

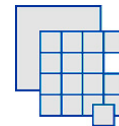
Power Townhomes - 6739 E. Dallas St.

PAD Rezoning & Site Plan



Submitted by:

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On behalf of:

Power Rd Development, LLC
Elliot Barkan
7505 E 6th Ave #100
Scottsdale, AZ

August 17, 2023

1. Introduction

Pew and Lake, PLC, on behalf of our client, Power Rd Development, LLC, is pleased to submit this project narrative and related exhibits in support of a PAD rezoning and site plan review request for a proposed residential development at the southwest corner of Power Road and Dallas Street in Mesa. If the requests discussed in this narrative are approved, they will allow for the development of a 38-unit multi-family townhome style community on 2.7 net acres (13.9 DU/acre).

The property is identified as APNs 141-62-002H and 141-62-002F on the Maricopa County Assessor Map. An aerial photo of the site is shown below with the parcel outlined in red.

Figure 1 – Site Aerial



2. Specific Requests

Our specific requests to the City of Mesa are for the following:

1. Rezoning from RS-6 to RM-2-PAD; and
2. Site Plan Approval.

The conversion of this property to a high quality, medium density, residential use follows the pattern of development established along arterial roads in the City. It also provides an additional housing product to this area that will help increase property values and support the existing businesses and public facilities in the area.

3. Existing Site Conditions and Relationship to Surrounding Properties

Currently the property is being used as an off-site, asphalt paved, parking lot for the VIA church. There is an existing driveway onto Power Road and an existing driveway onto Dallas Street. The site topography is largely unremarkable.

As shown on the figures on the next page, the subject site is designated under the City of Mesa General Plan as Neighborhood and is zoned RS-6.

Figure 2 – Existing City of Mesa General Plan Map

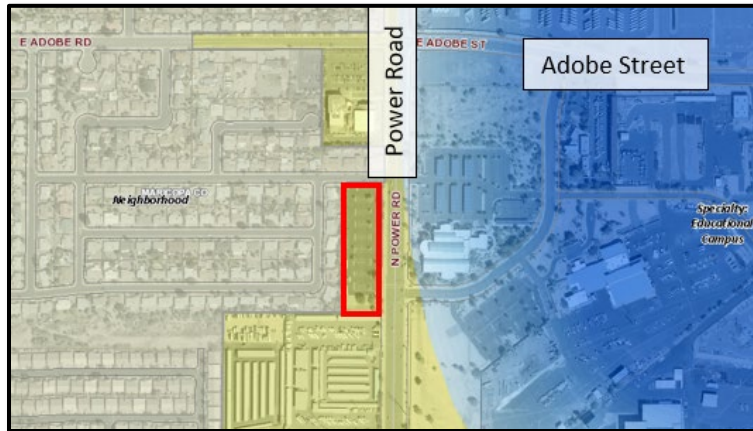
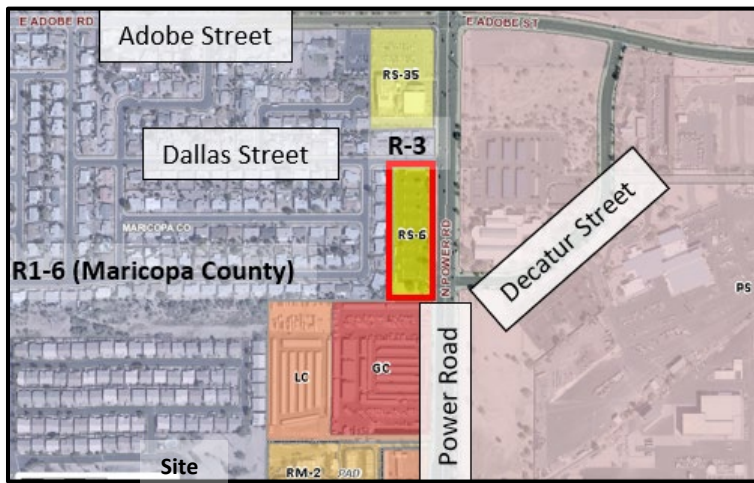


Figure 3 – Existing City of Mesa Zoning Map



North of the site is Dallas Street followed by three four-plex multi-family units located in Maricopa County. West of the site are single-family homes within the Dreamland Villas Unit 17 Subdivision in Maricopa County. South of the site is the Mesa RV/Boat & Self-Storage facility. To the east is the Power Road major arterial followed by the City of Mesa Red Mountain Branch Library.

The table below further details the adjacent land uses.

Table 1 – Surrounding Context

Direction	Existing Zoning	Existing Use
Subject Property	RS-6	Off-Site Commercial Use Parking
North	R-3 (Maricopa County)	Multi-family Residential Four-Plex Units
East	PS	City of Mesa Red Mountain Branch Library
South	GC	RV/Boat & Self-Storage facility
West	R1-6 (Maricopa County)	Dreamland Villas Single-Family Residential

4. Project Description

The proposed development features 38 townhome style units with centralized open space and community amenities. Entry to the community will primarily come from Power Road with secondary access available from Dallas Street and direct access to individual homes provided from a singular drive aisle. Most homes gain direct access from the primary drive-aisle with the balance being accessed from feeder parking courts from the main drive-aisle.

The two- and three- story housing product consists of a mixture of three bed/two bath and four bed/three bath units. Each unit has at least one garage space with eleven (11) units featuring two garage spaces.

A thirty-foot wide average landscape setback provides a sensible transition between two-story townhomes and the existing residences west of the site (the angled units necessitate a technical variation with the corner of buildings 25 feet from the property line). The developer is proposing to replace the existing block wall on the western boundary as requested by the neighbors to the project.

A conceptual site plan is provided in Figure 4 below.

Figure 4 – Conceptual Site Plan



Landscape, Amenities & Community Design

Pedestrian connections provide direct access between homes and amenity areas. Thirty-five percent of the site is open space with a variety of usable amenities provided including a centralized gathering area with BBQ grill and ramada, children play equipment, butterfly/hummingbird garden area, and a grass area. On the south interior of the site there is a gated dog park and an additional picnic table with grass area. The entry into the community is marked by usable botanical walking and seating area. In addition to the common amenities, each unit benefits from a usable ground floor private patio open space area with more than 130 square feet and minimum depth of 10 feet.

This property is uniquely positioned to benefit from City of Mesa public amenities such as the Public Library (0.1 miles, 2 minute walk); Fremont Aquatic Complex (0.4 miles, 8 minute walk); Red Mountain Park (1 mile, 2 minute drive); and the Red Mountain Recreational Center (1.2 miles, 3 minute drive).

Parking

Total parking is provided above the City standard at 84 spaces provided (80 spaces required). Each home will have at least one garage space with 25% of the homes benefiting from a two-car garage. A single private driveway parking space is also provided on the single-car garage units. There are seventeen visitor parking spaces placed near the amenity areas. Additional transportation needs for the project are met with a designated rideshare waiting area and a bus stop being installed directly in front of the community.

Proposed Services, Infrastructure and Public Utilities

The plan will comply with the City of Mesa Stormwater Drainage requirements. Water will be provided by tying into the existing municipal water system. Project engineers have already evaluated the size of the existing City water and sewer lines and have determined them to be more than adequate for the proposed project. The installation of utilities will comply with the City of Mesa Standard Details & Specifications.

Building Architecture

The proposed building architecture is a contemporary design featuring variety in roof lines, desirable massing, and a sophisticated mixture of materials. There are seven building types with 38 total units for the community. Building heights vary between two and three stories with the higher buildings closer to Power Road. The buildings are oriented diagonally throughout the site, creating appealing views for residents and the observing public.

Development Standards

The preliminary development plan establishes building setbacks, buffers, and a landscape plan which largely complies with City of Mesa standards. However, certain minimal PAD deviations will be requested to ensure a superior design on this small in-fill site with 38 dwelling units. Table 2 below details the proposed development standards for this project. The deviations from the RM-2 development standards are highlighted in red. The justification for these deviations is provided in the next section.

Table 2 - Development Standards

Standard	RM-2 Required	PAD Proposed
Maximum Density (dwelling units/net acre)	15	13.9
Maximum Building Height (ft.)	30	30
Minimum Yards:		
Front & Street-facing sides-6-lane arterial (East Side; Power Road) (ft.)	30	15
Interior Side (West Side to Residential) (ft.)	30	25
Interior Rear (South Side to Commercial) (ft.)	30	22
Landscape Yard Width (West Side; Single Residence) (ft.)	25	25
Landscape Yard Width (South-Side; Non-Single Residence) (ft.)	15	15
Setback of Cross Drive Aisles (Power Road Primary Entrance) (ft.)	50	50

Standard	RM-2 Required	PAD Proposed
Setback of Cross Drive Aisles (Dallas Street Secondary Entrance) (ft.)	50	34
Minimum Separation Between Buildings on Same Lot (ft.)	35	33
Maximum Lot Coverage (% of lot)	70	65
Maximum Building Coverage (% of lot)	45	26
Minimum Common Open Space (sq. ft./unit)	200	421
Foundation Base at Exterior Wall without a Public Entrance (ft.)	10	Bldg. C: 5'-3" Bldg. E: 3' Bldg. G: 1'-8"
Perimeter Wall Height (West and South Sides) (ft.)	6	8
Parking Spaces (Spaces Per Unit)	2.1	2.18
Required Primary Exterior Building Materials	Buildings must contain at least two (2) kinds of primary exterior materials distinctively different in texture or masonry pattern, with each of the required materials covering at least twenty-five percent (25%) of the exterior walls of the building	Superior mixture of materials is provided instead of providing a second material with more than 25%. On each building, a total of four additional primary materials are utilized to comprise 34-41% of the façade.

Justification for Development Standard Deviations

The modifications listed in the above table and discussed below are respectfully requested given the site constraints imposed by the narrowness of the acreage and the proposed overall design quality of the project. Strict application of the zoning provisions would not enable the proposed development to offer the cohesive design and creativity needed to promote the intended vibrant and sustainable development.

The proposed community intends to achieve appropriate in-fill development situated between commercial, multi-family, single-family, and public service uses. The project is ideally situated for multi-family development with its location along an arterial road and in close proximity to various recreational facilities, educational services, and with public transit options adjacent to the site.

a. Street Facing Setback

The 15-foot setback to the Power Road ROW is proposed to conform with the urban framework established on properties directly north and south of the site where setbacks vary between 10-15 feet. Providing a reduced Power Road setback benefits the site by allowing increased western open space.

b. Interior Side Setback to Commercial

A deviation is sought next to the commercial storage use site for the southern side building setback (22 feet where 30 feet is required). We note that the buildings on the subject property maintain an angled design which lessens the impact of the encroachment. The use of landscaping and increased wall heights on this southern portion of the site ensures compatibility with a longstanding commercial use on this southern side of the site.

c. Interior Rear Setback to Residential

The technical deviation for the western side building setback (25 feet where 30 feet is required) is appropriate given the unique angled layout of the buildings and the placement of the private patios in front of the homes. We note that while a technical deviation is being requested, the angular construction actually creates an average setback of 30 feet from the neighbors while also creating strong visual interest. The unique building and open space layout ensure that visual and noise concerns are mitigated. Additionally, a new 8-foot wall is proposed along the western boundary which increases the visual buffer and ensures the security of both properties. Importantly, no deviation to the landscaping standards is requested, with existing tree placements on the western properties being combined with new tree placements to provide an appropriate transition between the properties.

d. Dallas Street Parking Setback

Dallas Street is Maricopa County Department of Transportation Right-of-Way and Maricopa County does not have the 50-foot setback standard applied by the City of Mesa. However, even if Dallas Street was Mesa ROW, the 16-foot reduction is appropriate for this secondary access because the 34-foot distance to ROW affects vehicles exiting the site and will therefore not cause queuing issues in Dallas Street. On the entering side of the drive aisle the setback is 41 feet to a single unit's driveway and the traffic impact of that single unit is not expected to cause queuing issues when at least three cars can fit within the 58-foot distance between the existing Dallas Street curb and this single driveway.

e. Building Separation

A de minimis deviation to the required building separation is requested under the PAD. This two-foot reduction is justified given the architectural quality being proposed with this project where a variety of materials and articulation is being provided. Additionally, the building heights vary between two and three stories which provides additional visual interest and ensures that the buildings do not appear overly clustered.

f. Foundation Base at Exterior Wall without a Public Entrance

Foundation base rules are largely complied with throughout the development but the 190-foot site depth necessitates deviations for trash enclosure and parking stalls which encroach into the foundation base for Building’s C, E, & G. These deviations secure parking standards about the Mesa requirement and allow for placement of a trash enclosure in a central and efficient location.

Specifically, Building C has a trash enclosure angled into the foundation base area which creates a 3-foot distance between the trash enclosure and the building exterior. Building E has a single parallel parking stall located 5 feet from the building exterior. Building G is located next to perpendicular parking stalls. These parking stalls have been installed at 16 feet depth, so the actual building foundation base is a landscaped 3 foot 8 inches. However, the required 2-foot parking stall overhang creates a 1’-8” technical foundation base.

The total common active open space provided within the community (421 sq. ft./unit), along with additional landscape open space (25,353 sq. ft.), ensures that superior transitions between buildings, asphalt, and open space is provided for the community and justifies these deviations.

g. Perimeter Wall Height

The existing residential wall is, according to neighbors, only 5 feet tall. This PAD requests that the wall be raised (or removed and installed to 8 feet) in order to provide increased visual buffers and ensure the security of both properties.

h. Material Composition Percentages

The proposed building architecture is a contemporary design featuring variety in roof lines, desirable massing, and a sophisticated mixture of materials. The buildings are oriented diagonally throughout the site, creating appealing views for residents and the observing public.

Alternative compliance is sought to the material percentage calculations with regard to providing over 25% of a second primary material on Buildings Type ‘A’, Type ‘B’, Type ‘C’, and Type ‘E’. In each instance, over 25% stucco is provided but never is more than 59% of the building stucco. A superior mixture of materials is provided for the balance of the building instead of providing a second material with more than 25%. On each building, a total of four additional primary materials are utilized to comprise 34-41% of the remaining facades (fiber cement siding, brick, glass, and block). The proposed mixture of quality materials is a better alternative. Building Type ‘D’ and Type ‘F’ exceed the requirements for the mixture of materials and provide additional variation to a complex overall architectural theme.

5. General Plan Analysis

The proposed development is consistent with the Mesa 2040 General Plan which designates the property under the Neighborhood Character Area, which is designed to support “primarily residential areas with supporting parks, schools, and other neighborhood services.”

This request proposes to develop the property with a development that is harmonious with the surrounding neighborhood. The proposed PAD zoning flows out of the fabric of the community

and nearby commercial, multi-family, single-family, and public service uses. The proposed quality multi-family detached product establishes a high-quality transition to the Power Road arterial. This proposed development will appeal to the highly demanded need for housing in the City.

1. Compatibility with Surrounding Uses

In support of the Neighborhood general plan designation, this residential community proposes additional housing which is commensurate with the commercial, multi-family, single-family, and public service zoned parcels adjacent to the property. The angular two-story buildings provided at an average setback of 30 feet on the west side mitigates potential impacts on the neighboring single-family lots.

2. Consistency with the General Plan Goals and Objectives

In addition, the project complies with the goals, objectives, and policies outlined in the General Plan as follows:

Providing opportunities for a variety of housing in this area of east Mesa by adding new multi-family options for residents (p. 4-6)

Neighborhood Focus - Implements a housing type that supports the city's desired "wide range of housing types." (Neighborhood Focus, p. 7-8)

Affordable/workforce housing is critical to the quality of life in City of Mesa neighborhoods as well as Mesa economic development efforts. The General Plan promotes the development of affordable housing, which is housing that is purchased or rented and maintained to a reasonable standard by persons of low or moderate income. Housing developed specifically as workforce housing should be built in places where there are mobility options as well as easy access to community services such as parks, schools, jobs, shopping, etc. (p. 4-13)

The proposed development supports the objective to encourage a range of housing options in all areas of the City in order to allow people to stay in their neighborhood as their housing needs change (p. 4-14)

Providing appropriate infill development on a parcel which meets the MZO definition of a by-passed parcel (p. 15-1)

"Great Neighborhoods" Element

The General Plan states: *"Neighborhoods are the foundation of communities and cities. To be a great city where people want to live, work and play, we need a variety of great neighborhoods."* Furthermore, the following five characteristics and qualities of great neighborhoods, as described in the General Plan for strong neighborhoods, are utilized in this development proposal:

- *Connectivity & Walkability*
 - *Block lengths developed consistent with the character area standards*

Answer: The size of this community creates a small block of cohesively arranged homes that provide ease of access between neighbors, the public street network, and nearby public facilities. The project offers common open space buffers to the adjacent properties.

- *Neighborhood Character & Personality*
 - *Reviewing new/reuse developments for the elements needed to add to the surrounding community and create a unique sense of place*
 - *Creating neighborhood boundaries and limiting through traffic into the neighborhoods*

Answer: The project's entries will be designed with a quality low-intensity residential character. The development will create an enclave of quality residential living.

- *Safe, Clean and Healthy Living Environment*
 - *Encouraging the creation and maintenance of neighborhood associations (formal or informal)*
 - *Maintenance of streets, sidewalks, street lighting, etc. to ensure roadways, paths and trails are safe; improve lighting where needed*
 - *Locate and design public spaces so that there is a high degree of natural surveillance*
 - *Provision of outdoor open space and recreational facilities*
 - *Maintain attractive, well-kept public spaces in neighborhoods*

Answer: The private streets, sidewalks, landscaping, and open space/recreation areas will be controlled by a single property association. This mechanism will oversee the efficient management of site maintenance for open space amenities and shared landscaped areas. Lighting throughout the development will be low level in nature and will meet City of Mesa requirements. In addition, the driveway and parking improvements will meet City standards.

This property is an important contributor to a developing area in east Mesa. The proposal will bring a new residential use to the area, continuing the multi-family residential pattern of development that is already established along Power Road. With this well-conceived site plan that is provided along with this application, the use is implemented on the site with orderly development and quality design, with careful attention paid to the surrounding properties.

6. Proposed PAD Overlay District Zoning

As discussed in Section 11-22-1 of the City of Mesa Zoning Ordinance, the purpose of the Planned Area Development Overlay district is to allow for "innovative design and flexibility in projects of sufficient size that are planned for development as a cohesive unit." The proposed development complies with requirements outlined in the Purpose Statement of the PAD Overlay District as shown below.

- A. *The proposed development must be more than five acres.* Answer: The project is 2.7 net acres but with 38 units proposed it complies with the size requirement for a PAD established in the Zoning Ordinance.

- B. *Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use.* Answer: The proposed development features an amenity package that is well integrated, scaled to an appropriate size and will be desirable to prospective residents and will be maintained by a property manager.
- C. *Options for the design and use of private or public streets.* Answer: This development will feature landscaping around the amenity areas and private drives. The driveways will remain private and be maintained by the property manager.
- D. *Preservation of significant aspects of the natural character of the land.* Answer: The existing parking lot contains no significant features or character that requires preservation.
- E. *Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development.* Answer: See discussion regarding community design above.
- F. *Sustainable property owners' associations.* Answer: The number of homes in this community will contribute to a sustainable association.
- G. *Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions.* Answer: The entire project will be maintained by the property manager. Residents will be held to the highest of care standards through the use of management rules that will be crafted to ensure that this community is well-maintained over time.
- H. *Single or multiple land use activities organized in a comprehensive manner, and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.* Answer: This community is comprised solely of residential housing and the community has been designed holistically to ensure that it presents a coherent aesthetic and so that each resident has access to the amenities provided within the community.

7. Conclusion

The proposal for this project will provide a residential project within the City of Mesa that will establish a new neighborhood in an in-fill location next to excellent City of Mesa facilities. This subdivision will create an opportunity for additional housing choices in this area and will be a great addition. The proposed community achieves a transition between Maricopa County residences to the west and north, commercial development on the south, and public services to the east across Power Road.

This application is consistent with the land use patterns already established along the Power Road corridor and is therefore compatible with the vision established by the City of Mesa General Plan and the standards established in the Zoning Ordinance. The applicant and property owner look forward to working with the City of Mesa to create this quality residential community.

PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME	QTY.	SIZE
TREES			
	ACACIA ANUERA - MULGA TREE	17	24" BOX
	ACACIA ANUERA - MULGA TREE	8	36" BOX
	ACACIA WILLARDIANA - PALO BLANCO	23	24" BOX
	CAESALPINIA CACALACO - CASCALOTE	8	24" BOX
	CAESALPINIA CALALACO - CASCALOTE	9	36" BOX
	PARKINSONIA PRAECOX - PALO BREA	11	24" BOX
	PROSOPIS HYBRID 'PHOENIX' - THORNLESS MESQUITE	11	24" BOX
	PROSOPIS HYBRID 'PHOENIX' - THORNLESS MESQUITE	17	36" BOX
	VITEX AGNUS-CASTUS - CHASTE TREE	32	24" BOX
SHRUBS			
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE	46	5 GAL
	CALLISTEMON VIMINALIS 'LITTLE JOHN' - DWARF BOTTLEBRUSH	43	5 GAL
	EREMOPHILA HYGROPHANA - BLUE BELLS	52	5 GAL
	LEUCOPHYLLUM FRUTESCENS - TEXAS RANGER	40	5 GAL
	SENNA ARTEMISOIDES - FEATHERY SENNA	39	5 GAL
	SIMMONDSIA CHINENSIS - JOJOBA	32	5 GAL
ACCENTS			
	AGAVE AMERICANA - CENTURY PLANT	20	5 GAL
	AGAVE PARRYI - PARRY'S AGAVE	22	5 GAL
	ALOE VERA - MEDICINAL ALOE	86	5 GAL
	ASCLEPIAS SUBULATA - DESERT MILKWEED	22	5 GAL
	BOUTELOUA GRACILIS - BLONDE AMBITION GRASS	121	5 GAL
	CARNEGIEA GIGANTEA - SAGUARO	7	6" MIN
	DASYLIRION ACROTRICHUM - GREEN DESERT SPOON	37	5 GAL
	ECHINOCACTUS GRUSONII - GOLDEN BARREL CACTUS	29	5 GAL
	FOUQUIERIA SPLENDENS - OCOTILLO	19	BARE RT
	HESPERALOE PARVIFLORA - RED/YELLOW YUCCA	65	5 GAL
	OPUNTIA SANTA-RITA - PURPLE PRICKLY PEAR	30	5 GAL
GROUND COVERS			
	BAILEYA MULTIRADIATA - DESERT MARI GOLD	163	5 GAL
	EREMOPHILA GLABRA 'MINGENOW GOLD' - OUTBACK SUNRISE	42	5 GAL
	LATANA MONTEVIDENSIS - PURPLE TRAILING LANTANA	51	5 GAL
	LANTANA X 'NEW GOLD' - NEW GOLD LANTANA	54	5 GAL
	1/2" SCREENED DECOMPOSED GRANITE - 2" MIN. DEPTH COLOR: 'MOHAVE GOLD' BY ROCK PROS U.S.A. - OWNER TO VERIFY SIZE & COLOR		45,569 SQ.FT
	MID-IRON BERMUDA TURF		1,726 SQ.FT

NOTES:

1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ADWR LOW WATER USE PLANT LIST.
2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED EASEMENTS.



LANDSCAPE CALCULATIONS (PER MESA ZONING ORDINANCE)

POWER ROAD STREET FRONTAGE:

REQUIRED: (26) TREES & (152) SHRUBS
 PROVIDED: (26) TREES & (169) SHRUBS

DALLAS STREET FRONTAGE:

REQUIRED: (8) TREES & (31) SHRUBS
 PROVIDED: (9) TREES & (48) SHRUBS

WEST PROPERTY LINE:

REQUIRED: (24) TREES & (120) SHRUBS
 PROVIDED: (29) TREES & (147) SHRUBS

SOUTH PROPERTY LINE:

REQUIRED: (7) TREES & (35) SHRUBS
 PROVIDED: (7) TREES & (75) SHRUBS

PARKING LOT LANDSCAPE ISLANDS:

REQUIRED: (8) TREES & (30) SHRUBS
 PROVIDED: (8) TREES & (52) SHRUBS

**MIN. 10% TREES IN PARKING LOT ISLANDS
 REQUIRED TO BE 36" BOX:**

REQUIRED: (1) TREE
 PROVIDED: (2) TREES

**MIN. 25% TREES OVERALL REQUIRED
 TO BE 36" BOX:**

REQUIRED: (34) TREES
 PROVIDED: (34) TREES

O.S. CALCULATIONS (PER MESA ZONING ORDINANCE)

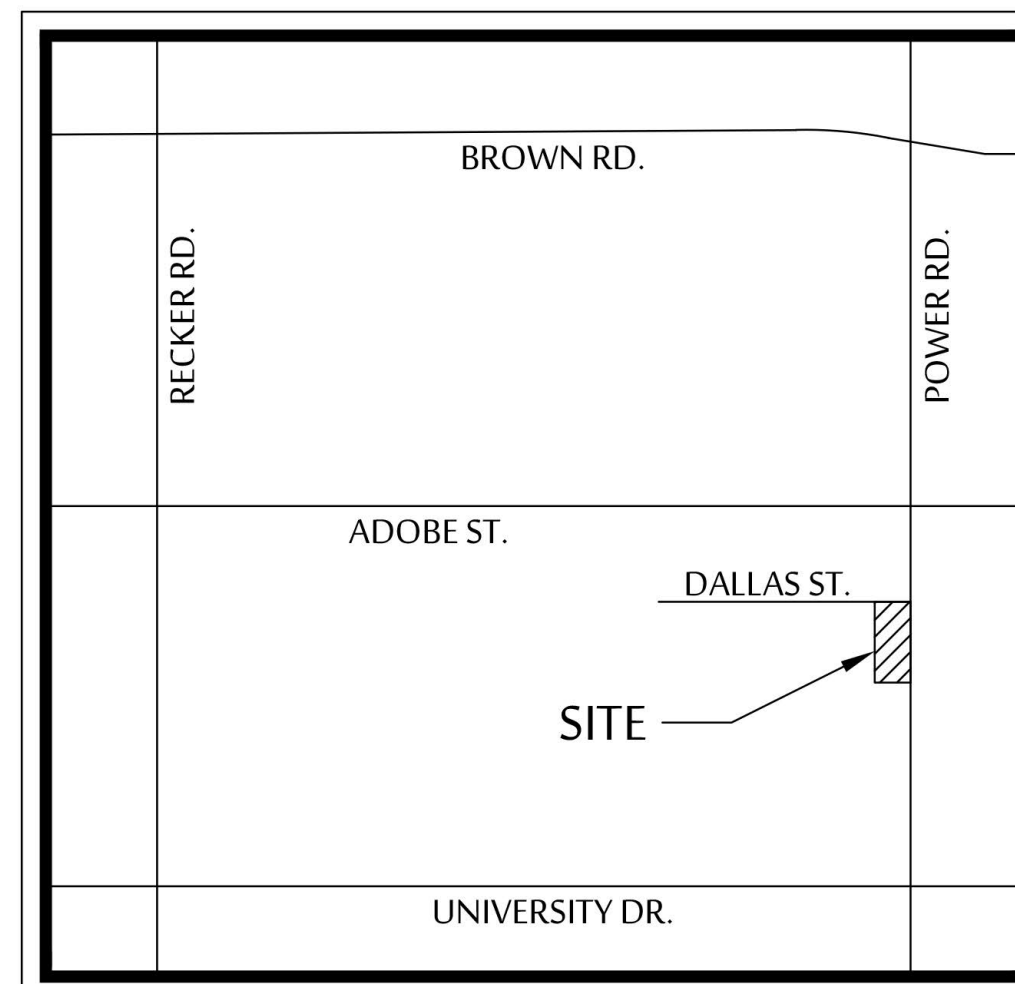
COMMON OPEN SPACE (50% LIVE PLANT COVERAGE):

REQUIRED: 1,898 SF
 PROVIDED: 2,115 SF

PRIVATE OPEN SPACE (50% LIVE PLANT COVERAGE):

REQUIRED: 3,216 SF
 PROVIDED: 3,550 SF

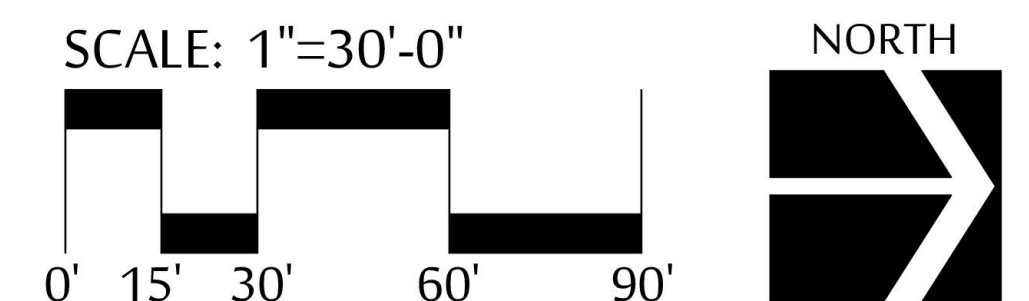
VICINITY MAP



POWER TOWNHOMES
 PRELIMINARY LANDSCAPE PLAN

630 N. POWER RD. - MESA, ARIZONA
 JULY 31, 2023

LS 1.01





SHADE STRUCTURE



SITE FURNISHINGS



BBQ GRILL



PLAYGROUND CLIMBING STRUCTURE



PLAYGROUND INTERACTIVE PANELS

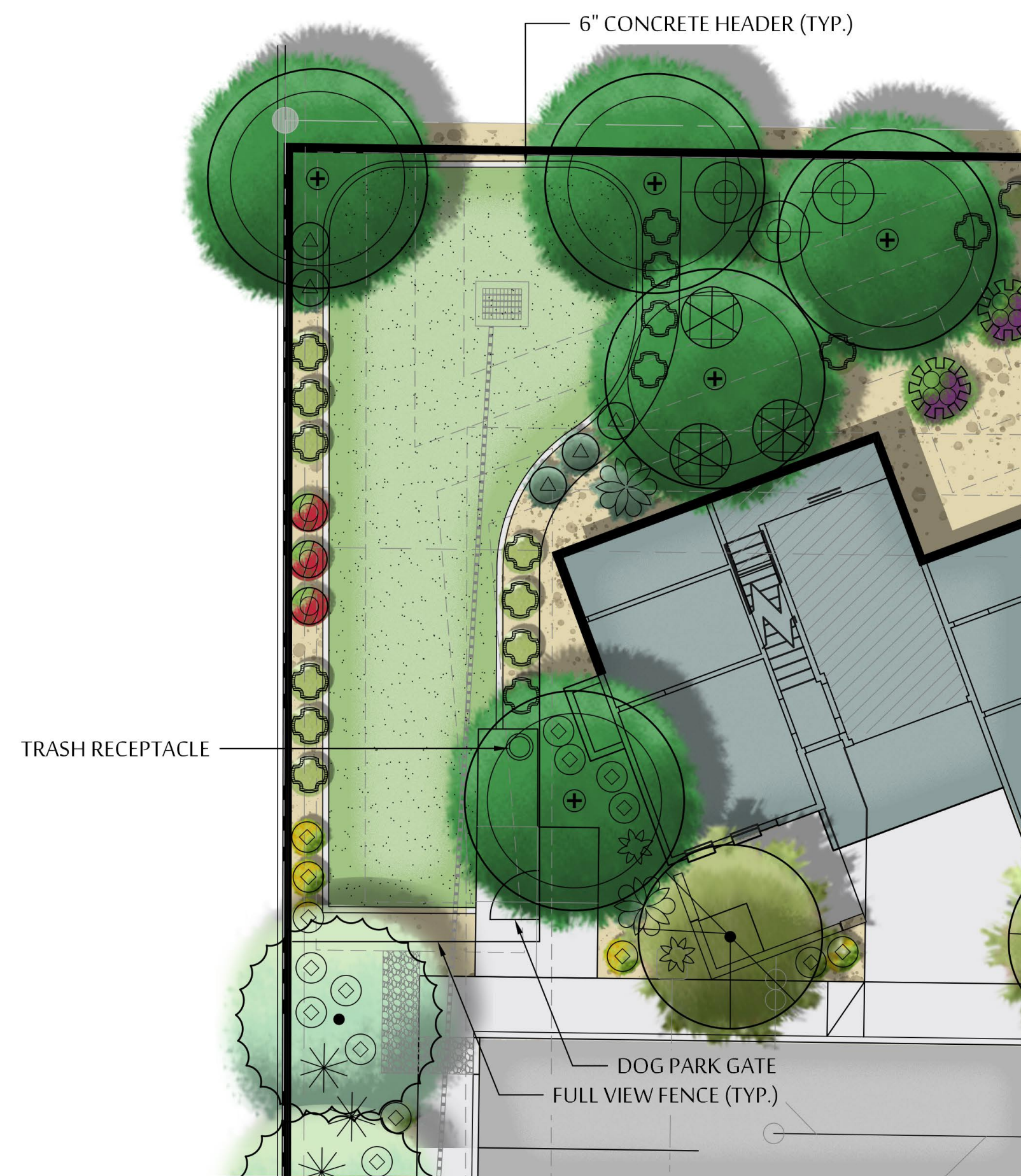
CHARACTER IMAGES ON THIS SHEET ARE INTENDED TO CONVEY THE GENERAL IDEA, THEME, AND FORM OF THE OPEN SPACE AMENITIES. FINAL COLORS, MATERIALS AND FINISHES MAY VARY BASED ON FINAL DESIGNS, BUT WILL BE CONSISTENT WITH THE ARCHITECTURAL THEME OF THE COMMUNITY. OWNERSHIP TO VERIFY FINAL AMENITY SELECTIONS AND SPECIFICATIONS.



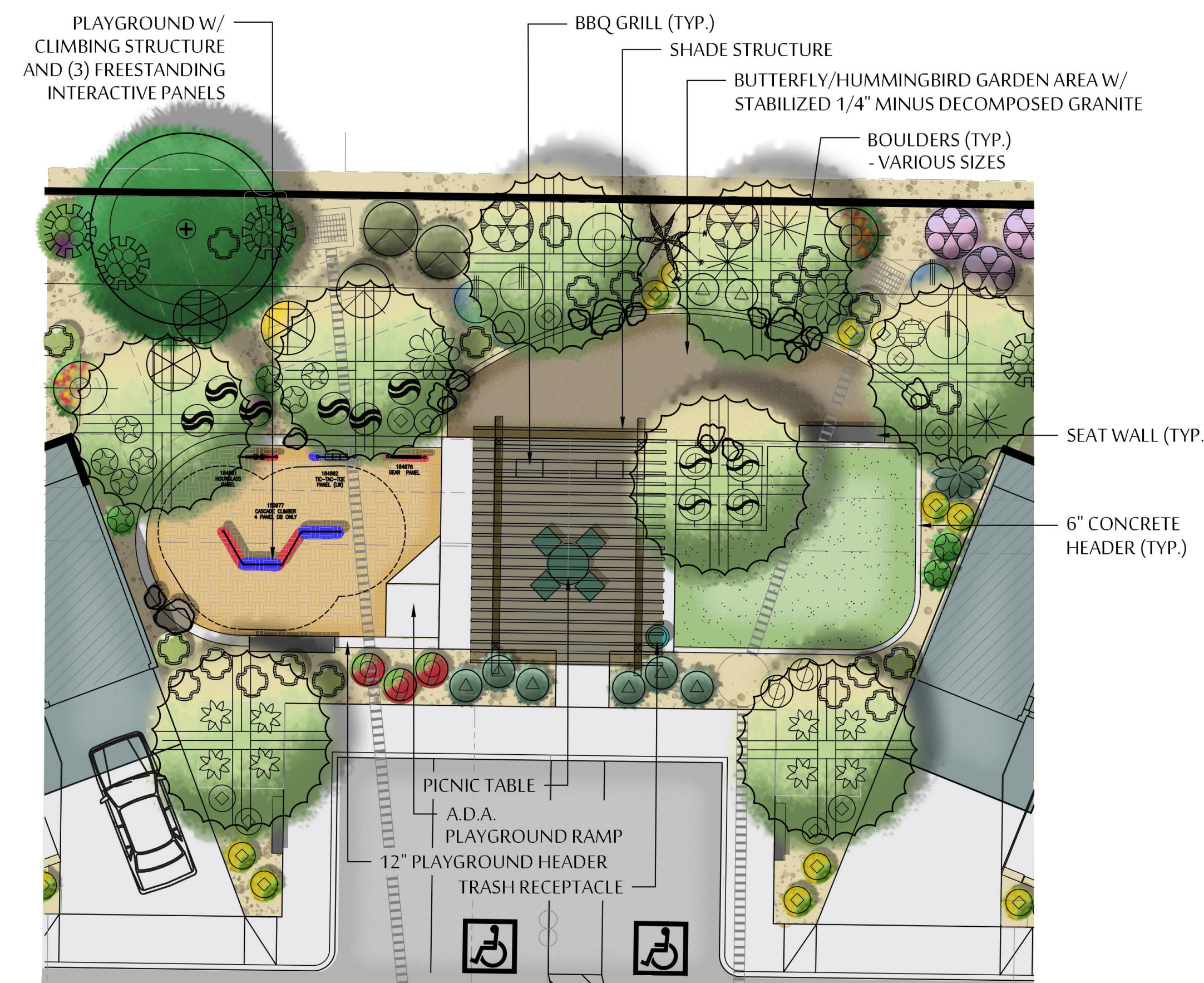
SEAT WALL



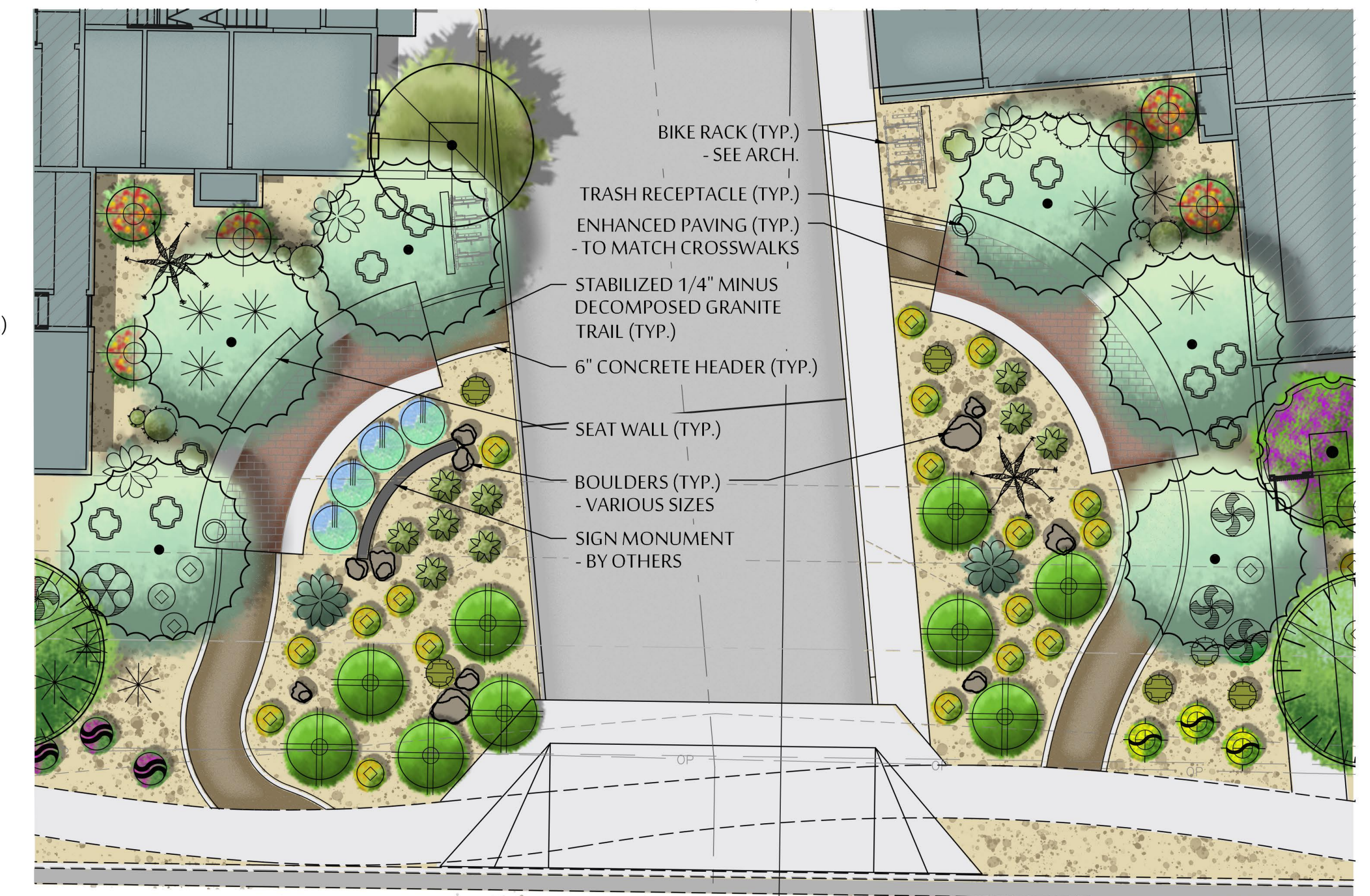
ENHANCED PAVING
(TO MATCH 3" RAISED ENHANCED PAVING CROSSWALKS)



A DOG PARK ENLARGEMENT



B CENTRAL GATHERING AREA ENLARGEMENT



C BOTANICAL WALK ENLARGEMENT

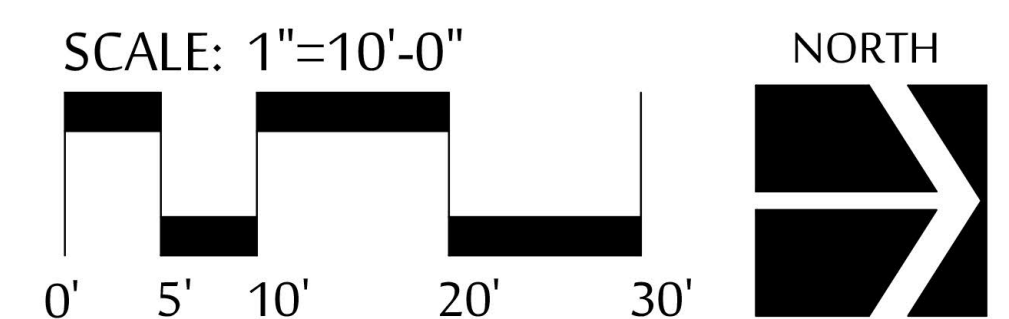


POWER TOWNHOMES

PRELIMINARY AMENITY ENLARGEMENTS

630 N. POWER RD. - MESA, ARIZONA
JULY 31, 2023

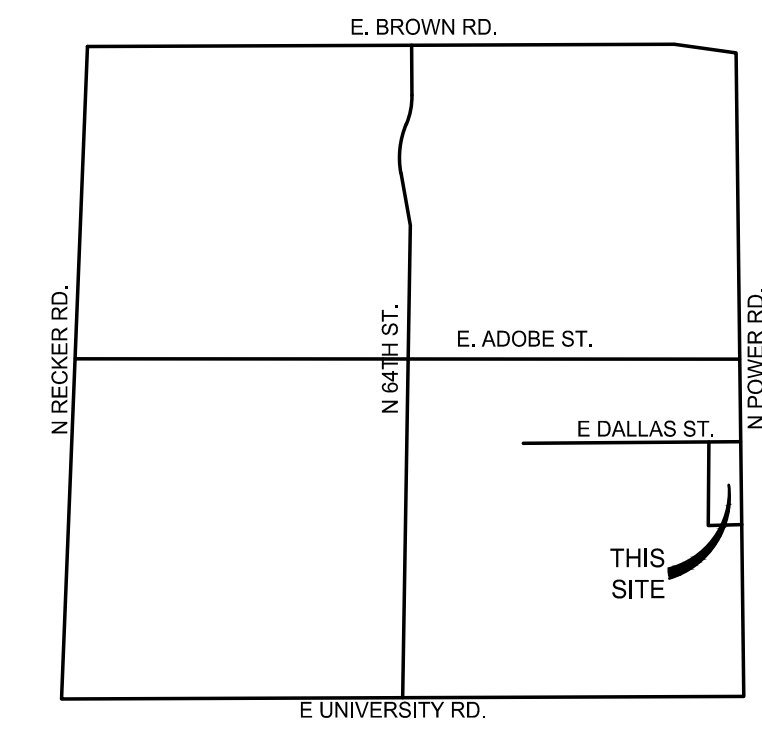
LS 1.02



PRELIMINARY GRADING & DRAINAGE PLAN FOR POWER TOWNHOMES

A PORTION OF SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 01
NORTH, RANGE 06 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA

APN# 141-62-002H
6739E DALLAS ST, MESA, ARIZONA 85208



VICINITY MAP
N.T.S.

CITY OF MESA GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE PERMIT SERVICES SECTION OF THE BUILDING SAFETY DIVISION AT (480) 644-48SD OR AT [HTTP://WWW.MESAAZ.GOV/DEV/SUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaaz.gov/dev/sustain/constructionpermits.aspx). THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
- TWENTY FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTEE SHALL NOTIFY CITY OF MESA ENGINEERING CONSTRUCTION SERVICES AT (480) 644-2253 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING CONSTRUCTION INSPECTOR. FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE, SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
- THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
- THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY OR EASEMENT HAVE BEEN CORRECTLY PLOTTED/SHOWN.
- THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE ENGINEERING DEPARTMENT - CONSTRUCTION SERVICES SECTION.
- THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY OR EASEMENTS HAS BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
- THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
- THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
- THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL (602) 263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
- WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
- CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
- IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
- IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE ENGINEERING CONSTRUCTION INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. UNLESS OTHERWISE APPROVED BY THE CITY, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES AND SYSTEMS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES SHALL BE BORNE BY THE CONTRACTOR.
- THE APPLICANT HEREBY REPRESENTS THAT THESE CONSTRUCTION DOCUMENTS COMPLY WITH ALL ZONING APPROVALS, DESIGN REVIEW BOARD APPROVALS, BUILDING AND ENGINEERING STANDARDS AND ALL APPLICABLE REQUIREMENTS OF THE MESA CITY CODE. THE APPLICANT ACKNOWLEDGES AND AGREES THAT ANY DEVIATION FROM OR FAILURE TO COMPLY WITH THE REQUIREMENTS OF ANY SUCH APPROVAL OR STANDARD WILL RESULT IN THE DENIAL OF CERTIFICATE OF OCCUPANCY AND MAY RESULT IN ADDITIONAL PENALTIES AND/OR ENFORCEMENT ACTIONS AS PROVIDED IN THE MESA ZONING AND BUILDING CODES. APPROVAL OR THE CONSTRUCTION DOCUMENTS SHALL NOT IMPLY APPROVAL OF ANY DEVIATION FROM THE PLANS APPROVED AND STIPULATED BY DESIGN REVIEW BOARD, PLANNING & ZONING BOARD, AND CITY COUNCIL, OR FROM BUILDING AND ENGINEERING STANDARDS.

CITY OF MESA PAVING NOTES:

- THE DEVELOPER AND THE CONTRACTOR ARE REQUIRED TO COORDINATE THE PLACEMENT OR INSTALLATION OF DRIVEWAYS IN ORDER TO AVOID CONFLICT WITH UTILITY SERVICES.
- ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC., SHALL BE INSTALLED TO FINISH GRADE OR SHALL BE ADJUSTED TO FINISH GRADE AFTER PLACING OF ASPHALTIC SURFACE COURSE BY THE CONTRACTOR PER M.A.G. STANDARD DETAIL 270 AND 422.
- THE CONTRACTOR SHALL ADJUST ALL FRAMES, COVERS, VALVE BOXES, MANHOLES, ETC. THAT ARE LOCATED WITHIN THE PARKWAY AREA AFTER FINAL GRADING AND INSTALLATION OF LANDSCAPING.
- ALL LANDSCAPING IMPROVEMENTS, INCLUDING IRRIGATION SYSTEMS WITHIN THE PUBLIC RIGHT-OF-WAY OR RETENTION BASINS THAT ARE TO BE MAINTAINED BY THE CITY OF MESA, SHALL BE IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION STANDARDS BOOKLET.
- THE STREET PAVING PERMITTEE/CONTRACTOR IS HEREBY NOTIFIED THAT IN THE EVENT THAT ACCEPTANCE OF THE PUBLIC STREET PAVING IS DELAYED; SIX MONTHS OR MORE AFTER THE PAVEMENT WAS INSTALLED, THE PERMITTEE/CONTRACTOR SHALL APPLY A SEAL COAT TO THE PAVEMENT. TYPE OF MATERIAL AND RATE OF APPLICATION WILL BE DIRECTED BY THE CITY OF MESA ENGINEERING DEPARTMENT - FIELD SUPERVISING ENGINEER.
- A STANDARD RESIDENTIAL DRIVEWAY APPROACH SHALL BE CONSTRUCTED TO A MAXIMUM WIDTH OF 30 FEET UNLESS SPECIAL APPROVAL HAS BEEN OBTAINED.

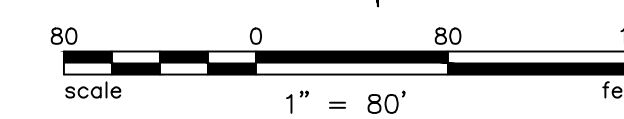
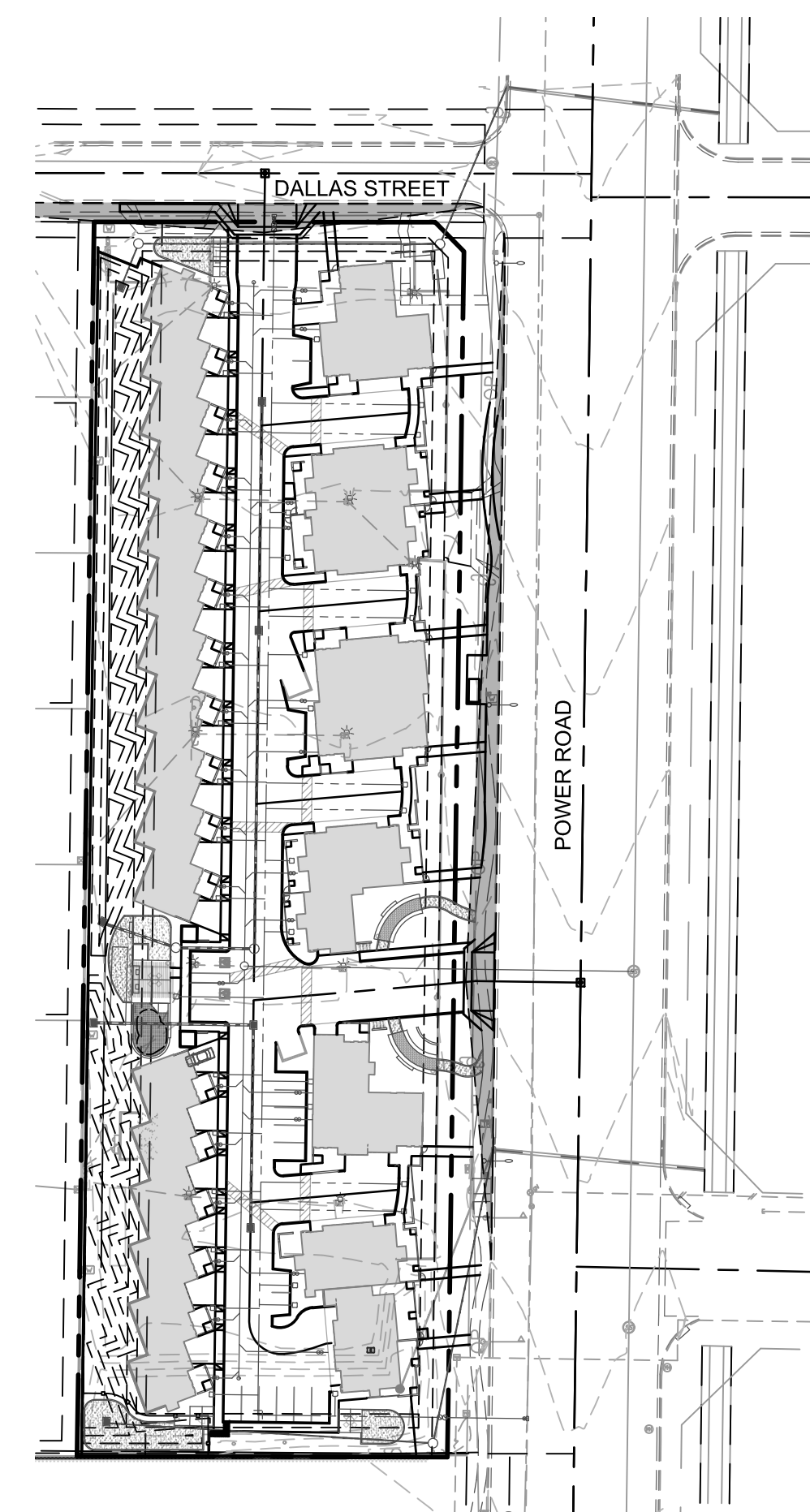
AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE REVIEWED THE "AS-BUILT" FOR THE ABOVE REFERENCED PROJECT AND CERTIFY THAT THE DEVELOPMENT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS, THAT IT WILL FUNCTION AS DESIGNED AND PERMITTED.

REGISTERED CIVIL ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED ARE CORRECT TO THE BEST OF MY KNOWLEDGE.

REGISTERED SURVEYOR _____ DATE _____



ENGINEER'S NOTES:

- THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON HIMSELF THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS TO THE SAME WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THERE OF.

APPROVALS:

CITY OF MESA _____ DATE _____

OWNER

ELLIOT BARKAN DEVELOPMENT
7505 E 6TH AVE #100,
SCOTTSDALE, ARIZONA 85251
TEL: (480) 273-7138
EMAIL: elliottbarkan@gmail.com
CONTACT: ELLIOT BARKAN

PROJECT DATA

GROSS AREA= 162,774 SF = 3.74 AC
NET AREA= 118,759 SF = 2.73 AC

SHEET INDEX

CIVIL PLANS

- C1.01.....COVER SHEET
- C1.02.....GRADING AND DRAINAGE PLAN
- C1.03.....GRADING AND DRAINAGE PLAN
- C1.04.....UTILITY PLAN
- C1.05.....UTILITY PLAN

FLOOD ZONE

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP, MAP NUMBER 04013C2295L DATED OCTOBER 16, 2013 OF 0.2% ANNUAL CHANCE FLOOD HAZARD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; AND AREAS OF FUTURE CONDITIONS OF 1% ANNUAL CHANCE FLOOD HAZARD..

ARCHITECT

PRESENCE DESIGN PLLC
115 E CAMPO DESIERTO RD
TEMPE, ARIZONA 85281
TEL: (480) 695-0877
EMAIL: presencedesign.cdk@outlook.com
CONTACT: COLIN KENYON

ENGINEER

BABBITT SMITH ENGINEERING LLC
1152 EAST GREENWAY STREET, SUITE 2
MESA, ARIZONA 85203
TEL: (480) 610-1341
FAX: (480) 982-9034
CONTACT: DARREN SMITH
EMAIL: darren@babbittsmith.com

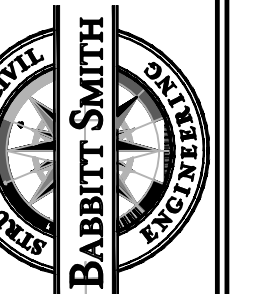
SITE BENCHMARK

POWER & UNIVERSITY
BRASS TAG T.C. S.W. CORNER
ELEV= 1435.22' (2022 NAVD88)

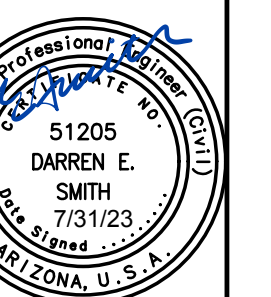
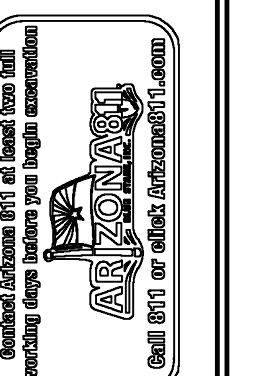
BASIS OF BEARING

THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 01 NORTH, RANGE 06 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEARING S 00°47'09"E

Babbitt Smith Engineering
1140 E. Greenway St. Suite 2
Mesa, Arizona 85203
office: (480) 610-1341
direct: (480) 757-9021
cell: (480) 862-9240



PRELIMINARY GRADING & DRAINAGE PLAN
PROJECT: 630 N POWER RD.
POWER TOWNHOMES
MESA, ARIZONA



JOB NO.
23074

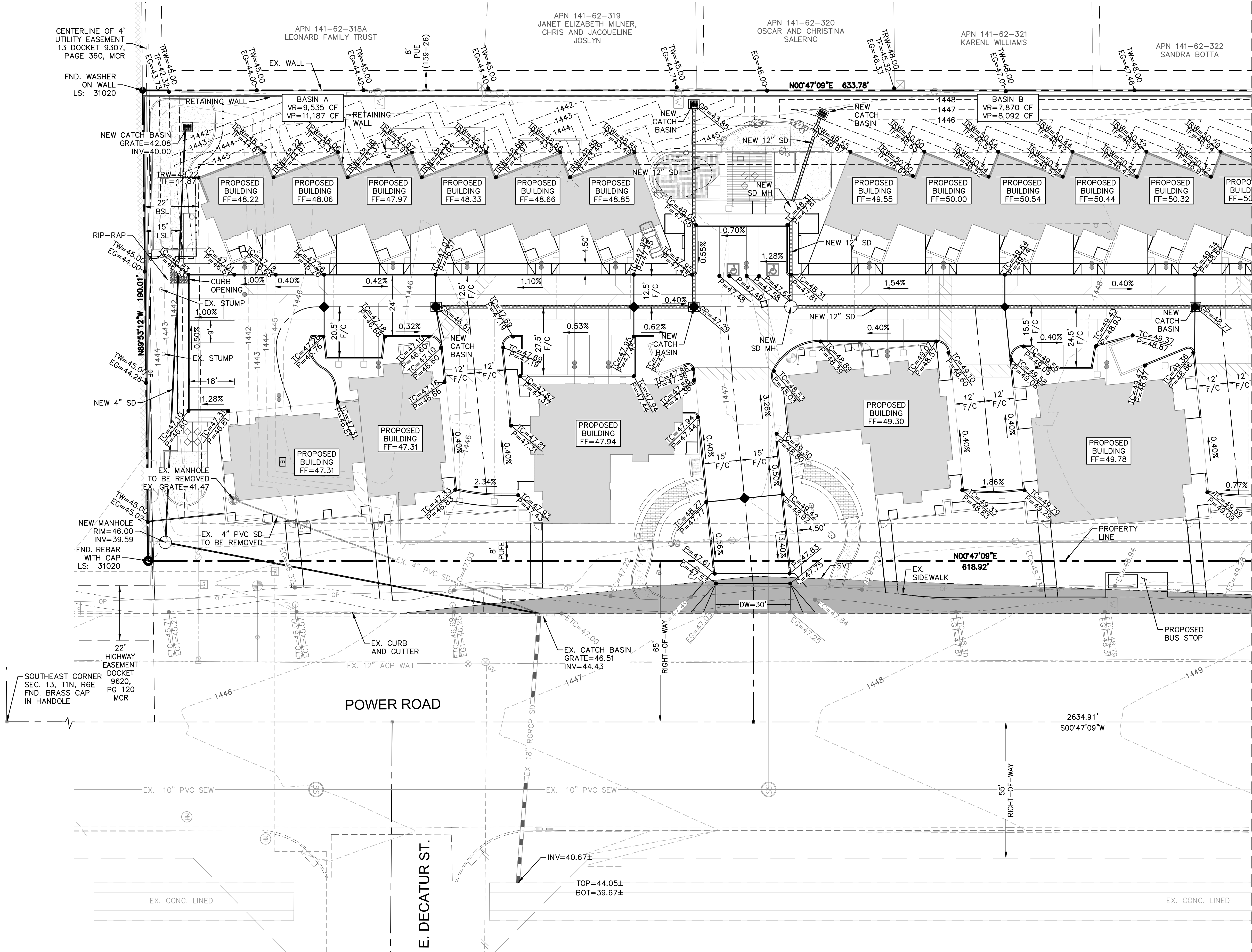
23074CS01.DWG

SHEET NO.

C1.01

ORGANIZATION	REPRESENTATIVE	PHONE NUMBER
CTLQL - CENTURY LINK	USIC DISPATCH CENTER	(800)-778-9140
CITY OF MESA UTILITIES	CHRIS MEHAN	(480)-215-2433
COX COMMUNICATIONS - MARICOPA	USIC DISPATCH CENTER	(800)-778-9140
SALT RIVER PROJECT - MARICOPA COUNTY	SRP BLUE STAKE	(602)-236-8026

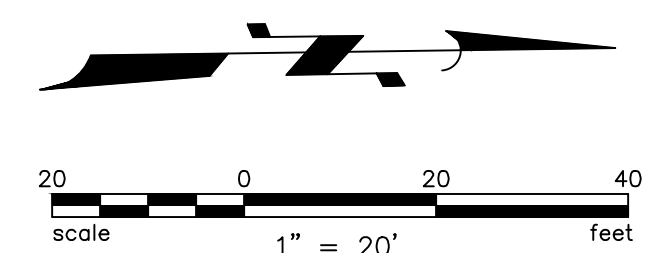
THIS PROJECT IS LOCATED WITHIN AN AREA DESIGNATED AS FLOOD ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. PANEL NOT PRINTED ON A FLOOD INSURANCE RATE MAP.



SHEET 3

LEGEND

- SECTION LINE
- CENTERLINE/MONUMENT LINE
- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- RIGHT-OF-WAY
- PUBLIC UTILITY EASEMENT
- EXISTING CONTOUR
- PROPOSED VERTICAL CURB & GUTTER
- EXISTING VERTICAL CURB & GUTTER
- MATCH LINE
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED WATER
- PROPOSED SEWER
- EXISTING WATER
- EXISTING SEWER
- PROPOSED SEWER MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED CATCH BASIN
- EXISTING CATCH BASIN
- EXISTING DRYWELL
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- PROPOSED POWER POLE
- EXISTING POWER POLE
- PROPOSED STREET SIGN
- EXISTING STREET SIGN
- EXISTING WALL
- PROPOSED WALL
- SIGHT VISIBILITY TRIANGLE
- TRASH CONTAINER
- GRADE BRAKE
- GRADE CHANGE
- 0.58% SLOPE
- PAD=32.00
FF=32.67 FINISHED FLOOR & PAD ELEVATION
- C= CONCRETE
- EG= EXISTING GRADE
- FG= FINISH GRADE
- FF= FINISHED FLOOR
- PAD= PAD ELEVATION
- GF= GARAGE FLOOR ELEVATION
- TRW= TOP OF RETAINING WALL ELEVATION
- TF= TOP OF FOOTING ELEVATION
- SVT= SIGHT VISIBILITY TRIANGLE
- TC= PROPOSED GUTTER ELEVATION
- G= PROPOSED TOP OF CURB ELEVATION
- EGT= EXISTING GUTTER ELEVATION
- ETC= EXISTING TOP OF CURB ELEVATION
- VG= VALLEY GUTTER ELEVATION
- P= PROPOSED PAVEMENT ELEVATION
- VP= VOLUME PROVIDED
- VR= VOLUME REQUIRED
- GR= GRATE ELEVATION



REVISIONS:

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PRELIMINARY GRADING & DRAINAGE PLAN
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 POWER RD TOWNHOMES
 MESA, ARIZONA

JOB NO.
23074

23074GP01.DWG

SHEET NO.
C1.02

Power Townhomes
RETENTION SUMMARY

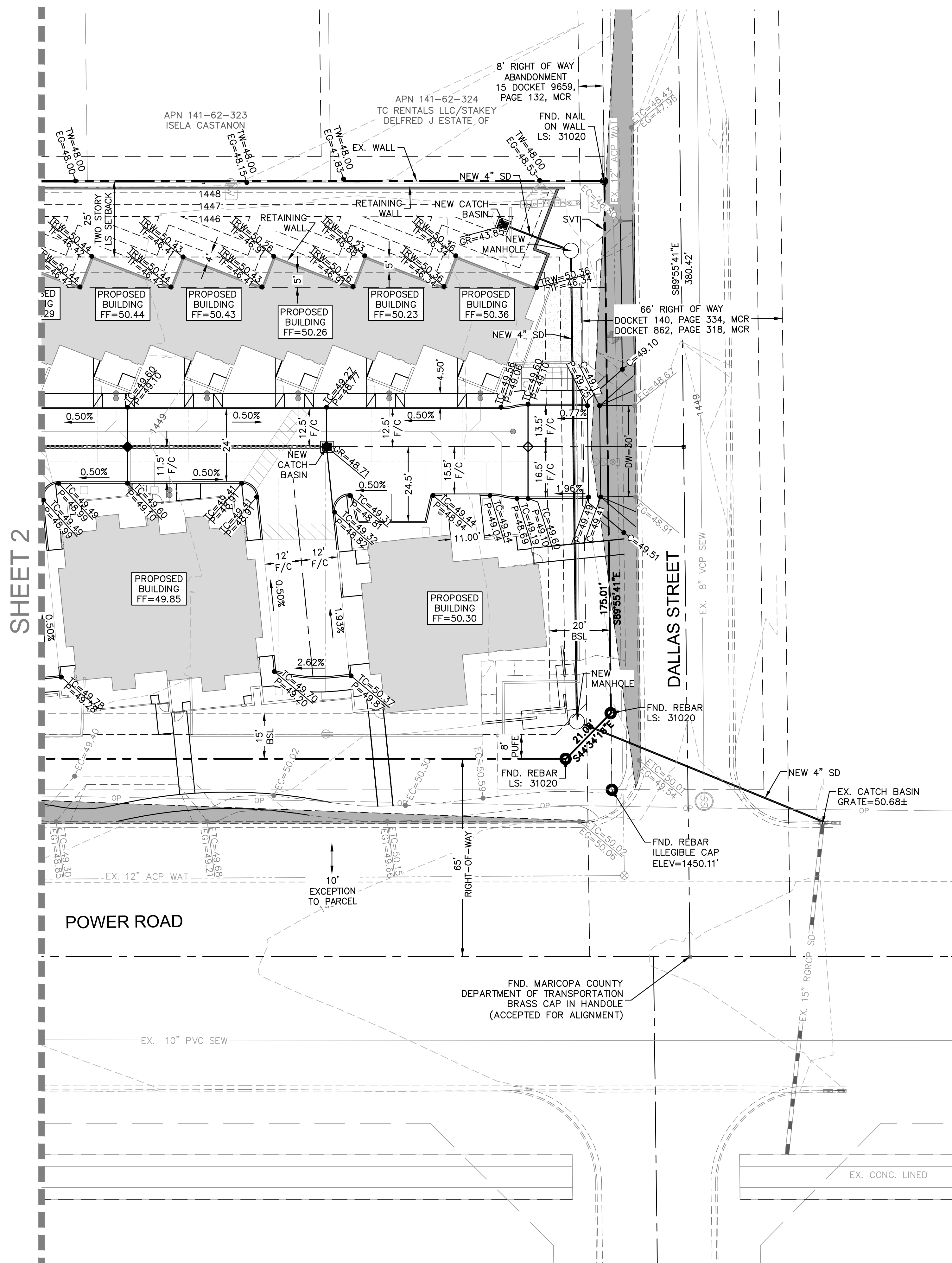
RETENTION METHOD	DRAINAGE AREA	RUNOFF COEFFICIENT	AREA (ACRES)	R _R (CF)	D (FT)	A _T (SF)	A _B (SF)	R _P (CF)	Excess (CF)	% excess
BASIN A	1	0.81	1.47	9,535.28	3.0	5,894	1,564	11,187	1,652	17%
BASIN B	2	0.78	1.26	7,870.20	2.0	7,157	935	8,092	222	3%
TOTAL		0.84	1.11	17,405.49				19279.00	1,874	11%

100yr-2hr precipitation depth¹ 2.20= inches = 0.1833 ft
 100yr-2hr precipitation depth¹ inches feet
 2.20 0.183

Retention Required (R_R)¹ = C x P12 x A
 Where: C = Weighted runoff coefficient
 P = 100-year 2-hour rainfall depth
 A = Contributing Area (SF)

Retention Provided (R_P)¹ = [(A_T + A_B) / 2] x D
 Where: A_T = Basin Top Area (SF)
 A_B = Basin Bottom Area (SF)
 D = Basin Depth (FT)

¹ NOAA



REVISIONS:

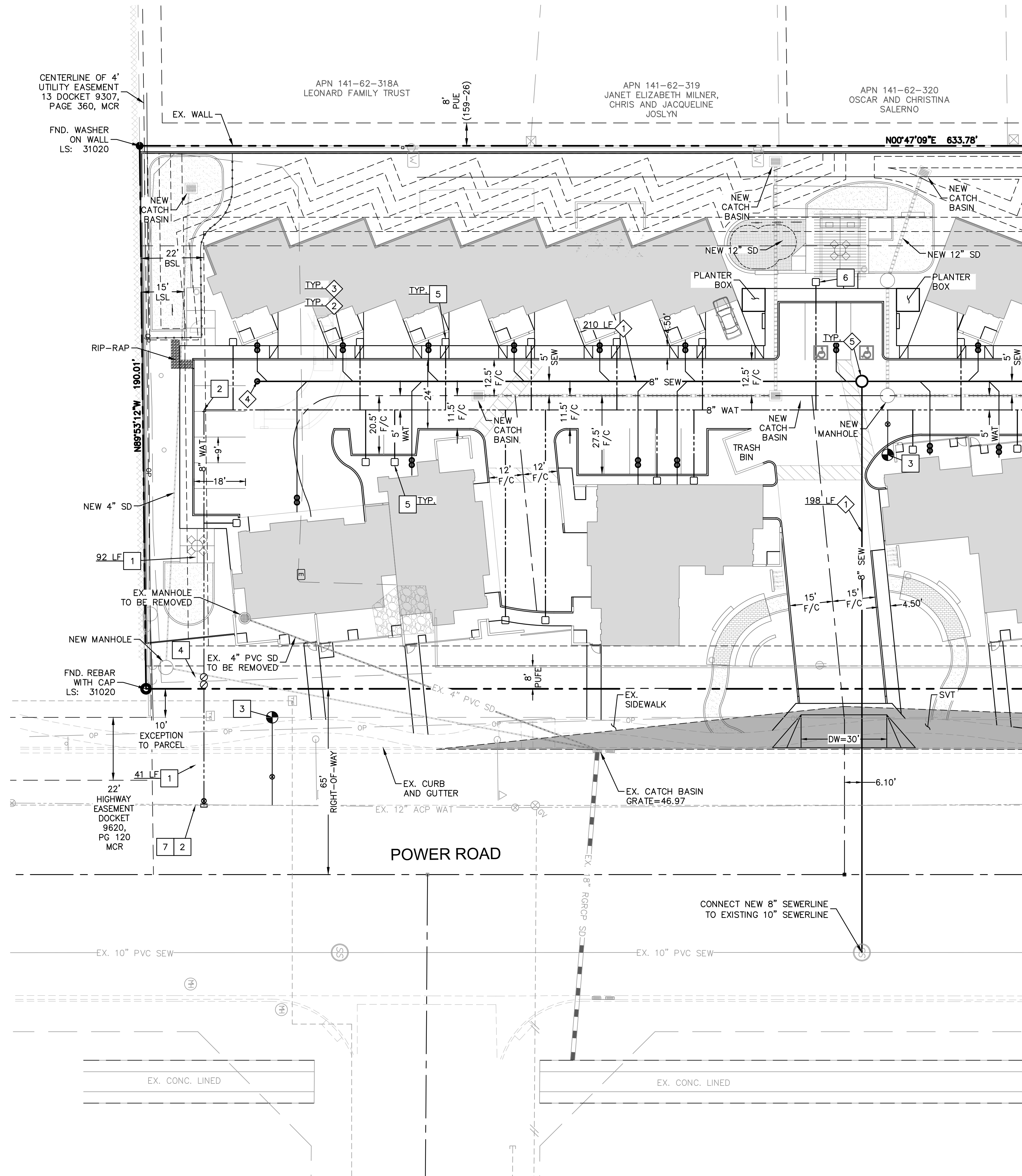
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PRELIMINARY GRADING & DRAINAGE PLAN
 PROJECT: 630 N POWER RD.
 POWER RD TOWNHOMES
 MESA, ARIZONA

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23074GP01.DWG

SHEET NO.
C1.03

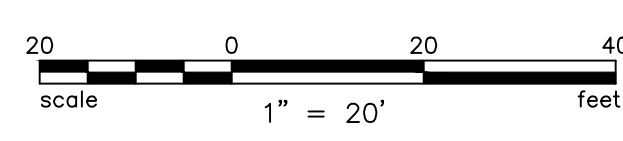


SHEET 5

GENERAL NOTES:

1. BABBITT SMITH ENGINEERING (BSE) DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OR ELEVATIONS OF THE UTILITIES AS SHOWN ON THE MAP. ALL UTILITY LOCATIONS ARE APPROXIMATE AND ARE DEPICTED BASED ON LOCATION OF UTILITIES BY LOCAL UTILITY AUTHORITIES, VISIBLE APPURTENANCES, OR MAPS PREPARED BY OTHERS. THESE LOCATIONS ARE NO GUARANTEE THAT THERE ARE NO OTHER UTILITIES EITHER PUBLIC OR PRIVATE THAT ARE NOT SHOWN ON THE TOPO SURVEY. ALL UTILITIES SHALL BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING THIS WORK, AND SHALL BE RESPONSIBLE FOR MAKING THE NECESSARY ARRANGEMENTS WITH THE GOVERNING UTILITY COMPANY FOR UTILITIES REQUIRING LOCATION AND RELOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICT OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.

WATER NOTES		
1	8" D.I.P. WATERLINE CLASS 350 CEMENT LINED, MAG SPEC 750 & 610.6	743 LF
2	INSTALL BEND, TEE, OR CR CROSS WITH JOINT RESTRAINTS PER MAG STD DTL 303-1 & 303-2, THURST BLOCK PER MAG STD DTL 380 & 381, PER TEE INSTALLATION M-52 REQUIRED	3 EA
3	FIRE HYDRANT, PER MAG STD DTL 360-1 & 362	3 EA
4	INSTALL REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY, PER COM STD DTL M-31.01	1 EA
5	2" SINGLE WATER SERVICE, PER MESA STD DTL M-49.01, M-49.02 & M-49.03, 2. 2" BACKFLOW PER M-31.03	38 EA
6	1" LANDSCAPE SERVICE W/BOX & COVER, PER MESA STD DTL M-29 & MAG STD DTL 320, PER COM STD DTL M-49.01 & M-49.02, 1" BACKFLOW PER M-31.03	1 EA
7	8" WATER VALVE, BOX & COVER & BLOCKING, PER MAG STD DTL 391-1, 391-2 & 301	2 EA
SEWER NOTES		
1	8" PVC (SDR-35) SEWERLINE, TRENCHING PER COM M-19.04	757 LF
2	INSTALL TWO-WAY CLEAN OUT, PER MAG 440-2	30 EA
3	4" SEWER SERVICE MAG 440-1	30 EA
4	INSTALL ONE-WAY CLEAN OUT, PER MAG 440-3	2 EA
5	5' DIA SEWER MANHOLE WITH 30" FRAME AND COVER, TYPE 'A' TOP PER MAG 420-1, 420-2, 420-3. NO STEPS SHALL BE INSTALLED IN THE MANHOLE. MANHOLES ARE REQUIRED TO HAVE A FORM OR CORROSION PROTECTION PER CITY OF MESA ENG & DESIGN STDS SECTION 433	1 EA



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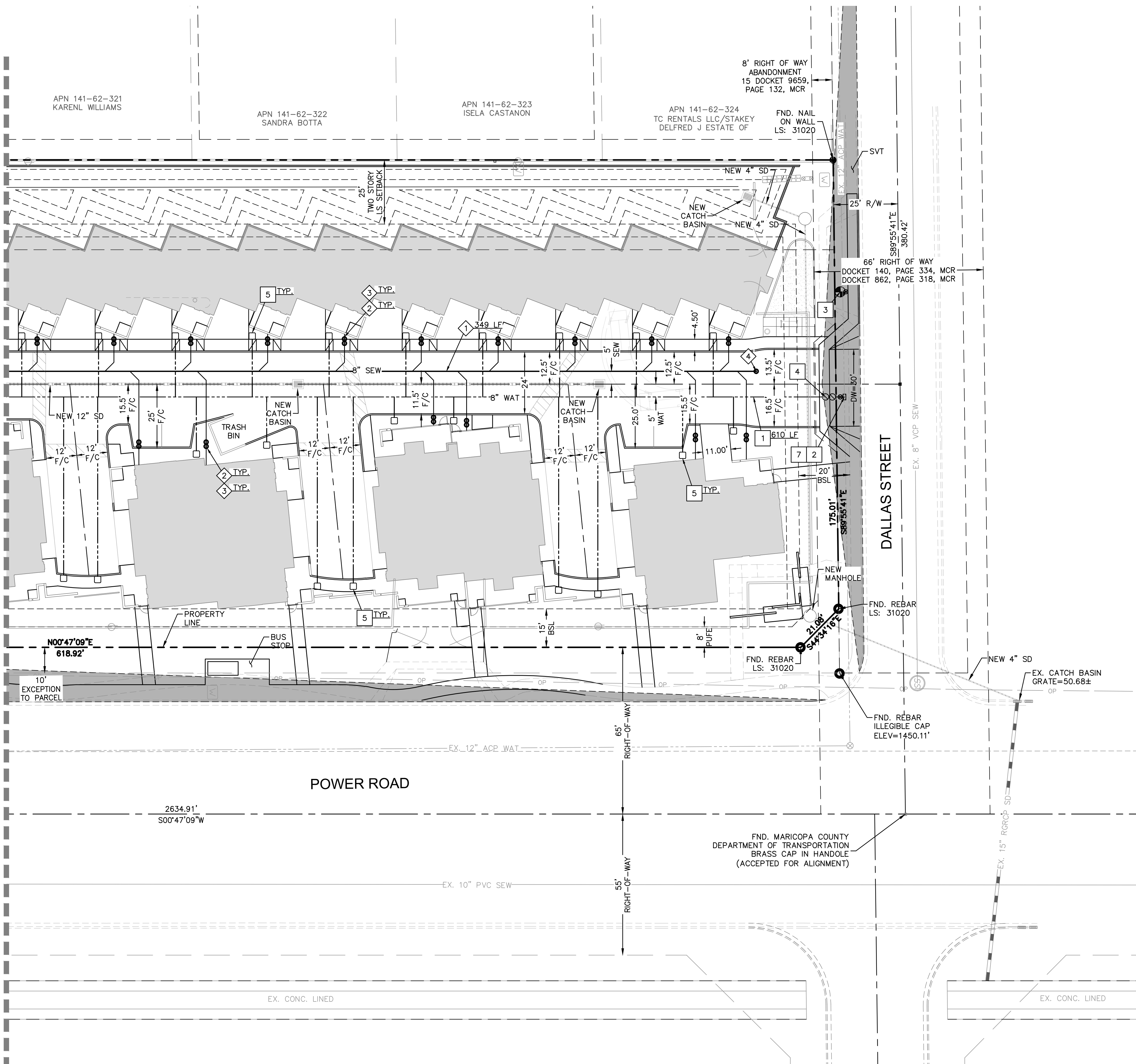
PRELIMINARY UTILITY PLAN
PROJECT:
630 N POWER RD.
POWER TOWNHOMES
MESA, ARIZONA

JOB NO.
23074

23074UP01.DWG

SHEET NO.
C1.04

SHEET 4



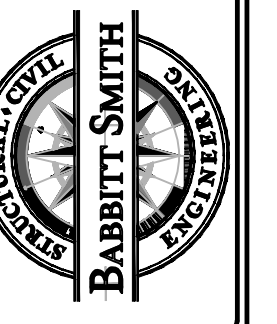
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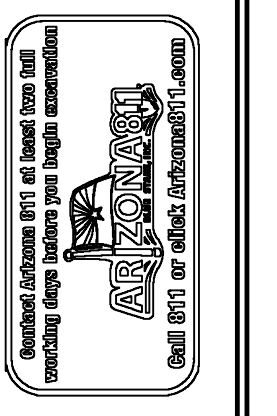
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PRELIMINARY UTILITY PLAN
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 POWER TOWNHOMES
 MESA, ARIZONA

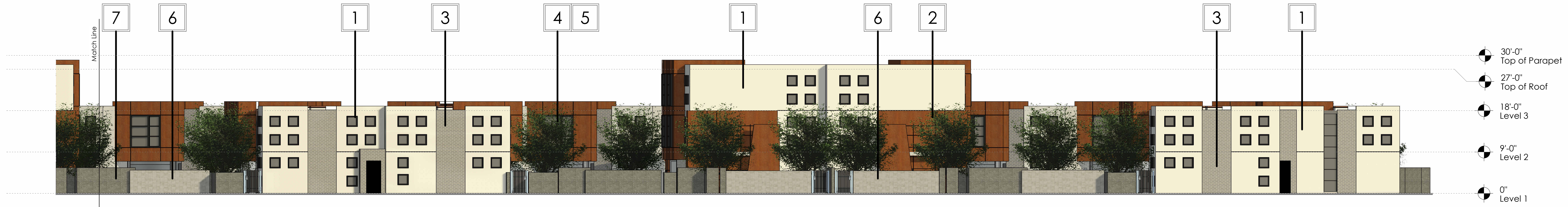


51205
 DARREN E. SMITH
 7/31/23
 ARIZONA, U.S.A.

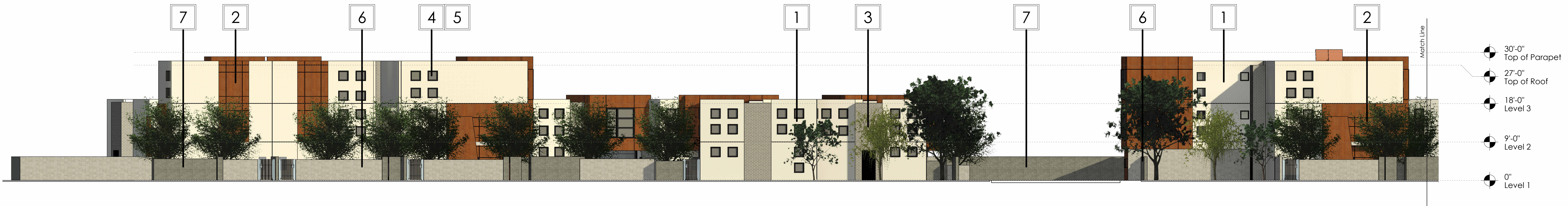
JOB NO.
 23074
 23074UP01.DWG

SHEET NO.
 C1.05

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00 Power Colored Elevation .03
3/32" = 1'-0"



00 Power Colored Elevation .02
3/32" = 1'-0"



00 Dallas Colored Elevations .01
3/32" = 1'-0"

Material Legend

7		6		5		4		3		2		1	
Site Walls: Lace Stucco Finish - SW 7643 Pussy Willow	Site Walls: 8x4x16 CMU Block - Pattern Stacked Horizontal W/ Raked Joints	Windows: Black Anodized Window Frames	Windows: Solarban Vitro Glass - Solar Gray or sim	Building Walls: Carbon Black Velour Face Brick - Running Bond	Building Walls: Hardie Panel Vertical Siding 4x8 - Painted WITH/ Metal Effects Rust Activator with Satin Clear Coat	Building Walls: Santa Barbara Finish Stucco - SW 7570 Egret White							

COLORED ELEVATIONS

POWER TOWNHOMES
630 North Power Rd. Mesa, AZ 85205



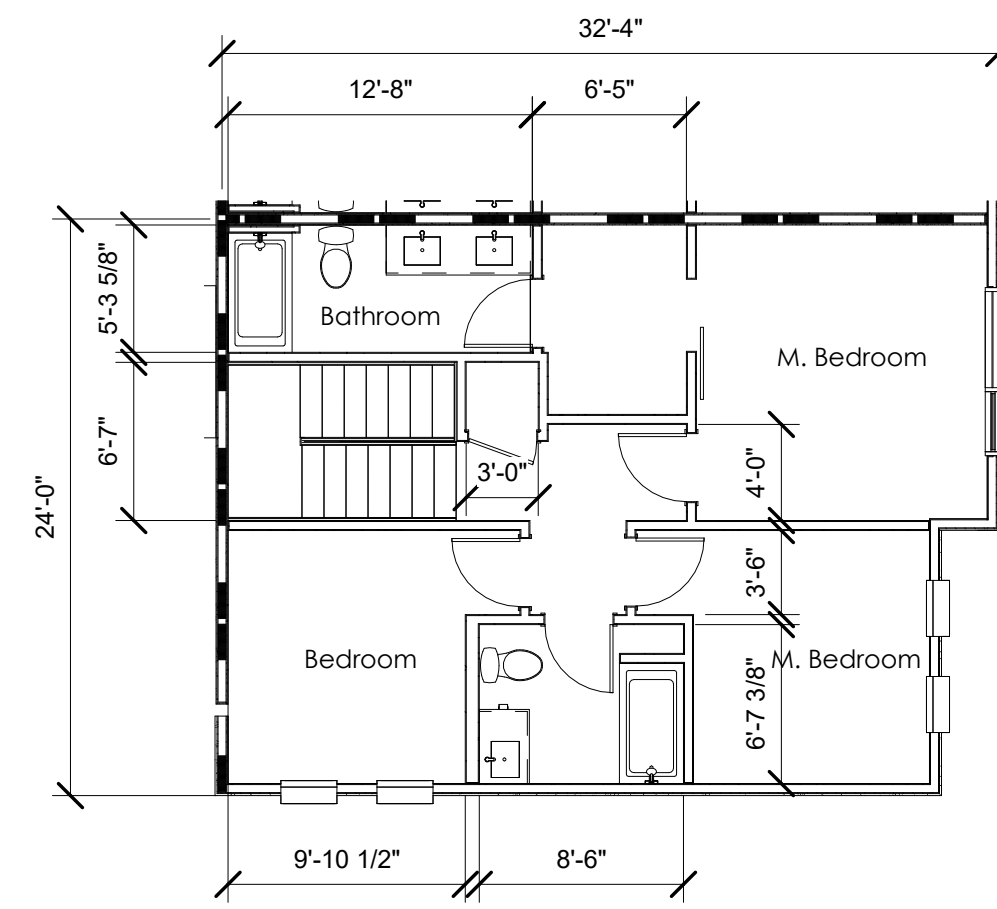
PRESENCE
DESIGN
Phoenix, AZ

CDK DLLK

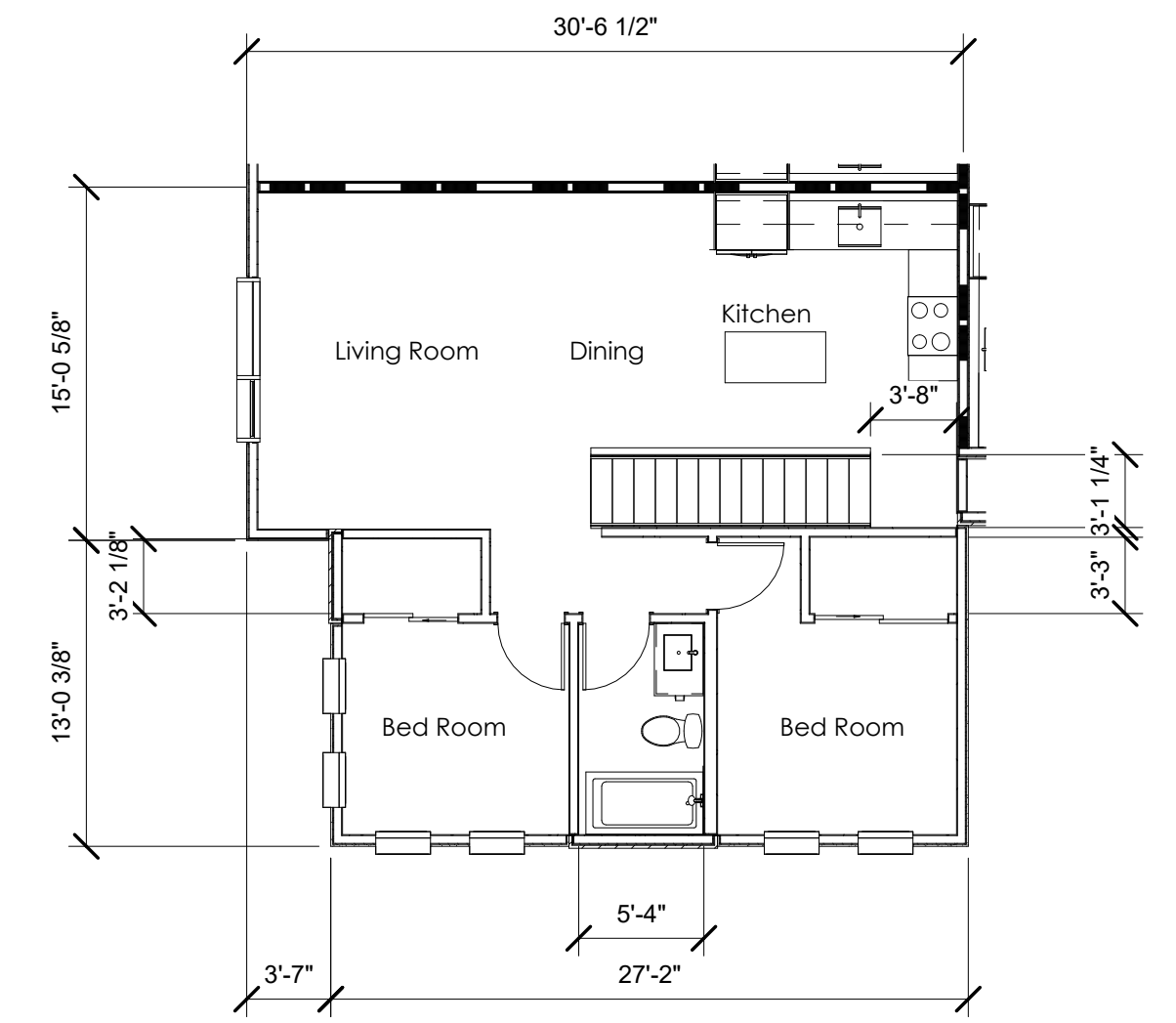
ZONING | FINAL SITE PLAN
15 August 2023 PD 2303.04

ZA0.03

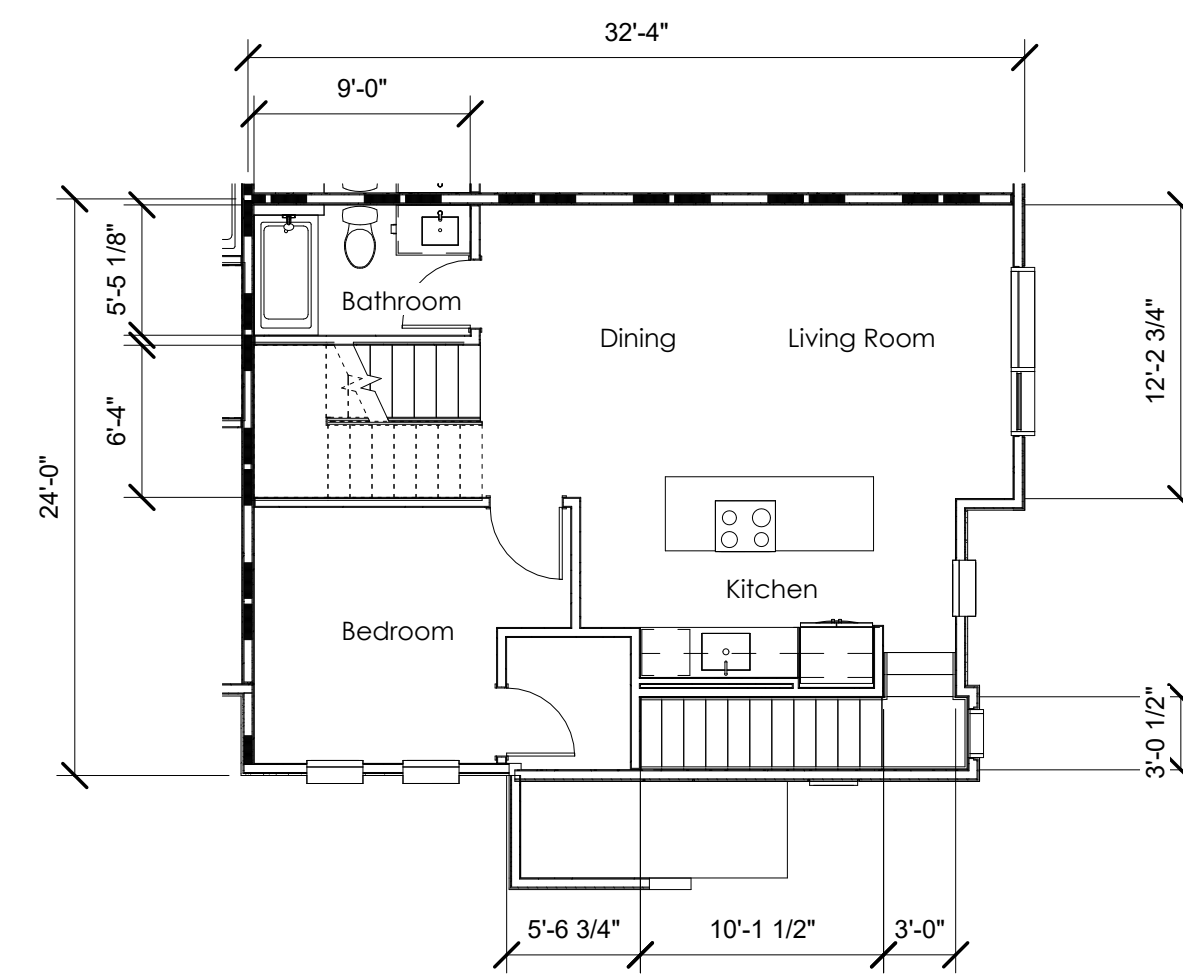
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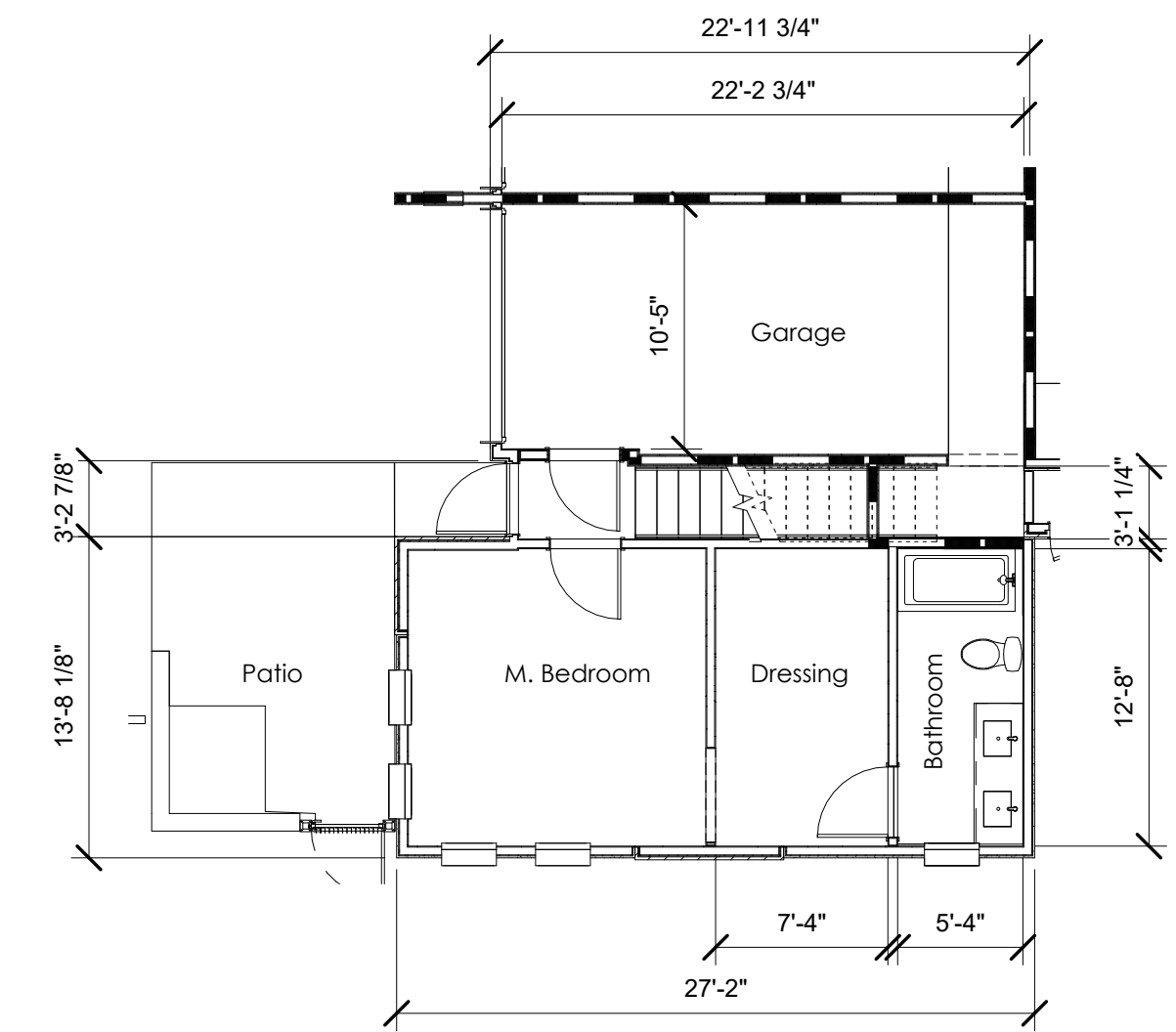
4B3B Level 3 Floor Plan .05
1/8" = 1'-0"



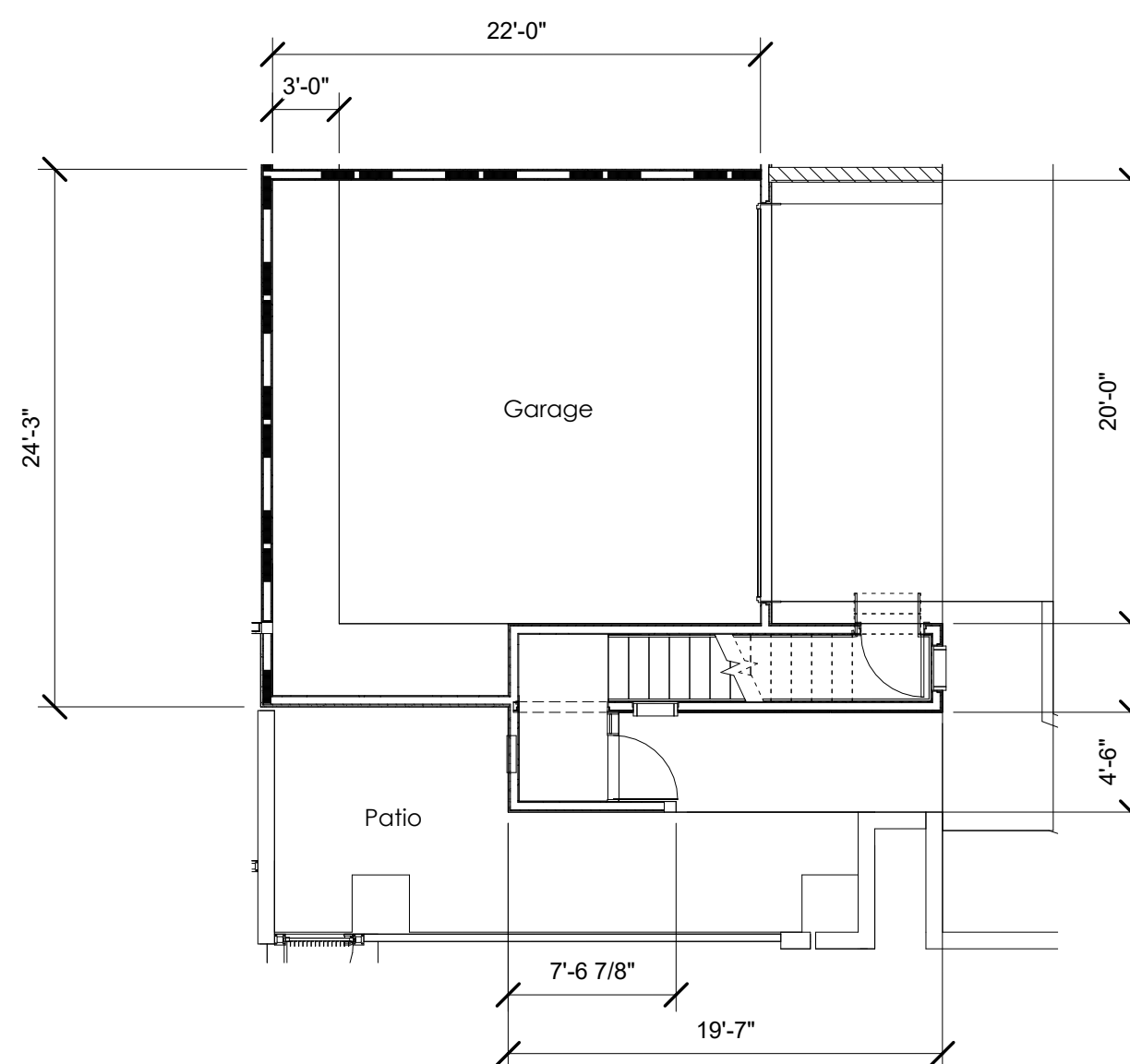
3B2B Level 2 Floor Plan .02
1/8" = 1'-0"



4B3B Level 2 Floor Plan .04
1/8" = 1'-0"



3B2B Level 1 Floor Plan .01
1/8" = 1'-0"



4B3B Level 1 Floor Plan .03
1/8" = 1'-0"

3B2B & 4B3B UNIT PLANS

POWER TOWNHOMES

630 North Power Rd. Mesa, AZ 85205



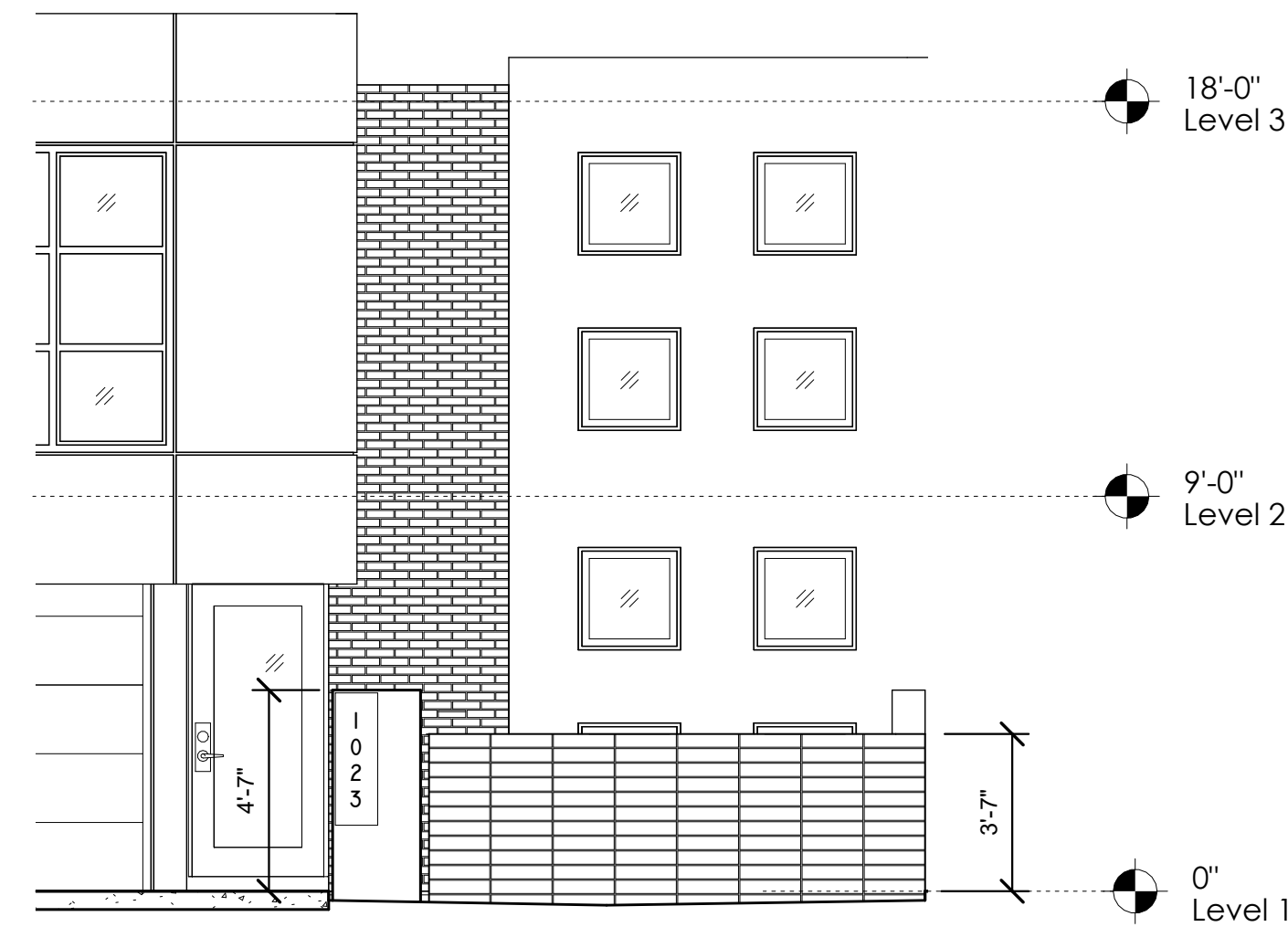
Expires 6.30.2024

PRESENCE DESIGN
Phoenix, AZ

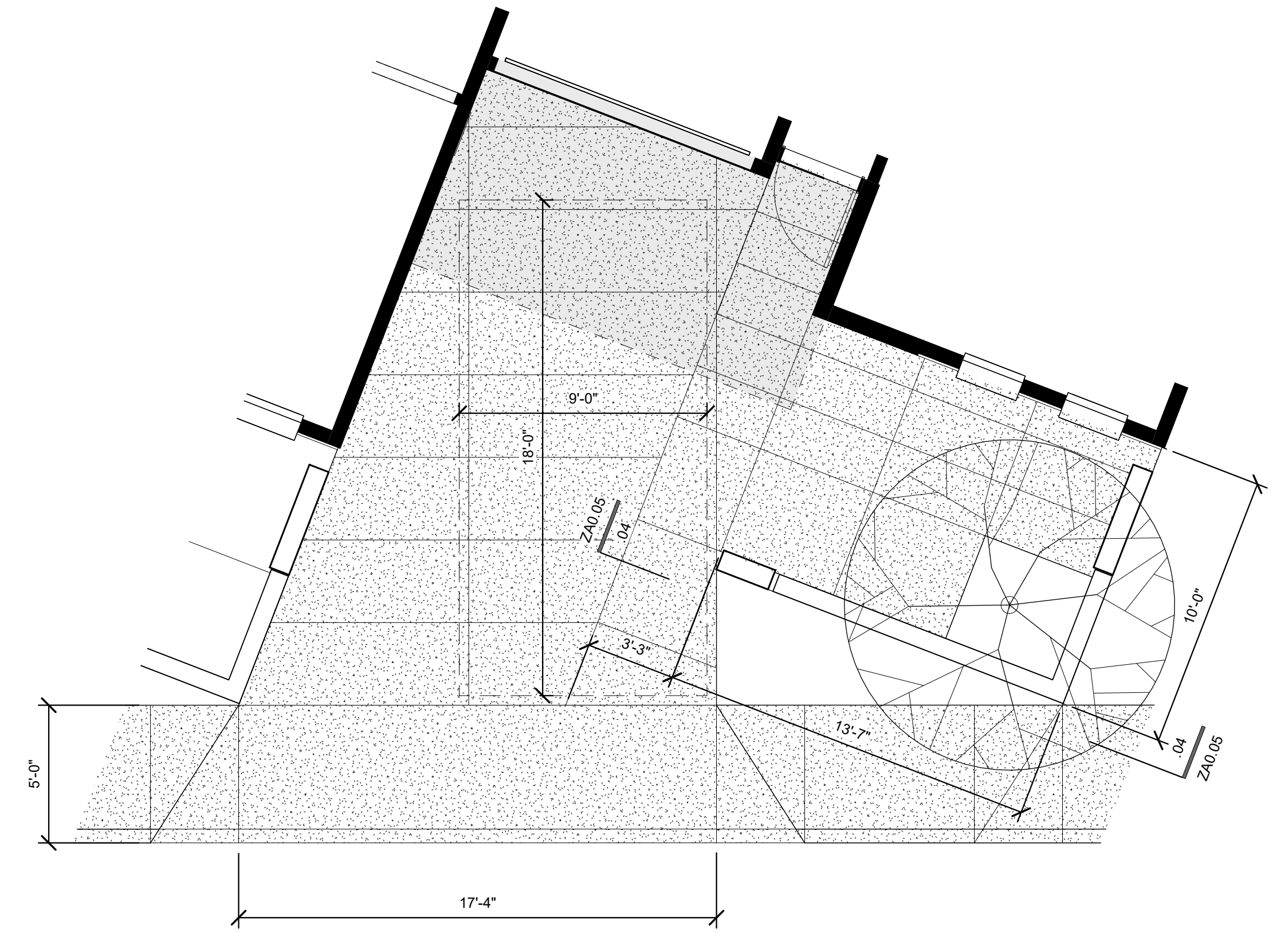
Drawn: CDK Checked: DLLK ZONING | FINAL SITE PLAN
15 August 2023 PD 2303.04

ZA0.04

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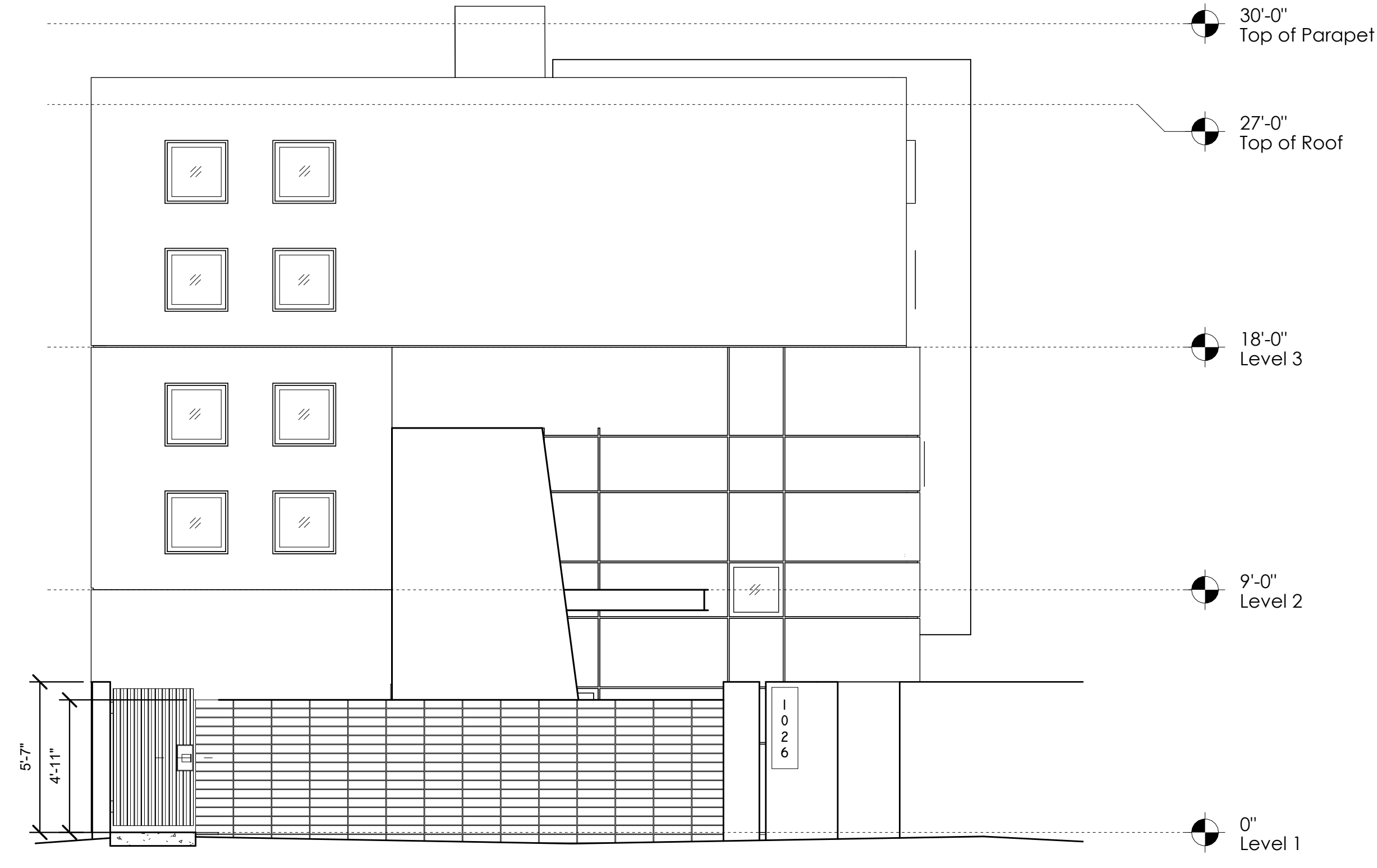
Patio Elevation 3B2B
1/4" = 1'-0" .04



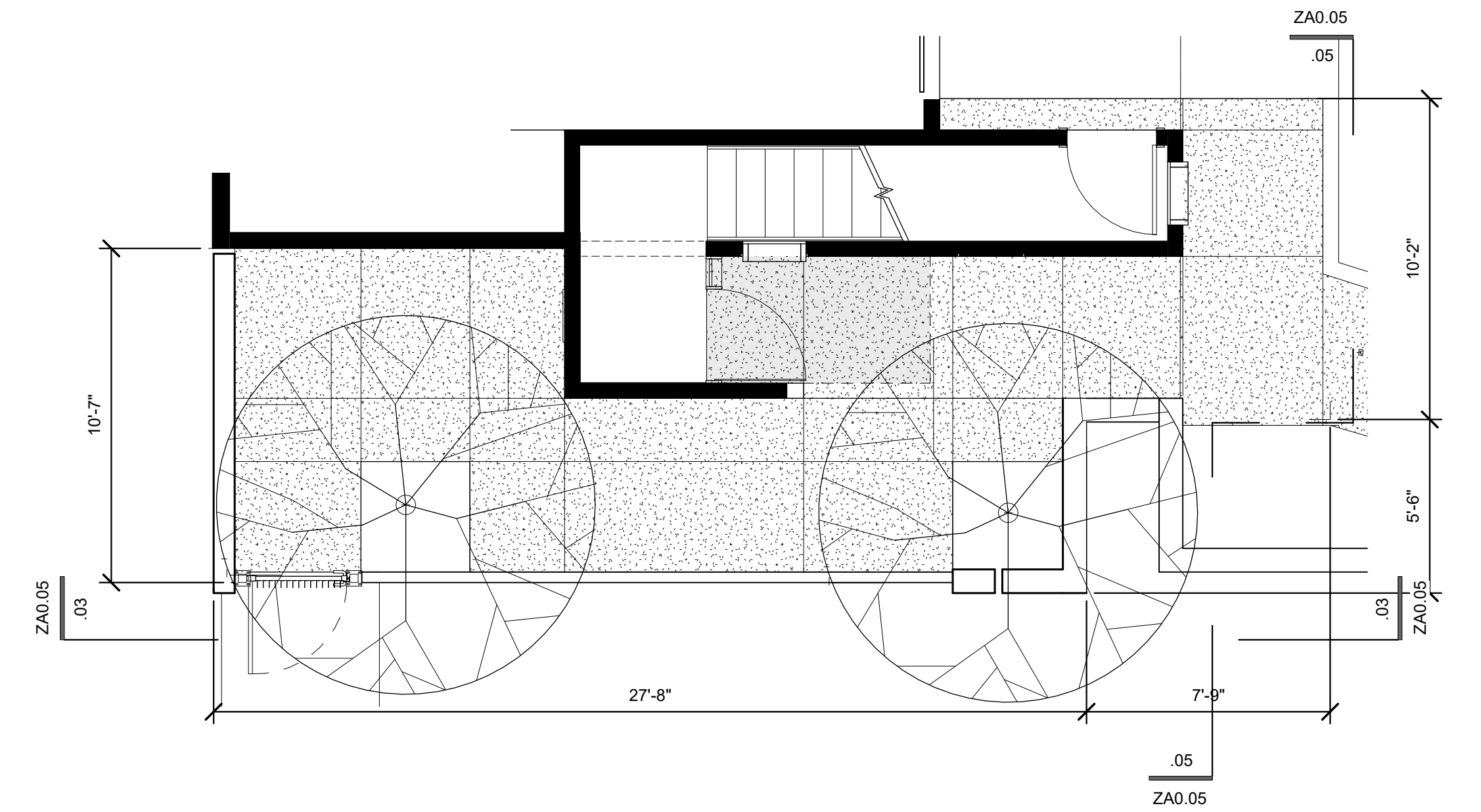
3B2B Typ. Private Open Space
1/4" = 1'-0" .02



4B3B Patio Elevation AA
1/4" = 1'-0" .05



4B3B Patio Elevation BB
1/4" = 1'-0" .03



4B3B Typ. Private Open Space
1/4" = 1'-0" .01

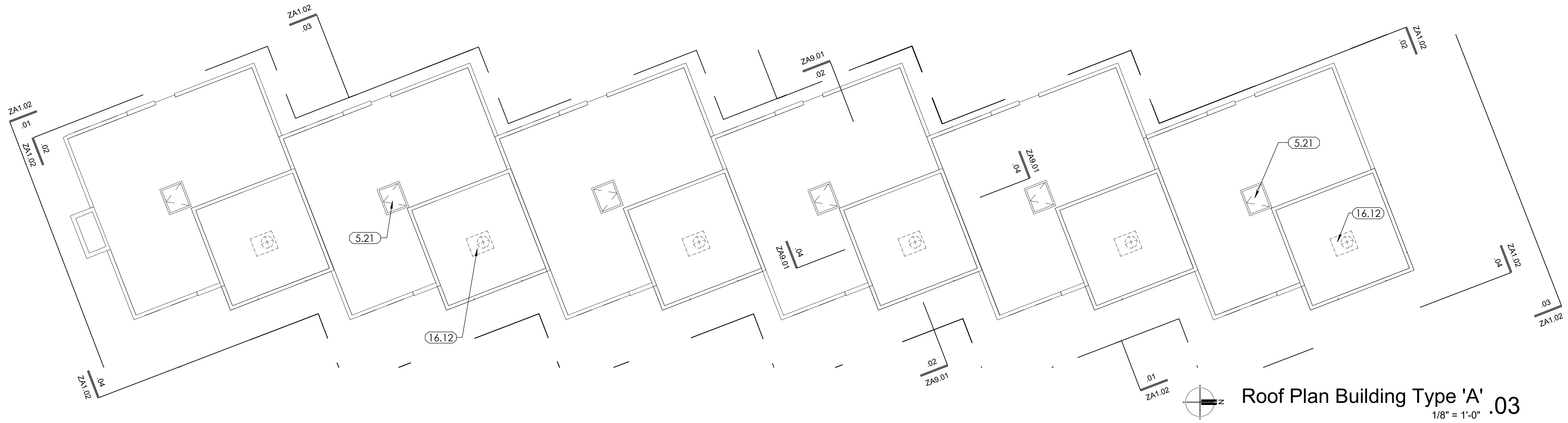
TYPICAL PATIO PLANS

POWER TOWNHOMES
630 North Power Rd. Mesa, AZ 85205

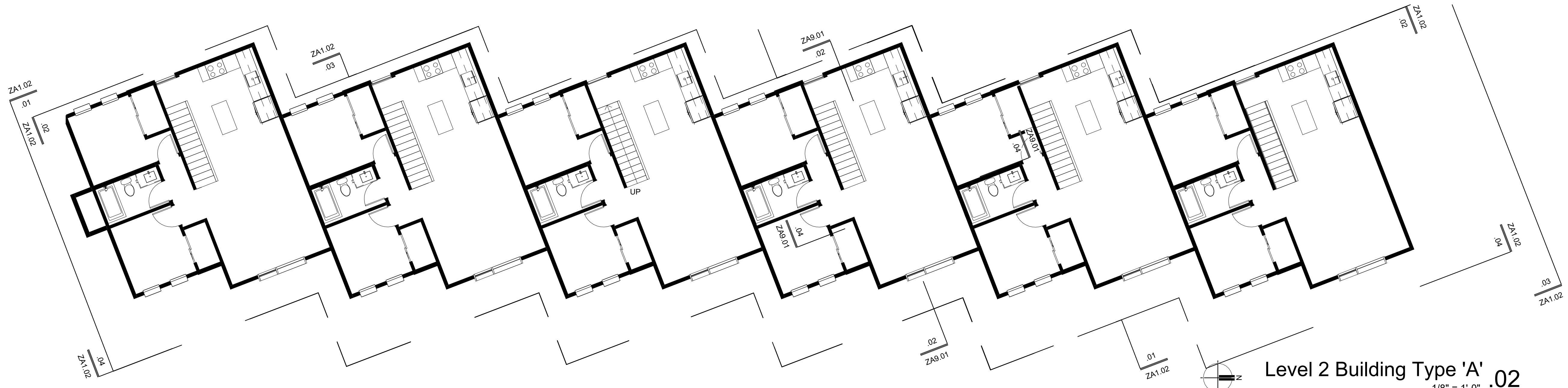


PRESENCE
DESIGN
Phoenix, AZ

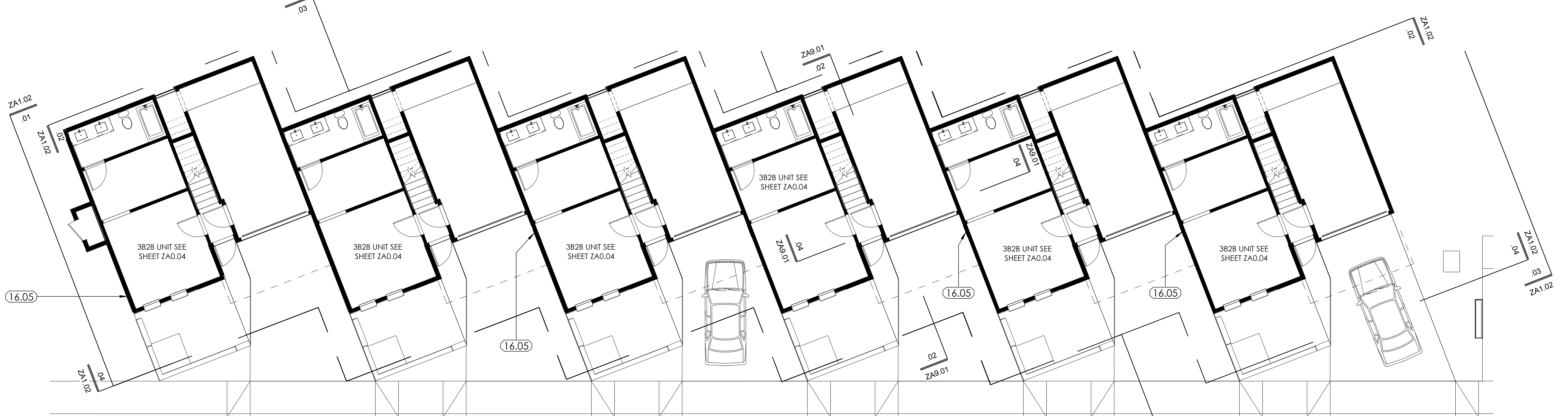
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Roof Plan Building Type 'A' .03
1/8" = 1'-0"



Level 2 Building Type 'A' .02
1/8" = 1'-0"



Level 1 Building Type 'A' .01
1/8" = 1'-0"

Keynotes

- 5.21 Roof Hatches.
- 16.05 Flush mounted electrical panel box.
- 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Note:

Condensing units to be shielded on all four sides with parapet.

Building Type 'A' Total Material Percentage Proportion

Material	Area (Sft)	(%)
FIBER CEMENT	1,566	15.0
STUCCO	6,097	58.5
BRICK	1,234	11.8
GLASS	979	9.4
GARAGE	420	4.0
DOOR	126	1.2
TOTAL	10,422	100

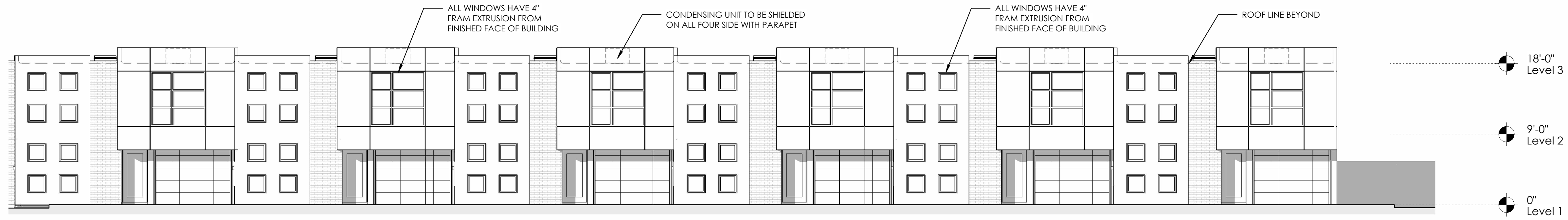
FLOOR PLANS
Building Type 'A'

POWER TOWNHOMES
630 North Power Rd. Mesa, AZ 85205

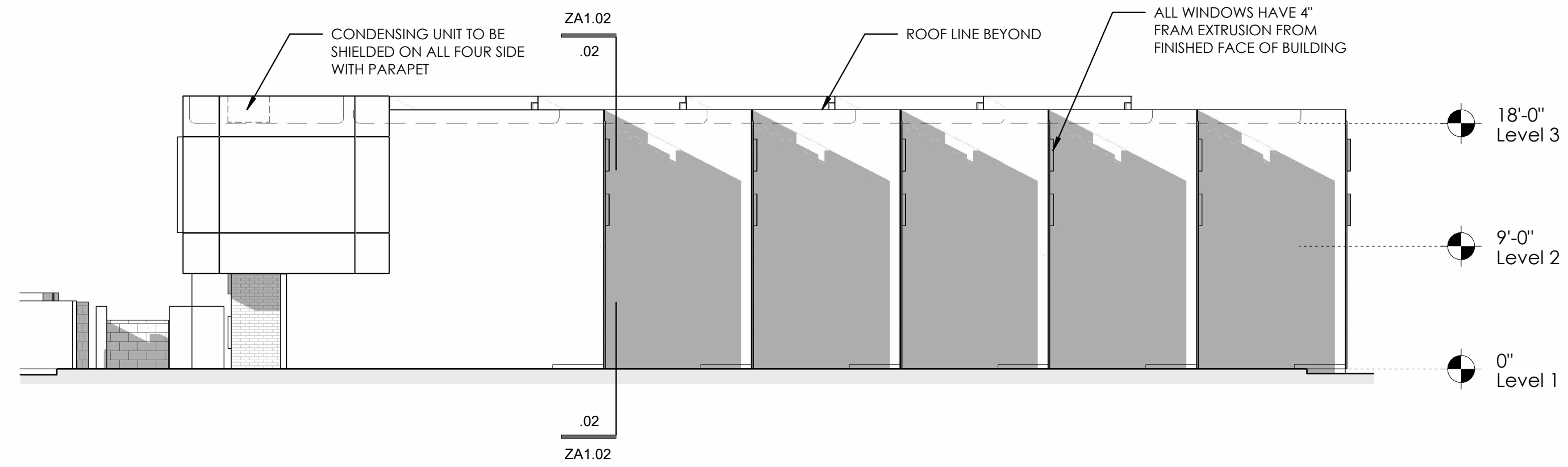


PRESENCE DESIGN
Phoenix, AZ

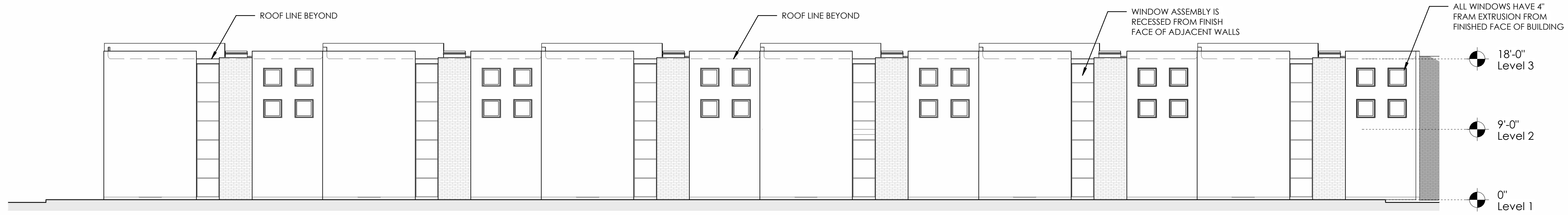
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Building Type 'A' East Elevation .04
1/8" = 1'-0"



Building Type 'A' North Elevation .03
1/8" = 1'-0"



Building Type 'A' West Elevation .02
1/8" = 1'-0"



Building Type 'A' South Elevation .01
1/8" = 1'-0"



Expires 6.30.2024

ELEVATIONS

Building Type 'A'

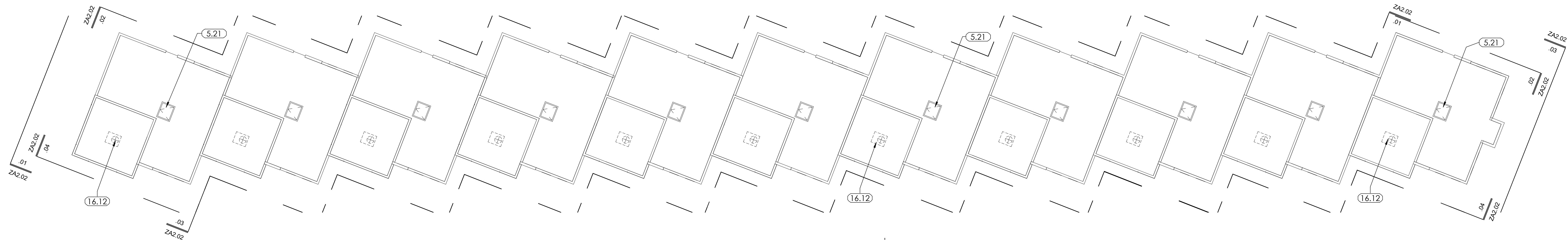
POWER TOWNHOMES

630 North Power Rd. Mesa, AZ 85205

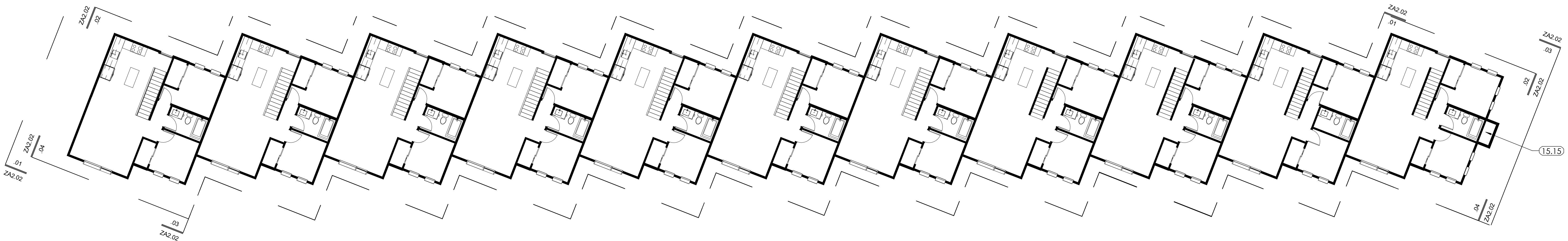
PRESENCE DESIGN

Phoenix, AZ

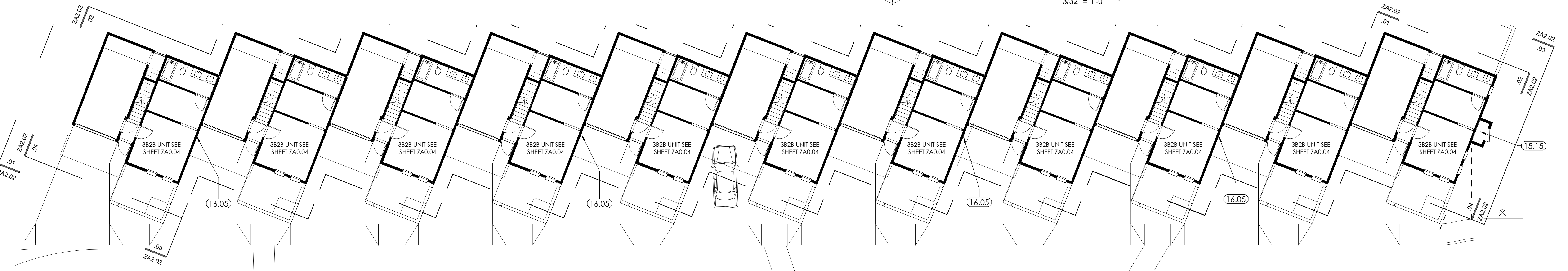
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Roof Plan Building Type 'B' .03
3/32" = 1'-0"



Level 2 Building Type 'B' .02
3/32" = 1'-0"



Level 1 Building Type 'B' .01
3/32" = 1'-0"

Keynotes

- 5.21 Roof Hatches.
- 15.15 Fire riser room per NFPA 13.
- 16.05 Flush mounted electrical panel box.
- 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Note:

Condensing units to be shielded on all four sides with parapet.

Building Type 'B' Material Total

Material	Area (Sft)	(%)
FIBER CEMENT	2,783	15.8
STUCCO	10,086	57.5
BRICK	1,777	10.1
GLASS	1,872	10.6
GARAGE DOOR	770	4.3
DOOR	252	1.4
TOTAL	17,540	100

FLOOR PLANS

Building Type 'B'

POWER TOWNHOMES

630 North Power Rd. Mesa, AZ 85205



PRESENCE DESIGN
Phoenix, AZ

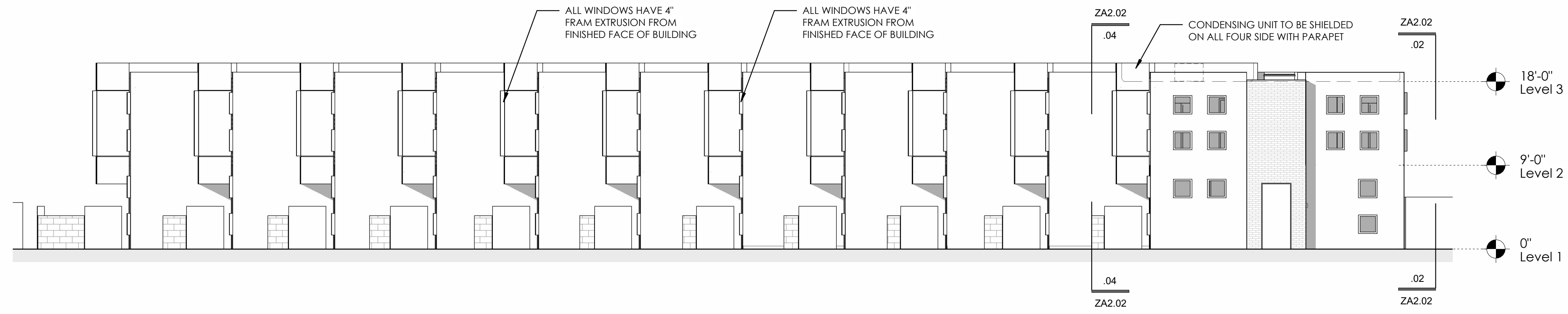
Drawn: FTB Checked: DLLK ZONING | FINAL SITE PLAN
15 August 2023 PD 2303.04

ZA2.01

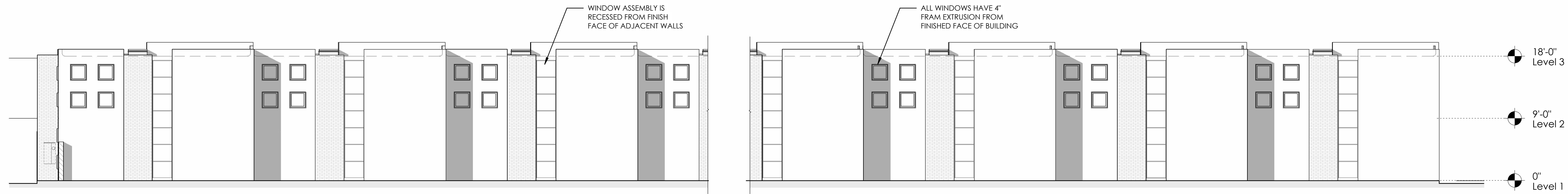
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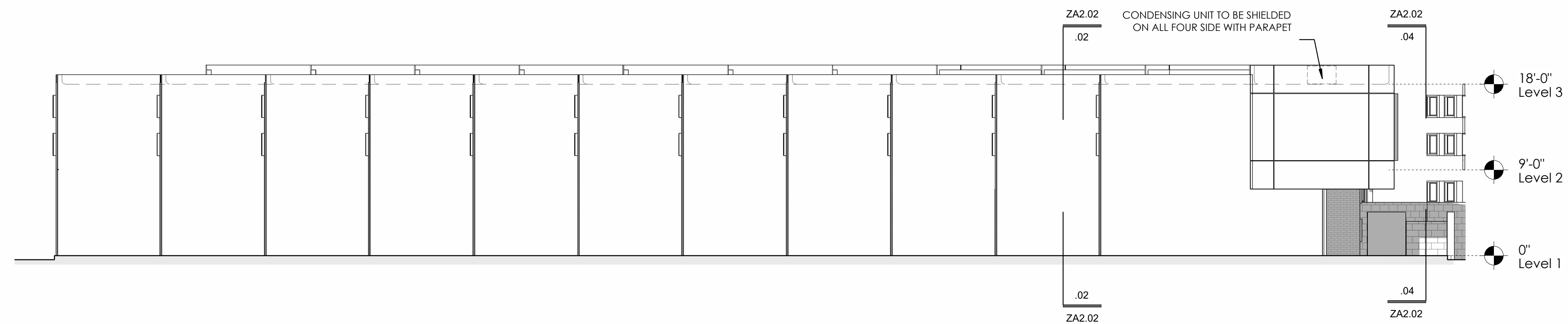
Building Type 'B' 1 Elevation .04
1/8" = 1'-0"



Building Type 'B' North Elevation .03
1/8" = 1'-0"



Building Type 'B' West Elevation .02
1/8" = 1'-0"



Building Type 'B' South Elevation .01
1/8" = 1'-0"

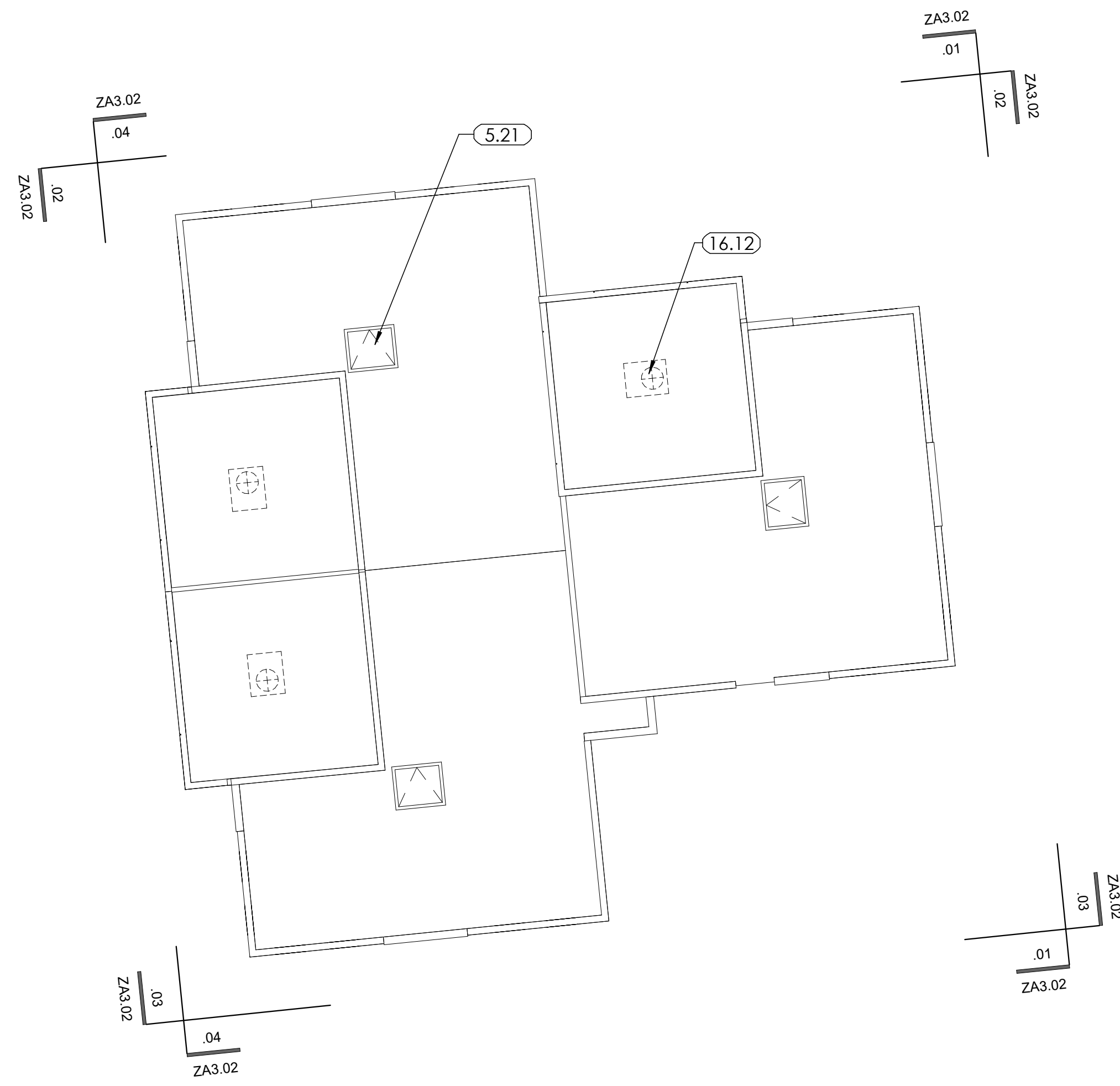


ELEVATIONS
Building Type 'B'

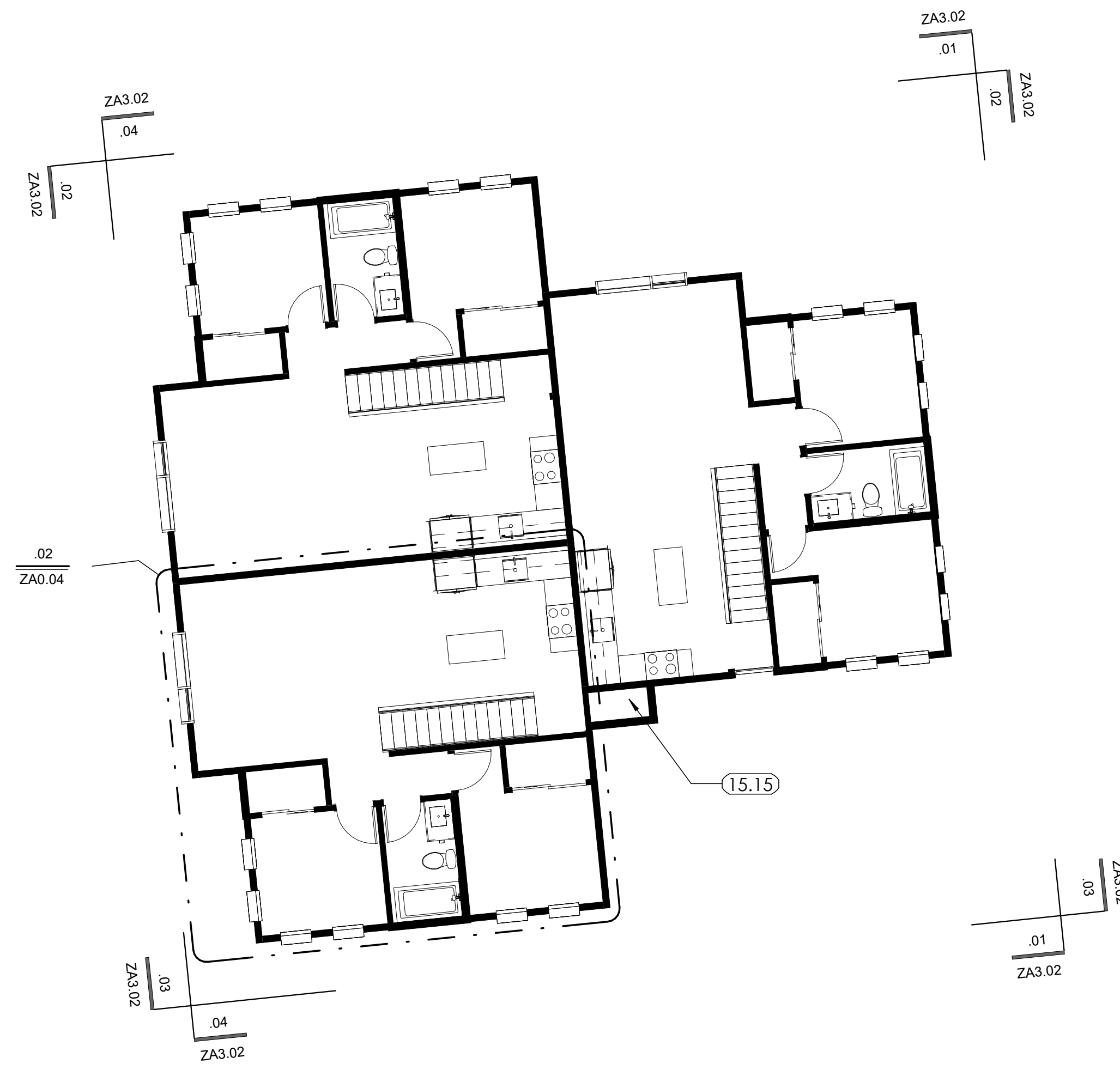
POWER TOWNHOMES
630 North Power Rd. Mesa, AZ 85205

PRESENCE DESIGN
Phoenix, AZ

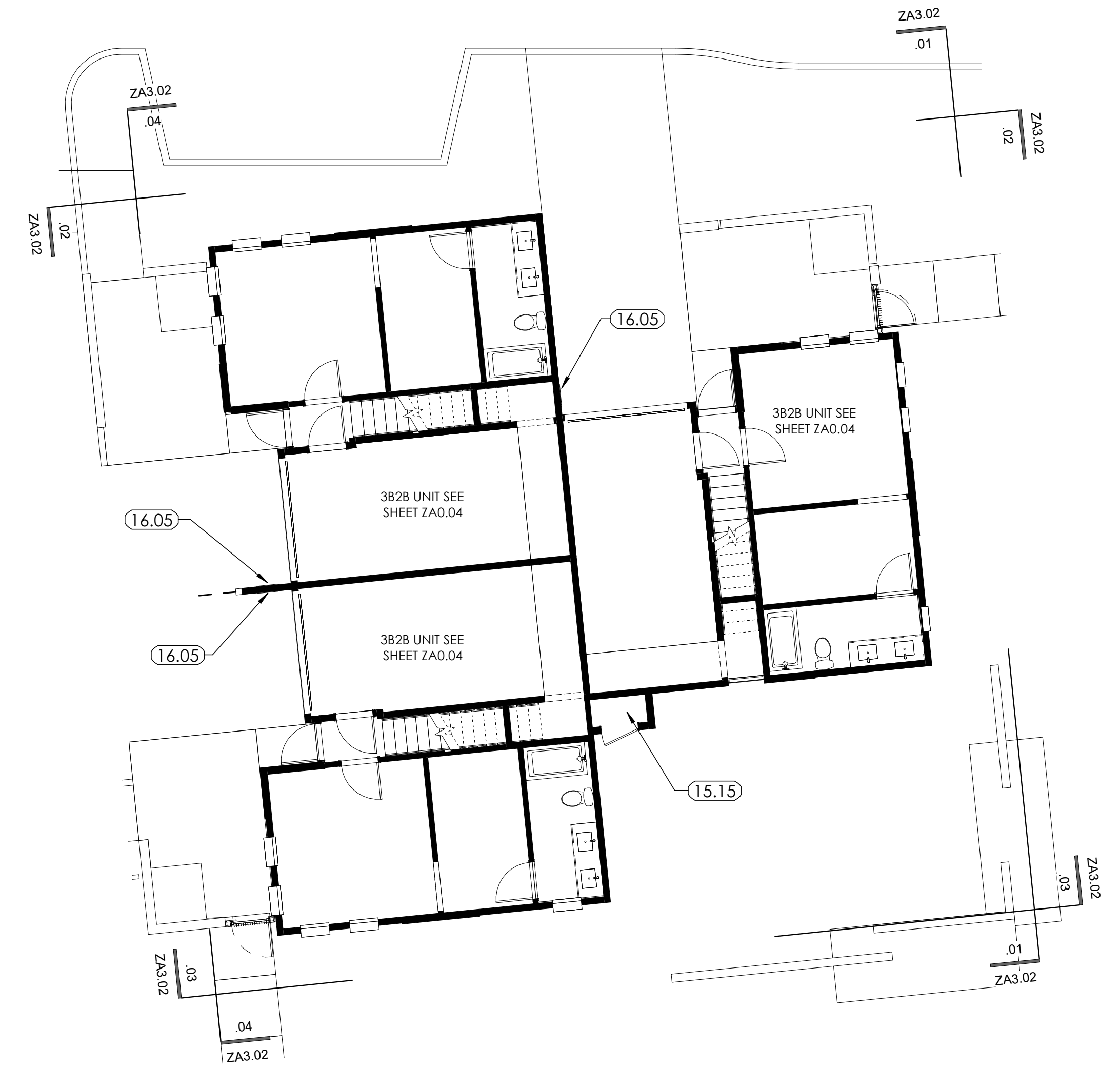
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Roof Plan Building Type 'C'
1/8" = 1'-0" .03



Level 2 Building Type 'C'
1/8" = 1'-0" .02



Level 1 Building Type 'C'
1/8" = 1'-0" .01

Keynotes

- 5.21 Roof Hatches.
- 15.15 Fire riser room per NFPA 13.
- 16.05 Flush mounted electrical panel box.
- 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Building Type 'C' Material Total

Material	Area (Sqft)	(%)
FIBER CEMENT	666	14.8
STUCCO	2,272	50.0
BRICK	709	15.7
GLASS	559	12.4
GARAGE	210	4.6
DOOR	84	1.8
TOTAL	4,500	100

Note:

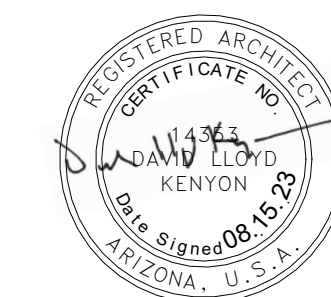
Condensing units to be shielded on all four sides with parapet.

FLOOR PLANS

Building Type 'C'

POWER TOWNHOMES

630 North Power Rd. Mesa, AZ 85205



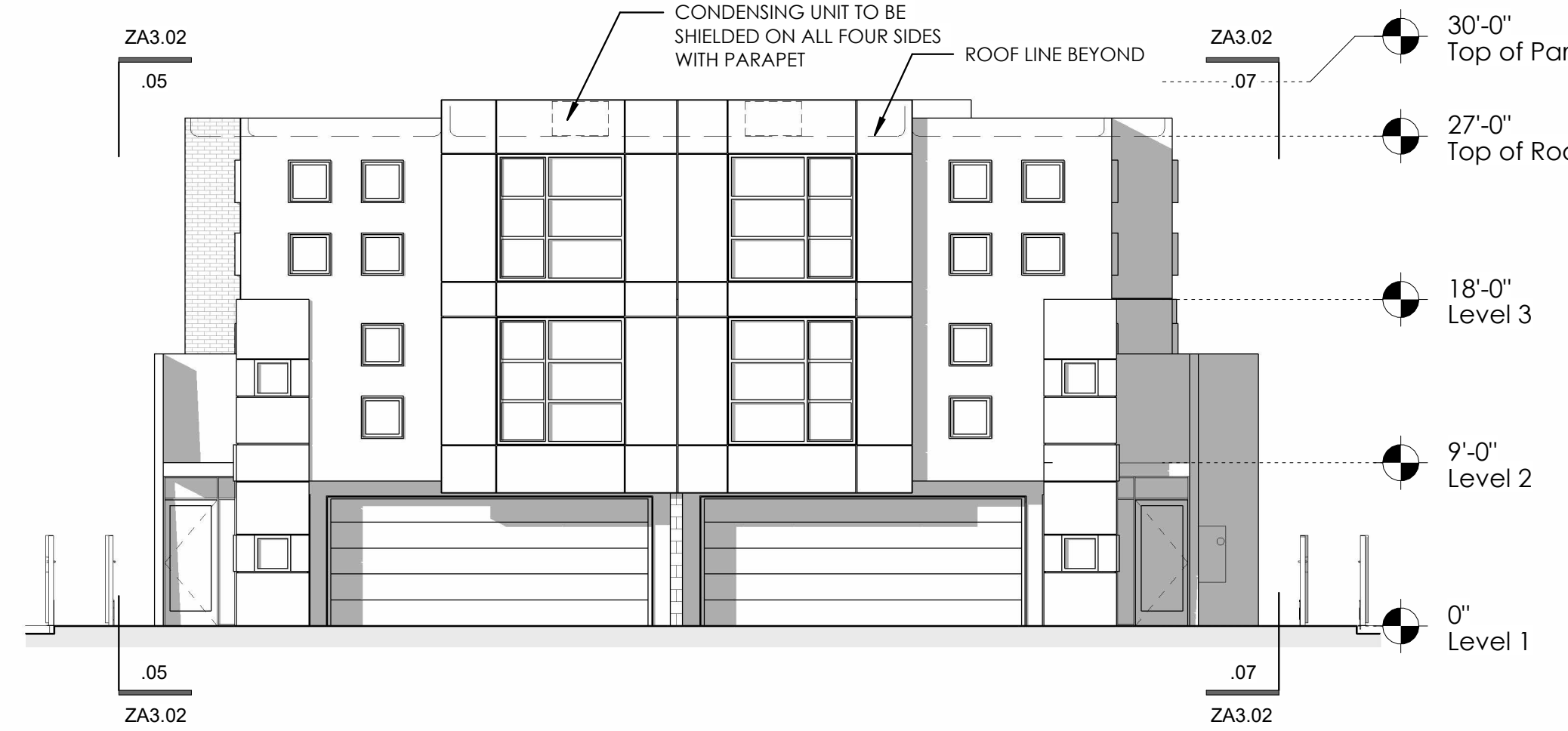
Expires 6.30.2024

PRESENCE DESIGN
Phoenix, AZ

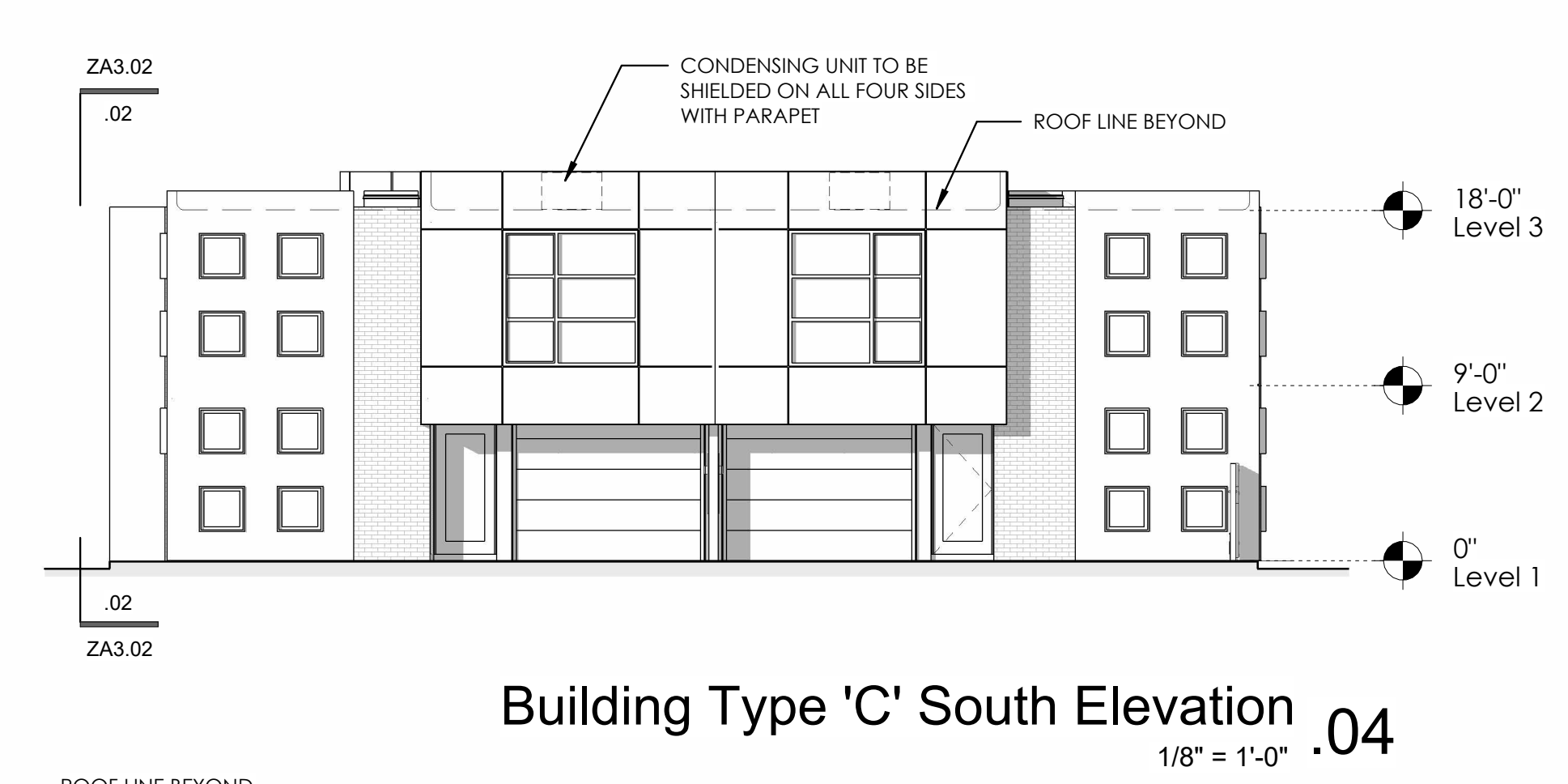
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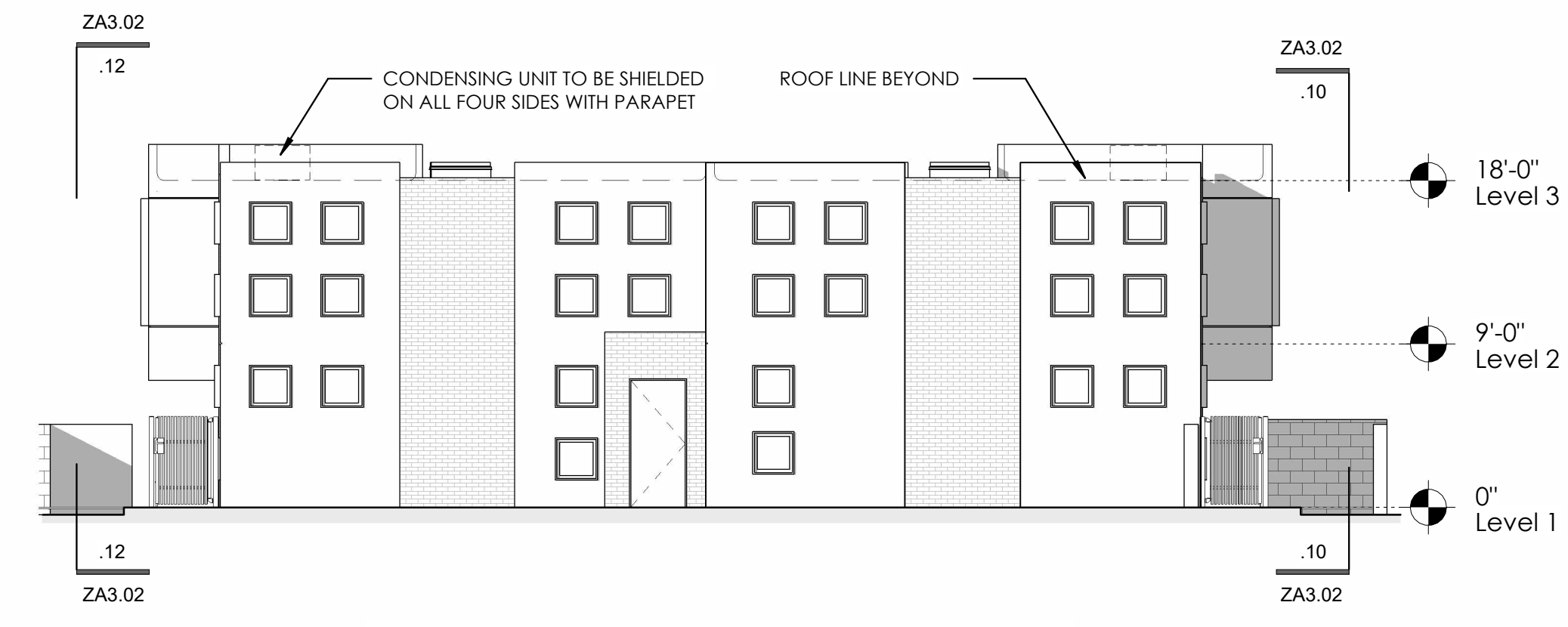
Building Type 'E' South Elevation .12
1/8" = 1'-0"



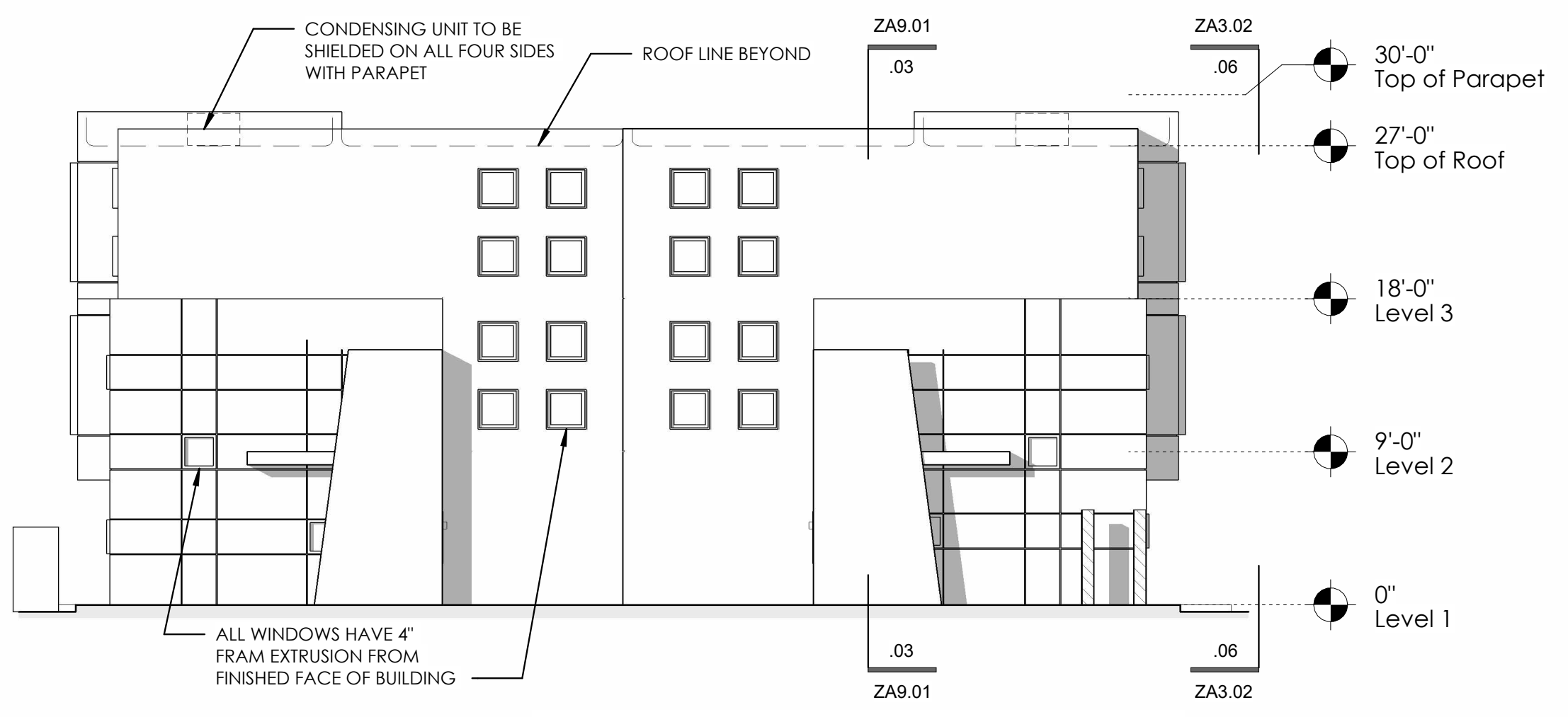
Building Type 'D' South Elevation .08
1/8" = 1'-0"



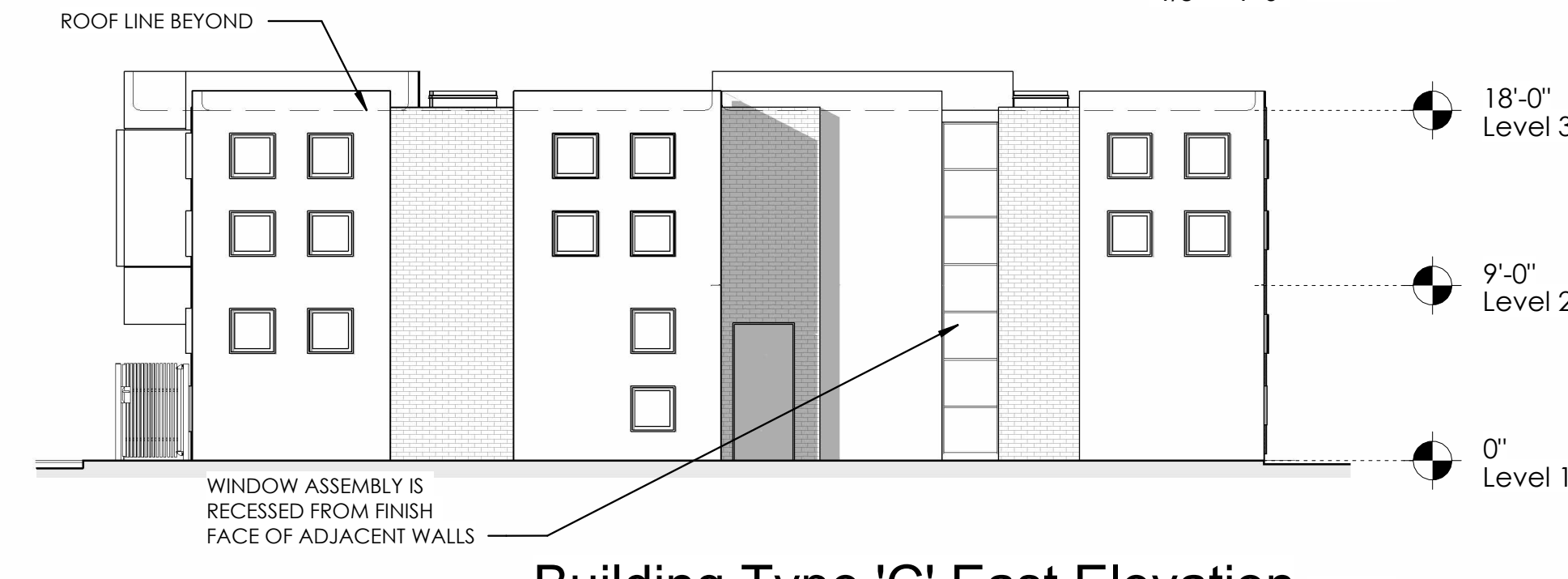
Building Type 'C' South Elevation .04
1/8" = 1'-0"



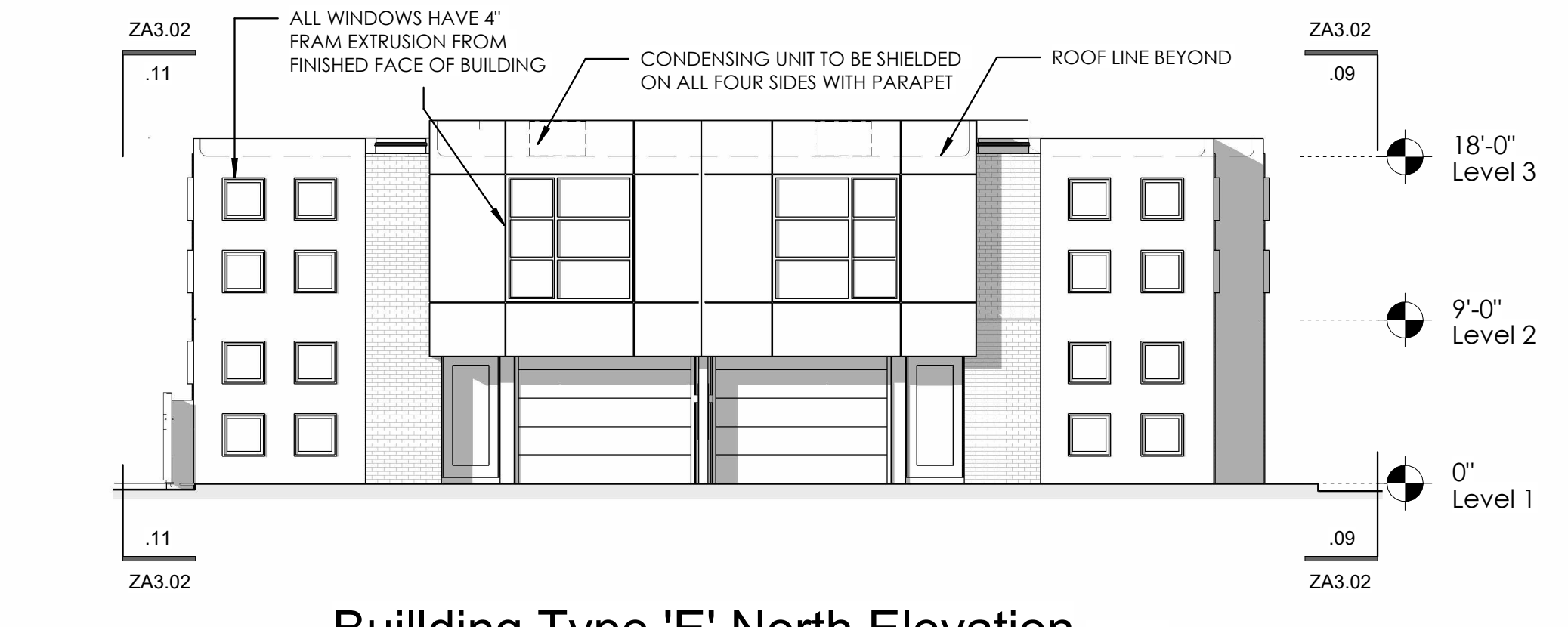
Building Type 'E' East Elevation .11
1/8" = 1'-0"



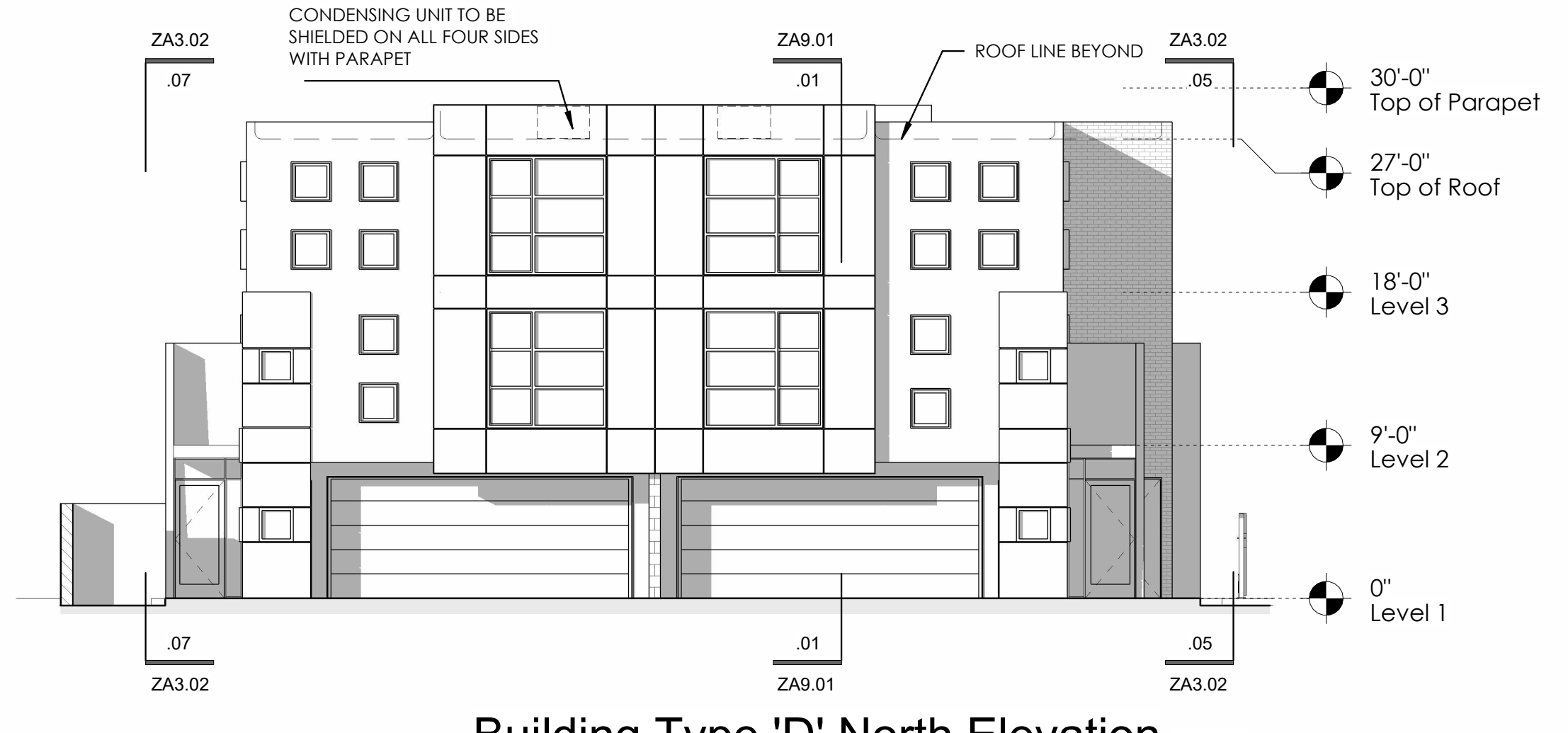
Building Type 'D' East Elevation .07
1/8" = 1'-0"



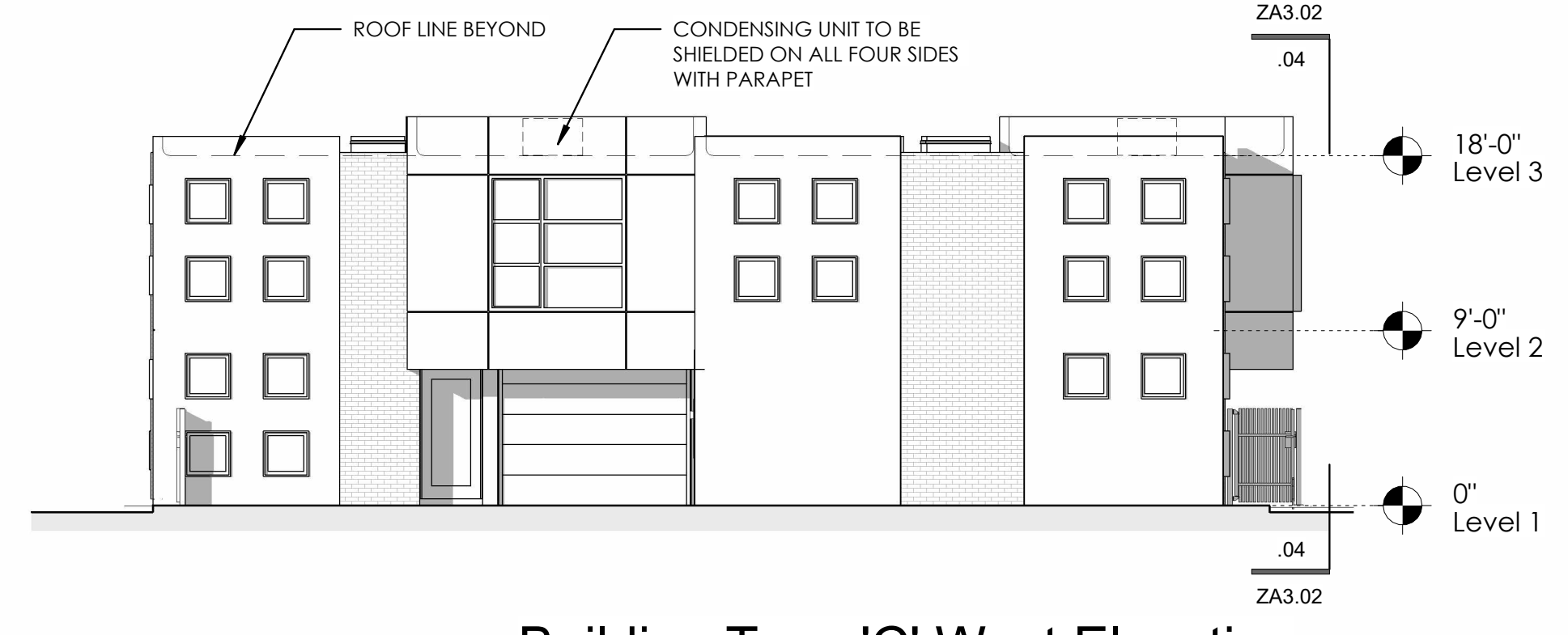
Building Type 'C' East Elevation .03
1/8" = 1'-0"



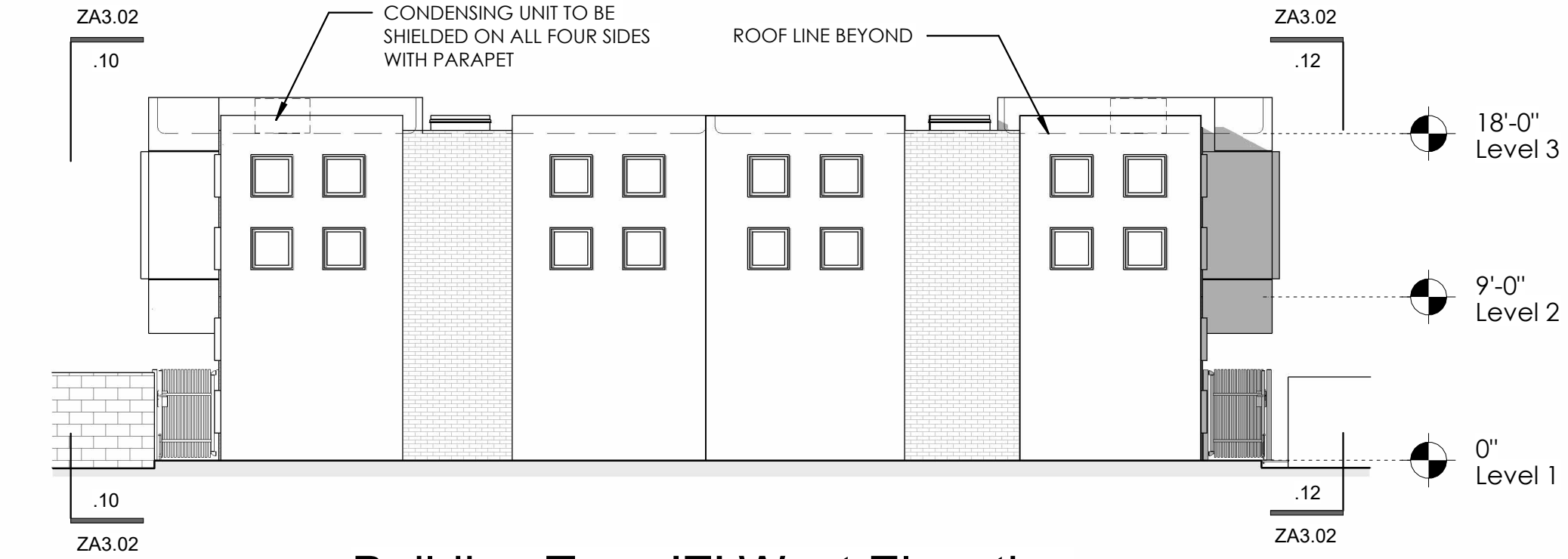
Building Type 'E' North Elevation .10
1/8" = 1'-0"



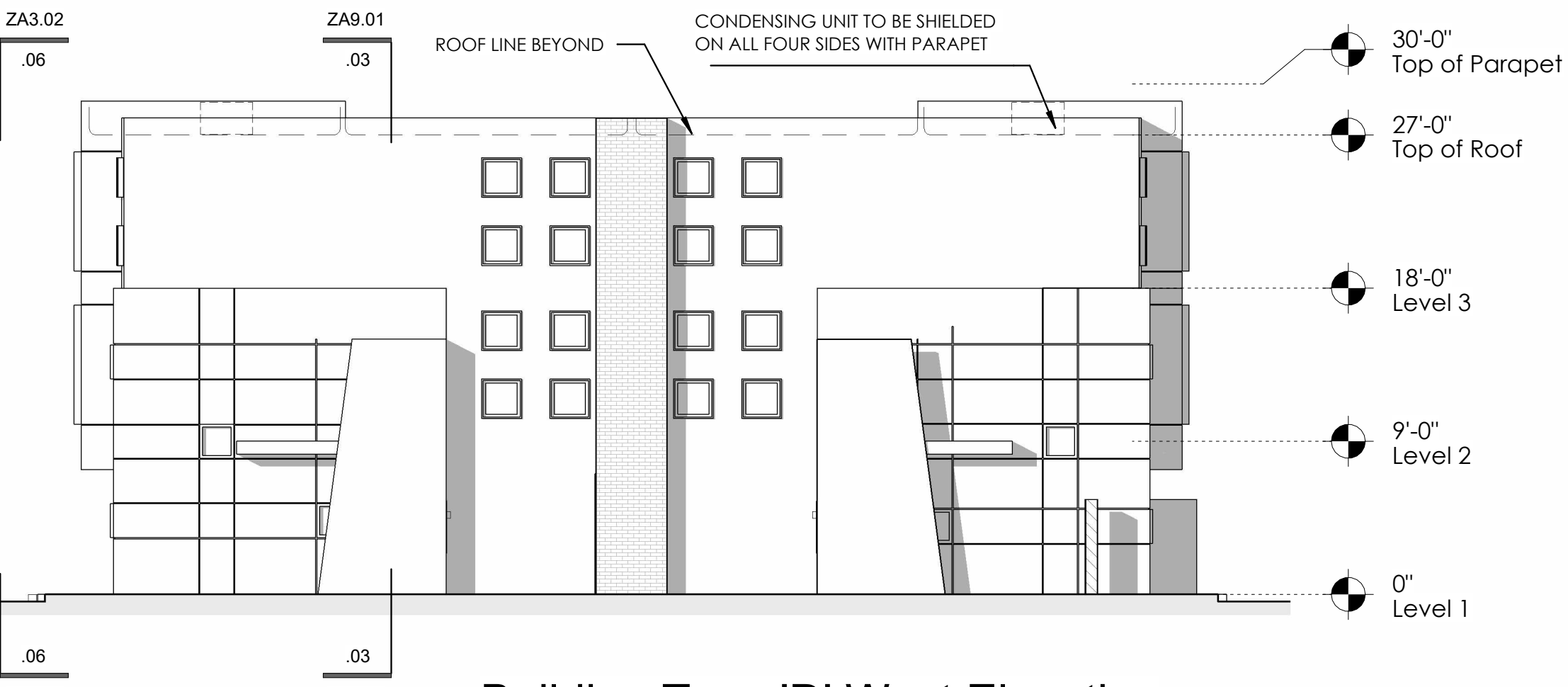
Building Type 'D' North Elevation .06
1/8" = 1'-0"



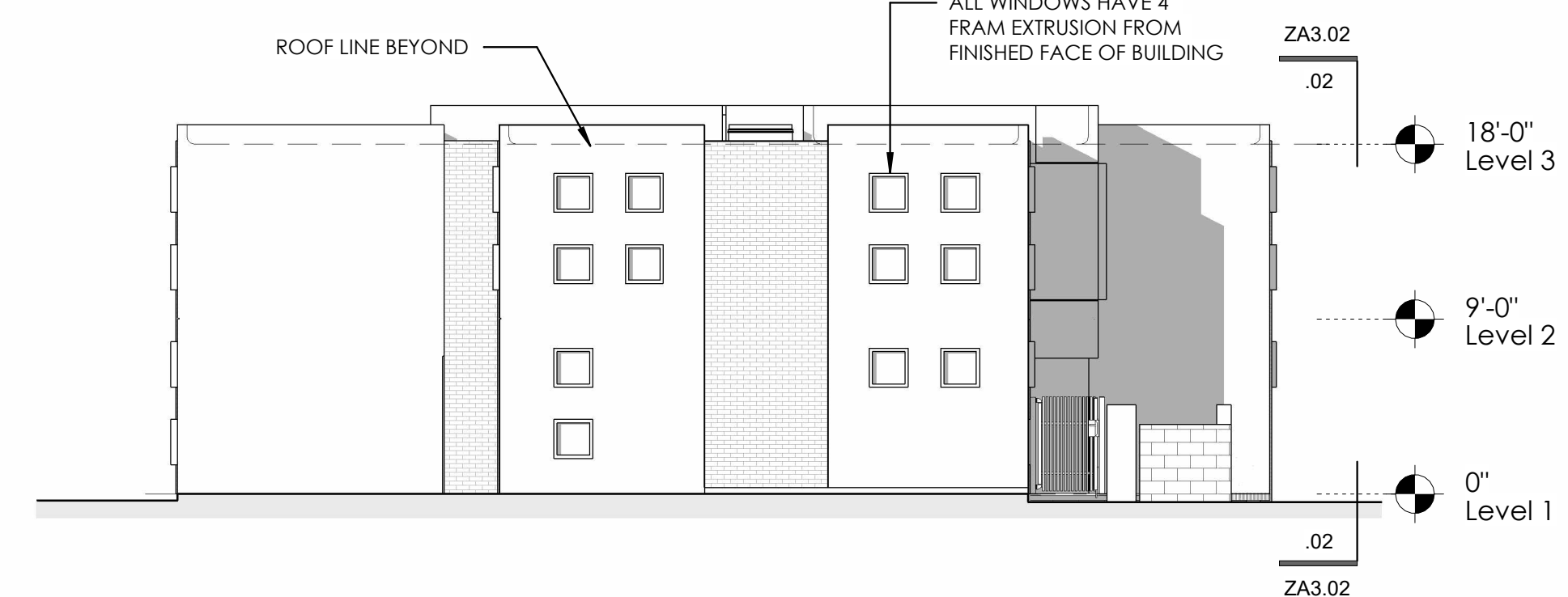
Building Type 'C' West Elevation .02
1/8" = 1'-0"



Building Type 'E' West Elevation .09
1/8" = 1'-0"



Building Type 'D' West Elevation .05
1/8" = 1'-0"



Building Type 'C' North Elevation .01
1/8" = 1'-0"

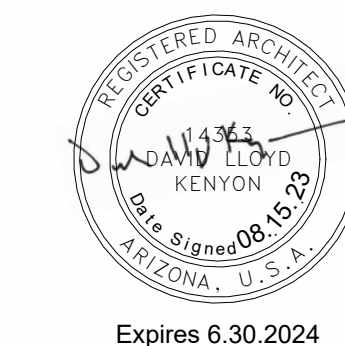
ELEVATIONS

Building Type 'C', 'D' & 'E'

POWER TOWNHOMES

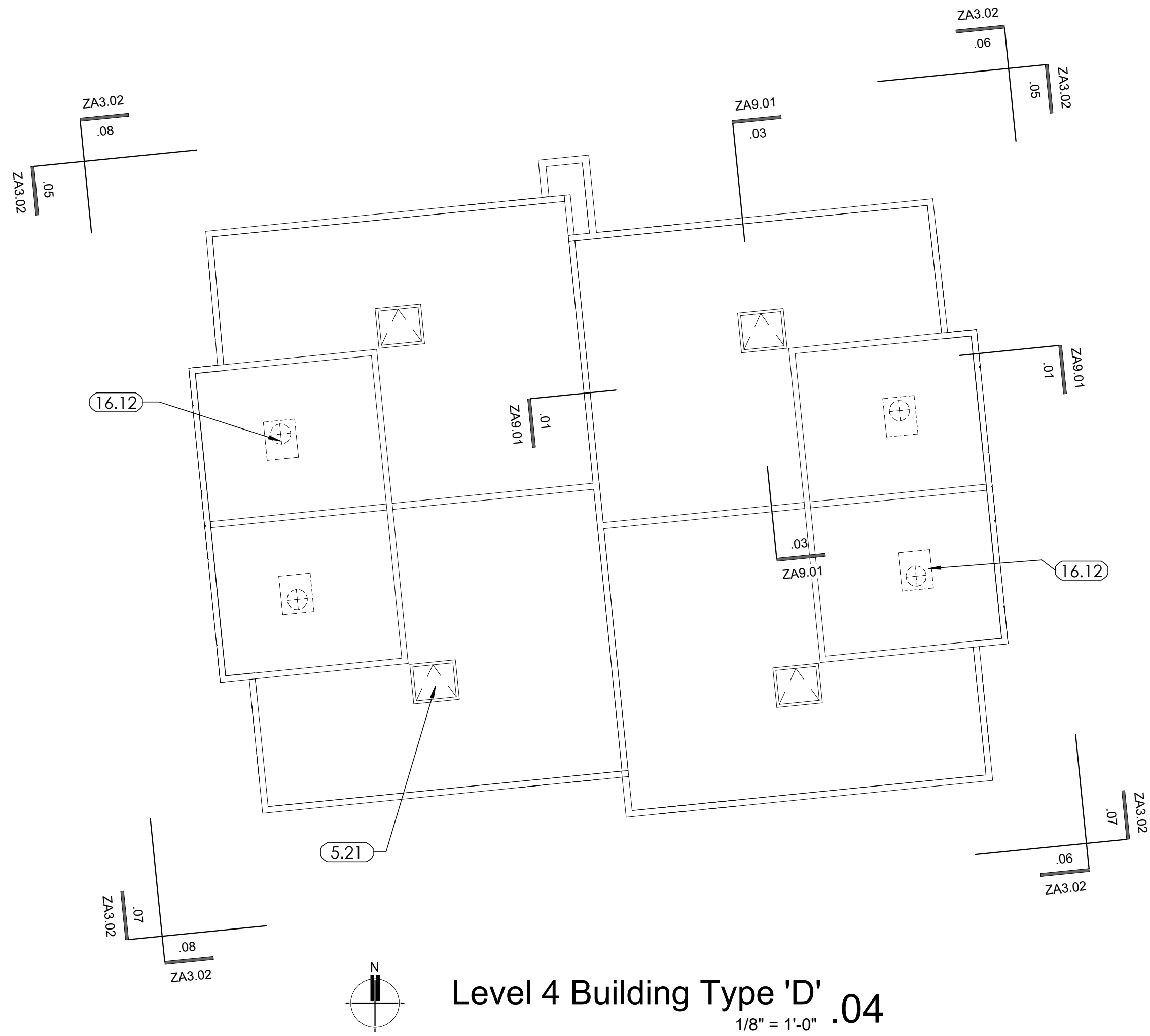
630 North Power Rd. Mesa, AZ 85205

PRESENCE DESIGN
Phoenix, AZ

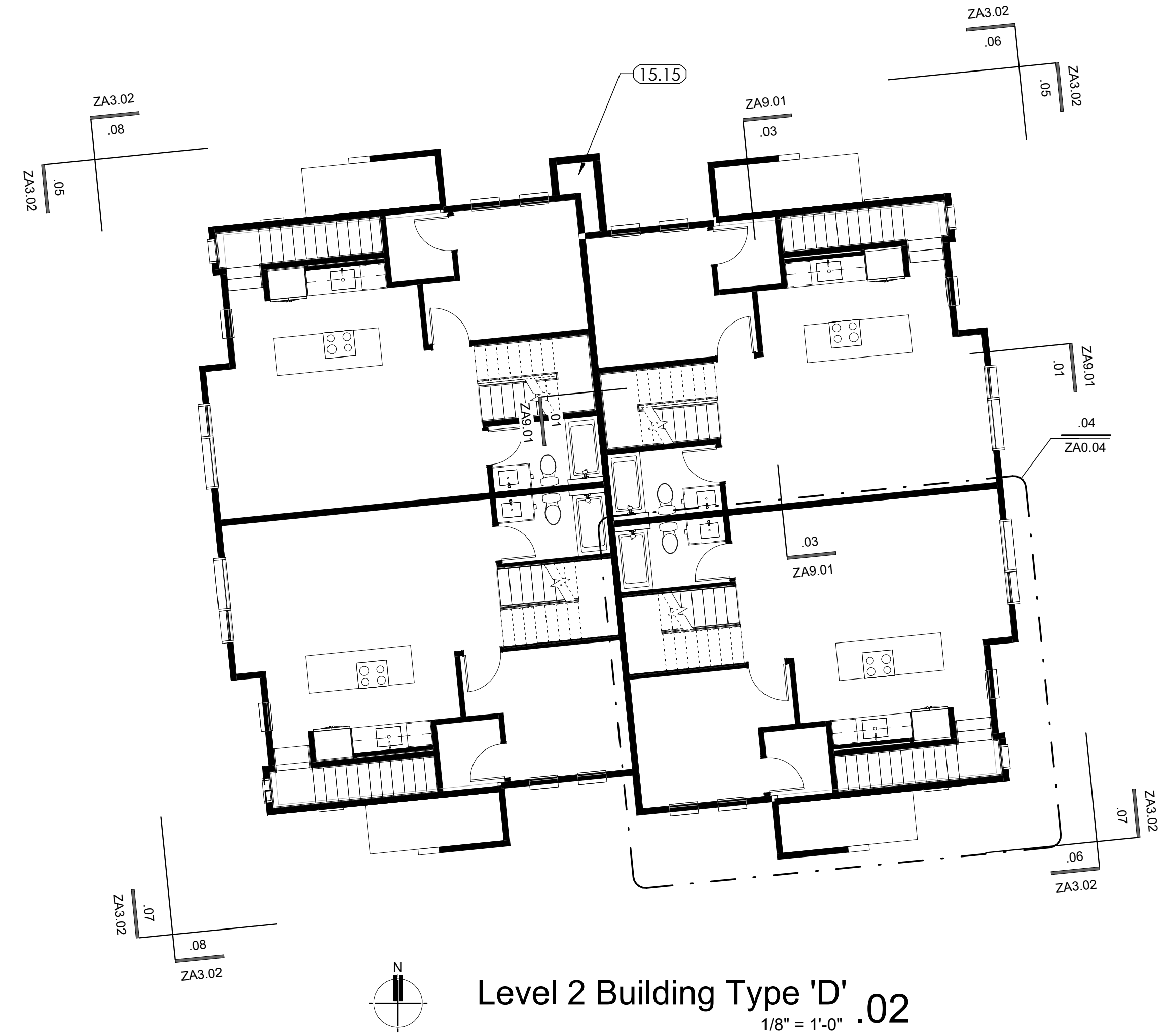


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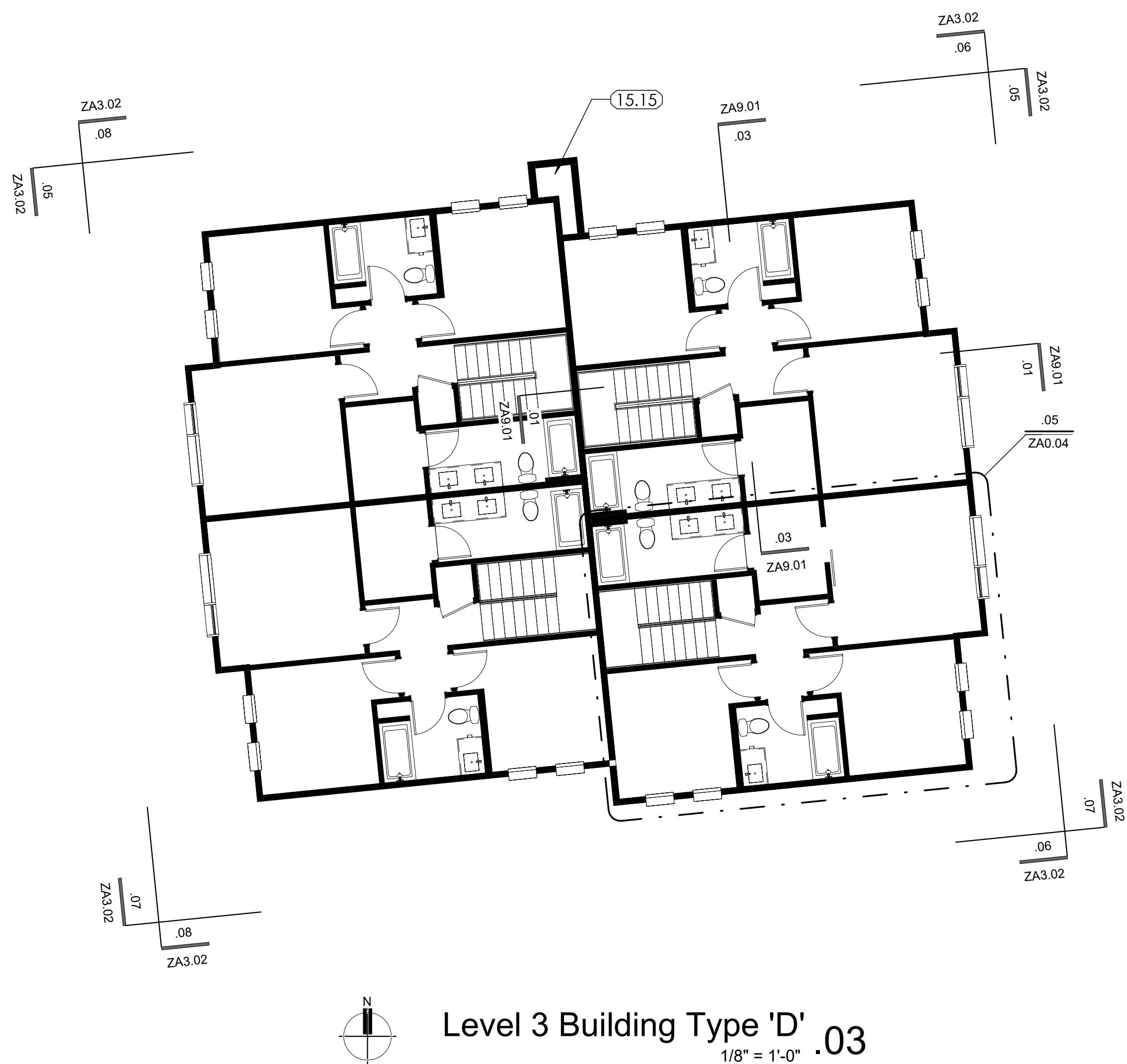
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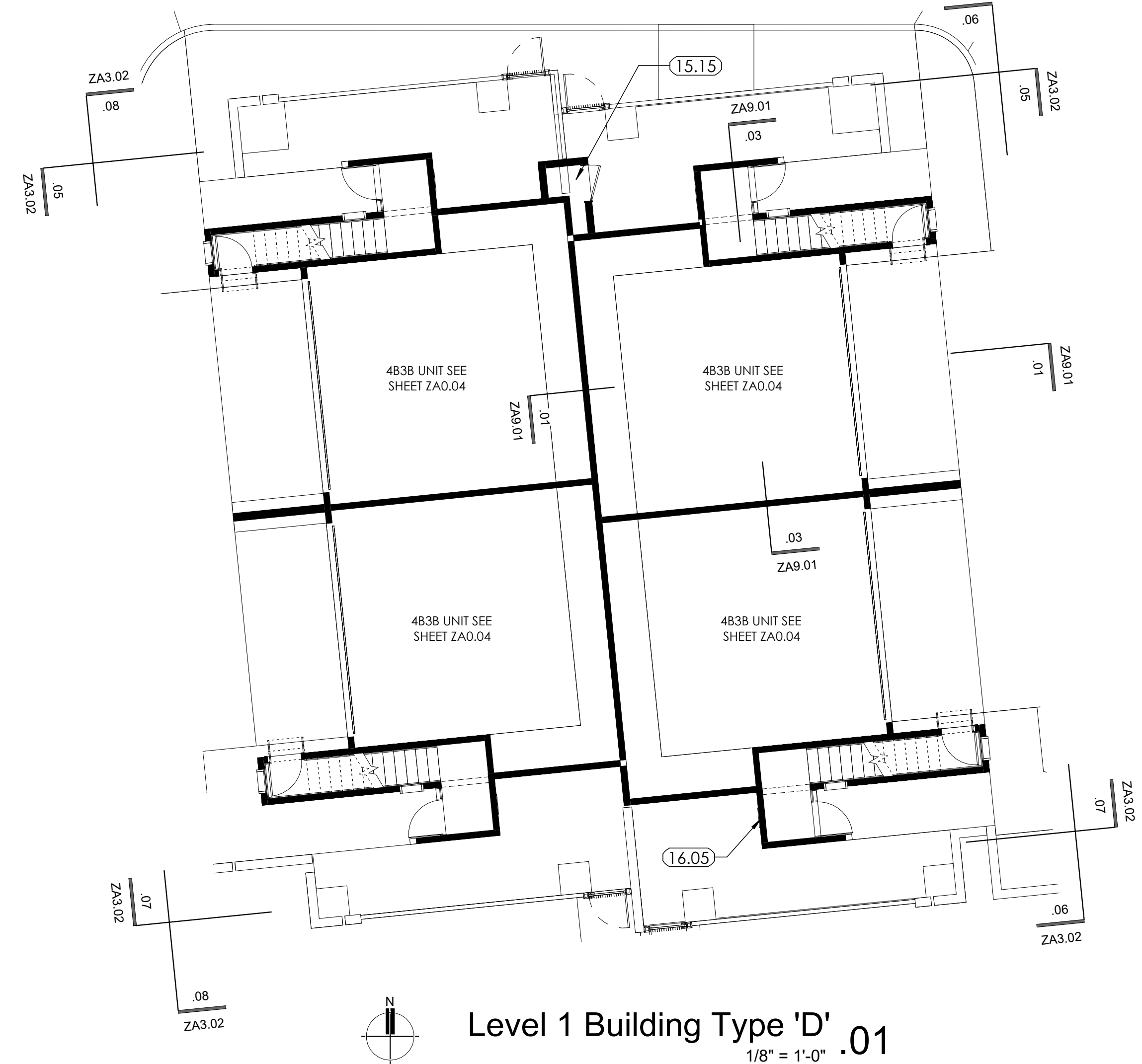
Level 4 Building Type 'D' .04
1/8" = 1'-0"



Level 2 Building Type 'D' .02
1/8" = 1'-0"



Level 3 Building Type 'D' .03
1/8" = 1'-0"



Level 1 Building Type 'D' .01
1/8" = 1'-0"

Keynotes

- 5.21 Roof Hatches.
- 15.15 Fire riser room per NFPA 13.
- 16.05 Flush mounted electrical panel box.
- 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Building Type 'D' Material Total

Material	Area (Sft)	(%)
FIBER CEMENT	2,776	41.5
STUCCO	2,377	35.5
BRICK	146	2.2
GLASS	750	11.2
GARAGE	512	7.6
DOOR	132	1.9
TOTAL	6,693	100

Note:

Condensing units to be shielded on all four sides with parapet.

FLOOR PLANS

Building Type 'D'

POWER TOWNHOMES

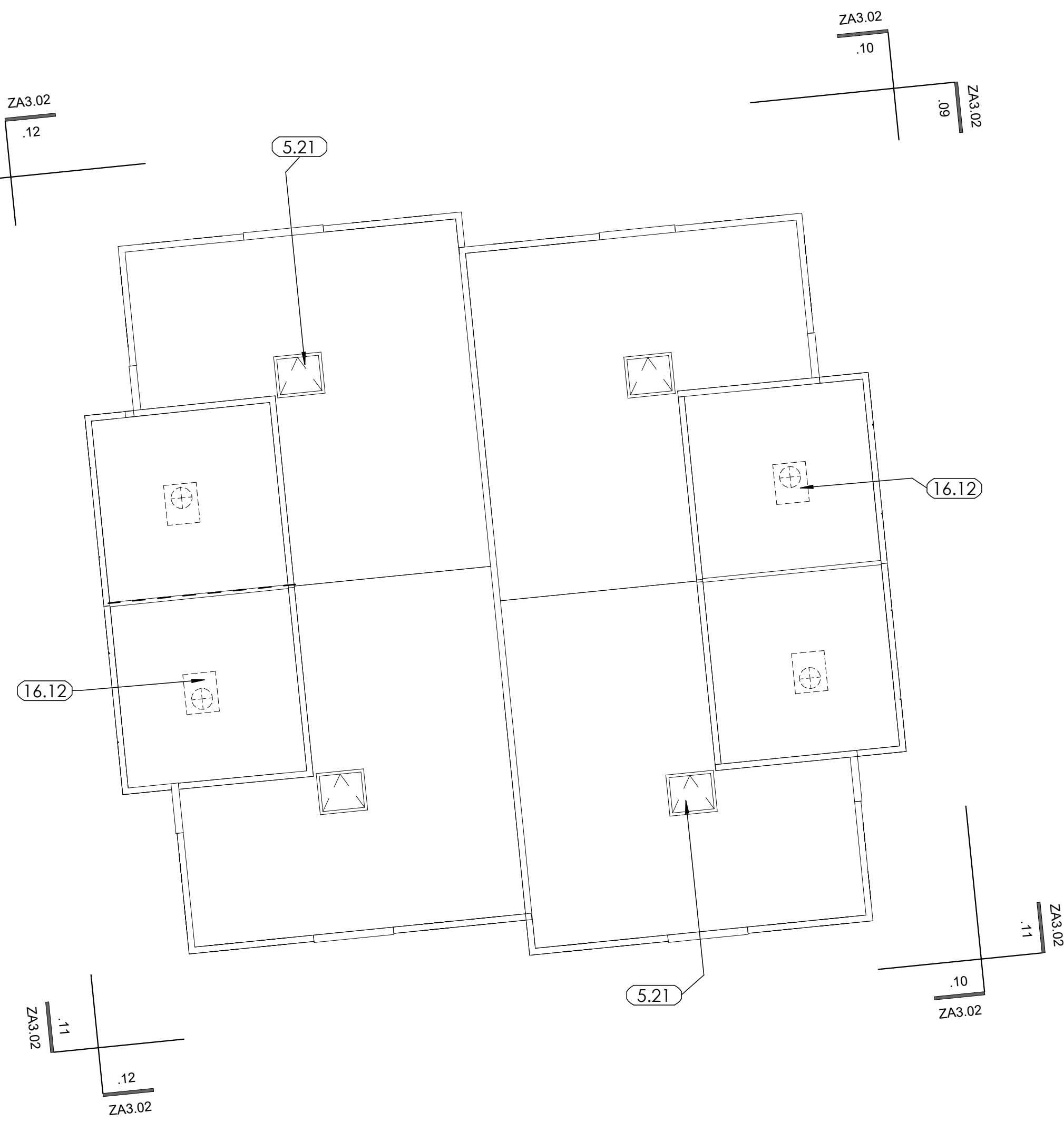
630 North Power Rd. Mesa, AZ 85205

PRESENCE DESIGN

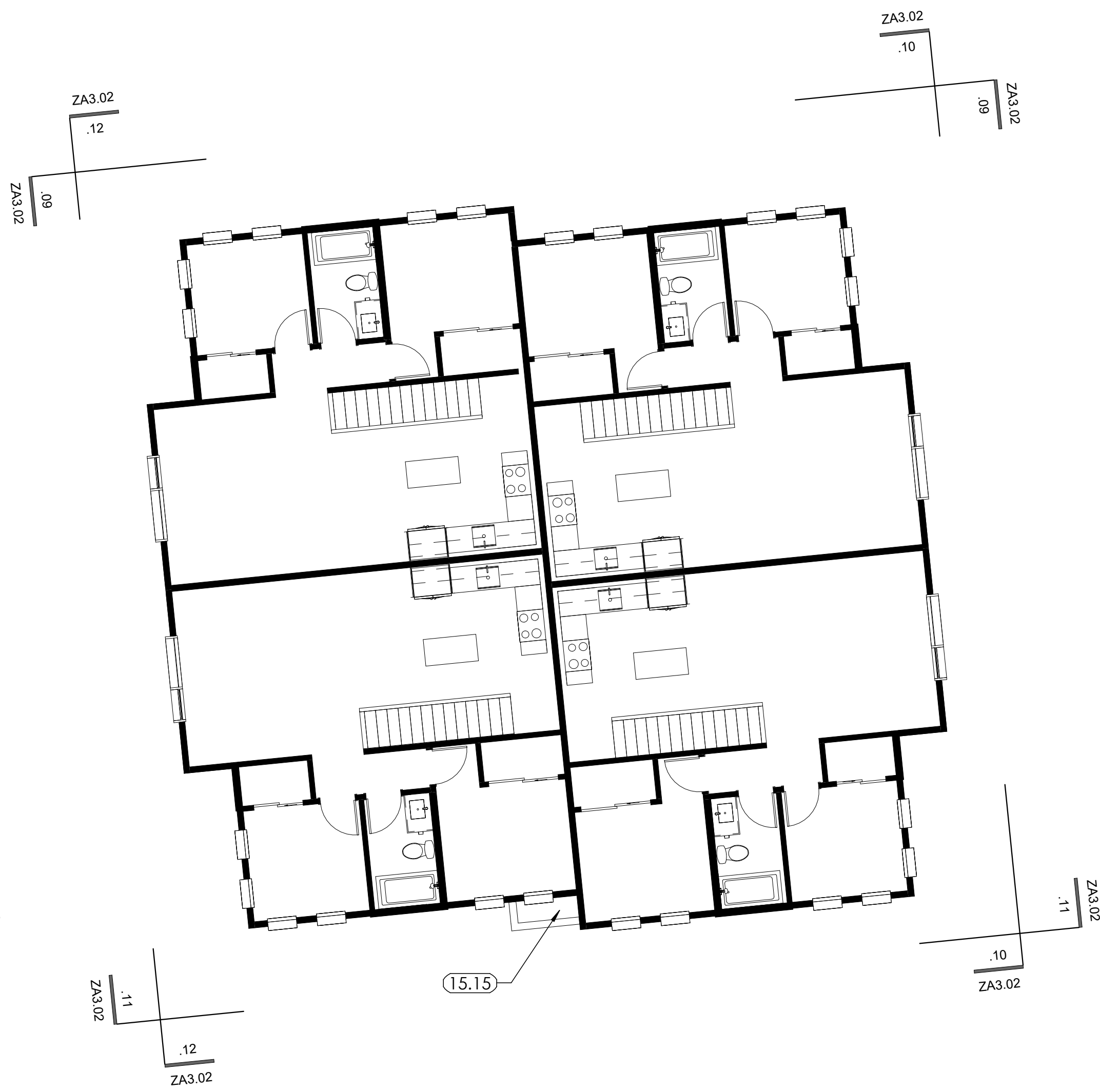
Phoenix, AZ



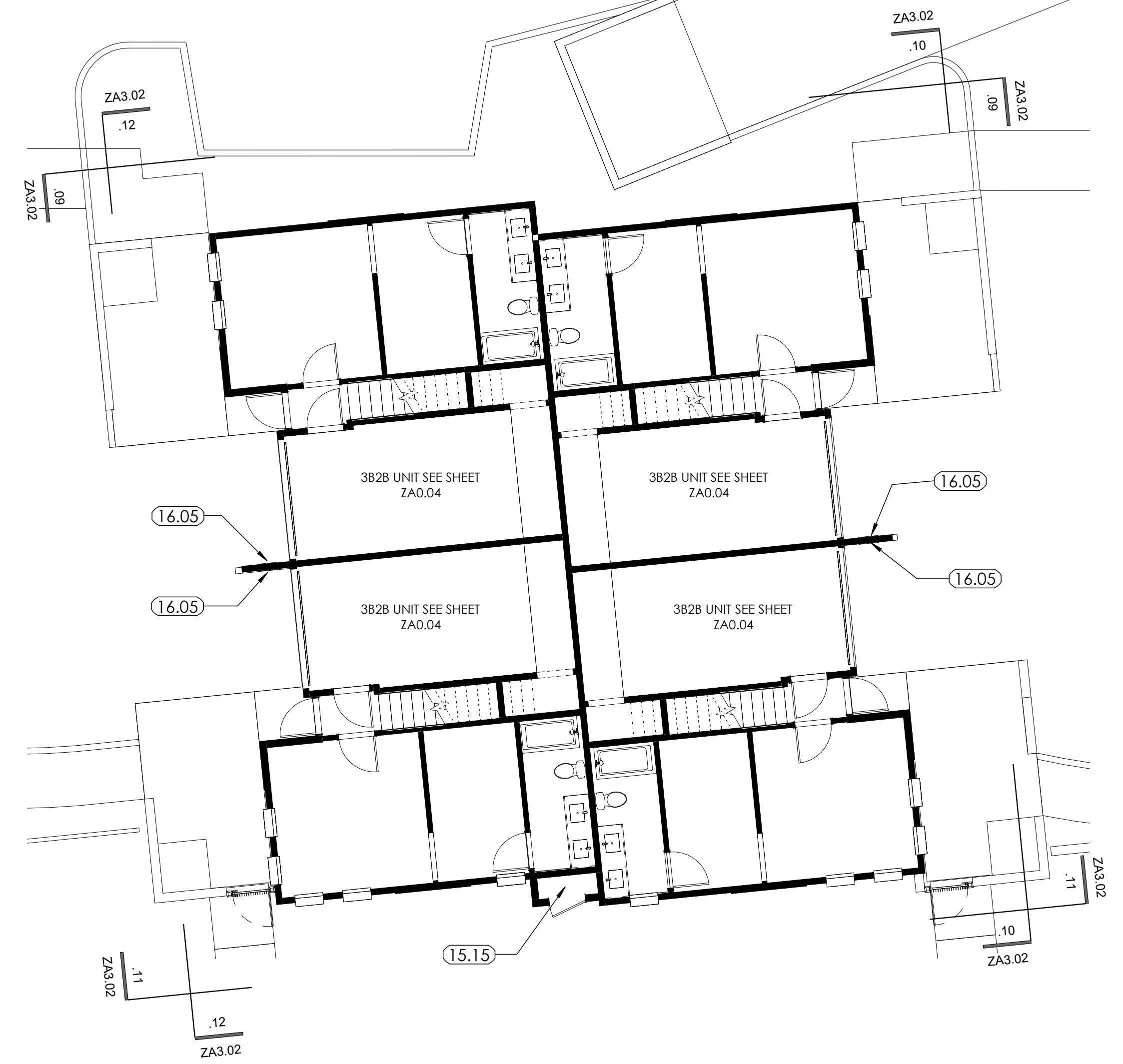
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 Roof Plan Building Type 'E' .03
1/8" = 1'-0"



 Level 2 Building Type 'E' .02
1/8" = 1'-0"



 Level 1 Building Type 'E' .01
1/8" = 1'-0"

Note:

Condensing units to be shielded on all four sides with parapet.

Keynotes

- 5.21 Roof Hatches.
- 15.15 Fire riser room per NFPA 13.
- 16.05 Flush mounted electrical panel box.
- 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Building Type 'E' Material Total

Material	Area (Sft)	(%)
FIBER CEMENT	842	18.0
STUCCO	1,866	39.9
BRICK	848	18.2
GLASS	750	16.1
GARAGE DOOR	280	6.0
DOOR	84	1.7
TOTAL	4,670	100

FLOOR PLANS

Building Type 'E'

POWER TOWNHOMES

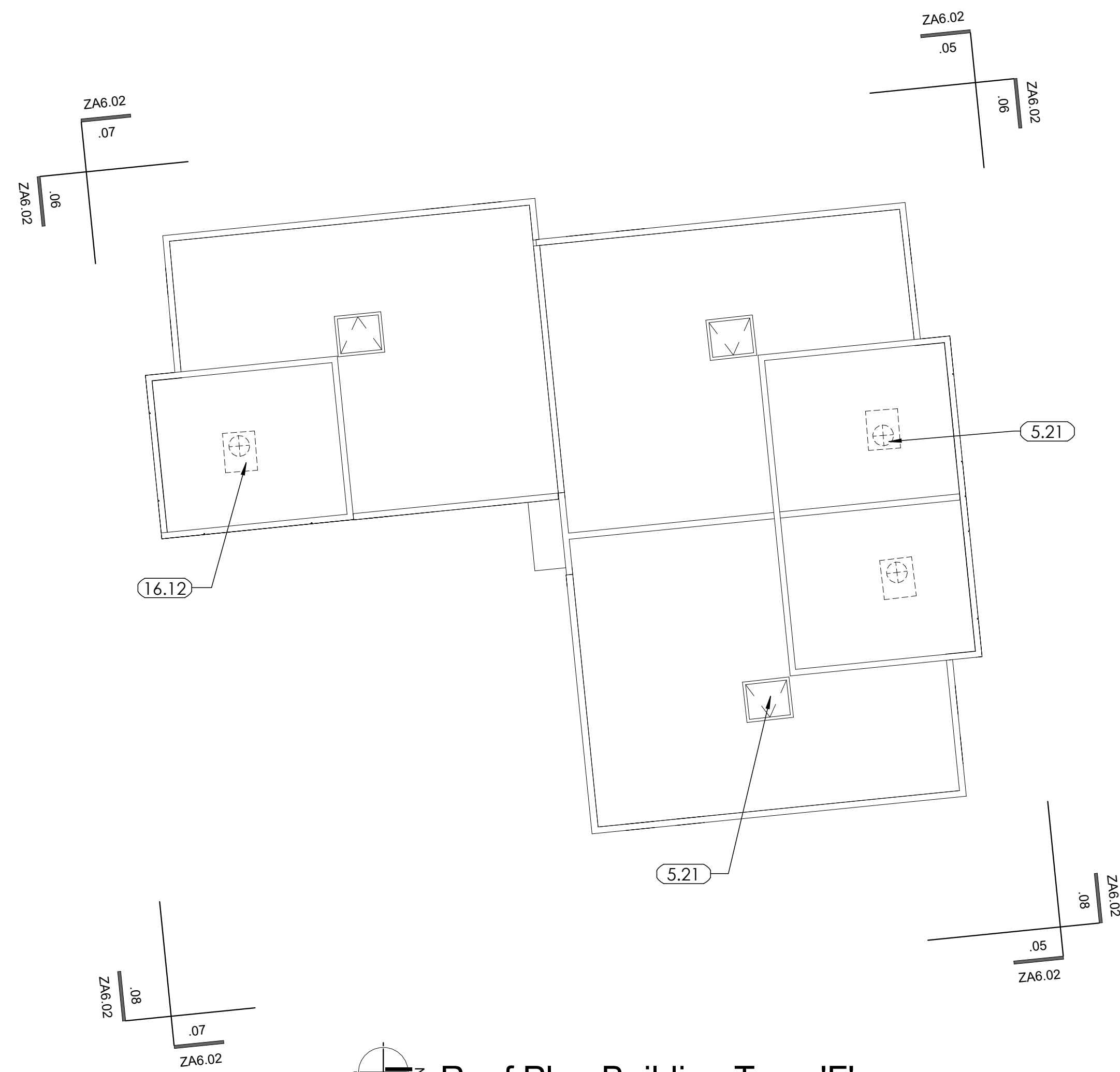
630 North Power Rd. Mesa, AZ 85205

PRESENCE DESIGN
Phoenix, AZ

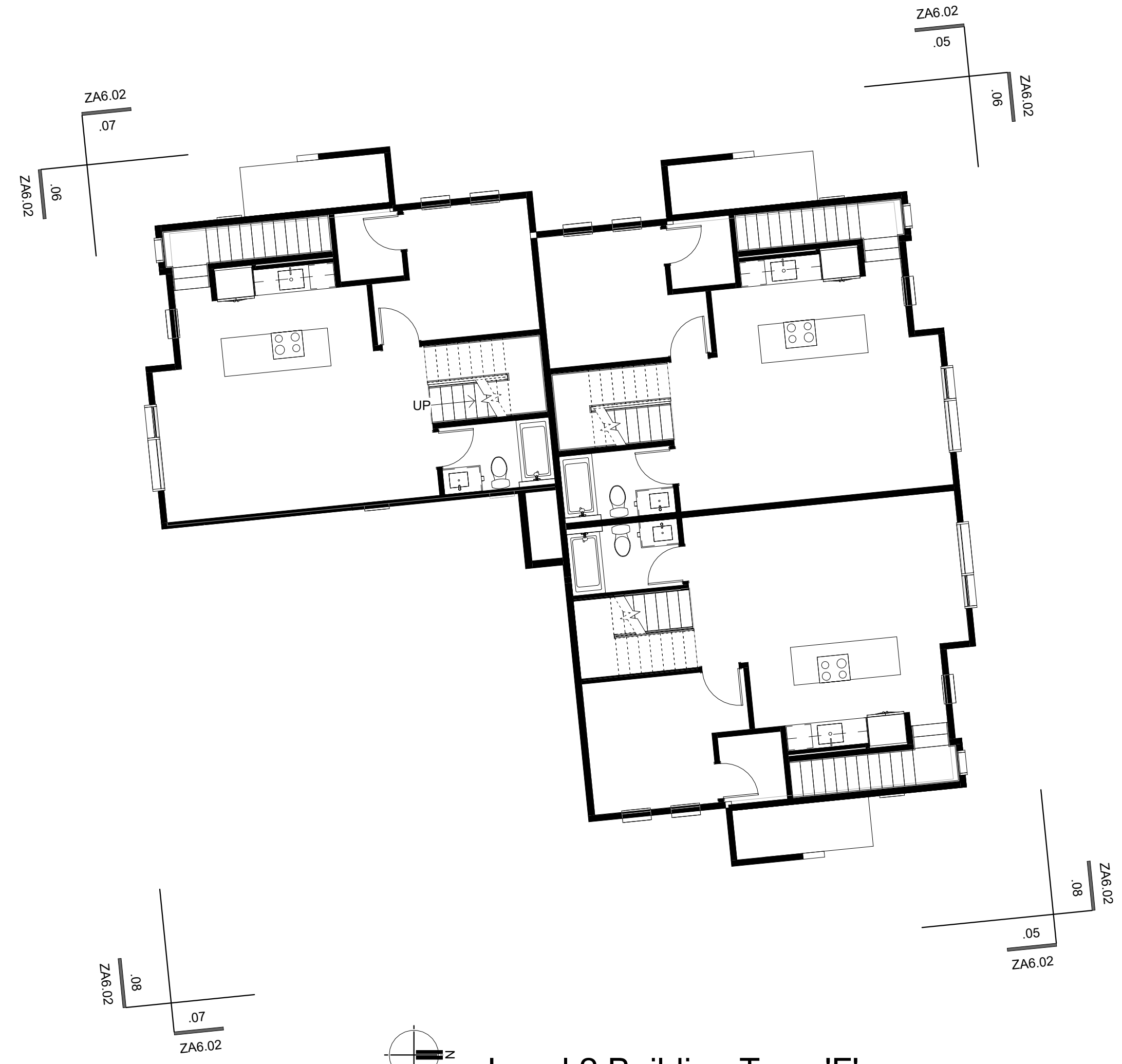


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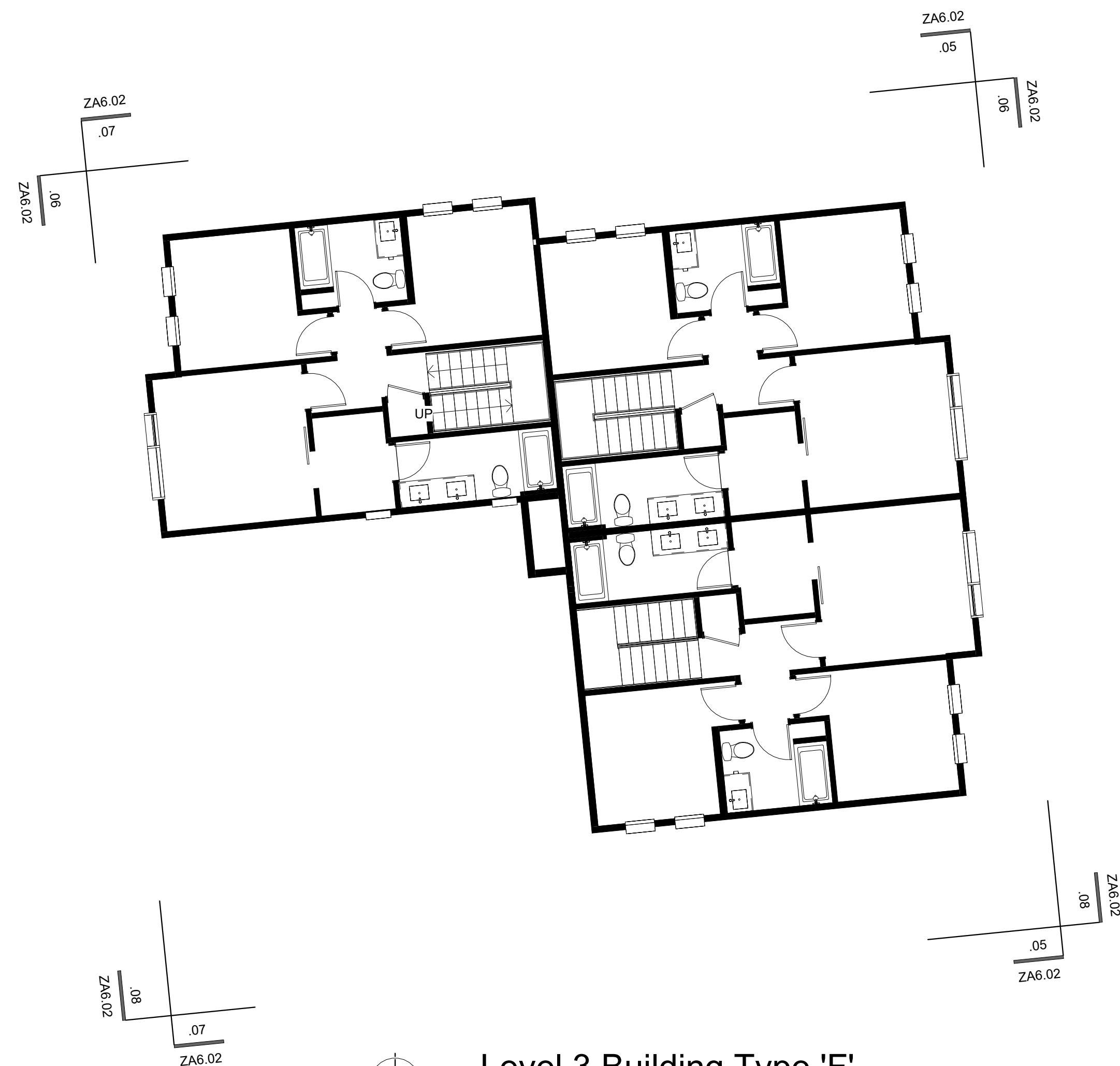
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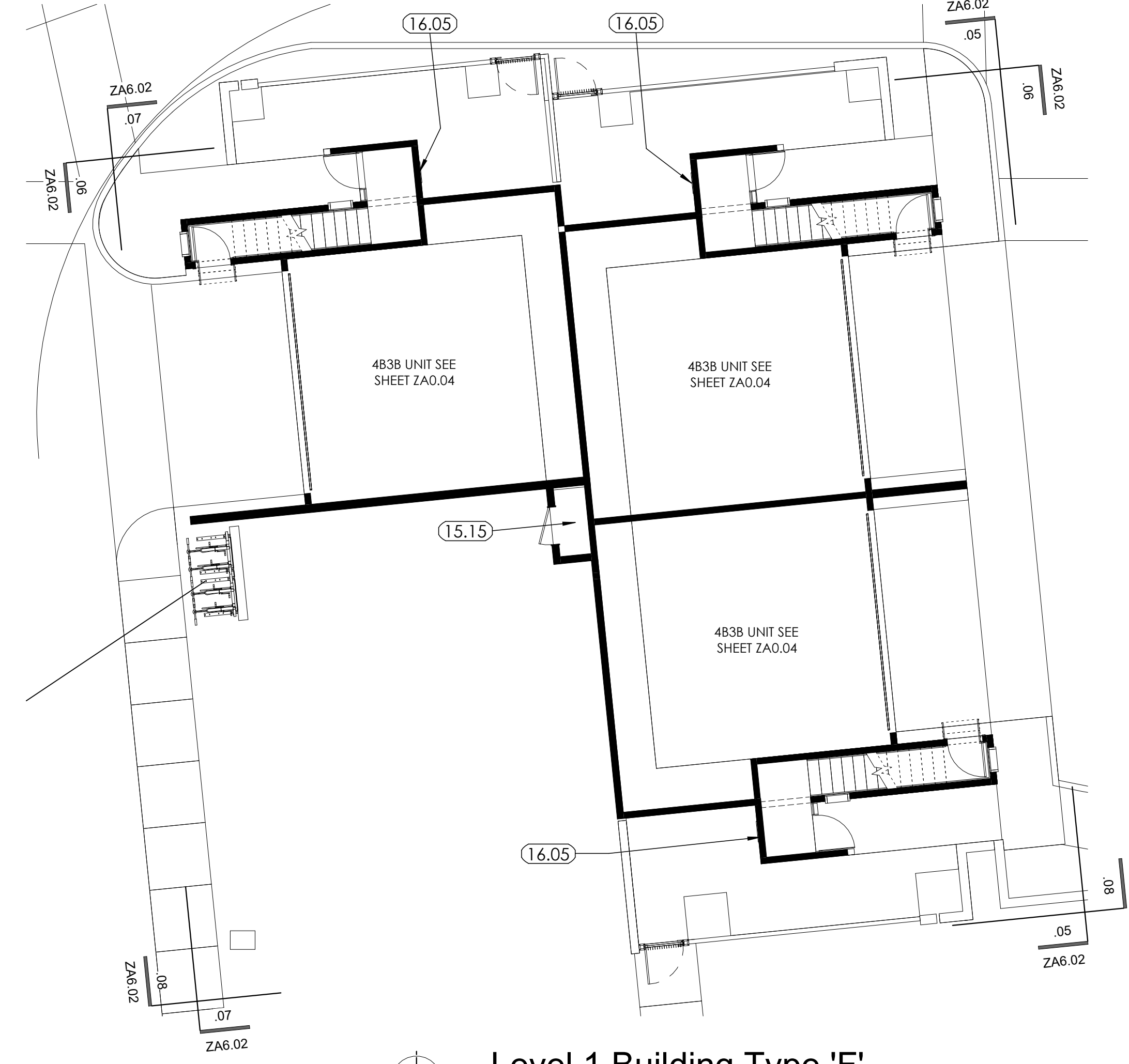
Roof Plan Building Type 'F' .04
1/8" = 1'-0"



Level 2 Building Type 'F' .02
1/8" = 1'-0"



Level 3 Building Type 'F' .03
1/8" = 1'-0"



Level 1 Building Type 'F' .01
1/8" = 1'-0"

Keynotes

- 5.21 Roof Hatches.
- 15.15 Fire riser room per NFPA 13.
- 16.05 Flush mounted electrical panel box.
- 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Note:

Condensing units to be shielded on all four sides with parapet.

Building Type 'F' Material Total

Material	Area (Sft)	[%]
FIBER CEMENT	2,478	36.6
STUCCO	2,721	40.2
BRICK	225	3.3
GLASS	619	9.2
GARAGE	384	5.7
BLOCK	210	3.1
DOOR	121	1.8
TOTAL	6,758	100

FLOOR PLANS

Building Type 'F'

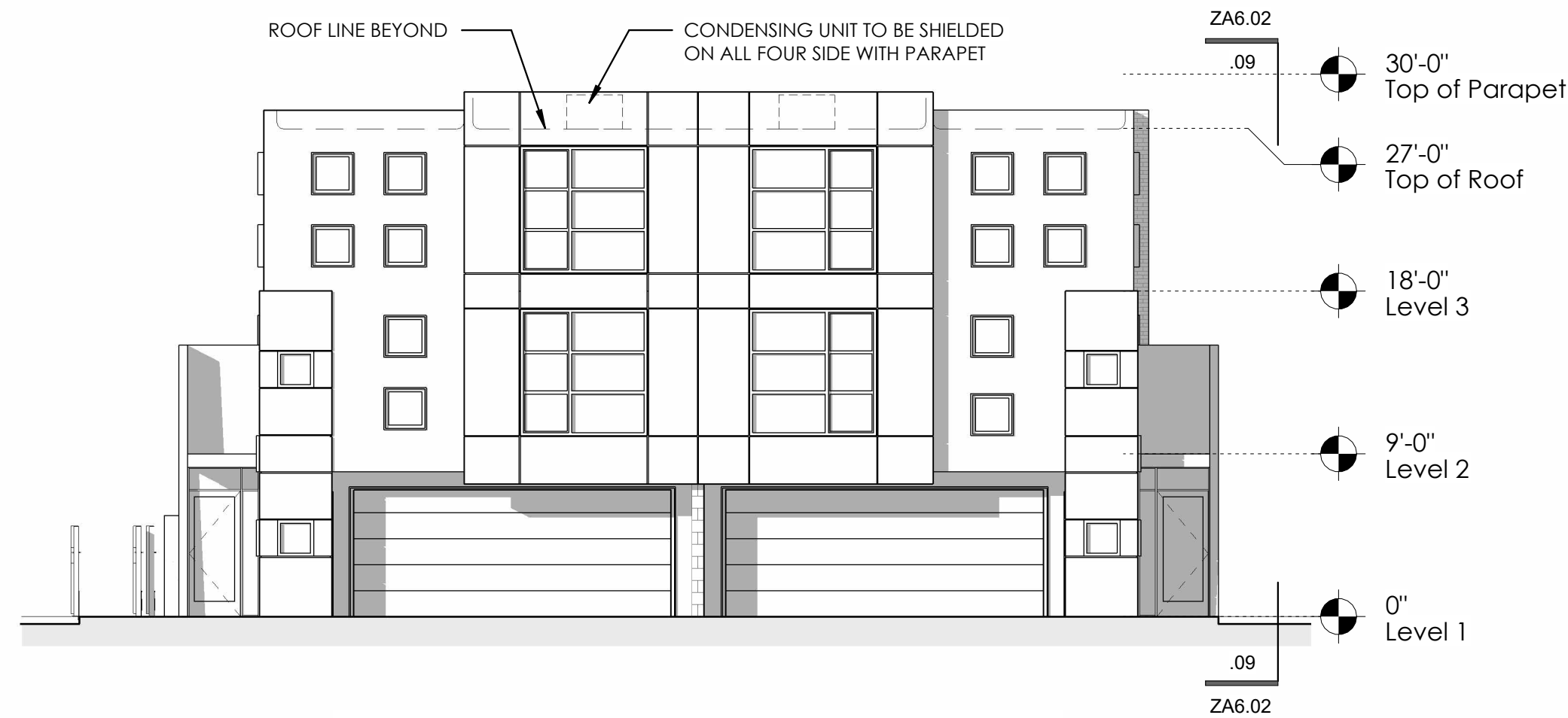
POWER TOWNHOMES

630 North Power Rd. Mesa, AZ 85205

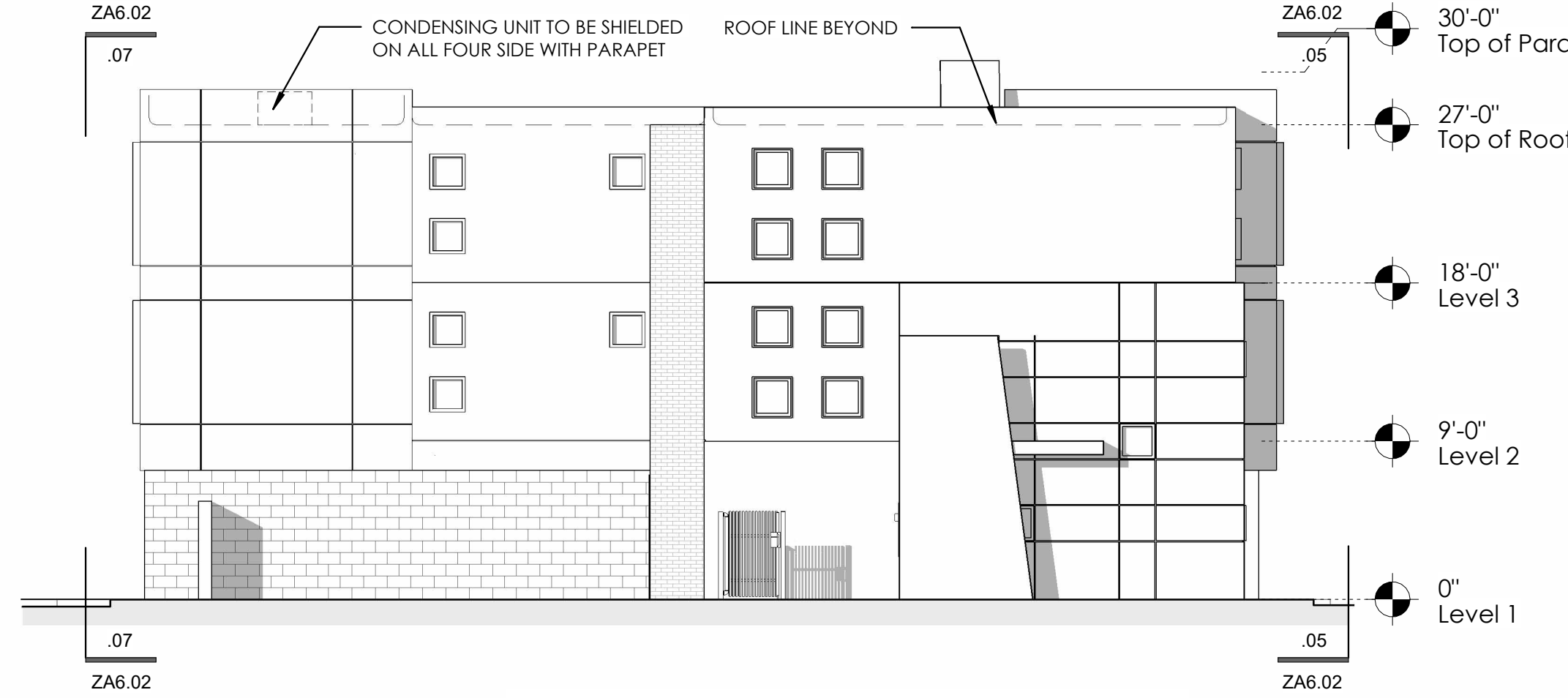


PRESENCE DESIGN
Phoenix, AZ

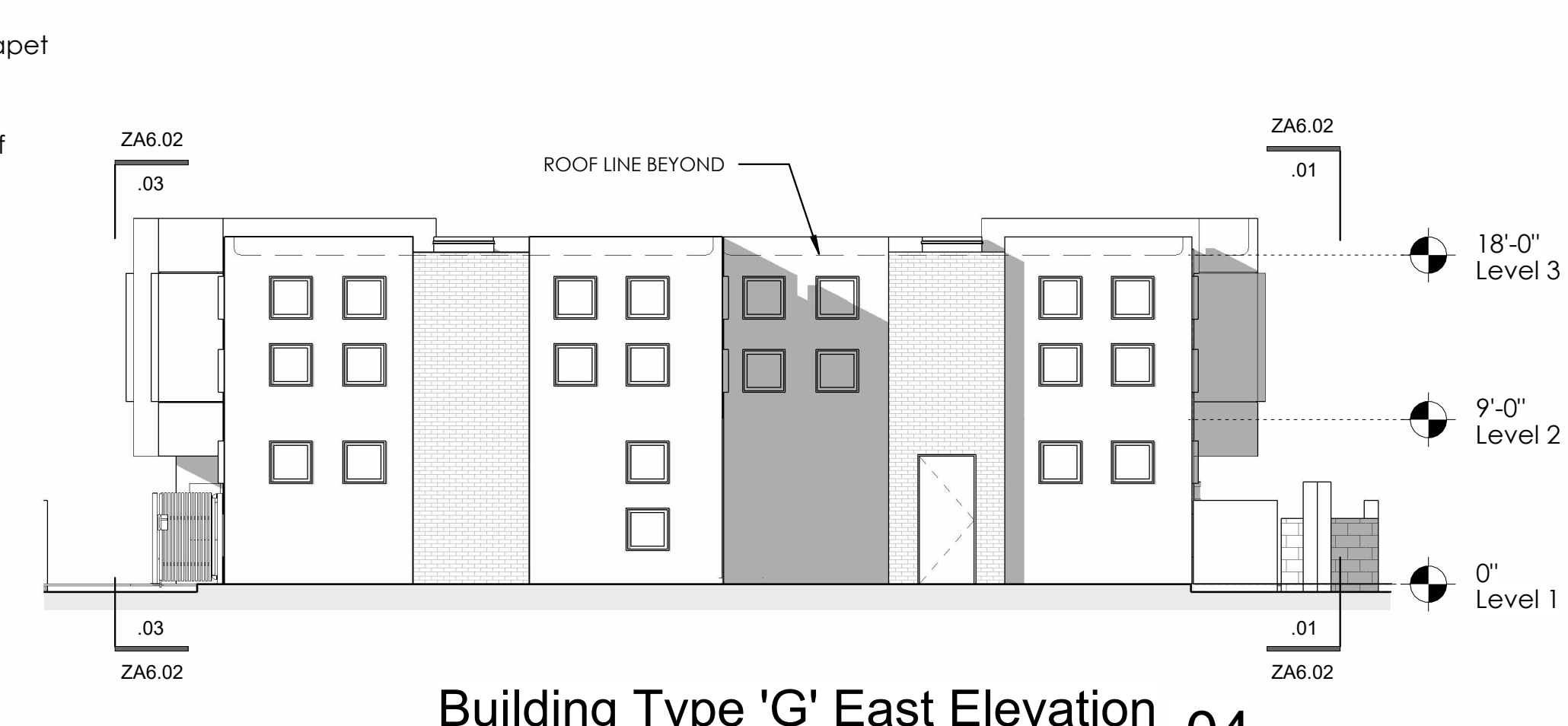
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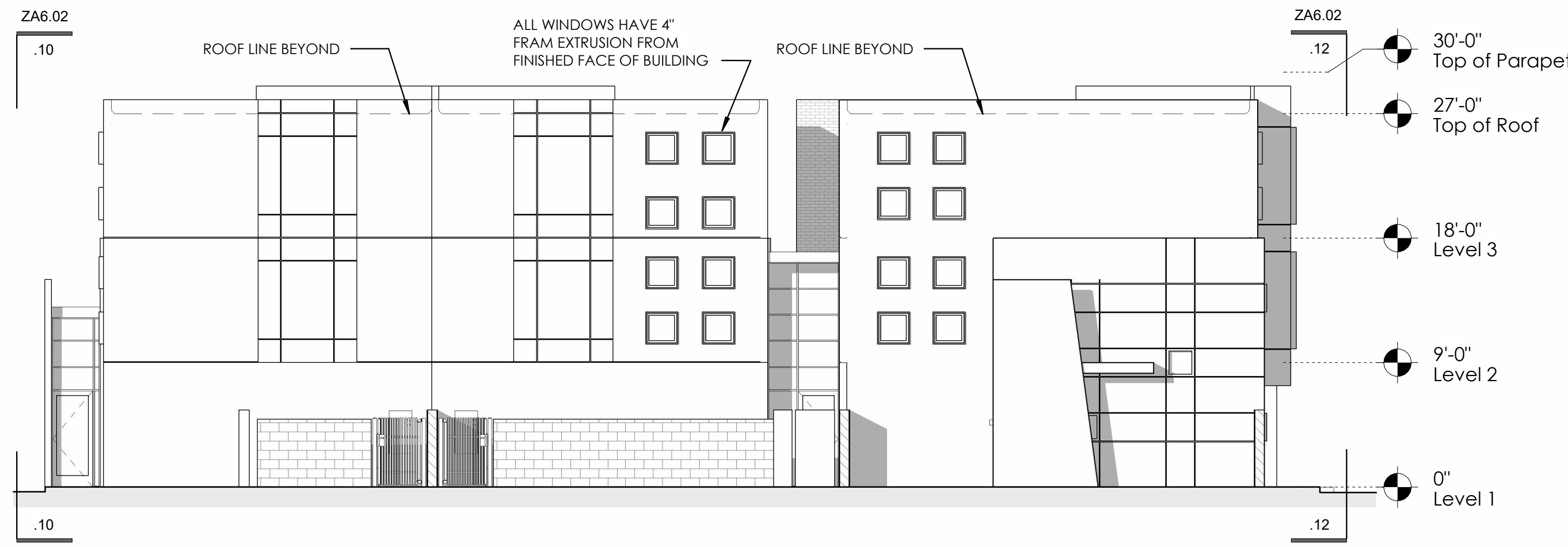
Building Type 'H' North Elevation .12
1/8" = 1'-0"



Building Type 'F' East Elevation .08
1/8" = 1'-0"



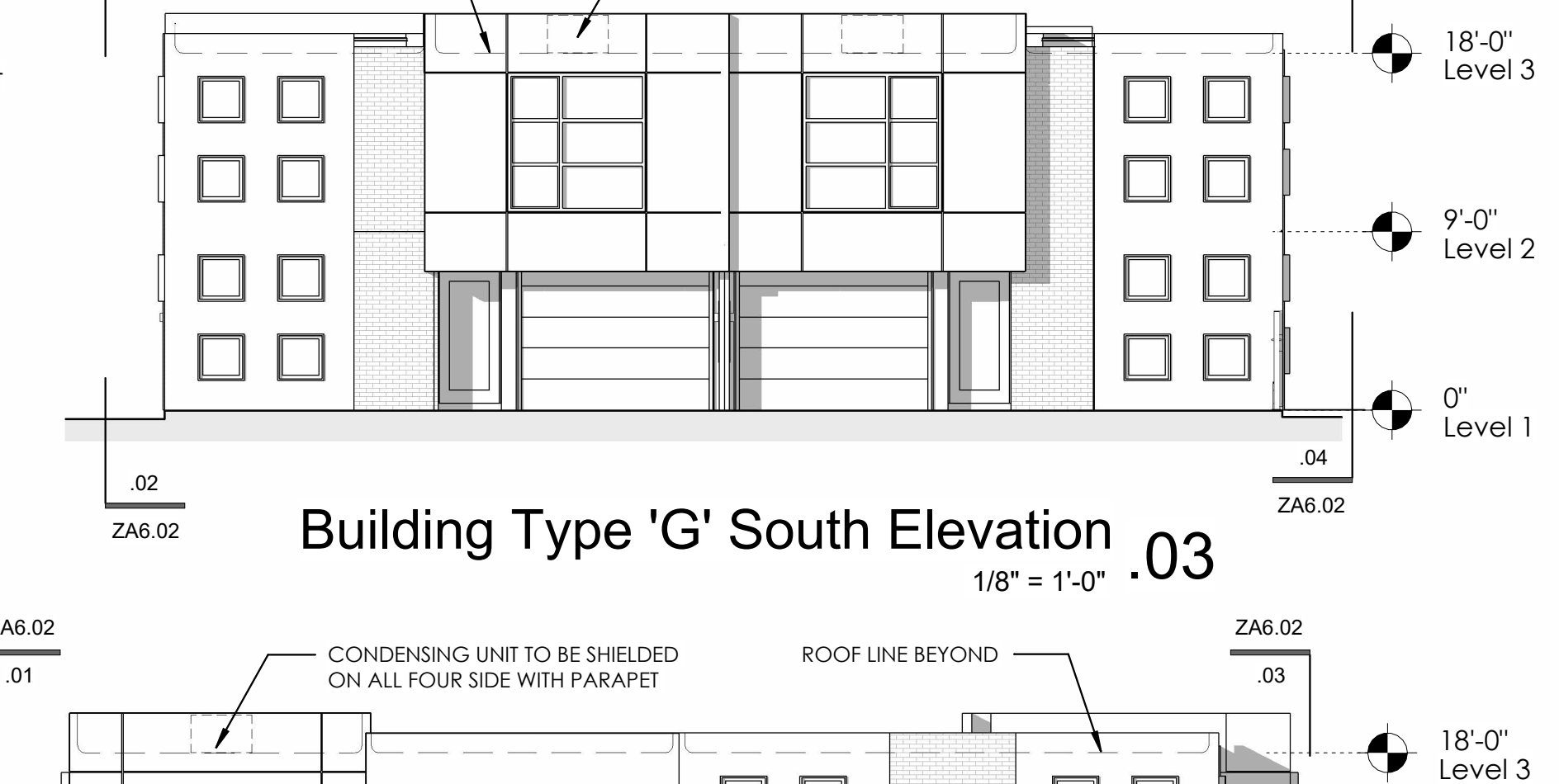
Building Type 'G' East Elevation .04
1/8" = 1'-0"



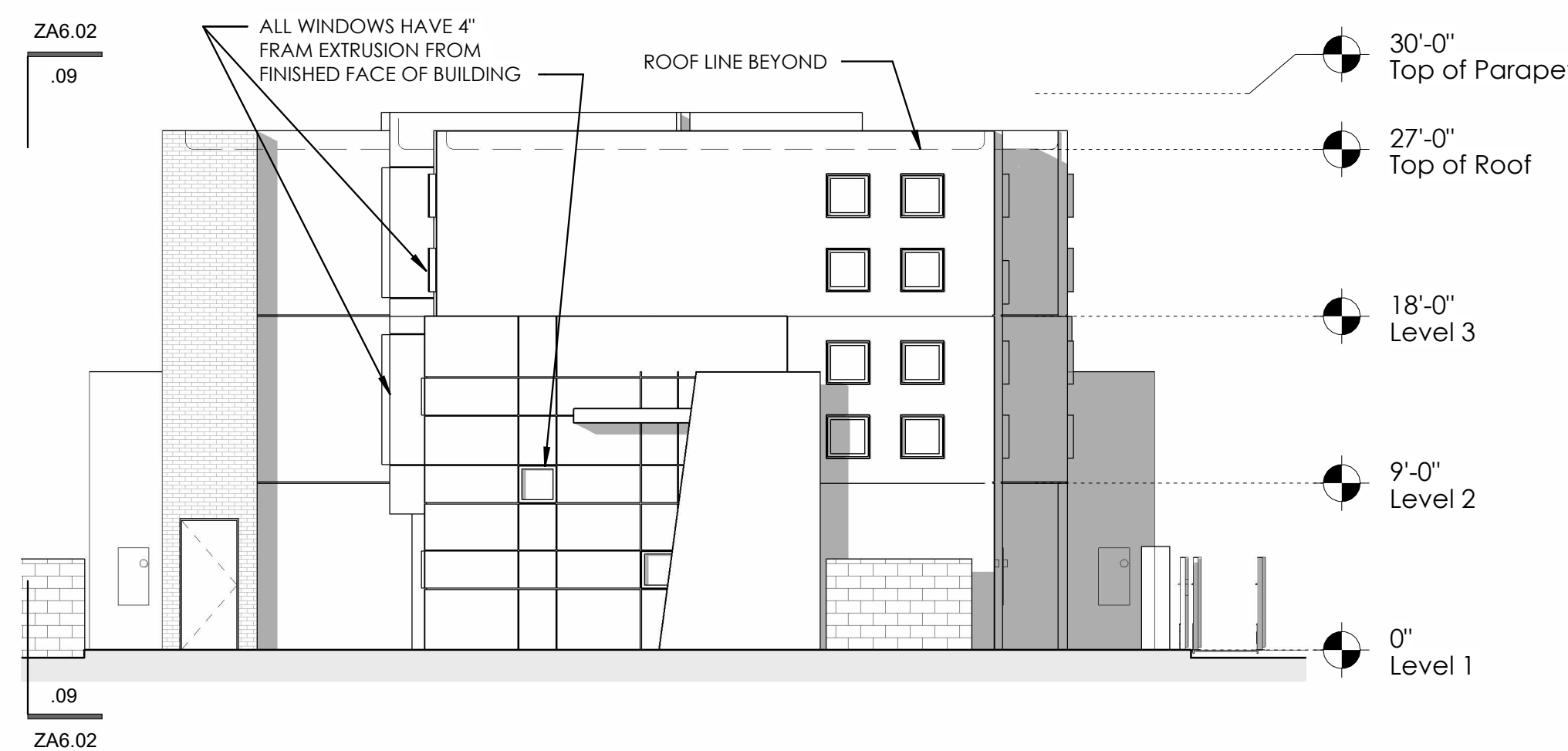
Building Type 'H' East Elevation .11
1/8" = 1'-0"



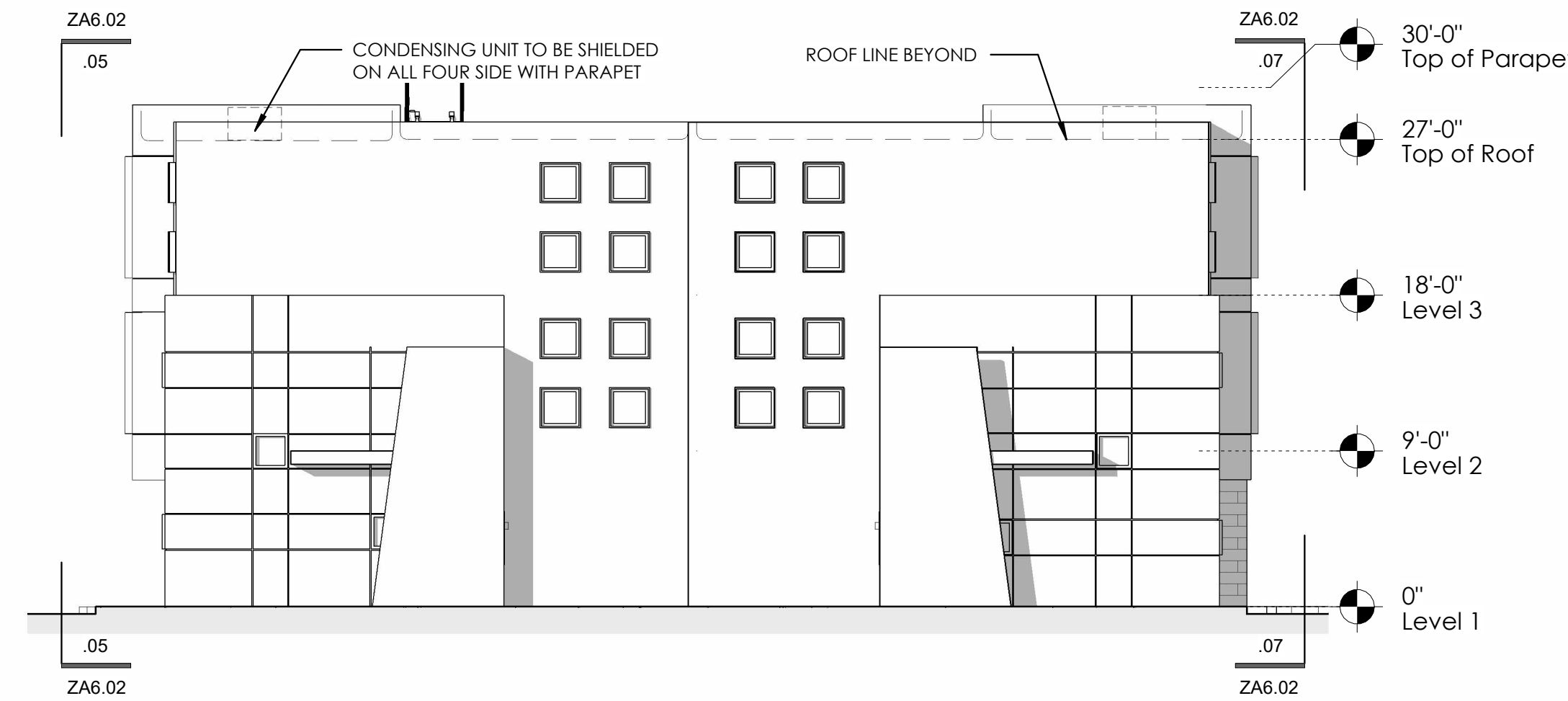
Building Type 'F' South Elevation .07
1/8" = 1'-0"



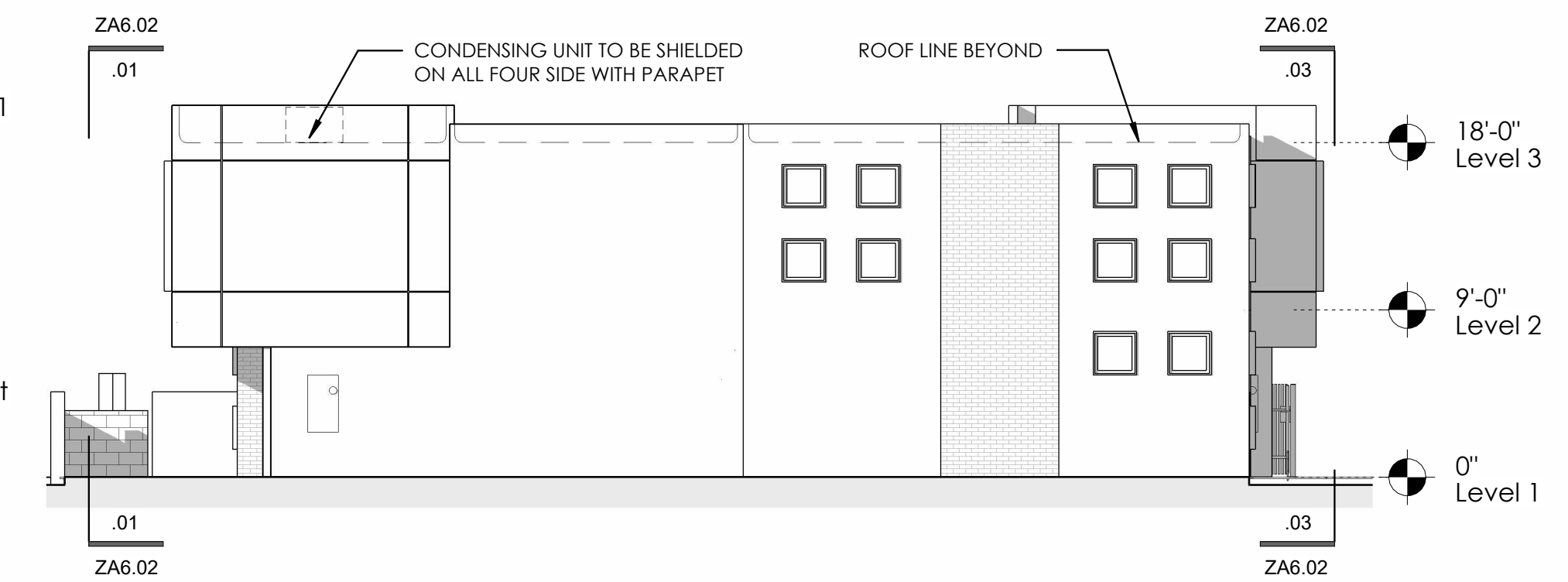
Building Type 'G' South Elevation .03
1/8" = 1'-0"



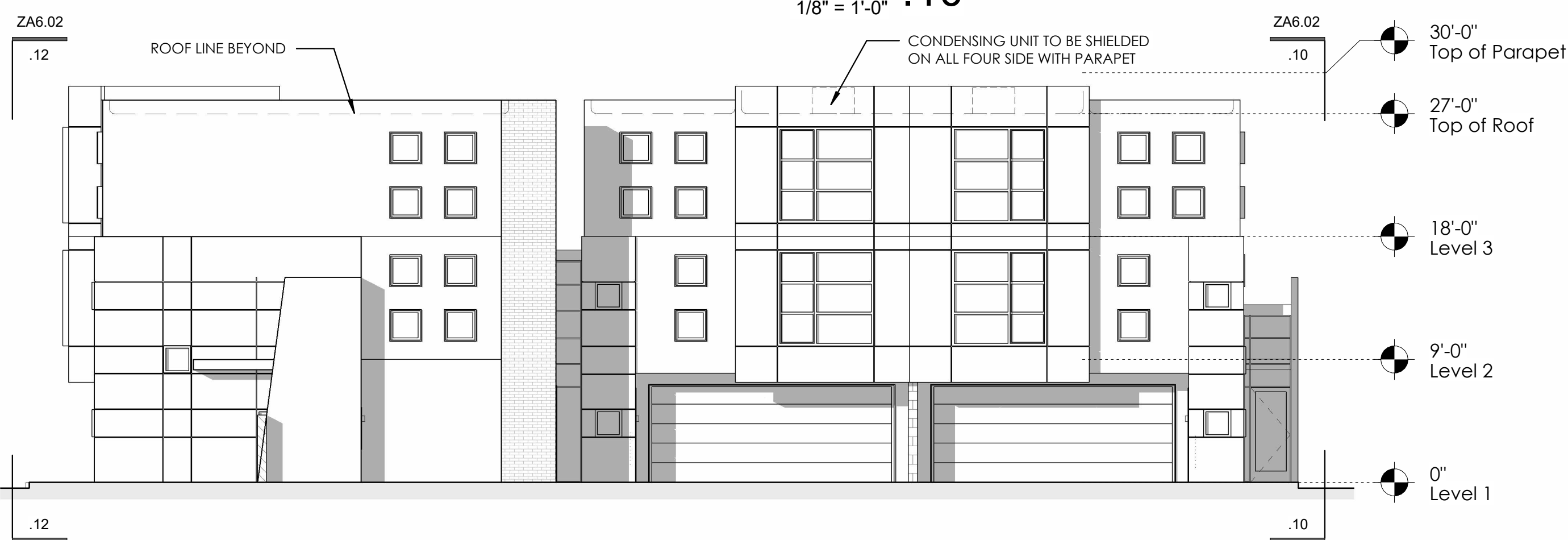
Building Type 'H' South Elevation .10
1/8" = 1'-0"



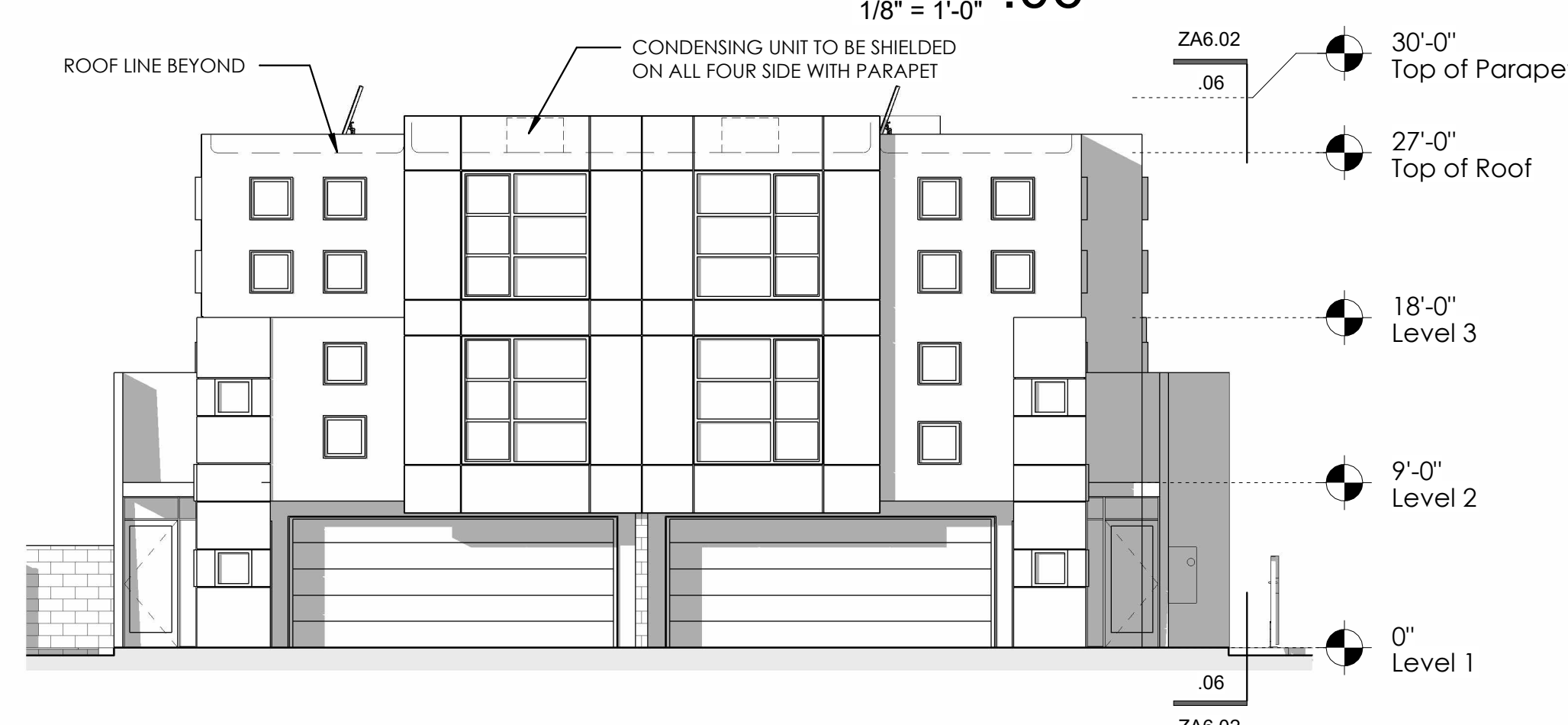
Building Type 'F' West Elevation .06
1/8" = 1'-0"



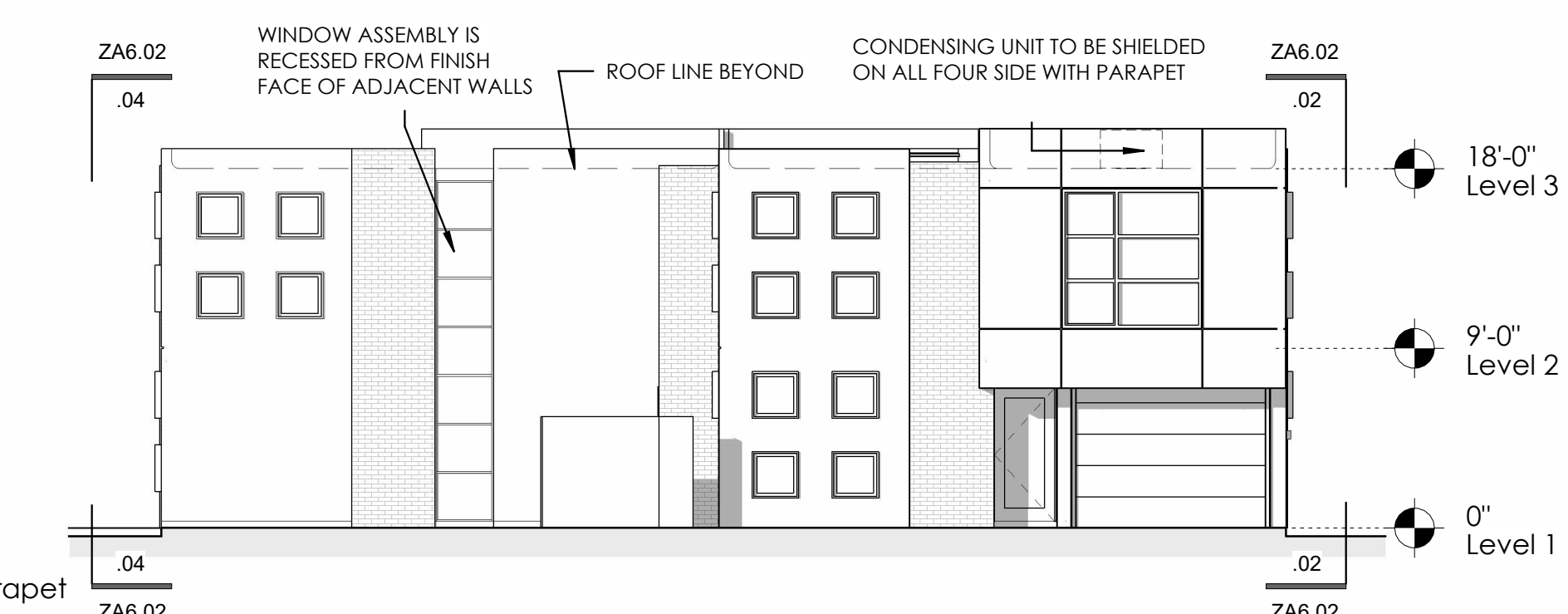
Building Type 'G' West Elevation .02
1/8" = 1'-0"



Building Type 'H' West Elevation .09
1/8" = 1'-0"



Building Type 'F' North Elevation .05
1/8" = 1'-0"



Building Type 'G' North Elevation .01
1/8" = 1'-0"

ELEVATIONS

Building Type 'F', 'G', & 'H'

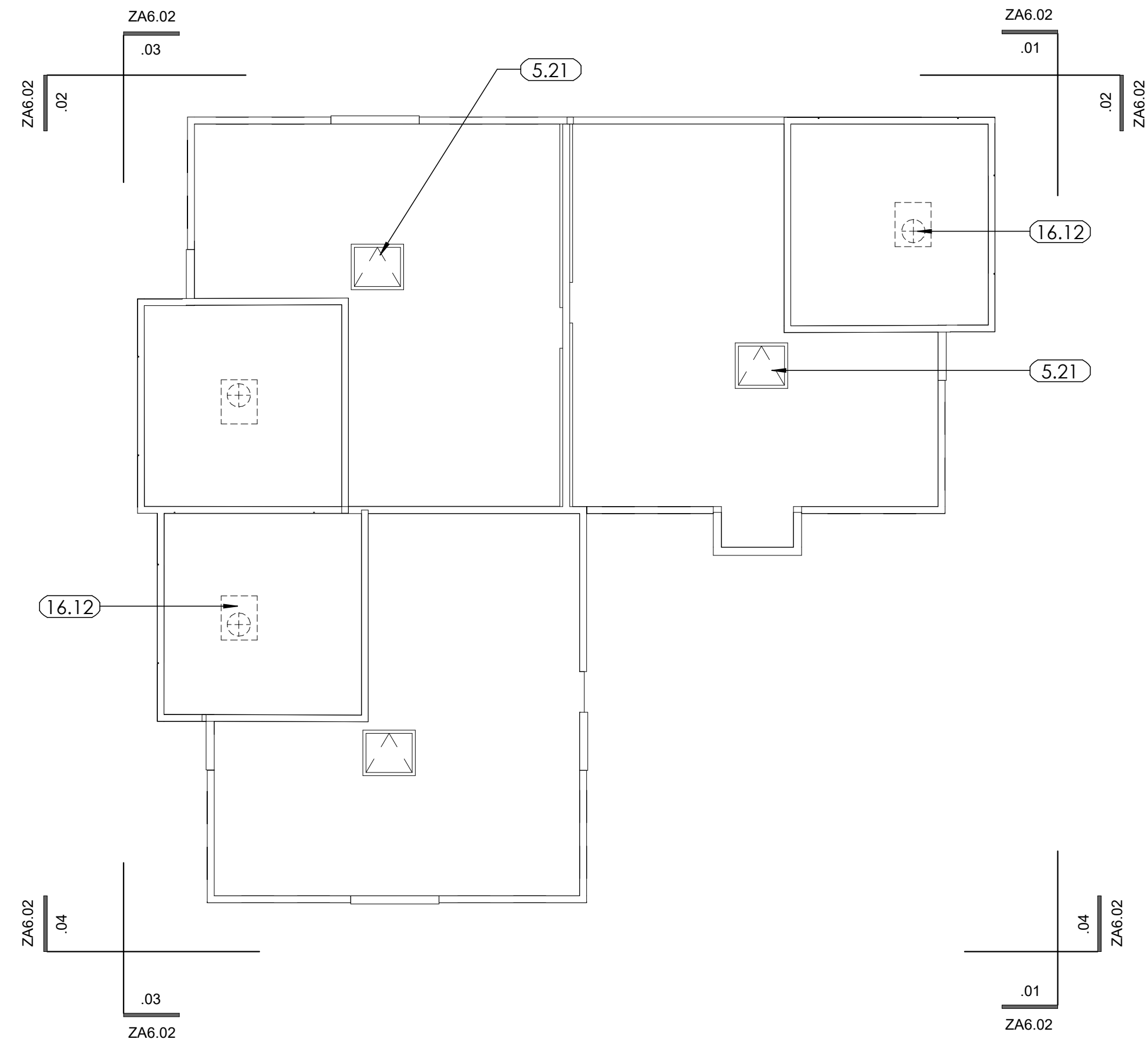
POWER TOWNHOMES

630 North Power Rd. Mesa, AZ 85205

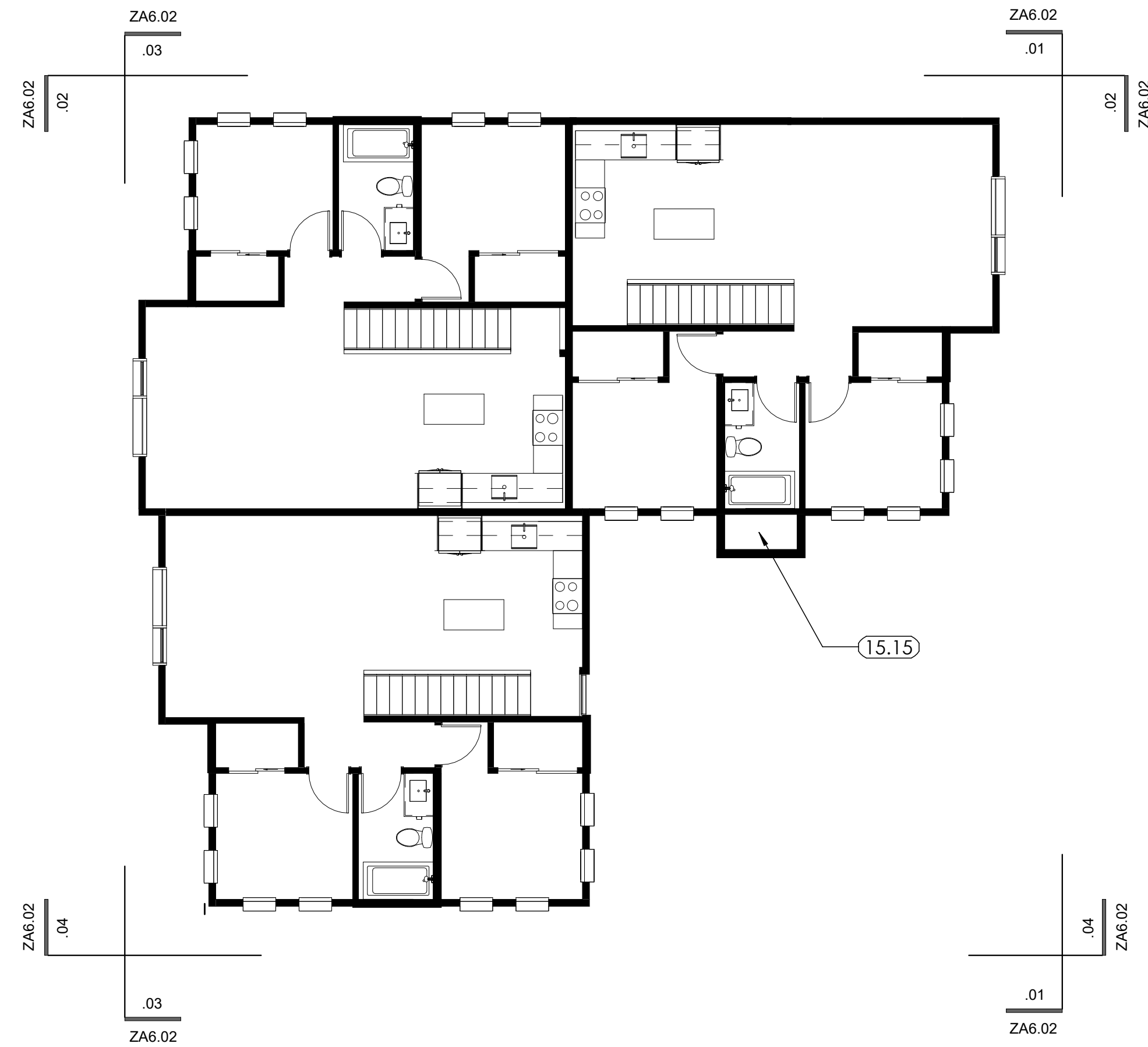
PRESENCE DESIGN
Phoenix, AZ



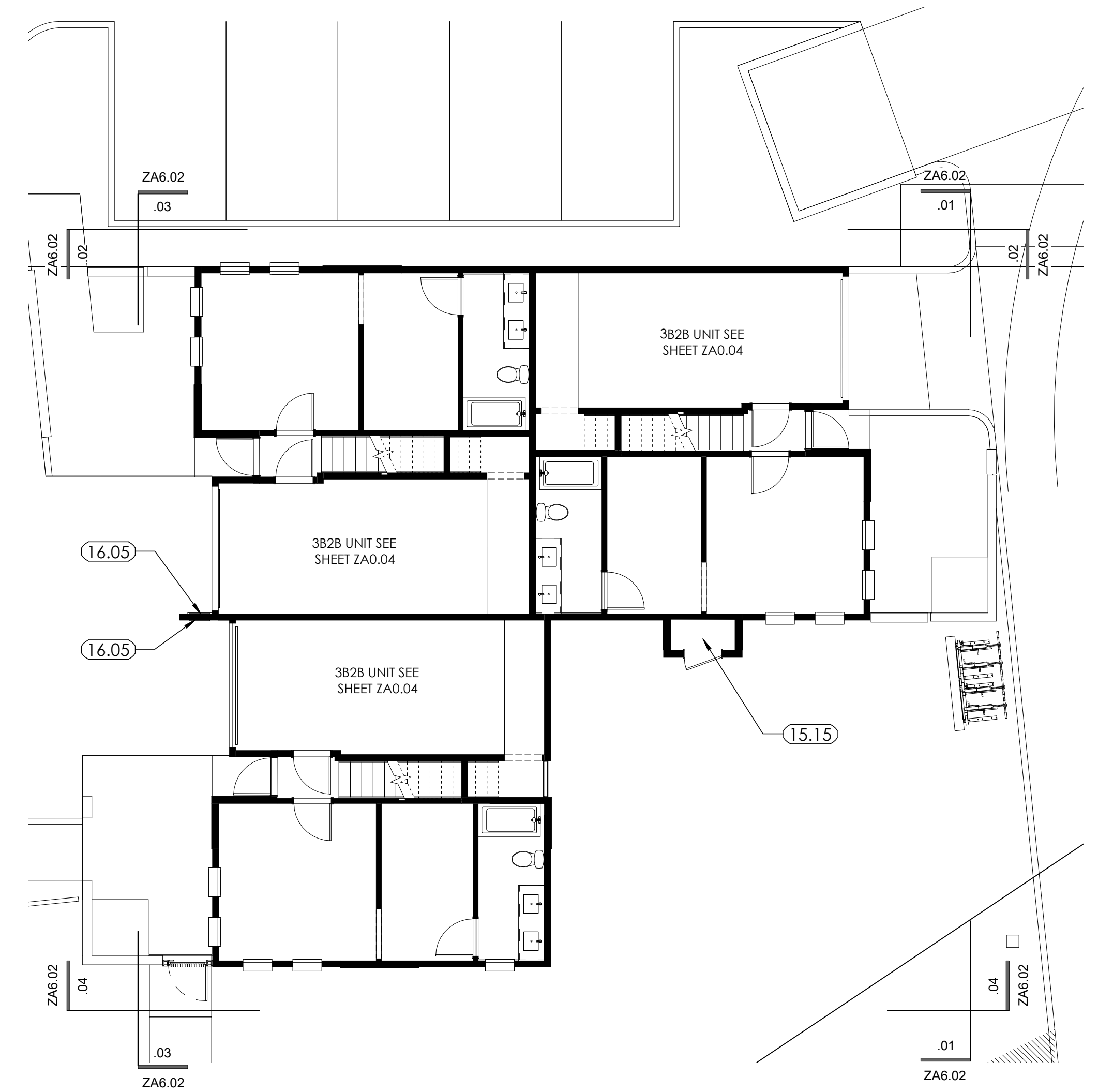
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Roof Plan Building Type 'G' .03
1/8" = 1'-0"



Level 2 Building Type 'G' .02
1/8" = 1'-0"



Level 1 Building Type 'G' .01
1/8" = 1'-0"

Keynotes

- 5.21 Roof Hatches.
- 15.15 Fire riser room per NFPA 13.
- 16.05 Flush mounted electrical panel box.
- 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Building Type 'G' Material Total

Material	Area (Sft)	(%)
FIBER CEMENT	867	19.0
STUCCO	2,114	46.3
BRICK	794	17.4
GLASS	510	11.2
GARAGE	210	4.6
DOOR	63	1.4
TOTAL	4,558	100

Note:

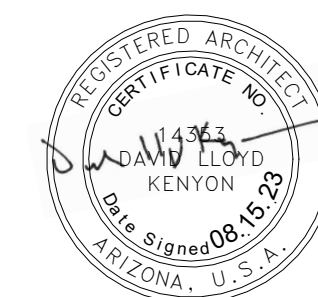
Condensing units to be shielded on all four sides with parapet.

FLOOR PLANS

Building Type 'G'

POWER TOWNHOMES

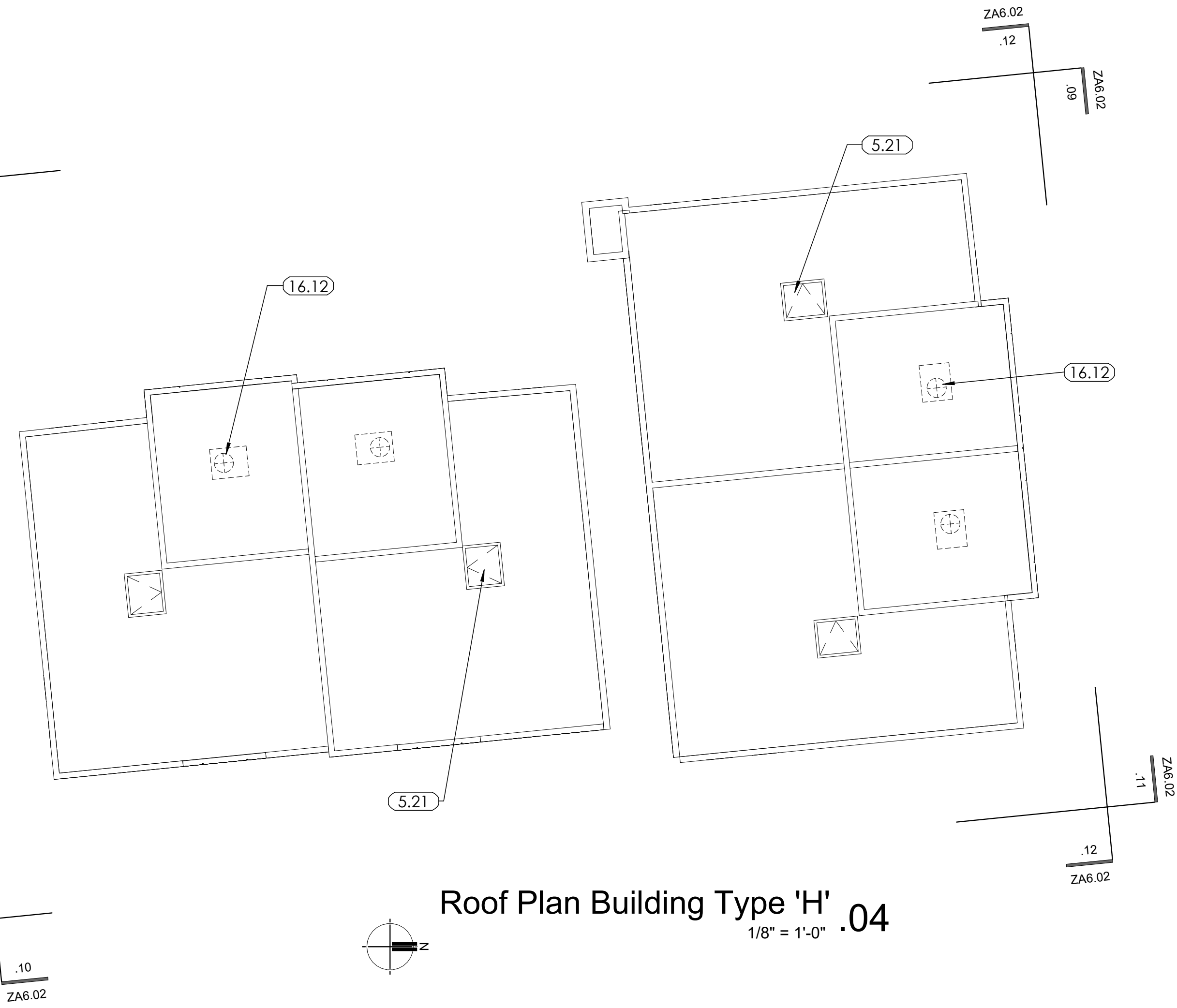
630 North Power Rd. Mesa, AZ 85205



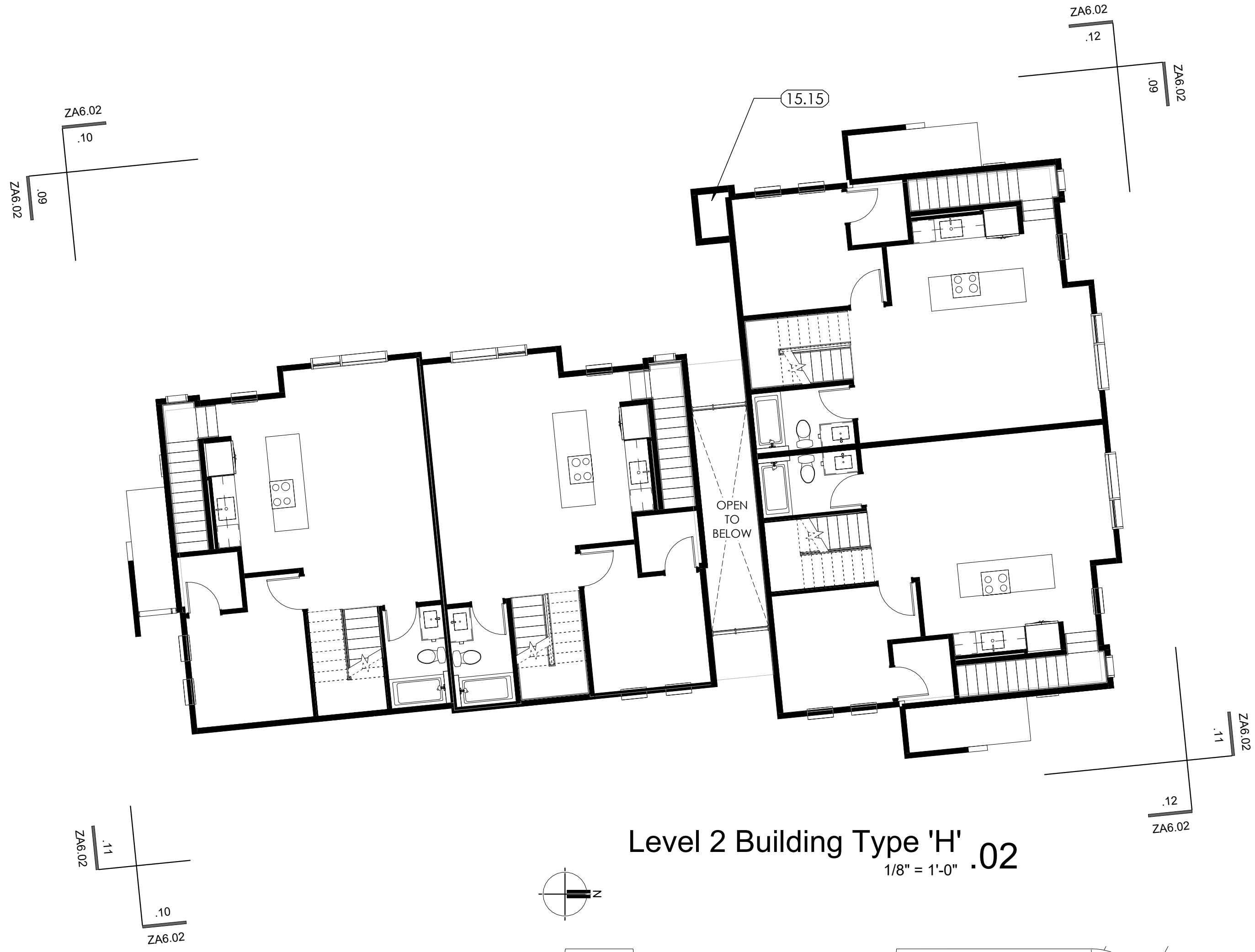
Expires 6.30.2024

PRESENCE DESIGN
Phoenix, AZ

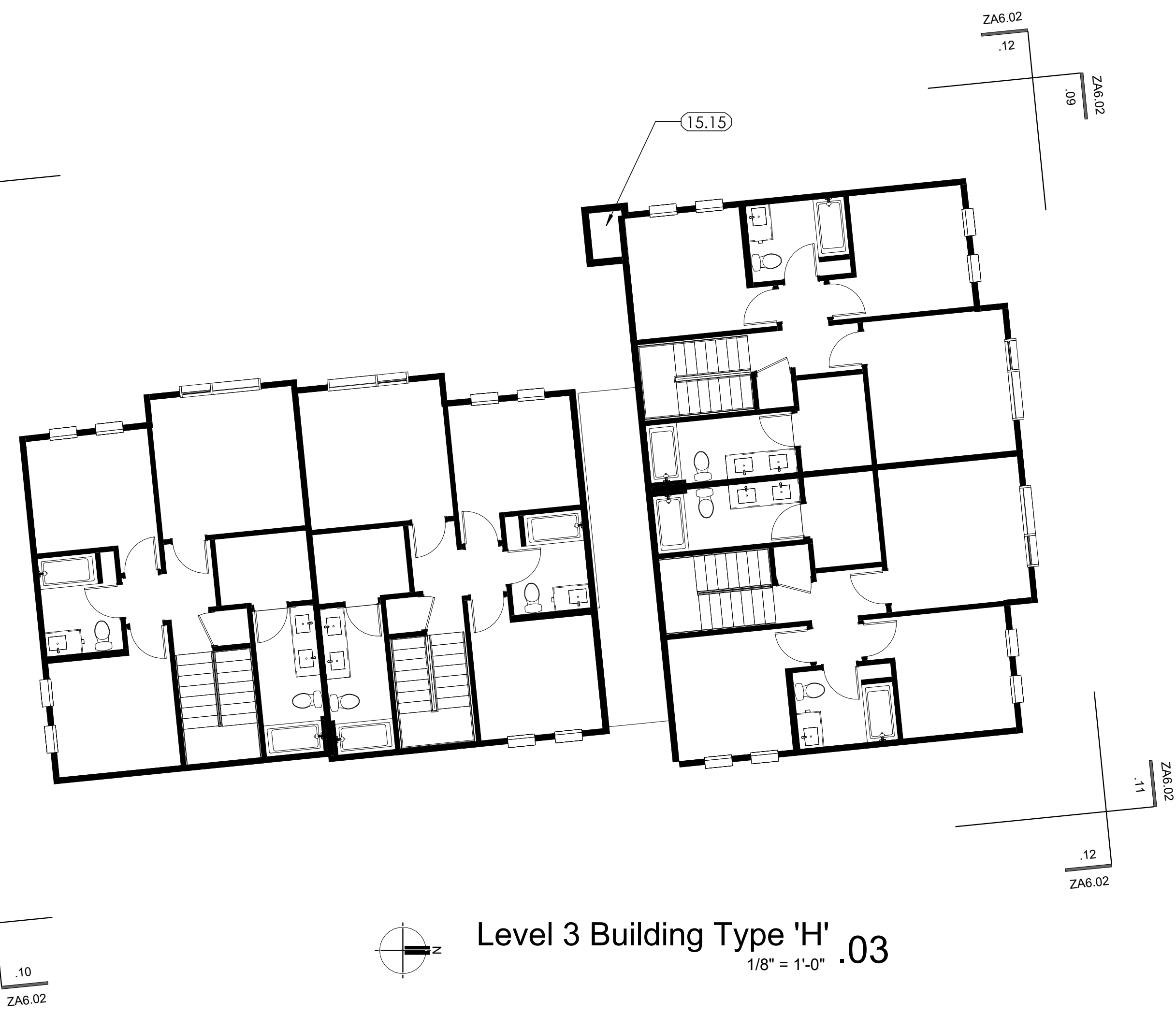
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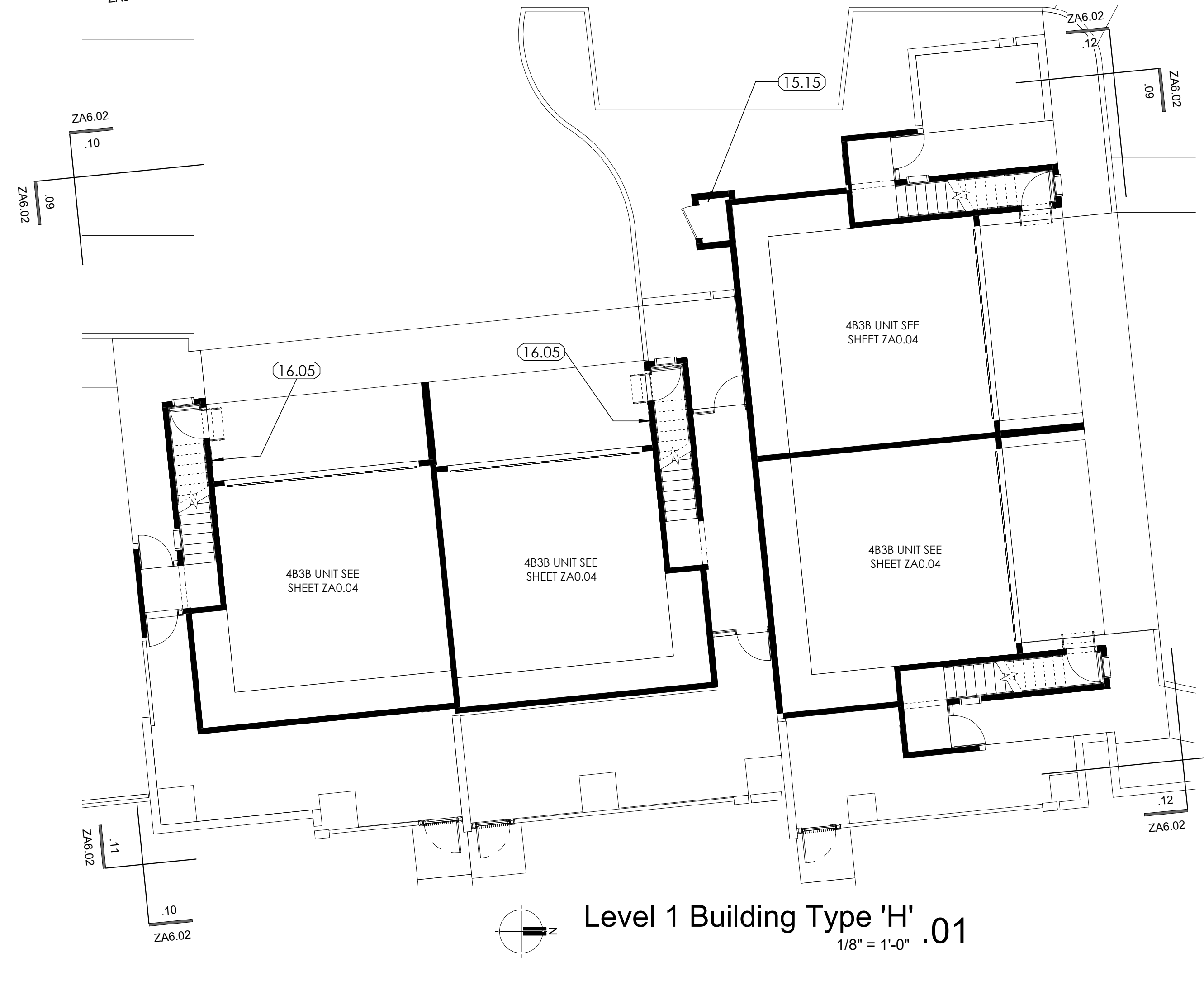
Roof Plan Building Type 'H' .04
1/8" = 1'-0"



Level 2 Building Type 'H' .02
1/8" = 1'-0"



Level 3 Building Type 'H' .03
1/8" = 1'-0"



Level 1 Building Type 'H' .01
1/8" = 1'-0"

- Keynotes**
- 5.21 Roof Hatches.
 - 15.15 Fire riser room per NFPA 13.
 - 16.05 Flush mounted electrical panel box.
 - 16.12 All mechanical equipment to be roof mounted and fully shielded with parapets on all 4 sides.

Note:

Condensing units to be shielded on all four sides with parapet.

Building Type 'H' Material Total

Material	Area (Sqft)	(%)
FIBER CEMENT	2,711	34.2
STUCCO	3,481	44.0
BRICK	326	4.1
GLASS	745	9.4
GARAGE	512	6.4
DOOR	134	1.7
TOTAL	7,909	100

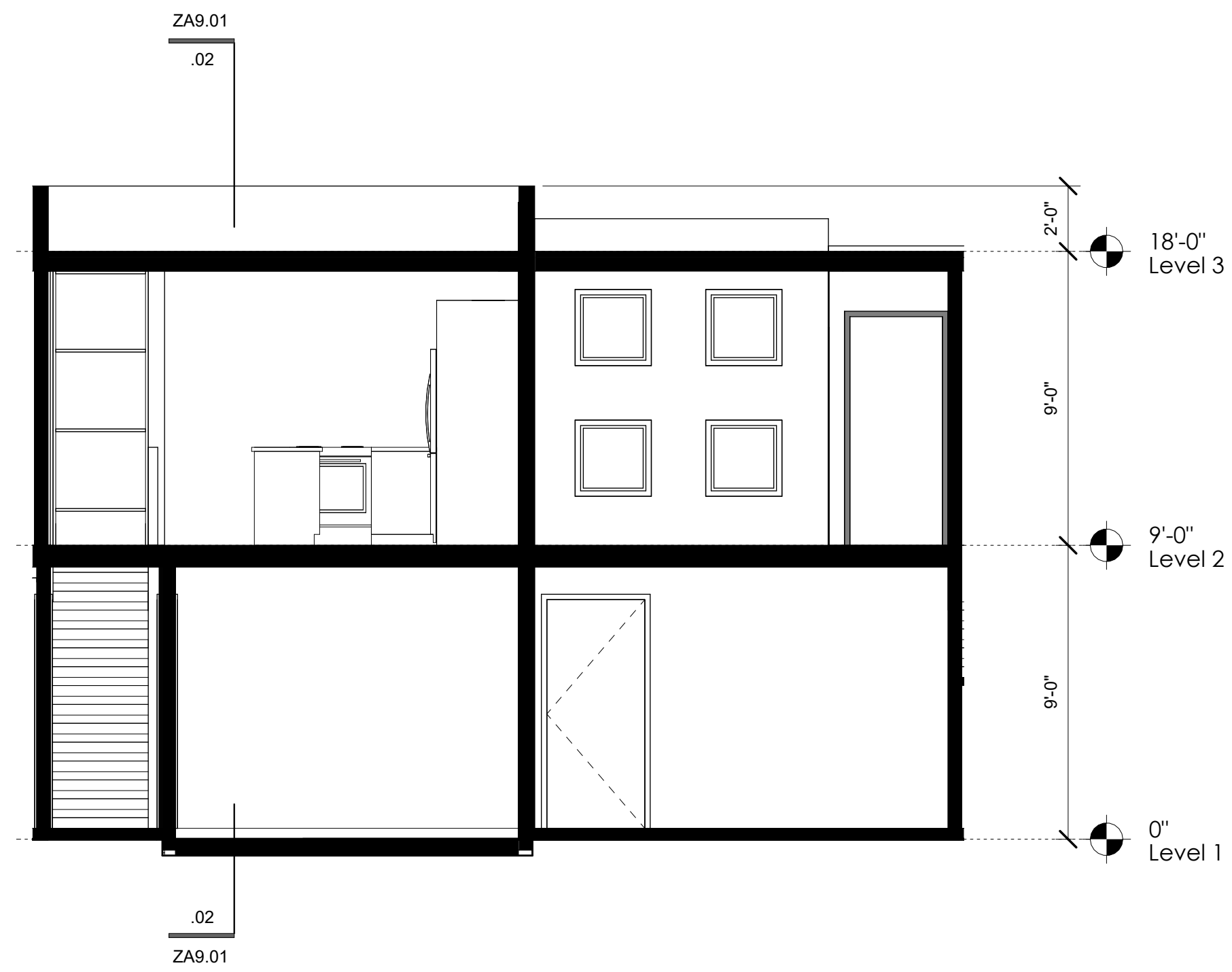
FLOOR PLANS
Building Type 'H'

POWER TOWNHOMES
630 North Power Rd. Mesa, AZ 85205

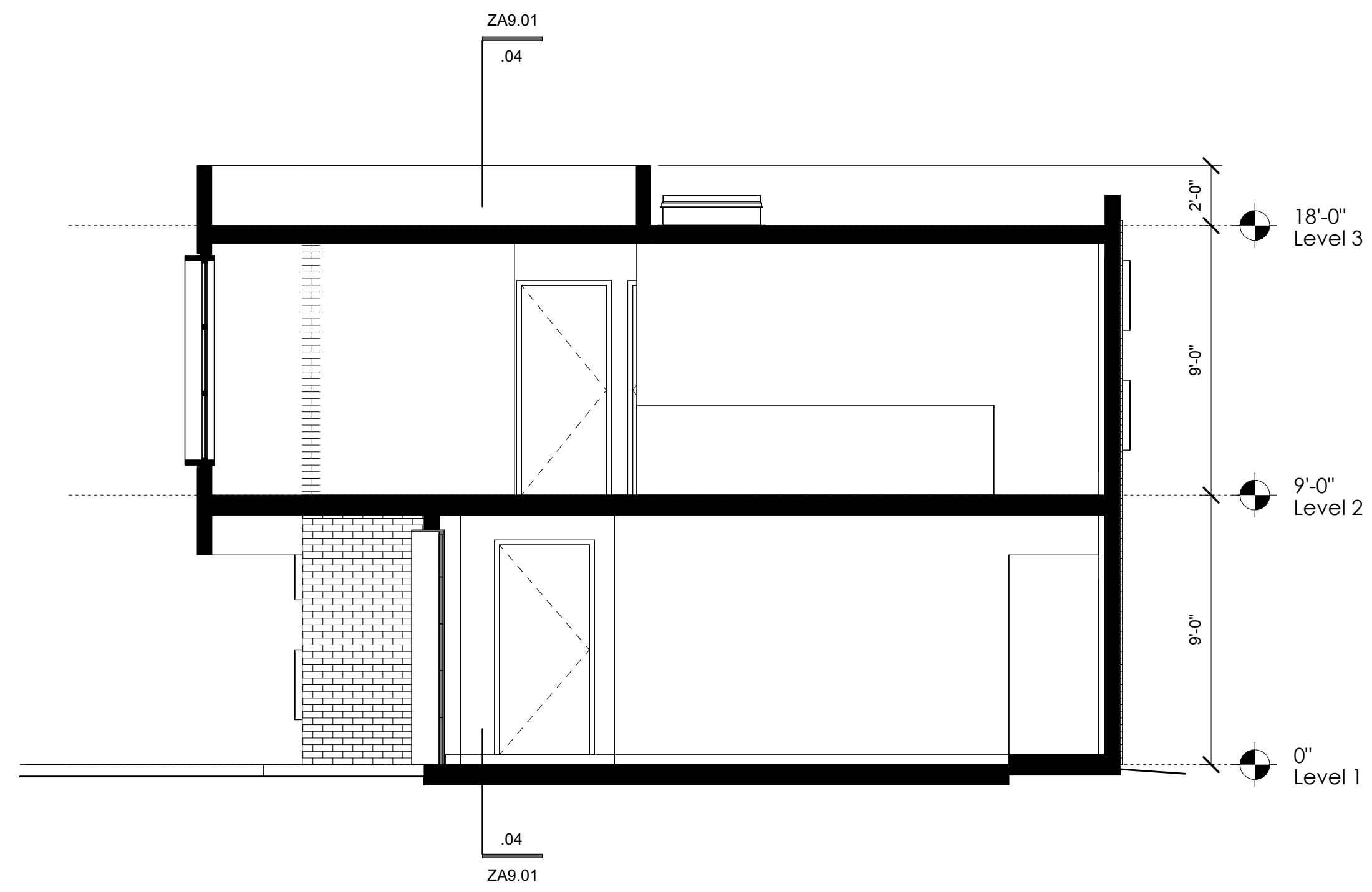
PRESENCE DESIGN
Phoenix, AZ



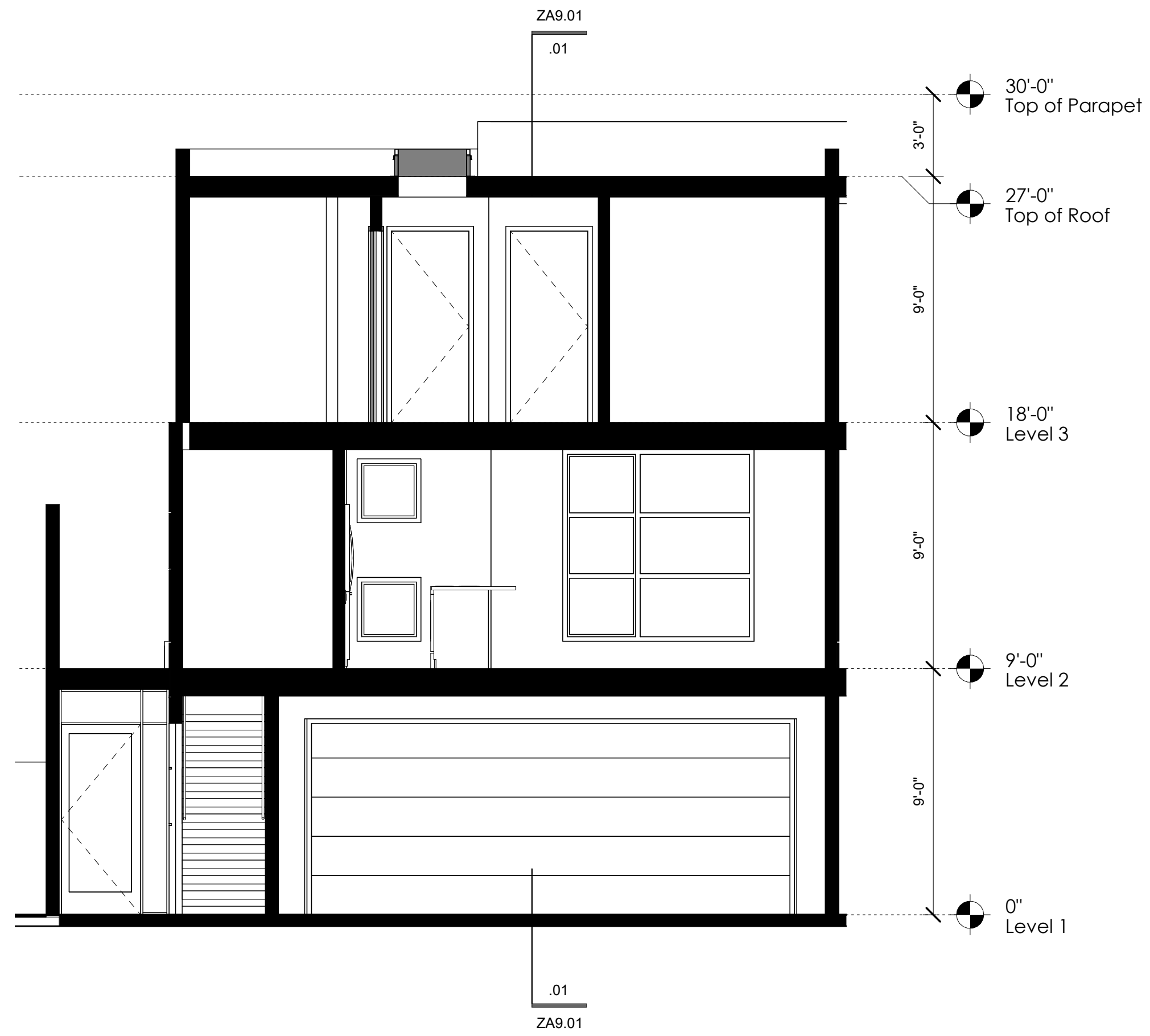
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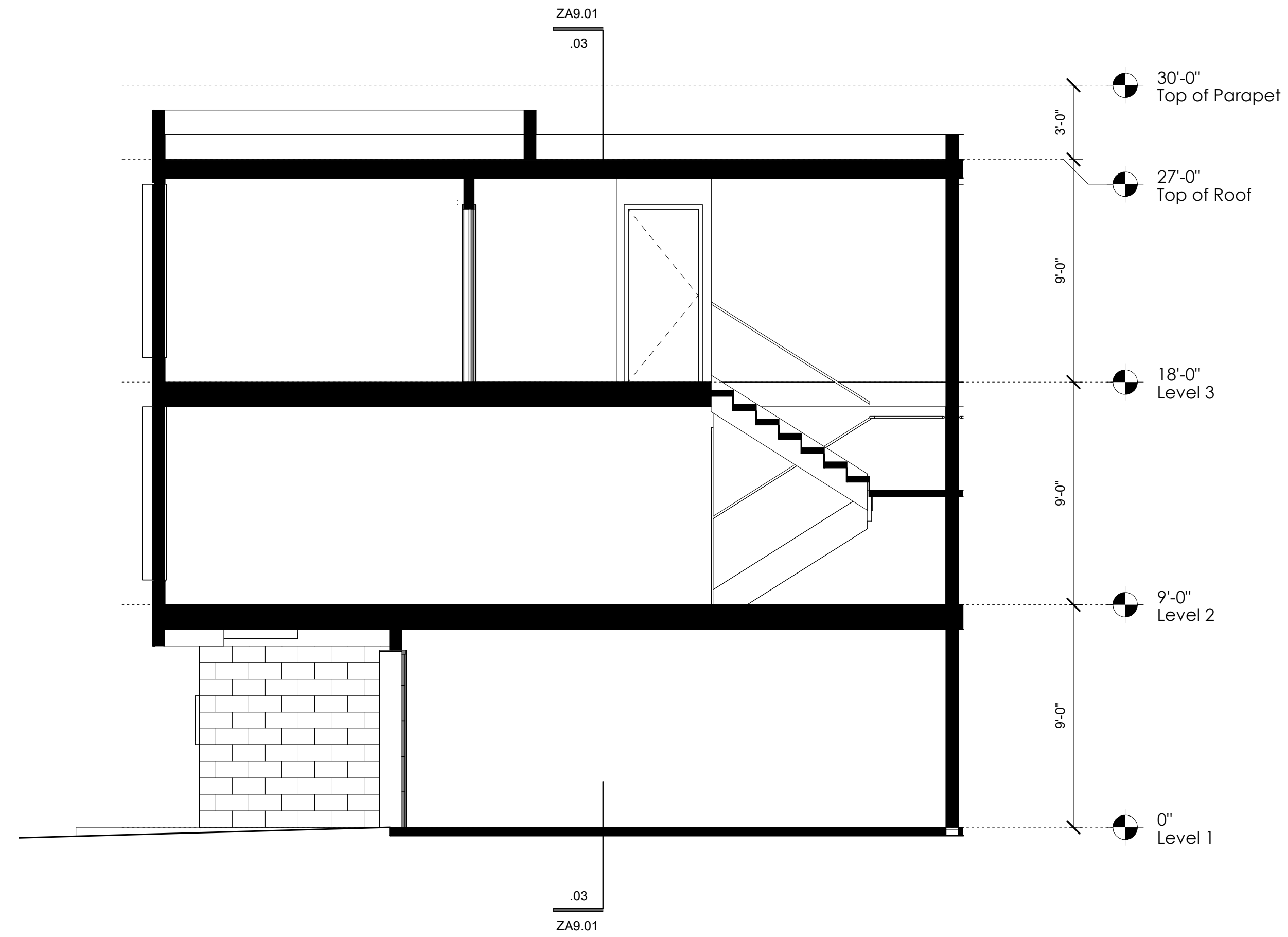
3B2B Section BB .04
1/4" = 1'-0"



3B2B Section AA .02
1/4" = 1'-0"



4B3B Section BB .03
1/4" = 1'-0"



4B3B Section AA .01
1/4" = 1'-0"

TYPICAL SECTIONS

POWER TOWNHOMES

630 North Power Rd. Mesa, AZ 85205



Expires 6.30.2024

PRESENCE
DESIGN
Phoenix, AZ

CDK

DLK

ZONING | FINAL SITE PLAN
15 August 2023 PD 2303.04

ZA9.01

Power Townhomes - 6739 E. Dallas St.

Citizen Participation Plan & Preliminary Report

June 19, 2023

Purpose:

The purpose of this Citizen Participation Plan and Preliminary Report is to provide the City of Mesa staff with information regarding the neighborhood outreach efforts made and to be made by the Applicant concerning the Applicant's requests to the City of Mesa for Rezoning and Site Plan approval. These requests are being made to facilitate development of a multifamily residential community at the SWC Power Road and Dallas Street in Mesa (APNs 141-62-002H and 141-62-002F).

By providing opportunities for citizen participation, the Applicant will ensure that those affected by this application have an adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings and any other meetings requested by citizens.

Contact Information:

The Citizen Participation activities are being coordinated by:

Jon Gillespie

Pew & Lake, P.L.C.

1744 S. Val Vista Drive, Ste. 217

Mesa, Arizona 85204

(480) 461-4670 (office)

(480) 461-4676 (fax)

jon.gillespie@pewandlake.com

Planned and Taken Actions:

A neighborhood meeting was held on June 6, 2023 and the developer will continue with outreach as requested by interested parties.

To provide effective citizen participation in conjunction with this application, the following actions were taken or will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A neighborhood meeting was held on June 6, 2023 with the applicant, citizens and interested parties to discuss the proposed project. A "Neighborhood Meeting Summary" was created and is attached here. Additional meetings can be arranged as needed.
2. The notification list for the neighborhood meeting included all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts within

1-mile of the property were notified (the registered neighborhood contacts list was obtained from the City of Mesa). A total of 181 property owners were notified.

3. The Applicant will add to a contact list provided by the City of Mesa for citizens and agencies in this area including:
 - a. Interested neighbors – focused on 1000+ feet from the parcel and
 - b. Registered neighborhood associations and Homeowners Associations within 1 mile of the project.
4. In accordance with ARS § 9-462.04 (A) (4) and Mesa Zoning Ordinance Section 11-67-5, property owners within 500-feet of the property will be notified of future hearings at least 14-days prior to any scheduled hearing. Attendees at the neighborhood meeting will also be notified.
5. For public hearing notice, the applicant will post a minimum of one (1) 4' x 4' sign(s) on the property. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Summary of Comments Received:

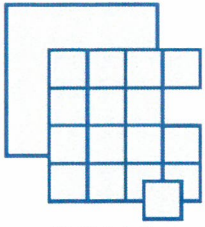
Attendees at the neighborhood meeting included adjacent neighbors and other parties in the nearby vicinity. They generally were opposed to the proposed use of the property with concerns regarding Dallas Street and Power Road traffic movements, maintain the 55+ character of the area, and the wall height on the western boundary.

Schedule:

Pre-Application Conference (PRS22-00263)	April 14, 2023
Follow-up Pre-Application Conference	May 12, 2023
Neighborhood Meeting	June 6, 2023
Formal Submittal to City	June 26, 2023
Follow-Up Submittal	TBD
Planning & Zoning Public Hearing	TBD
City Council Public Hearings	TBD

Attached Exhibits:

- A) Notification letter for the Neighborhood Meeting
- B) Neighborhood Meeting Summary and Sign-in List
- C) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property
- D) 1000' Notification Map of surrounding property owners



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

May 22, 2023

NOTICE OF ONLINE NEIGHBORHOOD MEETING

Dear Neighbor:

Pew & Lake, PLC, on behalf of our client Elliot Barkan Development, LLC, is pleased to invite you to a neighborhood meeting concerning a proposed rezoning of property at the southwest corner of Power Road and Dallas Street in Mesa. The subject property is currently a parking lot and identified as Maricopa County APNs 141-62-002H and 141-62-002F and shown below outlined in red.



The property owner is seeking City of Mesa approval of a rezoning from RS-6 to RM-2-PAD with site plan approval. Proposed is a residential community with 38 townhome style units featuring high-quality architecture, centralized open space and community amenities. The residences include two story units on the west side of the parcel with an average thirty-foot wide landscape setback from the current homes west of the site. A mixture of two- and three- story units are provided along Power Road. The development will meet the City of Mesa parking requirements and provides for safe pedestrian and vehicular movement. Attached to this letter is the proposed conceptual site plan and a building rendering which depicts the project.

Our team has set up a virtual neighborhood meeting where we will present the proposal and provide more information. We value your feedback and participation. The neighborhood meeting will be held electronically via the ZOOM virtual platform. It will be held at the date and time below:

Meeting Date: June 6, 2023

Time: 6:00 PM

ZOOM Meeting Link: <https://us06web.zoom.us/j/83189767002>

If you wish to participate in the neighborhood meeting, please send me an email request at jon.gillespie@pewandlake.com no later than 5:00 p.m. on the day of the meeting and you will be provided with the link to access the meeting. You may also access the neighborhood meeting by entering the following link into your web browser: <https://us06web.zoom.us/j/83189767002>. Alternatively, I would be happy to discuss the request with you at any time. Should you have any questions, please contact me at jon.gillespie@pewandlake.com or by phone at 480-461-4670. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

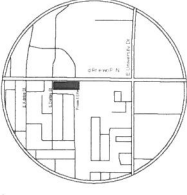
At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,



Jon Gillespie
PEW & LAKE, PLC

Vicinity Map
N.T.S.



Project Description

38 new, townhome rental structures, consisting of 3828 and 4536 units with insured bike rack and parking.

Project Directory

OWNER: Mesa Development LLC, Contact: Bill Beaton
7505 E 4th Ave # 100, Scottsdale, AZ 85251
Tel: 480-273-7138 Email: ell@billbeaton.com

ARCHITECT

Presence Design PLLC, Contact: Colin Knyan
115 E Compa Desierto Road, Tempe, Arizona 85281
Tel: 480-995-5877 Email: presencedesign@colinknyan.com

CIVIL AND SURVEYOR

Engineering & Surveying, Contact: Doreen E. Smith, P.E.
1140 F Greenway, Suite 2, Mesa, AZ 85203
Tel: 480-610-1341 Email: doreen@babbarth.com

Governing Building Codes

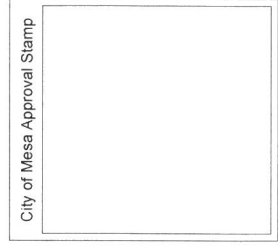
All construction shall comply with the following building codes and current City of Mesa development amendments:

- 2018 International Building Code (IBC)
- 2018 International Mechanical Code (IMC)
- 2018 International Fuel Gas Code (IFGC)
- 2018 International Fire Code (IFC)
- 2018 International Electrical Code (IEC)
- 2017 National Electrical Code (NEC)
- 2018 International Fire Code (IFC)

Sheet Index

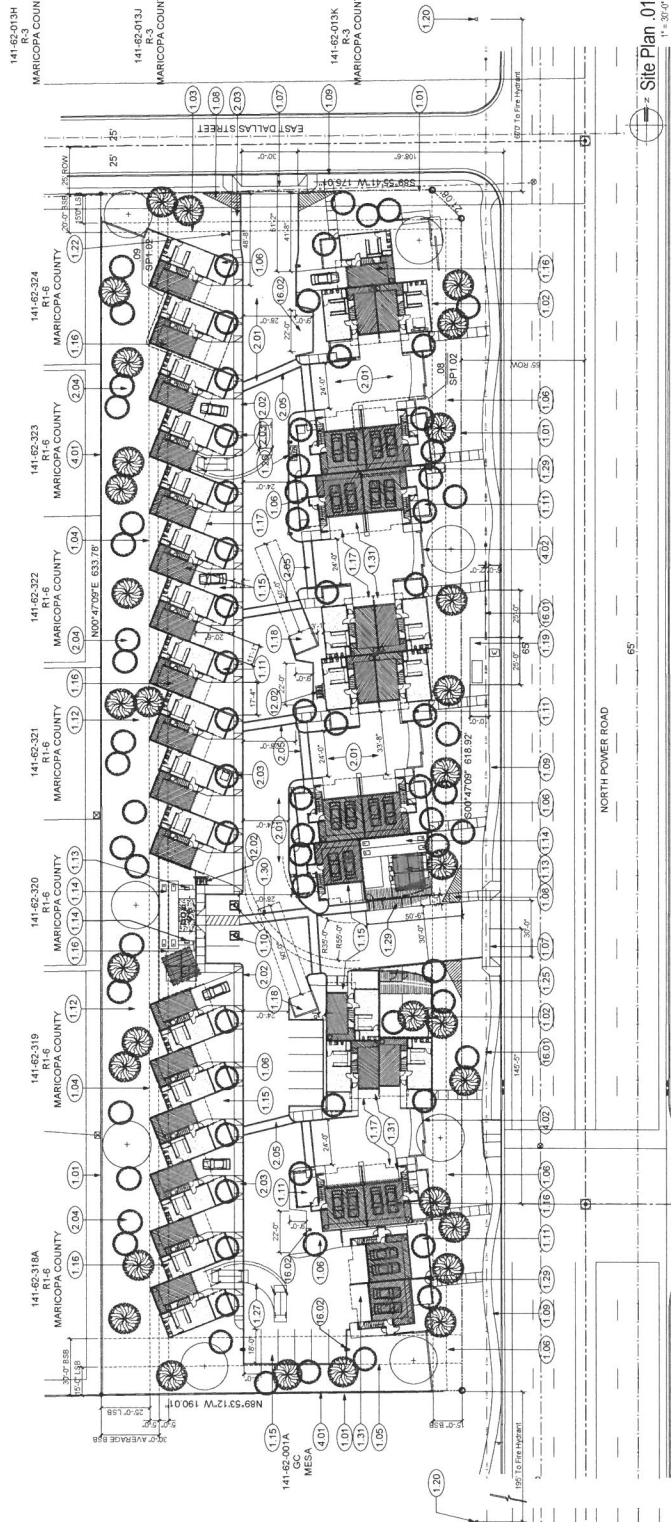
- ARCHITECTURAL
- SPI 01 Site Plan
- SPI 02 Site Plan
- SPI 03 Site Detail

City of Mesa Approval Stamp



Site Plan
POWER TOWNHOMES
6739 E Dallas St. Mesa, AZ 85205

PRESENCE DESIGN
PLLC
28 April 2023
SP 1.01



Project Data

ADDRESS: 6739 E Dallas St Mesa, Arizona, 85205
ACCESSOR PARCEL NUMBER: APN: 141-62-002H

LEGAL DESCRIPTION

The south half of the northeast quarter of the Southeast quarter of section 13, township 1 N, range 6 east of the Gila and Meridian, in the City of Mesa, Maricopa County, Arizona, except any portion thereof lying within Diamondback Villa, a subdivision of Mesa Development LLC, as shown on the plat of the east quarter corner of said Section 13. There is south 00 degrees 47 minutes 09 seconds West, along the east quarter corner of said Section 13. There is north 89 degrees 55 minutes 04 seconds West 55.00 feet to the point of beginning. There is north 89 degrees 55 minutes 04 seconds West 10.00 feet. There is north 00 degrees 47 minutes 09 seconds East, 618.57 feet. There is north 44 degrees 34 minutes 09 seconds West, 21.08 feet. There is north 89 degrees 55 minutes 27 seconds East, 25.00 feet. There is south 00 degrees 47 minutes 09 seconds West, 633.57 feet to the point of beginning; and except the north 25.00 feet thereof.

LOT SIZE:

190.0' x 626.0'
Net Site Area: 120,317 sqft 2.752 ac
Gross Site Area: 162,174 sq 3.7360 ac

ZONING:

Requesting: RM-2
Dwelling Density:
5 net/lot x 2,706/sq=15 x 41 04 Allowed
Requesting: 38 Units

GENERAL PLANS:

Neighborhood:
Neighborhood

Project Data

MAXIMUM HEIGHT: 38'-0" max

PARKING CALCULATIONS:

Required: 38 units x 2.1 per = 80 spaces
Provided: 44 spaces

BICYCLE PARKING:

North Yard: 10' x 20' = 200 sq ft
Back Yard: 15' x 20' = 300 sq ft
Total: 500 sq ft

BUILDING SETBACKS:

Side Yard (Dallas St): 20'-0" Local
Front: 10'-0" Local
Back Yard: 15'-0" Per story = 30'-0" Average setback

CEILING SPACE:

2004 * 38 Units = 7,600 SF
Provided: 11,181 sq ft 2.17 SF
Public O.S. = 3,451 SF
Total Provided = 10,607 SF

LOT COVERAGE:

Allowed: 79% = 120,317 SF = 84,223 SF
Provided: 76,943 SF = 65%
Building Coverage:
Provided: 31,070 SF = 26%

CONSTRUCTION TYPE:

V-B
Fully Sprinklered NFPA-1.3
Street Type:
Local Street (Dallas)
Arts (Power)

AIRPORT:

N/A
FLOOD ZONE:
Unaffected flood zone X

Key Notes

- 1.01 Property line.
- 1.02 Building Street Setback 15'-0" Required.
- 1.03 Building Local Street Setback 20'-0" Required.
- 1.04 Building Front Setback 15'-0" Required.
- 1.05 15'-0" Landscape Setback.
- 1.06 Landscape area typical.
- 1.07 City of Mesa COM 3rd DM 4.2-30'.
10'-0" x 20'-0" usability, triangle typical.
- 1.08 Existing Public Cub. Culler and Side Walk. Replace if broken or out of grade. Upgrade if not to ADA standards. (see ADA).
- 1.09 ADA Parking per City and State ADA State standards.
- 1.10 Unit Patio, Open Space with 50% free coverage typical.
- 1.11 Gated dog run. Area with fencing.
- 1.12 Gated dog run. Area with fencing.
- 1.13 Gated dog run. Area with fencing.
- 1.14 Covered Patio/ Games, Amenity Space
- 1.15 Unit Parking (Typical).
- 1.16 Unit Parking (Typical).
- 1.17 2nd floor Above Typical.
- 1.18 New Public Bus Stop. Construct new pad. Turn out, shelter Per City of Mesa standards M45.01, notes 5.8.9 And Shelter E47.45-02.02.02.02.
- 1.19 New Fire Hydrant.
- 1.20 Gated dog run.
- 1.21 Gated dog run.
- 1.22 See Detail for Lumber Product (see Detail 10/SP1.02)
- 1.23 Mail Box (see detail 07/SP1.03)
- 1.24 New Mail Cotes Trip. (see Detail 05/SP1.03)
- 1.25 No parking under overhangs on of eastern units per property management documents typical.
- 1.26 Asphalt Surface Driveway and Parking.
- 1.27 4" Concrete Curb and driveway Unit Curb. (see detail 04/SP1.02)
- 1.28 5'-0" Concrete Sidewalk Accessible Travel Path to Public Way.
- 1.29 Site Retention Per Mesa Requirement Section 11-35.6 of M-20
- 1.30 Raised Concrete Curbwork Typical.
- 1.31 Existing 6'-0" high CMU Property Line Wall. (see detail 03/SP1.02)
- 1.32 Parking lot 3'-0" screen wall. (see detail 03/SP1.02)
- 1.33 Bicycle Racks (see detail 06/SP1.02)
- 1.34 Overhead Power Lines Per COM EDM Sec. 705.6 Standard; 2% max cross slopes and 121' max longitudinal slope.
- 1.35 Parking and wall lighting typical (see detail 07/SP1.02)

Site Planning Notes

1. Development and use of this site will conform with all applicable codes and ordinances.
2. All new or relocated utilities will be placed underground.
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100. All new or relocated utilities will be placed underground.

ADA Codes & Requirements

- This project will comply with all ADA requirements. All accessible routes area noted shall comply with ADAAG Standards 402 Accessible Routes, 401.1 for Slopes, 403.3 1:20 running slopes and 408 cross slopes. Accessible parking spaces shall be placed on all accessible routes. ADAAG Standards 401.1 for Slopes, 403.3 1:20 running slopes, 408 cross slopes, 409.2 for Accessible Routes, 409.3 for Accessible Routes, 409.4 for Accessible Routes, 409.5 for Accessible Routes, 409.6 for Accessible Routes, 409.7 for Accessible Routes, 409.8 for Accessible Routes, 409.9 for Accessible Routes, 409.10 for Accessible Routes, 409.11 for Accessible Routes, 409.12 for Accessible Routes, 409.13 for Accessible Routes, 409.14 for Accessible Routes, 409.15 for Accessible Routes, 409.16 for Accessible Routes, 409.17 for Accessible Routes, 409.18 for Accessible Routes, 409.19 for Accessible Routes, 409.20 for Accessible Routes, 409.21 for Accessible Routes, 409.22 for Accessible Routes, 409.23 for Accessible Routes, 409.24 for Accessible Routes, 409.25 for Accessible Routes, 409.26 for Accessible Routes, 409.27 for Accessible Routes, 409.28 for Accessible Routes, 409.29 for Accessible Routes, 409.30 for Accessible Routes, 409.31 for Accessible Routes, 409.32 for Accessible Routes, 409.33 for Accessible Routes, 409.34 for Accessible Routes, 409.35 for Accessible Routes, 409.36 for Accessible Routes, 409.37 for Accessible Routes, 409.38 for Accessible Routes, 409.39 for Accessible Routes, 409.40 for Accessible Routes, 409.41 for Accessible Routes, 409.42 for Accessible Routes, 409.43 for Accessible Routes, 409.44 for Accessible Routes, 409.45 for Accessible Routes, 409.46 for Accessible Routes, 409.47 for Accessible Routes, 409.48 for Accessible Routes, 409.49 for Accessible Routes, 409.50 for Accessible Routes, 409.51 for Accessible Routes, 409.52 for Accessible Routes, 409.53 for Accessible Routes, 409.54 for Accessible Routes, 409.55 for Accessible Routes, 409.56 for Accessible Routes, 409.57 for Accessible Routes, 409.58 for Accessible Routes, 409.59 for Accessible Routes, 409.60 for Accessible Routes, 409.61 for Accessible Routes, 409.62 for Accessible Routes, 409.63 for Accessible Routes, 409.64 for Accessible Routes, 409.65 for Accessible Routes, 409.66 for Accessible Routes, 409.67 for Accessible Routes, 409.68 for Accessible Routes, 409.69 for Accessible Routes, 409.70 for Accessible Routes, 409.71 for Accessible Routes, 409.72 for Accessible Routes, 409.73 for Accessible Routes, 409.74 for Accessible Routes, 409.75 for Accessible Routes, 409.76 for Accessible Routes, 409.77 for Accessible Routes, 409.78 for Accessible Routes, 409.79 for Accessible Routes, 409.80 for Accessible Routes, 409.81 for Accessible Routes, 409.82 for Accessible Routes, 409.83 for Accessible Routes, 409.84 for Accessible Routes, 409.85 for Accessible Routes, 409.86 for Accessible Routes, 409.87 for Accessible Routes, 409.88 for Accessible Routes, 409.89 for Accessible Routes, 409.90 for Accessible Routes, 409.91 for Accessible Routes, 409.92 for Accessible Routes, 409.93 for Accessible Routes, 409.94 for Accessible Routes, 409.95 for Accessible Routes, 409.96 for Accessible Routes, 409.97 for Accessible Routes, 409.98 for Accessible Routes, 409.99 for Accessible Routes, 409.100 for Accessible Routes.

Conceptual Townhome Rendering



TWO STORY UNIT FRONTAGE

Neighborhood Meeting Summary
SWC Power Road and Dallas Street
PRS23-00263

June 6, 2023 at 6:00 pm

Online ZOOM meeting with Videochat and Call-in
Meeting ID: 831 8976 7002

Present for the applicant was Elliot Barkan from Elliot Barkan Development, LLC (Developer), Colin Kenyon from Presence Design (Architect), Gunnar Sinnett from LevRose Real Estate (Broker), and Jon Gillespie from Pew & Lake, PLC (Legal Representative).

Six persons registered for the meeting with seventeen households actually attending the meeting (see Registration and Participation List attached). All households who identified their property were Maricopa County residents.

After waiting to ensure that everyone had successfully arrived at the meeting, Mr. Gillespie made introductions and gave a presentation for the proposal with his initial presentation ending around 6:20pm (see attached PowerPoint). His prepared comments included providing information on the site location, entitlement process, and proposed site plan.

After the formal presentation Mr. Gillespie responded to questions and comments from neighbors. After questions and comments were taken, including responses given by Mr. Gillespie, the meeting concluded at 7:35 pm.

The primary comments provided at the meeting were:

1. General opposition to the project.
2. Concerns about added traffic on Dallas Street.
3. Concerns about the existing wall height on the western boundary.
4. Preference to maintain 55+ uses in this area.
5. Concerns about queuing and turning movements in Power Road.

Questions from attendees were presented throughout and are encapsulated on the next page with answers provided by Mr. Gillespie summarized in *red* italics.

1. Where will retention be? Will it impact the existing wall? *The civil engineer will attempt to achieve surface retention for the project but there is a high likelihood that runoff will need to be stored in underground tanks. Surface retention would likely be on the western bounds of the site but the construction, and retained water, would not be able to affect the existing wall condition.*
2. How many windows will be located on the western side of the building overlooking our properties? *The window quantity on that side is intended to be limited as much as possible with windows only provided on bedrooms.*

3. When was this property annexed into the City? *We are not sure when this property was annexed but it was not a recent annexation and the property is already in Mesa. No annexations are being proposed for the site or surrounding properties.*
4. The existing western wall is an old wall, only 5 feet tall and 4 inches wide. We would like a higher wall to help buffer us from multi-family and to improve the current wall condition. The RV storage site has a 10 foot wall. *Thank you for this feedback. The developer will review the wall condition and work with neighbors regarding possible wall improvements including the possibility of raising the wall height.*
5. When we have called the Mesa police regarding homeless persons on and near the site they have always directed us to Maricopa County. *The City should and will provide police services for the subject parcel.*
6. We are a quiet neighborhood and I am opposed to this request. *Comment acknowledged.*
7. We already have to wait a long time to make turns from Dallas Street onto Power Road. Adding more cars to that wait will not be good. Turning left onto Power is scary, especially when the Junior High is getting out. Can we get a traffic light at that intersection? *We will pass these comments on to MCDOT and Mesa Transportation. The City is not likely to allow a traffic light at the intersection because it is too close to the Decatur intersection. Our traffic impact will be evaluated by both the City and County and they will ensure that the project can be safely accommodated.*
8. I am concerned that the grill area in the back will attract rodents. We have had issues with trash on this site attracting rodents. Particularly when there were RV's being stored on the property. *The site will be professionally managed with trash enclosures and trash bins readily available for residents and their guests. Site cleanliness is a key aspect for an attractive development.*
9. I live near the corner of Dallas and Power and I am concerned about parking, traffic, and increased density at that corner. *MCDOT and City of Mesa Traffic Engineers will ensure that this area operates safely with appropriate parking, traffic flow, and site visibility setbacks.*
10. The residents of the fourplex units north of Dallas Street park their cars on the north side of Dallas. I would expect cars from this site to now park on the south and two cars will not be able to safely navigate cars parked on both sides. *We will discuss this condition with MCDOT. We would support a No Parking initiative on Dallas but that process is beyond just our own control. The development association could create a rule prohibiting parking on Dallas but that would be hard to enforce. Ultimately, our site currently is parked above the 80 required (84 provided) and we have only one home which fronts onto Dallas (unlike the fourplex which has 7 sidewalk connections directly to Dallas).*
11. I think there could be 2-4 driving occupants in these three and four bedroom units. How is 2.1 spaces enough? *The City has determined that 2.1 spaces generally provides enough parking for tenants. We are proposing to slightly exceed the 2.1 spaces and feel this will be adequate for our target market.*

12. Will there be a security guard on site? We have the Dreamland volunteer posse which helps keep us safe. *Security measures will be in place through both site design and also active property management.*
13. I am concerned that the bus-stop could cause backing in Power Road and also disrupt right turns from Dallas Street. *We are installing an up-to-date bus stop as requested by the City of Mesa. The City traffic engineers have initially approved the bus-stop location and do not expect unsafe backing to occur.*
14. Who will be the property manager? How do you keep a property fresh once it gets to 2, 5, plus years from construction. *Elliot Barkan's team will oversee construction and management of the site. They intend to hold onto this asset for the long term.*
15. I think Dallas will be the main exit. Those going west will use Dallas. I'd like to see the Dallas entrance closed. I think speed humps will be necessary on Dallas Street. There already is a lot of speeding occurring on that road. *We feel the Power Road entrance will be the primary entrance because it will be the most direct route for residents. The Power Road entrance is centered on the property and closest to the majority of units. We are not opposed to speed humps and will be supportive if the owners along Dallas Street want to pursue that route.*
16. Will this project be gated? *No. The projects size constraints will necessitate keeping vehicular access open for the site.*
17. Will this be rental or for-sale? What will the rent be? *The owner would like to have a for-sale option but given the retention and covered parking restraints it will likely be 100% for rent. The market rents are expected to be between \$2,600-2,900.*
18. I am concerned the bus stop will turn into a homeless shelter. I assume your development team wouldn't want that either. *The bus-stop design will be in keeping with the latest standards and we expect this issue to be addressed by the proper authorities.*
19. What is the expected valuation for the project? My wife and I have completed significant improvements to our property and I am concerned that this will devalue our property. If it really expects a \$411/SF valuation then I am all for this project. *When completed the project is expected to be valued at around \$15,000,000 under today's interest rate environment. That is a \$411/SF valuation. This must be a Class A upscale project given the price which it is being purchased for. That valuation includes an 8-10% discount to help be conservative.*
20. Change is hard. We built our dream home in the cul-de-sac which connects to Dallas Street. We don't want bicycles, hot wheels, and strollers in our neighborhood. The traffic will be a nightmare. *Comments acknowledged thank you.*
21. We would be supportive of 55+ apartments. *Comment acknowledged thank you.*
22. When would approvals be expected? *The rezoning approval is projected for end of December and everyone who attends this meeting will be given notice of the future public hearings should this development move forward to them.*
23. The homeless population will move to the church. *Comment acknowledged thank you.*
24. Dreamland is in fair condition and taken care of pretty well. I am concerned we will see more trash on our streets. *Comments acknowledged thank you.*

25. Three stories seems too tall. *The three story buildings are interspersed along Power Road with two story buildings being closest to the existing residential.*
26. People always seem to have extra cars and park them in their yards and other unsightly locations. I expect parking to push further down the street. *We are not asking for a reduction to the parking requirement and we'd be supportive of a No Parking initiative on Power Road.*
27. Can you lower the density? *We have lowered the density below the RM-2 maximum allowed and we are striving to meet all City of Mesa standards for open space, setbacks, and safety. Unfortunately the sites size restricts the viability of the project if we can't achieve at least 38 units.*
28. Can you do 55+ condominiums? Will kids and teens be running around? I am concerned with the noise which will be generated. *Elliot Barkan does not specialize in 55+ communities and that would not be his intent to develop. We feel the site design with patios turned inward and adequate amenities being provided, will ensure noise is not an issue.*
29. Feel sorry for those neighbors who abut the property and area having the open parking lot removed. *Comment acknowledged.*
30. We are against this project. *Comment acknowledged thank you.*
31. There are lots of older people in this neighborhood and I bet some of them didn't want to attend this meeting but I assume they'd be against the project. *Comment acknowledged thank you.*
32. Maybe 1 story would be ok. *This likely would not work with our desire to provide nice open space and intuitive circulation.*
33. Not against condominiums or townhomes generally but I am against them at this location. *We feel this site makes sense under the General Plan and the proximity to the public library, parks, and other services owners in this area enjoy.*

Summary created by Jon Gillespie on June 7, 2023

Neighborhood Meeting Registrants

ROBIN FRYMAN

Ralph and Kathleen Blanchard

Carol Leonard

Marilyn Fisher

Tony Buhager

Ned Potter

Joe Curto

Neighborhood Meeting Participants

oscar salerno

Kevin

Carol's iPhone

Joe Curto

Jen Merrill

KBRUEB

jeanm

Tony Buhager

Jeannie kirsch

iPhone Blanchard Family

Ned Potter

iPhone (2)

P Davidson

Kathy's iPhone

P Davidson

jack

Robin Fryman

Power Townhomes

Proposed Residential Development





Site Details

- Approximately 2.7 acres



Site Details

- Approximately 2.7 acres
- APNs: 141-62-002H and 141-62-002F

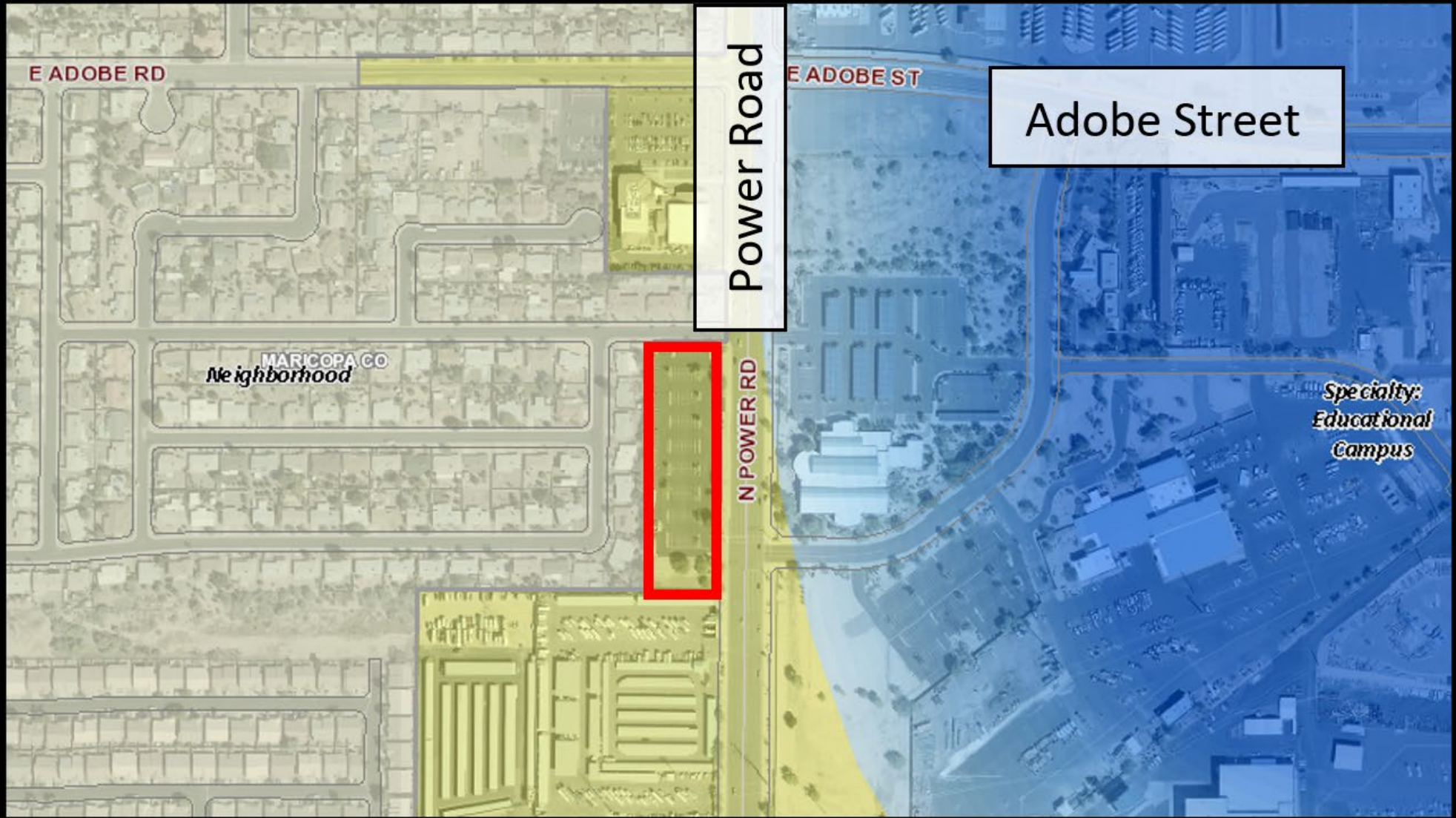
Requests to the City of Mesa

Rezone from RS-6 to
RM-2 with a Planned
Area Development
Overlay (PAD)

Site Plan Review

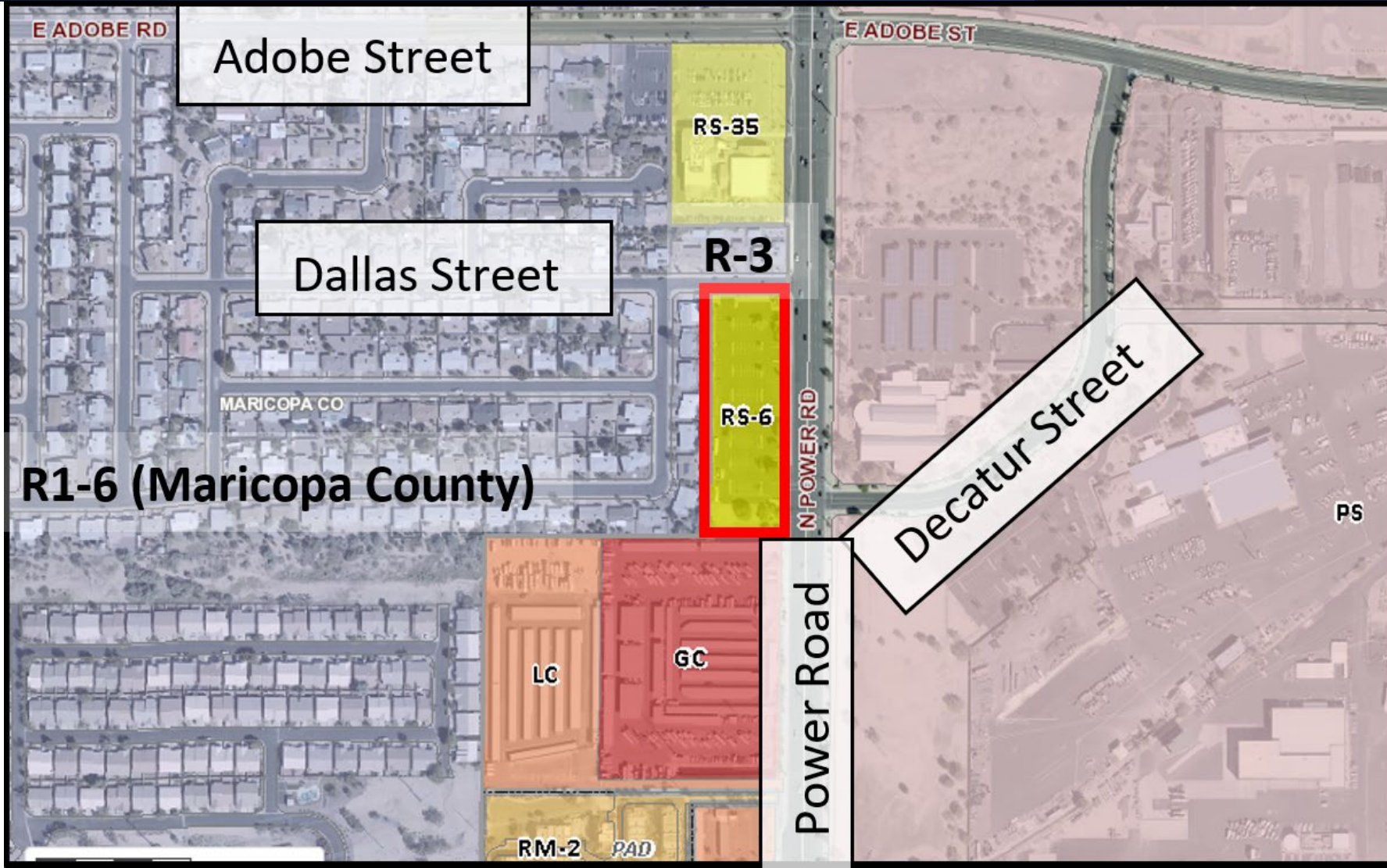
City of Mesa General Plan

Neighborhood



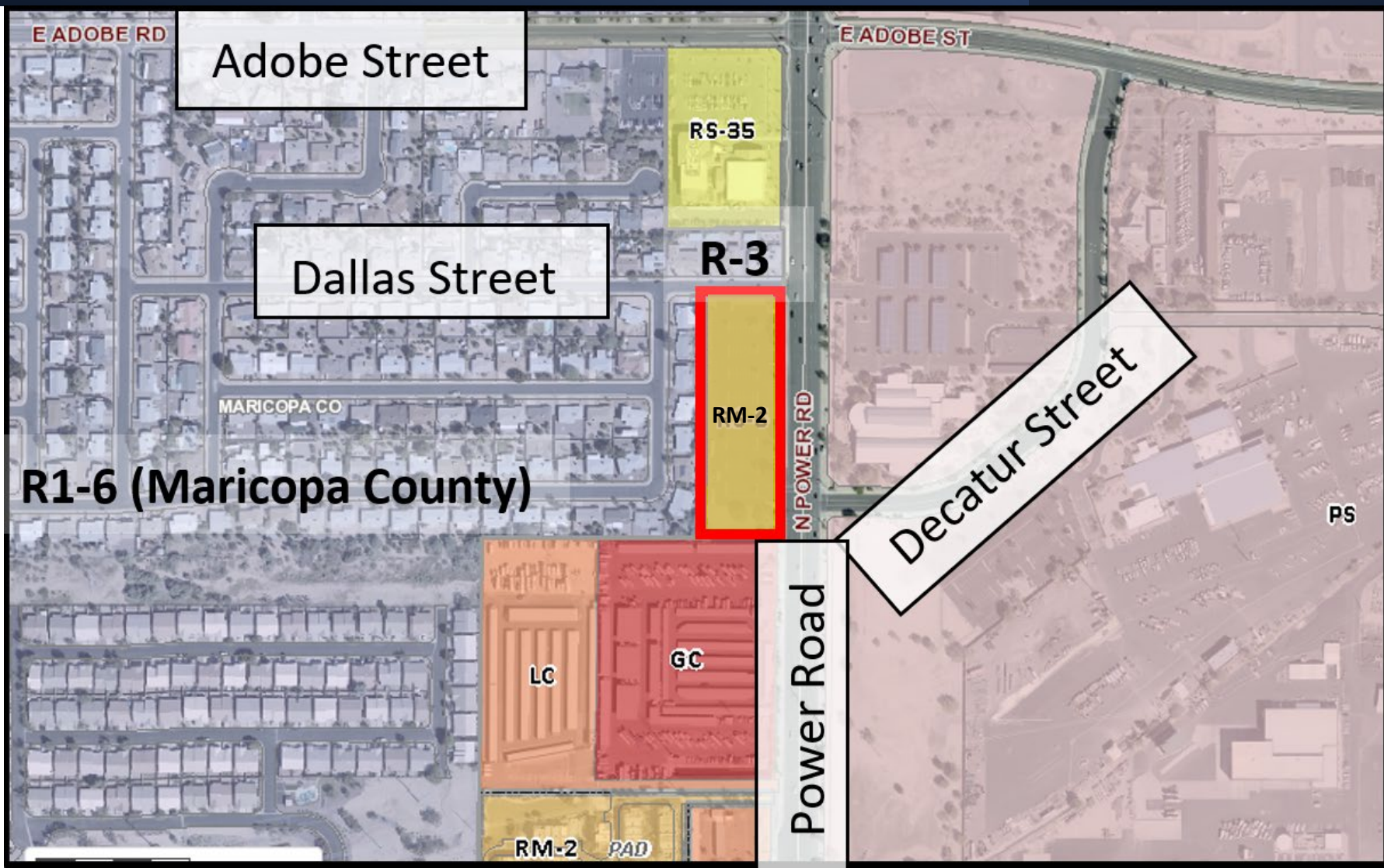
Current Zoning

RS-6

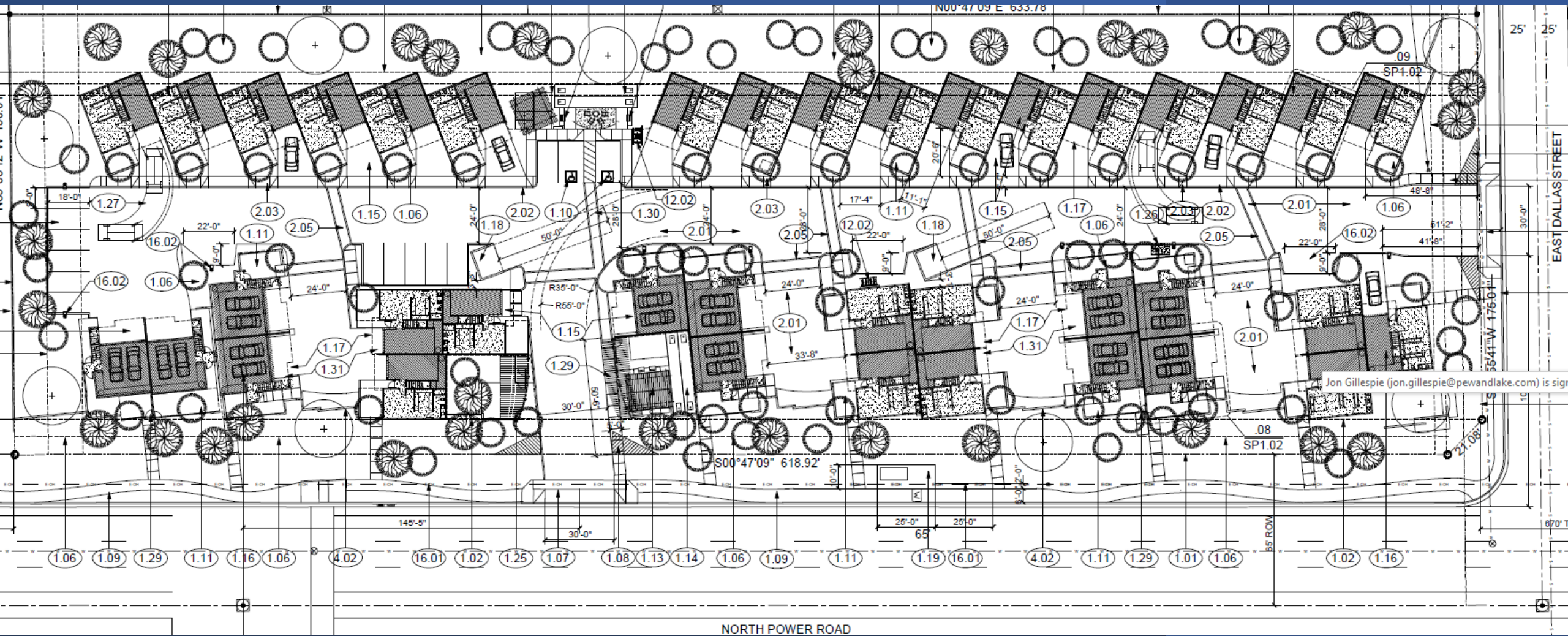


Proposed Zoning

RM-2-PAD



Preliminary Site Plan



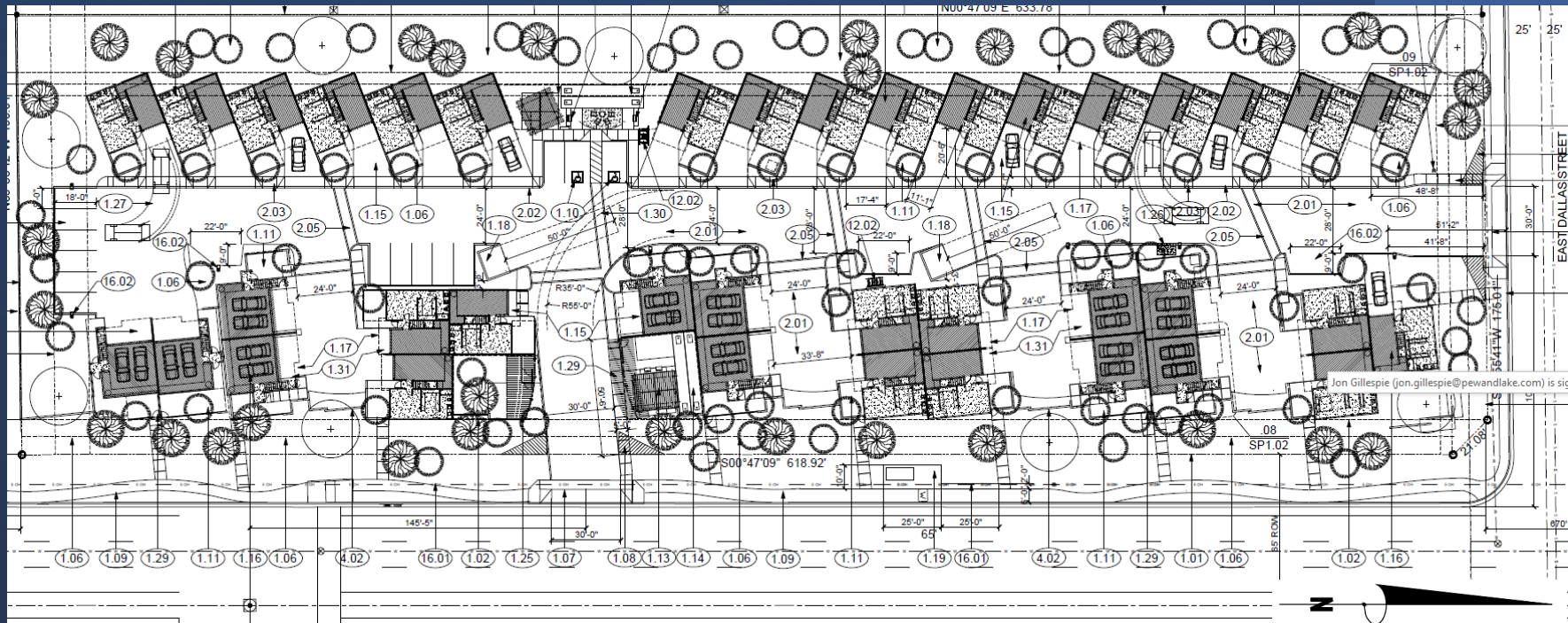
Jon Gillespie (jon.gillespie@pewandlake.com) is signed

NORTH POWER ROAD



Preliminary Site Plan Data

- 38 Townhome Style Units
 - 3 bedroom/2 bath
 - 4 bedroom/3 bath
 - Mixture of two- and three-stories
- Parking
 - Required: 80 spaces
 - Provided: 84 spaces
- 38% Open Space
 - Private Front Patios on each home
 - Centralized Common Areas (BBQ Area with Covered Ramada & Gated Dog Run)
 - Average 30-foot Landscape Buffer along western property line



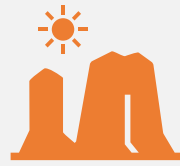
Conceptual Elevations



Conceptual Elevations



Comments or Questions?



Pew & Lake, PLC



Phone: 480-461-4670



Jon Gillespie,
jon.gillespie@pewandlake.com

Power Townhomes - 6739 E. Dallas St.

Citizen Participation Report

October 5, 2023

Purpose:

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the neighborhood outreach efforts made by the Applicant concerning the Applicant's requests to the City of Mesa for Rezoning and Site Plan approval. These requests are being made to facilitate development of a multifamily residential community at the SWC Power Road and Dallas Street in Mesa (APNs 141-62-002H and 141-62-002F).

By providing opportunities for citizen participation, the Applicant has ensured that those affected by this application had an adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings.

Contact Information:

The Citizen Participation activities are being coordinated by:

Jon Gillespie

Pew & Lake, P.L.C.

1744 S. Val Vista Drive, Ste. 217

Mesa, Arizona 85204

(480) 461-4670 (office)

(480) 461-4676 (fax)

jon.gillespie@pewandlake.com

Actions Taken:

To provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A neighborhood meeting was held on June 6, 2023 with the applicant, citizens and interested parties to discuss the proposed project. A "Neighborhood Meeting Summary" was created and is attached here.
2. The notification list for the neighborhood meeting included all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts within 1-mile of the property were notified (the registered neighborhood contacts list was obtained from the City of Mesa). A total of 181 property owners were notified.
3. The Applicant completed individual phone outreach to adjacent property owners with the following contact being made:
 - a. On October 4, 2023, a phone discussion was held with Carol and Jack Leonard who own property directly adjacent to the site at 613 N 67th Place. Carol and

Jack are supportive of the project and think nice townhomes are a much better alternative to commercial development such as a drive-thru restaurant. They believe it will improve security issues with transient persons in the area. They are pleased that the developer has agreed to install an 8-foot wall between the properties. They thought the developer should consider moving the amenity areas to the south end of the site. They keep tortoises in their yard and have neighbors who have allergy issues, they wanted to be sure that dust control measures were observed during construction, namely to mitigate any possibility for valley fever being spread.

- b. On October 4, 2023, a phone discussion was held with Oscar and Christina Salerno who own property directly adjacent to the site at 627 N 67th Place. The Salerno's are supportive of the project and wanted to make sure the City was giving approval to the new 8-foot wall between their property and the site.
4. In accordance with ARS § 9-462.04 (A) (4) and Mesa Zoning Ordinance Section 11-67-5, property owners within 500-feet of the property will be notified of the public hearings at least 14-days prior to any scheduled hearing. All attendees at the neighborhood meeting who provided their mailing address will also be notified.
5. For public hearing notice, the applicant is posting two 4' x 4' sign(s) on the property. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Summary of Comments Received & Resolution:

Attendees at the neighborhood meeting included adjacent neighbors and other parties in the nearby vicinity. They generally were opposed to the proposed use of the property with concerns regarding Dallas Street and Power Road traffic movements, maintaining the 55+ character of the area, and the wall height on the western boundary.

To address these concerns the Applicant:

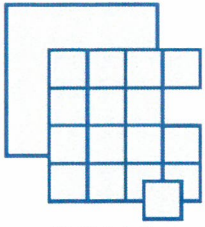
1. Engaged with MCDOT to ensure traffic review of the projects possible impacts on Dallas Street (MCDOT confirmed it had no concerns with the proposed development).
2. Agreed to install an 8 foot wall along the properties western boundary.
3. Added additional landscaping to the western landscape area for buffering.

Schedule:

Pre-Application Conference (PRS22-00263)	April 14, 2023
Follow-up Pre-Application Conference	May 12, 2023
Neighborhood Meeting	June 6, 2023
Formal Submittal to City	June 26, 2023
Planning & Zoning Public Hearing	October 25, 2023
City Council Public Hearings	TBD

Attached Exhibits:

- A) Notification letter for the Neighborhood Meeting
- B) Neighborhood Meeting Summary and Sign-in List
- C) List of property owners within 1000' feet of the subject property and registered neighborhood contacts within 1 mile of the property
- D) 1000' Notification Map of surrounding property owners
- E) Draft Public Notice letter for public hearings
- F) List of property owners within 500' feet of the subject property and registered neighborhood contacts within 1 mile of the property
- G) 500' Notification Map of surrounding property owners



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

May 22, 2023

NOTICE OF ONLINE NEIGHBORHOOD MEETING

Dear Neighbor:

Pew & Lake, PLC, on behalf of our client Elliot Barkan Development, LLC, is pleased to invite you to a neighborhood meeting concerning a proposed rezoning of property at the southwest corner of Power Road and Dallas Street in Mesa. The subject property is currently a parking lot and identified as Maricopa County APNs 141-62-002H and 141-62-002F and shown below outlined in red.



The property owner is seeking City of Mesa approval of a rezoning from RS-6 to RM-2-PAD with site plan approval. Proposed is a residential community with 38 townhome style units featuring high-quality architecture, centralized open space and community amenities. The residences include two story units on the west side of the parcel with an average thirty-foot wide landscape setback from the current homes west of the site. A mixture of two- and three- story units are provided along Power Road. The development will meet the City of Mesa parking requirements and provides for safe pedestrian and vehicular movement. Attached to this letter is the proposed conceptual site plan and a building rendering which depicts the project.

Our team has set up a virtual neighborhood meeting where we will present the proposal and provide more information. We value your feedback and participation. The neighborhood meeting will be held electronically via the ZOOM virtual platform. It will be held at the date and time below:

Meeting Date: June 6, 2023
Time: 6:00 PM
ZOOM Meeting Link: <https://us06web.zoom.us/j/83189767002>

If you wish to participate in the neighborhood meeting, please send me an email request at jon.gillespie@pewandlake.com no later than 5:00 p.m. on the day of the meeting and you will be provided with the link to access the meeting. You may also access the neighborhood meeting by entering the following link into your web browser: <https://us06web.zoom.us/j/83189767002>. Alternatively, I would be happy to discuss the request with you at any time. Should you have any questions, please contact me at jon.gillespie@pewandlake.com or by phone at 480-461-4670. All comments shared will be submitted to the City and incorporated into the reports and briefing that will be prepared for the public hearings for this case.

At this time, no public hearings before the City of Mesa have been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified.

Sincerely,



Jon Gillespie
PEW & LAKE, PLC

Vicinity Map



Project Description

38 new, two-story townhome structures, consisting of 3828 and 4536 units with insured bike rack and parking.

Project Directory

OWNER
 Presence Design PLLC Contact: Colin Knyon
 7505 E 4th Ave # 100, Scottsdale, AZ 85255
 Tel: 480-273-7138 Email: colinknyon@gmail.com

ARCHITECT

Presence Design PLLC Contact: Colin Knyon
 115 E Compa Desierto Road, Tempe, Arizona 85281
 Tel: 480-995-5877 Email: presencdesign@presencepllc.com

CIVIL AND SURVEYOR

Engineering & Surveying Contact: Danna E. Smith, P.E.
 1140 E Greenway, Suite 2, Mesa, AZ 85203
 Tel: 480-610-1341 Email: danna@babbarthinc.com

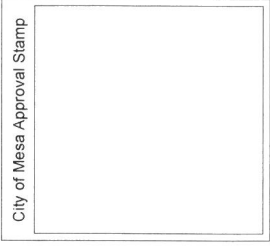
Governing Building Codes

All construction shall comply with the following building codes and current City of Mesa development amendments:
 2018 International Building Code (IBC)
 2018 International Mechanical Code (IMC)
 2018 International Fuel Gas Code (IFGC)
 2018 International Fire Code (IFC)
 2018 International Electrical Code (IEC)
 2017 National Electrical Code (NEC)
 2018 International Fire Code (IFC)

Sheet Index

ARCHITECTURAL
 SPI 01 Site Plan
 SPI 02 Site Section
 SPI 03 Site Detail

City of Mesa Approval Stamp



Site Plan

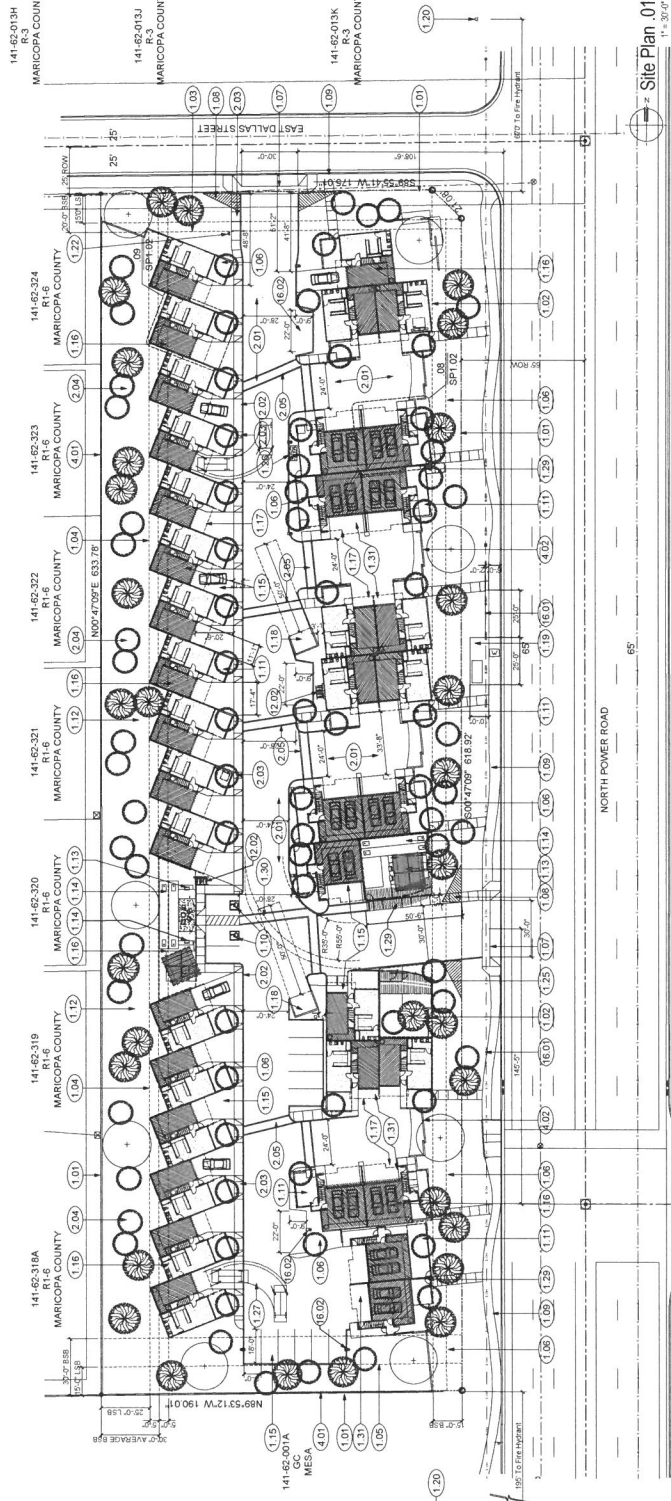


POWER TOWNHOMES
 6730 E Dallas St. Mesa, AZ 85205

PRESENCE DESIGN PLLC

28 April 2023

SP 1.01



Project Data

ADDRESS:
 6730 E Dallas St Mesa, Arizona, 85205

ACCESSOR PARCEL NUMBER:
 APNs: 141-62-002H

LEGAL DESCRIPTION:
 The south half of the northeast quarter of the Southeast quarter of section 13, township 1 N, range 6 east of the Gila and Salt River Meridian, Maricopa County, Arizona, except any portion thereof lying within Diamondback Villa, Maricopa County, Arizona, and following: Commencing at the east quarter corner of said Section 13; Thence south 00 degrees 47 minutes 09 seconds West, along the east quarter corner of said Section 13; Thence north 89 degrees 55 minutes 04 seconds West 55.00 feet to the point of beginning; Thence north 89 degrees 55 minutes 04 seconds West 10.00 feet; Thence north 00 degrees 47 minutes 09 seconds East, 618.57 feet; Thence north 44 degrees 34 minutes 09 seconds West, 21.08 feet; Thence north 89 degrees 55 minutes 27 seconds East, 25.00 feet; Thence south 00 degrees 47 minutes 09 seconds West, 633.57 feet to the point of beginning; and except the north 25.00 feet thereof.

LOT SIZE:
 190.0' x 426.0'
 Net Site Area: 120,317 sqft 2.752 ac
 Gross Site Area: 162,714 sq 3.730 ac

ZONING:
 R-1.6
 Requesting: RM-2

DIMENSIONALITY:
 5 feet/ft = 2.0625'15 = 41.04 Allowed
 Requesting: 38.00 ft.

GENERAL PLAN:
 Neighborhood

Key Notes

- 1.01 Property line.
- 1.02 Building Street Setback 15.0' Required.
- 1.03 Building Local Street Setback 20.0'.
- 1.04 Building Front Setback 15.0'.
- 1.05 15.0' Landscape Setback.
- 1.06 Landscape area typical.
- 1.07 City of Mesa COM 3rd DM 4.2-30'. 10.0' x 20.0' utility, triangle, typical.
- 1.08 Existing Public Cub. Culler and Side Walk. Replace if broken or out of grade. Upgrade if not to ADA standards. (see ADA)
- 1.09 ADA Parking per City and State ADA State standards.
- 1.10 Unit Patio. Open Space with 50% free coverage typical.
- 1.11 Gated driveway. Area with existing.
- 1.12 Gated driveway. Area with existing.
- 1.13 Gated driveway. Area with existing.
- 1.14 Covered Patio/ Games. Amenity Space
- 1.15 Unit Parking (Typical).
- 1.16 Unit Parking (Typical).
- 1.17 2nd floor Above Typical.
- 1.18 New Public Bus Stop. Construct new pad. Turn out, shelter Per City of Mesa standards M45.01 notes 5.8.9 And Shelter Elevation Hydrant.
- 1.19 City of Mesa standards M45.01 notes 5.8.9 And Shelter Elevation Hydrant.
- 1.20 New Fire Hydrant.
- 1.21 Gated driveway. Area with existing.
- 1.22 Gated driveway. Area with existing.
- 1.23 See Detail for Lumber Product (see Detail 10/SP1.02)
- 1.24 Mail Box (see detail 07/SP1.03)
- 1.25 New Mail Boxes Typ. (see Detail 05/SP1.03)
- 1.26 New Mail Boxes Typ. (see Detail 05/SP1.03)
- 1.27 No parking under overhangs on of eastern units per property management documents typical.
- 1.28 Asphalt Surface Driveway and Parking
- 1.29 4" Concrete Curb and driveway Unit Curb. (see detail 04/SP1.02)
- 1.30 5.0' Concrete Sidewalk Accessible Travel Path to Public Way.
- 1.31 Site Retention Per Mesa Requirement Section 11-35.6 of M-20
- 1.32 Raised Concrete Curbwork Typical.
- 1.33 Existing 6.0' high CMU Property Line Wall. (see detail 03/SP1.02)
- 1.34 Parking lot 3.0' screen wall. (see detail 03/SP1.02)
- 1.35 Bicycle Racks (see detail 06/SP1.02)
- 1.36 Overhead Power Lines Per COM EDM Sec. 705.6 Standard; 2% max cross slopes and 121' max longitudinal slope.
- 1.37 Parking and wall lighting typical (see detail 07/SP1.02)

Site Planning Notes

1. Development and use of this site will conform with all applicable codes and ordinances.
2. All new or relocated utilities will be placed underground.
3. All new or relocated utilities will be placed underground.
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20. All new or relocated utilities will be placed underground.

ADA Codes & Requirements

1. This project will comply with all ADA requirements. All accessible routes area noted shall comply with ADAAG Standards 402 Accessible Routes, 401.1 for Slopes, 403.3 1:20 running slopes and 408 cross slopes. Accessible parking spaces shall be placed on all accessible routes.
2. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slopes.
3. Existing accessible spaces shall be painted to meet City of Mesa code requirements.
4. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slope.
5. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slope.
6. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slope.
7. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slope.
8. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slope.
9. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slope.
10. All ramps must meet ADA Accessibility Guidelines (ADAAG) Standard; 2% max cross slopes and 121' max longitudinal slope.

Conceptual Townhome Rendering



TWO STORY UNIT FRONTAGE

1000' Prop Owner Map



1000' Property Owner List

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STAT	MAIL_ZIP
A R M OF SAVE THE FAMILY FOUNDATION OF AZ	125 E UNIVERISTY DR	MESA	AZ	85201
ALATI FAMILY TRUST	6723 E ELLIS ST	MESA	AZ	85205
ALBERT MATTHEW W	6710 E UNIVERSITY DR UNIT 113	MESA	AZ	85205
ALDRIDGE BRIAN L	6710 E UNIVERSITY DR UNIT 150	MESA	AZ	85205
ALEX-UNIVERSITY LLC	2486 E RAVENSWOOD DR	GILBERT	AZ	85298
ALFRED J FLEMING TRUST	PO BOX 647	TOMAHAWK	WI	54487
ALNASSER TINA	733 N 66TH WAY	MESA	AZ	85205
ANDERSON ALLEN L/SANDRA M TR	6619 E DECATUR ST	MESA	AZ	85205
ANGELA K HARTMAN REVOCABLE TRUST	6647 E DALLAS ST	MESA	AZ	85205
ANSARA SILVIA TR	6720 E ENCANTO ST UNIT 7	MESA	AZ	85205
ANSON RHONDA/RHODE AMY	6622 E DALLAS ST	MESA	AZ	85205
ARM OF SAVE THE FAMILY FOUNDATION OF ARIZONA	125 E UNIVERSITY DR	MESA	AZ	85201
ASHLEY GAIL	6663 E DALLAS ST	MESA	AZ	85205
ATWOOD KIM E	6610 E DES MOINES ST	MESA	AZ	85205
BADIEI SOHRAB/BARHAGH AFSANEH	21 PINWOOD AVE	OAK PARK	CA	91377
BAKER ALBERT R III/SHELLING CAROL	7353 E UNIVERSITY DR	MESA	AZ	85207
BARRY MAMADOU	6710 E UNIVERSITY DR UNIT 126	MESA	AZ	85205
BARTRAM BURTON JOHN/JUDITH LYNN TR	6639 E DALLAS ST	MESA	AZ	85205
BASKETT FAMILY LIVING TRUST	6631 E DALLAS ST	MESA	AZ	85205
BECHNER GREG/KARLA	6719 E ACACIA ST	MESA	AZ	85205
BEHRENS HENRY F/MYRNA F	6701 E DECATUR ST	MESA	AZ	85205
BILL AND REIKO TRUST	6706 E DALLAS ST	MESA	AZ	85205
BISHOP TRACIE DIANE	6710 E UNIVERSITY DR UNIT 132	MESA	AZ	85205
BLANCHARD RALPH RAYMOND JR/KATHLEEN	2923 E CLIFTON AVE	GILBERT	AZ	85295
BONBRIGHT LIVING TRUST	6616 E DODGE ST	MESA	AZ	85205
BOSCIA CARL JOSEPH	6662 E DALLAS ST	MESA	AZ	85205
BOTTA SANDRA	9 LUPINE LN	GLOUCESTER	MA	1930
BOURQUE SHAYNE	6610 E UNIVERSITY DR UNIT 97	MESA	AZ	85205
BOYSEN ROY GEORGE/CECELIA ANN TR	6616 E DES MOINES ST	MESA	AZ	85205
BRESLIN AND HILDENBRANDT FAMILY LIVING TRUST	19693 S 192ND PL	QUEEN CREEK	AZ	85142
BRICHACEK CHRISTINA E	6710 E UNIVERSITY DR UNIT 149	MESA	AZ	8.52E+08
BROZEK KARL G JR/CAROL L TR	6628 E DALLAS	MESA	AZ	85205
BRUEBACK FAMILY TRUST	6721 E DES MOINES ST	MESA	AZ	85205

BUCKINGHAM RICHARD/GARNET	6659 E DECATUR ST	MESA	AZ	85205
BUHAGER ANTHONY/FAITH ANNE	6625 E DES MOINES ST	MESA	AZ	85205
BURKHART NEIL/LISA	747 N 66TH WAY	MESA	AZ	85205
CARAVELLA BARBARA L	6649 E ELLIS ST	MESA	AZ	85205
CARPENTER RONALD	6646 E DODGE ST	MESA	AZ	85205
CARROLL FAMILY TRUST	PO BOX 163	RANCHO CUCAMONGA	CA	91739
CARTNER MARY	6605 E DODGE ST	MESA	AZ	85205
CARTNER WILLIAM R	6665 E DODGE ST	MESA	AZ	85205
CASEY ROCKY H/KASOWSKI COLLEEN M	6640 E DES MOINES ST	MESA	AZ	85205
CASTANON ISELA	651 N 67TH PL	MESA	AZ	85205
CHARLES RICHARD MCPHERSON REV TRUST	4965 120TH AVE	NORWALK	IA	50211
CHILDERS LYNNE	6710 E UNIVERSITY DR UNIT 136	MESA	AZ	85205
CONNER CHARLES A/BRENDA S	6610 E DECATUR ST	MESA	AZ	85205
COOK AUDREA L	6740 E ADOBE ST	MESA	AZ	85205
CREWS SEAN D/MARY D	6710 E UNIVERSITY DR UNIT 141	MESA	AZ	85205
CSHC HOLDINGS LLC	8215 N 62ND PL	PARADISE VALLEY	AZ	85253
CUBESMART LP	PO BOX 320099	ALEXANDRIA	VA	22320
CURTO JOSEPH/DEBORAH	6664 E DES MOINES ST	MESA	AZ	85205
DAVIDSON FAMILY TRUST A-1	6617 E DALLAS ST	MESA	AZ	85205
DD BUTT HOLDINGS IRREVOCABLE TRUST	5512 E MAIN ST STE D-122	FARMINGTON	NM	87402
DEAN ARDEN	6632 E DECATUR ST	MESA	AZ	85205
DEAVERS KELLYE DAWN/VALENZUELA LUIS RAMON JR	6610 E UNIVERSITY DR UNIT 21	MESA	AZ	85205
DEDERER KIMBERLY		MESA	AZ	85204
DENTON MICHELLE/AARON	9119 E PLATA AVE	MESA	AZ	85212
DEVRIESE TIMOTHY J	6749 E ELLIS ST	MESA	AZ	85205
DEWULF CAROLEE	739 N 66TH WAY	MESA	AZ	85205
DIAZ DENA G	6710 E UNIVERSITY DR UNIT 115	MESA	AZ	85205
DORRELL STEPHEN	6710 E UNIVERSITY DR UNIT 110	MESA	AZ	85205
DOUBEK REVOCABLE LIVING TRUST	6610 E UNIVERSITY DR UNIT 22	MESA	AZ	85205
DOW HEATHER	6710 E UNIVERSITY DR UNIT 131	MESA	AZ	85205
DRAGON SHANNON	6741 E ELLIS ST	MESA	AZ	85205
DUFFY JOHN F/MARGARET L	466 CEDAR CT	TAYLORS FALLS	MN	55084
EASTON SUSAN D	6713 E DALLAS ST	MESA	AZ	85205
ELIZABETH TRUST	3632 N EAGLE CYN	MESA	AZ	8.52E+08

FISHER JOHN E/MARILYN M	6609 E DES MOINES ST	MESA	AZ	85205
FLETCHER ROBERT PETER	6627 E DECATUR ST	MESA	AZ	85205
FONDOW CYNTHIA K	6710 E UNIVERSITY DR UNIT 138	MESA	AZ	85205
FORD KENNETH D	6713 E DES MOINES ST	MESA	AZ	85205
FOX TAYLOR	6610 E UNIVERSITY DR UNIT 36	MESA	AZ	8.52E+08
FRAZIER KIERRA	6610 E UNIVERSITY DR UNIT 96	MESA	AZ	8.52E+08
FREDERICK MICHAEL B/SHERRIE L	6710 E UNIVERSITY DR 116	MESA	AZ	85205
GALLINAT KERRY	6610 E UNIVERSITY DR UNIT 93	MESA	AZ	85205
GARY F RUSKAMP REVOCABLE TRUST	162 8TH RD	DODGE	NE	68633
GLANZMAN CAROLYN	6610 E UNIVERSITY DR UNIT 35	MESA	AZ	85205
GRANILLO HILARIO O/LORRAINE M	6603 E DECATUR ST	MESA	AZ	85205
HAGEL GAYLE E/DIANNE E	6657 E DODGE ST	MESA	AZ	85205
HANSON CLAUDIA D	6559 E VIRGINIA ST	MESA	AZ	85215
HARADA KAREN S	6647 E DES MONIES ST	MESA	AZ	85205
HARMS PAUL/ROCK CHERYL J	2185 67TH ST E	INVER GROVE HEIGHTS	MN	55077
HASKINS CHARLES B JR/KATRINA M	8432 N 192ND AVE	WADDELL	AZ	85355
HATCH KENNETH J	6710 E UNIVERSITY DR 127	MESA	AZ	85205
HAUPTMAN JANET/GERALD	6648 E DECATUR ST	MESA	AZ	85205
HERNANDEZ RUBEN ESTRELLA	6610 E UNIVERSITY DR UNIT 92	MESA	AZ	85205
HERNANDEZ YAHAIRA LEON	6710 E UNIVERSITY DR UNIT 118	MESA	AZ	85205
HEYN ROSALIE/LOOD ALBERTO C	6606 E DALLAS ST	MESA	AZ	85205
HILL ELAINE/WILLIAM E JR	6621 E DODGE ST	MESA	AZ	8.52E+08
HILL PETER M/KELCEY L	6718 E DODGE ST	MESA	AZ	85205
HMN SERVICES INC	23445 S 201ST ST	QUEEN CREEK	AZ	85142
HOLT DANA R/PATRICIA A	10703 S CRYSTAL CANYON RD	PARKER	AZ	85344
HOLTZEN IRVIN A/CHRISTINE E TR	6756 E ABOBE RD	MESA	AZ	85205
HUBBARD BARBARA A/SWENEY SUSANNE	7720 E TURQUOISE AVE	SCOTTSDALE	AZ	85258
HUFFORD DAVID A/PATRICIA D	10012 NE 142ND AVE	VANCOUVER	WA	98682
HUGHES RICKA	6610 E UNIVERSITY DR 38	MESA	AZ	85205
JAMES AND MARYELIZABETH RAMUSSEN FAMILY TRUST	14420 N 29TH ST	PHOENIX	AZ	85032
JARVIS MARJORIE L TR	1943 LEISURE WORLD	MESA	AZ	85206
JIMENEZ STEFANIE ELMA	6610 E UNIVERSITY DR 42	MESA	AZ	85205
JOHN E KIPLINGER & CONNIE FAYE KIPLINGER TRUS	6712 E DECATUR ST	MESA	AZ	85205
JOHN P MATHEWS AND JEAN H MATHEWS REVOCABLE T	31506 N 141ST PL	SCOTTSDALE	AZ	85262

JOHNSON CHARLES F/BETTY LOU	834 N POWER RD	MESA	AZ	85205
JOHNSON CHERYL J	6634 E ADOBE ST	MESA	AZ	85205
JOHNSON GLEN ANDREW	4117 E ELMWOOD ST	PHOENIX	AZ	85205
JON AND NANCY MASSEY FAMILY TRUST	6656 E DECATUR ST	MESA	AZ	85205
K SAUER/L GOLBERG LLC	5317 N WOODMERE FAIRWAY	SCOTTSDALE	AZ	85250
KANOCZ FAMILY LIVING TRUST	PO BOX 52043	MESA	AZ	85208
KEITH KEVIN	6706 E ADOBE ST	MESA	AZ	85205
KHAMMEUNGTHAI JENNA/SARDILLO ARTHUR A	6710 E UNIVERSITY DR 114	MESA	AZ	85205
KIRSCH JEANETTE	6625 E DALLAS ST	MESA	AZ	85205
KOLB EDITH BERYL TR	29677 MULHOLLAND HWY	AGOURA	CA	91301
KREUZER KIM	6610 E UNIVERSITY DR 33	MESA	AZ	85205
KYLLO DENNIS RAY/PENELOPE ANN	6710 E DODGE ST	MESA	AZ	85205
LAMOYNE R & MARY ANN DOWELL FAMILY TRUST	1322 N PALMSPRINGS DR	GILBERT	AZ	85234
LAURA A NUGENT TRUST/NUGENT PATRICK	6710 E UNIVERSITY DR UNIT 129	MESA	AZ	85205
LAWSON BRENDA	6648 E DES MOINES ST	MESA	AZ	85205
LECKEY THOMAS HOWARD/CHANTAL MARIE	6730 E ELLIS ST	MESA	AZ	8.52E+08
LEONARD FAMILY TRUST	613 N 67TH PL	MESA	AZ	85205
LIPPY DUANE A/FOSTER SUSAN J	6657 E ELLIS	MESA	AZ	85205
LLOYD LEANNE	6635 E DECATUR ST	MESA	AZ	85205
LOPEZ FAMILY LIVING TRUST	6639 E DES MOINES ST	MESA	AZ	85205
LORIA DENEEN	6610 E UNIVERSITY DR 18	MESA	AZ	85205
LOUIS H COOPEY AND JUDITH R COOPEY FAMILY TRUST	1725 N SUNDIAL	MESA	AZ	8.52E+08
LU STEPHEN THIEN	6710 E UNIVERSITY DR UNIT 151	MESA	AZ	85205
MACIAS AMPARO FLORES DE	6710 E UNIVERSITY DR UNIT 111	MESA	AZ	85205
MAKIN STEVEN J/JEAN E	6624 E DES MOINES ST	MESA	AZ	85205
MARGARET D R EDWARDS REVOCABLE LIVING TRUST	6645 E ADOBE RD	MESA	AZ	85205
MARGRETTA S LANE TRUST	6649 E DODGE ST	MESA	AZ	85205
MARLO A AND EDITH F LELM LIVING TRUST	6748 E ADOBE ST	MESA	AZ	85205
MARTINEZ DANIELA	6710 E UNIVERSITY DR UNIT 107	MESA	AZ	85205
MATHEWS JEFF/CARRIE	6631 E DES MOINES ST	MESA	AZ	85205
MCVEY TED L/GERALDINE	6663 E DES MOINES	MESA	AZ	85205
MEDINA OSCAR/PAMELA SNOW	6610 E UNIVERSITY DR UNIT 91	MESA	AZ	85205
MENKE FAMILY TRUST	6665 E ELLIS ST	MESA	AZ	85205
MERIDETH DARRELL/CONNIE	6658 E ADOBE ST	MESA	AZ	85205

MERKLE WAYNE A JR	6714 E ADOBE RD	MESA	AZ	85205
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
MESA INVESTMENT PROPERTIES LLC	31 SANDSTONE	IRVINE	CA	92604
MESA RV/BOAT AND SELF STORAGE ON POWER ROAD L	8501 CANTA BELLO	PARADISE VALLEY	AZ	85253
MESA UNIFIED SCHOOL DISTRICT NO 4	549 N STAPLEY	MESA	AZ	85203
MESSNER NANCY A	6638 E DODGE ST	MESA	AZ	85205
MEYER CARL	24725 N 76TH PL	SCOTTSDALE	AZ	85255
MILNER JANET ELIZABETH/JOSLYN CHRIS/JACQUELINE	619 N 67TH PL	MESA	AZ	85205
MONTE REVOCABLE TRUST	6703 E DODGE ST	MESA	AZ	85205
MONTES MARIA E/DOMINGUEZ MIGUEL A M	6610 E UNIVERSITY DR 24	MESA	AZ	85205
MORALES EDDIE H/EUN C	2211 BUSBY DR	SIERRA VISTA	AZ	85635
MORENO CESAR G	6610 E UNIVERSITY DR UNIT 19	MESA	AZ	85205
MURRAY CALVIN L/BETTY JEAN	6629 E DODGE ST	MESA	AZ	85205
NELSON DAVID L/PAULA M	6712 E DES MOINES ST	MESA	AZ	85205
NEWTON CRAIG/BARBARA	13403-159 AVE	EDMONTON	AB	T6V1S4
NGETHE-HOOD LYDIA NYAMBURA	6710 E UNIVERSITY DR UNIT 122	MESA	AZ	85205
NIATA INVESTMENTS LLC	89 ROYAL YORK DR	WINNIPEG	MB	R3P1K2
OCHOA JACOB M	6610 E UNIVERSITY DR UNIT 27	MESA	AZ	85205
ORTIZ JORGE GARCIA	6635 E ADOBE ST	MESA	AZ	85205
PARSONS CHRISTOPHER/DENISE	1955 LEAVENWORTH ST APT 12	SAN FRANCISCO	CA	9.41E+08
PASCAL ANTHONY A	6724 E ADOBE ST	MESA	AZ	85205
PAULINO JEFRY LEONAL MARTE	8953 E CAPTAIN DREYFUS AVE	SCOTTSDALE	AZ	85260
PERNAL KEITH A/JO L	6610 E UNIVERSITY DR 101	MESA	AZ	85205
PETIT FAMILY LIVING TRUST	6655 E DALLAS ST	MESA	AZ	85205
PIERSON ERIK L	6710 E UNIVERSITY DR UNIT 128	MESA	AZ	85205
PILCHER JOANN DEE/BRYAN	6911 E PUEBLO AVE	MESA	AZ	85208
PIRAINO ANTHONY J	6610 E UNIVERSITY DR 102	MESA	AZ	85205
PLANT DEANNALEE C	6705 E DALLAS ST	MESA	AZ	85205
POTTER MAYNARD C	6722 E DALLAS ST	MESA	AZ	85205
PRITCHARD RYAN	6610 E UNIVEERSITY DR 41	MESA	AZ	85205
PROGRESS RESIDENTIAL BORROWER 24 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
PURVIS MARLENE CARDOSO	6728 E DALLAS ST	MESA	AZ	85205
QUIJADA MARIA CHRISTINA/GERMAN STEPHANIE	6746 E ELLIS ST	MESA	AZ	85205
QUILES NICOLE ANGELINA	6710 E UNIVERSITY DR UNIT 106	MESA	AZ	85205

RADCLIFF LIVING TRUST	6610 E UNIVERSITY DR UNIT 32	MESA	AZ	85205
RCW AND LLW INVESTMENTS LLC	PO BOX 3248	CHANDLER	AZ	85244
RENELLO ANTHONY L	6656 E DES MOINES ST	MESA	AZ	85205
REYES JOSE/SONIA	6632 E DES MOINES ST	MESA	AZ	85205
RIEDER IRENE	6654 E DODGE ST	MESA	AZ	85205
RITTER CODY GARRETT/THOMPSON TRYSTAN TARA	6610 E UNIVERSITY DR UNIT 98	MESA	AZ	85205
ROBB MARY E	6135 E COLBY ST	MESA	AZ	85205
ROBIN FRYMAN REVOCABLE LIVING TRUST	6650 E DALLAS ST	MESA	AZ	85205
ROBISON ANDY L	6704 E DES MOINES ST	MESA	AZ	85205
ROBLES SERGIO	6710 E UNIVERSITY DR UNIT 137	MESA	AZ	85205
RODRIGUEZ JOSE A JR	6710 E UNIVERSITY DR UNIT 134	MESA	AZ	85205
RODRIGUEZ MIGUEL ANGEL/SQUIRES JENNIFER	6610 E UNIVERSITY DR UNIT 94	MESA	AZ	85205
RONCO LLC	3097 E ROBIN LN	GILBERT	AZ	85296
ROUSE SHELBY LYNN/HEIDI	6610 E UNIVERSITY DR UNIT 25	MESA	AZ	85205
SALERNO OSCAR A/CHRISTINA M	627 N 67TH PL	MESA	AZ	85205
SCHLUETER HELMUTH K	195 E LIME CT	SAN TAN VALLEY	AZ	84150
SCHULTZ PATRICIA S	6642 E ADOBE ST	MESA	AZ	85205
SCOTT ANNA RUTH	6714 E ELLIS ST	MESA	AZ	85206
SHILL DOUGLAS K/BARBARA E	6655 E DES MOINES ST	MESA	AZ	85205
SILVAS ERICA J	6610 E UNIVERSITY DR UNIT 20	MESA	AZ	85205
SILVERSTONE HOME OWNERS ASSOCIATION	13951 N SCOTTSDALE RD STE 122	SCOTTSDALE	AZ	85254
SIN KIN S	5738 E HARMONY AVE	MESA	AZ	85206
SKYS THE LIMIT ENTERPRISES LLC	6710 E UNIVERSITY DR 123	MESA	AZ	85205
SMITH SHARYN L	6709 E DECATUR ST	MESA	AZ	85205
SMITH TERRY R	1701 WHEATLAND DR	DEVILS LAKE	ND	58301
SO TONY/HONG FANG	6710 E UNIVERSITY DR UNIT 135	MESA	AZ	85205
SPEEN DONALD D/CHERYL	732 N 66TH PL	MESA	AZ	85205
SPIDLE RALPH L/JEANETTE M	6610 E UNIVERSITY DR UNIT 40	MESA	AZ	85205
SRODEK MARION C	6705 E DES MOINES ST	MESA	AZ	85205
STERLING PROPERTY MANAGEMENT LLC	730 E BROWN RD STE 114	MESA	AZ	85203
STRADA DEVELOPMENT L L C	7255 E HAMPTON AVE STE 101	MESA	AZ	85209
SVOBODA DENNIS F	6704 E DECATUR ST	MESA	AZ	85205
SZYMKOWSKI MAKENNA/JOHN J JR	6610 E UNIVERSITY DR UNIT 26	MESA	AZ	85205
TAH MS BORROWER LLC	PO BOX 15086	SANTA ANA	CA	92735

TAJ D SABET REVOCABLE TRUST	7105 E MCDONALD DR	PARADISE VALLEY	AZ	85253
TC RENTALS LLC/STARKEY DELFRED J ESTATE OF	PO BOX 131	CURTIS	NE	69025
TEPLY DAVID HAMDAN/DONALD WAYNE	1755 E ENROSE ST	MESA	AZ	85203
TIEHEN FAMILY TRUST	21962 E MUNOZ CT	QUEEN CREEK	AZ	85142
TONI SIGNS LIVING TRUST	6617 E DES MOINES ST	MESA	AZ	85205
TPM PROPERTIES INC PENSION PLAN	581 MANET TER	SUNNYVALE	CA	94087
TPM PROPERTIES INC PENSION PLAN TRUST	581 MANET TER	SUNNYVALE	CA	94087
TREMBLAY RICHARD/LORI	6720 E DECATUR ST	MESA	AZ	85205
TURNER DEETS ELIZABETH MARY/CATHERINE GAIL	6702 E ADOBE ST	MESA	AZ	85205
VANDER HOEK TAMMY-ANN K	6710 E UNIVERSITY DR UNIT 139	MESA	AZ	85205
VAUGHN JACQUELINE J	6725 E DECATUR ST	MESA	AZ	85205
VIA CHURCH INC	740 N BUSH HWY	MESA	AZ	85208
VOJE KEVIN	6609 E DALLAS ST	MESA	AZ	85205
WALCZAK MARY P/KAZIMIERZ	755 N 66TH WAY	MESA	AZ	85205
WATKINS AMBER R	748 N 66TH WAY	MESA	AZ	85205
WAYNE DETERDING AND ANDREA BOYCE TRUST	6610 E UNIVERSITY DR UNIT 99	MESA	AZ	85205
WIGGINS WILLIAM L/ZMARZLAK ZOFIA	6335 SAVARY ST	NANAIMO	BC	V9V1S8
WILHELMI ROBERT W/JEAN H	6616 E DECATUR ST	MESA	AZ	8.52E+08
WILHELMI WENDEL J	15601 E CACTUS DR	FOUNTAIN HILLS	AZ	85268
WILLIAMS KAREN L	635 N 67TH PL	MESA	AZ	85205
WINNEY GEORGE U III	6802 E WETHERSFIELD RD	SCOTTSDALE	AZ	85254
WOODE VILMA O	6710 E UNIVERSITY DR	MESA	AZ	85205
WYSS ANTHONY J/LYNN L TR	6732 E ADOBE ST	MESA	AZ	85205
YOST GAYLORD BOB	1635 N GREENFIELD RD	MESA	AZ	85205
YOUNG LORRAINE F TR	6625 E ADOBE RD	MESA	AZ	85205
ZACKO MILLARD J/ELEANOR TR	706 N 66TH PL	MESA	AZ	85205

Neighborhood Meeting Summary
SWC Power Road and Dallas Street
PRS23-00263

June 6, 2023 at 6:00 pm

Online ZOOM meeting with Videochat and Call-in
Meeting ID: 831 8976 7002

Present for the applicant was Elliot Barkan from Elliot Barkan Development, LLC (Developer), Colin Kenyon from Presence Design (Architect), Gunnar Sinnett from LevRose Real Estate (Broker), and Jon Gillespie from Pew & Lake, PLC (Legal Representative).

Six persons registered for the meeting with seventeen households actually attending the meeting (see Registration and Participation List attached). All households who identified their property were Maricopa County residents.

After waiting to ensure that everyone had successfully arrived at the meeting, Mr. Gillespie made introductions and gave a presentation for the proposal with his initial presentation ending around 6:20pm (see attached PowerPoint). His prepared comments included providing information on the site location, entitlement process, and proposed site plan.

After the formal presentation Mr. Gillespie responded to questions and comments from neighbors. After questions and comments were taken, including responses given by Mr. Gillespie, the meeting concluded at 7:35 pm.

The primary comments provided at the meeting were:

1. General opposition to the project.
2. Concerns about added traffic on Dallas Street.
3. Concerns about the existing wall height on the western boundary.
4. Preference to maintain 55+ uses in this area.
5. Concerns about queuing and turning movements in Power Road.

Questions from attendees were presented throughout and are encapsulated on the next page with answers provided by Mr. Gillespie summarized in *red* italics.

1. Where will retention be? Will it impact the existing wall? *The civil engineer will attempt to achieve surface retention for the project but there is a high likelihood that runoff will need to be stored in underground tanks. Surface retention would likely be on the western bounds of the site but the construction, and retained water, would not be able to affect the existing wall condition.*
2. How many windows will be located on the western side of the building overlooking our properties? *The window quantity on that side is intended to be limited as much as possible with windows only provided on bedrooms.*

3. When was this property annexed into the City? *We are not sure when this property was annexed but it was not a recent annexation and the property is already in Mesa. No annexations are being proposed for the site or surrounding properties.*
4. The existing western wall is an old wall, only 5 feet tall and 4 inches wide. We would like a higher wall to help buffer us from multi-family and to improve the current wall condition. The RV storage site has a 10 foot wall. *Thank you for this feedback. The developer will review the wall condition and work with neighbors regarding possible wall improvements including the possibility of raising the wall height.*
5. When we have called the Mesa police regarding homeless persons on and near the site they have always directed us to Maricopa County. *The City should and will provide police services for the subject parcel.*
6. We are a quiet neighborhood and I am opposed to this request. *Comment acknowledged.*
7. We already have to wait a long time to make turns from Dallas Street onto Power Road. Adding more cars to that wait will not be good. Turning left onto Power is scary, especially when the Junior High is getting out. Can we get a traffic light at that intersection? *We will pass these comments on to MCDOT and Mesa Transportation. The City is not likely to allow a traffic light at the intersection because it is too close to the Decatur intersection. Our traffic impact will be evaluated by both the City and County and they will ensure that the project can be safely accommodated.*
8. I am concerned that the grill area in the back will attract rodents. We have had issues with trash on this site attracting rodents. Particularly when there were RV's being stored on the property. *The site will be professionally managed with trash enclosures and trash bins readily available for residents and their guests. Site cleanliness is a key aspect for an attractive development.*
9. I live near the corner of Dallas and Power and I am concerned about parking, traffic, and increased density at that corner. *MCDOT and City of Mesa Traffic Engineers will ensure that this area operates safely with appropriate parking, traffic flow, and site visibility setbacks.*
10. The residents of the fourplex units north of Dallas Street park their cars on the north side of Dallas. I would expect cars from this site to now park on the south and two cars will not be able to safely navigate cars parked on both sides. *We will discuss this condition with MCDOT. We would support a No Parking initiative on Dallas but that process is beyond just our own control. The development association could create a rule prohibiting parking on Dallas but that would be hard to enforce. Ultimately, our site currently is parked above the 80 required (84 provided) and we have only one home which fronts onto Dallas (unlike the fourplex which has 7 sidewalk connections directly to Dallas).*
11. I think there could be 2-4 driving occupants in these three and four bedroom units. How is 2.1 spaces enough? *The City has determined that 2.1 spaces generally provides enough parking for tenants. We are proposing to slightly exceed the 2.1 spaces and feel this will be adequate for our target market.*

12. Will there be a security guard on site? We have the Dreamland volunteer posse which helps keep us safe. *Security measures will be in place through both site design and also active property management.*
13. I am concerned that the bus-stop could cause backing in Power Road and also disrupt right turns from Dallas Street. *We are installing an up-to-date bus stop as requested by the City of Mesa. The City traffic engineers have initially approved the bus-stop location and do not expect unsafe backing to occur.*
14. Who will be the property manager? How do you keep a property fresh once it gets to 2, 5, plus years from construction. *Elliot Barkan's team will oversee construction and management of the site. They intend to hold onto this asset for the long term.*
15. I think Dallas will be the main exit. Those going west will use Dallas. I'd like to see the Dallas entrance closed. I think speed humps will be necessary on Dallas Street. There already is a lot of speeding occurring on that road. *We feel the Power Road entrance will be the primary entrance because it will be the most direct route for residents. The Power Road entrance is centered on the property and closest to the majority of units. We are not opposed to speed humps and will be supportive if the owners along Dallas Street want to pursue that route.*
16. Will this project be gated? *No. The projects size constraints will necessitate keeping vehicular access open for the site.*
17. Will this be rental or for-sale? What will the rent be? *The owner would like to have a for-sale option but given the retention and covered parking restraints it will likely be 100% for rent. The market rents are expected to be between \$2,600-2,900.*
18. I am concerned the bus stop will turn into a homeless shelter. I assume your development team wouldn't want that either. *The bus-stop design will be in keeping with the latest standards and we expect this issue to be addressed by the proper authorities.*
19. What is the expected valuation for the project? My wife and I have completed significant improvements to our property and I am concerned that this will devalue our property. If it really expects a \$411/SF valuation then I am all for this project. *When completed the project is expected to be valued at around \$15,000,000 under today's interest rate environment. That is a \$411/SF valuation. This must be a Class A upscale project given the price which it is being purchased for. That valuation includes an 8-10% discount to help be conservative.*
20. Change is hard. We built our dream home in the cul-de-sac which connects to Dallas Street. We don't want bicycles, hot wheels, and strollers in our neighborhood. The traffic will be a nightmare. *Comments acknowledged thank you.*
21. We would be supportive of 55+ apartments. *Comment acknowledged thank you.*
22. When would approvals be expected? *The rezoning approval is projected for end of December and everyone who attends this meeting will be given notice of the future public hearings should this development move forward to them.*
23. The homeless population will move to the church. *Comment acknowledged thank you.*
24. Dreamland is in fair condition and taken care of pretty well. I am concerned we will see more trash on our streets. *Comments acknowledged thank you.*

25. Three stories seems too tall. *The three story buildings are interspersed along Power Road with two story buildings being closest to the existing residential.*
26. People always seem to have extra cars and park them in their yards and other unsightly locations. I expect parking to push further down the street. *We are not asking for a reduction to the parking requirement and we'd be supportive of a No Parking initiative on Power Road.*
27. Can you lower the density? *We have lowered the density below the RM-2 maximum allowed and we are striving to meet all City of Mesa standards for open space, setbacks, and safety. Unfortunately the sites size restricts the viability of the project if we can't achieve at least 38 units.*
28. Can you do 55+ condominiums? Will kids and teens be running around? I am concerned with the noise which will be generated. *Elliot Barkan does not specialize in 55+ communities and that would not be his intent to develop. We feel the site design with patios turned inward and adequate amenities being provided, will ensure noise is not an issue.*
29. Feel sorry for those neighbors who abut the property and area having the open parking lot removed. *Comment acknowledged.*
30. We are against this project. *Comment acknowledged thank you.*
31. There are lots of older people in this neighborhood and I bet some of them didn't want to attend this meeting but I assume they'd be against the project. *Comment acknowledged thank you.*
32. Maybe 1 story would be ok. *This likely would not work with our desire to provide nice open space and intuitive circulation.*
33. Not against condominiums or townhomes generally but I am against them at this location. *We feel this site makes sense under the General Plan and the proximity to the public library, parks, and other services owners in this area enjoy.*

Summary created by Jon Gillespie on June 7, 2023

Neighborhood Meeting Registrants

ROBIN FRYMAN

Ralph and Kathleen Blanchard

Carol Leonard

Marilyn Fisher

Tony Buhager

Ned Potter

Joe Curto

Neighborhood Meeting Participants

oscar salerno

Kevin

Carol's iPhone

Joe Curto

Jen Merrill

KBRUEB

jeanm

Tony Buhager

Jeannie kirsch

iPhone Blanchard Family

Ned Potter

iPhone (2)

P Davidson

Kathy's iPhone

P Davidson

jack

Robin Fryman

Power Townhomes

Proposed Residential Development





Site Details

- Approximately 2.7 acres



Site Details

- Approximately 2.7 acres
- APNs: 141-62-002H and 141-62-002F

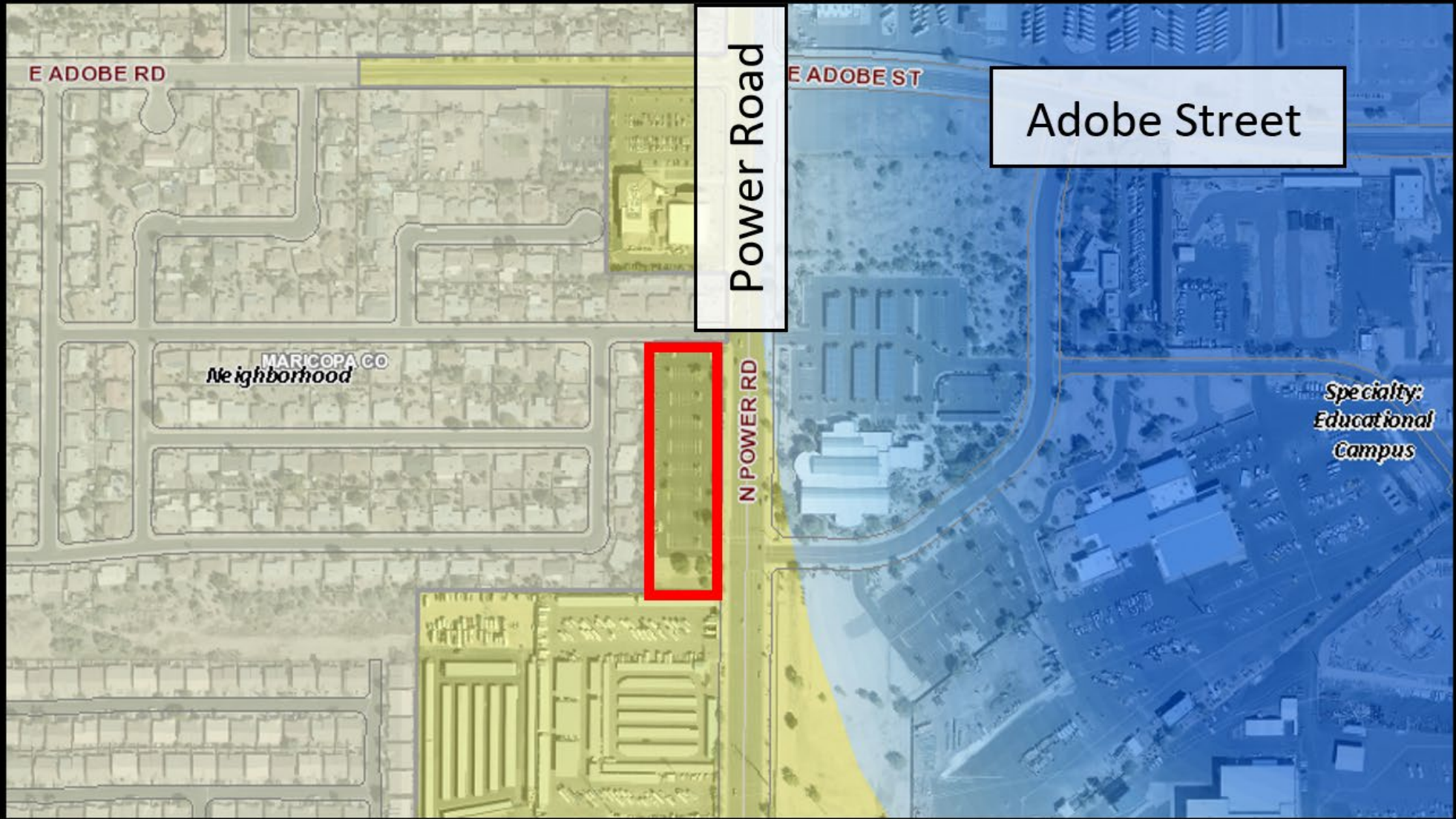
Requests to the City of Mesa

Rezone from RS-6 to
RM-2 with a Planned
Area Development
Overlay (PAD)

Site Plan Review

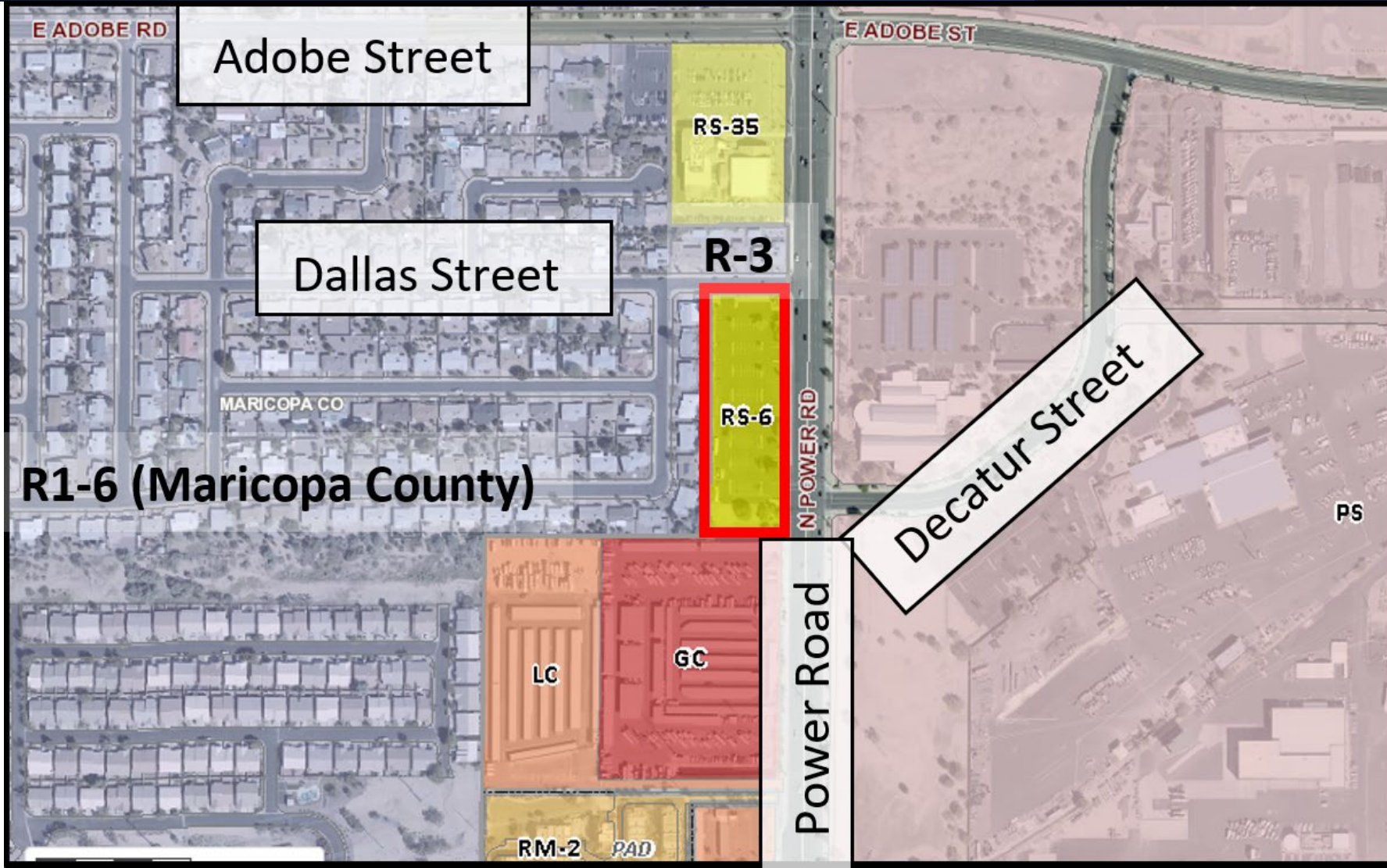
City of Mesa General Plan

Neighborhood



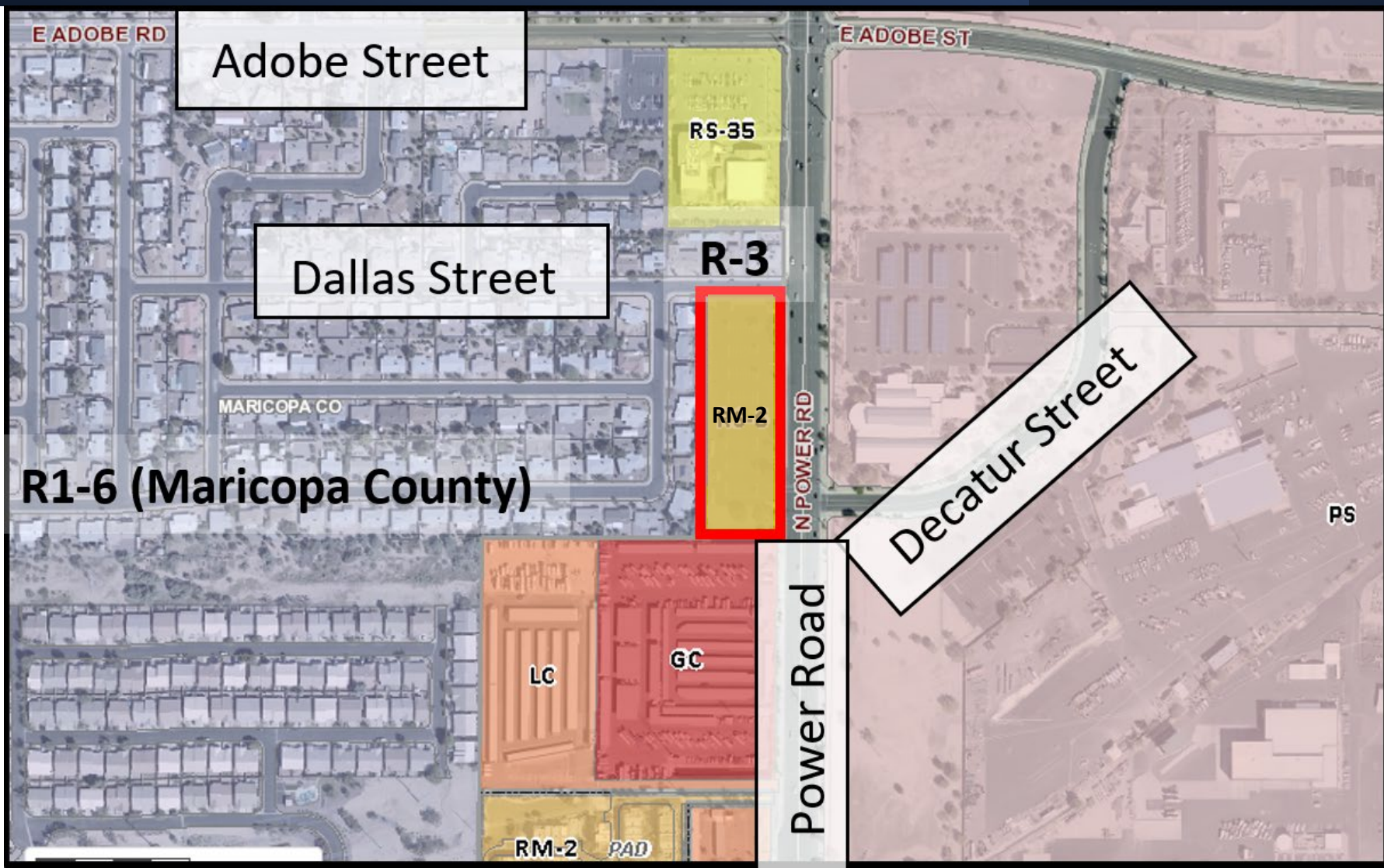
Current Zoning

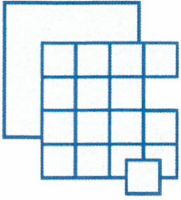
RS-6



Proposed Zoning

RM-2-PAD





Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

Reese L. Anderson

October 10, 2023

NOTICE OF PUBLIC HEARING
Planning & Zoning Board
Case No. ZON23-00495

Dear Neighbor,

Pew & Lake, PLC, on behalf of our client, Power Rd Development, LLC, is providing you notice of an upcoming public hearing related to its PAD rezoning and site plan review request for a proposed multiple residence development at the southwest corner of Power Road and Dallas Street in Mesa. The proposed development features 38 townhome style units with high-quality architecture, centralized open space, and community amenities. Attached to this letter is the proposed site plan and building rendering.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. If you have any questions regarding this proposal, please call me at 480-461-4670 or e-mail me at jon.gillespie@pewandlake.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on October 25, 2023 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099. The City of Mesa has assigned this case to Ms. Jennifer Merrill, Senior Planner on the Planning Division staff. She can be reached at 480-644-6429 or Jennifer.Merrill@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Jon Gillespie
PEW & LAKE, PLC

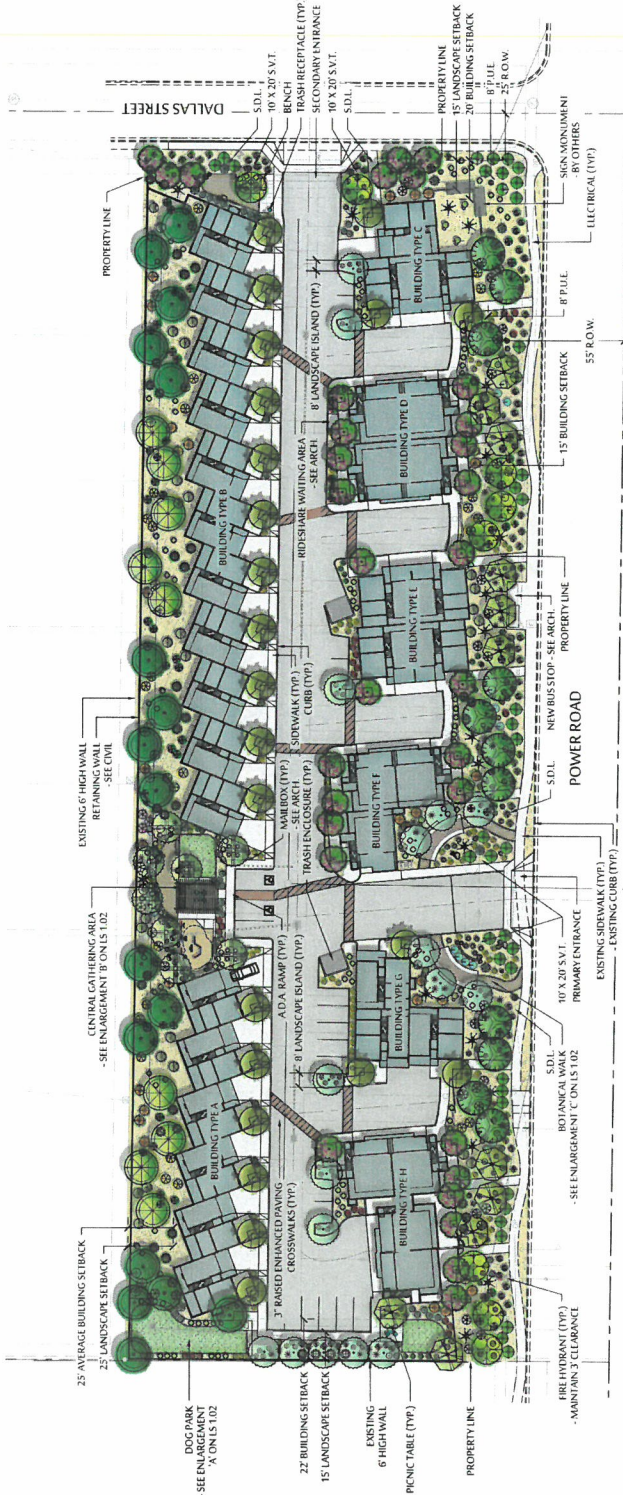


PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME	QTY	SIZE
TREES			
	ACACIA ANEURA - MULGA TREE	17	24" BOX
	ACACIA ANEURA - MULGA TREE	8	36" BOX
	ACACIA VILLARDIANA - PALO BLANCO	23	24" BOX
	CASAHUATE - CASAHUATE	8	24" BOX
	CASAHUATE - CASAHUATE	9	36" BOX
	PISONIA PALMERI - PALO BLANCO	11	24" BOX
	PROSOPIS JULIFLORA - THORNLESS MESQUITE	17	36" BOX
	PROSOPIS JULIFLORA - THORNLESS MESQUITE	32	24" BOX
SHRUBS			
	CALISTEMON VIMINALIS - RED BIRD OF PARADISE	46	5 GAL
	CALISTEMON VIMINALIS - RED BIRD OF PARADISE	43	5 GAL
	EREMOPHILA HYGROPHANA - BLUE BELLS	52	5 GAL
	LEUCOPITULUM FRUTESCENS - TEXAS RANGER	40	5 GAL
	SENECIO ARTABEMOIDES - FEATHERY SENNA	39	5 GAL
	SIMMONDSIA CHINENSIS - JOJODA	32	5 GAL
ACCENTS			
	AGAVE AMERICANA - CENTURY PLANT	20	5 GAL
	AGAVE PARRYI - PARRY'S AGAVE	22	5 GAL
	ALOË VERA - MEDICINAL ALOË	86	5 GAL
	ACAECEIA SUBULATA - DESERT MILKWEED	22	5 GAL
	BOUTELOU A GRACILIS - BLONDI AMBITION GRASS	121	5 GAL
	CARNEGIEA GIGANTEA - SAGUARO	7	6" MIN
	DASYLIRION ACROTICHUM - GREEN DESERT SPOON	37	5 GAL
	ECHINOCACTUS GRUSONII - GOLDEN BARREL CACTUS	29	5 GAL
	FOUQUIERIA SPLENDENS - OCOTILLO	19	BARBET
	HESPERALOE PARVIFLORA - RED/YELLOW YUCCA	65	5 GAL
	OPUNTIA SANTA-RITA - PURPLE PRICKLY PEAR	30	5 GAL
GROUND COVERS			
	BOLEYNIA MULTIRADIATA - DESERT MARRIGOLD	163	5 GAL
	EREMOPHILA GLABRA - MINGENIUM GOLD - OUTBACK SUNRISE	42	5 GAL
	EREMOPHILA GLABRA - MINGENIUM GOLD - OUTBACK SUNRISE	51	5 GAL
	EREMOPHILA GLABRA - MINGENIUM GOLD - OUTBACK SUNRISE	54	5 GAL
	EREMOPHILA GLABRA - MINGENIUM GOLD - OUTBACK SUNRISE	46,569 SQ FT	
	EREMOPHILA GLABRA - MINGENIUM GOLD - OUTBACK SUNRISE	1,726 SQ FT	

NOTES:

1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ALLOW LOW WATER USE PLANT LIST.
2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED EASEMENTS.



O.S. CALCULATIONS (PER MESA ZONING ORDINANCE)

COMMON OPEN SPACE (50% LIVE PLANT COVERAGE):
 REQUIRED: 1,898 SF
 PROVIDED: 2,115 SF

PRIVATE OPEN SPACE (50% LIVE PLANT COVERAGE):
 REQUIRED: 3,216 SF
 PROVIDED: 3,550 SF

LANDSCAPE CALCULATIONS (PER MESA ZONING ORDINANCE)

POWER ROAD STREET FRONTAGE:
 REQUIRED: (26) TREES & (152) SHRUBS
 PROVIDED: (26) TREES & (169) SHRUBS

DALLAS STREET FRONTAGE:
 REQUIRED: (8) TREES & (31) SHRUBS
 PROVIDED: (9) TREES & (48) SHRUBS

WEST PROPERTY LINE:
 REQUIRED: (24) TREES & (120) SHRUBS
 PROVIDED: (24) TREES & (147) SHRUBS

SOUTH PROPERTY LINE:
 REQUIRED: (7) TREES & (35) SHRUBS
 PROVIDED: (7) TREES & (75) SHRUBS

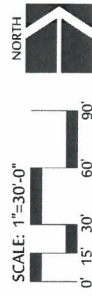
PARKING LOT LANDSCAPE ISLANDS:
 REQUIRED: (8) TREES & (30) SHRUBS
 PROVIDED: (8) TREES & (52) SHRUBS

MIN. 10% TREES IN PARKING LOT ISLANDS
 REQUIRED TO BE 36" BOX:
 REQUIRED: (1) TREE
 PROVIDED: (2) TREES

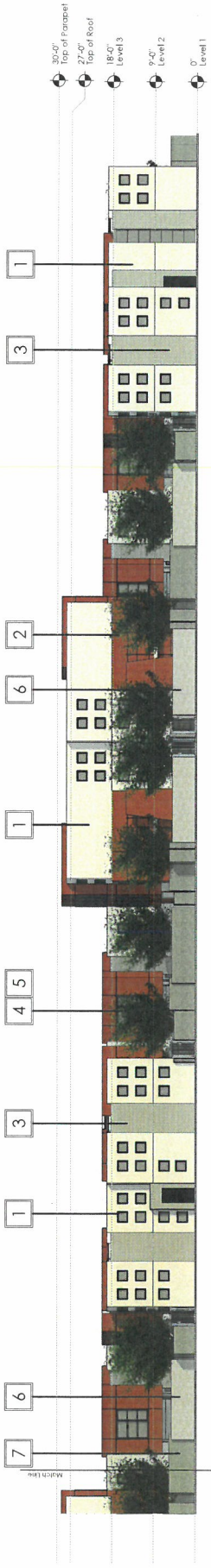
MIN. 25% TREES OVERALL REQUIRED
 TO BE 36" BOX:
 REQUIRED: (34) TREES
 PROVIDED: (34) TREES

POWER TOWNHOMES
 PRELIMINARY LANDSCAPE PLAN

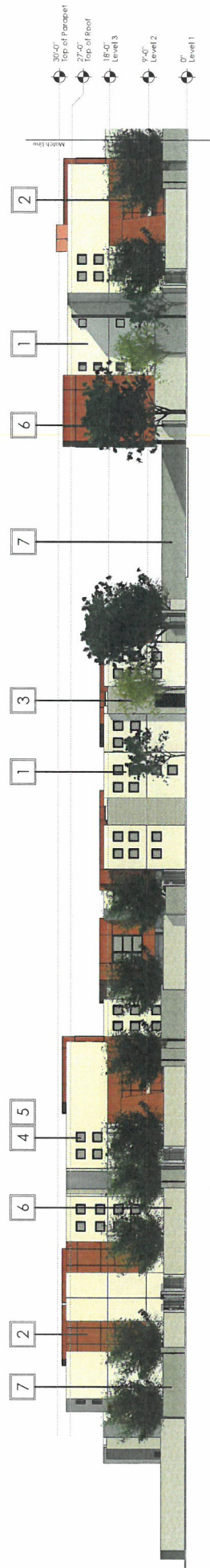
630 N. POWER RD. - MESA, ARIZONA
 JULY 31, 2023



LS-1.01



00 Power Colored Elevation .03
3/32" = 1'-0"



00 Power Colored Elevation .02
3/32" = 1'-0"



00 Dallas Colored Elevations .01
3/32" = 1'-0"

Material Legend

1		White Synthetic Vinyl Chloride-Coated or 6in
2		Dark Red Painted Metal Mesh Panels Anodized Aluminum 4x8
3		Grey Brick Carbon Brick Random Bond
4		White Synthetic Vinyl Chloride-Coated or 6in
5		Black Black Anodized Window Frames
6		Light Grey Black CMU Block - Pattern Random Horizontal W/Board Joint
7		Light Grey Light Grey Block - SW7343 Proxy W/Board

COLORLED ELEVATIONS



POWER TOWNHOMES
620 North Power Rd. Mesquite, AZ 85205

PRESENCE
DESIGN

Expires 6/30/2024

CDK DLK

ZONING / FINAL SITE PLAN
15 August 2023
P2303024

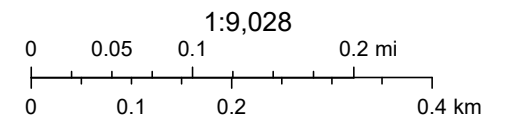
ZA0.03

500' Prop Owner Map



October 5, 2023

 Override 1



Maricopa County GIO, Maricopa County Assessor's Office

500' Prop Owner List

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
ASHLEY GAIL	6663 E DALLAS ST	MESA	AZ	85205
BECHNER GREG/KARLA	6719 E ACACIA ST	MESA	AZ	85205
BEHRENS HENRY F/MYRNA F	6701 E DECATUR ST	MESA	AZ	85205
BILL AND REIKO TRUST	6706 E DALLAS ST	MESA	AZ	85205
BLANCHARD RALPH RAYMOND JR/KATHLEEN	2923 E CLIFTON AVE	GILBERT	AZ	85295
BOSCIA CARL JOSEPH	6662 E DALLAS ST	MESA	AZ	85205
BOTTA SANDRA	9 LUPINE LN	GLOUCESTER	MA	1930
BRUEBACK FAMILY TRUST	6721 E DES MOINES ST	MESA	AZ	85205
BUCKINGHAM RICHARD/GARNET	6659 E DECATUR ST	MESA	AZ	85205
CARTNER WILLIAM R	6665 E DODGE ST	MESA	AZ	85205
CASTANON ISELA	651 N 67TH PL	MESA	AZ	85205
CHARLES RICHARD MCPHERSON REV TRUST	4965 120TH AVE	NORWALK	IA	50211
CUBESMART LP	PO BOX 320099	ALEXANDRIA	VA	22320
CURTO JOSEPH/DEBORAH	6664 E DES MOINES ST	MESA	AZ	85205
DCP FAMILY TRUST	6705 E DALLAS ST	MESA	AZ	85205
DD BUTT HOLDINGS IRREVOCABLE TRUST	5512 E MAIN ST STE D-122	FARMINGTON	NM	87402
DENTON MICHELLE/AARON	9119 E PLATA AVE	MESA	AZ	85212
DUFFY JOHN F/MARGARET L	466 CEDAR CT	TAYLORS FALLS	MN	55084
EASTON SUSAN D	6713 E DALLAS ST	MESA	AZ	85205
FORD KENNETH D	6713 E DES MOINES ST	MESA	AZ	85205
HAGEL GAYLE E/DIANNE E	6657 E DODGE ST	MESA	AZ	85205
HASKINS CHARLES B JR/KATRINA M	8432 N 192ND AVE	WADDELL	AZ	85355
HILL FAMILY LIVING TRUST	6718 E DODGE ST	MESA	AZ	85205
JARVIS MARJORIE L TR	1943 LEISURE WORLD	MESA	AZ	85206
JOHN E KIPLINGER & CONNIE FAYE KIPLINGER TRUS	6712 E DECATUR ST	MESA	AZ	85205
JON AND NANCY MASSEY FAMILY TRUST	6656 E DECATUR ST	MESA	AZ	85205
K SAUER/L GOLBERG LLC	5317 N WOODMERE FAIRWAY	SCOTTSDALE	AZ	85250
KYLLO DENNIS RAY/PENELOPE ANN	6710 E DODGE ST	MESA	AZ	85205
LEONARD FAMILY TRUST	613 N 67TH PL	MESA	AZ	85205
LOUIS H COOPEY AND JUDITH R COOPEY FAMILY TRUST	1725 N SUNDIAL	MESA	AZ	8.52E+08
MCVEY TED L/GERALDINE	6663 E DES MOINES	MESA	AZ	85205
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
MESA RV/BOAT AND SELF STORAGE ON POWER ROAD L	8501 CANTA BELLO	PARADISE VALLEY	AZ	85253

MILNER JANET ELIZABETH/JOSLYN CHRIS/JACQUELINE	619 N 67TH PL	MESA	AZ	85205
MONTE REVOCABLE TRUST	6703 E DODGE ST	MESA	AZ	85205
NELSON DAVID L/PAULA M	6712 E DES MOINES ST	MESA	AZ	85205
PETIT FAMILY LIVING TRUST	6655 E DALLAS ST	MESA	AZ	85205
PILCHER JOANN DEE/BRYAN	6911 E PUEBLO AVE	MESA	AZ	85208
POTTER MAYNARD C	6722 E DALLAS ST	MESA	AZ	85205
PURVIS MARLENE CARDOSO	6728 E DALLAS ST	MESA	AZ	85205
RENELLO ANTHONY L	6656 E DES MOINES ST	MESA	AZ	85205
ROBISON ANDY L	6704 E DES MOINES ST	MESA	AZ	85205
SALERNO OSCAR A/CHRISTINA M	627 N 67TH PL	MESA	AZ	85205
SHILL DOUGLAS K/BARBARA E	6655 E DES MOINES ST	MESA	AZ	85205
SMITH SHARYN L	6709 E DECATUR ST	MESA	AZ	85205
SRODEK MARION C	6705 E DES MOINES ST	MESA	AZ	85205
SVOBODA DENNIS F	6704 E DECATUR ST	MESA	AZ	85205
SWENEY SUSANNE	6729 E DODGE ST	MESA	AZ	85205
TC RENTALS LLC/STARKEY DELFRED J ESTATE OF	PO BOX 131	CURTIS	NE	69025
TIEHEN FAMILY TRUST	21962 E MUNOZ CT	QUEEN CREEK	AZ	85142
TREMBLAY RICHARD/LORI	6720 E DECATUR ST	MESA	AZ	85205
VAUGHN JACQUELINE J	6725 E DECATUR ST	MESA	AZ	85205
VIA CHURCH INC	740 N BUSH HWY	MESA	AZ	85208
WILLIAMS KAREN L	635 N 67TH PL	MESA	AZ	85205
YOST GAYLORD BOB	1635 N GREENFIELD RD	MESA	AZ	85205

From: [City of Mesa](#)
To: [Alexis Wagner](#); [Pamela Williams](#); michelle.dahlke@mesaaz.gov; [Evan Balmer](#); [Rachel Nettles](#); [Vanessa Felix](#)
Subject: *NEW SUBMISSION* Speaker/Comment Card for Planning & Zoning Board
Date: Wednesday, October 25, 2023 11:43:21 AM

Speaker/Comment Card for Planning & Zoning Board

Submission #: 2784696
IP Address: 70.190.68.183
Submission Date: 10/25/2023 11:43
Survey Time: 6 minutes, 59 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Read-Only Content

If you need assistance with any information needed for this form, please contact the planner of the day 480-644-4726.

Agenda Date

October 24 2023

I am commenting regarding Zoning Case number

ZON23-00495

Are you the applicant or representative for the Agenda Item who will be available on the line to speak only if Board has questions?

No

Support/Oppose

I Oppose

I want to

Submit my comments for Board review only

To speak in the meeting, you MUST provide the phone number you will be calling from so that we can identify you

I am the spokesperson for a group. Name of group:

Comments

This proposal is terrible for the neighborhood I live less than 500 feet from the site and just bought my house in January. I would NOT have done so if I were aware of this. Dreamland Villa is an over 55 community and this being near is totally inappropriate

Full Address

6729 E Dodge Street
Mesa, Arizona 85205
Maricopa

Full Name

Susanne Sweney

Email

suesweney@gmail.com

Thank you,

City of Mesa

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: [City of Mesa](#)
To: [Alexis Wagner](#); [Pamela Williams](#); michelle.dahlke@mesaaz.gov; [Evan Balmer](#); [Rachel Nettles](#); [Vanessa Felix](#)
Subject: *NEW SUBMISSION* Speaker/Comment Card for Planning & Zoning Board
Date: Wednesday, October 25, 2023 2:28:59 PM

Speaker/Comment Card for Planning & Zoning Board

Submission #: 2785431
IP Address: 68.2.135.184
Submission Date: 10/25/2023 2:28
Survey Time: 19 minutes, 46 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Read-Only Content

If you need assistance with any information needed for this form, please contact the planner of the day 480-644-4726.

Agenda Date

10/25/2023

I am commenting regarding Zoning Case number

ZON23-00495

Are you the applicant or representative for the Agenda Item who will be available on the line to speak only if Board has questions?

Yes

Support/Oppose

I Oppose

I want to

Submit my comments for Board review only

To speak in the meeting, you MUST provide the phone number you will be calling from so that we can identify you

(480) 620-2439

I am the spokesperson for a group. Name of group:

Comments

Propose parking prohibited 500' S of Power Rd on Dallas St. Propose NB right turn lane added to NE corner of plan. Have traffic studies been completed for Dallas St & Power Rd? Will NB traffic be allowed to turn left into primary entrance on Power Rd? Currently striped for South to East left turn onto Decatur St. If not, secondary entrance will become primary entrance and exit. Will NB turn be allowed onto Power Rd from primary entrance? If not, secondary entrance will become primary entrance and exit. Existing 6' fence against single family homes on W side of development should be new 9'

Full Address

6721 E Des Moines St
Mesa, AZ 85205
USA

Full Name

Kevin Brueback

Email

brueback@msn.com

Thank you,

City of Mesa

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: [City of Mesa](#)
To: [Alexis Wagner](#); [Pamela Williams](#); michelle.dahlke@mesaaz.gov; [Evan Balmer](#); [Rachel Nettles](#); [Vanessa Felix](#)
Subject: *NEW SUBMISSION* Speaker/Comment Card for Planning & Zoning Board
Date: Monday, October 23, 2023 10:22:31 AM

Speaker/Comment Card for Planning & Zoning Board

Submission #: 2779087
IP Address: 174.17.21.114
Submission Date: 10/23/2023 10:22
Survey Time: 20 minutes, 54 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Read-Only Content

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I Oppose

I want to

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(480) 703-2983

I am the spokesperson for a group. Name of group:

Dreamland Village residents

Comments

Dear Planning Board. We the residents of Dreamland Village would like to raise our concerns about the design of the proposed Power Townhomes development case # ZON23-00495. We oppose the development of Power Townhomes for the following reasons. 1) Lack of parking within the area of the 38 unit site. 2) The exit/entrance of the residence of Power Townhomes onto Dallas St. 3) The parking of extra vehicles on Dallas street alongside the Townhomes units. 4) The lack of a turn lane to enter Power Townhomes off of Power rd. 5) The towering height of

the townhomes units that eliminates our privacy

Full Address

6655 E. Dallas St.
Mesa, AZ 85205
Maricopa

Full Name

Jeffrey Petit

Email

petit_family@hotmail.com

Thank you,

City of Mesa

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: [Jon Gillespie](#)
To: [Jennifer Merrill](#)
Subject: FW: Townhome Development Support Reminder
Date: Tuesday, October 24, 2023 6:15:57 PM

Hi Jennifer,

Please see email below with supportive correspondence received from our directly adjacent neighbor at 627 N 67th Place. They are an elderly couple and do not anticipate being at the meeting but did want their opinion to be known.

Jon

From: oscar salerno <oscar0937@yahoo.com>
Sent: Tuesday, October 24, 2023 5:54 PM
To: Jon Gillespie <jon.gillespie@pewandlake.com>
Subject: Re: Townhome Development Support Reminder

Dear Jon,

As I told you on the phone today, I personally do not have major concerns about the project behind our property. In fact I embrace the idea of the taller wall that will be constructed.

Of course there will be more traffic, more noise, etc. I only hope that the trash bins will not be situated too close to the wall to attract vermin and the barbecue grills also not too close to make it noisier than it should be. To start with, we will have to install double pane windows on the back which we figure it will help somewhat, there is only so much we can do but hope all problems will try to be minimized.

Thank you very much,
Christina and Oscar Salerno

From: [Susanne Sweney](#)
To: [Jennifer Merrill](#)
Subject: ZON23-00495
Date: Thursday, November 2, 2023 12:30:49 PM

Please include these comments on the council packet prior to the meeting.

I purchased a home in Dreamland Villa in January of 2023. If I had known this development was going to happen I would never have purchased it. This is 55+ community and beside the noise there are other issues. The intersection of Power Road and Dallas does not have a traffic light and turning left is bad but I have found a back route. There is none to turn right and having this development at the corner with 28 units with probably 2 vehicles per unit definitely a negative to this community.

I certainly would not be voting for any council members that would approve this at the next election. The neighborhood presented 7 pages of signatures opposing this and it seems no one bothered to even consider their position.

Susanne Sweney
6729 E. Dodge Street
Mesa, AZ
suesweney@gmail.com

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed.
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 40

 I am in favor of this item

X I am opposed to this item

X I wish to speak

 I do not wish to speak

Comments: _____

Name: _____

Address: _____

Zip _____

Phone: _____

Hail Ashley
4063 Falco St. *85205*

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed.
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 4C

 I am in favor of this item

X I am opposed to this item

X I wish to speak

 I do not wish to speak

Comments: _____

Name: Jack Leonard

Address: 613 N 67th Pl Zip 85205

Phone: 623-326-2499

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed.
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 4c

I am in favor of this item

I am opposed to this item

I wish to speak

I do not wish to speak

Comments: _____

Name: Jeffrey D. Petit

Address: 6655 E. Dallas St. Zip 85205

Phone: 480 703 2983

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed.
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 4c

I am in favor of this item

I am opposed to this item

I wish to speak

I do not wish to speak

Comments: _____

Name: Joe Curto

Address: 6664 E. Des Moines Zip 85205

Phone: 602-625-6813

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed.
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 4c

I am in favor of this item But? I am opposed to this item

I wish to speak I do not wish to speak

Comments: But concerned about traffic - HAPPY to not have a drive thru Behind US
I am happy to have a 8 ft wall + trees for privacy

Name: ~~Carol~~ Carol Leonard

Address: 613 N. 67th PL Zip 85205

Phone: 602-615-7223

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed.
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 4C

I am in favor of this item

I am opposed to this item

I wish to speak

I do not wish to speak

Comments: _____

Name: Robin Fryman

Address: 6650 E Dallas Zip 85205

Phone: _____