



Board of Adjustment



BOA24-00815

Noah Bulson, Planning Technician

November 6, 2024



Request

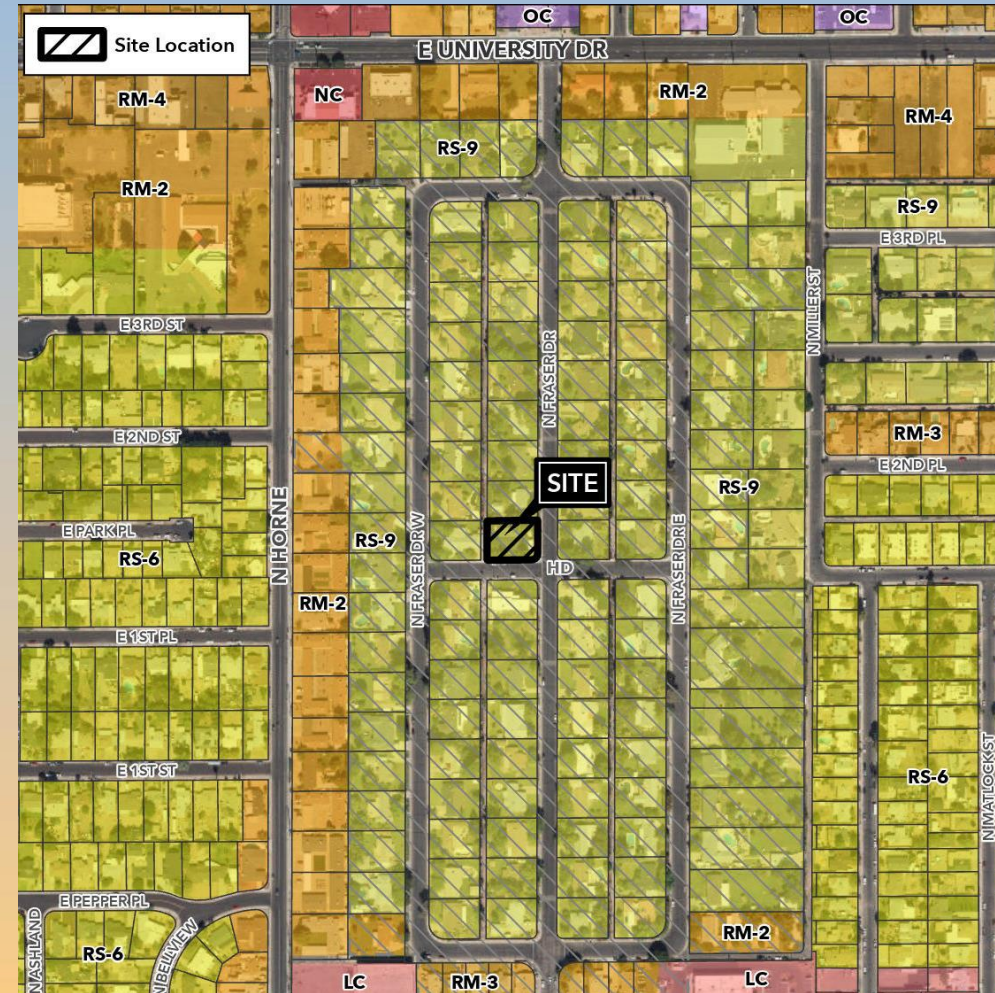
- Variance to exceed the maximum height of freestanding walls in the required front yard
- Variance to reduce the required side yard and required front yard setbacks in the RS-9-HD to build an addition to an existing single residence.





Location

- 860 East 2nd Street
- West of Stapley Drive
- South of University Drive
- In the Fraser Fields Historic District





General Plan

Neighborhood

- Safe places for people to live and enjoy their surroundings
- Wide range of housing options
- Existing use conforms to the goal of the General Plan





Zoning

- Existing: Single Residence 9 with a Historic District Overlay (RS-9-HD)





Site Photos



Looking northeast towards the site

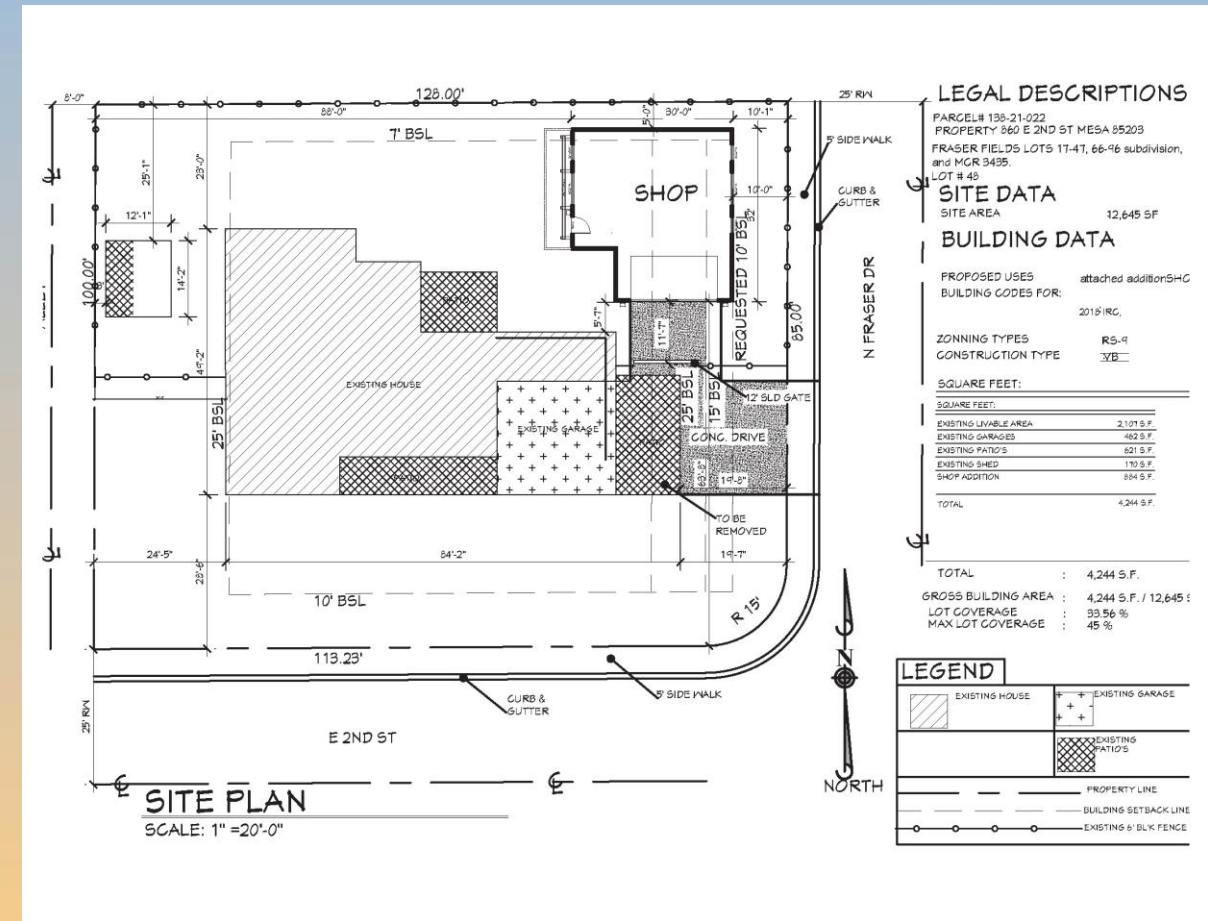


Looking southeast towards the site



Site Plan

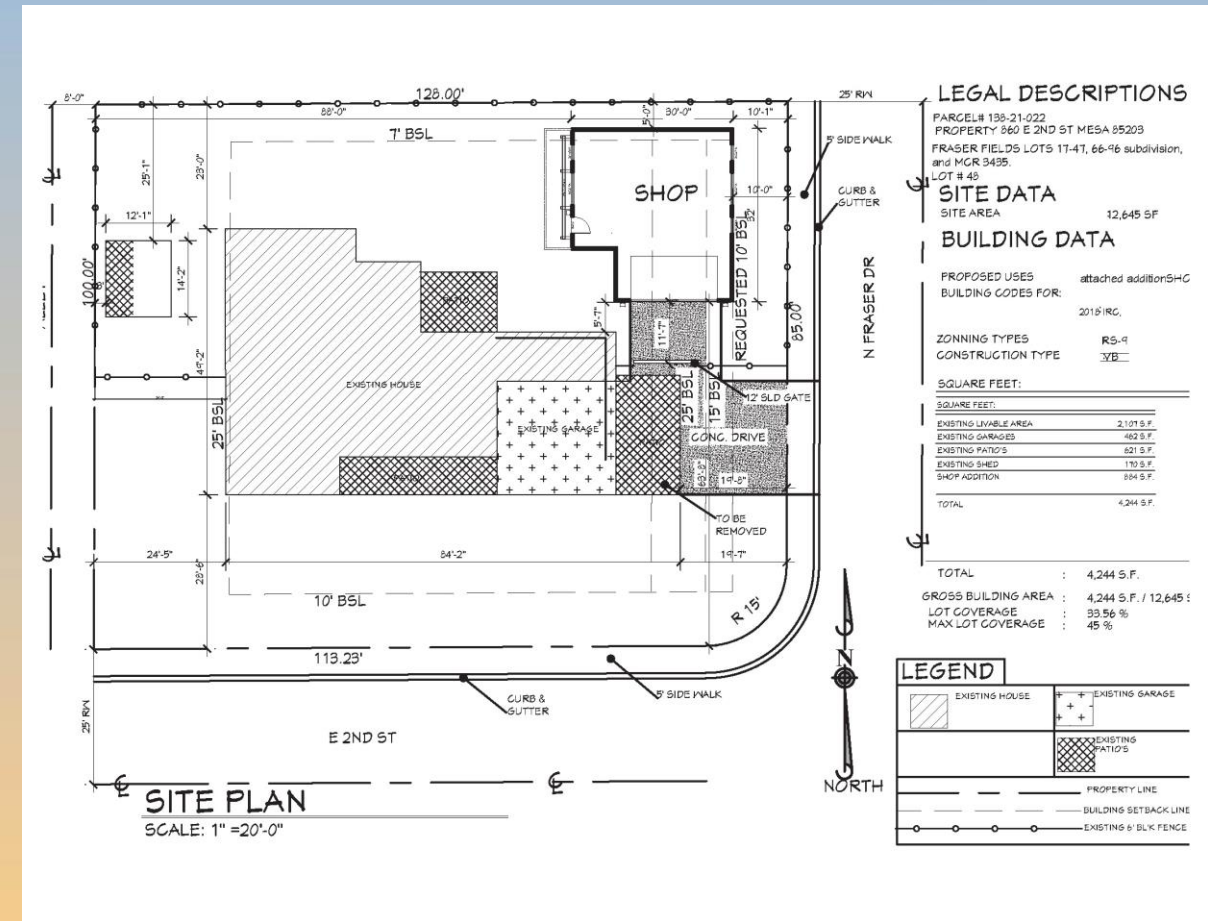
- Section 11-30-4 of MZO:
 - No opaque or non-transparent fence or freestanding wall within or along the exterior boundary of the required front yard shall exceed a height of 3.5 feet.
- The existing wall in the required front yard is 6 feet tall.





Site Plan

- Section 11-30-4 of MZO:
 - In the RS-9 zoning district, the required front yard setback to livable areas is 15 feet and the required interior side setback minimum is 7 feet.
- A 10-foot front setback to livable and a 5-foot minimum side setback is requested.





Elevations



NOTES

1	VERIFY ALL LOCAL ORDINANCES
2	VERIFY ALL PERMITS ARE OBTAINED
3	VERIFY ALL MATERIALS ARE APPROVED
4	VERIFY ALL FINISHES ARE APPROVED
5	VERIFY ALL UTILITIES ARE LOCATED
6	VERIFY ALL FOUNDATIONS ARE APPROVED
7	VERIFY ALL ROOFING IS APPROVED
8	VERIFY ALL MECHANICAL SYSTEMS ARE APPROVED
9	VERIFY ALL ELECTRICAL SYSTEMS ARE APPROVED
10	VERIFY ALL PLUMBING SYSTEMS ARE APPROVED
11	VERIFY ALL PAINTS ARE APPROVED
12	VERIFY ALL GLASS IS APPROVED
13	VERIFY ALL METALS ARE APPROVED
14	VERIFY ALL STONE IS APPROVED
15	VERIFY ALL TILE IS APPROVED
16	VERIFY ALL CARPET IS APPROVED
17	VERIFY ALL FLOORING IS APPROVED
18	VERIFY ALL CEILING IS APPROVED
19	VERIFY ALL WALLS ARE APPROVED
20	VERIFY ALL DOORS ARE APPROVED
21	VERIFY ALL WINDOWS ARE APPROVED
22	VERIFY ALL EXTERIOR LIGHTS ARE APPROVED
23	VERIFY ALL EXTERIOR PAINT IS APPROVED
24	VERIFY ALL EXTERIOR FINISHES ARE APPROVED
25	VERIFY ALL EXTERIOR MATERIALS ARE APPROVED
26	VERIFY ALL EXTERIOR COLORS ARE APPROVED
27	VERIFY ALL EXTERIOR TEXTURES ARE APPROVED
28	VERIFY ALL EXTERIOR DETAILS ARE APPROVED
29	VERIFY ALL EXTERIOR JOINTS ARE APPROVED
30	VERIFY ALL EXTERIOR CORNERS ARE APPROVED
31	VERIFY ALL EXTERIOR EDGES ARE APPROVED
32	VERIFY ALL EXTERIOR SURFACES ARE APPROVED
33	VERIFY ALL EXTERIOR VERTICALS ARE APPROVED
34	VERIFY ALL EXTERIOR HORIZONTALS ARE APPROVED
35	VERIFY ALL EXTERIOR DIAGONALS ARE APPROVED
36	VERIFY ALL EXTERIOR CURVES ARE APPROVED
37	VERIFY ALL EXTERIOR ANGLES ARE APPROVED
38	VERIFY ALL EXTERIOR ROUNDS ARE APPROVED
39	VERIFY ALL EXTERIOR SQUARES ARE APPROVED
40	VERIFY ALL EXTERIOR TRIANGLES ARE APPROVED
41	VERIFY ALL EXTERIOR QUADRANGLES ARE APPROVED
42	VERIFY ALL EXTERIOR POLYGONS ARE APPROVED
43	VERIFY ALL EXTERIOR CIRCLES ARE APPROVED
44	VERIFY ALL EXTERIOR ARCS ARE APPROVED
45	VERIFY ALL EXTERIOR SPHERES ARE APPROVED
46	VERIFY ALL EXTERIOR CYLINDERS ARE APPROVED
47	VERIFY ALL EXTERIOR CONES ARE APPROVED
48	VERIFY ALL EXTERIOR PYRAMIDS ARE APPROVED
49	VERIFY ALL EXTERIOR PRISMS ARE APPROVED
50	VERIFY ALL EXTERIOR FRUSTUMS ARE APPROVED

SHOP ADDITION
800 E. 3RD ST. MESA, AZ 85202
K.N.F. DESIGN REVIEW & PERMIT, LLC
SHEET 1 OF 1



Citizen Participation

- Notified property owners within 150 feet
- No feedback was received





Approval Criteria

Section 11-80-3 Variance Criteria

- ✓ There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, and
- ✓ That such special circumstances are pre-existing, and not created by the property owner or appellant; and
- ✓ The strict application of the Zoning Ordinance will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district; and
- ✓ Any variance granted will assure that the adjustment authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.



Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Meets required findings for a Variance in Section 11-80-3 of the MZO

Staff recommend Approval with Conditions



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