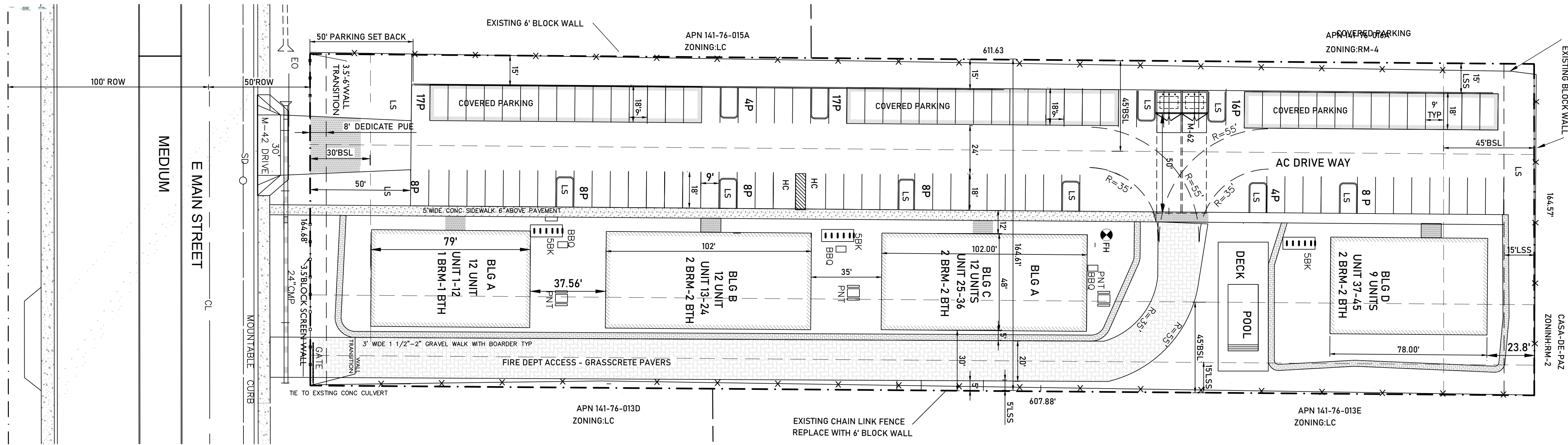
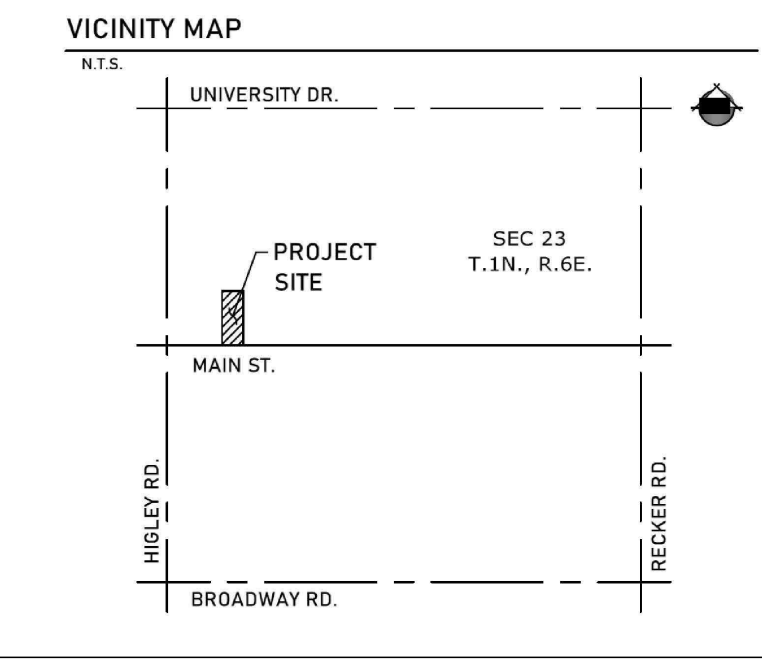
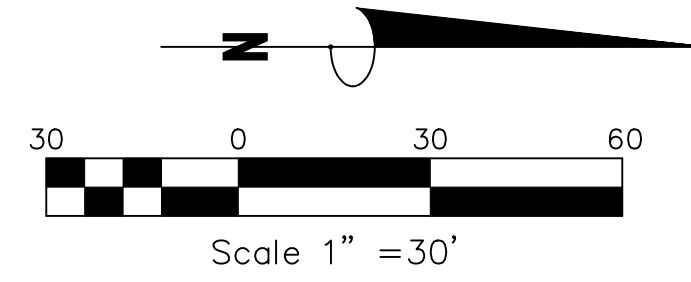


Final Site Plan for 5308 E Main Modern Mesa Arizona ZON2400015



SITE PLAN

VICINITY MAP

OWNER
SALIBAHOGANINVESTMENTS.LLC
5533 W RIVIERA DR
GLENDALE AZ 85304

APPLICANT
WILLIAM SEYMOUR CO, INC
428 E THUNDERBIRD DR
PHOENIX, AZ 85022
JOHN FOX
602-573-2895
WSCING@COX.NET <MAILTO:WSCING@COX.NET>

PROJECT DATA
PARCEL APN: 141-76-014
EXISTING ZONING: LC
RE ZONE TO RM-4 BIZ
EXISTING LAND USE: VACANT
GROSS AREA: 2.51 AC
NET AREA: 2.32 AC 101,058SF
1 BEDROOM UNITS: 12 UNITS
2 BEDROOM UNITS: 33 UNITS
TOTAL: 45 UNITS
DENSITY ALLOWED 30 DU/AC
NET DENSITY: 19.4 DU/AC

MAXIMUM BUILDING HEIGHT 3 STORIES - 30'-0"

SITE COVERAGE

BUILDING A	3,840SF
BUILDING B & C	2X4800SF=9,600SF
BUILDING D	4,008SF
TOTAL BUILDING	17,448SF

PARKING	33,800SF
SIDEWALK	2,960SF
POOL AREA	1,600SF
TOTAL SITE COVERAGE	55,808SF
NET %SITE COVERAGE	55.808SF/101,055SF=55%
ALLOWED COVERAGE	70%

PARKING:
RESIDENTIAL PARKING REQUIRED: 2.1 X 45 = 95 SPACES
TOTAL SPACES PROVIDED 98
ADA ACCESSIBLE SPACES 2
COVERED 45
BICYCLE PARKING REQUIRED 1-PER 10 PARING = 10
BICYCLE PARKING PROVIDED 15

RETENTION REQUIREMENTS
THE RAINFALL PRODUCED BY A 100 YEAR, 2 HR EVENT
TOTAL VOLUME REQUIRED.
V= C (P/12) A
C= 0.8
AREA = 101130SF
V= 0.8(2.6/12)101,130SF = 17,539CF

UNDERGROUND RETENTION PROVIDED

LEGEND

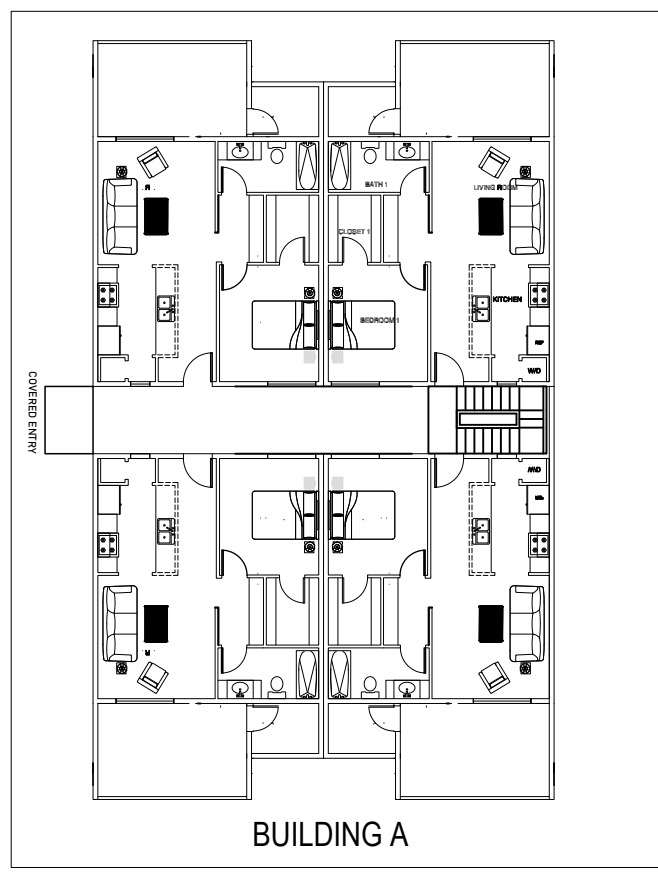
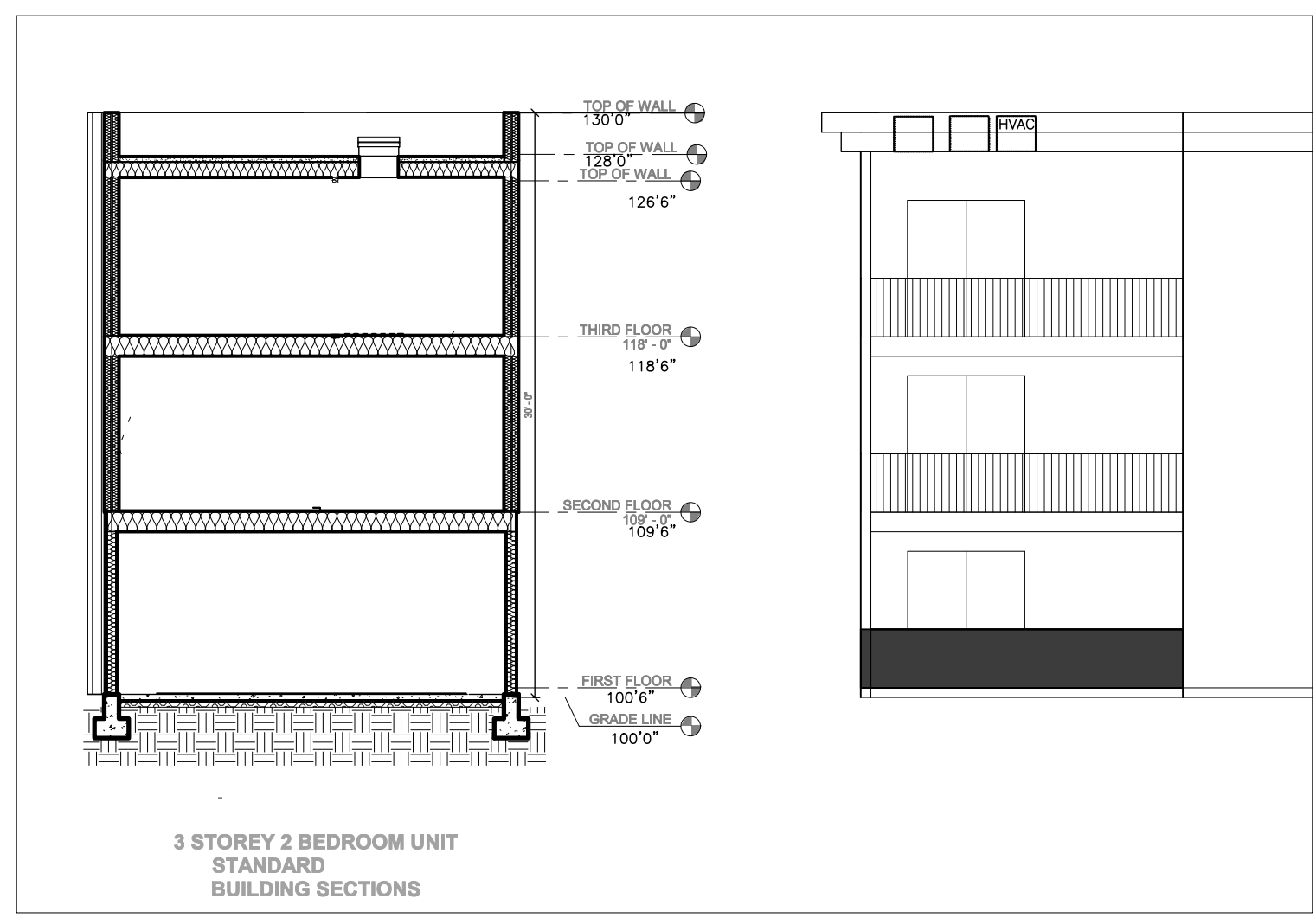
- P - PARKING
- HC - HANDICAP PARKING
- LS - LANDSCAPE
- LSS- LANDSCAPE SETBACK
- BSL - BUILDING SETBACK
- OS - OPEN SPACE
- BBQ- B'BO
- PNT - PICNIC TABLE
- MC - MAILBOX CLUSTER
- DG - DECOMPOSED GRANIT
- SVT- 10X20 SIGHT VISABLE TRIANGLE
- MBC - MAIL BOX CLUSTER
- FH - FIRE HYDRANT
- SBK - 5 SLOT BIKE RACK
- TE - TRASH ENCLOSURE

Notes

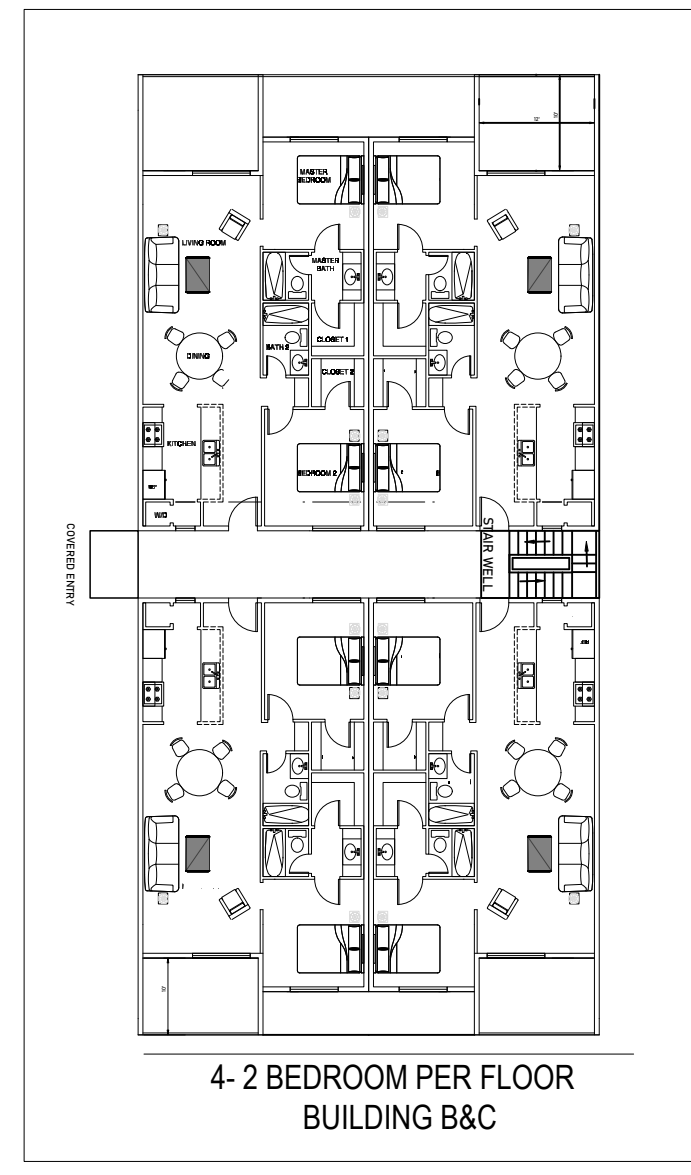
PEDESTRIAN CURB 6" ABOVE PAVED SURFACE

THE EXISTING LANDSCAPE AND IRRIGATION IN THE MEDIAN ARE OWNED AND MAINTAINED BY THE CITY. THE MEDIAN IS FED BY THE IRRIGATION IN THE ROW AND CARE MUST BE TAKEN TO NOT DISRUPT THE EXISTING IRRIGATION.

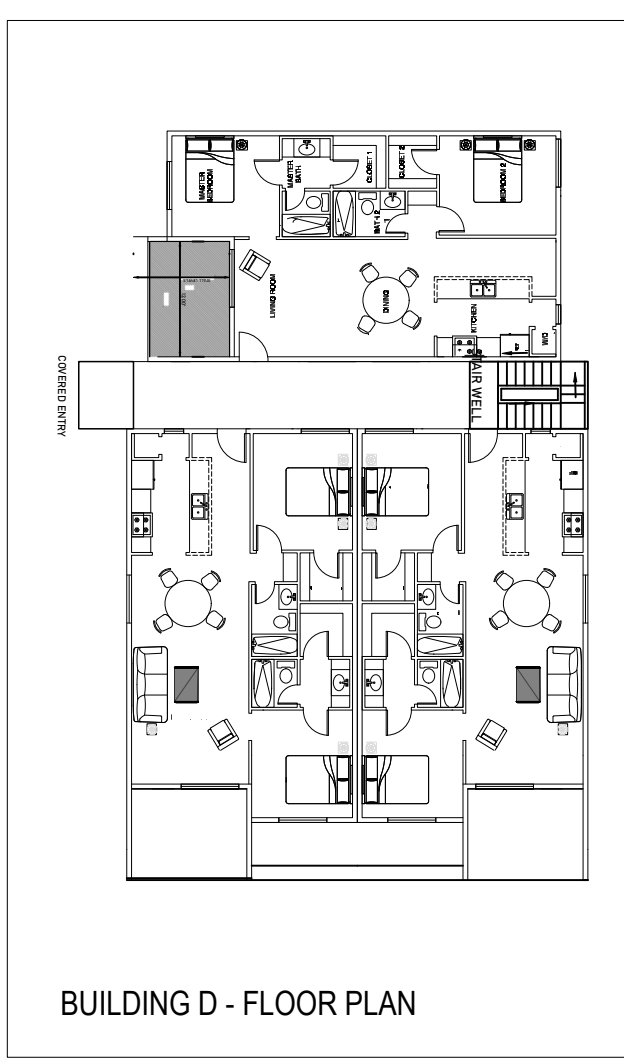
THIS PROJECT WILL BE DESIGNED IN COMPLIANCE WITH THE 2018 INTERNATIONAL CODE COUNCIL (ICC) "FAMILY" OF CODES AND THE 2017 NATIONAL ELECTRIC CODE PRODUCED BY THE NATIONAL FIRE PROTECTION ASSOCIATION.
FIRE SPRINKLERS WILL BE REQUIRED IN ALL BUILDINGS AND STRUCTURES PER MESA AMENDED FIRE CODE SECTION 903.2



BUILDING A



4-2 BEDROOM PER FLOOR
BUILDING B&C



BUILDING D - FLOOR PLAN

WILLIAM SEYMOUR CO, INC
 JOHN K. FOX
 428 E THUNDERBIRD RD #234
 PHOENIX, ARIZONA 85022
 PHONE: (602) 573-2895
 E-MAIL: WSCING@COX.NET

5308 E Main Modern
5308 E MAIN ST
 MESA, MARICOPA COUNTY, AZ

NO.	DATE	APP.	DESCRIPTION	UPDATE
10-27-24				

DESIGNED:
 DRAWN:
 CHECKED:
 DATE: Oct. 2024
 SCALE 1"=30'
 PROJECT
 FILE NAME
 SHT: SP-1