

Planning and Zoning Board



Study Session Minutes

Mesa City Council Chambers – Lower Level, 57 East 1st Street

Date: February 26, 2025 Time: 3:30 p.m.

MEMBERS PRESENT:

Benjamin Ayers
Troy Peterson
Jamie Blakeman
Jayson Carpenter

MEMBERS ABSENT

Jeff Pitcher
Genessee Montes
Chase Farnsworth

(*Boardmembers and staff participated in the meeting through the use of telephonic and video conference equipment)

STAFF PRESENT:

Mary Kopaskie-Brown
Rachel Nettles
Evan Balmer
Cassidy Welch
Jennifer Merrill
Charlotte Bridges
Kirstin Dvorchak
Alexis Wagner

OTHERS PRESENT:

1 Call meeting to order.

Chair Ayers excused Vice Chair Pitcher, Boardmember Montes and Boardmember Farnsworth; and declared a quorum present; the meeting was called to order at 3:30 pm.

2 Review items on the agenda for the February 26, 2025, regular Planning and Zoning Board Hearing.

Case ZON24-00548 was continued to the March 26, 2025 Planning and Zoning Board meeting.

Staff Planner Jennifer Merrill presented case ZON24-00756. See attached presentation.

The Board had no questions for staff.

Staff Planner Charlotte Bridges presented case ZON24-00708. See attached presentation.

The Board had no questions for staff.

MINUTES OF THE FEBRUARY 26, 2025 PLANNING & ZONING STUDY SESSION

3 Other Business

3-a Staff Planner Cassidy Welch presented Drive-Thru Amendments Update. See attached presentation.

The Board had no questions for staff.

4 Planning Director Update: No Updates

5 Adjournment.

Boardmember Blakeman motioned to adjourn the study session. The motion was seconded by Boardmember Carpenter.

The study session was adjourned at 3:55 pm.

Vote (4-0; Vice Chair Pitcher, Boardmember Montes and Boardmember Farnsworth, absent)

Upon tabulation of vote, it showed:

AYES – Ayers, Pitcher, Peterson, Montes, Blakeman, Carpenter, Farnsworth

NAYS – None

Respectfully submitted,

Benjamin Ayers
Planning and Zoning Board Chair

Note: Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also “live broadcasted” through the City of Mesa’s website at www.mesaaz.gov



ZON24-00756 Dixon Property

Jennifer Merrill, Senior Planner

February 26, 2025



Request

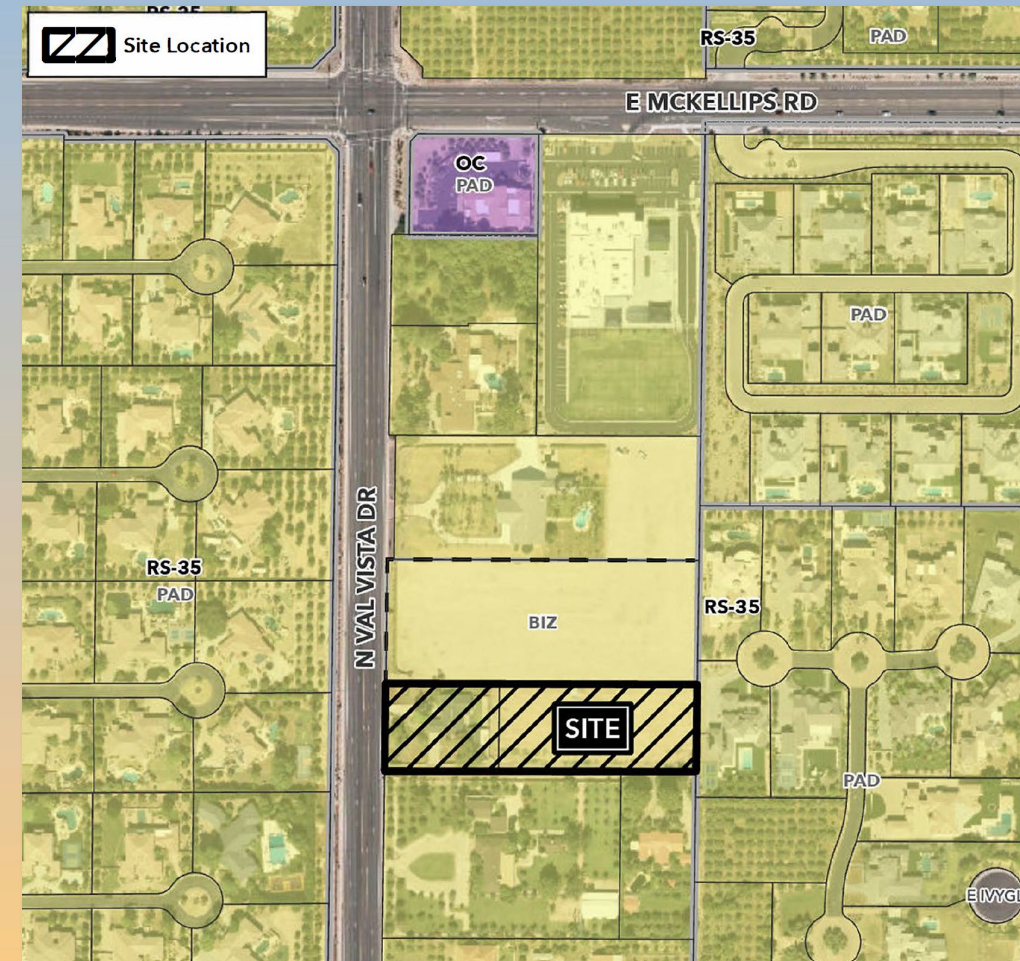


- Rezone from RS-35 to RS-35 with a BIZ overlay
- To allow for development of a new single residence



Location

- Located approximately 1,100 feet south of McKellips Road
- East side of Val Vista Drive

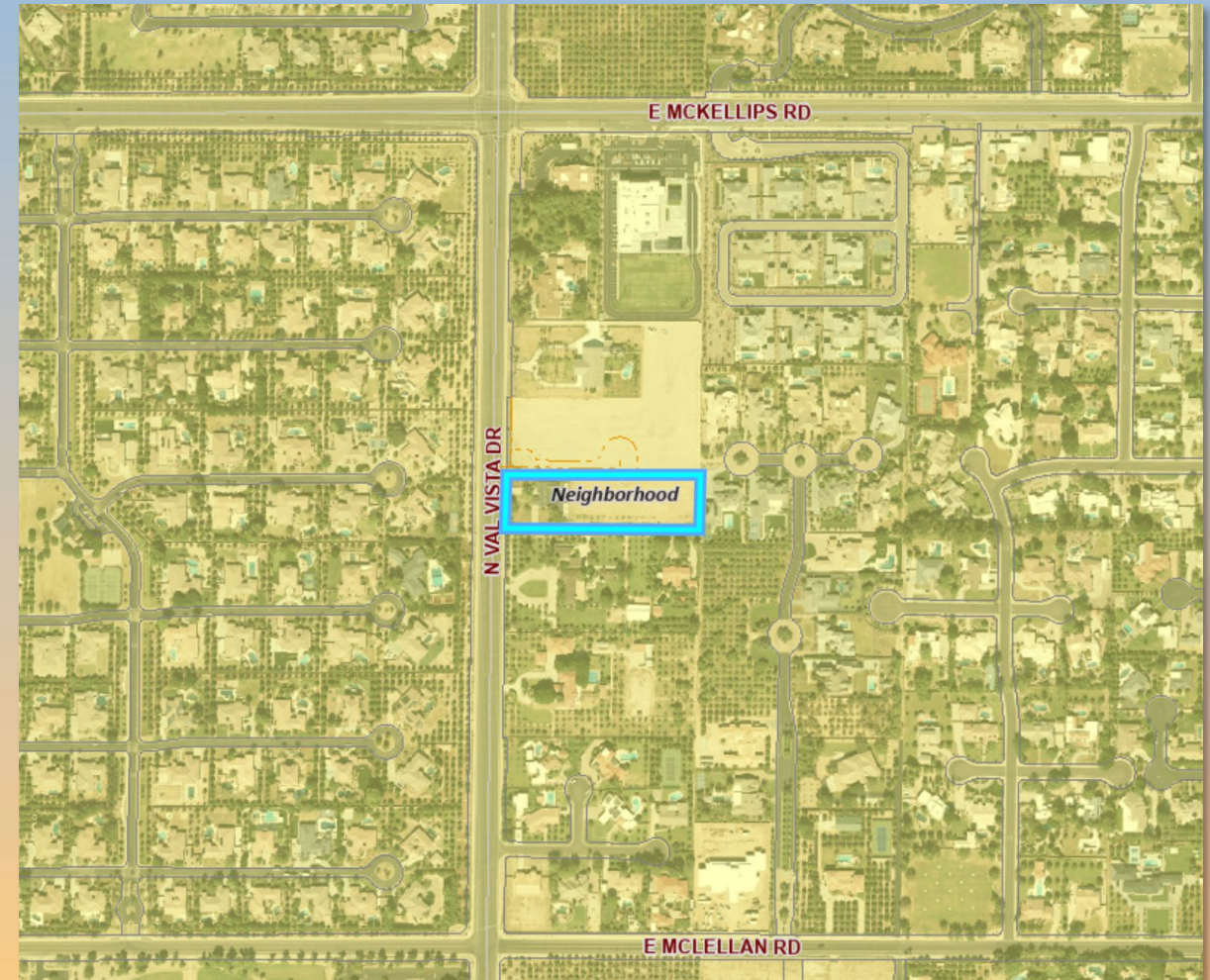




General Plan

Neighborhood, Citrus:

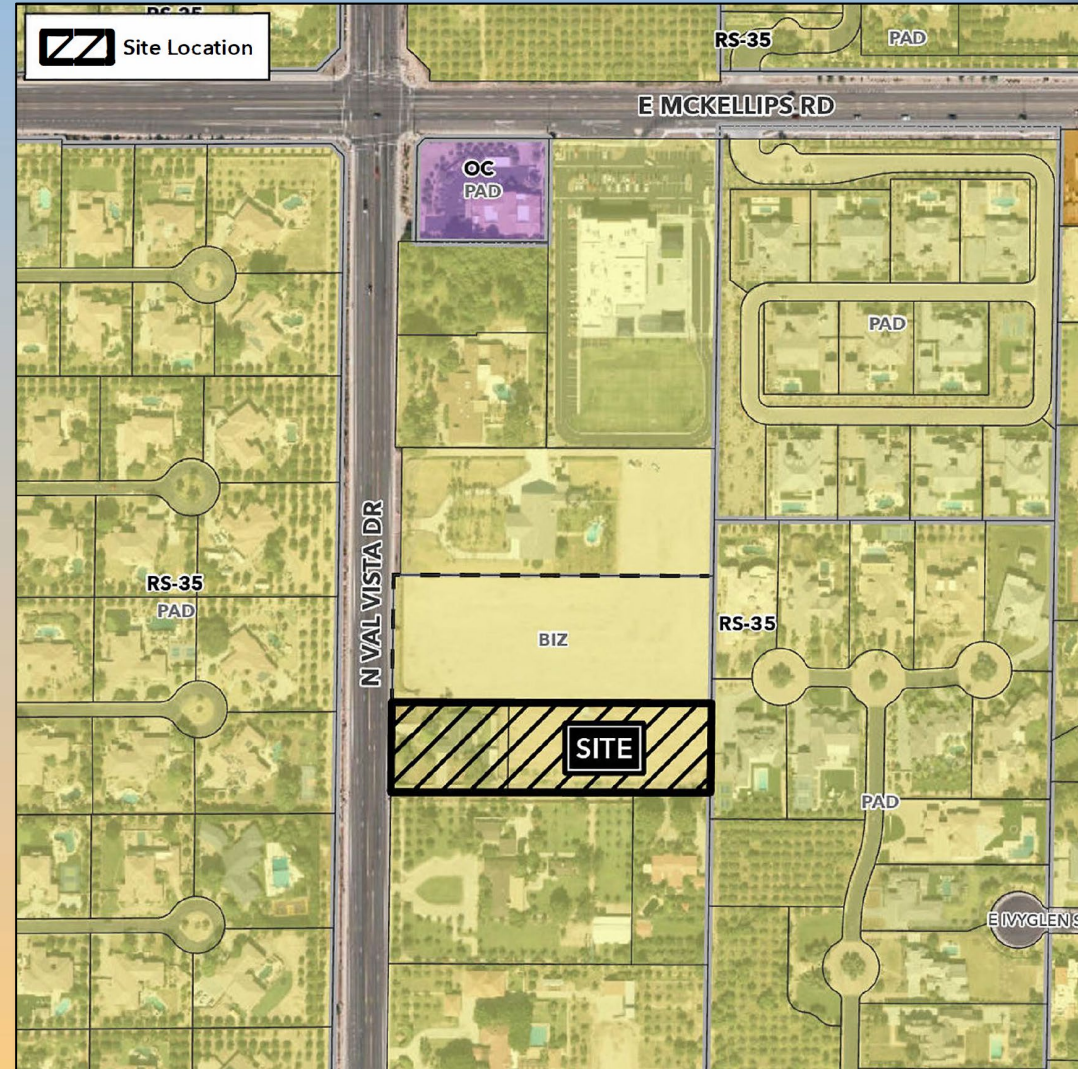
- Safe places for people to live, feel secure and enjoy their community
- Large lot, single residences are supported by the Citrus Sub-Area Plan





Zoning

- Requested zoning is Single Residence-35 with a Bonus Intensity Zone (BIZ) overlay
- Single residence is a permitted use in the RS-35 District
- BIZ overlay allows variations to certain Development Standards





Site Photo



Looking east from northern driveway off Val Vista Drive



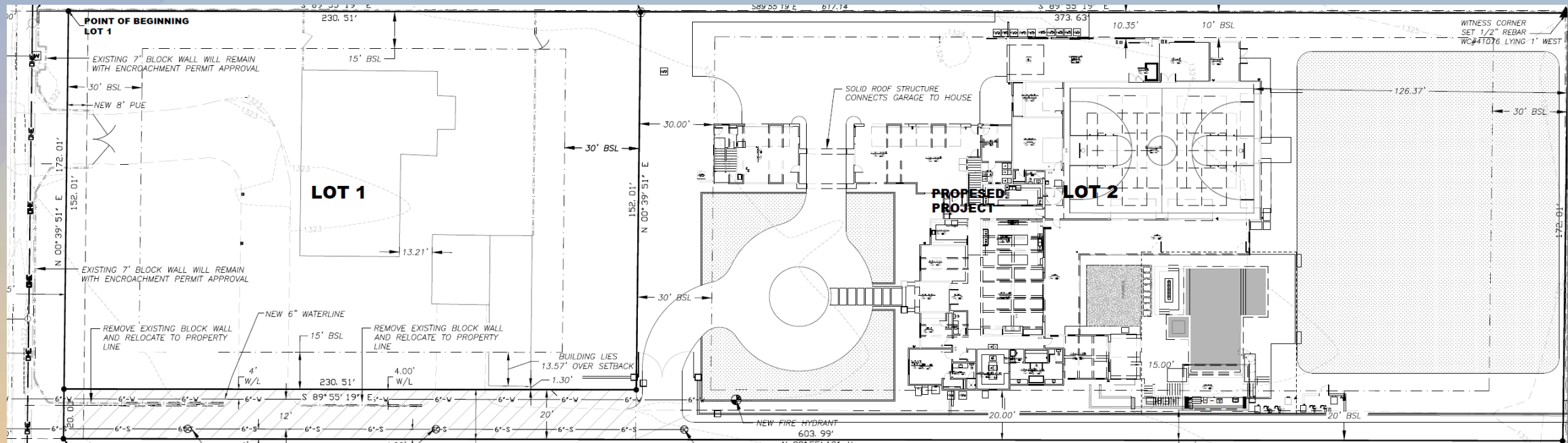
Site Photo



Looking east from southern driveway off Val Vista Drive



Site Plan



- Lot 1: existing home; BIZ requested to accommodate existing conditions
- Lot 2: proposed home; BIZ requested to accommodate 20-ft lot width



Bonus Intensity Zone (BIZ)

Development Standard	MZO Required	BIZ Proposed
<u>Minimum Lot Width – Interior Lot – MZO</u> <i>Table 11-5-3.A.1</i>	130 feet	20 feet
<u>Detached Accessory Building or Structures – MZO</u> <i>Table 11-30-17(B)(2)(i)</i> -Greater than 200 square feet; equal to or less than 15 feet (interior side setback)	5 feet	1 foot (adjacent to south property line of Lot 1 only)
<u>Fences and Freestanding Walls – Maximum Height: Front Yards – MZO</u> <i>Table 11-5-5</i>	No opaque or non-transparent fence or freestanding wall within or along the exterior boundary of the required front yard shall exceed a height of 3.5 feet.	No opaque or non-transparent fence or freestanding wall within or along the exterior boundary of the required front yard shall exceed a height of 7 feet.



Citizen Participation

- Notified property owners within 1,000 ft of the site by mail on September 30, 2024
- Mailed public notice and posted the property February 10, 2025
- Neighbors to the south shared concerns:
 - Access to parcel 141-30-012B
 - Access to irrigation control valves/boxes





Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Chapter 21 of the MZO for a BIZ Overlay

Staff recommends Approval with Conditions



Planning & Zoning Board



ZON24-00708

Park North

Charlotte Bridges, Planner II

February 26, 2025



Request

- Rezone from LC-PAD to LC with a new PAD
- CUP
- Site Plan Review

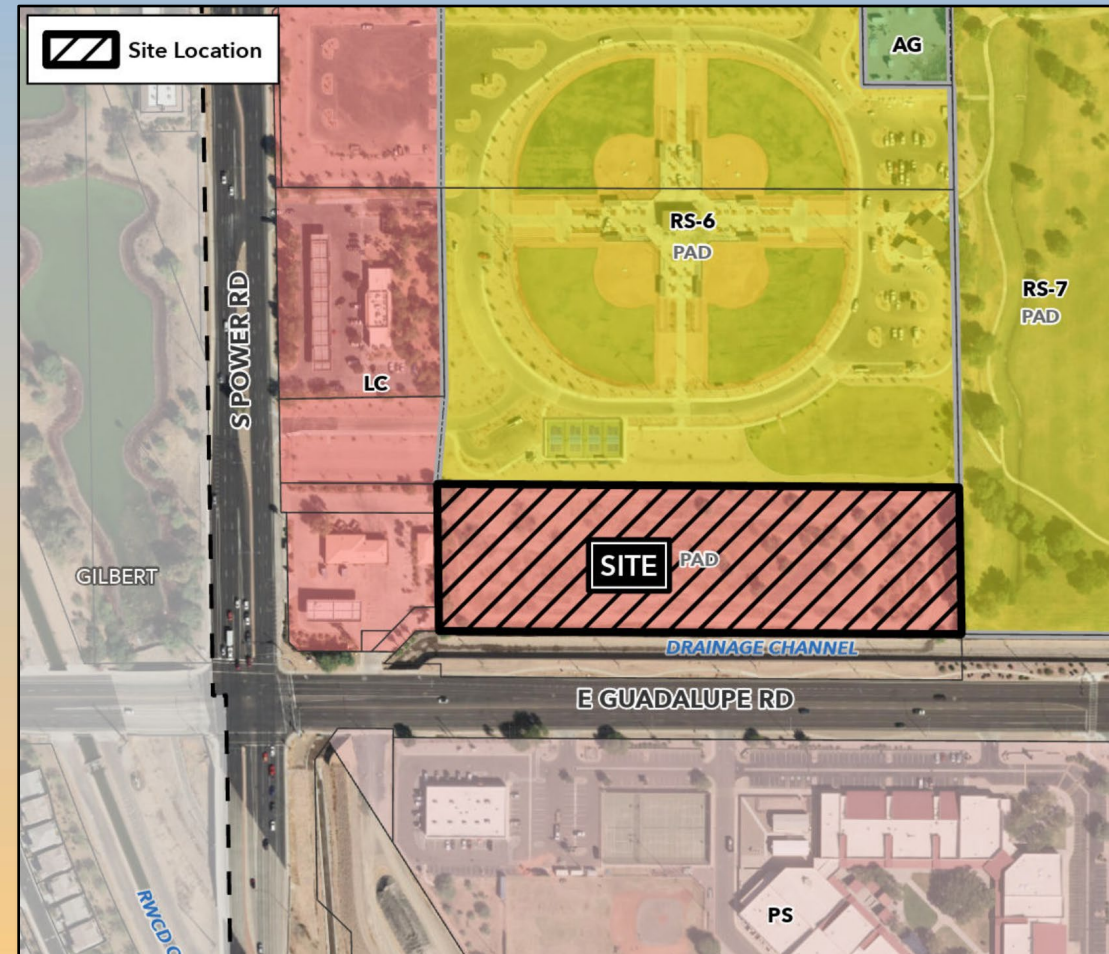
- To allow for a multiple residence development





Location

- East of Power Road
- North side of Guadalupe Road





Site Photo



Looking north from Guadalupe Road



Site Photo



Looking south from Monterey Park



General Plan

Neighborhood/Suburban Sub-Type

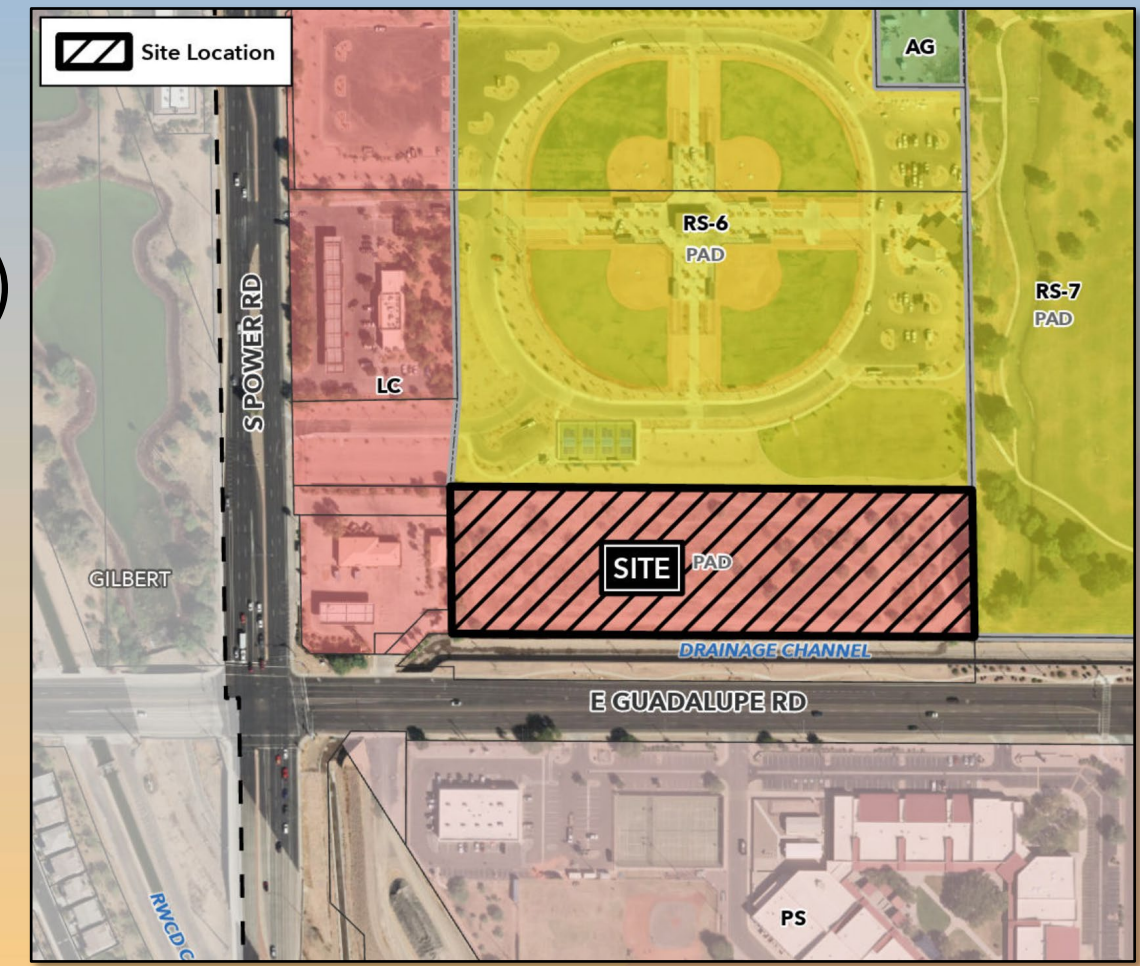
- Provide safe places for people to live where they feel secure and enjoy their surrounding community
- Primarily single residence in character
- May contain areas of multi-residence properties and commercial uses along arterial frontages and major intersections





Zoning

- Current: LC-PAD
- Proposed: Limited Commercial with a new Planned Area Development (LC-PAD)
- Multi-residence permitted if meeting certain criteria
- PAD to allow modifications to development standards

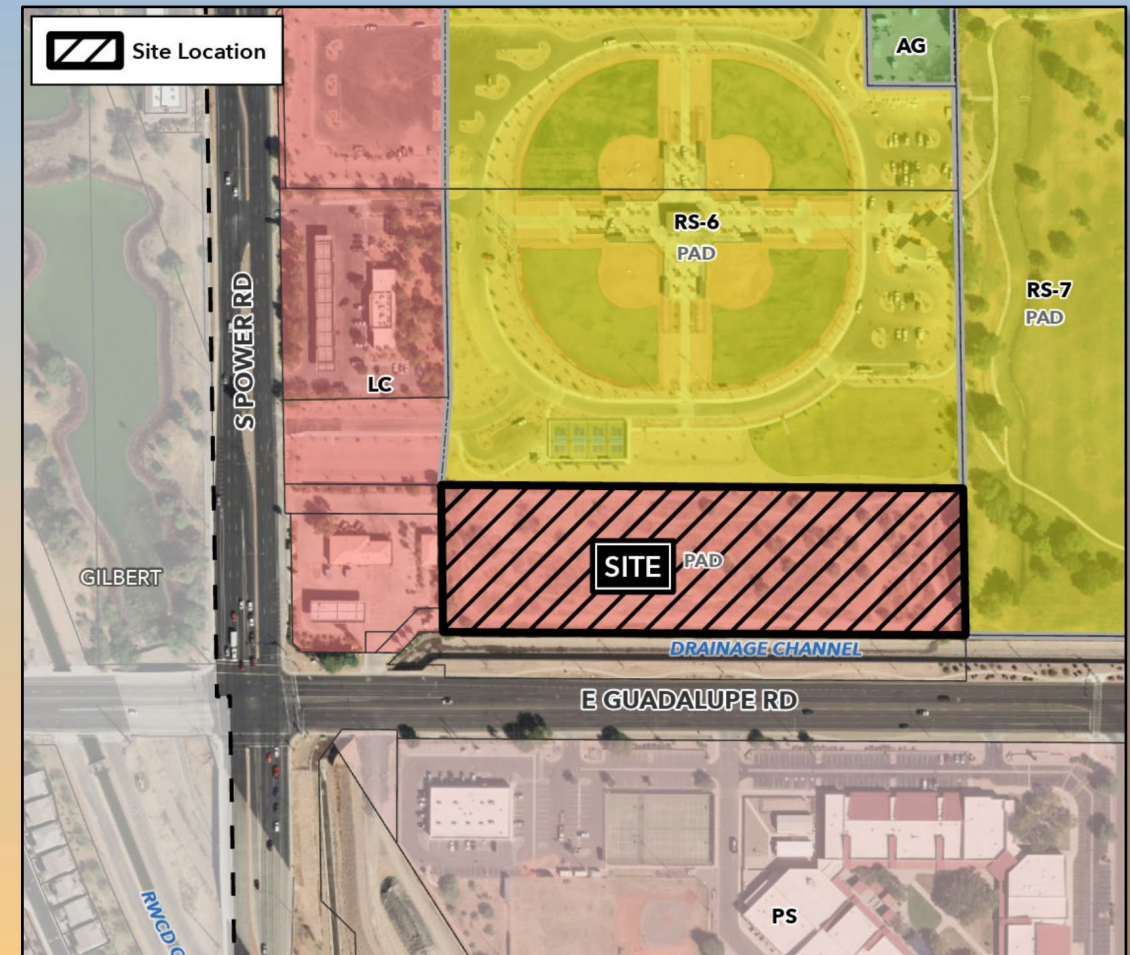




Zoning

Multiple residence uses permitted in LC district if:

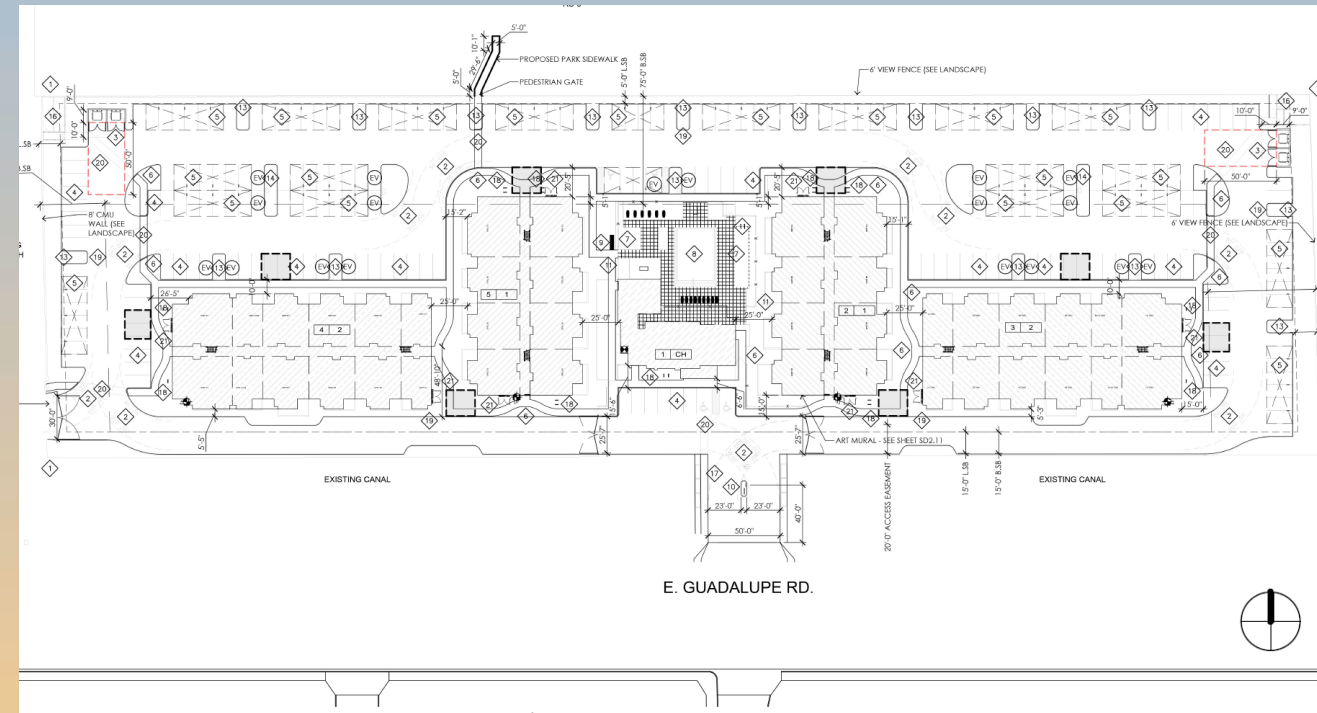
- $\geq 60\%$ GFA reserved for commercial uses,
 - $\geq 65\%$ of ground floor reserved for commercial use, and
 - ≤ 25 du/ac
-
- CUP required to modify these criteria





Site Plan

- Two, 3-story apartment buildings with 36 units
- Two, 3-story apartment buildings with 24 units
- 4,053 sq.ft. Clubhouse/Leasing Office
- Access from Guadalupe Road via new bridges across MCFCD canal
- Emergency egress through commercial property to the west via an access easement
- Parking spaces:
 - Required = 252 spaces
 - Provided = 252 spaces (122 covered spaces)





Planned Area Development

Development Standard	MZO Required	PAD Proposed
<u>Maximum Building Height</u> – MZO Table 11-6-3.A:	30 feet	38 feet
<u>Minimum Setback along Property Lines to Building and Parking Areas</u> – MZO Table 11-6-3.A: -Front and Street-Facing Side: 6-lane arterial street (Guadalupe Road) -Interior Side and Rear Adjacent to RS District: 3-story building (North property line) (East property line)	15 feet 75 feet 75 feet	0 feet 5 feet 15 feet



Planned Area Development

Development Standard	MZO Required	PAD Proposed
<p><u>Minimum Setback along Property Lines to Building and Parking Areas – MZO Table 11-6-3.A:</u> -Interior Side and Rear Adjacent to Non-residential District: (West property line)</p>	<p>15 feet each story (45 feet total)</p>	<p>15 feet</p>
<p><u>Minimum Separation between Buildings on Same Lot – MZO Table 11-6-3.A:</u> -Building height between 20 and 40 feet</p>	<p>15 feet each story (45 feet total)</p>	<p>15 feet</p>



Planned Area Development

Development Standard	MZO Required	PAD Proposed
<p><u>Fences and Freestanding Walls Maximum Height – MZO</u> <i>Section 11-30-4(B)(1)(a):</i> - Front Yards and Required Side Yards (Guadalupe Road)</p>	<p>3.5 feet</p>	<p>6 feet</p>
<p><u>Fence Materials in Commercial and Employment Districts –</u> <i>MZO Section 11-30-4(B)(2)(a)(i):</i> -Fence Materials in Commercial and Employment Districts</p>	<p>Chain link may only be used when not visible from public view</p>	<p>Existing chain link fence may remain along the south property line</p>



Planned Area Development

Development Standard

Screening – Parking Areas – *MZO Section 11-30-9(H):*

MZO Required

Parking areas and drive aisles shall be screened from street(s) with masonry wall, berm or combination of walls/berms and densely planted landscaping or "vertical wire trellis panels". No more than 40 percent of the screening shall be accomplished with dense landscaping

PAD Proposed

Parking areas and drive aisles will not be screened



Planned Area Development

Development Standard

MZO Required

PAD Proposed

Required Landscape Yards– *MZO Section 11-33-3(B)(1)(a)(ii)*:
 - Landscaping for Non-Single Residence Uses adjacent to Single Residence Uses or Districts: Sites five acres or more adjacent to an RS or RSL district
 (North property line)

 (East property line)

25 feet

5 feet

25 feet

15 feet



Planned Area Development

Development Standard

MZO Required

PAD Proposed

Perimeter Landscape Required Plant Material –
MZO Table 11-33-3.A.4 and Section 11-33-3(B)(1)(c)(ii):

- Arterial Streets
 (Guadalupe Road)

(North property line)

1 tree and 6 shrubs per 25 linear feet of frontage
 (886± feet of frontage = 36 trees and 213 shrubs total)

4 non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line
 (885± feet of adjacent property line = 36 trees and 177 shrubs total)

0 trees, 0 shrubs

0 trees and 194 shrubs



Planned Area Development

Development Standard

Foundation Base, Exterior Walls with Public Entrances

– *MZO Section 11-33-5(A)(1)(a)(i):*

- Buildings larger than 10,000 square feet with parking spaces that abut the foundation base

MZO Required

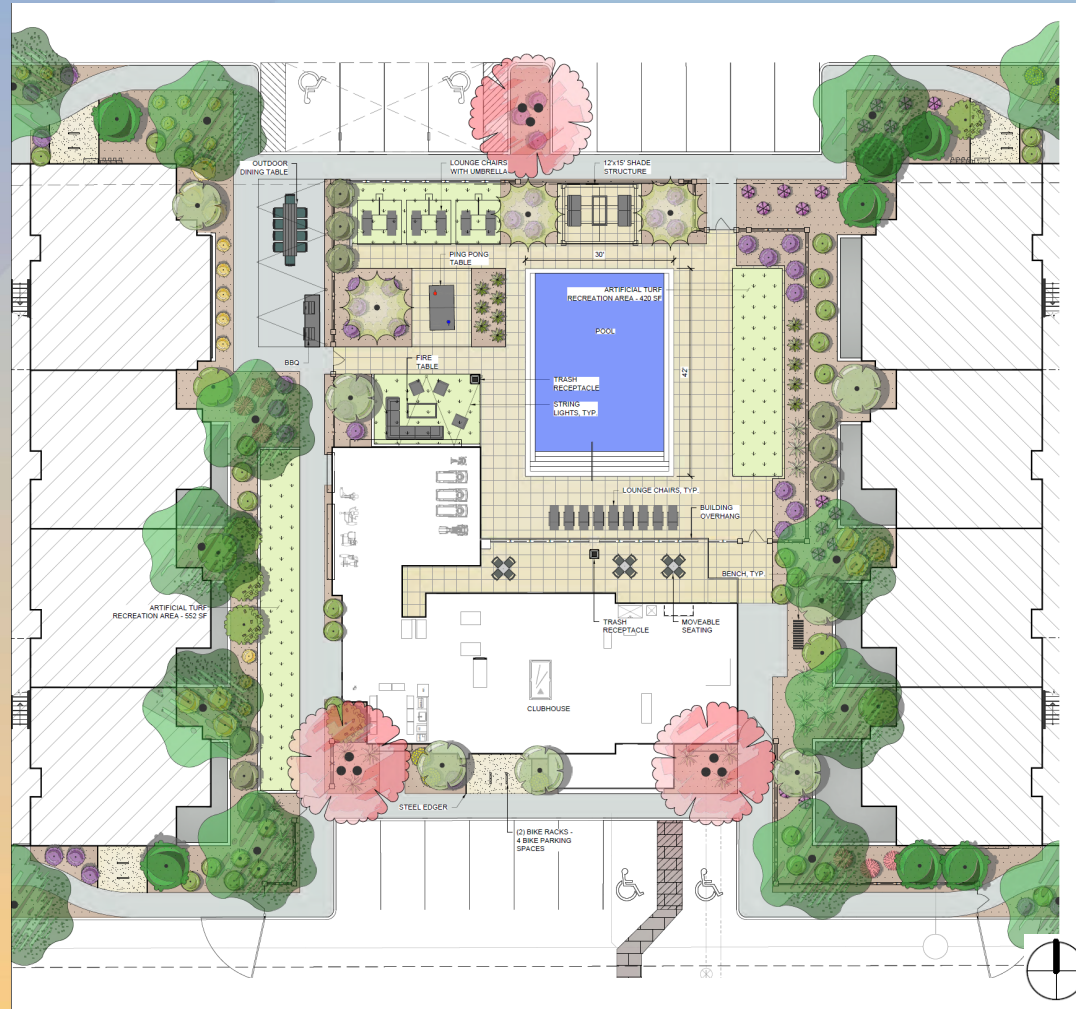
An additional foundation base shall be provided at the entrance to create an entry plaza area. The plaza area shall have a minimum width and depth of 20 feet, and a minimum area of 900 square feet

PAD Proposed

A plaza area shall not be required adjacent to the east elevation of the Building 3 or the west elevation of Building 4



Landscape Plan



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CALIPER	HEIGHT	WIDTH	MATURE SIZE	VEG CREDIT	
TREES									
	3	Bismarckia nobilis Bismarck Palm	36" Box	2.0"-3.0"	8.0'-10.0'	4.0'-5.0'	45' x 10'	25	
	44	Eucalyptus papuana Ghost Gum	24" Box	1.0"-1.5"	8.0'-10.0'	3.0'-4.0'	40' x 25'	100	
	36	Pistacia x 'Red Push' Pistache	24" Box	1.0"-1.5"	7.0'-9.0'	2.5'-3.5'	25' x 25'	50	
	46	Quercus fusiformis 'Joan Lionetti' Joan Lionetti Texas Live Oak	36" Box	1.0"-1.5"	8.0'-10.0'	5.0'-6.0'	40' x 25'	100	
	129	SUBTOTAL:							

GROUNDCOVER & SHRUBS

SYMBOL	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	VEG CREDIT
	86	Caesalpinia mexicana Mexican Bird of Paradise	15 gal	50
	116	Dodonaea viscosa Hop Bush	5 gal	50
	138	Encelia farinosa Brittlebush	5 gal	10
	42	Eremophila glabra 'Mingenew Gold' Outback Sunrise Emu	5 gal	25
	159	Lantana montevidensis Purple Trailing Lantana	5 gal	25
	131	Lantana x 'New Gold' New Gold Lantana	5 gal	25
	152	Ruellia brittoniana Purple Ruellia	5 gal	10
	9	Sophora secundiflora Texas Mountain Laurel	15 gal	50
	40	Sphagneticola trilobata Yellow Dot	5 gal	25
	87	Tecoma x 'sparky' Tecoma Sparky	5 gal	25
	960	SUBTOTAL:		

ACCENTS & GRASSES

SYMBOL	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	VEG CREDIT
	136	Aloe barbadensis Medicinal Aloe	5 gal	10
	48	Asclepias subulata Desert Milkweed	5 gal	5
	49	Muhlenbergia capillaris 'Regal Mist' TM Regal Mist Muhly	5 gal	5
	52	Muhlenbergia rigens Deer Grass	5 gal	5
	133	Portulacaria afra Elephant's Food	5 gal	10
	418	SUBTOTAL:		

HARDSCAPE SCHEDULE

SYMBOL	DESCRIPTION	QTY
32 Exterior Improvements		
	1/2" Screened - 2" Depth Color: Mahogany	61,060 sf
	DECOMPOSED GRANITE - STABILIZED 1/4" Minus Stabilized, 3" Depth Color: Desert Tan	1,050 sf
Athletic and Recreational Surfacing		
	TURF - SYNTHETIC Product: SYNTipede 343 By: Paradise Greens and Turf - (480) 586-0655	2,036 sf













Approval Criteria

Council Use Permit for Residential Uses in Commercial Districts – MZO Section 11-31-31(F)

- The use is found to be in compliance with the General Plan, Sub Area Plans and other recognized development plans or policies, and will be compatible with surrounding uses; and
- A finding that a plan of operation has been submitted, which includes, but is not limited to, acceptable evidence of compliance with all zoning, building, and fire safety regulations; and



Approval Criteria

Council Use Permit for Residential Uses in Commercial Districts - MZO Section 11-31-31(F) (cont'd)

- A finding that a "good neighbor policy" in narrative form has been submitted, which includes, but is not limited to, descriptions of acceptable measures to ensure ongoing compatibility with adjacent uses; including measures to assure that commercial activity will remain as a viable activity on this site; and
- Evidence that acceptable documentation is present demonstrating that the building or site proposed for the use is in, or will be brought into, substantial conformance with all current City development standards, including, but not limited to, landscaping, parking, screen walls, signage, and design guidelines; and



Approval Criteria

Council Use Permit for Residential Uses in Commercial Districts MZO Section 11-31-31(F) (cont'd)

- The overall project conforms to the intent and character of the zoning district and is part of a well integrated mixed use project.



Approval Criteria

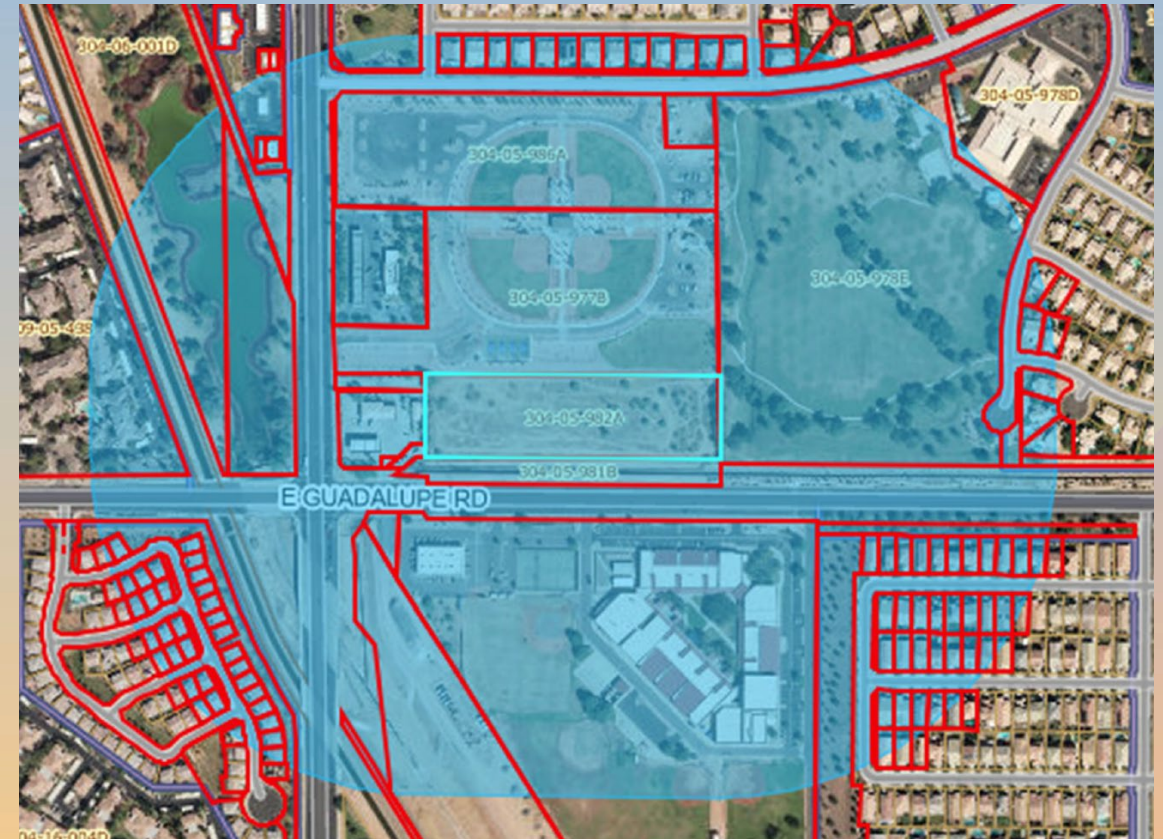
Review Criteria for a Council Use Permit per MZO Section 11-70-6(D)

- The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City; and
- Adequate public services, public facilities and public infrastructure are available to serve the proposed project.
- Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
- The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;



Citizen Participation

- Notified property owners within 1000 feet, HOAs and registered neighborhoods
- In-person meetings were held on March 24, 2024, and November 14, 2024.
- Received 43 emails in opposition to the project with concerns about the use and traffic congestion.





Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Chapter 69 of the MZO for Site Plan Review
- ✓ Complies with Chapter 22 of the MZO for a PAD Overlay
- ✓ Complies with criteria for CUP for residential uses in commercial districts per Section 11-31-31(F) & criteria for CUP per Section 11-70-6(D) of the MZO

Staff recommends Approval with Conditions



Planning and Zoning Board



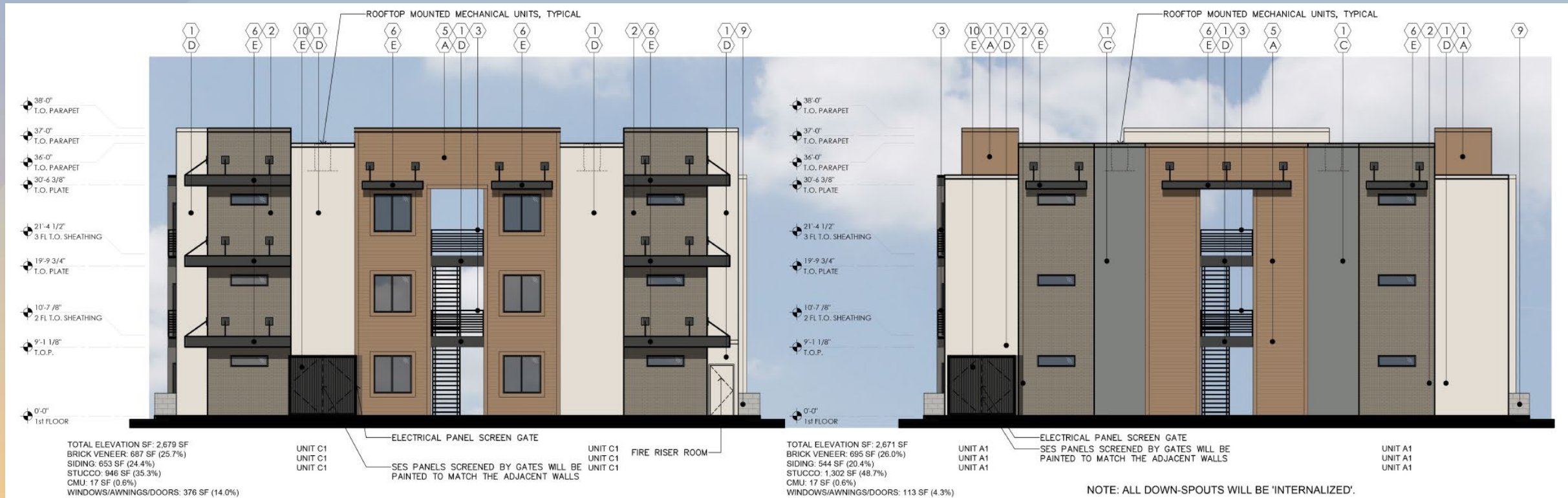
Elevations – 36 Unit Building



North and South Elevations



Elevations – 36 Unit Building



West and East Elevations



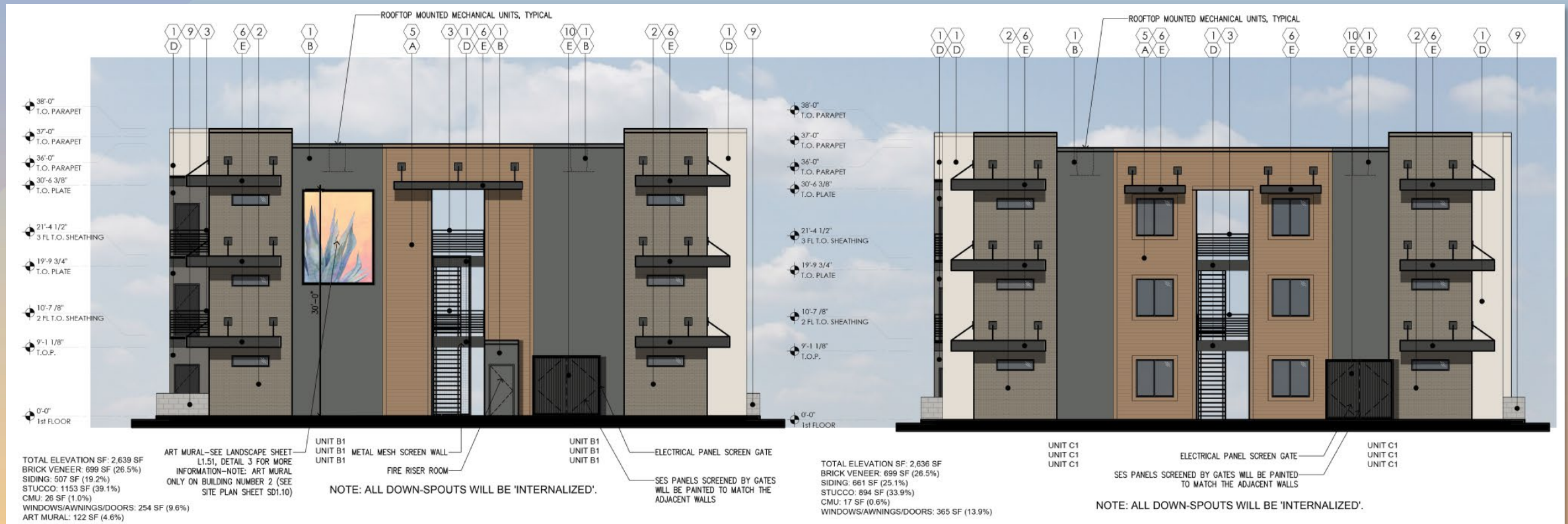
Elevations – 24 Unit Building



West and East Elevations



Elevations – 24 Unit Building



South and North Elevations



Elevations – Clubhouse/Leasing Office



TOTAL ELEVATION SF: 1,628 SF
 CMU: 259 SF (15.9%)
 SIDING: 160 SF (9.8%)
 STUCCO: 756 SF (46.4%)
 METAL SIDING: 142 SF (8.8%)

South Elevation



TOTAL ELEVATION SF: 1,618 SF
 CMU: 325 SF (20.1%)
 SIDING: 376 SF (23.2%)
 STUCCO: 336 SF (20.8%)
 METAL SIDING: 243 SF (15.0%)
 WINDOWS/AWNINGS/DOORS: 338 SF (20.9%)

DOG WASH STATION

North Elevation



Elevations – Clubhouse/Leasing Office



TOTAL ELEVATION SF: 1,319 SF
 CMU: N/A
 SIDING: 403 SF (30.6%)
 STUCCO: 646 SF (48.9%)
 METAL SIDING: 47 SF (3.6%)
 WINDOWS/AWNINGS/DOORS: 223 SF (16.9%)

West Elevation



TOTAL ELEVATION SF: 1,322 SF
 CMU: 400 SF (30.3%)
 SIDING: 351 SF (26.6%)
 STUCCO: 272 SF (20.6%)
 METAL SIDING: 114 SF (8.6%)

East Elevation

DRIVE-THRU & PICK-UP WINDOW UPDATE

Rachel Nettles, Assistant Planning Director

Cassidy Welch, Principal Planner



BACKGROUND

- On October 16, 2023, City Council approved Ord. No. 5813
- Changed the approval process for some zoning districts
 - LC District - Require an SUP
 - PEP, LI, GI, IH - Require a CUP
 - Waiver available for 3 years
- Created new definitions and revised definitions
- Modified design/development standards

DRIVE THRU ACTIVITY

Applications Submitted: 8 (17 drive-thrus total)

- Approved: 4
- In Review: 4

2023 Applications: 17 (20 drive-thrus total)



DRIVE-THRU WAIVERS

Waivers Submitted: 39

- Approved: 32
- Denied: 0
- Ineligible: 7
 - Zoning district does not require CUP
 - Property was rezoned after November 2023

SUMMARY

- No objections since adoption of text amendments
- Continue to receive applications with lanes parallel to arterials streets
 - Can enforce better design and screening
- New setback regulations from internal drives helping to address circulation concerns
- Applicants complying with noise or traffic analysis requirements – no concerns identified



QUESTIONS



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