DRIVE-THRU**. The case number assigned to this project is **ZON23-01002**.

This letter is being sent to all property owners within **1000 feet** of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me **Clint Basham** at 480-588-7226 or e-mail me at Clint@azseg.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on April 10, 2024 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099** or **877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to **Kwasi Abebrese, Planner II** of their Planning Division staff. He can be reached at 480-644-2764 or Kwasi.Abebrese@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,



In Care Of	Current Tax Year	Current Full Cash Value	Current Limited Property Value	Previous Tax Year	Previous Full Cash Value	Previous Limited Property Value	PUC	MCR BOOK	MCR PAGE	Zoning	Jurisdiction	Current Tax Year Legal Class	Previous Tax Year Legal Class	Block	Tract	Shape *	
<Null>	2024	500	500	2023	500	500	261	435		8 RM-2	MESA			4.8	<Null>	F	Polygon Z
<Null>	2024	382,300	326,960	2023	323,900	311,391	1074	<Null>		LC	MESA			1.12	<Null>	<Null>	Polygon Z
<Null>	2024	1,216,877	975,872	2023	1,054,200	929,402	1610	351		10 LC	MESA			1.12	<Null>	<Null>	Polygon Z
PARADIGM TAX GROUP	2024	297,700	190,907	2023	255,600	181,817	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	153,600	120,393	2023	129,900	114,660	1416	351		10 LC	MESA				M	<Null>	Polygon Z
<Null>	2024	297,700	190,907	2023	255,600	181,817	8540	435		8 RM-2	MESA			3.1 M	<Null>	<Null>	Polygon Z
<Null>	2024	1,228,700	810,337	2023	1,035,000	771,750	1410	351		10 LC	MESA			1.8 M	<Null>	<Null>	Polygon Z
<Null>	2024	1,538,626	792,783	2023	1,294,000	755,032	2030	351		10 LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	484,238	284,404	2023	414,300	305,147	1760	451		10 LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	296,600	189,930	2023	254,500	180,886	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	301,300	194,817	2023	258,600	185,540	8540	435		8 RM-2	MESA			3.2	3.2	<Null>	Polygon Z
<Null>	2024	296,100	148,621	2023	254,000	180,265	8540	435		8 RM-2	MESA			4.1 M	<Null>	<Null>	Polygon Z
<Null>	2024	301,300	194,817	2023	258,600	185,540	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
STENBROTEN JOHN S/ALLY A TR	2024	297,700	190,907	2023	255,600	181,817	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	297,100	190,256	2023	255,100	181,197	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	300,600	154,413	2023	258,000	147,060	8540	435		8 RM-2	MESA			4.1 M	<Null>	<Null>	Polygon Z
<Null>	2024	297,700	190,907	2023	255,600	181,817	8540	435		8 RM-2	MESA			3.2	3.2	<Null>	Polygon Z
<Null>	2024	301,300	154,772	2023	258,600	147,402	8540	435		8 RM-2	MESA			4.1 M	<Null>	<Null>	Polygon Z
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<Null>	2024	1,372,000	723,906	2023	1,140,500	689,435	2157	593		15 LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	297,700	190,907	2023	255,600	181,817	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	301,300	194,817	2023	258,600	185,540	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	300,600	194,000	2023	258,000	184,762	8540	435		8 RM-2	MESA			3.1 M	<Null>	<Null>	Polygon Z
FISCHER JUDITH ANN TR	2024	297,700	190,907	2023	255,600	181,817	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	300,600	106,050	2023	101,000	101,000	8540	435		8 RM-2	MESA			4.1 M	<Null>	<Null>	Polygon Z
<Null>	2024	254,000	180,265	2023	254,000	180,265	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
SMITH RONALD G/BARBARA A TR	2024	296,100	189,278	2023	254,000	180,265	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	296,100	189,278	2023	254,000	180,265	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	296,600	189,930	2023	254,500	180,886	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	296,600	189,930	2023	254,500	180,886	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	296,100	189,278	2023	254,000	180,265	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	299,600	193,023	2023	256,800	183,832	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	295,000	145,992	2023	252,800	179,488	8540	435		8 RM-2	MESA			3.1 M	<Null>	<Null>	Polygon Z
<Null>	2024	296,600	189,930	2023	253,300	180,109	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	300,300	193,839	2023	257,500	184,609	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	301,500	195,142	2023	258,200	185,850	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
LUDWIG & ROSA LORENE SCHAFF	2024	299,200	192,698	2023	256,200	183,522	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	1,328,881	889,376	2023	1,121,200	847,025	2140	593		15 LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	1,315,116	881,557	2023	1,133,800	839,579	2140	593		15 LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	298,100	71,736	2023	260,800	68,320	131	98		1 RS-6	MESA			4.1	4.1	<Null>	Polygon Z
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<Null>	2024	299,600	125,965	2023	263,200	119,967	131	98		1 RS-6	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	336,800	137,154	2023	296,000	130,623	131	98		1 RS-6	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	332,200	134,027	2023	292,000	127,645	131	98		1 RS-6	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	135,647	109,988	2023	115,600	104,751	2630	317		6 LC	MESA			1.12 M	<Null>	<Null>	Polygon Z
<Null>	2024	816,715	625,022	2023	645,700	471,450	2030	317		6 LC	MESA			1.12	1.12	<Null>	Polygon Z
TAX DEPT	2024	1,300,332	1,078,121	2023	1,174,100	1,026,782	9020	<Null>		NC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	1,386,249	996,067	2023	1,164,500	948,636	1130	317		6 LC	MESA			1.12	1.12	<Null>	Polygon Z
SG MANAGEMENT L P/PROPERTY TAX - 8TH FLOO	2024	1,048,067	825,927	2023	896,300	786,598	2320	<Null>		LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	50,300	26,271	2023	42,600	25,020	550	174		31 AG	MESA			1.3	1.3	<Null>	Polygon Z
<Null>	2024	1,701,213	1,399,765	2023	1,961,500	1,333,110	9070	277		10 OC	MESA			2. R	<Null>	<Null>	Polygon Z
<Null>	2024	11,769	10,556	2023	11,800	10,530	2640	<Null>		LC	MESA			1.12	1.12	<Null>	Polygon Z
AKHTAR PROPERTY MANAGEMENT CO	2024	2,104,413	1,618,307	2023	1,761,000	1,541,245	2020	<Null>		LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	915,306	744,620	2023	755,500	709,162	1755	<Null>		LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	673,528	510,332	2023	573,800	486,031	1760	351		10 LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	2,332,387	1,309,633	2023	2,006,200	1,247,270	2140	277		10 OC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	11,256,561	4,221,301	2023	9,764,600	4,020,287	2120	277		10 LC	MESA			1.12	1.12	<Null>	Polygon Z
<Null>	2024	11,346,762	4,666,592	2023	9,827,500	4,253,898	1910	277		10 RM-4	MESA			4.5	4.5	<Null>	Polygon Z
RYAN PTS DEPT 123	2024	92,363	34,445	2023	78,630	32,805	8802	277		10 LC	MESA			1.12	1.12	<Null>	Polygon Z
C/O JOHN W PERKINSON	2024	1,147,300	948,811	2023	966,100	903,630	1410	351		10 LC	MESA			1.8	1.8	<Null>	Polygon Z
<Null>	2024	296,100	189,278	2023	254,000	180,265	8540	435		8 RM-2	MESA			3.1 M	<Null>	<Null>	Polygon Z
<Null>	2024	299,600	193,023	2023	256,800	183,832	8540	435		8 RM-2	MESA			4.2	4.2	<Null>	Polygon Z
<Null>	2024	300,300	193,839	2023	257,500	184,609	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
COLTON BRENT J/CARMA B TR	2024	300,600	194,000	2023	258,000	184,762	8540	435		8 RM-2	MESA			3.1	3.1	<Null>	Polygon Z
<Null>	2024	292,600	186,835	2023	251,200	177,939	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	297,100	190,256	2023	255,100	181,197	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
<Null>	2024	297,700	190,907	2023	255,600	181,817	8540	435		8 RM-2	MESA			4.1	4.1	<Null>	Polygon Z
BINGHAM DONNA LEE TR	2024	297,100	190,256	2023	255,100	181,197	8540	43									

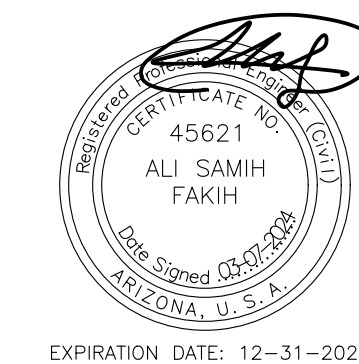
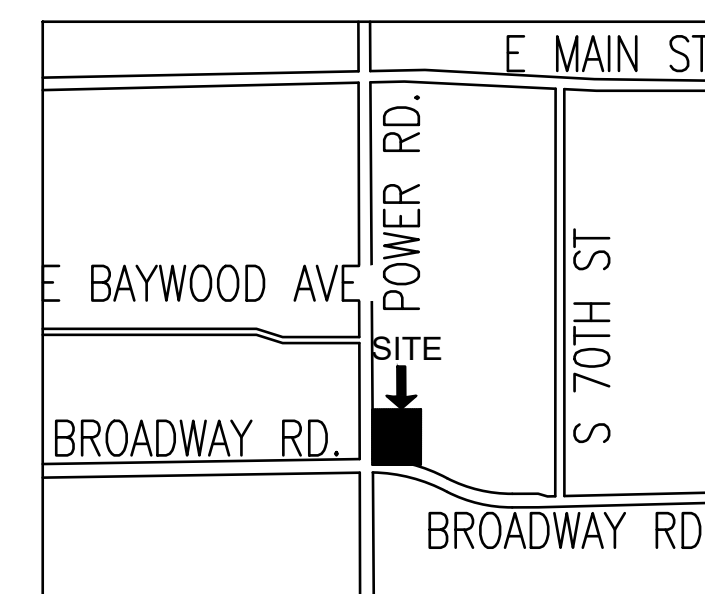
DEVELOPER
 WHATABRANDS REAL ESTATE
 300 CONCORD PLAZA DRIVE
 SAN ANTONIO, TX 78216
 CONTACT: KATIE NELSON
 PHONE: 210-476-6842
 EMAIL: KNELSON@WBHQ.COM

CIVIL ENGINEER
 SUSTAINABILITY ENGINEERING GROUP
 5240 N.16TH STREET, SUITE 105
 PHOENIX, AZ 85016
 ATTN: ALI FAKIH
 PHONE: 480-588-7226
 EMAIL: ALI@AZSEG.COM

LANDSCAPE ARCHITECT:
 HARRINGTON PLANNING+DESIGN, LLC
 4711 N. FALCON DRIVE, SUITE 222 MESA
 ARIZONA 85215
 ATTN: JASON HARRINGTON
 PHONE: 480-250-0116
 EMAIL: JASON@HARRINGTONPLANNINGDESIGN.COM

WHATABURGER SITE PLAN

365. S. POWER ROAD & E. BROADWAY ROAD, MESA ARIZONA, 85206.
 A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 1
 NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
 MARICOPA COUNTY, ARIZONA.



EXPIRATION DATE: 12-31-2024

OWNER
 TC ELLIOT GATEWAY VENTURE, LLC
 2575 E. CAMELBACK RD. SUITE 400
 PHOENIX, AZ 85016
 PHONE: 480-239-9275
 ATTN: RYAN NORRIS

SITE PLAN NOTES

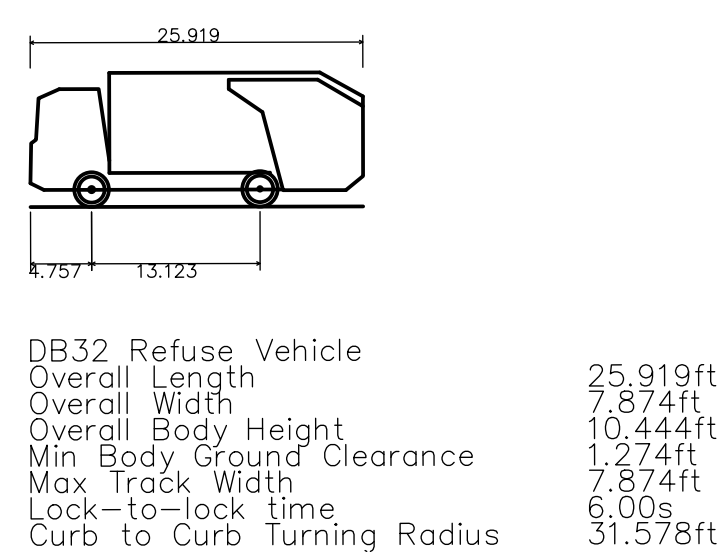
- DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- IF APPLICABLE, PEDESTRIAN ACCESS ROUTES ARE PROVIDED IN COMPLIANCE WITH THE LATEST ADA STANDARDS. ALL RAMPS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAAG) STANDARDS, 2% MAX CROSS SLOPES, AND 5% MAXIMUM LONGITUDINAL SLOPES. TRUNCATED DOMES, AS DETECTABLE WARNINGS, ARE REQUIRED, AS SHOWN IN PLANS, ON ALL SITE RAMPS AND WALKS THAT CROSS A VEHICULAR WAY PER ADAAG CHAPTER 7.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- ALL SIGNAGE REQUIRES SEPARATE APPROVAL AND PERMITS.
- A MINIMUM 6-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES WILL BE MAINTAINED.
- OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH APPROVED PLANS.

DEVELOPMENT SUMMARY TABLE:			
ZONING:	LC		
LOT AREA:	41,818 SF	0.96 AC	
BUILDING FOOTPRINT:	2,859 SF		
LOT COVERAGE		REQUIRED	PROPOSED
		80% MAX.	70%
IMPERVIOUS SURFACE	33454.4 MAX.	29255.0 SF	
MAX. BUILDING HEIGHT:	30'	19'	
PROPOSED BUILDING HEIGHT:	18'-11"-1 Story		
SETBACKS:		REQUIRED	PROVIDED
FRONT (S):	15'		
SIDE (W):	15'		
SIDE (E):	NONE		
REAR (N):	NONE		
INTERSECTION:	25'		
3' High wall along street frontage			
DRIVE-THROUGH REQUIREMENTS		REQUIRED:	PROVIDED:
LANE "A" ENTRANCE TO MENU	40'		68'
LANE "B" ENTRANCE TO MENU	40'		68'
LANE "A" MENU TO WINDOW	100'		103'
LANE "B" MENU TO WINDOW	100'		116'
PARKING REVIEW: 9.5'x18' (90°)			
INDOOR FLOOR AREA:		REQUIRED	PROVIDED
DINING AREA:	669 SF	50	1 per 50 sf exclusive of kitchen, restroom, storage, etc.
REQUIRED CAR PARKING:	28 SPACES		
PROPOSED CAR PARKING:	28 SPACES		
REQUIRED ADA PARKING:	2 SPACES		
PROPOSED ADA PARKING:	2 SPACES		

PROPOSED LEGEND:

- PROPERTY LINE
- ==== CURB AND GUTTER
- ===== VERTICAL CURB
- MASONRY WALL
- (X) PARKING COUNT
- - - - SAWCUT LINE
- PROPOSED LIGHT POLE
- PROPOSED SIGN
- ▨ CONCRETE PAVEMENT
- ▩ TEXTURED PAVEMENT
- ▧ HEAVY DUTY PAVEMENT
- ▨ PAVEMENT STRIPING
- ACCESSIBLE PEDESTRIAN PATH
- STEEL BOLLARD
- 35'/55' FIRE ACCESS TURN RADIUS

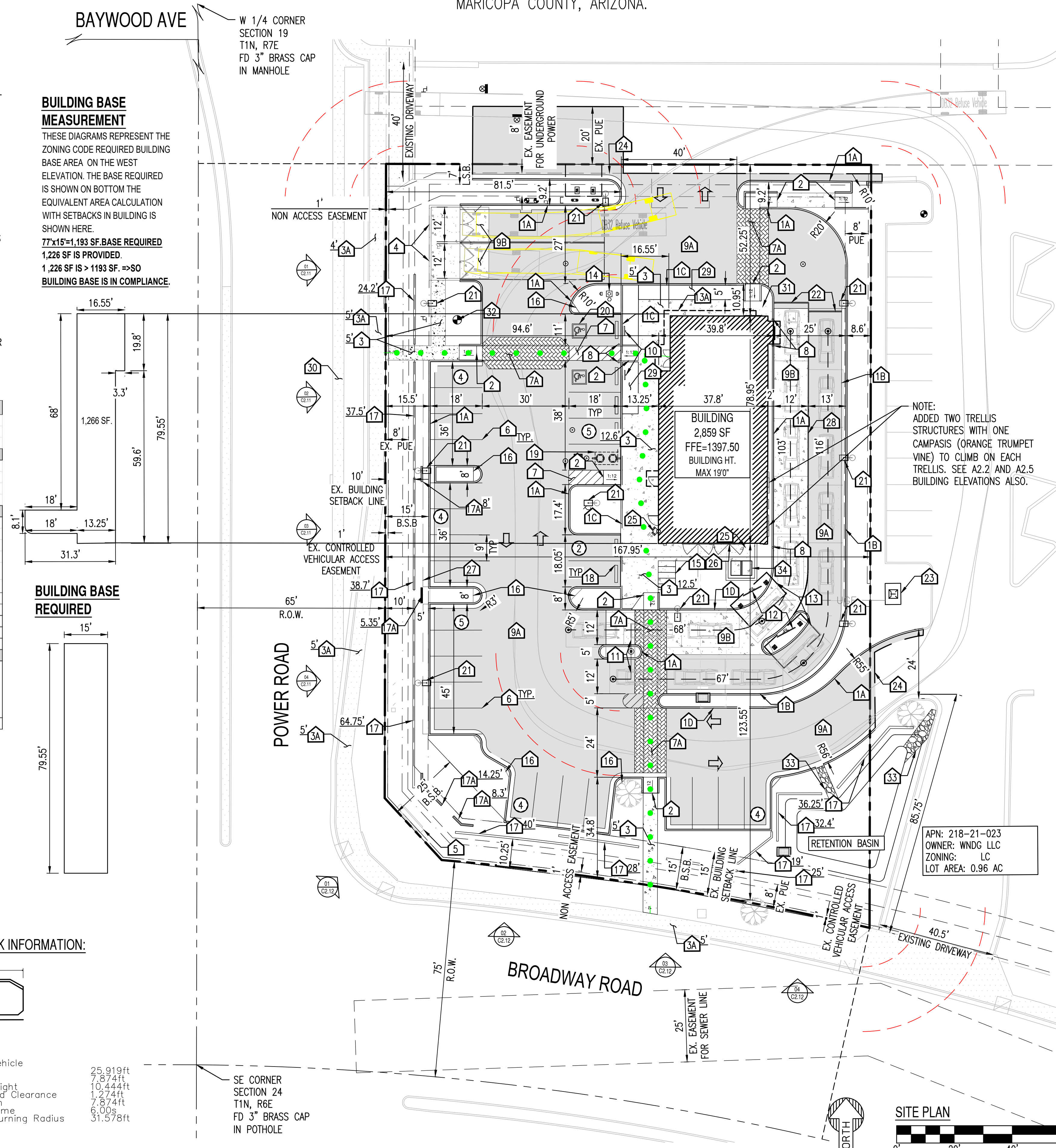
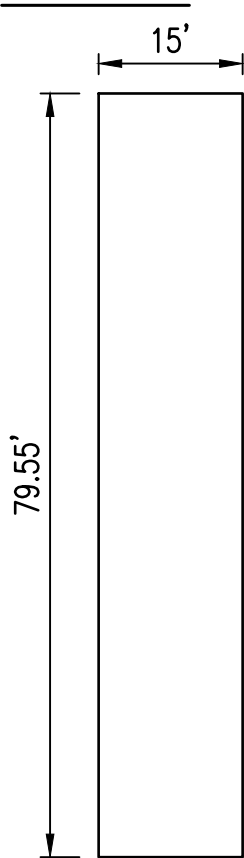
REFUSE TRUCK INFORMATION:



BUILDING BASE MEASUREMENT

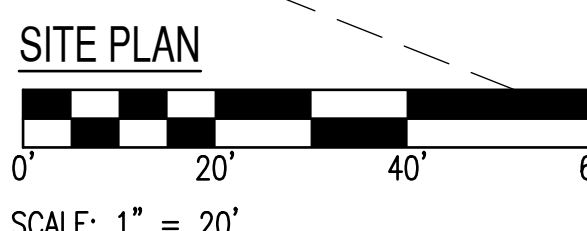
THESE DIAGRAMS REPRESENT THE ZONING CODE REQUIRED BUILDING BASE AREA ON THE WEST ELEVATION. THE BASE REQUIRED IS SHOWN ON BOTTOM THE EQUIVALENT AREA CALCULATION WITH SETBACKS IN BUILDING IS SHOWN HERE.
77'x15'=1,193 SF BASE REQUIRED
1,226 SF IS PROVIDED.
1,226 SF IS > 1193 SF, =>SO BUILDING BASE IS IN COMPLIANCE.

BUILDING BASE REQUIRED



NOTE: ADDED TWO TRELIS STRUCTURES WITH ONE CAMPASIS (ORANGE TRUMPET VINE) TO CLIMB ON EACH TRELIS. SEE A2.2 AND A2.5 BUILDING ELEVATIONS ALSO.

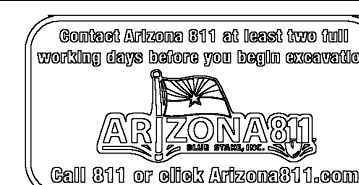
APN: 218-21-023
 OWNER: WNDG, LLC
 ZONING: LC
 LOT AREA: 0.96 AC



SITE PLAN KEYNOTES:

- 1A 6" VERTICAL CURB.
- 1B 6" CURB AND GUTTER.
- 1C TURNDOWN SLAB.
- 1D MOUNTABLE CURB.
- 2 ACCESSIBLE RAMP.
- 3 CONCRETE SIDEWALK PER MAG STD. DET.230, WIDTH PER PLAN.
- 3A EXISTING SIDEWALK, WIDTH PER PLAN.
- 4 TRASH ENCLOSURE.
- 5 EXIST. MONUMENT SIGN REFACED--SEPARATE SUBMITTAL.
- 6 4" WIDE WHITE PAINTED STRIPING.
- 7 5" PEDESTRIAN PATHWAY WITH 4" WIDE YELLOW PAINT, AT 45' 2 FEET O.C.
- 7A 5" PEDESTRIAN PATHWAY RAISED A MINIMUM OF 3" ABOVE THE VEHICLE LANE.
- 8 6" STEEL BOLLARDS.
- 9A HEAVY DUTY ASPHALT PAVEMENT.
- 9B CONCRETE PAVEMENT.
- 10 ACCESSIBLE PARKING SIGN PER DET. 2/C2.10.
- 11 DRIVE-THRU CLEARANCE BAR.
- 12 DRIVE-THRU MENU BOARD.
- 13 MENU BOARD CANOPY ABOVE.
- 13A 4' RESTAURANT CANOPY.
- 14 28" HIGH FLAG POLE.
- 15 BIKE RACK PER DET. 3/C2.10 (5 SPACES).
- 16 CONCRETE ISLAND NOSES, TYPICAL AT ISLANDS.
- 17 SCREEN WALL PER DET. 1/C2.10 TYPE #1. LENGTH PER PLAN.
- 17A SCREEN WALL PER DET. 1/C2.10 TYPE #2. LENGTH PER PLAN.
- 18 WHEEL STOP PER DET. 4/C2.10.
- 19 GREASE INTERCEPTOR.
- 20 PAINTED SYMBOL OF ACCESSIBILITY PER DET. 5/C2.10.
- 21 LIGHT POLE.
- 22 STOP LINE WITH 12" WIDE WHITE PAINT.
- 23 EXISTING TRANSFORMER TO BE PROTECTED IN SITE.
- 24 SAWCUT LINE.
- 25 RECESSED FIRE RISER ROOM PER ARCHITECTURAL PLANS.
- 26 SES PER ARCHITECTURAL PLANS.
- 27 2' PARKING OVERHANG.
- 28 DIVIDING LINE WITH 4" WIDE YELLOW PAINT.
- 29 PLANTER PER LANDSCAPE PLAN.
- 30 VALLEY GUTTER.
- 31 FDC.
- 32 FIRE HYDRANT.
- 33 RIP RAP.
- 34 OIL CONTAINER.

SUSTAINABILITY ENGINEERING GROUP



PROJECT: WHATABURGER
 LOCATION: 365 S. POWER ROAD, MESA, AZ 85206.

DRAWN: GA 03/07/2024
 DESIGNED: LT 03/07/2024
 QC: DC 03/07/2024
 PROJ. MGR.: AF 03/07/2024
 DATE: 03/07/2024
 ISSUED FOR: DRB

REVISION NO.: DATE:
 JOB NO.: 230207
 SHEET TITLE: SITE PLAN

PAGE NO.: 1 OF 2
 SHEET NO.: C2.00

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.

ADJACENT PROPERTY



KEYNOTES

110	CANOPY ABOVE
203	MP-01: ENTERAPRE-FINISHED CORRUGATED METAL PANEL. RE: ENTERA
208	MC-01: ENTERA PRE-FINISHED METAL COPING. RE: ENTERA
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY ENTERA, PROVIDE BLOCKING
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE. RE: ELECTRICAL

**PRELIMINARY
NOT FOR
CONSTRUCTION**

SYN.	DATE	DESCRIPTION	BY

EXT. MATERIAL SCHEDULE

GL-01	VISION GLASS BASIS OF DESIGN: VIRACON VUE1-30 SHADING COEFFICIENT (SC): .20 EXTERIOR REFLECTION: 19% SOLAR HEAT GAIN COEFFICIENT (SHGC): .18 U-FACTOR: .26
GL-03	OPAQUE GLASS BASIS OF DESIGN: VIRACON V948
SS-01	STOREFRONT SYSTEM BASIS OF DESIGN: OLDCASTLE STYLE: FG-3000 FINISH: CLEAR ANODIZED
MP-01	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
MP-02	PREFINISHED METAL FLASHING 0.050" THICK COLOR: LEAD-COTE TO MATCH MP-01
MP-03	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 0.040 ALUMINUM COLOR: LEAD-COTE
MP-04	METAL PANEL 0.040 ALUMINUM COLOR TO MATCH PT-6
BR-01	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 4" x 12" COLOR: PARK AVENUE
BR-02	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 4" x 12" COLOR: DOESKIN
MO-01	MORTAR MANUFACTURER: AHI COLOR: VANILLA -N
MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING REVEAL COPING COLOR: LEADCOTE
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
ST-6	EXTERIOR INSULATION FINISH SYSTEM MANUFACTURER: SHERWIN WILLIAMS COLOR: SW 2835 CRAFTSMAN BROWN
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: HS-8 FINISH: PRE-FINISHED TO MATCH PT-5
PT-7	PAINT MANUFACTURER: ALL LITE PREFINISHED ORANGE WHATABURGER COLOR: #FF7710 PUMPKIN

PROJECT: 230207
WHATABURGER
NEC POWER & BROADWAY
MESA, AZ.

SEG
5240 N. 16th STREET,
SUITE 105
PHOENIX, AZ 85016
WWW.AZSEG.COM
TEL. 480.588.7228

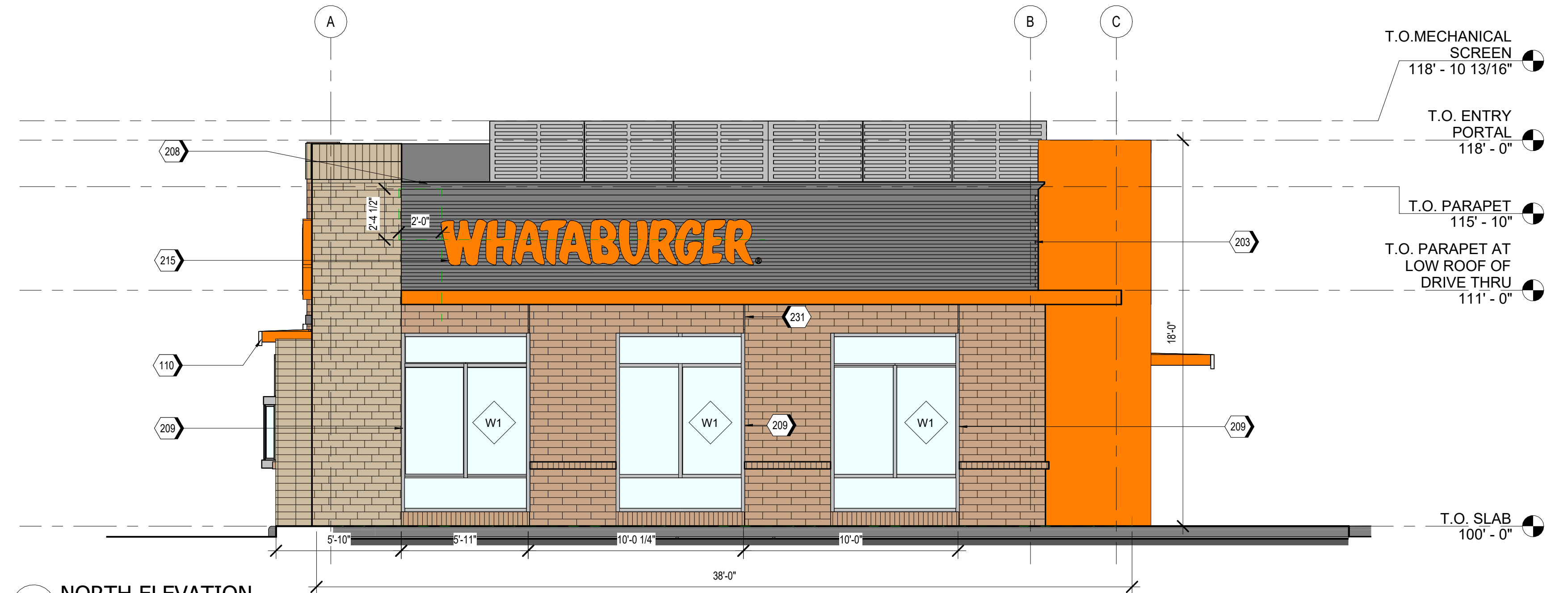
WHATABURGER
300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS.
210-476-6000 ZIP 78216.

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CONSENT OF WHATABURGER

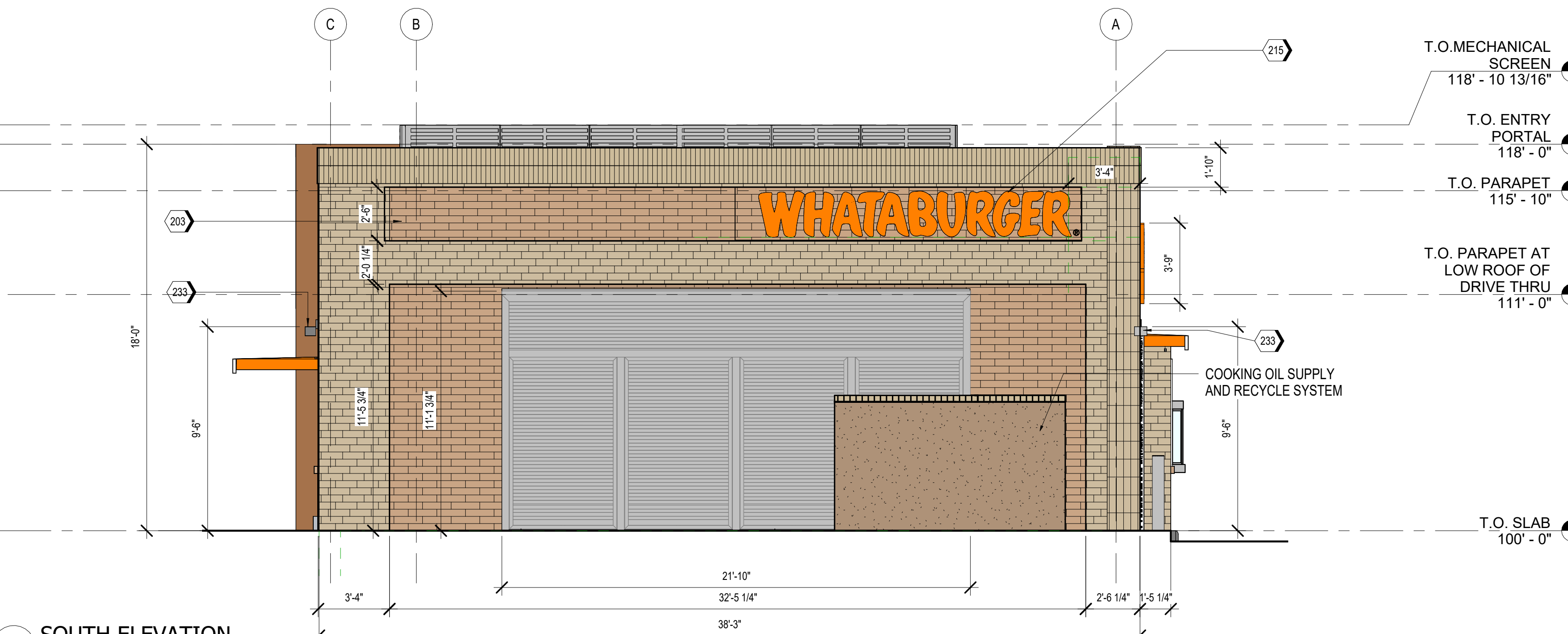
SHEET TITLE:
EXTERIOR
ELEVATIONS COLOR
ISSUED FOR:
DRB

UNIT NO.
DATE: 03/07/24
SCALE: As indicated
DRAWN BY: SB
CHECKED BY: BH

SHEET NO:
A2.1

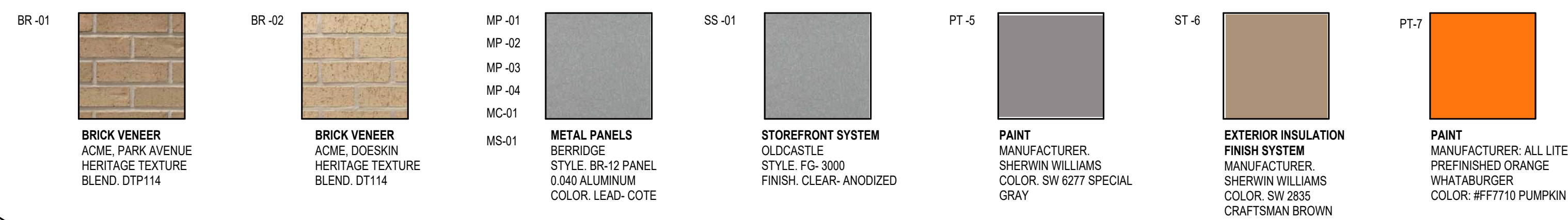


A1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



A2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

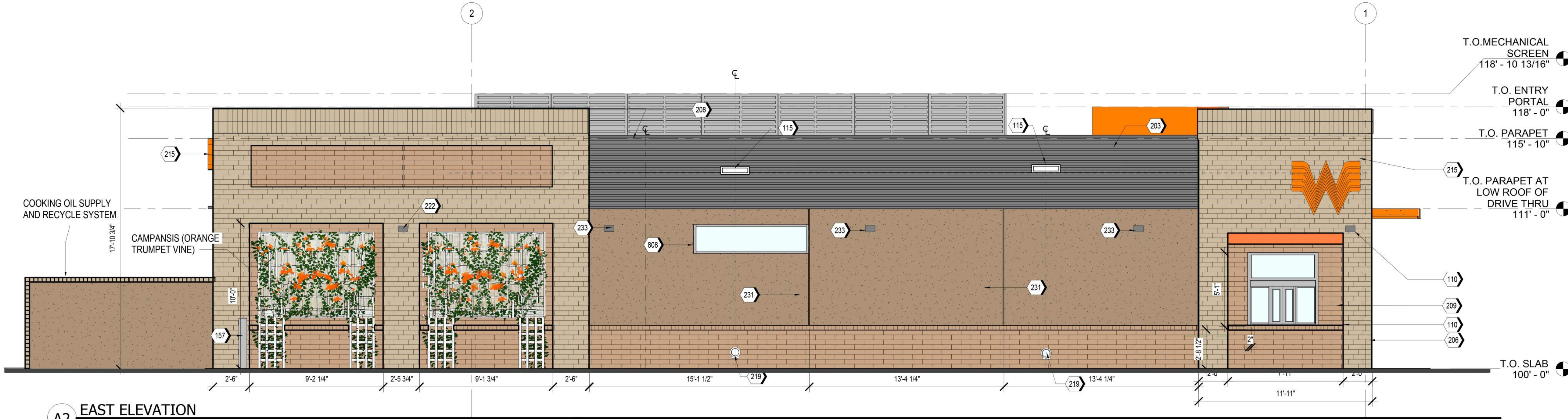
MATERIAL TEXTURES



MATERIAL PERCENTAGE TABLE

ELEVATION	MATERIAL TYPE	SF	PERCENTAGE	ELEVATION	MATERIAL TYPE	SF	PERCENTAGE
EAST	"PARK AVENUE" BRICK	397.88	28.90%	NORTH	"PARK AVENUE" BRICK	160.21	22.41%
	"DOE SKIN" BRICK	361.77	26.29%		"DOE SKIN" BRICK	86.23	12.49%
	GLASS	27.23	1.98%		GLASS	127.85	17.89%
	METAL PANEL	196.25	14.26%		METAL PANEL	149.86	20.97%
	STUCCO	295.51	21.47%		METAL PANEL (ORANGE)	114.97	16.09%
	ROOF SCREEN	83.56	6.07%		ROOF SCREEN	72.49	10.14%
	METAL PANEL (ORANGE)	14.02	1.02%		TOTAL	714.61	100%
	TOTAL	1378.02	100%				
WEST	"PARK AVENUE" BRICK	366.81	28.12%	SOUTH	"PARK AVENUE" BRICK	205.38	41.57%
	"DOE SKIN" BRICK	216.67	16.77%		"DOE SKIN" BRICK	245.06	49.60%
	GLASS	193.82	14.86%		GLASS	0.92	0.19%
	METAL PANEL	208.10	15.96%		METAL PANEL	0	0%
	"DOE SKIN" BRICK	87.40	6.70%		METAL PANEL (ORANGE)	15.23	3.08%
	STUCCO	145.26	11.14%		ROOF SCREEN	27.44	5.55%
	ROOF SCREEN	84.14	6.45%		TOTAL	494.03	100%
	TOTAL	1304.2	100%				

ADJACENT PROPERTY

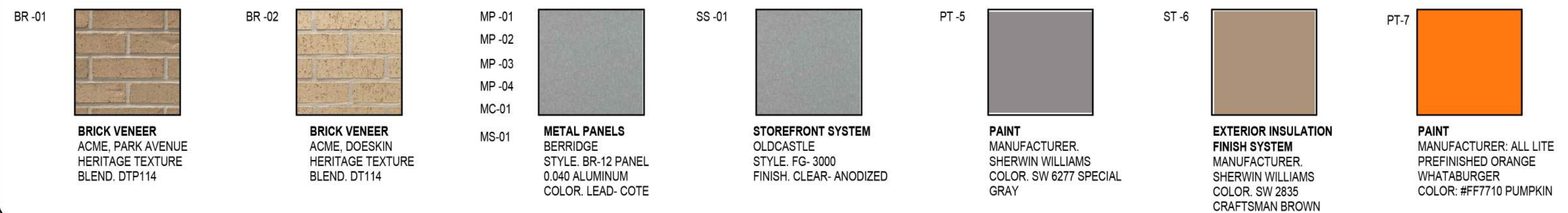


A2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



A1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL TEXTURES



MATERIAL PERCENTAGE TABLE

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TOTAL	1376.02	100%	WEST	"PARK AVENUE" BRICK	366.81	28.12 %	
WEST	"DOE SKIN" BRICK	218.67		16.77%	"DOE SKIN" BRICK	205.38	41.57%
	GLASS	193.82		14.86%	GLASS	245.06	49.60%
	METAL PANEL	208.10		15.96%	METAL PANEL	0.92	0.19%
	STUCCO	87.40		6.70%	METAL PANEL (ORANGE)	0	0%
	METAL PANEL (ORANGE)	145.26		11.14%	METAL PANEL (ORANGE)	15.23	3.08%
	ROOF SCREEN	84.14		6.45%	ROOF SCREEN	27.44	5.55%
	TOTAL	1304.2	100%	TOTAL	494.03	100%	

KEYNOTES

110	CANOPY ABOVE
115	OVERFLOW SCUPPER
157	PIPE BOLLARDS: IDEAL SHIELD, RE: SPECIFICATIONS, 402 GRAY, PANTONE 402C, RE: D3/SS.1
191	ENTERA PRE-MANUFACTURED ROOF SCREEN, RE: ENTERA
202	DOORBELL
203	MP-01: ENTERAPRE-FINISHED CORRUGATED METAL PANEL, RE: ENTERA,
205	BR-01: BRICK VENEER, COLOR PARK AVENUE
206	BR-02: BRICK VENEER, COLOR DOESKIN
208	MC-01: ENTERA PRE-FINISHED METAL COPING, RE: ENTERA
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY ENTERA, PROVIDE BLOCKING
219	METAL DOWNSPOUT NOZZLE, EXIT 8" ABOVE CURB
222	WIRELESS ACCESS POINT (WAP)
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
808	KNOCKOUT AREA, PROVIDE FRAMING FOR FUTURE WINDOW, RE: STRUCTURAL

EXT. MATERIAL SCHEDULE

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PRELIMINARY
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SYN.	DATE	DESCRIPTION	BY

PROJECT: 230207
WHATABURGER
NEC POWER & BROADWAY
MESA, AZ

SEG
5240 N. 16th STREET,
SUITE 105
PHOENIX, AZ 85016
WWW.AZSEG.COM
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SHEET TITLE:
EXTERIOR
ELEVATIONS COLOR
ISSUED FOR:
DRB

UNIT NO.
DATE: 03/05/24
SCALE: As indicated
DRAWN BY: SB
CHECKED BY: BH

SHEET NO:
A2.2



City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by March 26, 2024

Date: 3/26/2024

I, Zelig Hess, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to Case #ZON23-01002 on the 26th day of MARCH, 2024. At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: [Signature]

SUBSCRIBED AND SWORN before me this 26 day of March, 2024.

[Signature]
Notary Public



Case Number: ZON23-01002

Project Name: Whataburger



CITY OF MESA
PLANNING & ZONING BOARD
PUBLIC NOTICE
ZONING HEARING
57 EAST FIRST STREET
MESA, ARIZONA
4:00 PM DATE: 4/10/2024
CASE: ZON23-01002
Request: MAJOR SITE PLAN MODIFICATION AND AMENDING
THE CONDITIONS OF APPROVAL FOR CASE NO. Z91-438.
THIS REQUEST WILL ALLOW FOR A
RESTAURANT WITH A DRIVE THRU FACILITY
Applicant: SEG
Phone: 480-588-7226
Planning Division (480) 644-2385
Posting date: 03/28/24

CITY OF MESA
PUBLIC NOTICE
ZONING HEARING
PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA
4:00 PM DATE: 4/10/2024
CASE: ZON23-01002

Request: MAJOR SITE PLAN MODIFICATION AND AMENDING
THE CONDITIONS OF APPROVAL FOR CASE NO. Z91-438.
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Applicant: SEG
Phone: 480-588-7226
Planning Division (480) 644-2385
Posting date: 03/28/24