



Bramic Design Group, Inc.
10820 E. Calle Linda Vista
Tucson, AZ 85748

April 24, 2025
October 10, 2025 (Revised)

PROJECT NARRATIVE

Project title	Ground Up Office Building
Location	8008 E. University Dr. Mesa, AZ. 85207 Parcel Nos. – 218 – 08 – 100A; 218 – 08 – 100B
Architect	Bramic Design Group PLLC 10820 E. Calle Linda Vista Tucson, AZ. 85748
Owner	Dave Williamson 4400 E. Broadway Blvd. Suite 300 Tucson, AZ. 85711

SITE

The current property is vacant land at the northeast corner of 80th St. and University Blvd. It is surrounded by residential zoning to the north, residential to the west, residential to the south, and commercial to the east. The current Zoning of this property is NC (Neighborhood Commercial). In the existing ROW, there is existing sidewalks running along the west and south sides of this property. Existing utility availability is unknown at this time and will be investigated.

PROPOSED USE

The proposed use for this property is to build a ground up 24,000 office building structure. The Department of Child Safety provides various services to vulnerable abused and neglected children. Given the demands placed on the agency in the City of Mesa and the surrounding areas with increases in the reporting of child abuse cases, DCS is seeking to expand their capabilities in the East Valley. This office building is specifically intended to provide the capability for their agency to meet the critical needs of the citizens, families, and children of Mesa and surrounding communities

Regrettably, abuse and neglect is a 24/7, 365 challenge meaning children may enter into this building for care anytime during the day, night, weekend, or holiday. The immediate efforts to care for and rescue children requires a new facility of a size as proposed to house the dedicated staff and the increasing number of case investigations and the children coming in for care.

The Department is a child welfare program established under A.R.S. § 8-451 for the protection of children alleged to be abused and neglected. The Department provides an array of services to children and families, including prevention programs, child protective services, in-home intensive services, family support and preservation services, kinship and foster care services, adoption promotion and support services, health care services for children in foster care, and other child welfare programs.

DCS operates Monday through Friday 8 am to 5 pm. This office serves as the workspace for DCS social workers that support families, children and foster families. DCS by statute must be close enough to respond within two hours to any

call from the State Child Abuse 24 Hour Hotline. This office will help cover those calls from the Maricopa County Eastern zip codes. Primary function is workspace for the social workers as they process the paperwork for individual case files of families within the DCS system. Smaller client front office area to conduct court order visitations and meetings between families and their legal representatives and our team with the Arizona Attorney General's asst. AG's.

DCS schedules all of these appointments - they are not walk in services. So, we do not have high numbers of visitors from the public at our office like what would be seen at a DES office that supports food stamps processing and other economic based government services. This office sees 10 to 12 public visitors a day for court supervised child visitations. The primary goal is to be able to reunify these children with their family and the supervised visits assist towards that goal.

EXTERIOR DESIGN

Per comments received from our 1st submission and a subsequent meeting with city staff, the revised exterior design will show a more variation in materials throughout and a more 3D appearance vs a plainer facade look per the 1st submission. Materials will include painted stucco, decorative masonry and metal accents to complement the main painted stucco body of the building. Height are adjusted as well to move away from a singular top of facade look to bring more variation to the building as well.

INTERIOR FUNCTION OF BUILDING

The current staff count is 77 people. DCS requests a build out for a future higher staffing placement which will allow more future cubicles for their case workers

VEHICULAR/VISITOR/EMPLOYEE PARKING DETAILS

Visitor parking	24 spaces (DCS only needs 16 – 18, but due to redesign of the site, we're showing more)
Staff parking	71 spaces
Fleet parking	35 spaces (+/-) – these are cars used by staff for during the day client visits vs using their own cars and will consist of Ford Explorers, Chevrolet Trax, and Pontiac G6 vehicles (total parking that is in secured, fenced area is approximately 111)
Minimum required	64 (with more parking created for future, anticipated growth of the agency needs)
Total parking provided	130

(Sedan and small SUV's to be able to have a safer rear back seat for children with seat belts to transport them, no large trucks or large SUV's to be used. The fleet is eventually going to small Chevy Trax models going forward with purchased by ADOT)

(Note office and field staff are one in the same for employee count)

Anticipated number of visitors per day – they see an average of 5 visits per week. Each visit can have a few family members, sometimes both parents and with the attorney general's court mandated meetings at the extreme, they see 10 – 12 visitors per day

CODE COMPLIANCE

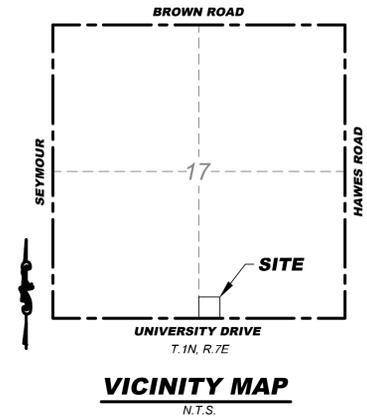
The site design submitted, although very preliminary in nature, will meet all parking code, bicycle code, loading zone, pedestrian access to the ROW, landscape buffer, building height, and building setbacks required by the City of Mesa should further design development of this project be allowed for this use at this location

Thank you for allowing Bramic Design Group PLLC to submit this revised project narrative and revised preliminary design site and building design for the city's review.

Gene Goldstein
President - Bramic Design Group PLLC
Architect – State of AZ - 15939

LANDSCAPE PLAN FOR DCS UNIVERSITY DRIVE

8008 EAST UNIVERSITY DRIVE MESA, ARIZONA
**A PORTION SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE
 GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA**



LANDSCAPE CALCULATIONS

PERIMETER LANDSCAPING

UNIVERSITY DR. RIGHT-OF-WAY (600 L.F.)
 TREES REQUIRED: 24 (4 PER 100 L.F.)
 TREES PROVIDED: 24
 SHRUBS REQUIRED: 144 (24 PER 100 L.F.)
 SHRUBS PROVIDED: 158

N. 80th ST. RIGHT-OF-WAY (190 L.F.)
 TREES REQUIRED: 8 (4 PER 100 L.F.)
 TREES PROVIDED: 8
 SHRUBS REQUIRED: 46 (24 PER 100 L.F.)
 SHRUBS PROVIDED: 46

LANDSCAPE YARDS

NORTH (620 L.F.)
 TREES REQUIRED: 31 (5 PER 100 L.F.)
 TREES PROVIDED: 31

EAST (140 L.F.)
 TREES REQUIRED: 4 (3 PER 100 L.F.)
 TREES PROVIDED: 4

INTERIOR PARKING LOT

PARKING ISLANDS
 (NOT UNDER SHADE CANOPY): 16

TREES REQUIRED: 16 (1 PER ISLAND)
 TREES PROVIDED: 28 (36" BOX)

SHRUBS REQUIRED: 48 (3 PER ISLAND)
 SHRUBS PROVIDED: 53 (5 GAL.), 34 (1 GAL.)

FOUNDATION BASE

TOTAL EXTERIOR WALL LENGTH: 646 LF

TREES REQUIRED: 13 (1 PER 50 LF WALL LENGTH)
 TREES PROVIDED:
 WITHIN 30' OF BLDG.: 7 (36" BOX), 10 (24" BOX)

MINIMUM PLANT SIZE CALCULATIONS

PER SECTION 11-33-3(A) OF THE MZO, A MINIMUM OF 25 PERCENT OF THE TOTAL REQUIRED TREES SHALL BE 36-INCH OR LARGER BOX TREES AND A MINIMUM OF 50 PERCENT OF THE TOTAL REQUIRED TREES SHALL BE 24-INCH BOX TREES. A MINIMUM OF 50 PERCENT OF THE TOTAL REQUIRED SHRUBS SHALL BE 5-GALLON SIZE OR LARGER.

36" BOX TREES PROVIDED = 36 (35% OF TOTAL)
 24" BOX TREES PROVIDED = 66 (65% OF TOTAL)

5 GAL. SHRUBS PROVIDED = 402 (83% OF TOTAL)
 1 GAL. SHRUBS PROVIDED = 83 (17% OF TOTAL)

TREE COVERAGE CALCULATIONS

PER CITY OF MESA 'TREES ARE COOL' INITIATIVE, THE FOLLOWING INFORMATION IS PROVIDED FOR REFERENCE:

A. THE TOTAL MATURE TREE CANOPY COVERAGE IS:
 68,120 SQ. FT.

B. PERCENTAGE OF SITE COVERED BY MATURE TREE CANOPY IS:
 52% (66,720 SQ. FT. / 131,324 SQ. FT.)

PROJECT INFORMATION

PROJECT DESCRIPTION:
 THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW OFFICE BUILDING WITH ASSOCIATED IMPROVEMENTS.

ADDRESS:
 8008 EAST UNIVERSITY DRIVE
 MESA, ARIZONA 85207

APN: 218-08-100B AND 218-08-100A

ZONING: NC

TOTAL AREA: 131,322 SF (3.014 AC)
 DISTURBED AREA: 111,775 SF (2.566 AC)

OWNER/DEVELOPER

INNOVATIVE DESIGN DEVELOPMENT GROUP, LLC
 4400 EAST BROADWAY BOULEVARD, #300
 TUSCON, ARIZONA 85711
 PH: 520-647-3862
 ATTN: DAVE WILLIAMSON

LANDSCAPE ARCHITECT

RICK
 3945 E FORT LOWELL SUITE111
 TUCSON, AZ 85712
 PH: 520-795-1000
 ATTN: MARK FELLINGER

CIVIL ENGINEER

RICK
 2401 WEST PEGORIA AVENUE, #130
 PHOENIX, ARIZONA 85029
 PH: 602-957-3350
 ATTN: JEFF HUNT, PE

ARCHITECT

BRAMIC DESIGN GROUP PLLC
 10820 EAST CALLE LINDA VISTA
 TUSCON, ARIZONA 85748
 PH: 520-401-9183
 ATTN: GENE GOLDSTEIN

SHEET INDEX

1. LANDSCAPE COVER SHEET
2. LANDSCAPE PLAN
3. LANDSCAPE PLAN
4. LANDSCAPE DETAILS
5. IRRIGATION PLAN
6. IRRIGATION PLAN
7. IRRIGATION DETAILS

NO.	BY	DATE	REVISION



SEAL: M. Fellinginger

3945 E FORT LOWELL RD #111
 TUCSON, AZ 85712
 520-795-1000
 rickengineering.com

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
 SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

RICK
 PROJECT NO: 7408
 DATE: 10/2025

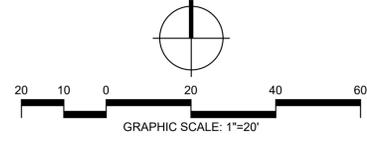
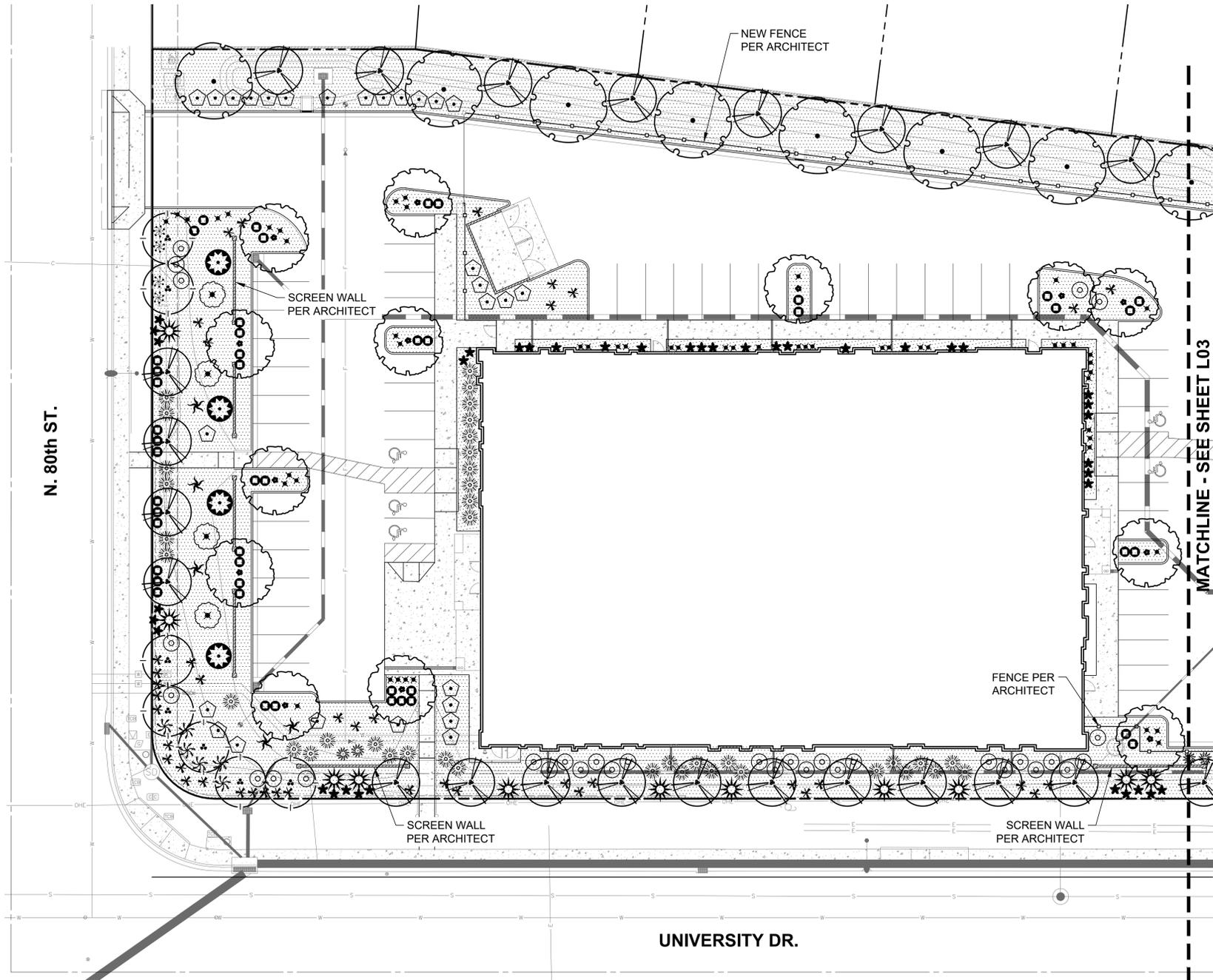
LANDSCAPE PLAN PREPARED FOR:
DCS UNIVERSITY DRIVE
 8008 EAST UNIVERSITY DRIVE
 MESA, ARIZONA 85207
 CITY OF MESA
landscape cover sheet



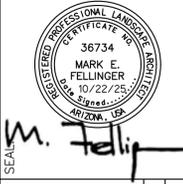
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 SHEET NO. **1** OF **7**

PLANT MATERIAL LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	SIZE	H x W (CALIPER)
TREES				
	ACACIA ANEURA MULGA (MATURE CANOPY: 255 SQ. FT.)	34	24" BOX	6' x 2' (.75")
	CHILOPSIS LINEARIS DESERT WILLOW (MATURE CANOPY: 700 SQ. FT.)	15	24" BOX	5' x 3' (1")
	PARKINSONIA 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE (MATURE CANOPY: 700 SQ. FT.)	37	36" BOX	8' x 5' (1.75")
	ULMUS PARVIFOLIA CHINESE ELM (MATURE CANOPY: 1,250 SQ. FT.)	19	24" BOX	7' x 3' (1")
SHRUBS AND ACCENTS				
	AGAVE VILMORINIANA OCTOPUS AGAVE	5	5 GAL.	
	ALOE x 'BLUE ELF' BLUE ELF ALOE	44	5 GAL.	
	CALLIANDRA CALIFORNICA BAJA FAIRY DUSTER	39	5 GAL.	
	CORDIA PARVIFOLIA LITTLE-LEAF CORDIA	4	5 GAL.	
	CHRYSACTINIA MEXICANA DAMIANITA	88	5 GAL.	
	HESPERALOE FUNIFERA GIANT HESPERALOE	19	5 GAL.	
	HESPERALOE PARVIFLORA RED YUCCA	51	5 GAL.	
	HYMENOXYLS ACAULIS ANGELITA DAISY	82	1 GAL.	
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER	63	5 GAL.	
	LEUCOPHYLLUM 'GREENCLOUD' GREENCLOUD TEXAS RANGER	28	5 GAL.	
	MUHLENBERGIA 'AUTUMN GLOW' AUTUMN GLOW DEER GRASS	6	5 GAL.	
	MUHLENBERGIA 'REGAL MIST' REGAL MIST DEER GRASS	16	5 GAL.	
	PEDILANTHUS MACROCARPA SLIPPER PLANT	23	5 GAL.	
	TECOMA STANS MEXICAN YELLOW BELLS	4	5 GAL.	
INORGANIC GROUND COVER				
	A MIN. 2" DEPTH LAYER OF DECORATIVE ROCK SHALL BE PLACED IN ALL PLANTING AREAS. 3/4" SCREENED 'SUNSET GOLD', OR AS APPROVED BY OWNER.			



NO.	BY	DATE	REVISION



SEAL: **M. Fellingner**

RICK
520-795-1000
rickengineering.com

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TUCSON, AZ 85712

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
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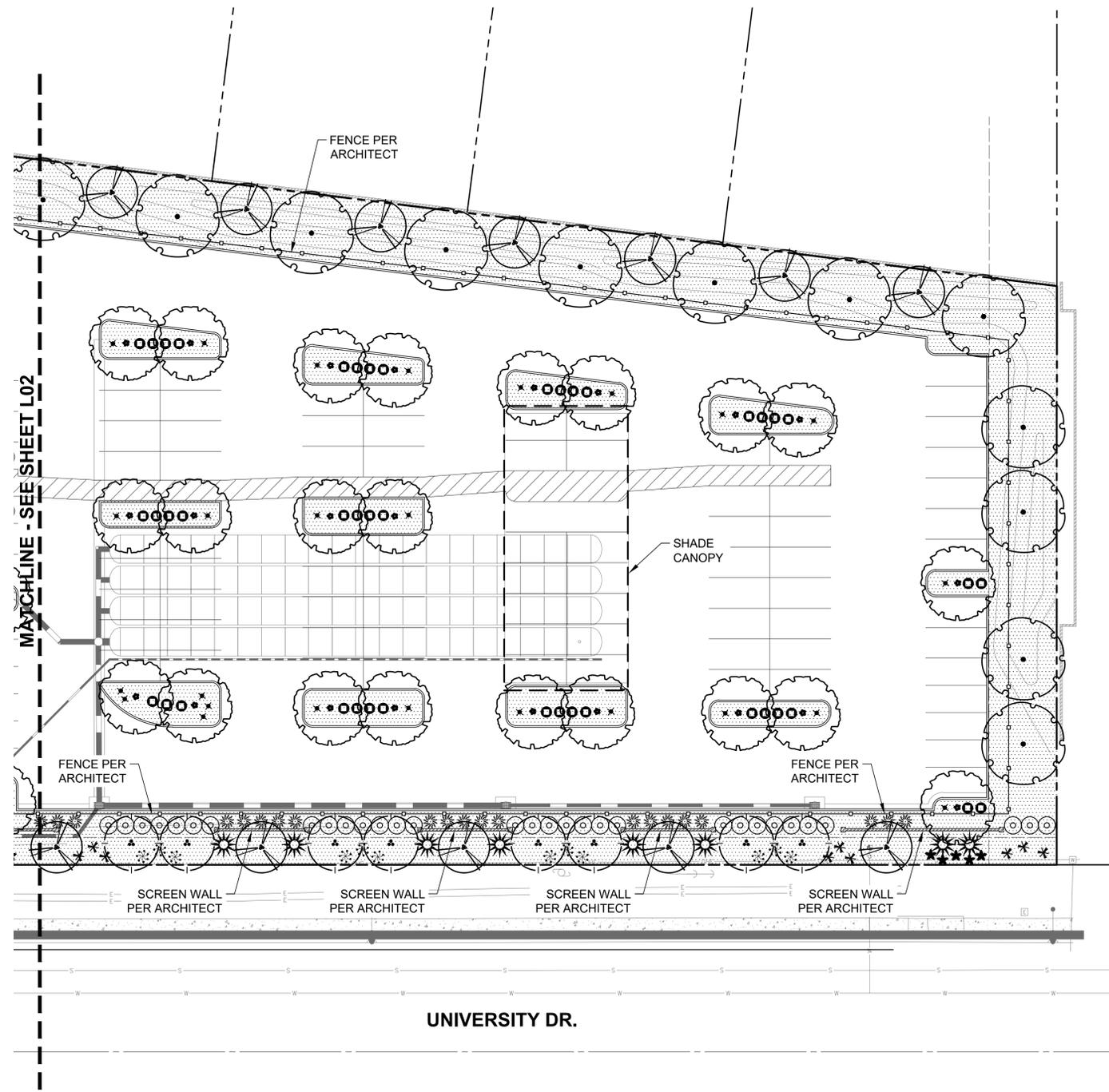
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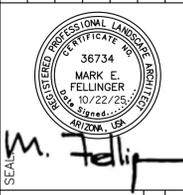
LANDSCAPE PLAN PREPARED FOR:
DCS UNIVERSITY DRIVE
8008 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

landscape plan





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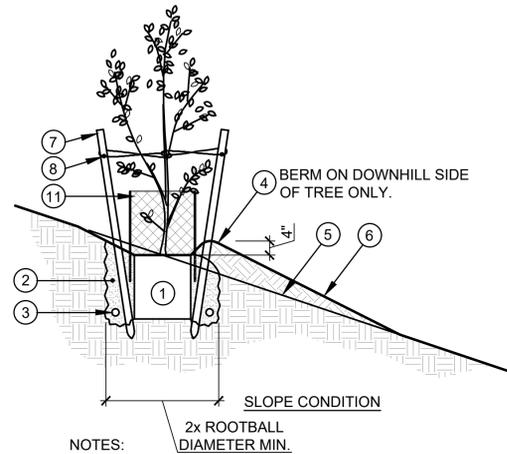
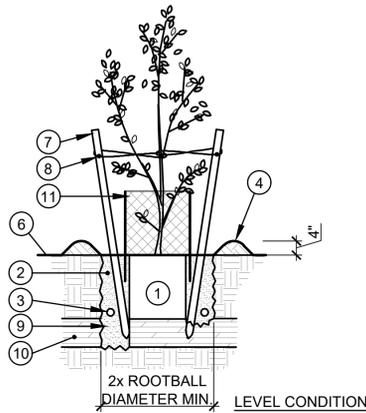


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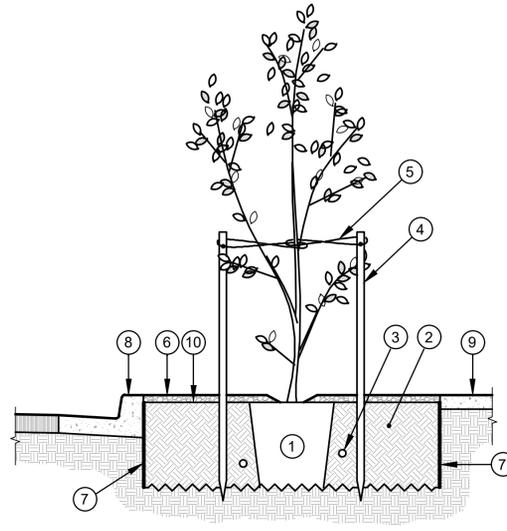


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 SHEET NO. **3** OF **7**



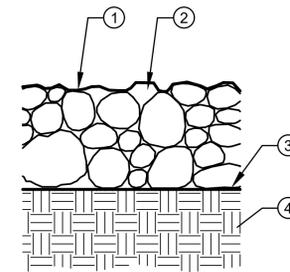
- NOTES:
1. TREE STAKES ARE NOT REQUIRED FOR 5 GAL. TREES.
 2. TREE STAKES MAY BE OMITTED IF TREE IS ABLE TO SUPPORT ITSELF UPRIGHT WITHOUT LEANING OR BENDING.
 3. WHEN STAKES ARE INSTALLED, TIES SHOULD BE PLACED AS LOW AS POSSIBLE WHILE STILL PROVIDING NECESSARY SUPPORT. CUT STAKE APPROX. 6" ABOVE TIE TO AVOID BRANCHES RUBBING ON STAKE.
 4. ALL NURSERY STAKES ARE TO BE REMOVED REGARDLESS OF PLANT SIZE.
 5. SCARIFY SIDES OF PLANT PIT TO ELIMINATE SMOOTH SHOVEL CUTS PRIOR TO PLACEMENT OF TREE IN PIT.
 6. CONTRACTOR SHALL INCLUDE BROWSE CAGES FOR ALL TREES AS AN ADDITIVE ALTERNATE IN THE BID. CONTRACTOR SHALL CLOSELY MONITOR TREES FOR WILDLIFE DAMAGE DURING THE MAINTENANCE PERIOD, AND SHALL IMMEDIATELY MAKE A RECOMMENDATION FOR A CORRECTIVE COURSE OF ACTION TO THE OWNER IF WILDLIFE DAMAGE OCCURS OR IS SUSPECTED. SUBMIT BROWSE CAGE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.

- NOTES:
1. ROOTBALL. PLACE ON UNDISTURBED NATIVE SOIL AT BOTTOM OF PLANT PIT.
 2. AMENDED BACKFILL MIX.
 3. FERTILIZER TABLETS.
 4. 4" HIGH EARTH BERM / MICROBASIN (NOT REQUIRED FOR LEVEL CONDITION IF TREE IS LOCATED IN A DEPRESSED WATER HARVESTING AREA; ALWAYS REQUIRED FOR SLOPE CONDITION.)
 5. SLOPE GRADE PRIOR TO PLANTING.
 6. FINISH GRADE.
 7. (2) 2" DIA. LODGE POLE STAKES. PLACE OUTSIDE OF ROOTBALL.
 8. BLACK PLASTIC CINCH-TIE WITH ONE TWIST NAILED TO STAKE, OR APPROVED EQUAL. (WIRE TIES WITH RUBBER HOSE IS NOT ACCEPTABLE).
 9. DRILL 8" DIAMETER CHIMNEY DRAINAGE HOLE AT BOTTOM OF PLANT PIT IF HARDPAN OR CALICHE SOIL LAYER IS ENCOUNTERED.
 10. HARDPAN OR CALICHE SOIL LAYER.
 11. BROWSE CAGE. SEE NOTE 6.



- NOTES:
1. TIES SHOULD BE PLACED AS LOW AS POSSIBLE WHILE STILL PROVIDING NECESSARY SUPPORT. CUT STAKE APPROX. 6" ABOVE TIE TO AVOID BRANCHES RUBBING ON STAKE.
 2. ALL NURSERY STAKES ARE TO BE REMOVED REGARDLESS OF PLANT SIZE.
 3. SCARIFY BOTTOM AND SIDES OF PLANT PIT TO ELIMINATE SMOOTH SHOVEL CUTS PRIOR TO PLACEMENT OF TREE IN PIT.
 4. CENTER TREES IN PARKWAY.
 5. SEE GENERAL TREE PLANTING DETAIL FOR ADDITIONAL PLANTING REQUIREMENTS IF CALICHE SOIL LAYER IS ENCOUNTERED.

- NOTES:
1. ROOTBALL. PLACE ON UNDISTURBED SOIL AT BOTTOM OF PLANT PIT.
 2. BACKFILL. SEE SPECIFICATIONS.
 3. FERTILIZER TABLETS AS SPECIFIED.
 4. (2) 2" DIA. LODGE POLE STAKES. PLACE OUTSIDE OF ROOTBALL.
 5. BLACK PLASTIC CINCH-TIE WITH ONE TWIST NAILED TO STAKE, OR APPROVED EQUAL. (WIRE TIES WITH RUBBER HOSE IS NOT ACCEPTABLE).
 6. ROCK MULCH AS SPECIFIED.
 7. 24" DEPTH ROOT BARRIER PER FINISH SCHEDULE.
 8. CONCRETE CURB PER CIVIL PLANS.
 9. CONCRETE SIDEWALK PER CIVIL PLANS.
 10. FINISH GRADE OF BACKFILL.



- NOTES:
1. PRE-EMERGENT WEED CONTROL ON TOP OF DECOMPOSED GRANITE/DECORATIVE ROCK AFTER ROCK IS PLACED.
 2. MINIMUM 2" THICKNESS DECOMPOSED GRANITE/DECORATIVE ROCK. SIZE AND COLOR PER PLANTING LEGEND.
 3. PRE-EMERGENT WEED CONTROL ON SUBGRADE PRIOR TO ROCK PLACEMENT.
 4. SUBGRADE SHALL BE SMOOTH AND FREE OF DEBRIS PRIOR TO DECORATIVE ROCK PLACEMENT.

A TREE PLANTING

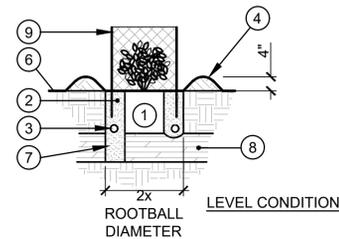
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B TREE ROOT BARRIER

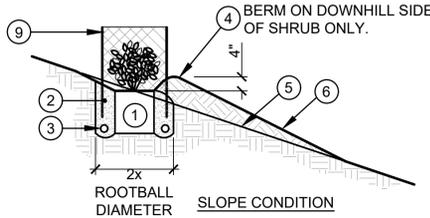
NOT TO SCALE

C ROCK MULCH

NOT TO SCALE



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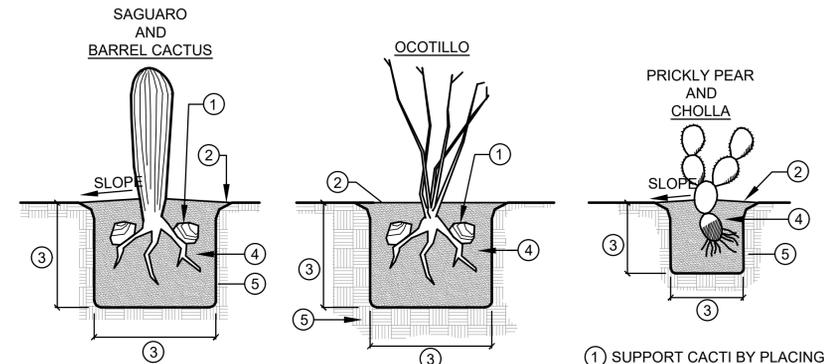


- NOTES:
5. SLOPE GRADE PRIOR TO PLANTING.
 6. FINISH GRADE.
 7. DRILL CHIMNEY DRAINAGE HOLE AT BOTTOM OF PLANT PIT IF HARDPAN OR CALICHE SOIL LAYER IS ENCOUNTERED.
 8. HARDPAN OR CALICHE SOIL LAYER.
 9. BROWSE CAGE. SEE NOTE.

NOTE: CONTRACTOR SHALL INCLUDE BROWSE CAGES FOR ALL SHRUBS AS AN ADDITIVE ALTERNATE IN THE BID. CONTRACTOR SHALL CLOSELY MONITOR SHRUBS FOR WILDLIFE DAMAGE DURING THE MAINTENANCE PERIOD, AND SHALL IMMEDIATELY MAKE A RECOMMENDATION FOR A CORRECTIVE COURSE OF ACTION TO THE OWNER IF WILDLIFE DAMAGE OCCURS OR IS SUSPECTED. SUBMIT BROWSE CAGE SHOP DRAWING FOR APPROVAL PRIOR TO INSTALLATION.

D SHRUB PLANTING

NOT TO SCALE



- NOTES:
1. SET MAIN STEM OF CACTI PLUMB AS VIEWED FROM ALL SIDES.
 2. DO NOT CREATE A BASIN AT BASE OF CACTUS. SLOPE BACKFILL AWAY FROM STEM.
 3. TREAT ALL BARE ROOTS WITH POWDERED SULFUR.
 4. PRICKLY PEAR ONLY - BURY ONE FULL PAD, MINIMUM.
 5. SAGUARO ONLY - BURY PORTION OF GREEN CACTUS 1/10TH HEIGHT OF CACTUS. UP TO A MAXIMUM OF 24"
 6. OCOTILLO - BURY ROOT SYSTEM SUCH THAT TOP OF ROOT SYSTEM IS 6" (MAX.) BELOW FINISHED GRADE

- NOTES:
1. SUPPORT CACTI BY PLACING 2-4 ROCKS (1 CU. FT. MIN) ON ROOTS
 2. FINISH GRADE
 3. 18" MINIMUM
 4. BACKFILL (1/2 SCREENED NATIVE SOIL AND 1/2 CLEAN SAND)
 5. UNDISTURBED NATIVE SOIL

E CACTI PLANTING

NOT TO SCALE



SEAL: M. Fellingner

3945 E FORT LOWELL RD #111 TUCSON, AZ 85712

520-795-1000 rickengineering.com

RICK

LANDSCAPE PLAN PREPARED FOR: DCS UNIVERSITY DRIVE 8008 EAST UNIVERSITY DRIVE MESA, ARIZONA 85207 CITY OF MESA

landscape details

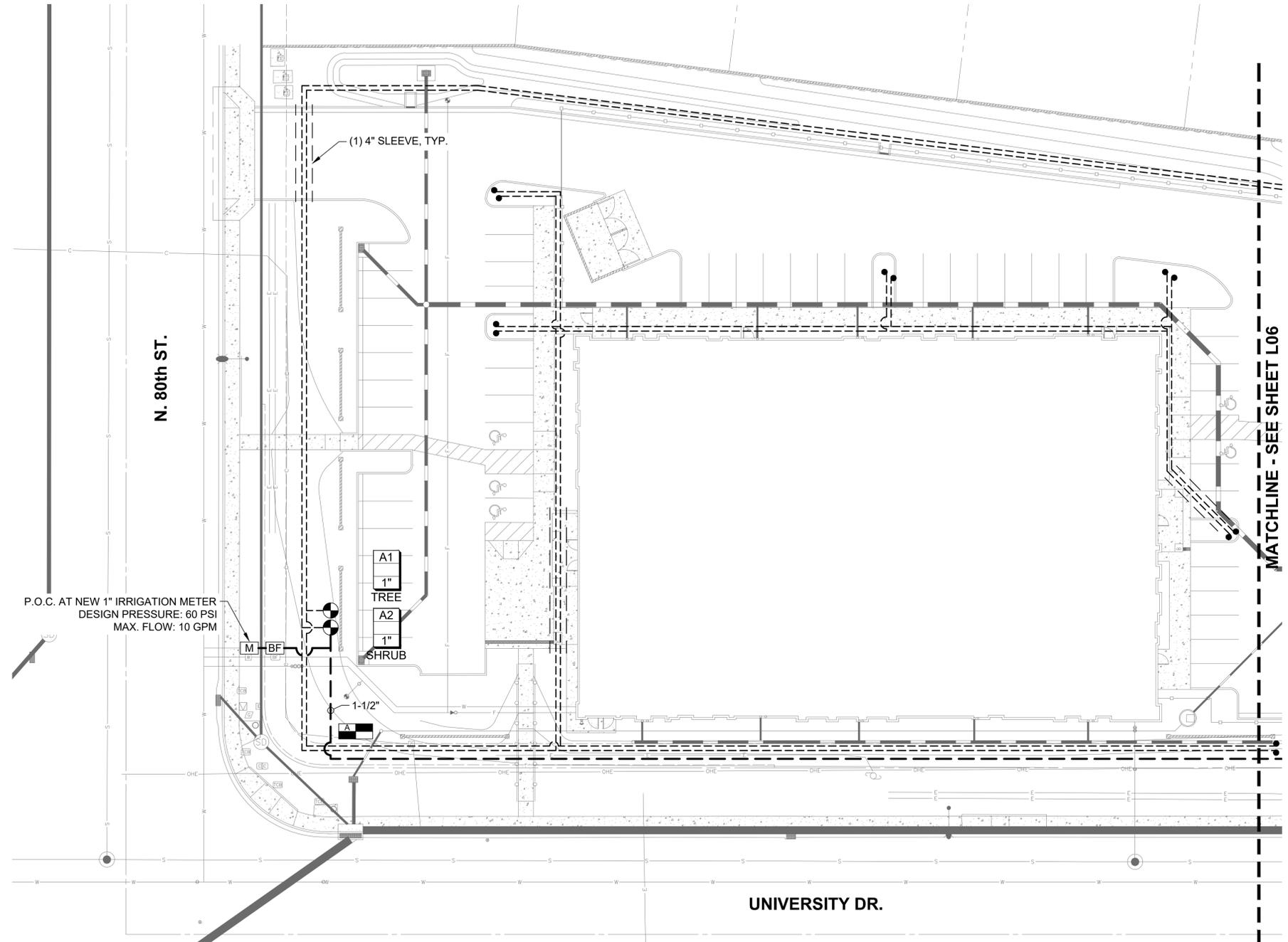


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SHEET NO. 4 OF 7

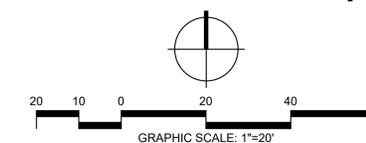
RICK ENGINEERING IRRIGATION NOTES:

- A. ANY CHANGES MADE TO THE PLANS AND DETAILS SHOWN ON THESE DOCUMENTS WHICH ARE NOT APPROVED BY THE LANDSCAPE ARCHITECT RELEASES RICK ENGINEERING OF ANY LIABILITY INCURRED AS A RESULT OF SAID CHANGES.
- B. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR TO FOLLOW AS CLOSELY AS PRACTICAL. INSTALL PIPING AND EQUIPMENT IN PLANTER AREAS WHENEVER POSSIBLE WITH A MINIMUM OF 10' FEET CLEAR FROM TREE ROOT BALLS WHEN POSSIBLE. EQUIPMENT SHOWN ON PAVED AREAS IS FOR DESIGN CLARITY ONLY. IRRIGATION EQUIPMENT SHOWN OUTSIDE OF MAINTENANCE RESPONSIBILITY AREAS FOR CLARITY ONLY. ALL MAINTAINED AREA EQUIPMENT SHALL BE INSTALLED WITHIN THE LIMIT OF WORK LINES. DO NOT MAKE CHANGES OR ALTERATIONS TO PLANS WITHOUT PRIOR APPROVAL OF THE OWNERS REPRESENTATIVE. THE QUANTITIES AND CONDITIONS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK.
- C. IF ANY UTILITIES CONFLICT WITH THE ORIGINAL PLACEMENT OF INTENDED PLANT MATERIAL ON SITE THE LANDSCAPE ARCHITECT WILL AID THE CONTRACTOR IN THE RELOCATION OR SHIFTING OF PLANT MATERIAL ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE THERETO. ALL UTILITIES SHALL BE LOCATED AND VERIFIED PRIOR TO ANY EXCAVATION. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG (811) TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THIS WORK, AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF THE WORK.
- D. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, RULES AND REGULATION OF ALL AUTHORITIES HAVING JURISDICTION OVER THE PREMISES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS.
- E. DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY FIELD CHANGES.
- F. DO NOT INSTALL IRRIGATION MAINLINE THROUGH THE MIDDLE OF PLANTER WHERE POTENTIAL CONFLICTS WITH TREES ARE EXISTING AND/OR PROPOSED. COORDINATE WITH PLANTING PLAN TO AVOID CONFLICTS.
- G. VALVE MANIFOLDS, BALL VALVES, RCV'S, QUICK COUPLERS, ETC. SHALL BE LOCATED WITHIN SHRUB PLANTING AREAS. VERIFY ACTUAL LOCATIONS IN THE FIELD WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- H. THE CONTRACTOR SHALL VERIFY AVAILABLE WATER PRESSURE AT POINT OF CONNECTION AND PROVIDE TO OWNER AND OWNERS REPRESENTATIVE WITH TESTING RESULTS IN WRITING PRIOR TO BEGINNING WORK.
- I. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT THE POINT OF CONNECTION (P.O.C.). THE IRRIGATION CONTRACTOR SHALL VERIFY THE WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POC TO THE OWNERS REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND COSTS ASSOCIATED WITH SAID REVISIONS.
- J. THE CONTRACTOR SHALL FURNISH AN IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE TO ALL INTENDED AREAS. CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS TO ASSURE ADEQUATE SYSTEM COVERAGE AND DISTRIBUTION EFFICIENCY. CONTRACTOR SHALL ADJUST ALL HEADS, LATERALS AND MAINLINE AS REQUIRED TO ACCOMMODATE ANY HORIZONTAL OBSTRUCTIONS THAT MAY OCCUR INCLUDING BUT NOT LIMITED TO FLATWORK, LIGHT POLES, FIRE HYDRANTS, TRANSFORMERS, ETC. ADD ADDITIONAL SPRINKLER HEADS, BUBBLERS, EMITTERS, ETC. AND ADJUST ALL EXISTING AND PROPOSED EQUIPMENT WITHIN THE PROJECT LIMITS OF WORK FOR OPTIMUM COVERAGE AND MINIMUM OVERSPRAY. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- K. THE CONTRACTOR IS TO HAVE ACTUAL LOCATIONS OF THE AUTOMATIC CONTROLLER(S) APPROVED IN THE FIELD BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- L. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE ELECTRICAL SERVICE WITH THE GENERAL CONTRACTOR AND MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- M. SHOULD FIELD CONDITIONS REQUIRE PIPE INSTALLATION OTHER THAN THAT SHOWN ON PLANS, THE CONTRACTOR SHALL LIMIT EXCESS FLOW AND SIZE ALL PIPE NOT TO EXCEED A VELOCITY OF 5 FEET PER SECOND (FPS) IN PVC PIPE. FLOW THROUGH ANCILLARY EQUIPMENT OR COPPER PIPE SHALL NOT EXCEED 7.5 FPS. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- N. BACKFILL OVER MAINLINES SHALL OCCUR ONLY AFTER INSPECTION OF MAINLINES. PROVIDE 4" OF ROCK FREE SOIL OR SAND IMMEDIATELY AROUND PIPE.
- O. INSTALL ALL IRRIGATION PIPING AND WIRES IN SCH 40 PVC SLEEVE WHEN ROUTED UNDER PAVEMENT OR STRUCTURES AS DETAILED AND PER THE SPECIFICATIONS. WIRES ARE TO BE PLACED IN AN INDEPENDENT SLEEVE, SEPARATE FROM THE IRRIGATION PIPING. ALL SLEEVES TO EXTEND 12" MINIMUM PAST THE EDGE OF PAVEMENT AT THE PROPER DEPTH, SEE IRRIGATION DETAILS. ALL SLEEVES SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE BEING SLEEVED UNLESS OTHERWISE NOTED ON PLANS.
- P. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- Q. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS, COORDINATION AND SEQUENCING DURING CONSTRUCTION UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THESE PLANS AND SPECIFICATIONS.
- R. THE CONTRACTOR SHALL VERIFY AND ACCEPT ALL SITE CONDITIONS AND ROUGH GRADES PRIOR TO STARTING ANY WORK. ALL DRAINAGE FLOWS SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- S. CONTRACTOR SHALL INSTALL MANUAL DRAIN VALVE(S) AS DETAILED AT SYSTEM LOW POINT(S) AND FURNISH AND INSTALL FITTINGS AS REQUIRED FOR SYSTEM WINTERIZATION, IF APPLICABLE, PER STANDARD LOCAL PRACTICE.



IRRIGATION EQUIPMENT LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	REMARKS
[M]	NEW 1" WATER METER		
[A]	AUTOMATIC CONTROLLER	6 STA. HUNTER XC HYBRID WITH SOLAR PANEL	STAINLESS STEEL SOLAR OUTDOOR MODEL ON XCHSPOLE
[BF]	BACKFLOW PREVENTION ASSEMBLY	1" FEBCO 825Y	INSTALL AS DETAILED, WITH GUARDSHACK ENCLOSURE (TAN)
[D]	DRIP REMOTE CONTROL VALVE ASSEMBLY	RAINBIRD CONTROL ZONE KIT XCZ-100-PRB-COM	INSTALL AS DETAILED
---	1-1/2" PVC MAINLINE PIPE		PVC SCH 40, SIZE PER PLAN
---	PVC SLEEVE		PVC SCH 40; TWO TIMES DIA. OF PIPE OR WIRE BUNDLE UNLESS SIZE IS NOTED OTHERWISE ON PLAN.
---	3/4" POLYETHYLENE LATERAL		EXTEND FROM PRESSURE REGULATORS TO WITHIN 10' OF EACH TREE AND SHRUB.
○	SINGLE OUTLET EMITTER	RAINBIRD XB-10, OR EQUAL	
○	MULTI-OUTLET EMITTER	RAINBIRD XB-10-6, OR EQUAL	
●	FLUSH CAP	JAIN IRRIGATION MODEL CEFCHL	INSTALL IN 6" ROUND VALVE BOX



LANDSCAPE PLAN PREPARED FOR:

DCS UNIVERSITY DRIVE
8008 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

irrigation plan

520-795-1000
rickengineering.com

3945 E FORT LOWELL RD #111
TUCSON, AZ 85712

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

RICK

PROJECT NO: 7408
DATE: 10/2025

SEAL

MARK E. FELLINGER
10/22/25

CHECKED BY:

DRAWN/DESIGNED BY:

MEF

NO.

BY

DATE

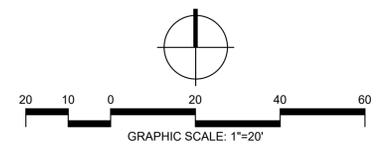
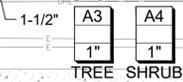
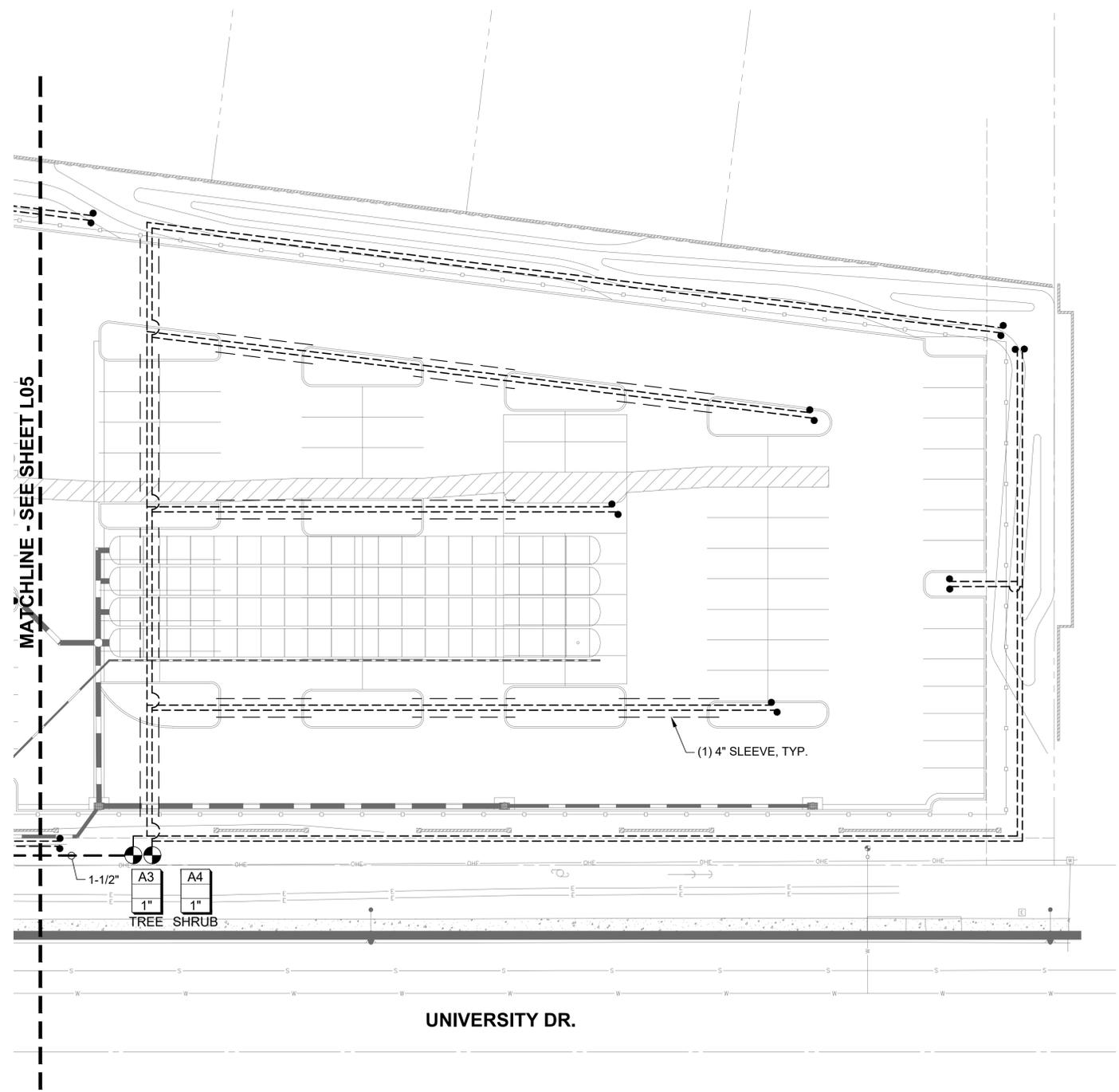
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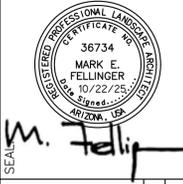
SHEET NO. **5** OF **7**

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com



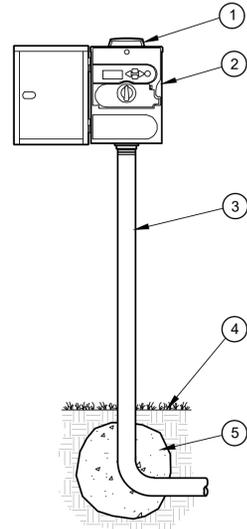
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RICK
 PROJECT NO: 7408
 DATE: 10/2025
 DRAWN/DESIGNED BY: MEF
 CHECKED BY:

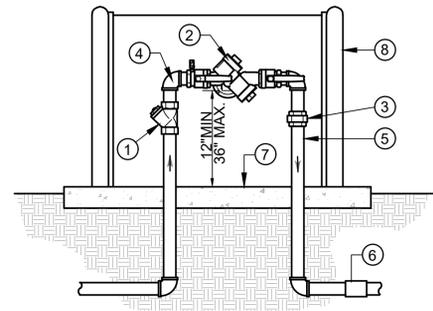
LANDSCAPE PLAN PREPARED FOR:
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 MESA, ARIZONA 85207
 CITY OF MESA
irrigation plan





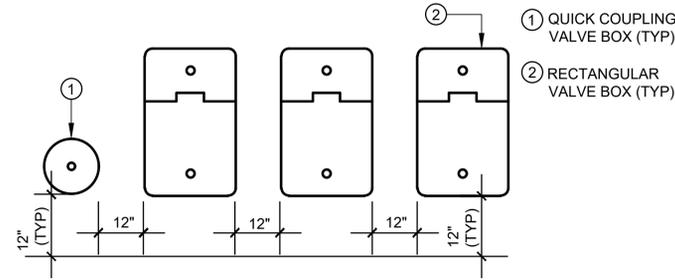
- 1 SOLAR PANEL PER IRRIGATION LEGEND
- 2 IRRIGATION CONTROLLER PER IRRIGATION LEGEND
- 3 STAINLESS STEEL POLE AND MOUNTING BRACKET
- 4 FINISHED GRADE
- 5 MIN. 1 CU. FT. CONCRETE

A IRRIGATION CONTROLLER NOT TO SCALE



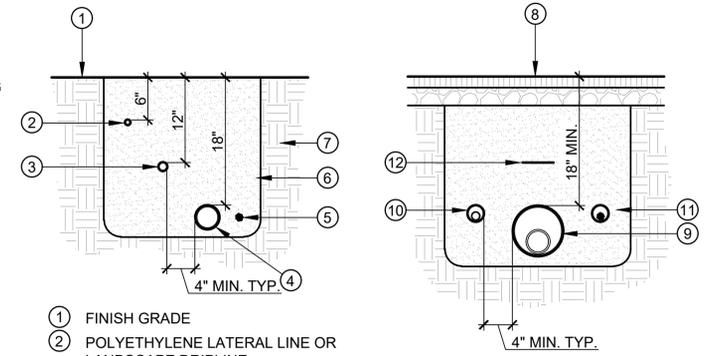
- 1 BRASS WYE STRAINER (LINE SIZE)
- 2 REDUCED PRESSURE BACKFLOW DEVICE WITH 2 BALL VALVES, REFER TO PLAN FOR TYPE AND SIZE
- 3 BRASS UNION
- 4 BRASS ELL (TYPICAL)
- 5 BRASS NIPPLE, TYPICAL
- 6 PVC MALE ADAPTER
- 7 3" THICK CONCRETE PAD. WRAP PIPES W/ 10 MIL. TAPE. SATURATE AND COMPACT SUB-GRADE TO 90% PRIOR TO POUR.
- 8 ENCLOSURE PER LEGEND.

B BACKFLOW PREVENTION DEVICE NOT TO SCALE



- NOTES:
1. VALVE BOXES SHALL BE LABELED BY HOT IRON BRANDING OR ALUMINUM ASPHALT BASED WATERPROOF PAINT.
 2. CONTROL VALVES SHALL BE INSTALLED TO ALLOW ORDERLY ARRANGEMENT OF VALVE BOXES.
 3. LOCATE VALVE ASSEMBLIES IN SHRUB OR GROUND COVER AREAS WHEN POSSIBLE.
 4. LOCATION OF VALVE ASSEMBLIES SHALL BE STAKED FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 5. CENTER VALVE BOXES OVER VALVE ASSEMBLY TO FACILITATE ACCESS AND MAINTENANCE.
 6. SET VALVE BOXES AT EQUAL ELEVATIONS WITH TOPS AT FINISH GRADE IN TURF AREAS OR 2" ABOVE FINISH GRADE IN SHRUB/GROUND COVER AREAS.
 7. VALVE BOXES SHALL BE SET PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF AREA.
 8. DO NOT DEFORM OR COLLAPSE VALVE BOX BY EXCESSIVE SOIL COMPACTING AROUND BOX.
 9. ON RECYCLED SYSTEMS ALL VALVE BOXES AND QUICK COUPLING VALVES SHALL BE CLEARLY COLORED PURPLE.

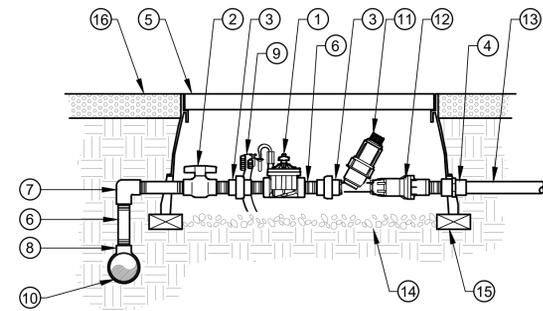
C VALVE BOX LAYOUT NOT TO SCALE



- 1 FINISH GRADE
- 2 POLYETHYLENE LATERAL LINE OR LANDSCAPE DRIPLINE.
- 3 PVC LATERAL LINE
- 4 PVC MAINLINE
- 5 DIRECT BURIAL LOW VOLTAGE CONTROL WIRES, BUNDLE AT 10 FT. O.C., BURY AT SAME DEPTH AS MAINLINE
- 6 CLEAN BACKFILL, SATURATE AND COMPACT TO 90%
- 7 UNDISTURBED SOIL
- 8 PAVED SURFACE
- 9 MAIN LINE SLEEVE
- 10 LATERAL LINE SLEEVE
- 11 CONTROL WIRE SLEEVE
- 12 MARKING TAPE

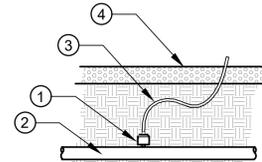
NOTE: EXTEND SLEEVE ENDS 24" BEYOND BACK OF CURB, WALK, OR PAVEMENT EDGE. A CONTINUOUS MAGNETIC MARKING TAPE SHALL BE PLACED 12 INCHES BELOW FINISHED GRADE ABOVE THE SLEEVE. AT ROAD CROSSINGS, THE CURB SHALL BE MARKED BY A STAMPED LABEL "I" (IRRIGATION SYSTEM). SLEEVE ENDS SHALL BE COVERED WITH HEAVY DUTY TAPE TO PREVENT SOIL FROM ENTERING SLEEVES UPON BACK FILLING.

D TRENCHING AND SLEEVING NOT TO SCALE



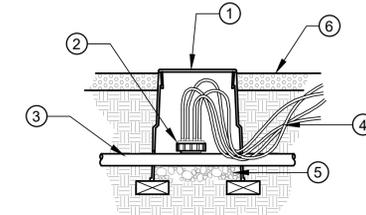
- 1 REMOTE CONTROL VALVE PER IRRIGATION LEGEND.
- 2 2" GRAY FEMALE THREADED PVC BALL VALVE (SAME SIZE AS RCV)
- 3 SCH. 80 PVC UNION (THREADED)
- 4 SCH. 80 PVC FEMALE ADAPTER (FPT x SLIP)
- 5 VALVE BOX.
- 6 2" SCH. 80 PVC NIPPLE, TYP.
- 7 2" SCH. 80 PVC ELBOW (THREADED)
- 8 2" SCH. 80 PVC TEE (THREADED)
- 9 30-INCH LINEAR LENGTH OF WIRE, COILED, WATERPROOF CONNECTIONS
- 10 PVC MAINLINE PER IRRIGATION LEGEND, SIZE PER PLAN
- 11 WYE FILTER PER IRRIGATION LEGEND
- 12 PRESSURE REGULATOR PER IRRIGATION LEGEND
- 13 LATERAL LINE PER IRRIGATION LEGEND, SIZE PER PLAN
- 14 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- 15 BRICKS FOR BOX SUPPORT (1 AT EA. CORNER)
- 16 FINISHED GRADE OF ROCK MULCH

E REMOTE CONTROL VALVE (DRIP) NOT TO SCALE



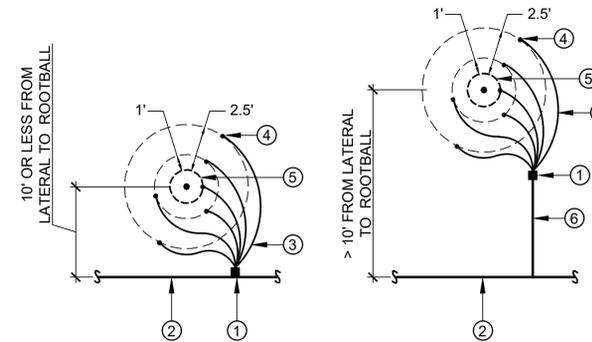
- 1 SINGLE OUTLET DRIP EMITTER PER LEGEND
- 2 3/4" POLYETHYLENE LATERAL
- 3 1/4" DISTRIBUTION TUBING
- 4 FINISH GRADE

F SINGLE OUTLET DRIP EMITTER NOT TO SCALE



- 1 6" ROUND VALVE BOX
- 2 MULTI-OUTLET DRIP EMITTER PER LEGEND
- 3 3/4" POLYETHYLENE LATERAL
- 4 1/4" DISTRIBUTION TUBING
- 5 3" MIN. DEPTH OF 3/4" WASHED GRAVEL
- 6 FINISH GRADE

G MULTI-OUTLET DRIP EMITTER NOT TO SCALE



- 1 MULTI-OUTLET DRIP EMITTER
- 2 LATERAL LINE PER LEGEND
- 3 1/4" DISTRIBUTION TUBING, TYP.
- 4 DISCHARGE POINT, TYP., TO BE 1" ABOVE FINISH GRADE
- 5 TREE ROOTBALL
- 6 INSTALL SUBLATERALS WHERE TREE ROOTBALL IS GREATER THAN 10' FROM LATERAL

H EMITTER PLACEMENT @ TREES NOT TO SCALE



SEAL: M. Fellingner

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LANDSCAPE PLAN PREPARED FOR:
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8008 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

irrigation details



DRAWING NO. **L07**
SHEET NO. **7** OF **7**

ENGINEER'S GRADING NOTES

- ALL ONSITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION OF THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AND THE "UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" AS SPONSORED AND DISTRIBUTED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.), AND CITY OF MESA SUPPLEMENTS TO MAG (MEASUREMENT AND PAYMENT TERMS TO NOT APPLY).
- SUBGRADE PREP SHALL CONFORM TO THE LATEST MAG STANDARD SPECIFICATIONS SECTION 301.
- AGGREGATE BASE COURSE SHALL CONFORM TO THE LATEST MAG STANDARD SPECIFICATION SECTION 310.
- ASPHALTIC CONCRETE SHALL CONFORM TO THE LATEST MAG STANDARD SPECIFICATION SECTION 321, 3/4" MIX.
- ALL CONCRETE SHALL CONFORM TO THE LATEST MAG STANDARD SPECIFICATION SECTION 725, CLASS B (2,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS), CLASS A (3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS), OR CLASS AA (4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS). ALL CONCRETE FLATWORK TO BE PERFORMED PER MAG SPECIFICATION 340.
- ALL PERMITS FROM APPLICABLE GOVERNMENT AGENCIES NECESSARY FOR CONSTRUCTION SHALL BE ACQUIRED PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- ALL REQUIRED AND APPLICABLE TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO REVIEW OF THE CITY AND SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF PHOENIX TRAFFIC BARRICADE MANUAL.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES BETWEEN HIS ESTIMATED QUANTITIES AND THOSE SHOWN ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE SITE CONDITIONS WITH THE DRAWINGS PRIOR TO CONSTRUCTION, ANY DISCREPANCIES AND OMISSIONS SHALL BE RESOLVED WITH THE PROJECT ENGINEER. DO NOT USE SCALED DIMENSIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS FOR CLEANING TRUCKS AND/OR OTHER EQUIPMENT OF MUD PRIOR TO ENTERING PUBLIC STREETS, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS AND TAKE WHATEVER MEANS NECESSARY TO INSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- AN APPROVED SET OF PLANS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES WORK IS IN PROGRESS. DEVIATION FROM THE PLANS WILL NOT BE ALLOWED WITHOUT AN APPROVED PLAN REVISION.
- THE CONTRACTOR SHALL INSTALL ALL FRAMES AND COVERS FOR MANHOLES, VALVES, AND CLEANOUTS TO THE FINISHED GRADE IN ACCORDANCE WITH M.A.G. STANDARD DETAILS 270 AND 422, AS APPLICABLE. ALL UTILITY ACCESS POINTS PLACED IN TRAFFIC AREAS SHOULD BE TRAFFIC RATED.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1. THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PLACEMENT, AND CIVIL CONCRETE PLACEMENT. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE OWNER SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR AND OWNER WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.

ENGINEER'S GRADING NOTES CONT'D

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- RICK ENGINEERING HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. RICK ENGINEERING FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND RICK ENGINEERING HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR RICK ENGINEERING.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING RICK ENGINEERING AT 602-957-3350.

ENGINEER'S GENERAL UTILITY NOTES

- EXISTING UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO RICK ENGINEERING. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND RICK ENGINEERING DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO UNCOVER ALL EXISTING WATER AND SEWER LINES BEING CONNECTED TO AND TO VERIFY THE LOCATIONS, DEPTH, FLOW LINE, ELEVATIONS, AND SIZE OF PIPE BEFORE ANY CONSTRUCTION BEGINS.
- ANY CONSTRUCTION PERFORMED WITHOUT THE KNOWLEDGE OF THE INSPECTOR OR HIS REPRESENTATIVE IS LIABLE FOR REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY FINISHED GRADES AS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION AND INVERT OF THE BUILDING UTILITIES AS SHOWN ON THE APPROVED PLUMBING PLAN PRIOR TO CONSTRUCTION.
- ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATIONS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- ANY QUESTIONS RAISED RELATIVE TO THE ACCURACY OF IMPROVEMENT INSTALLATION SHALL BE RAISED PRIOR TO THE COMMENCEMENT OF THE WORK IN QUESTION.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT TO CONSTRUCT/INSTALL THE IMPROVEMENTS SHOWN ON THESE PLANS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "AS-BUILT" DRAWINGS TO THE MUNICIPALITY HAVING JURISDICTION.
- DIMENSIONS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY; SEE THE ARCHITECT'S DIMENSIONED SITE PLAN OR HORIZONTAL CONTROL PLAN FOR SITE LAYOUT. DO NOT SCALE THESE PLANS.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DISTURBED OR DAMAGED PROPERTY INCLUDING CONCRETE, PAVEMENT, LANDSCAPING, AND IRRIGATION SYSTEMS TO ORIGINAL CONDITION PER MAG SPECIFICATIONS.
- THE INVERT ELEVATIONS SHOWN ON THESE PLANS HAVE BEEN DESIGNED TO PROVIDE AT LEAST ONE (1) FOOT OF COVER OVER THE TOP OF THE PIPE (EXCLUDING THE PAVEMENT THICKNESS). THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE NEWLY INSTALLED PIPES FROM DAMAGE CAUSED BY CONSTRUCTION ACTIVITY ON THE SITE PRIOR TO THE FINAL PAVEMENT SECTION BEING INSTALLED.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN INDEPENDENT GEOTECHNICAL TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT BEDDING AND BACKFILL. DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR AND OWNER WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- ALL VALVE BOXES, METER BOXES, MANHOLE RIMS, SEWER CLEAN OUT RIMS, ETC. SHALL BE ADJUSTED TO FINAL FINISHED GRADE PER MAG STANDARD DETAIL 270 AND 422 PRIOR TO ACCEPTANCE OF THE WORK BY OWNER.
- ALL NON-METALLIC BURIED UTILITY LINES SHALL HAVE #12 AWG COPPER CLAD STEEL TRACER WIRE WITH 30 MIL (HDPE) INSULATION. SECURELY ATTACH WIRE TO PIPE AT 8' INTERVALS. TRACER WIRE COLORS SHALL BE AS FOLLOWS:
PRIVATE WATER LINE - BLUE
PRIVATE SEWER LINE - GREEN
PRIVATE STORM DRAIN LINE - GREEN
PRIVATE GAS - YELLOW

ENGINEER'S PRIVATE FIRE LINE NOTES

- ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. INSTALLATION, MATERIALS, AND TESTING SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE AND THE LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24.
- COMPACTION, BEDDING, AND BACKFILL SHALL BE PER M.A.G. UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE RECOMMENDATIONS FOR UTILITY EXCAVATION CONTAINED WITHIN THE GEOTECHNICAL REPORT.

ENGINEER'S PRIVATE UTILITY NOTES

- ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- COMPACTION, BEDDING, AND BACKFILL SHALL BE PER M.A.G. UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE RECOMMENDATIONS FOR UTILITY EXCAVATION CONTAINED WITHIN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL SUBMIT PIPE, FITTING, PIPE TAPPING, VALVE, TESTING, AND BACKFILL SUBMITTAL TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDER AND START OF INSTALLATION.
- WATER PIPING SHALL BE INSTALLED A MINIMUM OF 12" ABOVE THE SEWER AT CROSSINGS PER IPC SECTION 603.2.
- CONTRACTOR SHALL TEST ALL SEWER AND WATER PIPING PER IPC SECTIONS 107.2 AND 312 PRIOR TO BACKFILL AND COVER. CALL FOR INSPECTION AND WITNESS TESTING PRIOR TO CONCEALING WATER AND SEWER PIPING.
- CONTRACTOR SHALL FLUSH AND DISINFECT ALL POTABLE WATER PIPING PER IPC SECTION 610 PRIOR TO OCCUPANCY.
- THE TRANSITION FITTINGS FROM COPPER TO PVC SHALL COMPLY WITH SECTION 605.23 OF THE IPC (2018 EDITION).
- ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH.

EARTHWORK + MATERIALS TESTING

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES WILL BE PROVIDED UPON COMPLETION OF THE GEOTECHNICAL REPORT. ALL EARTHWORK OPERATIONS WILL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY CAPABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, UTILITY BACKFILL, ASPHALT PLACEMENT, AND CIVIL CONCRETE PLACEMENT. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR AND OWNER WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE POSITIVE GRADE AWAY FROM ALL BUILDING FOUNDATIONS.

STORM DRAIN NOTES

- ALL ON-SITE PRIVATE HDPE STORM DRAIN MATERIAL SHALL MEET THE REQUIREMENTS OF ASTM F2648 AND SHALL BE WATER TIGHT JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE DESIGN MANNINGS 'N' VALUE SHALL BE 0.012. JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3212, ASTM F2487, AND ASTM F1417. PIPES SHALL BE DESIGNED TO SUPPORT H-25 LOADING WITH 1-FOOT OF COVER. INSTALL PIPE PER MANUFACTURER SPECIFICATIONS, AS WELL AS, MAG STANDARD SPECIFICATION SECTION 601.
- FITTINGS SHALL BE IN ACCORDANCE WITH ASTM F2306 AND ASTM F2648. WATERTIGHT FITTINGS SHALL PROVIDE A JOINT THAT MEETS THE WATERTIGHT REQUIREMENTS OF ASTM D3212. TO INSURE COMPATIBILITY IN THE FIELD, THE PIPE MANUFACTURER SHALL PROVIDE ALL FITTINGS.

RIP RAP NOTES

- RIP RAP MATERIAL SHALL CONFORM TO MAG STANDARD SPECIFICATION SECTION 703. RIP RAP SHALL BE HAND PLACED RIP RAP PER MAG STANDARD SPECIFICATION SECTION 220.5 AND SHALL BE WELL GRADED, VARYING IN SIZE FROM 4 TO 8 INCHES (d₆₀=6", T=2d₆₀). THE RIP RAP LAYER SHALL BE 12 INCHES MINIMUM THICKNESS.
- FILTER FABRIC UNDER RIP RAP SHALL CONFORM TO MAG STANDARD SPECIFICATION SECTION 796.2.3, CLASS B FOR HIGH SURVIVABILITY GEOTEXTILE MATERIAL INERT TO COMMONLY ENCOUNTERED CHEMICALS.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL PROPOSED RIP RAP AREAS SUCH THAT THE FINISHED SURFACE OF THE RIP RAP WILL MATCH THE FINISHED SURFACE ELEVATION AND SLOPE AS CALLED OUT ON THESE PLANS.

LEGEND

	PROJECT RIGHT-OF-WAY		EXISTING TRANSFORMER
	EXISTING RIGHT-OF-WAY		EXISTING STREET LIGHT
	PROJECT/NEW PROPERTY LINE		EXISTING TRAFFIC SIGNAL STRUCTURE
	EXISTING PROPERTY LINE		EXISTING ELECTRIC PULL BOX
	ROADWAY CENTERLINE		EXISTING COMMUNICATION PEDESTAL
	EXISTING EASEMENT		EXISTING COMMUNICATION PULL BOX/VAULT
	EXISTING MINOR CONTOUR		EXISTING TRAFFIC CONTROL BOX
	EXISTING MAJOR CONTOUR		EXISTING UTILITY POLE
	NEW CONTOUR		NEW SEWER CLEANOUT
	EXISTING CONCRETE		NEW WATER VALVE
	EXISTING WALL		NEW WATER METER
	NEW ASPHALT		NEW BACKFLOW PREVENTER
	NEW CONCRETE		NEW FIRE HYDRANT
	NEW WALL		NEW FIRE CONNECTION
	EXISTING CURB		NEW FIRE BACKFLOW PREVENTER
	NEW CURB		NEW REDUCER
	NEW PAINT STRIPE		NEW SIGN
	NEW FENCE		SURVEY MONUMENT AS NOTED
	EXISTING UNDERGROUND ELECTRIC		SPOT ELEV. (EXIST. GRADE)
	EXISTING COMMUNICATION LINE		SPOT ELEV. (NEW GRADE)
	EXISTING OVERHEAD ELECTRIC		RIGHT-OF-WAY
	EXISTING SEWER LINE		BACK OF CURB
	EXISTING WATER LINE		SIDEWALK
	NEW STORM DRAIN PIPE		RADIUS
	NEW SEWER LINE		PAVEMENT (ASPHALT)
	NEW WATER LINE		CONCRETE
	NEW FIRE SERVICE		GUTTER
	EXISTING SEWER MANHOLE		TOP OF CURB
	EXISTING WATER VALVE		FINISHED GRADE
	EXISTING WATER METER		GRADE BREAK
	EXISTING STORM DRAIN MANHOLE		FINISHED FLOOR ELEVATION
	EXISTING GAS MARKER		PUBLIC UTILITY EASEMENT
			MATCH EXISTING
			RIM
			INVERT
			LENGTH
			SLOPE

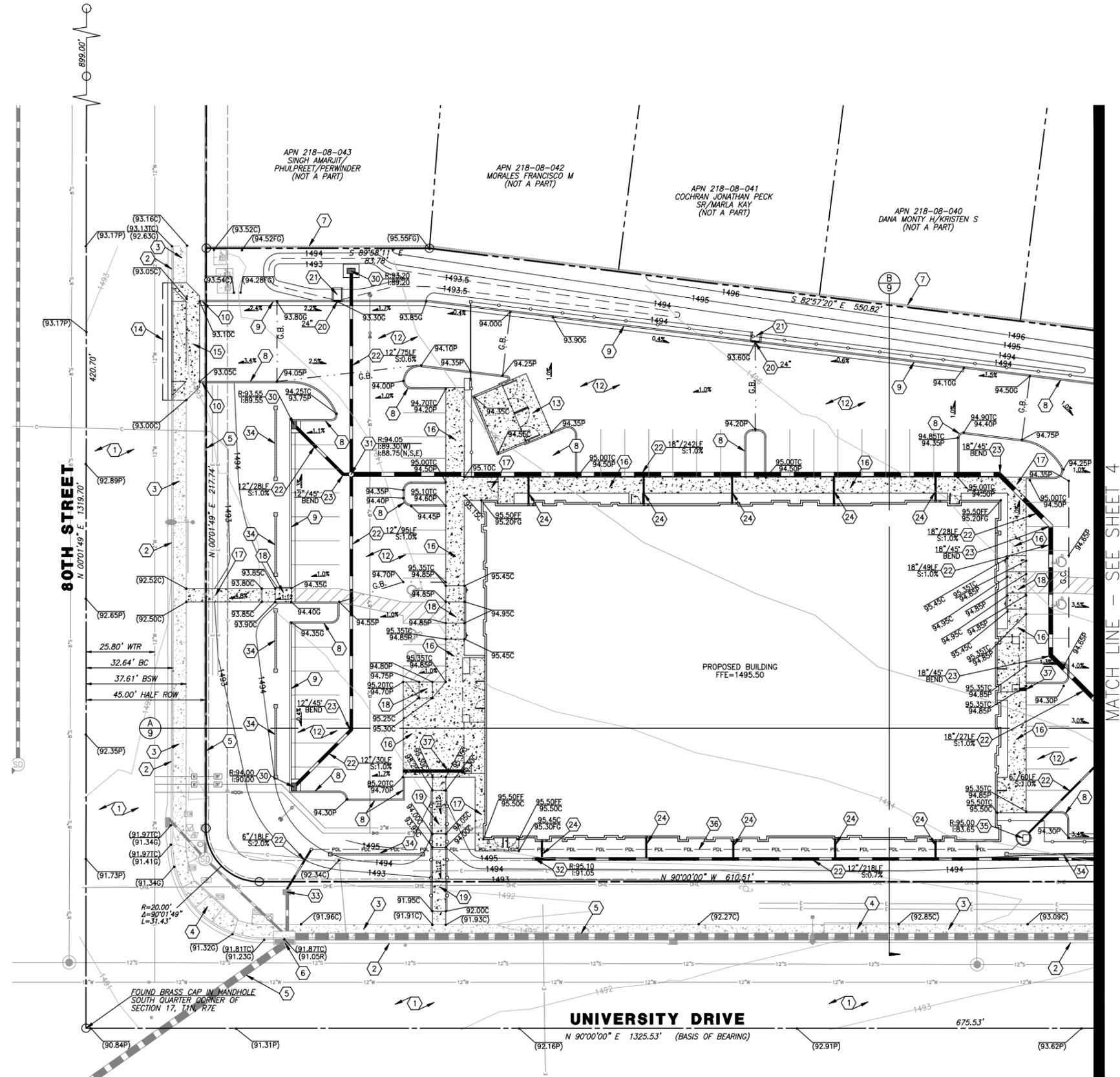
NO.	BY	DATE	REVISION



SEAL: 2401 W PEORIA AVE, SUITE 120 PHOENIX, AZ 85029
 602-957-3350 rickengineering.com
 SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER
 PROJECT NO: 7408 DRAWN/DESIGNED BY: CN
 DATE: 10/22/2025 CHECKED BY: JH

CONSTRUCTION DOCUMENTS PREPARED FOR:
DCS UNIVERSITY DRIVE
 8008 EAST UNIVERSITY DRIVE
 MESA, ARIZONA 85207
 CITY OF MESA
NOTES





KEYNOTES

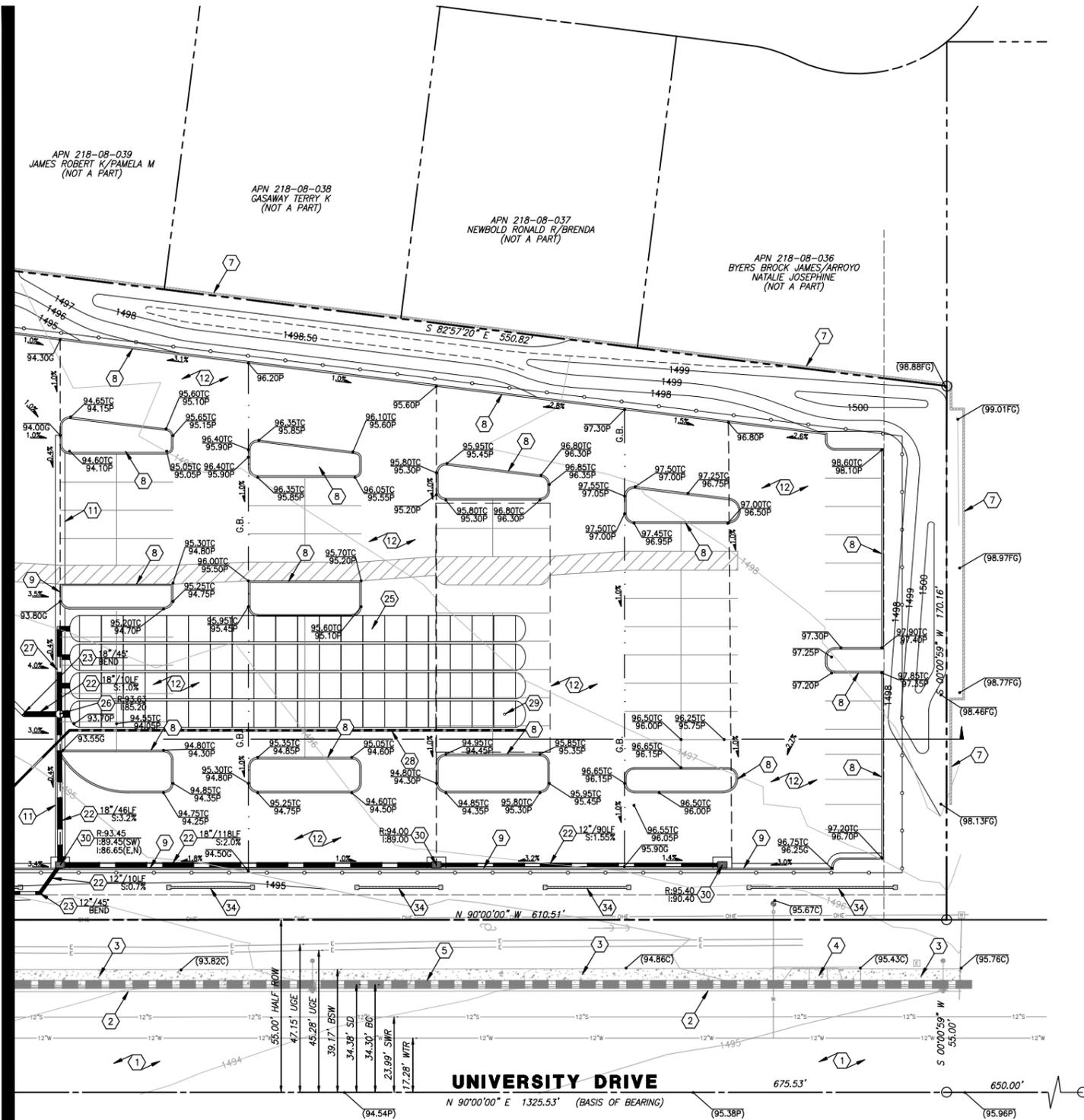
- 1 EXISTING ASPHALT PAVEMENT TO REMAIN.
- 2 EXISTING CURB TO REMAIN.
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4 EXISTING ACCESSIBLE RAMP TO REMAIN.
- 5 EXISTING STORM DRAIN PIPE TO REMAIN.
- 6 EXISTING STORM DRAIN INLET TO REMAIN.
- 7 EXISTING MASONRY SCREEN WALL TO REMAIN.
- 8 NEW 6" VERTICAL CURB PER MAG DETAIL 222, TYPE 'A'.
- 9 NEW 6" VERTICAL CURB AND GUTTER PER MAG DETAIL 220, TYPE 'A'.
- 10 NEW CONCRETE VERTICAL CURB TERMINATION PER MAG DETAIL 222.
- 11 NEW 36" CONCRETE VALLEY GUTTER PER DETAIL A, SHEET 6.
- 12 NEW 3" AC PAVEMENT OVER 6" ABC PER DETAIL B, SHEET 6.
- 13 NEW TRASH ENCLOSURE AND CONCRETE APRON. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND DETAIL C, SHEET 6 FOR PAVEMENT SECTION DETAIL.
- 14 SAWCUT A MINIMUM 24" INTO THE EXISTING PAVEMENT, AT FULL DEPTH. REMOVE EXISTING ASPHALT, TACK, JOIN AND REPLACE PAVEMENT IN KIND.
- 15 NEW DRIVEWAY PER CITY OF MESA DETAIL M-40.01.
- 16 NEW MODIFIED CONCRETE SIDEWALK PER DETAIL D, SHEET 6. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL FINISH AND SCORING DETAILS.
- 17 NEW CONCRETE SIDEWALK PER MAG DETAIL 230. MAXIMUM CROSS SLOPE = 1.8%. MAXIMUM RUNNING SLOPE = 4.8% PER ICC A117.1, CHAPTER 4. ACCESSIBLE ROUTES.
- 18 NEW 6" CONCRETE ACCESS RAMP PER IBC CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. PROVIDE TRACTION SURFACE CONSISTING OF 1/4"x1/4" TOOLED GROOVES, 1" O.C. REFER TO DETAIL E, SHEET 6.
- 19 NEW CONCRETE ACCESS RAMP PER IBC CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. MAXIMUM CROSS SLOPE = 1.8%. MAXIMUM RAMP SLOPE = 1:12. REFER TO ARCHITECTURAL PLANS FOR HANDRAIL DETAILS.
- 20 NEW CURB OPENING PER DETAIL F, SHEET 6. WIDTH INDICATED PER PLAN.
- 21 NEW CONCRETE SPILLWAY PER DETAIL G, SHEET 6.
- 22 NEW HDPE STORM DRAIN PIPE WITH MANNING n=0.012 AND WATER TIGHT JOINTS. SIZE, LENGTH, AND SLOPE INDICATED PER PLAN. REFER TO STORM DRAIN NOTES, SHEET 2.
- 23 NEW HDPE STORM DRAIN FITTING. TYPE AND SIZE INDICATED PER PLAN. REFER TO STORM DRAIN NOTES, SHEET 2.
- 24 NEW STORM DRAIN LATERAL PIPE ASSEMBLY PER DETAIL H, SHEET 6. CONNECTION TO ROOF DRAIN OUTLET PER PLUMBING PLAN. CONTRACTOR SHALL VERIFY LOCATION AND INVERT PRIOR TO CONSTRUCTION.
- 25 NEW STORMTECH MC-7200 STORM WATER RETENTION CHAMBERS. REFER TO DETAIL, SHEET 10. TOTAL CHAMBERS = 80 EA. TOTAL VOLUME = 22,306 CF. TOP ELEV = 1490.00. BOT ELEV = 1485.00.
- 26 NEW 30" DIAMETER NYLOPLAST DRAINAGE BASIN WITH SOLID COVER AND 24" SUMP. REFER TO BASIN DETAIL, SHEET 7 AND SUMP DETAIL, SHEET 10.
- 27 NEW 24" INLET MANIFOLD PER STORMTECH DETAIL SHEET 10.
- 28 NEW 6" PERFORATED UNDERDRAIN PIPE PER STORMTECH DETAIL, SHEET 10.
- 29 NEW INSPECTION PORT PER STORMTECH DETAIL, SHEET 10.
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- 31 NEW 24" DIAMETER NYLOPLAST DRAIN BASIN WITH SOLID COVER. REFER TO SHEET 7 FOR DETAIL.
- 32 NEW 12" NYLOPLAST INLINE DRAIN. REFER TO SHEET 7 FOR DETAIL.
- 33 CORE AND CONNECT TO EXISTING CONCRETE CATCH BASIN. GROUT ANNUAL SPACES. CONTRACTOR TO VERIFY LOCATION AND INVERT PRIOR TO CONSTRUCTION.
- 34 NEW SCREEN WALL. REFER TO ARCHITECTURAL PLAN FOR DETAILS.
- 35 NEW BLEED OFF PUMP WET WELL. REFER TO SHEET 8 FOR DETAIL. RIM AND INVERT PER PLAN.
- 36 NEW 3" PVC PUMP DISCHARGE LINE. MINIMUM BURIAL DEPTH 18".
- 37 NEW 12" SIDEWALK SCUPPER AND MCNICHOLS GRATE AT ROOF DRAIN DOWNSPOUT PER DETAIL I, SHEET 6. CONTRACTOR TO VERIFY LOCATION OF PRIMARY ROOF DRAIN PRIOR TO CONSTRUCTION.

MATCH LINE - SEE SHEET 4



	<p>3602-957-3350 rickengineering.com</p> <p>RICK</p>	<p>2401 W PEORIA AVE, SUITE 120 PHOENIX, AZ 85029</p> <p>SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER</p>	<p>PROJECT NO: 7408 DRAWN/DESIGNED BY: JH CHECKED BY: JH</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>BY</th> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	BY	DATE	REVISION				
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<p>CONSTRUCTION DOCUMENTS PREPARED FOR:</p> <p>DCS UNIVERSITY DRIVE 8008 EAST UNIVERSITY DRIVE MESA, ARIZONA 85207 CITY OF MESA</p>		<p>GRADING & DRAINAGE PLAN</p>										
<p>CONTACT ARIZONA 811 AT LEAST TWO FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION</p> <p>ARIZONA811 Call 811 or click Arizona811.com</p>		<p>DRAWING NO. GD1 SHEET NO. 3 OF 12</p>										

MATCH LINE - SEE SHEET 3



KEYNOTES

- 1 EXISTING ASPHALT PAVEMENT TO REMAIN.
- 2 EXISTING CURB TO REMAIN.
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN.
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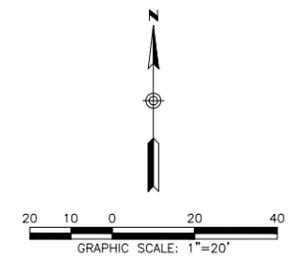


CONSTRUCTION DOCUMENTS PREPARED FOR:
DCS UNIVERSITY DRIVE
8008 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

GRADING & DRAINAGE PLAN

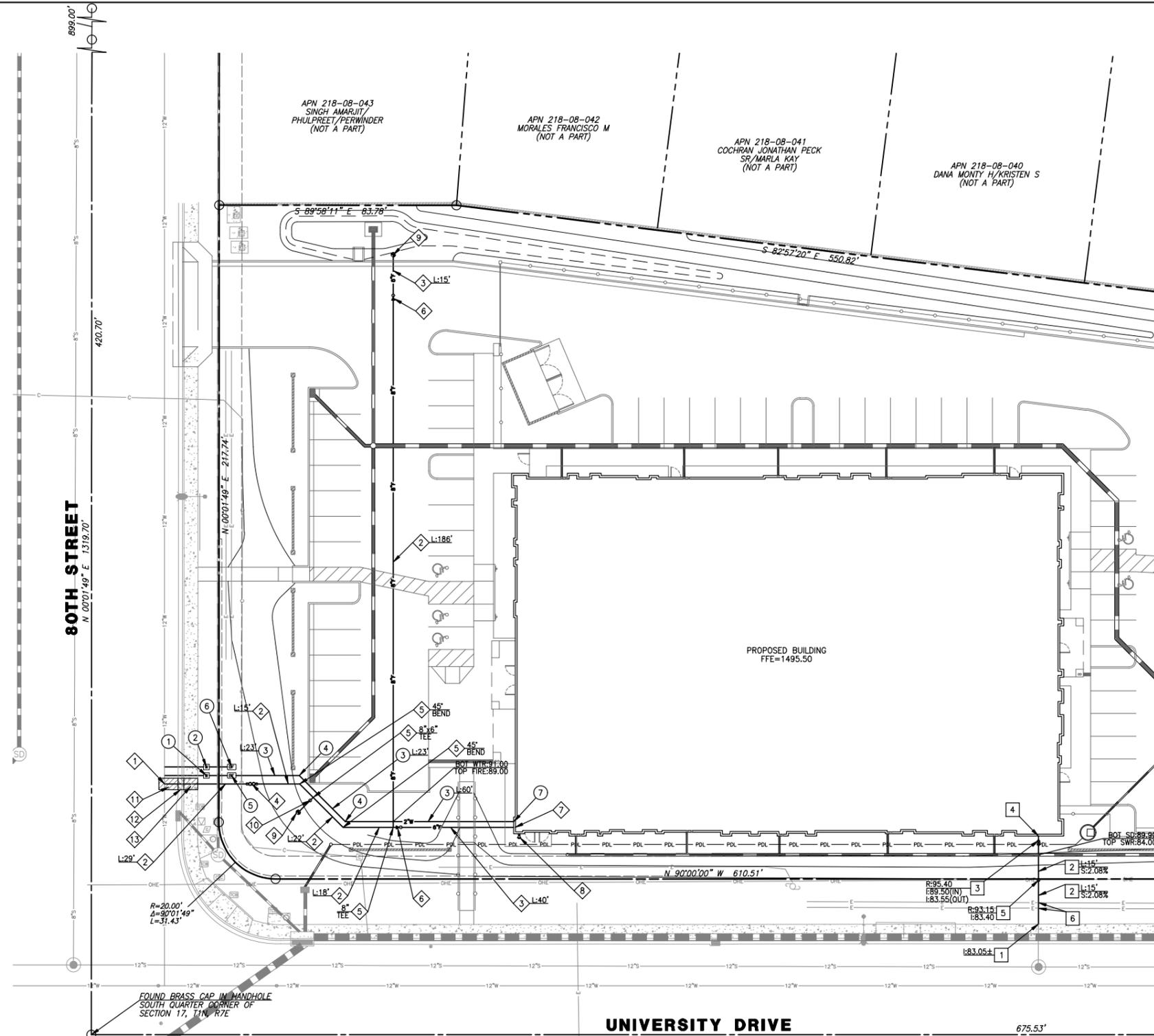


DRAWING NO.
GD2
SHEET NO. 4 OF 12



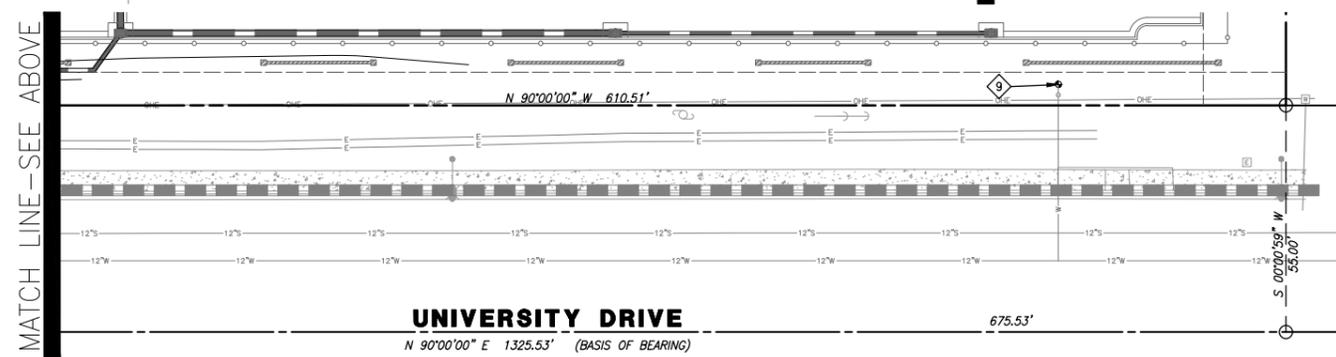
NO.	BY	DATE	REVISION

PROJECT NO.: 7408
DRAWN/DESIGNED BY: JH
CHECKED BY: JH
DATE: 10/22/2025



MATCH LINE - SEE BELOW

MATCH LINE - SEE ABOVE



PRIVATE WATER KEYNOTES

- 1 NEW 2" WATER SERVICE AND METER PER CITY OF MESA DETAIL M-29.01. CONNECT TO FOR DOMESTIC WATER SERVICE.
- 2 NEW 1" WATER SERVICE AND METER PER CITY OF MESA DETAIL M-29.01. CONNECT TO FOR IRRIGATION SERVICE.
- 3 NEW 2" PVC (SCHEDULE 80) WATER LINE. ALL PIPE AND FITTINGS SHALL BE NSF-61 COMPLIANT. 3' MINIMUM COVER.
- 4 NEW 2" PVC (SCHEDULE 80) 45° BEND FITTING. ALL PIPE AND FITTINGS SHALL BE NSF-61 COMPLIANT.
- 5 NEW 2" NSF-61 COMPLIANT BACKFLOW PREVENTER IN LOCKABLE STEEL ENCLOSURE. INSTALL PER CITY OF MESA DETAIL M-31.03 AND MANUFACTURER SPECIFICATIONS.
- 6 NEW 1" BACKFLOW PREVENTER IN LOCKABLE STEEL ENCLOSURE. INSTALL PER CITY OF MESA DETAIL M-31.03 AND MANUFACTURER SPECIFICATIONS. VERIFY TYPE AND CONTINUATION PER LANDSCAPE IRRIGATION PLAN.
- 7 CONNECT TO BUILDING PER PLUMBING PLANS. CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.

PRIVATE SEWER KEYNOTES

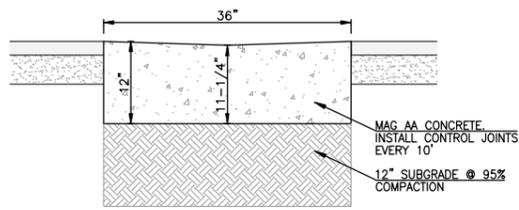
- 1 CONNECT TO EXISTING 6" SEWER STUB. CONTRACTOR TO VERIFY SIZE, LOCATION, INVERT, AND CONDITION PRIOR TO CONSTRUCTION.
- 2 NEW 6" PVC SDR-35 SEWER. LENGTH AND SLOPE INDICATED ON PLAN. INSTALL TRACER WIRE PER GENERAL UTILITY NOTE 15, SHEET 2.
- 3 NEW TWO-WAY DROP SEWER CLEAN OUT PER DETAIL I, SHEET 8. RIM AND INVERT INDICATED ON PLAN. CONTRACTOR TO ADJUST RIM TO FINAL GRADE.
- 4 CONNECT TO BUILDING SANITARY SEWER PER PLUMBING PLANS. CONTRACTOR TO VERIFY TIE-IN LOCATION AND INVERT PRIOR TO CONSTRUCTION.
- 5 NEW ONE-WAY SEWER CLEAN OUT PER DETAIL J, SHEET 8. RIM AND INVERT INDICATED ON PLAN. CONTRACTOR TO ADJUST RIM TO FINAL GRADE.
- 6 CAUTION, BURIED UTILITY. CONTRACTOR SHALL POTHOLE ALL UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

PRIVATE FIRE LINE KEYNOTES

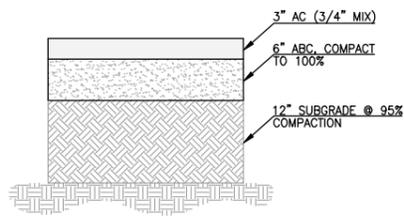
- 1 INSTALL 12"x8" TAPPING SLEEVE PER MAG DETAIL 340 AND MAG SPECIFICATION 630.
- 2 NEW 8" DUCTILE IRON PIPE (PRESSURE CLASS 350). POLYWRAP PER MAG SECTION 610. LENGTH INDICATED PER PLAN. MINIMUM BURIAL DEPTH SHALL BE 36".
- 3 NEW 6" DUCTILE IRON PIPE (PRESSURE CLASS 350). POLYWRAP PER MAG SECTION 610. LENGTH INDICATED PER PLAN. MINIMUM BURIAL DEPTH SHALL BE 36".
- 4 NEW 8" ZURN-WILKINS MODEL 450 BACKFLOW PREVENTER (OR APPROVED EQUAL). INSTALL PER MANUFACTURER SPECIFICATIONS AND INSTALL SUPERVISION ELECTRONICS PER FIRE SPRINKLER PLANS.
- 5 NEW DUCTILE IRON FITTING (350 PSI RATING) WITH THRUST BLOCKS PER MAG DETAIL 350 AND NFPA 24, CHAPTER 10. TYPE/ ANGLE INDICATED ON PLAN.
- 6 NEW 8"x6" DUCTILE IRON PIPE REDUCER FITTING (350 PSI RATING) AND 6" VALVE PER MAG DETAIL 391-1. TYPE 'A'.
- 7 CONNECT TO BUILDING FIRE RISER PER FIRE SUPPRESSION PLANS. VERIFY SIZE AND LOCATION PRIOR TO CONSTRUCTION.
- 8 FIRE DEPARTMENT CONNECTION (FDC) PER SEPARATE PLAN.
- 9 NEW FIRE HYDRANT PER MAG DETAIL 360-1 AND 360-3.
- 10 NEW VALVE, BOX, AND COVER PER MAG DETAIL 391-1, TYPE 'A'.
- 11 REMOVE AND REPLACE TRENCH CUT PAVEMENT PER MAG DETAIL 200-1, "T-TOP" AND MAG SPECIFICATION 336.
- 12 SAWCUT AND REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT. REPLACE CURB AND GUTTER PER MAG DETAIL 220, TYPE 'A'. REPLACE MINIMUM ONE FULL SECTION.
- 13 SAW CUT AND REMOVE EXISTING SIDEWALK TO NEAREST JOINT. REPLACE SIDEWALK PER MAG DETAIL 230. REPLACE MINIMUM ONE FULL SECTION. CONSTRUCT SIDEWALK TO ACCOMMODATE ACCESS PER ADA STANDARDS FOR ACCESSIBLE DESIGN. BACKFILL TRENCH BELOW SIDEWALK WITH ONE-HALF (1/2) SACK SLURRY.

RICK rickengineering.com 602-957-3350 2401 W PEORIA AVE, SUITE 120 PHOENIX, AZ 85029							
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER							
PROJECT NO: 7408 DRAWN/DESIGNED BY: CN CHECKED BY: JH DATE: 10/22/2025							
CONSTRUCTION DOCUMENTS PREPARED FOR: DCS UNIVERSITY DRIVE 8008 EAST UNIVERSITY DRIVE MESA, ARIZONA 85207 CITY OF MESA ONSITE UTILITY PLAN							
DRAWING NO. UT1 SHEET NO. 5 OF 12							

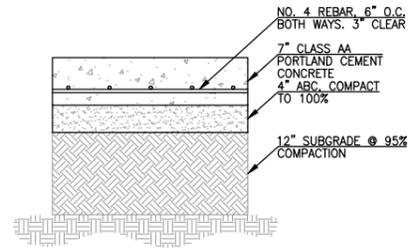




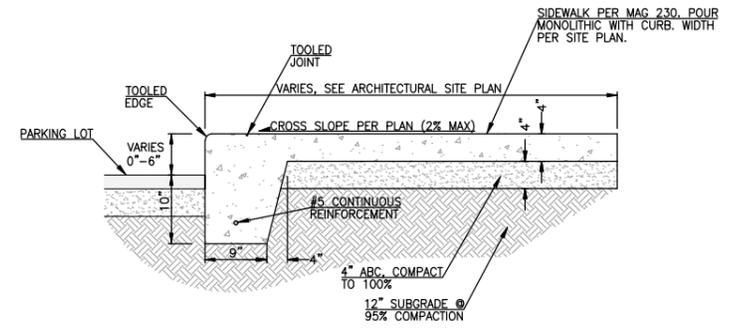
(A) VALLEY GUTTER
SCALE: 1"=1'



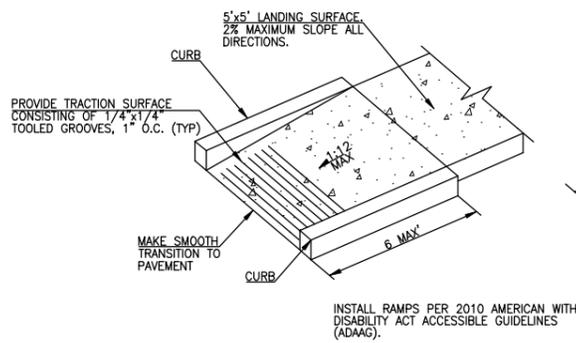
(B) AC PAVEMENT SECTION
SCALE: 1"=1'



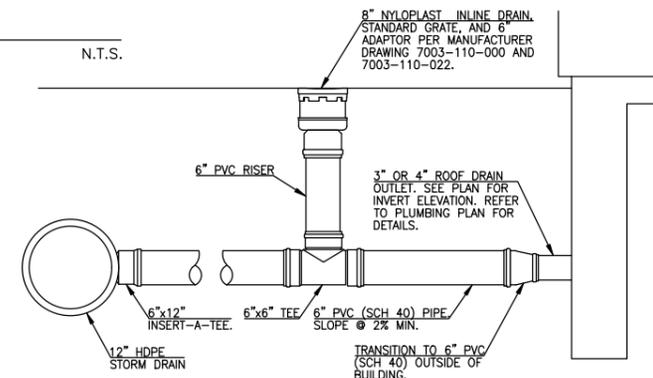
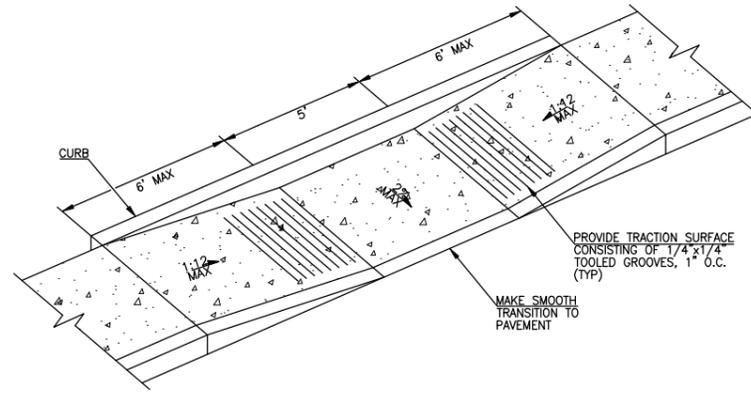
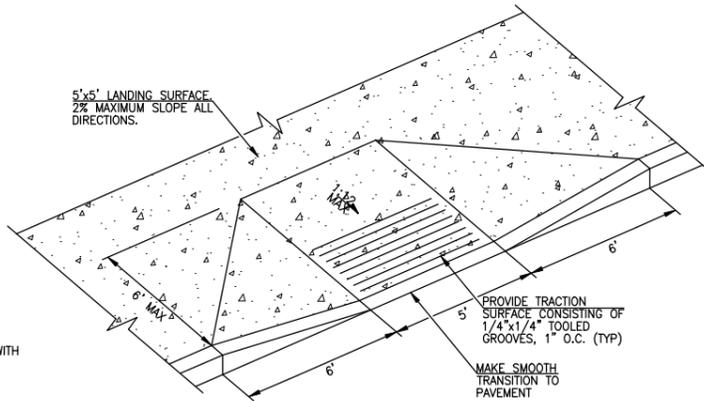
(C) PAVEMENT SECTION REINFORCED
SCALE: 1"=1'



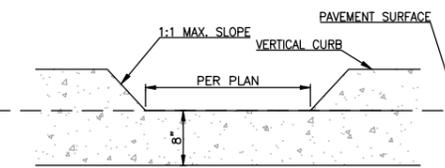
(D) MODIFIED CONCRETE SIDEWALK
SCALE: 1"=1'



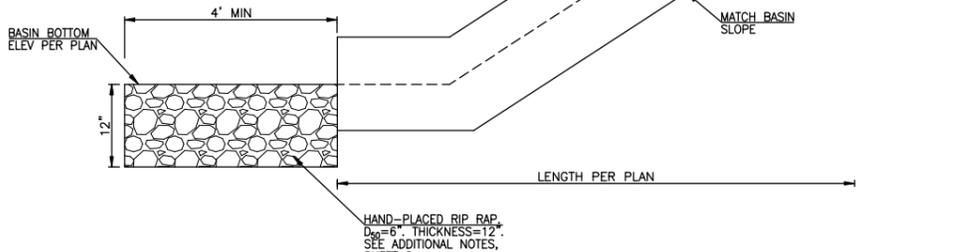
(E) ACCESSIBLE RAMPS



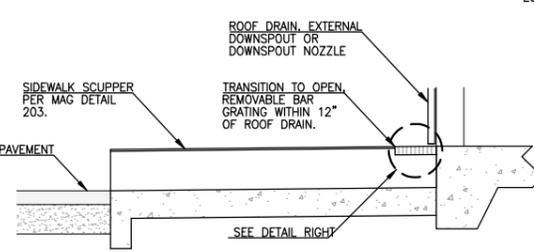
(H) ROOF DRAIN LATERAL DETAIL
N.T.S.



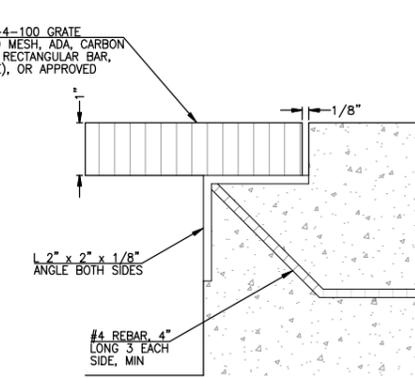
(F) CURB OPENING
SCALE: 1"=1'



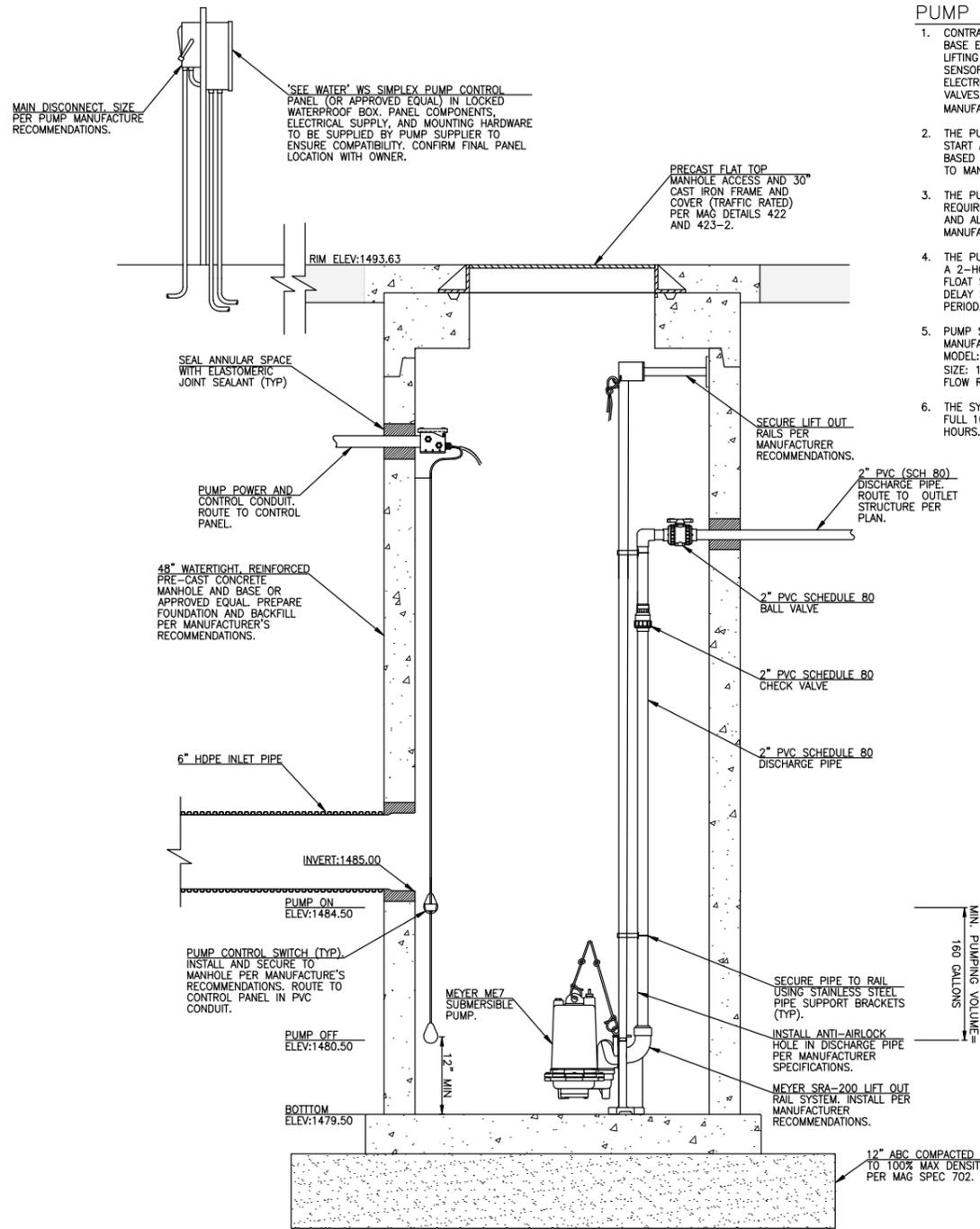
(G) CONCRETE SPILLWAY
SCALE: N.T.S.



(I) McNICHOLS BAR GRATE/TRANSITION TO SIDEWALK SCUPPER
SCALE: N.T.S.



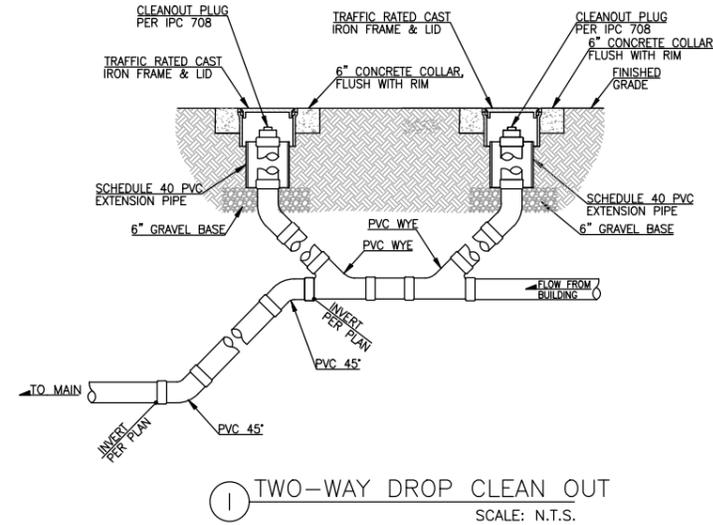
602-957-3350
 rickengineering.com
RICK
 2401 W PEORIA AVE, SUITE 120
 PHOENIX, AZ 85029
 SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
 SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER
 PROJECT NO: 7408 DRAWN/DESIGNED BY: CN JH
 DATE: 10/22/2025 CHECKED BY: JH
 CONSTRUCTION DOCUMENTS PREPARED FOR:
DCS UNIVERSITY DRIVE
 8008 EAST UNIVERSITY DRIVE
 MESA, ARIZONA 85207
 CITY OF MESA
DETAILS
 Contact Arizona 811 at least two full working days before you begin excavation
 ARIZONA
 Call 811 or click Arizona811.com
 DRAWING NO. **D1**
 SHEET NO. 6 OF 12



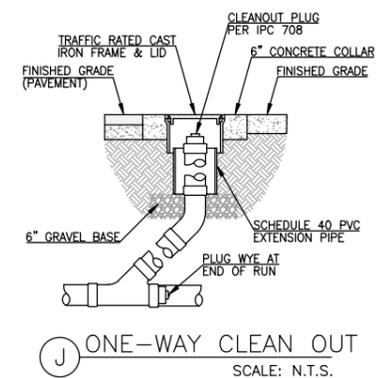
BLEED OFF PUMP DETAIL
N.T.S.

PUMP SYSTEM NOTES

1. CONTRACTOR SHALL INSTALL PUMP, LIFT-OUT BASE ELBOW, BRACKETS, GUIDE RAIL, HARDWARE, LIFTING CHAIN, SHACKLES, WATER LEVEL SENSORS, CONTROL PANEL, PROTECTION RELAYS, ELECTRICAL CONNECTIONS, OUTLET PIPING, VALVES, CHECK VALVES, ETC. PER PUMP MANUFACTURER/ SUPPLIER SPECIFICATIONS.
2. THE PUMP CONTROLS SHALL BE DESIGNED TO START AND STOP THE PUMP AUTOMATICALLY BASED ON FLOAT SWITCH POSITIONS IN ADDITION TO MANUAL CONTROLS FOR TESTING.
3. THE PUMP CONTROLS SHALL INCLUDE THE REQUIRED THERMO AND OVERLOAD PROTECTION AND ALARMS RECOMMENDED BY THE MANUFACTURER.
4. THE PUMP CONTROLS SHALL BE DESIGNED WITH A 2-HOUR DELAY FROM WHEN THE PUMP ON FLOAT SWITCH IS FIRST ACTIVATED. THE 2-HOUR DELAY SHALL ONLY OCCUR ONCE IN A 48 HOUR PERIOD.
5. PUMP SPECIFICATIONS:
MANUFACTURER: MEYER
MODEL: ME7
SIZE: 1/2 HP, 2" DISCHARGE
FLOW RATE: 79.8 GPM @ 30.7 FEET OF HEAD.
6. THE SYSTEM IS DESIGNED TO BLEED OFF THE FULL 100-YEAR RETAINED VOLUME IN 34 HOURS.



① TWO-WAY DROP CLEAN OUT
SCALE: N.T.S.



② ONE-WAY CLEAN OUT
SCALE: N.T.S.

NO.	BY	DATE	REVISION

SEAL:

602-957-3350
rickengineering.com

2401 W PEORIA AVE, SUITE 120
PHOENIX, AZ 85029

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

RICK

CONSTRUCTION DOCUMENTS PREPARED FOR:
DCS UNIVERSITY DRIVE
8008 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

7408 DRAWN/DESIGNED BY: CN
10/22/2025 CHECKED BY: JH
DATE:

PROJECT NO: 7408

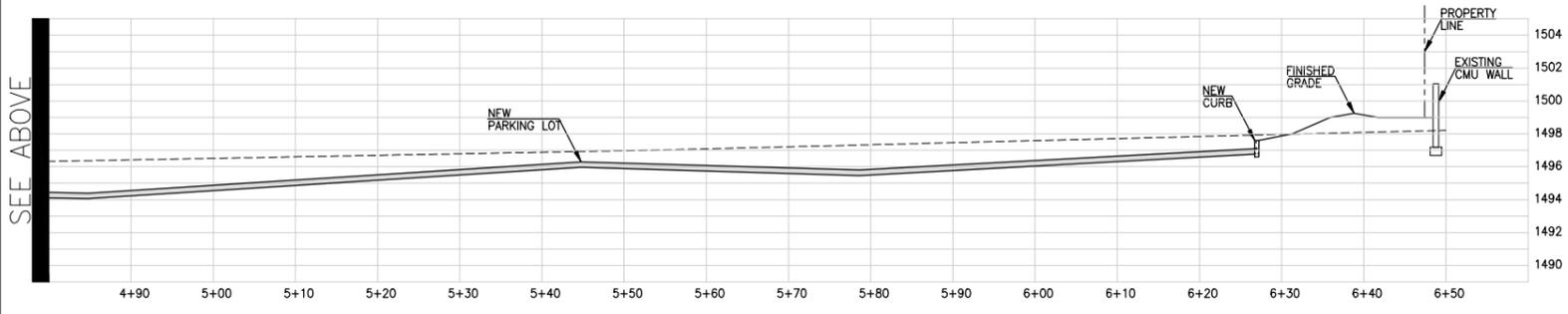
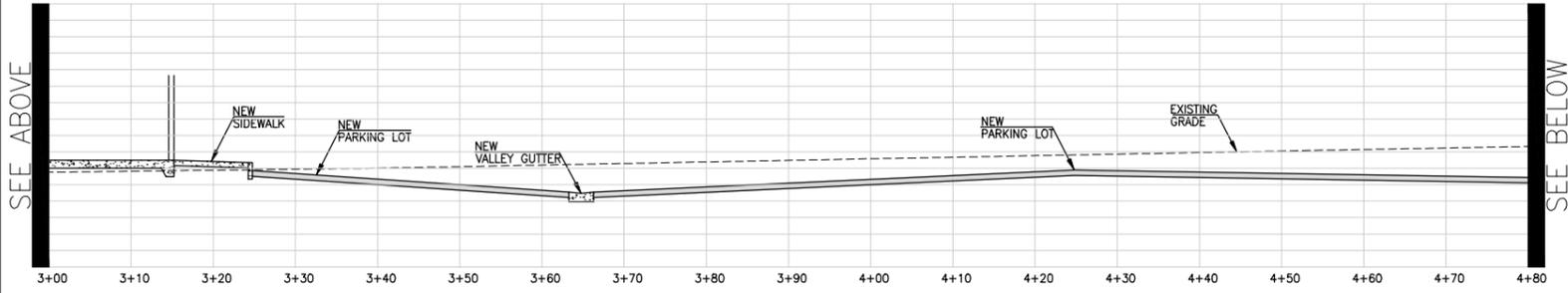
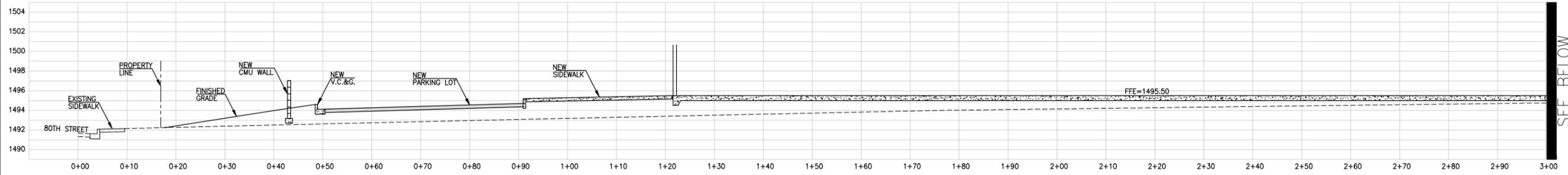
DETAILS

CONSTRUCTION DOCUMENTS PREPARED FOR:
DCS UNIVERSITY DRIVE
8008 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

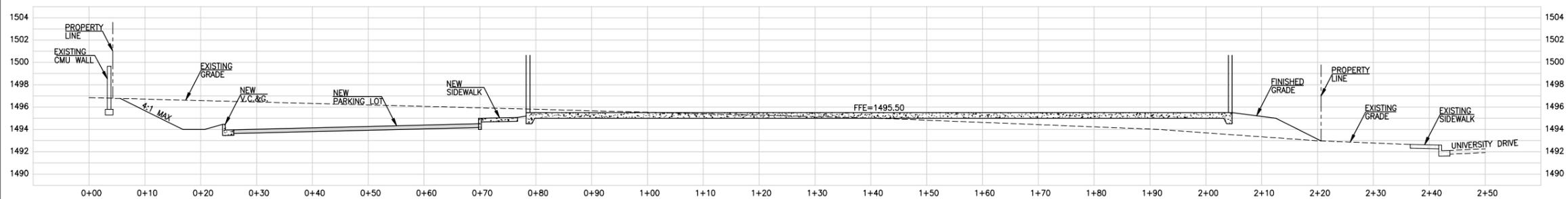
808 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

Call 811 or click Arizona811.com

DRAWING NO.
D3
SHEET NO. 8 OF 12



SECTION A-A
 HORZ: 1"=10'
 VERT: 1"=5'



SECTION B-B
 HORZ: 1"=10'
 VERT: 1"=5'

NO.	BY	DATE	REVISION



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RICK
 SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
 SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

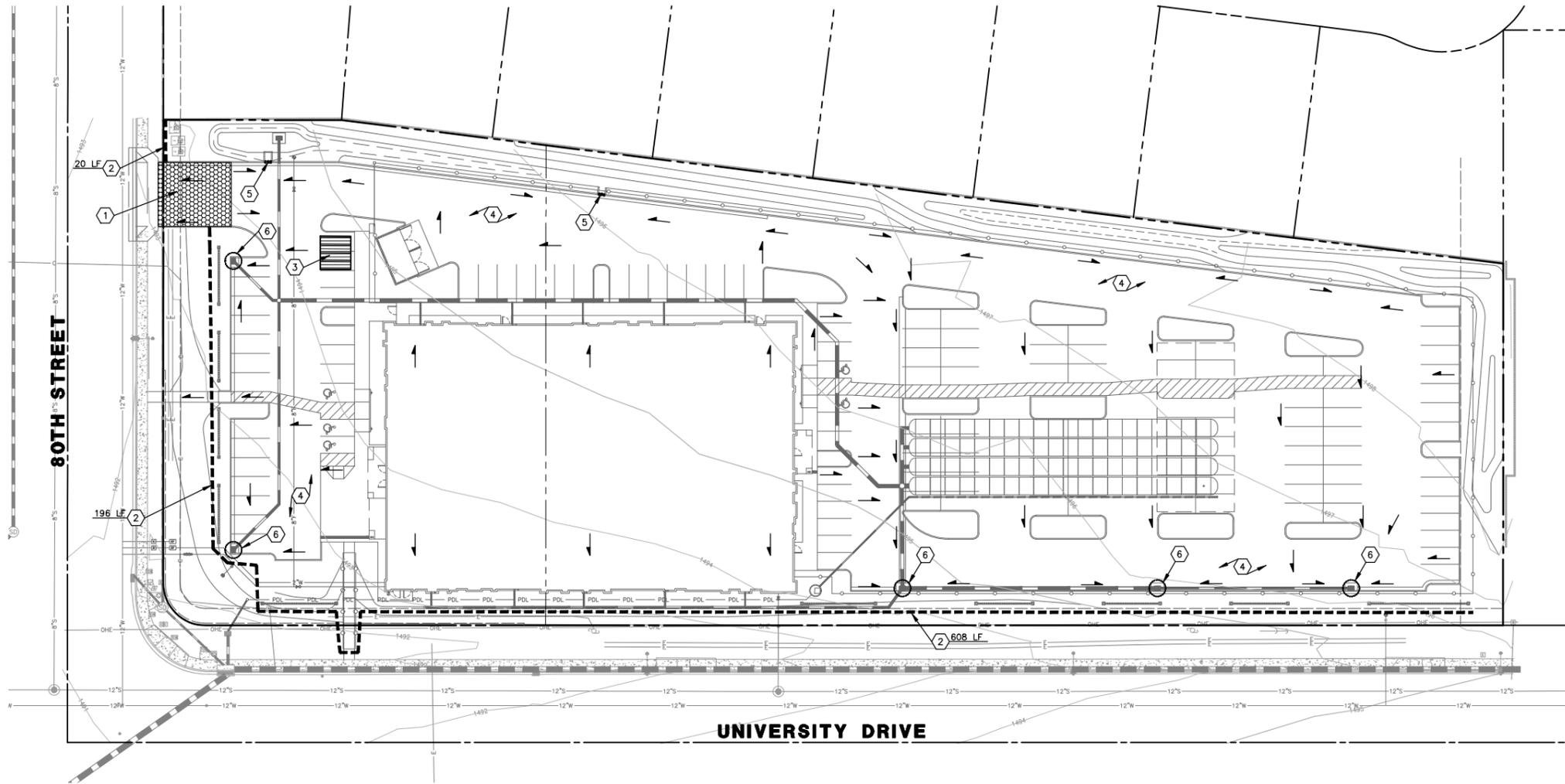
CONSTRUCTION DOCUMENTS PREPARED FOR:
DCS UNIVERSITY DRIVE
 8008 EAST UNIVERSITY DRIVE
 MESA, ARIZONA 85207
 CITY OF MESA



DRAWING NO.
XSECT1
 SHEET NO. 9 OF 12

CROSS SECTIONS

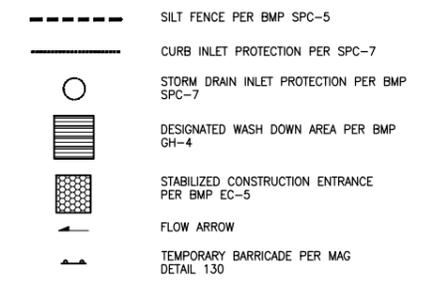
PROJECT NO: 7408
 DRAWN/DESIGNED BY: JH
 CHECKED BY: CN
 DATE: 10/22/2025



KEYNOTES

- ① STABILIZED CONSTRUCTION ENTRANCE PER FLOOD CONTROL DISTRICT OF MARICOPA COUNTY EROSION CONTROL MANUAL BMP EC-5.
- ② SILT FENCE PER FLOOD CONTROL DISTRICT OF MARICOPA COUNTY EROSION CONTROL MANUAL BMP SPC-5.
- ③ DESIGNATED WASH DOWN AREA PER FLOOD CONTROL DISTRICT OF MARICOPA COUNTY EROSION CONTROL MANUAL BMP GH-4.
- ④ DUST CONTROL MEASURES PER FLOOD CONTROL DISTRICT OF MARICOPA COUNTY EROSION CONTROL MANUAL BMP EC-7 UNTIL STABILIZED.
- ⑤ FOAM OR FIBER ROLL BARRIER CURB INLET PROTECTION PER FLOOD CONTROL DISTRICT OF MARICOPA COUNTY EROSION CONTROL MANUAL BMP SPC-7 AND MANUFACTURER RECOMMENDATIONS.
- ⑥ STORM DRAIN INLET PROTECTION VIA GRAVEL BAG FILTER PER FLOOD CONTROL DISTRICT OF MARICOPA COUNTY EROSION CONTROL MANUAL BMP SPC-7, UNTIL STABILIZED.

BMPs LEGEND



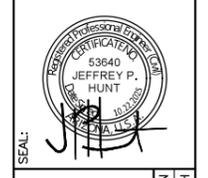
SWPPP GENERAL NOTES

AREA
 TOTAL AREA: 131,322 SF (3.014 AC)
 DISTURBED AREA: 111,775 SF (2.566 AC)

GENERAL CONTRACTOR TO BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE BMPs THROUGH DURATION OF CONSTRUCTION.

REFER TO FCD BMPs GH-1, GH-2, GH-3 AND GH-6. PLACEMENT IS DETERMINED ON-SITE AND MOVED AS NEEDED.

NO.	BY	DATE	REVISION



SEAL:

2401 W PEORIA AVE, SUITE 120
 PHOENIX, AZ 85029

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RICK

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO
 SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

PROJECT NO: 7408 DRAWN/DESIGNED BY: JH
 DATE: 10/22/2025 CHECKED BY: CN

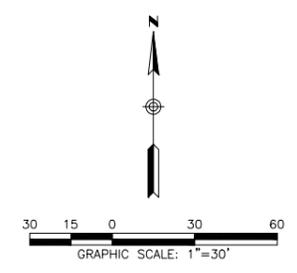
CONSTRUCTION DOCUMENTS PREPARED FOR:

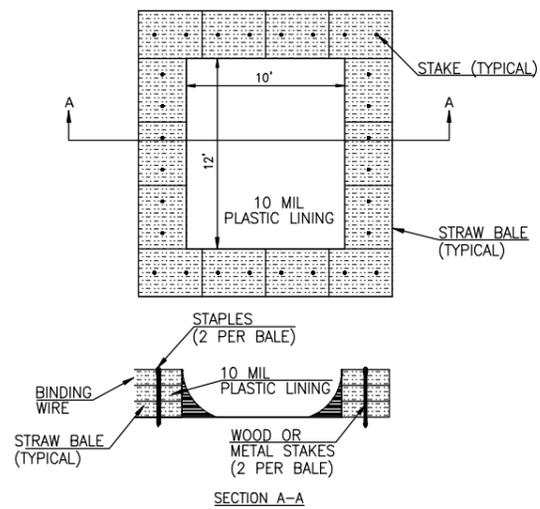
DCS UNIVERSITY DRIVE
 8008 EAST UNIVERSITY DRIVE
 MESA, ARIZONA 85207
 CITY OF MESA

STORM WATER POLLUTION PREVENTION PLAN



DRAWING NO.
SWPPP1
 SHEET NO. 11 OF 12



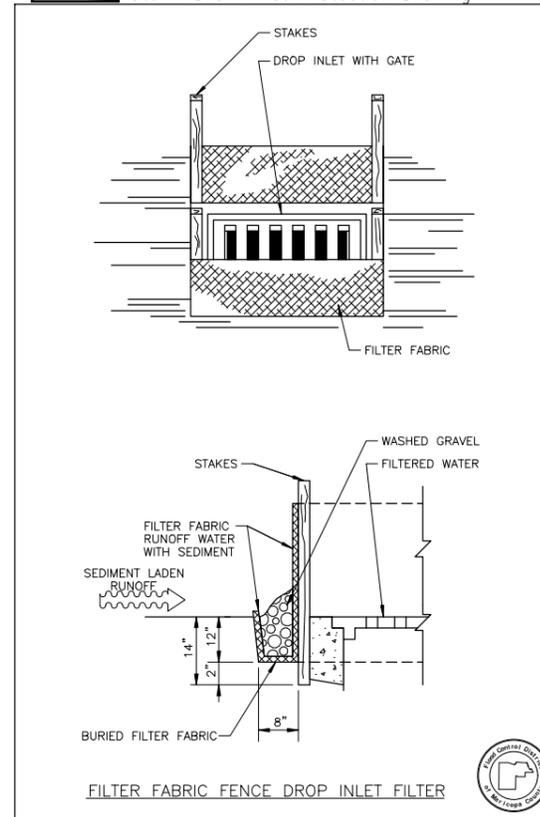


CONCRETE TRUCK WASHOUT AREA
PER MARICOPA COUNTY FLOOD
CONTROL EROSION CONTROL MANUAL
BMP GH-4

TYPES	FUNCTIONAL MECHANISM	ADVANTAGES	LIMITATIONS	IDEAL SOIL CHARACTERISTICS	RELATIVE COST COMPARISON (AVERAGE LIFE EXPECTANCY)	ENVIRONMENTAL CONSIDERATIONS
FRESHWATER	MOISTURE WETS PARTICLES, THEREBY INCREASING THEIR MASS AND BINDING THEM TOGETHER.	USUALLY READILY AVAILABLE, LOW MATERIAL COST, AND EASY TO APPLY	FREQUENT LIGHT APPLICATIONS MAY BE NECESSARY DURING HOT DRY WEATHER AND CAN BE LABOR INTENSIVE. OVER APPLICATION MAY RESULT IN LOSS OF TRACTION, EROSION, OR POINTS OF ROAD FAILURE.	NONE	LOW INITIAL COST, HIGH LONGTERM MAINTENANCE COST (0 MONTHS)	MINIMAL ENVIRONMENTAL HAZARD. IF APPLIED EXCESSIVELY, MAY RESULT IN EROSION AND SEDIMENT RUNOFF. SUPPLY MAY BE LIMITED IN SOME AREAS AND, DEPENDING ON THE SOURCE, MAY REQUIRE A WATER RIGHT PERMIT.

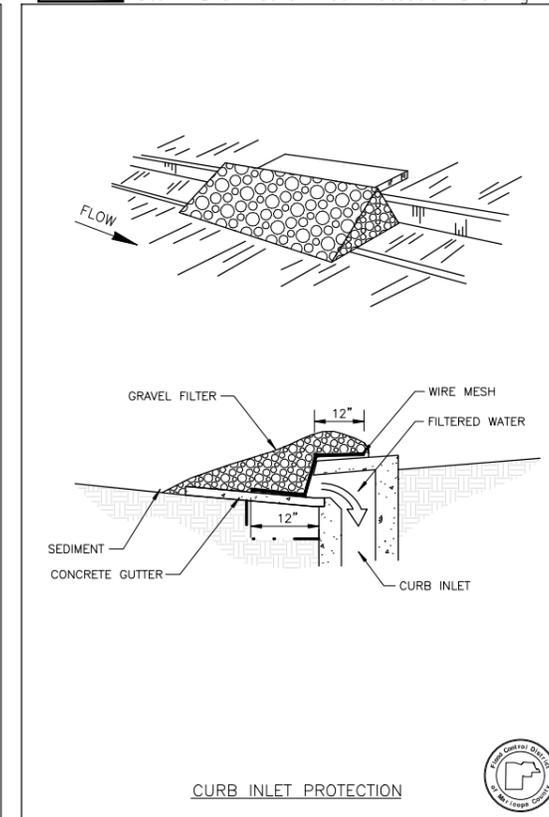
DUST CONTROL MEASURES
PER MARICOPA COUNTY FLOOD
CONTROL EROSION CONTROL MANUAL
BMP EC-7

SPC-7 Storm Drain Inlet Protection Drawing



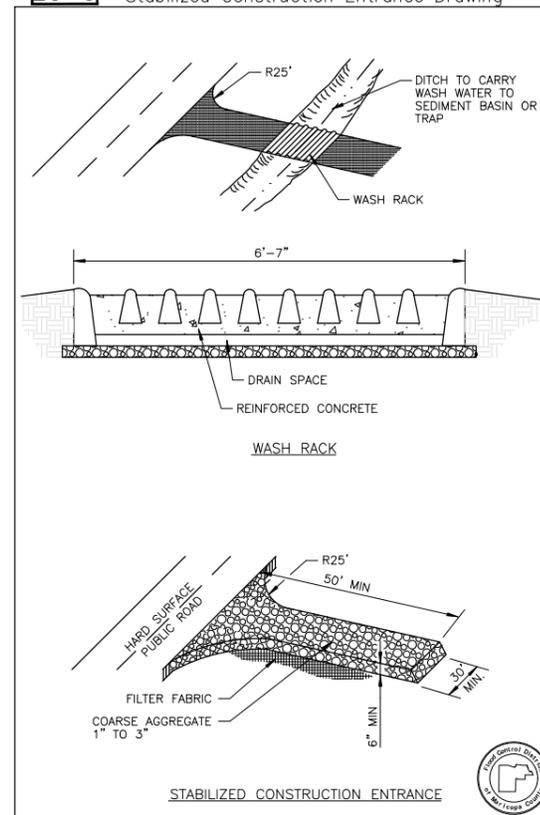
FILTER FABRIC FENCE DROP INLET FILTER

SPC-7 Storm Drain Curb Inlet Protection Drawing



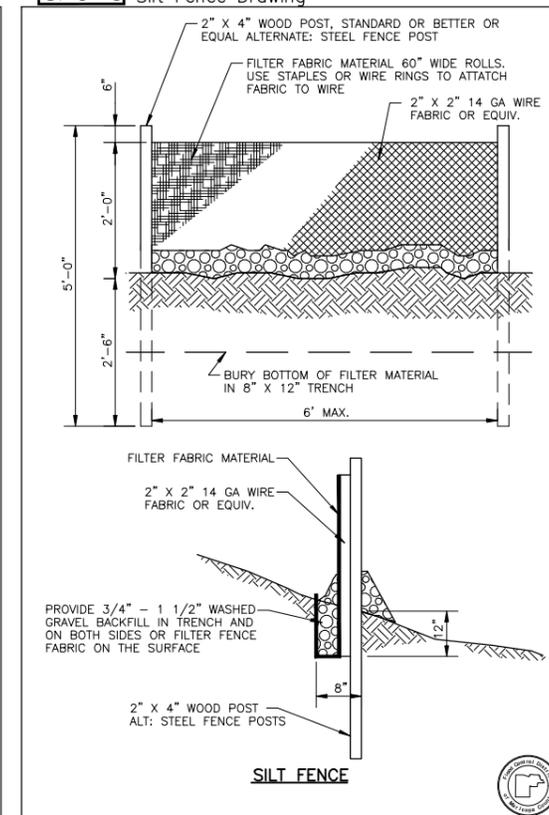
CURB INLET PROTECTION

EC-5 Stabilized Construction Entrance Drawing



STABILIZED CONSTRUCTION ENTRANCE

SPC-5 Silt Fence Drawing



SILT FENCE

602-957-3350
rickengineering.com

2401 W PEORIA AVE, SUITE 120
PHOENIX, AZ 85029

53640
JEFFREY P. HUNT
REGISTERED PROFESSIONAL ENGINEER
STATE OF ARIZONA

SEAL:

CONSTRUCTION DOCUMENTS PREPARED FOR:
DCS UNIVERSITY DRIVE
8008 EAST UNIVERSITY DRIVE
MESA, ARIZONA 85207
CITY OF MESA

SWPPP DETAILS

7408 | DRAWN/DESIGNED BY: CN
10/22/2025 | CHECKED BY: JH

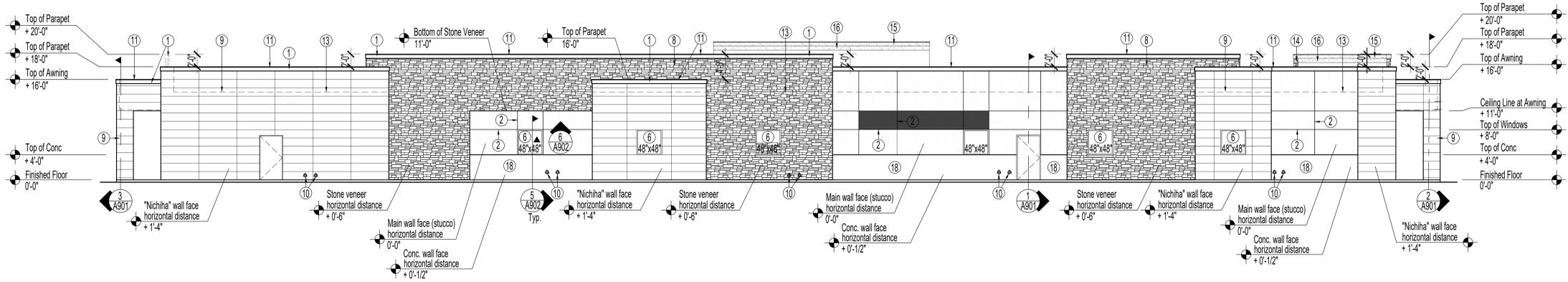
PROJECT NO.:
DATE:

NO. BY DATE REVISION

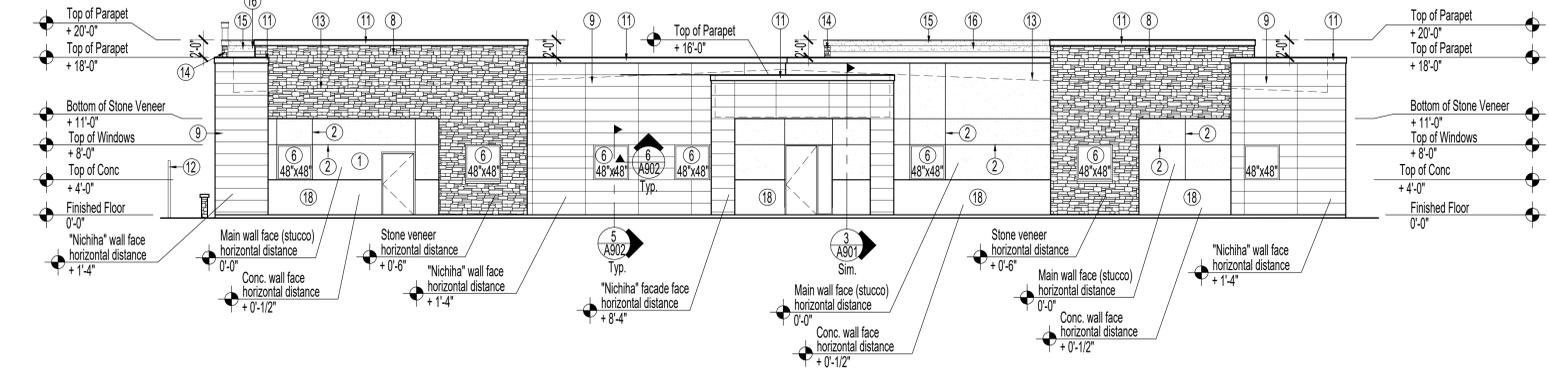
ARIZONA
Call 811 or click Arizona811.com

Contact Arizona 811 at least two full working days before you begin excavation

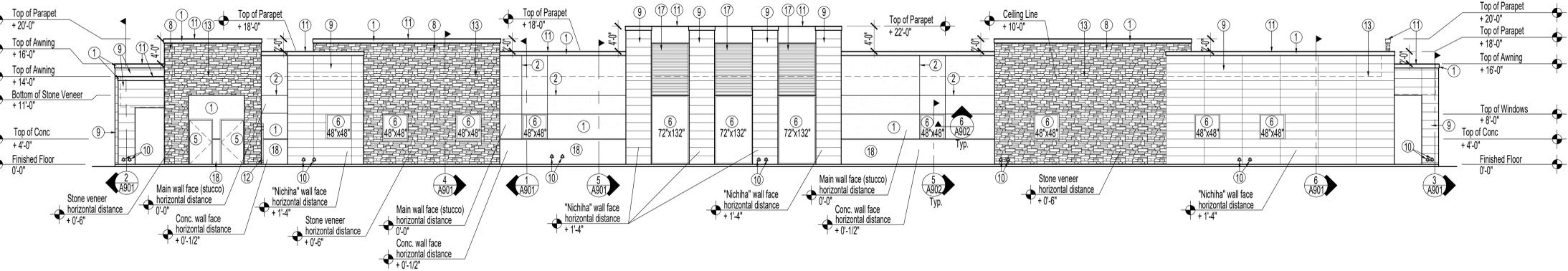
DRAWING NO. D5
SHEET NO. 12 OF 12



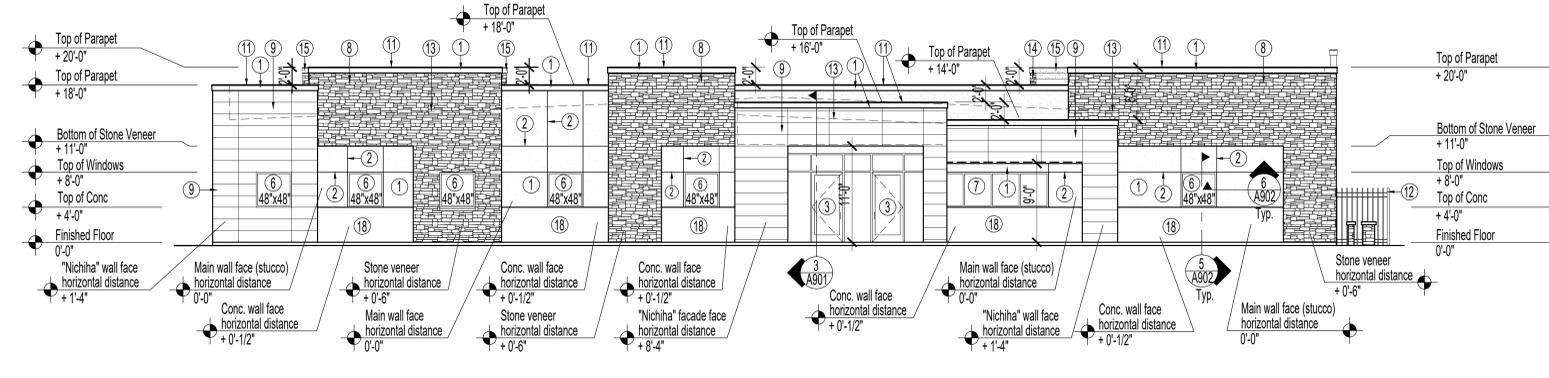
North Elevation
 1/8" = 1'-0"



East Elevation
 1/8" = 1'-0"



South Elevation
 1/8" = 1'-0"



West Elevation
 1/8" = 1'-0"

Exterior Elevations Keynotes:

1. Western One Kote stucco system, "Sahara Tan" paint color.
2. 1" stucco mechanical control joint.
3. Bronze anodized aluminum storefront doors and frame with side lites and transom windows above, refer to door schedule for additional information.
4. Painted hollow metal door with bronze anodized aluminum frame, with side lite, refer to door schedule for additional information.
5. Painted hollow metal exterior door with alum frame, refer to door schedule for additional information.
6. Bronze anodized, fixed, dual pane windows.
7. (5) 36"x48" bronze anodized, fixed, dual pane windows.
8. Stone veneer ("Genstone" foam panel), pre-finished, flesh tone in color.
9. "Nichiha" panel system, pre-finished.
10. "Zurn" Z199 downspout nozzles. Connect to tube steel drain at sidewalks, refer to civil drawings for additional information. Refer roof plan for drainage calculations. 22 gauge painted sheet metal cap flashing, dark brown in color. Overlap minimum 8" each way at each joint location.
11. Wrought iron privacy fence, paint dark brown in color. Refer to site plan for additional information.
12. Roof line beyond parapet.
13. Stone veneer ("Genstone" foam panel) - 8" return at back side of parapet, pre-finished.
14. Parapet wall beyond.
15. Western One Kote stucco system, "Sahara Tan" paint color to extend 8" below cap flashing at back side of parapet wall.
16. Horizontal steel lattice, painted dark bronze color.
17. 48" conc. tile base.

SEAL / SIGNATURE



NEW OFFICE BUILDING

8026 E. UNIVERSITY
 MESA, AZ. 85207

SHEET DESCRIPTION

EXTERIOR ELEVATIONS & NOTES

JOB NUMBER
 25-005-00-PDCS

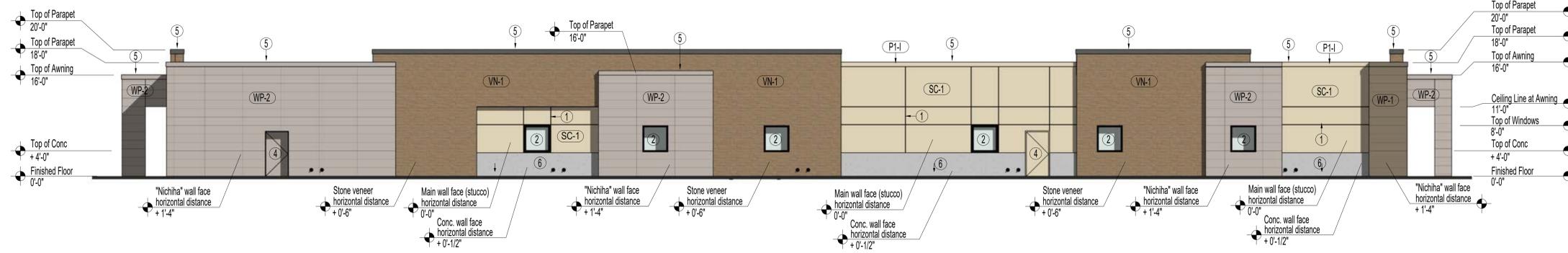
DRAWN BY
 KEVIN MCQUAID / JON WADE

SCALE
 VARIES

FILE NAME
 A401

FILE PATH

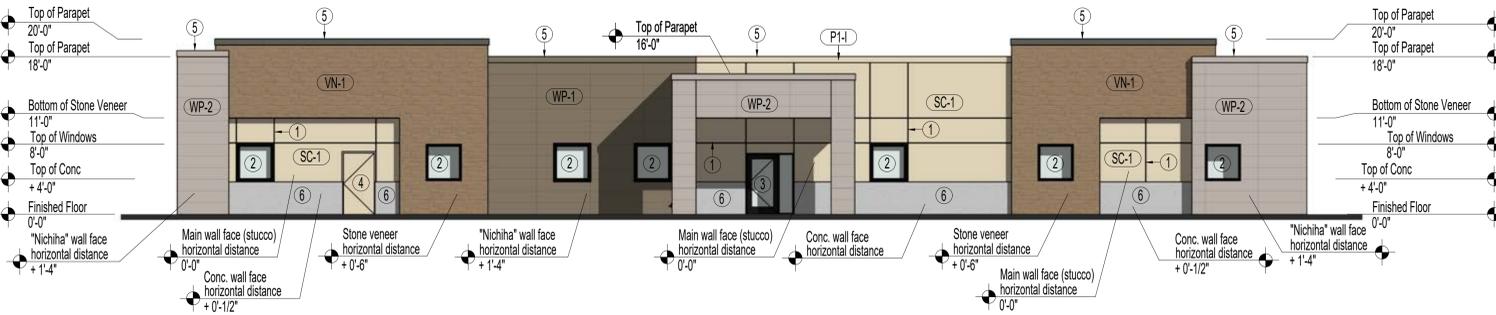
North Elevation		
	Square Feet	% of Total
Doors	50	1.4
Windows	96	2.6
Fiberglass Panel	1,275	33
Stone	1,226	32
Stucco	901	24
Concrete Base	266	7
Total	3,814	100



North Exterior Elevation

1/8" = 1'-0"

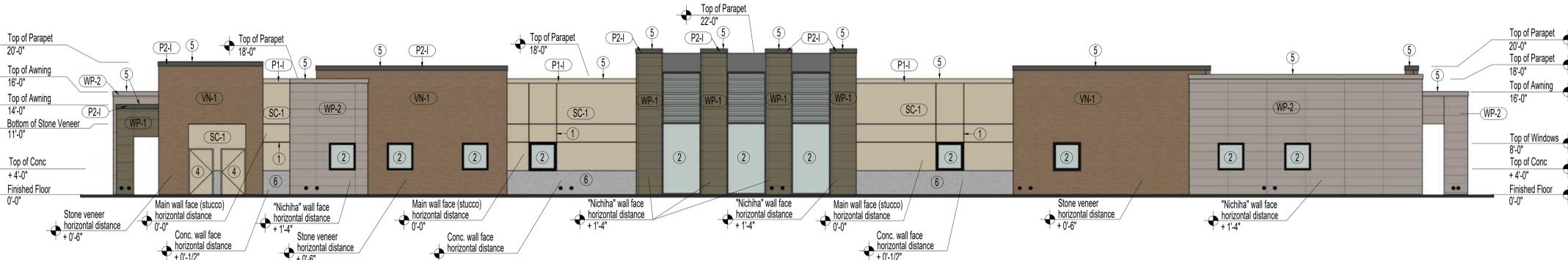
East Elevation		
	Square Feet	% of Total
Doors	50	2
Windows	126	5
Fiberglass Panel	801	33
Stone	605	25
Stucco	616	26
Concrete Base	215	9
Total	2,413	100



East Exterior Elevation

1/8" = 1'-0"

South Elevation		
	Square Feet	% of Total
Doors	50	1.3
Windows	344	8.7
Fiberglass Panel	1,257	32
Stone	1,106	28
Stucco	775	20
Concrete Base	193	5
Steel Lattice	198	5
Total	3,923	100



South Exterior Elevation

1/8" = 1'-0"

West Elevation		
	Square Feet	% of Total
Doors	56	2.3
Windows	272	10.2
Fiberglass Panel	510	20
Stone	755	29.5
Stucco	629	24.6
Concrete Base	342	13.4
Total	2,564	100



West Exterior Elevation

1/8" = 1'-0"

Elevation Keynotes:

- 1" sheet metal stucco control joint, typical.
- Bronze anodized aluminum storefront window with Low-E glass.
- Bronze anodized aluminum storefront door with Low-E glass.
- Painted hollow metal service door with frame, painted to match adjacent finish wall.
- Painted steel cap flashing.
- 48" concrete tile base.

Exterior Finish Schedule

- SC-1

 Type: Wall Stucco
 Manufacturer: Western Blend Products
 System: Western 1-Kote
 Finish: P1-1
- P1-1

 Type: Paint
 Manufacturer: Sherwin Williams
 Color: Navajo White SW6126
- P2-1

 Type: Paint
 Manufacturer: Sherwin Williams
 Color: Night Owl SW7061
- WP-1

 Type: Pre-finished Smooth Fiberglass Composite Panel
 Manufacturer: Nichiha
 Model: Architecturalblock AWP1818
 Color: Tucson
 Specs: 17-7/8" H x 71-9/16" L, 5/8"
- WP-2

 Type: Prefinished Smooth Fiberglass Composite Panel
 Manufacturer: Nichiha
 Model: Architecturalblock AWP1818
 Color: Gray
 Specs: 17-7/8" H x 71-9/16" L, 5/8"
- VN-1

 Type: Stone Vener Panels
 Manufacturer: GenStone
 Model: Desert Sunrise
 Specs: 41" H x 11.25" L



















Bramic Design Group, Inc.
10820 E. Calle Linda Vista
Tucson, AZ 85748

CITIZEN'S PARTICIPATION PLAN for DCS Office Building

December 2, 2025

Purpose:

The purpose of this Citizen's Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of this site for this application for a new ground up professional office building for the Department of Child Safety (State of AZ). This site is located at 8026 E. University Dr., off the NEC of 80th St. and University Dr. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on this proposed project.

Contact:

Gene Goldstein
Bramic Design Group, Inc.
10820 E. Calle Linda Vista
Tucson, AZ. 85748
520.401.9183
gene@bramicdesign.com

Pre-Submittal Conference:

The pre-submittal conference was held with the City of Mesa Development services staff on 10/31/25. Staff reviewed the application and recommended through their review comments that nearby registered neighborhoods be contacted.

Action Plan:

The following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the surrounding neighbors may have.

1. A contact list was asked for by Gene Goldstein of Kwasi Abrebese and he shared this to BDG including,
 - a. All registered neighborhood associations within one mile of this project
 - b. Homeowners' associations within one half mile of this project
 - c. Property owners within 1,000 FT from the site were notified of the initial DRB review meeting and then sent letters for Public Zoning hearing
 - d. Property owners within 1,000 FT from the site were notified of the zoning hearing scheduled for 12/10/25
2. All persons listed on the contact list (included in this submission) received a letter (certified) describing this project, project schedule, site plan layout. Gene Goldstein was present at the City of Mesa DRB hearing whereby this project was discussed and received a favorable vote from this group.

Should you have any questions regarding this plan, please do not hesitate to contact me at 520.401.9183 or Gene@bramicdesign.com

3. Schedule:

- a. Pre submittal conference: October 31, 2024
- b. Application submittal: November 14, 2024
- c. DRB hearing: November 18, 2025
- d. Zoning hearing: December 10, 2025

Sincerely,



Gene Goldstein
President
Bramic Design Group, Inc.
(State of AZ – Architectural Registrant – 15939)



Bramic Design Group, Inc.
10820 E. Calle Linda Vista
Tucson, AZ 85748

CITIZEN'S PARTICIPATION REPORT for DCS Office Building

December 2, 2025

Purpose:

Overview: This report provides results of the implementation of the Citizen Participation Plan for DCS Mesa. This site is at 8026 E. University Dr., Mesa, AZ. (at the NEC of University Dr. and 80th Ave.). This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments from neighbors, letters mailed, and the mailing list provided by the City of Mesa is included in this report

Contact:

Gene Goldstein
Bramic Design Group, Inc.
10820 E. Calle Linda Vista
Tucson, AZ. 85748
520.401.9183
gene@bramicdesign.com

Correspondence and telephone calls:

1. Gene Goldstein ("BDG") had constant correspondence with Kwasi Abrebrese with the City of Mesa throughout this process
2. Gene Goldstein spoke at the DRB hearing on 11/18/25 to that board and field questions and provided solutions to their comments that will be addressed in the building design
3. Gene Goldstein received one email from one neighbor (Bob James) who inquired about security concerns behind their house. That correspondence is included in this report

Results:

1. Gene Goldstein will ensure that Bob James' two site concerns will be followed up on and discussed and implemented into the project build scope.

Should you have any questions regarding this plan, please do not hesitate to contact me at 520.401.9183 or Gene@bramicdesign.com

Sincerely,

Gene Goldstein
President – Bramic Design Group, Inc. (AZ State of AZ Registrant – 15939)

Attachments – Mailing list to surrounding neighbors for DRB and zoning hearings; Bob James/Gene Goldstein email correspondence

APN *	Owner Name *	Mailing Address1	Mailing Address2
	City of Mesa Development Services Department City of Mesa Development Services Department City of Mesa Councilmember Alicia Goforth John Zielonka	ATTN: Nana Appiah ATTN: (case planner) ATTN: Marc Hershberg PO Box 1466 PO Box 1466	PO Box 1466 PO Box 1466 20 E Main St Ste 750
21825062	1734 BUILDING INC	8107 E UNIVERSITY DR	<Null>
21808655	2017-1 IH BORROWER LP	8665 E HARTFORD DR STE 200	<Null>
21808050	2017-2 IH BORROWER LP	1717 MAIN ST STE 2000	<Null>
21825059	ARREDONDO MARIA R	344 N 81ST ST	<Null>
21808651	AUGUSTIN CHRISTOPHER F/INNESS HILDA M	7947 E CAMINO ST	<Null>
21825004	AVILES ANTONIO CHAVEZ/LUGO GISELA URIBE	8118 E 3RD AVE	<Null>
21808047	BENHAM GREGORY LEE & MELINDA LEE	8040 E CICERO ST	<Null>
21808036	BYERS BROCK JAMES/ARROYO NATALIE JOSEPHINE	8061 E CICERO ST	<Null>
21808049	CASELLA LAURIE A	8024 E CICERO ST	<Null>
21825026	CHANDLER JEFFREY D	318 N 80TH PL	<Null>
21808056	CHRIS AND RAELENE TRUST	8035 E CASPER ST	<Null>
21808628	CHRISTY PATRICIA GAIL/JAMES LESTER/MCKENNA	531 N OVERLAND	<Null>
21808041	COCHRAN JONATHAN PECK SR/MARLA KAY	8025 E CICERO ST	<Null>
21825077	COLLINGE DAVID/SPENCE JUDY	8126 E BALTIMORE ST	<Null>
21808663	COOK DAVE/SHEILA	12 COPS HILL ST	<Null>
21825029	COTA MARIA DEL ROSARIO MOLINA	338 N 80TH PL	<Null>
21808054	COTTINGHAM RUSSELL V/MICHELLE R	8019 E CASPER ST	<Null>
21825033	DAC BUILDERS LLC	7828 E RIVERDALE CIR	<Null>
21825032	DALE AND SUSAN POYER LIVING TRUST	PO BOX 247	<Null>
21808040	DANA MONTY H/KRISTEN S	8033 E CICERO ST	<Null>
21808653	DENNIS AND JENNIFER MCQUEEN REVOCABLE TRUST	7956 E CABALLERO ST	<Null>
21808055	DOLORES KING LIVING TRUST	PO BOX 7523	<Null>
21825065	DUVAL JOE/SANDRA/CHRISTOPHER T	8131 E UNIVERSITY DR	<Null>
21825066	DUVAL JOSEPH ROBERT/SANDRA JEAN	8131 E UNIVERSITY DR	<Null>
21808045	E GARCIA GRANITE LLC	8054 E CICERO ST	<Null>
21825075	ESCALANTE DAVID JR	8132 E BALTIMORE ST	<Null>
21808656	EYDIE SIKKENGA REVOCABLE LIVING TRUST	7932 E CABALLERO ST	<Null>
21825060	FOCUS PROPERTIES LLC	4645 S LAKESHORE DR STE 8	<Null>
21808650	FOX MARTIN W JR/JAMIE L	7939 E CAMINO ST	<Null>

21808037 NEWBOLD RONALD R/BRENDA	8055 E CICERO ST	<Null>
21825035 NEWKIRK ELIZABETH ANNE	317 N 80TH PL	<Null>
21808057 NORRIS FAMILY LIVING TRUST	8043 E CASPER ST	<Null>
21825002 NORTH 80 LLC	302 S 91ST ST	<Null>
21808643 PAGE LARRY LEE/TERESA LYNN	439 N OVERLAND	<Null>
21825061 PARRA JESUS CAMPOS	348 S GLENMAR RD	<Null>
21808033 PEDERSEN KARA/KLATT CARL	8127 E CASPER ST	<Null>
21825084 PEKRUL MERTON W	1847 E GLADE CIR	<Null>
21825100A PEPPARD FAMILY LIVING TRUST	8102 E BUTTE ST	<Null>
21825001 POSTON FLOYD D/FRANCES L TR	6434 E AVALON ST	<Null>
21808046 PUHLMANN ERIC	8046 E CICERO ST	<Null>
21808048 RADLEY SUSAN I	8032 E CICERO ST	<Null>
21808035 REED GARY J/MARGARET A	8107 E CASPER ST	<Null>
21825030 RUSSELL WENDELL	354 N 80TH PL	<Null>
21808652 S & L WORDEN FAMILY TRUST	7955 E CAMINO ST	<Null>
21808010C SALT RIVER PROJECT AG IMP POWER DISTRICT	PO BOX 1980	<Null>
21808630 SANDERS GERALD W/JULIE R	7951 E COVINA ST	<Null>
21808649 SHEETS JUSTIN J	7931 E CAMINO ST	<Null>
21808053 SHEPLEY FAMILY TRUST	8013 E CASPER ST	<Null>
21808043 SINGH PHULPREET/PERWINDER/SODHI HARNOOR SINGH	406 W LEAH AVE	<Null>
21825076 SPENCE JUDY/COLLINGE DAVID	8126 E BALTIMORE ST	<Null>
21808661 STONE TODD	631 BUNDY AVE	<Null>
21808038 TERRY K GASAWAY REVOCABLE TRUST	501 27TH ST	<Null>
21825067 VARGO DINO MARIO	9541 E CASPER CIR	<Null>
21824387 VILLAS AT MONTANA VISTA HOMEOWNERS ASSOCIATIO	16427 N SCOTTSDALE RD 175	<Null>
21825056 VOLK EDWARD P/JOESETTA F	3905 N RECKER RD	<Null>
21825057 VOLK EDWARD/JOESETTA	328 N 81ST ST	<Null>
21825058 VOLK EDWARD/JOESETTA	3905 N RECKER RD	<Null>
21825003 WEIDNER CYRIL W TR	760 N MCQUEEN RD	<Null>
21825085 WILLIAMS JOHN	8125 E BALTIMORE ST	<Null>
21808662 WILTSIE CORINNE	7935 E CABALLERO ST	<Null>

MESA	AZ	85207 7960 E BUTTE ST MESA 85207
MESA	AZ	85208 8113 E UNIVERSITY DR MESA 85207
MESA	AZ	85207 8135 E CASPER ST MESA 85207
MESA	AZ	85207 8060 E CICERO ST MESA 85207
PAYSON	AZ	85541 8102 E BALTIMORE ST MESA 85207
MESA	AZ	85207 8138 E BALTIMORE ST MESA 85207
MESA	AZ	85207 445 N OVERLAND MESA 85207
PEORIA	AZ	85345 8146 E UNIVERSITY DR MESA 85207
PHOENIX	AZ	85028 8114 E BALTIMORE ST MESA 85207
TUCSON	AZ	85747
MESA	AZ	85207 317 N 80TH ST MESA 85207
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MESA	AZ	85207 8041 E CICERO ST MESA 85207
MESA	AZ	85207 336 N 80TH PL MESA 85207
MESA	AZ	85206 328 N 80TH PL MESA 85207
APACHE JUNCTION	AZ	85117 433 N OVERLAND MESA 85207
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MESA	AZ	85207 353 N 80TH PL MESA 85207
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MESA	AZ	85207 7959 E COVINA ST MESA 85207
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MESA	AZ	85207 8017 E CICERO ST MESA 85207
MESA	AZ	85207-2906 8115 E CASPER ST MESA 85207
MESA	AZ	85207 8005 E CASPER ST MESA 85207
TOLLESON	AZ	85353
MESA	AZ	85207 325 N 80TH PL MESA 85207
MESA	AZ	85207 8108 E BALTIMORE ST MESA 85207
MESA	AZ	85207 8008 E CICERO ST MESA 85207

Mailing Address

Mailing Address Country

8107 E UNIVERSITY DR MESA AZ USA 85207	USA
8665 E HARTFORD DR STE 200 SCOTTSDALE AZ USA 85255	USA
1717 MAIN ST STE 2000 DALLAS TX USA 75201	USA
344 N 81ST ST MESA AZ USA 85207	USA
7947 E CAMINO ST MESA AZ USA 85207	USA
8118 E 3RD AVE MESA AZ USA 85208	USA
8040 E CICERO ST MESA AZ USA 85207	USA
8061 E CICERO ST MESA AZ USA 852076730	USA
8024 E CICERO ST MESA AZ USA 85207	USA
318 N 80TH PL MESA AZ USA 85207	USA
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8126 E BALTIMORE ST MESA AZ USA 85207	USA
12 COPS HILL ST LAGUNA NIGUEL CA USA 92677	USA
338 N 80TH PL MESA AZ USA 85207	USA
8019 E CASPER ST MESA AZ USA 85207	USA
7828 E RIVERDALE CIR MESA AZ USA 85207	USA
PO BOX 247 PAYSON AZ USA 85547	USA
8033 E CICERO ST MESA AZ USA 85207	USA
7956 E CABALLERO ST MESA AZ USA 85207	USA
PO BOX 7523 MESA AZ USA 85216	USA
8131 E UNIVERSITY DR MESA AZ USA 85207	USA
8131 E UNIVERSITY DR MESA AZ USA 85207	USA
8054 E CICERO ST MESA AZ USA 85207	USA
8132 E BALTIMORE ST MESA AZ USA 85207	USA
7932 E CABALLERO ST MESA AZ USA 85207	USA
4645 S LAKESHORE DR STE 8 TEMPE AZ USA 85282	USA
7939 E CAMINO ST MESA AZ USA 85207	USA

8055 E CICERO ST MESA AZ USA 85207	USA
317 N 80TH PL MESA AZ USA 85207	USA
8043 E CASPER ST MESA AZ USA 85207	USA
302 S 91ST ST MESA AZ USA 85208	USA
439 N OVERLAND MESA AZ USA 85207	USA
348 S GLENMAR RD MESA AZ USA 85208	USA
8127 E CASPER ST MESA AZ USA 85207	USA
1847 E GLADE CIR MESA AZ USA 85204	USA
8102 E BUTTE ST MESA AZ USA 85207	USA
6434 E AVALON ST MESA AZ USA 85205	USA
8046 E CICERO ST MESA AZ USA 85207	USA
8032 E CICERO ST MESA AZ USA 85207	USA
8107 E CASPER ST MESA AZ USA 85207	USA
354 N 80TH PL MESA AZ USA 85207	USA
7955 E CAMINO ST MESA AZ USA 85207	USA
PO BOX 1980 PHOENIX AZ USA 85001	USA
7951 E COVINA ST MESA AZ USA 85207	USA
7931 E CAMINO ST MESA AZ USA 85207	USA
8013 E CASPER ST MESA AZ USA 85207	USA
406 W LEAH AVE GILBERT AZ USA 85233	USA
8126 E BALTIMORE ST MESA AZ USA 85207	USA
631 BUNDY AVE SAN JOSE CA USA 95117	USA
501 27TH ST MOLINE AZ USA 61265	USA
9541 E CASPER CIR MESA AZ USA 85207	USA
16427 N SCOTTSDALE RD 175 SCOTTSDALE AZ USA 85254	USA
3905 N RECKER RD MESA AZ USA 85215	USA
328 N 81ST ST MESA AZ USA 85207	USA
3905 N RECKER RD MESA AZ USA 85215	USA
760 N MCQUEEN RD CHANDLER AZ USA 85225	USA
8125 E BALTIMORE ST MESA AZ USA 85207	USA
7935 E CABALLERO ST MESA AZ USA 85207	USA



Re: Proposed Dept. of Child Safety Office Building - University Blvd.

From Gene Goldstein <gene@bramicdesign.com>

Date Thu 11/27/2025 12:11 PM

To bobjames51@gmail.com <bobjames51@gmail.com>

Cc 'Kwasi Abebrese' <kwasi.abebrese@mesaaz.gov>; Kyle Vilaubi <kyle@bramicdesign.com>

Bob,

It's the holiday weekend so I can't give you definitive answers here, but I am pretty sure on the following,

Question no. 1 - I feel I can talk to the developer into extending the fencing or providing a locked gate. I will follow up on this as we've done 4 other projects like this one with this developer and he has a history of going above and beyond to make sure these office buildings are good neighbors to the surrounding folks

Question no. 2 - Bob, I do not see my client doing any work to extend your own personal wall, but if you allow some growth, there is going to be extensive landscape buffering along the north side + the north side of our building does not have any exit doors allowing the users of this facility to walk out directly to the north.

I am free for a phone call next week also if you'd like to chat more on these?

Thank you,

Gene Goldstein

Principal, CEO, RA (AZ #15939)

Bramic Design Group

10820 E Calle Linda Vista

Tucson AZ 85748

P 520.401.9183

"Thank you for your continued partnership! Please note my new email"

From: bobjames51@gmail.com <bobjames51@gmail.com>

Sent: Wednesday, November 26, 2025 5:03 PM

To: Gene Goldstein <gene@bramicdesign.com>

Cc: 'Kwasi Abebrese' <kwasi.abebrese@mesaaz.gov>; Kyle Vilaubi <kyle@bramicdesign.com>

Subject: RE: Proposed Dept. of Child Safety Office Building - University Blvd.

Hello Gentlemen,

Thank you for the timely responses.

Unfortunately I was unable to attend the meeting, as it was play week at the school where my wife is the drama teacher and director, so, by default, I am the lighting tech. No way I could get out of that!

I appreciate being able to see the plans, and have a much better understanding of how things will look.

2 follow up questions, related to safety and security:

1. If I'm reading the plans correctly, the steel fencing does not prevent access to the 20' setback from University Blvd.

While the fencing does go to the wall on the north side, near 80th Street, full access is available from University.

- a. Any possibility of extending the fencing, or maybe installing a locked gate there?

2. There is the existing cinderblock wall on the north edge (our south back wall), but its height does not lend to discouraging curious overlookers?

- a. What are the possibilities of a higher wall being constructed?

Even a 1 foot taller wall would be enough to prevent uninvited 'guests'.

Thank you,
Bob James

From: Gene Goldstein <gene@bramicdesign.com>

Sent: Thursday, November 13, 2025 3:56 PM

To: bobjames51@gmail.com

Cc: Kwasi Abebrese <kwasi.abebrese@mesaaz.gov>; Kyle Vilaubi <kyle@bramicdesign.com>

Subject: Proposed Dept. of Child Safety Office Building - University Blvd.

Hi Bob,

I am the architect for the ongoing project south of your property and look forward to the upcoming Design Review Board meeting this coming Tuesday (11/18/25). Kwasi Abrebrese, who's been fantastic guiding us through this design process, shared to me some concerns you have for our project. He asked that I reach out directly to you. There is nothing more important than good communication and that's what I am putting forth here today. Please see my responses to your questions/concerns below in **red**

(From you to Kwasi):

Our main concern would be the relief from our back wall to the drive lane on the north side of this project. I know there must be a minimum relief, and I believe it also must be landscaped.

- What type of landscaping? **Most importantly if I am you is good blockage to our building and our landscape architect has selected fairly large (36") boxes for canopy trees to be placed continuously along the north side, along with a number of different ground cover. Against the north side of the building is another layer of landscaping and trees, shrubs to be installed. I truly feel you'll have a good buffer from your property with all of this. I have attached a copy of the landscape plans and if you would feel better getting on a call with my landscape architect and myself, please say the word, I can set that up. It would have to be this Monday afternoon if we were to do this. let me know please.**
- Can we suggest, or even require tall / low maintenance evergreens, like Italian cypress, and close together so as to restrict persons from snooping, peering, etc.? **The trees and ground cover landscaping being installed is all considered low water maintenance type trees and shrubs. While I cannot fully guarantee a switch to Italian cypress, knowing this developer, and he is very people**

friendly, he'd have no issues meeting on site to go over this during construction. I have done projects with Mr. Williamson for 30 years and he will ALWAYS listen !!

- Live landscape would require water - would there be a guarantee any trees, bushes, etc. wouldn't "steal" our water? Our project is on our own tie into the public water system and and is not associated with your neighborhood lines.

My phone number is below and please do not hesitate to contact me should you need further clarification on anything,

Best regards,

Gene Goldstein

Principal, CEO, RA (AZ #15939)

Bramic Design Group

10820 E Calle Linda Vista

Tucson AZ 85748

P 520.401.9183

"Thank you for your continued partnership! Please note my new email"