

Design Review Board

Meeting Minutes

Mesa City Council Chambers - Lower Level, 20 East Main Street
Date: December 9, 2025 Time: 4:30 p.m.

A meeting of the Design Review Board was held at 4:30 p.m.

MEMBERS PRESENT:

Chair Dane Astle
Vice Chair Ryan Circello
Boardmember Paul Johnson
Boardmember Denise Dunlop
Boardmember Shelly Udall
Boardmember David Winstanley

MEMBERS ABSENT:

STAFF PRESENT:

Nanna Appiah
Rachel Phillips
Kellie Rorex
Joshua Grandlienard
Charlotte Bridges
Chloe Durfee Daniel
Kwasi Abebrese
Vanessa Felix

OTHERS PRESENT:

(* indicates Boardmember or staff participated in the meeting using audio conference equipment)

1 Call meeting to order.

Chair Astle and welcomed everyone to the meeting at 4:30PM.

2 Consider the Minutes from November 18, 2025, Design Review Board Meeting.

A motion to approve the Minutes from the November 18, 2025, Design Review Board Meeting was made by Vice Chair Circello and seconded by Boardmember Udall.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

NAYS – None

ABSENT – None

ABSTAINED – None

- 3 Hear a presentation and discuss proposed changes to the Design Review Board's authority and duties related to streamlined development processes and changes to State legislation.

Staff Director Nanna Appiah and staff Assistant Director Rachel Phillips presented.

See attached presentation.

- 4 Discuss and take action on the following case:

- 4a DRB25-00647. "Aldi Greenfield and Main," 3.4± acres located at 4433 East Main Street. Design Review of façade improvements to the existing approximately 25,850 square foot building and a request to allow a new 35± foot tall entry feature at the existing building. **(District 2)**

Staff planner Charlotte Bridges presented the case.

Staff Recommendation: Approval with Conditions

The Board approved DRB25-00647 with the following conditions:

1. Compliance with Ordinance No. 1273, except as modified by subsequent approvals.
2. Compliance with all requirements of Design Review Case No. DRB25-00647.
3. Compliance with all applicable City development codes and regulations.
4. Prior to the issuance of a building permit, submit for and receive approval of an Administrative Review for minor site plan modifications.
5. Prior to submittal of a building permit, submit to planning staff revised elevations to continue the painted CMU wainscot along the west, north and east elevations

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

NAYS – None

ABSENT – None

ABSTAINED – None

- 5 Discuss and make a recommendation on the following case:

- 5b DRB25-00059. "Destination at Gateway FLM," 125± acres located at the Southeast and Southwest corners of East Williams Field Road and South Signal Butte Road. Design Review for two Freeway Landmark signs. **(District 6)**

Staff planner Kellie Rorex presented the case.

Staff Recommendation: Approval with Conditions

The Board recommends to approve case DRB25-00059 conditioned upon:

1. Compliance with the final sign plan submitted.
2. Compliance with all requirements of Case No. ZON25-00056.
3. Compliance with all requirements of DA22-00031.
4. Compliance with all applicable City development codes and regulations

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

NAYS – None

ABSENT – None

ABSTAINED – None

6 Discuss and provide direction on the following Preliminary Design Review cases: *

6a DRB24-00524. "202 RV Valet Storage Expansion," 2.3± acres located at 8839 East Main Street. Design Review for an approximately 58,845 square foot expansion of a Boat and Recreational Vehicle Storage facility. (District 5)

Chair Astle recused himself.

Staff planner Kwasi Abebrese presented the case.

See attached presentation.

Staff planner Kwasi Abebrese summarized the case:

- Enhance the design of the proposed parapets by increasing the depth of the returns or provide a different material

6b DRB25-00325. "Circle K - Pecos & Sossaman," 6.3± acres located at the southeast corner of East Pecos Road & South Sossaman Road. Design Review to allow for an approximately 5,200 square foot service station and associated fuel canopy. (District 5)

Staff planner Chloe Durfee Daniel presented the case.

See attached presentation.

Staff planner Chloe Durfee Daniel summarized the case:

- Provide landscaping around the trash enclosure, specifically immediately south of the enclosure so long as there are no easements of concern

6c DRB25-00623. "NTT Mesa PH10," 170± acres located at the NEC of the future alignment of S Crisman Road and Pecos Road. Design Review for an approximately 2,257,600 square foot Data Center development. (District 6)

Boardmember Dunlop recused herself.

City of Mesa – Design Review Board – December 9, 2025 – Meeting Minutes

Staff planner Joshua Grandlienard presented the case.
See attached presentation.

Staff planner Joshua Grandlienard summarized the case:

- Provide the architectural eyebrow only at the public entry area
- Confirm that there are no downspouts visible from outside the site
- Confirm that lighting is consistent with the AOA overlay allowances and that it creates elements along SR24

7 Staff Update: No update

8 Adjournment: Vice Chair Circello moved to adjourn the meeting and was seconded by Boardmember Udall.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

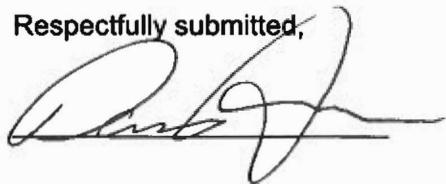
NAYS – None

ABSENT – None

ABSTAINED – None

The meeting was adjourned at 5:58 p.m.

Respectfully submitted,



Chair Dane Astle

Design Review Board Duties

Nana Appiah, Development Services Director

December 9, 2025





Changes to State Legislation

- HB 2447 signed by the governor on March 31, 2025
- Changed existing law to require (rather than allow) legislative bodies to establish administrative review processes for development proposals
- Required design review plans to be:
 - Reviewed and approved based on objective standards
 - Without a public hearing
- "Objective" means not influenced by personal interpretation, taste or feelings of a municipal employee and verifiable by reference to an adopted benchmark, standard or criterion available and knowable by the applicant or proponent.

Development Community Feedback

- Improve and expand administrative approvals
- Revise stringent standards on major and minor site plan amendment approval process
- Minimize uncertainty in the Design Review Process



Effects on the Design Review Board

Streamline Processes

1) Combine Design Review with Site Plan Review to create a new “Development Plan Review” application

2) Align reviewing and approving bodies

Planning Director

- Meet all development standards

- Not requesting a rezone, PAD, BIZ, CUP, SUP, or other deviation

Design Review Board

- Alternative Compliance
- Municipal Projects
- As Directed by Council

- Planning Director Referral
- Planning Director Appeal
- PC District Matters
- Previous Condition

Planning & Zoning Board

- Rezone, PAD, BIZ, CUP, or SUP
- PC District Matters

- Project Specific Design Guidelines & Standards

Questions?





Design Review Board



DRB25-00647

Aldi at Greenfield and Main

Charlotte Bridges, Planner II

December 9, 2025



Request

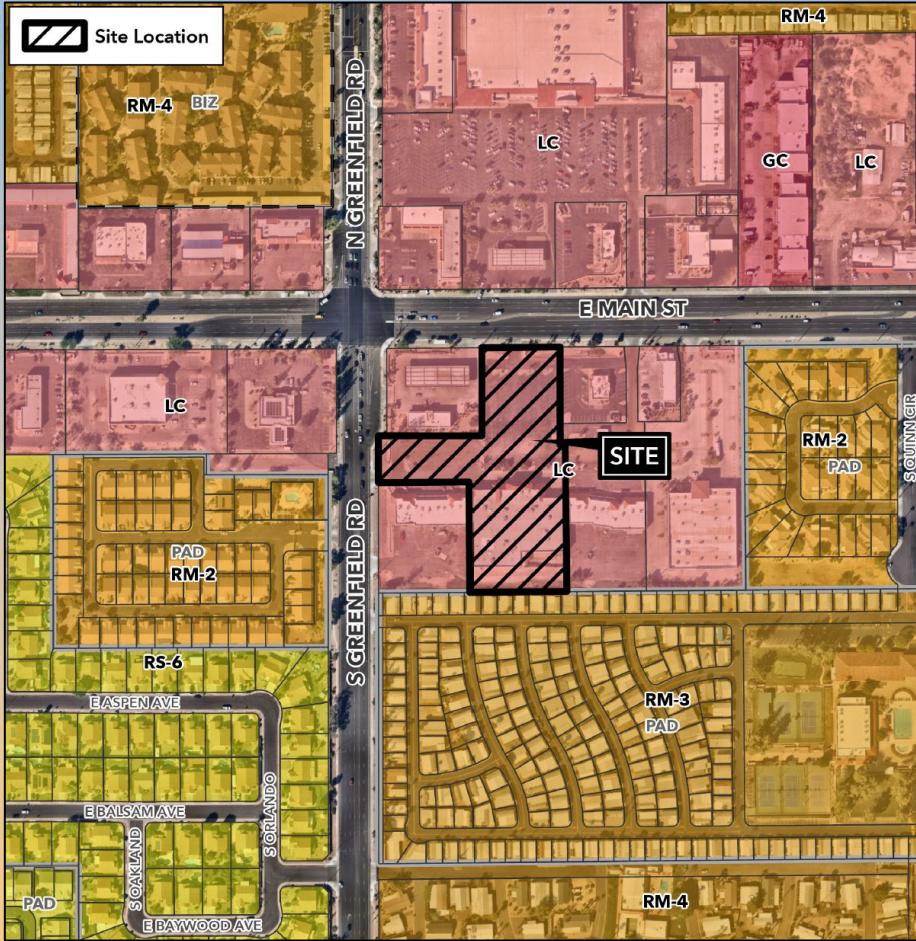
- Review of an exterior remodel of a 35,705 square foot major tenant space and associated landscape plan
- Approval of a height exception to allow a 35-foot two-inch entry feature





Location

- 4433 East Main Street
- Major tenant within the commercial center at the southeast corner Greenfield Road and Main Street





Site Photo



Looking south from Main Street



Site Photo

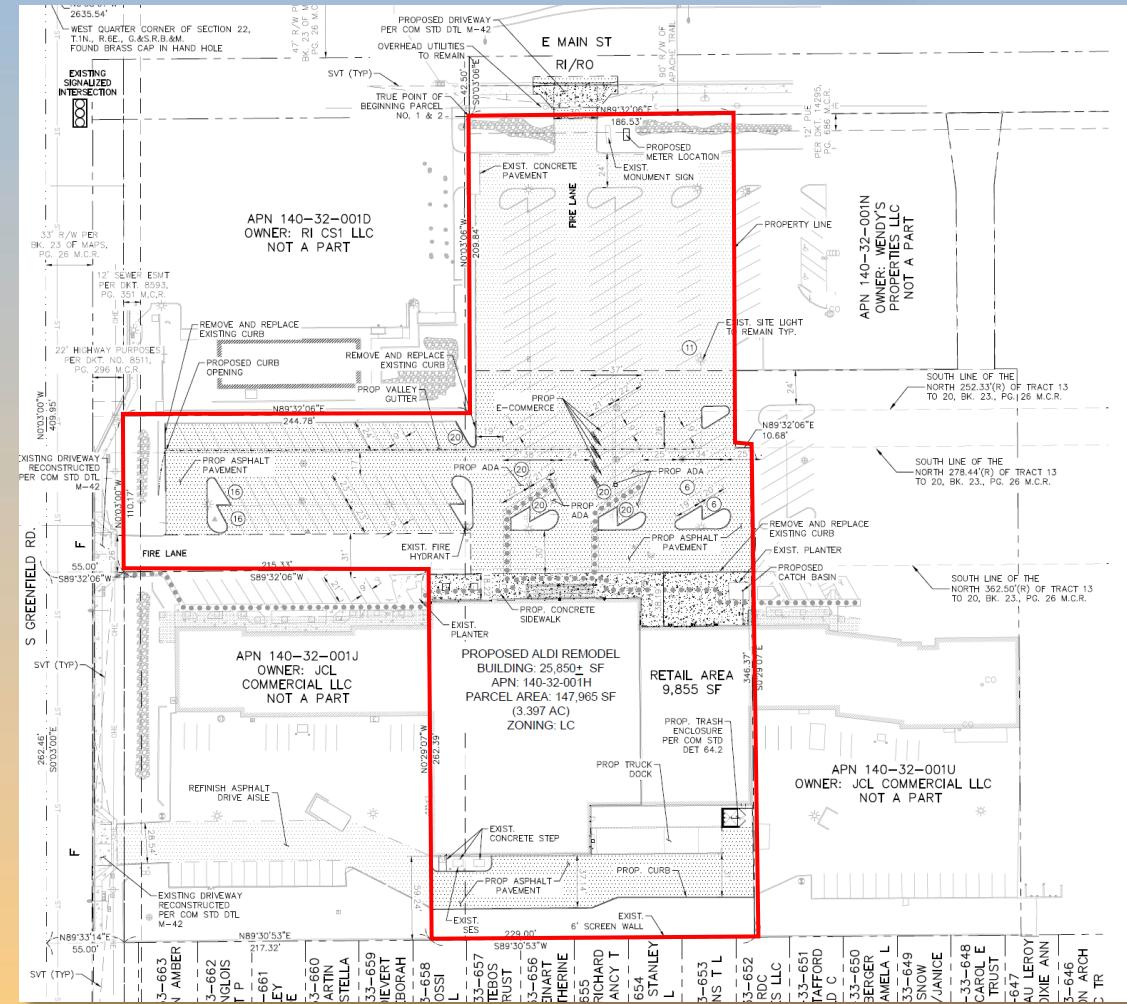


Looking east from Greenfield Road



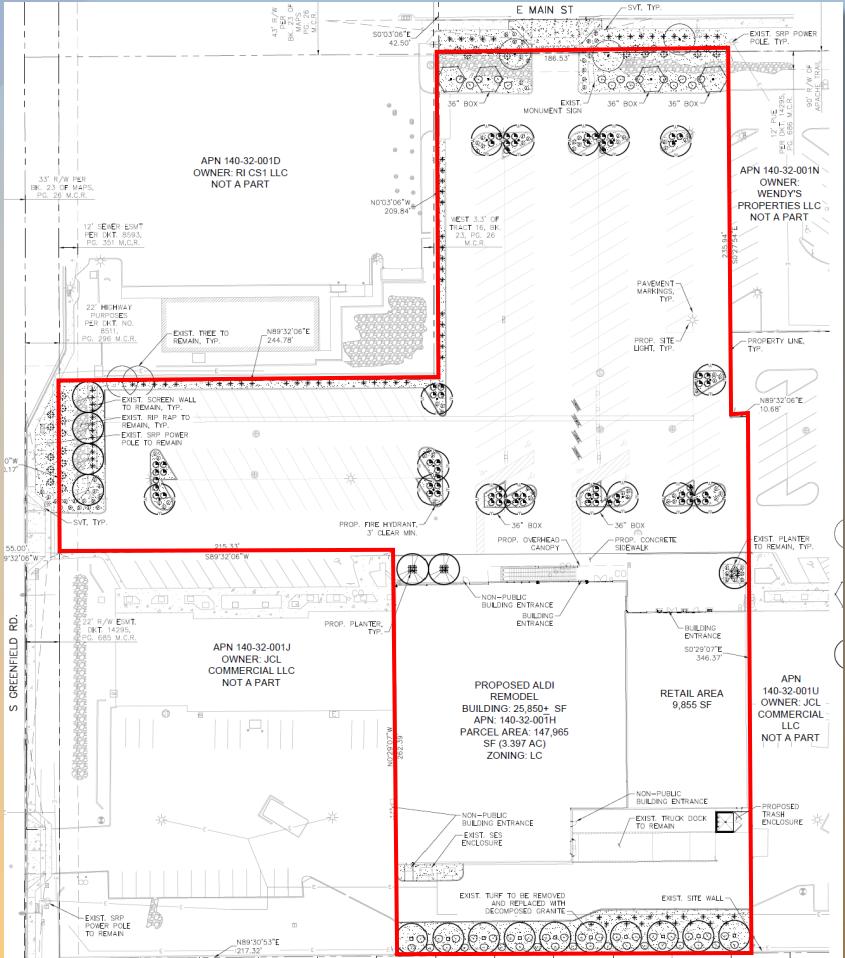
Site Plan

- Existing 35,705± square foot building including
 - 25,850± square foot major tenant
 - 9,855± square foot tenant
- Existing access is provided via four shared drives from Main Street and three shared drives from Greenfield Road
- 96 parking spaces are required; 155 parking spaces are provided on-site





Landscape Plan



PLANTING LEGEND

TREES (*LARGER SPECIES LABELED ON PLAN)

BOTANICAL NAME / COMMON NAME	SIZE	QTY
Existing Tree to Remain Species Vary	Size Varies	-
Acacia aneura Mulga	1½" Cal. Min., 7" Ht. Min., 3" Sp. Min., 24" Box Min.	14
Olea europaea 'Wilsonii' Fruitless Olive	1½" Cal. Min., 8" Ht. Min., 5" Sp. Min., 24" Box Min. *2" Cal. Min., 10" Ht. Min., 6" Sp. Min., 36" Box Min.	1 2
Pistacia x 'Red Push' Red Push Pistache	1½" Cal. Min., 7" Ht. Min., 3" Sp. Min., 24" Box Min.	7
Quercus virginiana Live Oak	1½" Cal. Min., 7" Ht. Min., 4" Sp. Min., 24" Box Min.	10

SHRUBS

	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	<i>Leucophyllum zygophyllum</i> 'Cimarron' Cimarron Sage	5 Gal.	26
	<i>Hesperaloe parviflora</i> 'Perpa' Brakelights Red Yucca	5 Gal.	93
	<i>Ruellia peninsulae</i> Baja Ruellia	5 Gal.	69
	<i>Tecoma stans</i> 'Gold Star' Yellow Bells	5 Gal.	52

GROUND COVERS

GROUNDCOVERS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
①	Lantana montevidensis Purple Trailing Lantana	1 Gal.	87

MATERIALS

DESCRIPTION	QTY
Decomposed Granite	20,105 SF
1/2" Screened, Madison Gold, Color to Match Existing, 2" Depth Min	



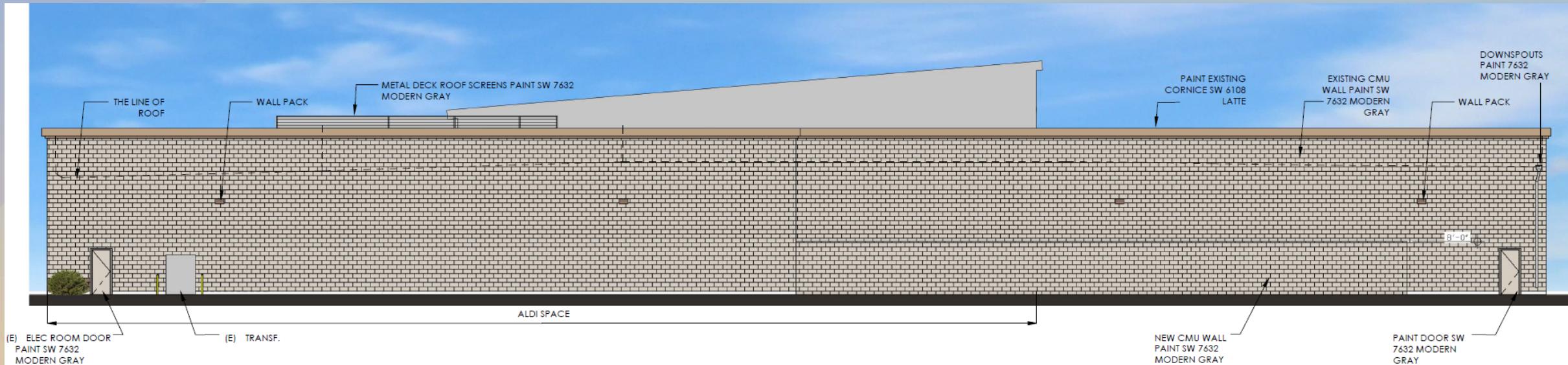
Elevations



IN COMPLIANCE WITH SECTION 11-6-3(B)(5) OF THE MZO - REASONING FOR THE ELEVATIONS - MATERIAL & COLOR		
ITEM	SQUARE FOOTAGE	PERCENTAGE
FRONT OVERALL FACADE	6,248	100%
PAINTED CMU	2,603	42%
NICHIHA COMPOSITE SIDING	1,198	19%
ALUMINUM COMPOSITE PANELS	1,181	18%
GLAZING	971	16%
PAINT PLASTER CORNICE	248	4%
TRELLIS	47	1%

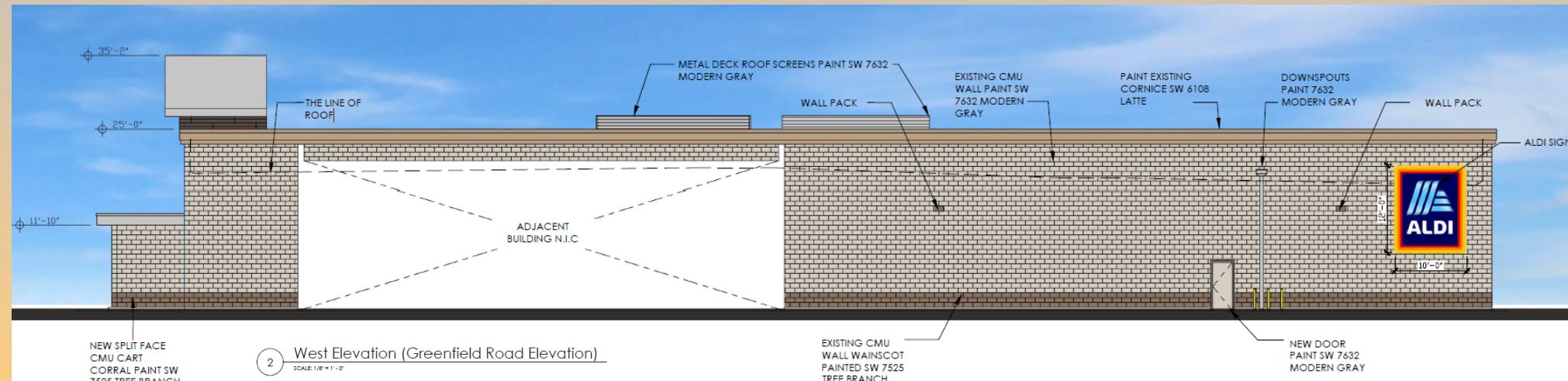
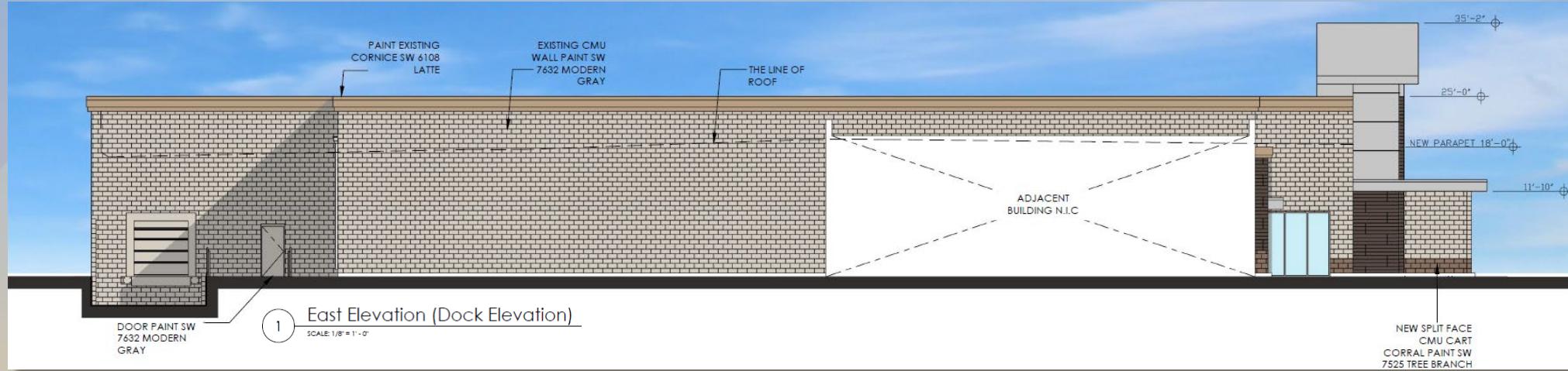


Elevations





Elevations





Site Rendering





Site Rendering





Color and Material Board





Alternative Compliance

- ✓ Character and Image: In multiple building developments, each individual building shall include predominant characteristics shared by each building so that the buildings within the development appear to be part of a cohesive, planned area, yet are not monotonous in design.
- ✓ Roof Articulation – Existing South Elevation: Minimum vertical modulation is two (2) feet or one-tenth (1/10) multiplied by the wall height, not to exceed one-third ($\frac{1}{3}$) of the height of the supporting wall.



Alternative Compliance

Materials and Colors:

- ✓ Existing East, West and South Elevations: Shall incorporate at least three (3) different and distinct materials and no more than 50% of the total facade may be covered with one material.
- ✓ Existing East and South Elevations: Provide a recognizable “base”.



Height Exception

- ✓ Maximum height allowed in the LC district is 30 feet
- ✓ Requesting a 35-foot two-inch top height (mid-point height of 31 feet, six-inches) for a shed roof entry feature



Findings

Staff is seeking review and recommendation on the following:

- ✓ Proposed building elevations & landscape design
- ✓ Alternative compliance requests

Staff is seeking review and approval of the:

- ✓ Exception to the height limit in the LC District

Staff welcomes any feedback



Design Review Board



Photos of Commercial Center





Photos of Commercial Center





Design Review Board



DRB25-00059

Destination at Gateway Freeway Landmark Monument

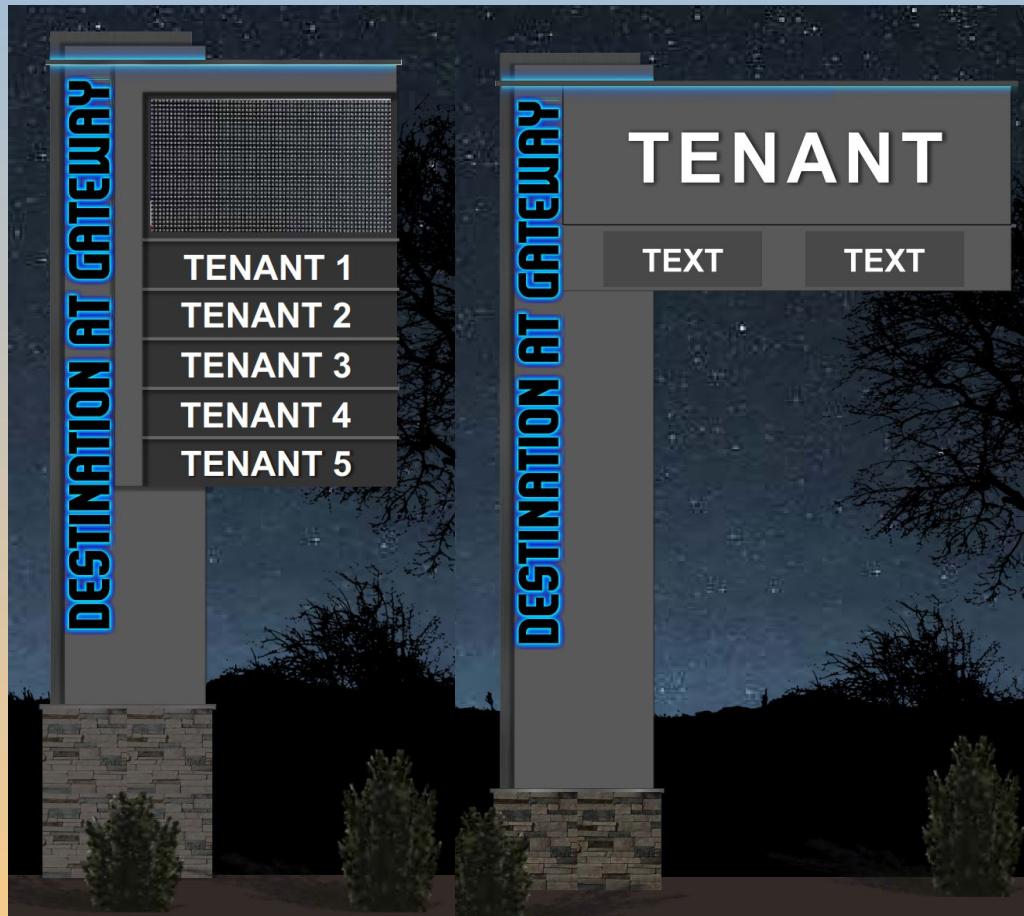
Kellie Rorex, Senior Planner

December 9, 2025



Request

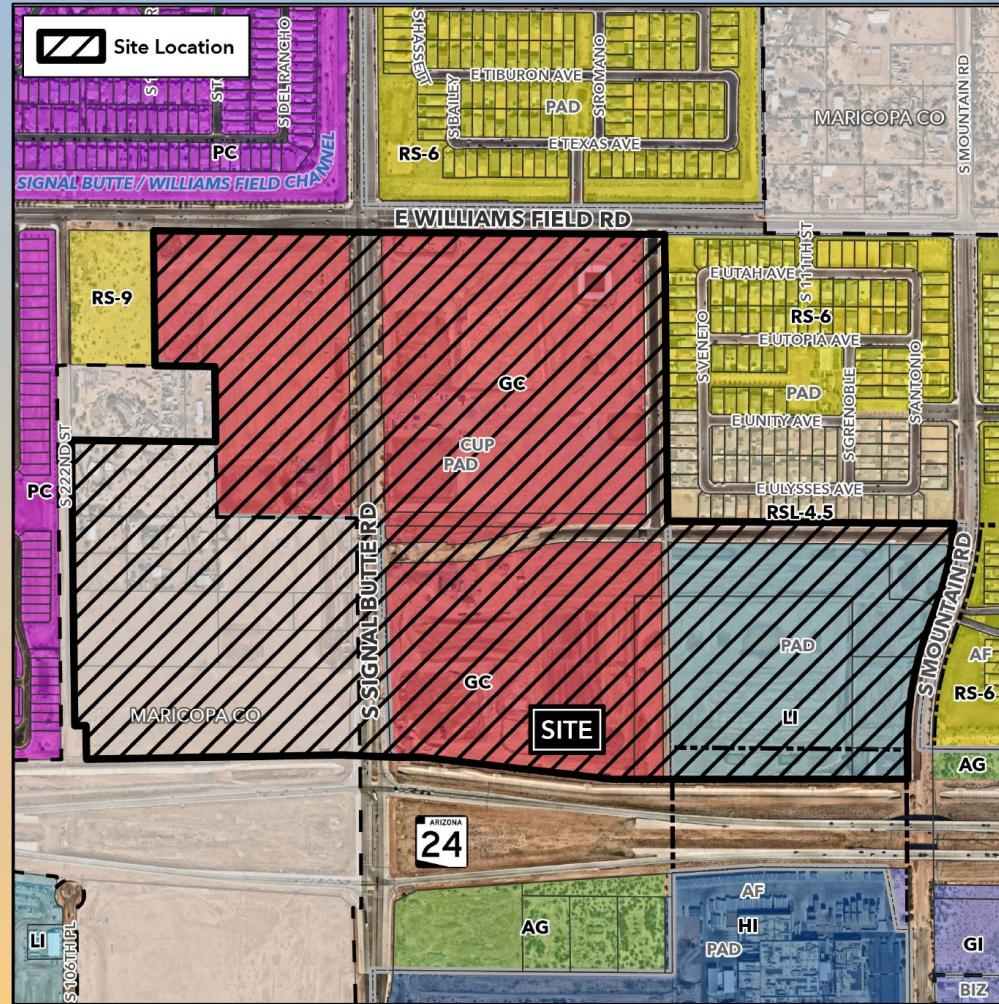
- Design Review for two (2) Freeway Landmark Signs within Destination at Gateway





Location

- East of Signal Butte Road
- North of 24 Gateway Freeway
- West of Mountain Road
- Within Destination at Gateway commercial center





Site Photo



Looking north from 24 Gateway Freeway offramp (Signal Butte)



Site Photo

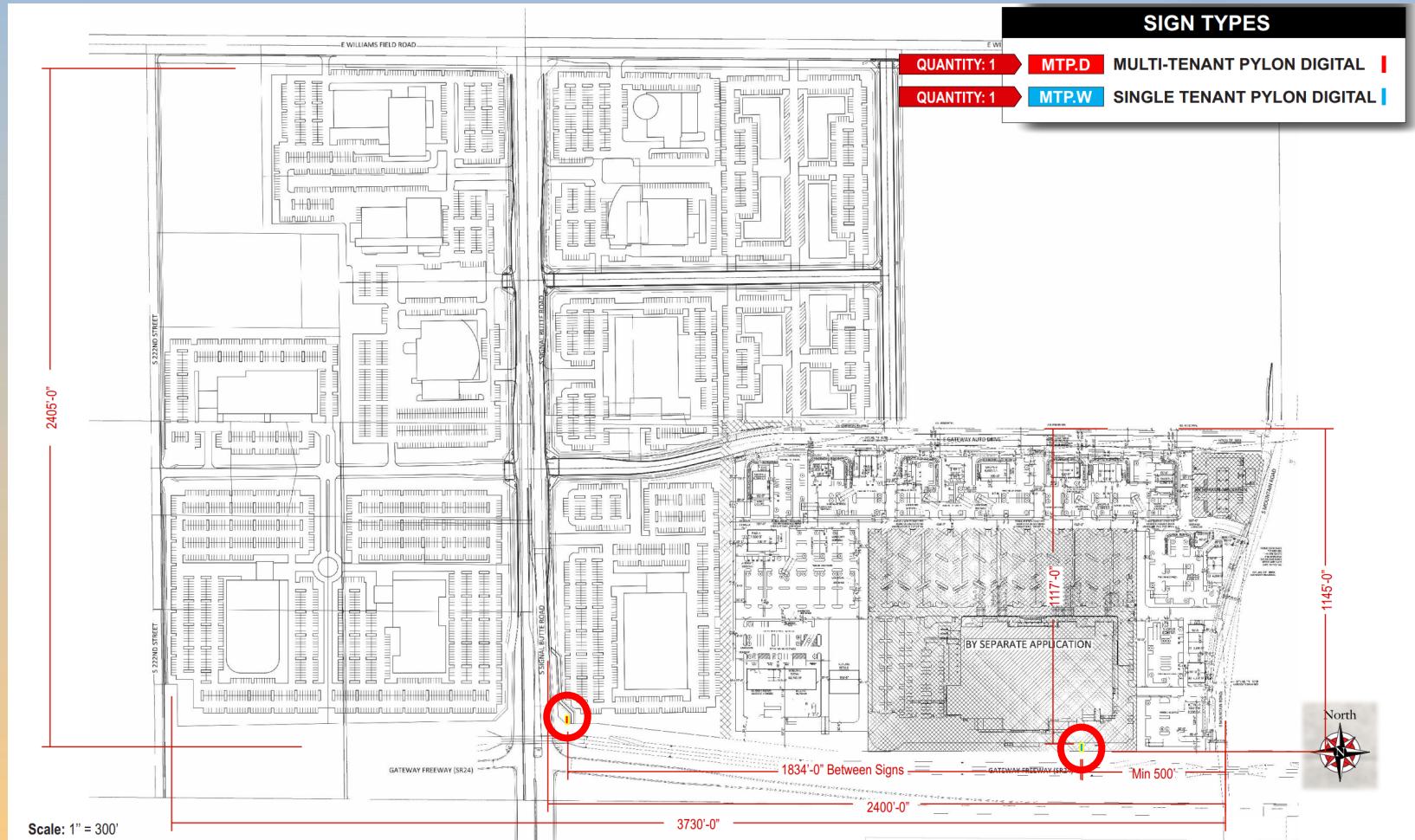


Looking north from 24 Gateway Freeway (Mountain Road)



Site Plan

- One FLM sign at the corner of Signal Butte and the 24 Gateway Freeway offramp
- One FLM sign 500+ feet from Mountain Road and 24 Gateway Freeway





MZO Design Standards

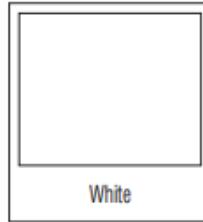
- Architectural Compatibility
- Materials
- Project Identification
- Lighting Controls



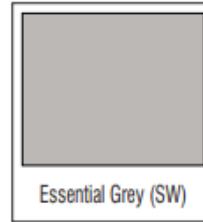
Color & Materials

Sign Colors and Materials

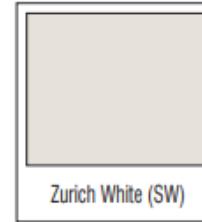
COLOR & MATERIAL SCHEDULE



White



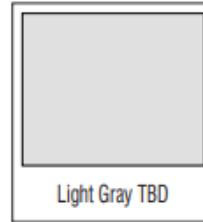
Essential Grey (SW)



Zurich White (SW)



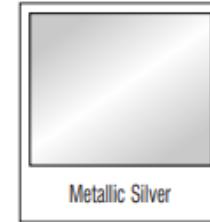
Ashfall Stone



Light Gray TBD



Medium Gray TBD



Metallic Silver

Destination at Gateway Design Guidelines Colors and Materials



'CHARDONNAY'



''ASHFALL''



''WHEATON''



''MIXED SHALE''

Primary Colors:



Zurich White (SW)



Pavestone (SW)



Essential Gray (SW)



Northwood Brown (BM)



Dry Dock (SW)



Cabot Trail (BM)



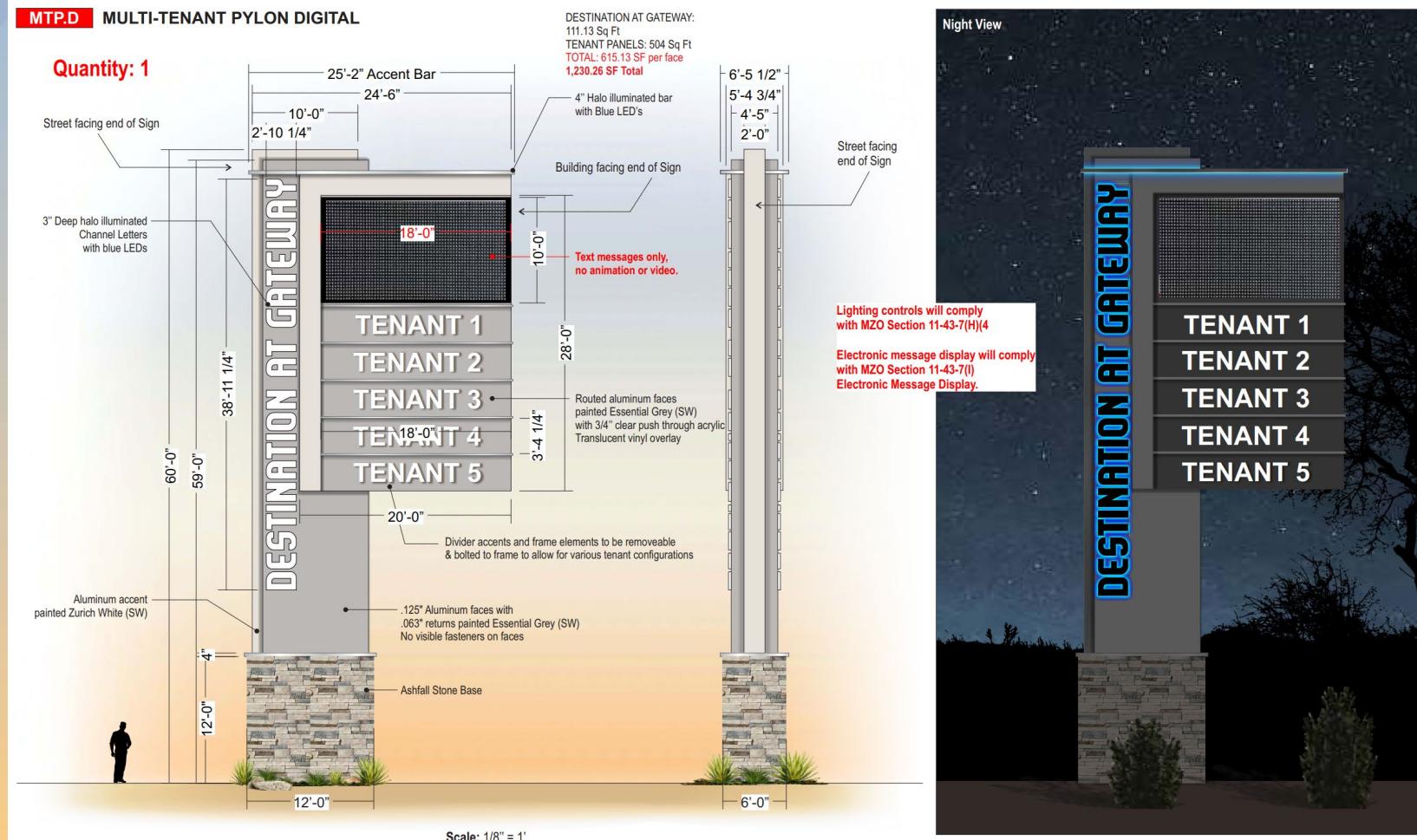
White



Aesthetic White



Elevations (Signal Butte)





Elevations (Mountain)

MTP.W SINGLE TENANT PYLON WITH DIGITAL

Quantity: 1

Street facing end of Sign

3' Deep halo illuminated Channel Letters with blue LEDs

5'-0" W

11'-0" 34.5" 35'-6" 4" Halo illuminated bar with Blue LED's

32'-2"

DESTINATION AT GATEWAY: 111.94 Sq Ft Walmart: 321.66 Sq Ft EMC Pricer: 96.25 TOTAL: 542.21 SF per face 1,084.42 SF Total

Building facing end of Sign

5'-5" 4'-5" 2'

10'-0" 4'-7"

Routed aluminum faces painted Essential Grey (SW) with 3/4" clear push through acrylic Translucent vinyl overlay

59'-1" 38'-11 1/4" 3'-2" 11'-4" 3'-2" 11'-4" 3'-2"

48" active LED display Static / text only messages to change maximum once per day

24 Hold time typical

Lighting controls will comply with MZO Section 11-43-7(H)(4)

Electronic message display will comply with MZO Section 11-43-7(I) Electronic Message Display.

Aluminum accent painted Zurich White (SW)

.125" Aluminum faces with .063" returns painted Essential Grey (SW) No visible fasteners on faces

Ashfall Stone Base

4" 7'-0" 12'-0"

Night View

Street facing end of Sign

5'-5" 4'-5" 2'

10'-0" 4'-7"

DESTINATION AT GATEWAY

TENANT

TEXT TEXT

Night View

5'-5" 4'-5" 2'

10'-0" 4'-7"

DESTINATION AT GATEWAY

TENANT

TEXT TEXT

Scale: 1/8" = 1'



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Freeway Landmark Monument Sign design and materials

Staff recommendations Approval with Conditions



Design Review Board



Design Review Board



DRB24-00524

202 RV Valet Storage Expansion

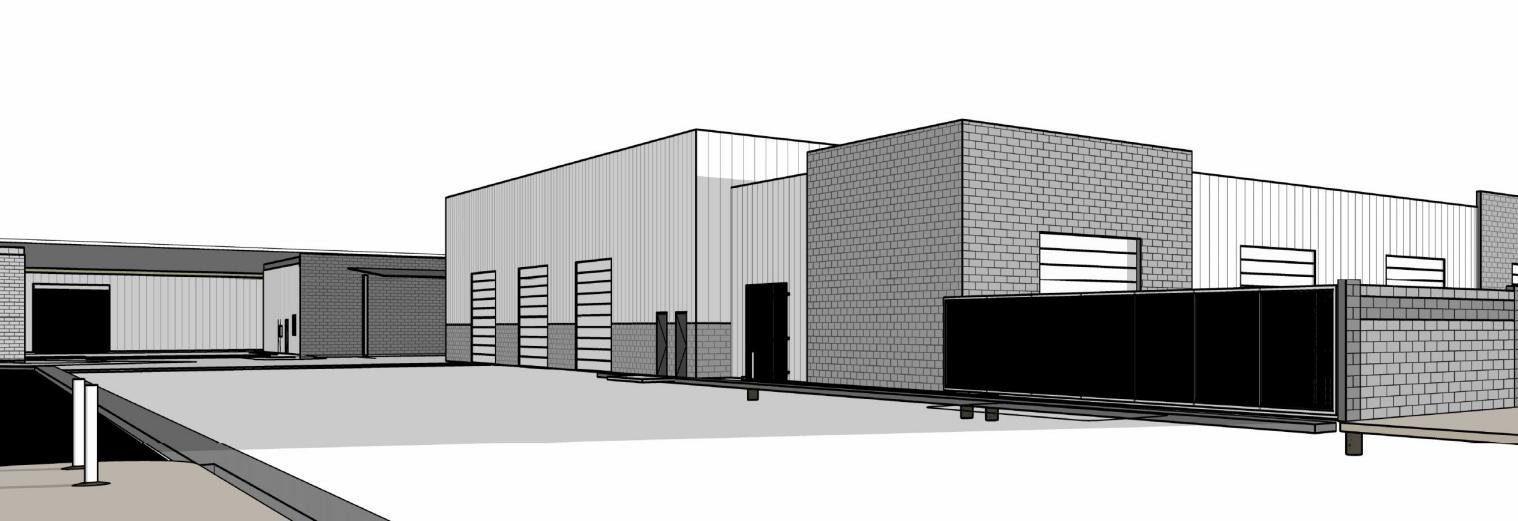
Kwasi Abebrese, Planner II

December 9, 2025



Request

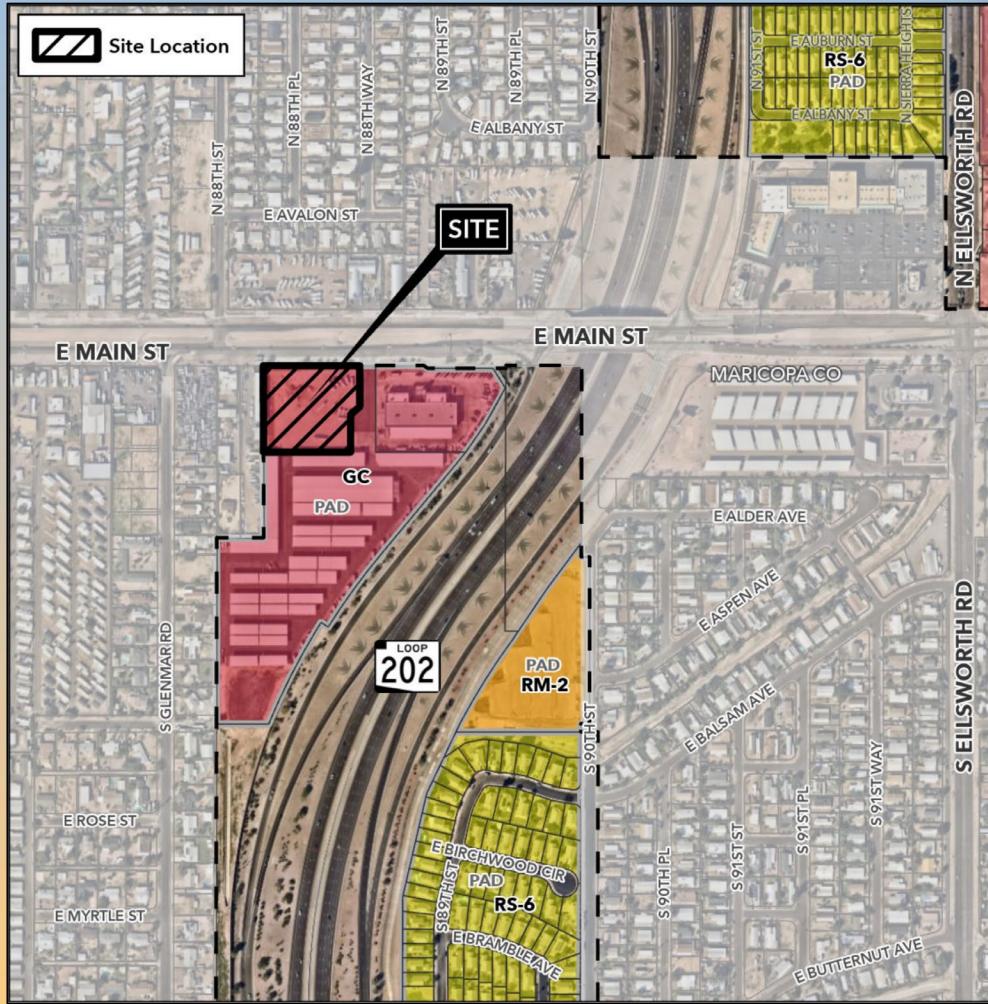
- Design Review for an approximately 58,845 square foot expansion of a Boat and Recreational Vehicle Storage Facility





Location

- 8839 East Main Street
- West of Ellsworth Road
- South side of Main Street





Site Photo



Looking south from Main Street



Site Context (Phase 1)



Looking south from Main Street



Site Context (Phase 2)

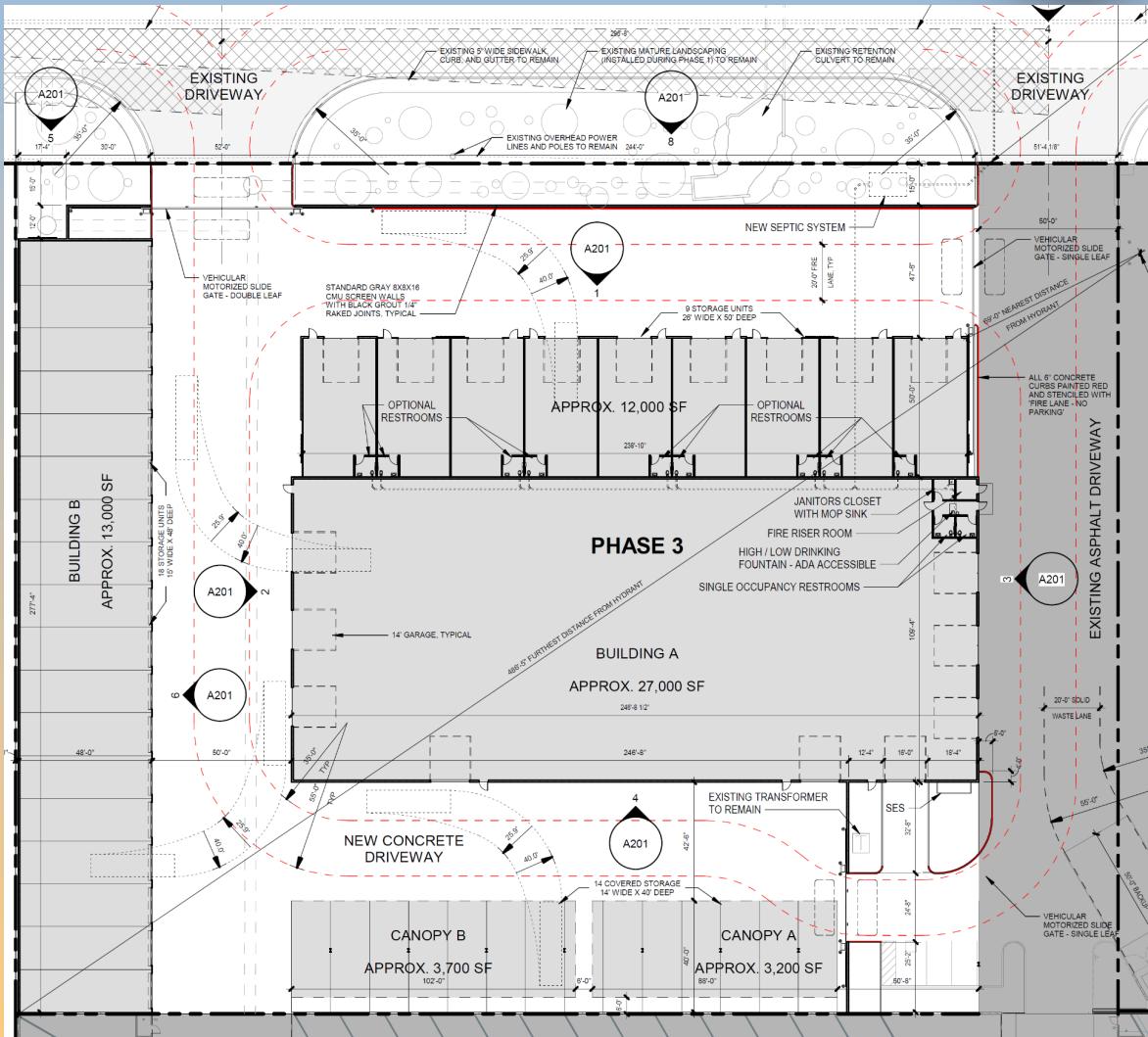


Looking south from Main Street



Site Plan

- Four RV and Boat Storage buildings
- Range from 3,200 square feet to 27,000 square feet
- 58,845 total building square footage





Landscape Plan

**THIS EXISTING MATURE
LANDSCAPE SCOPE, AS
INSTALLED DURING
PHASE 1, IS TO REMAIN
IN PLACE**

THIS EXISTING MATURE LANDSCAPE SCOPE, AS INSTALLED DURING PHASE 1, IS TO REMAIN IN PLACE

A schematic diagram of a gas cylinder assembly. It shows a large cylinder with a valve at the top. A smaller cylinder is attached to the side. A pressure gauge is connected to the system. A horizontal line with an arrow points to the valve, and a vertical line with an arrow points to the gauge. The word 'GAS' is written near the gauge.

PLANT KEY

SYMBOL	BOTANICAL NAME COMMON NAME
	TREES: ACACIA SALICINA WILLOW ACACIA
	CERCIDIUM HYBRID 'AZT' THORNLESS PALO VERDE
	PROSOPIS THORNLESS HYBRID 'AZT' AZT THORNLESS MESQUITE
	SHRUBS: AMBROSIA DELTOIDEA TRIANGLE-LEAF BURSAGE
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE
	ENCELIA FARINOSA BRITTLE BUSH
	JUSTICIA CALIFORNICA CHUPAROSA
	LARREA TRIDENTATA CREOSOTE
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE
	RUELLIA PENINSULARIS BAJA RUELLIA
	ACCENTS / CACTUS: OPUNTIA ENGELMANNII ENGELMANN'S PRICKLY PEAR
	OPUNTIA FICUS-INDICA INDIAN FIG PRICKLY PEAR



Color & Material Board



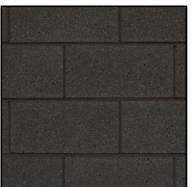
CMU1

GRAY CMU WITH BLACK TOOLED GROUT JOINTS

MATERIAL: 8X8X16 CONCRETE MASONRY UNITS STANDARD COURSING

FINISH: GRAY WITH BLACK GROUT 1/4" RAKED JOINTS

LOCATIONS: SITE WALLS AND BUILDING WALLS



CMU2

BLACK CMU WITH BLACK TOOLED GROUT JOINTS

MATERIAL: 8X8X16 CONCRETE MASONRY UNITS STANDARD COURSING

FINISH: BLACK WITH BLACK GROUT 1/4" RAKED JOINTS

LOCATIONS: BUILDING WALLS



MTL

PRE-ENGINEERED METAL BUILDING CLADDING

MATERIAL: METAL BUILDING CLADDING BY MANUFACTURER

FINISH: WHITE

LOCATIONS: PRE-ENGINEERED METAL BUILDING CLADDING



CHN

CHANNEL CLADDING

MATERIAL: GALVANIZED METAL CHANNELS OF VARYING WIDTHS SPACE 2" APART AND MOUNTED VERTICALLY

FINISH: GALVANIZED

LOCATIONS: NORTH ELEVATION



WIF

WROUGHT IRON FENCE

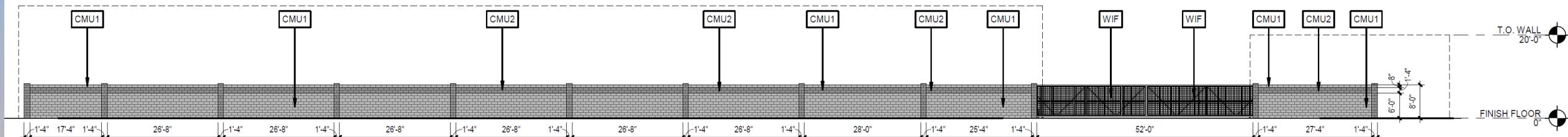
MATERIAL: WROUGHT IRON POSTS, BEAMS, AND PICKETS

FINISH: BLACK

LOCATIONS: ON TOP OF SELECT SITE WALLS AND ON VEHICULAR SLIDING GATES

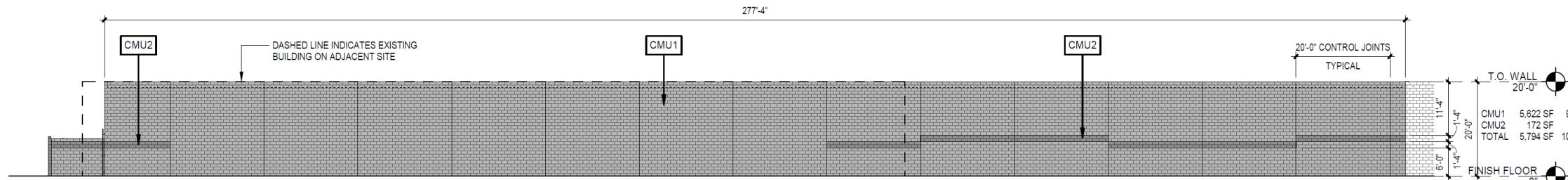


Elevations



8 STREET FRONTAGE WALL ELEVATION

1/16" ≡ 1'-0"

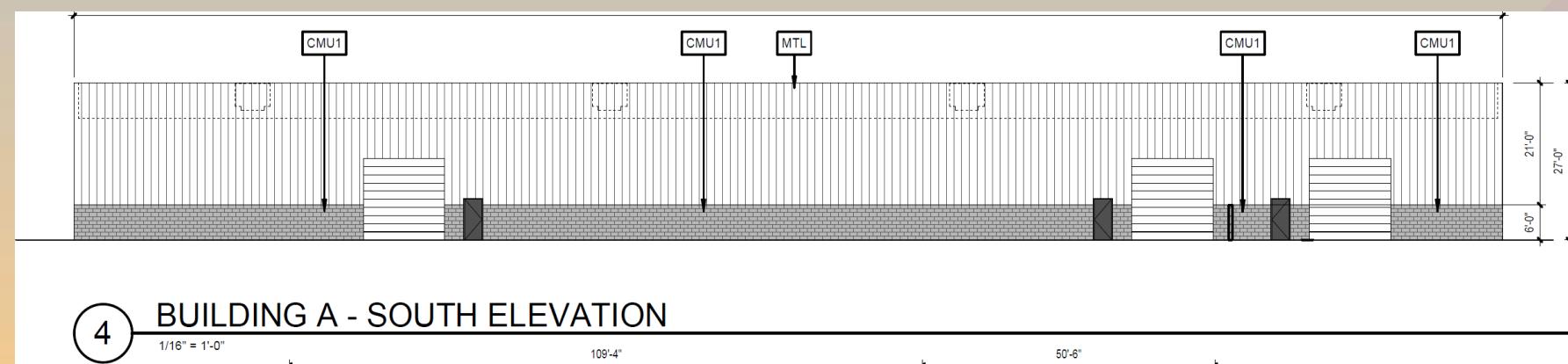
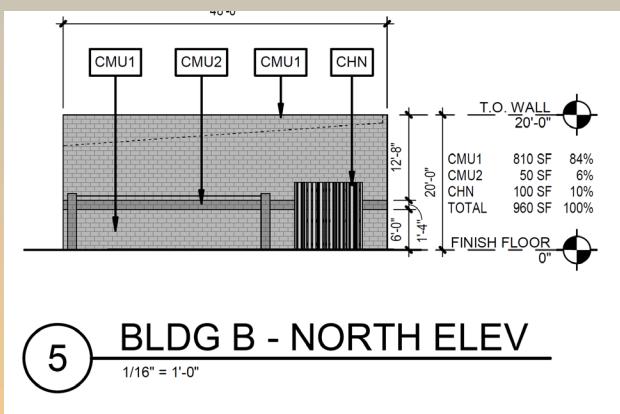
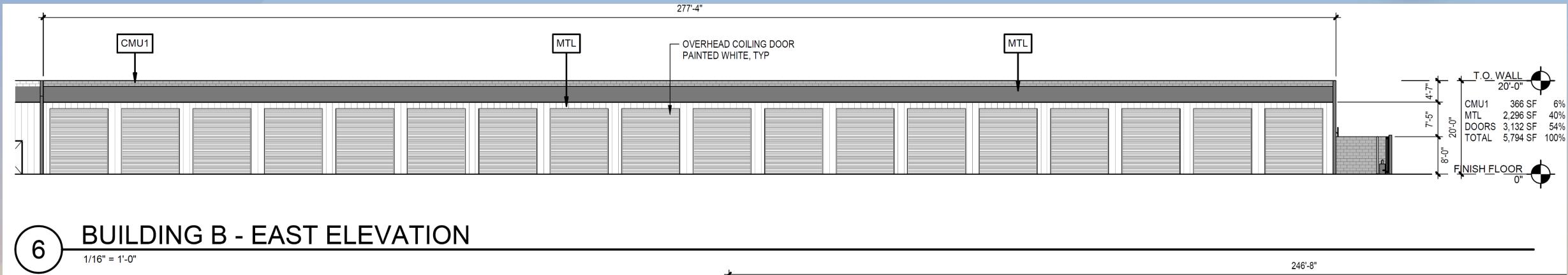


7 BUILDING B - WEST ELEVATION

1/16" = 1' 0"

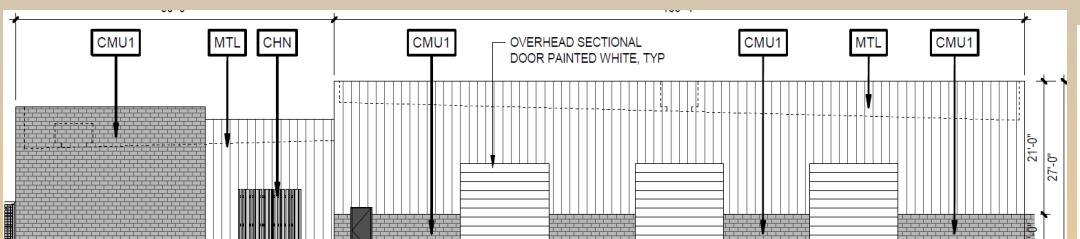
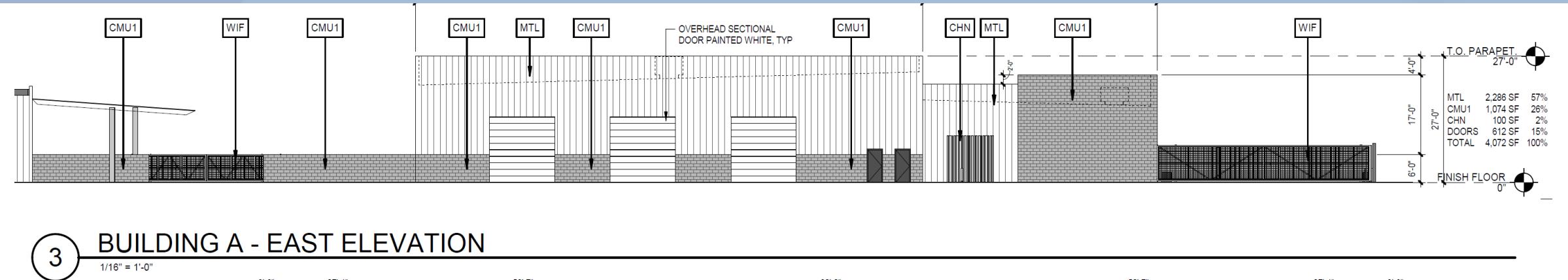


Elevations

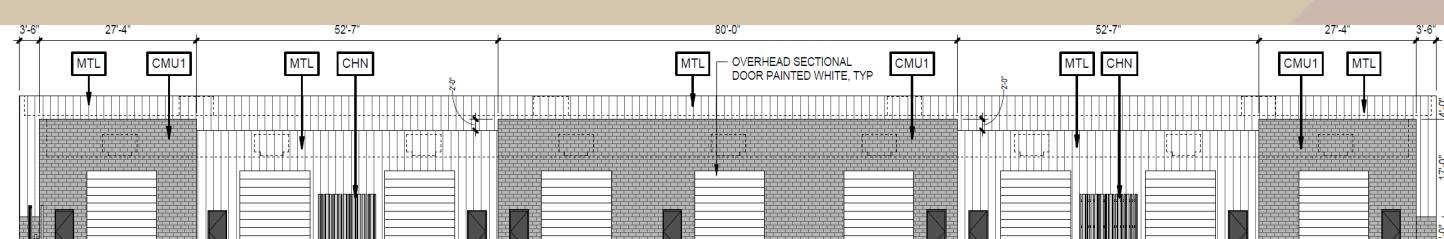




Elevations



2 BUILDING A - WEST ELEVATION

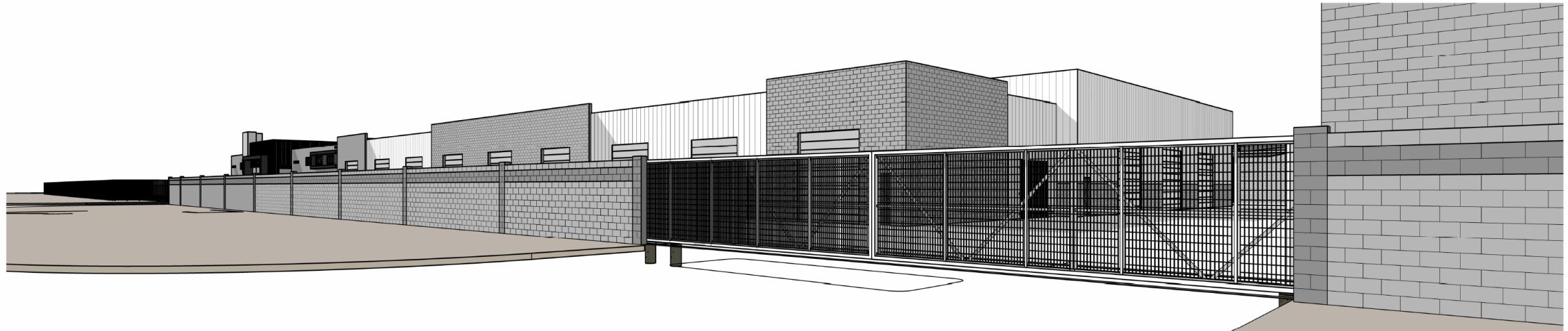


1 BUILDING A - NORTH ELEVATION

1/16" = 1'-0"



Site Rendering

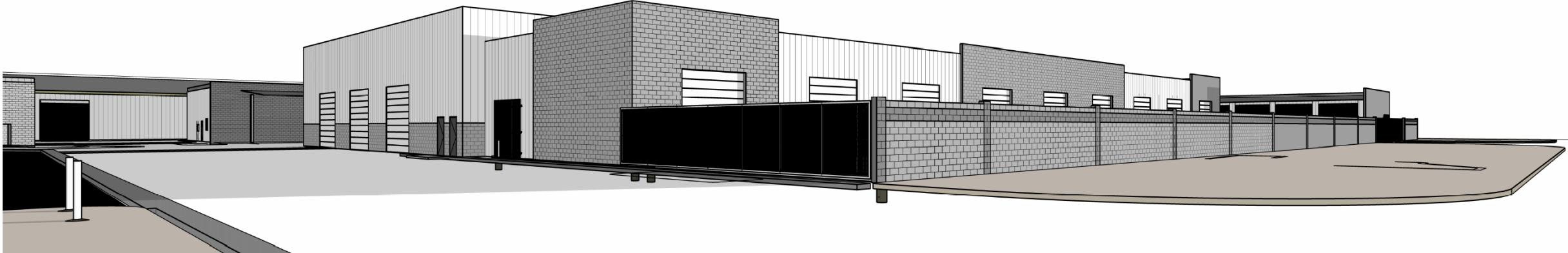


2

PHASE 3 NORTHWEST PERSPECTIVE



Site Rendering



PHASE 3 NORTHEAST PERSPECTIVE



Alternative Compliance

- ✓ Roof Articulation. Vary building height including at least 2 changes in height or roof forms that are varied over different portions of the building through changes in pitch, plane and orientation
- ✓ Materials. Facades shall incorporate at least 3 different materials
- ✓ Materials. No more than 50% of the façade may be covered with one single material



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations & landscape design
- ✓ Alternative compliance requests

Staff welcomes any feedback



Design Review Board



Site Context (Phase 2)



Looking south from Main Street



Design Review Board



DRB25-00325

Circle K Pecos & Sossaman

Chloe Durfee Daniel, Planner II

December 9, 2025



Request

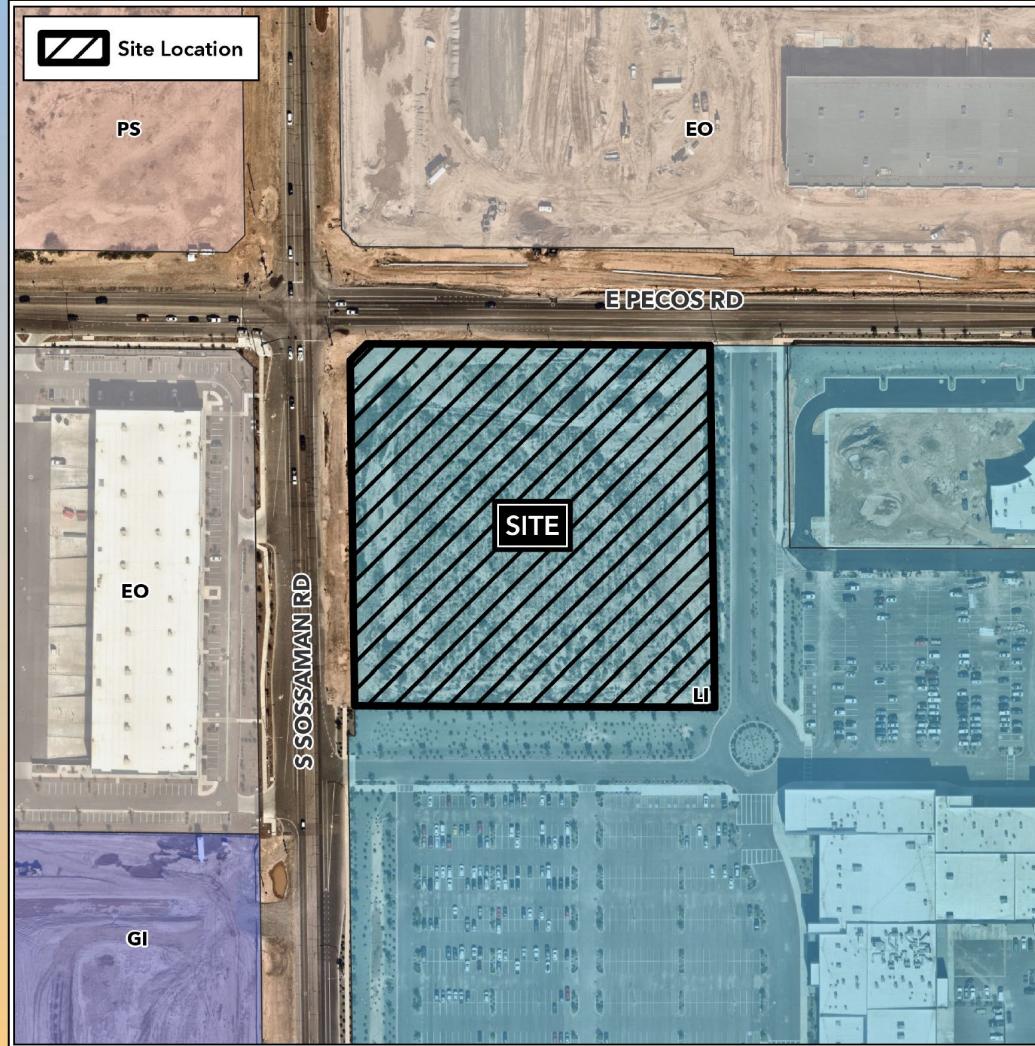
- Design Review
- To allow for a Service Station





Location

- South side of Pecos Road
- East side of Sossaman Road





Site Photo

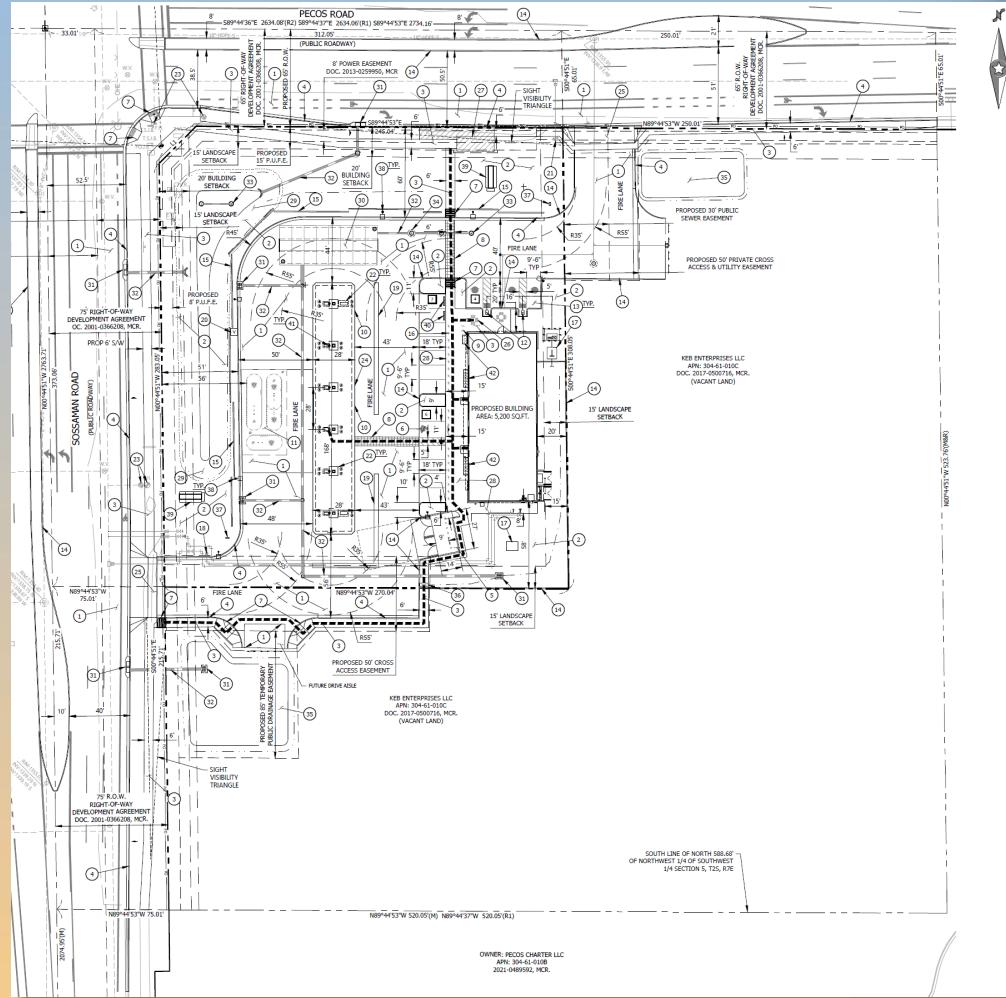


Looking south from Pecos Road



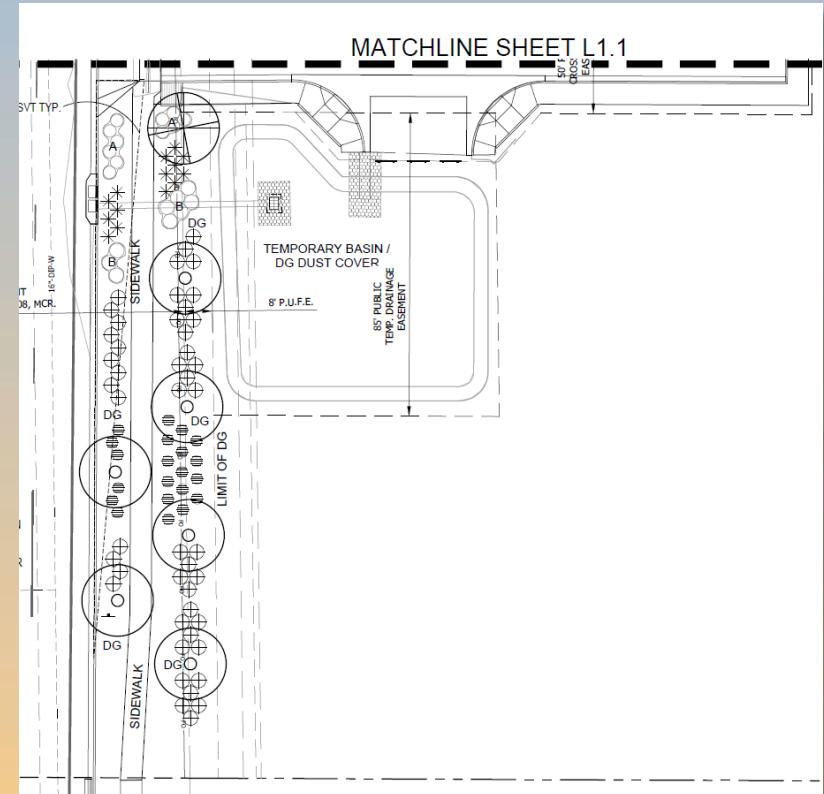
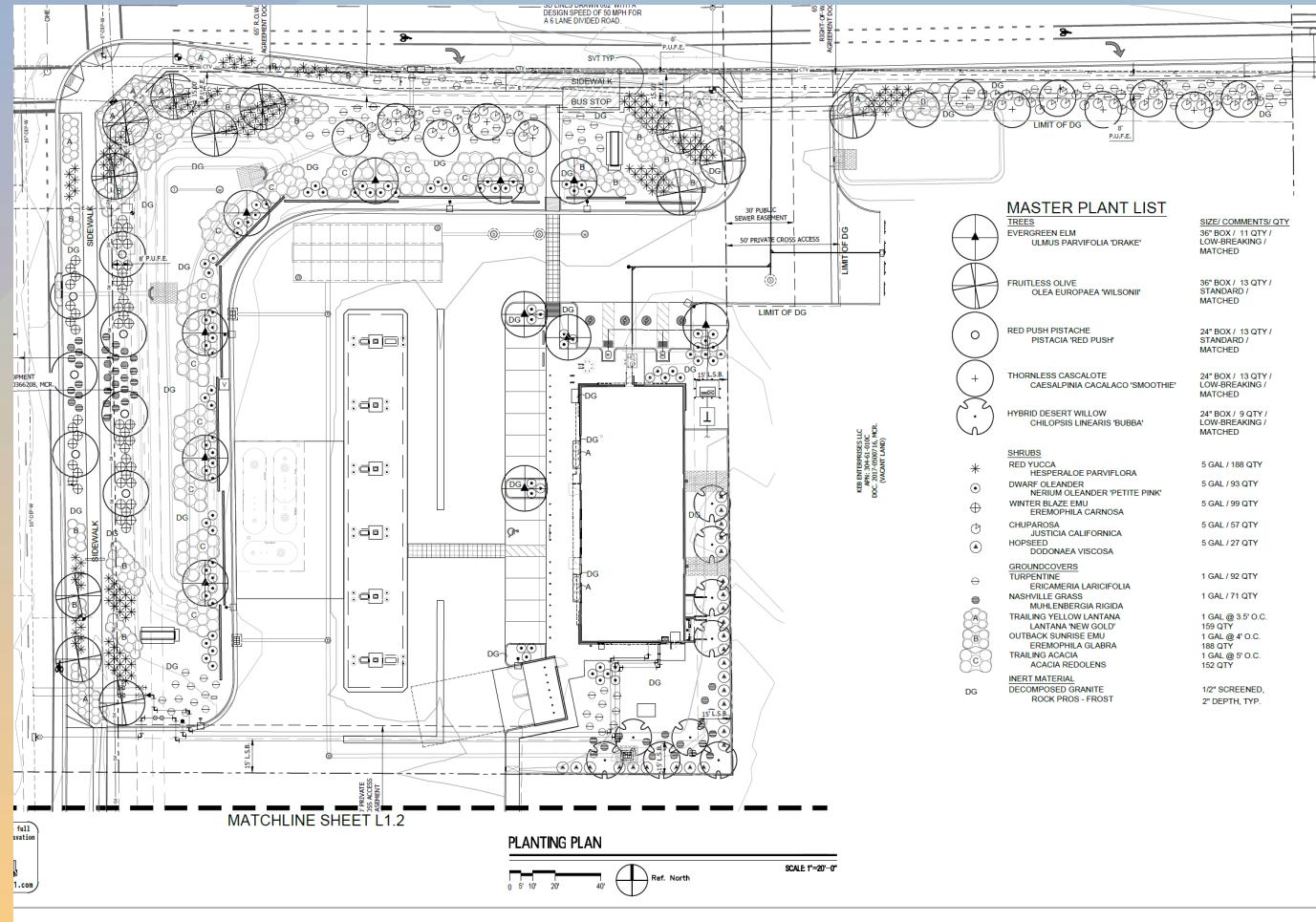
Site Plan

- Shared access will be provided from Pecos Road and Sossaman Road
- 3,936 sqft 12 pump gas canopy
- 5,200 sqft c-store
- 4 EV charging spaces on the north side



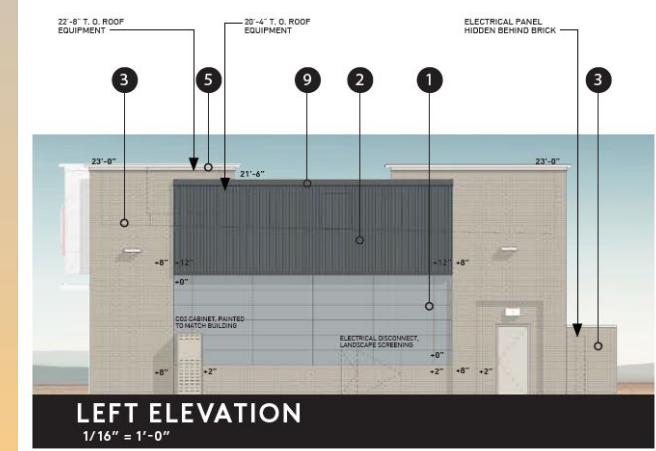
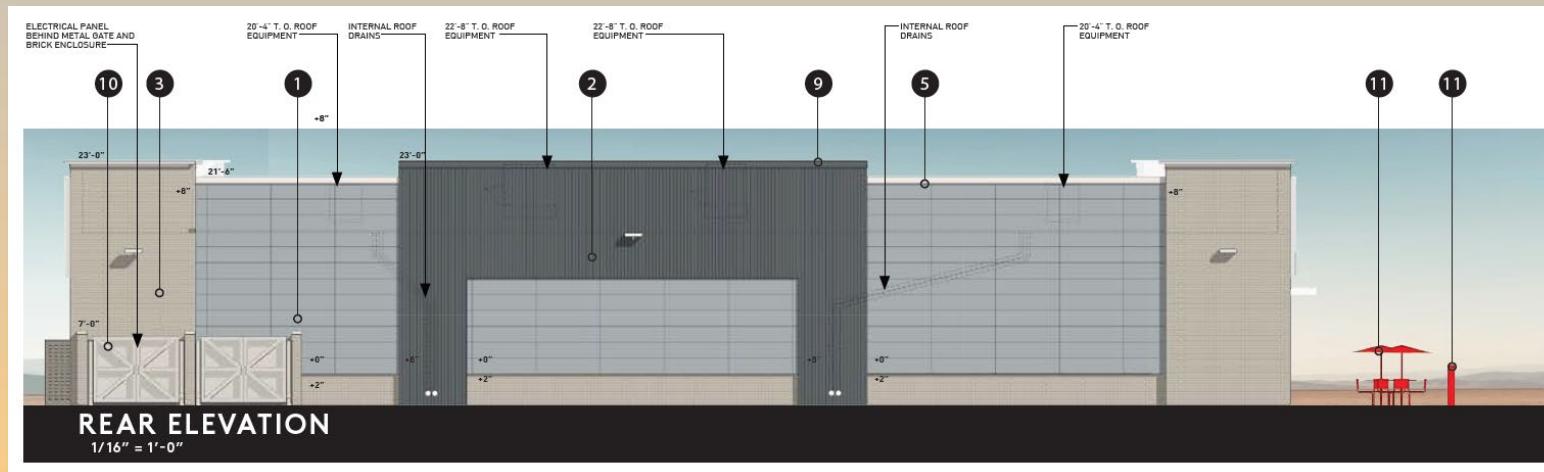
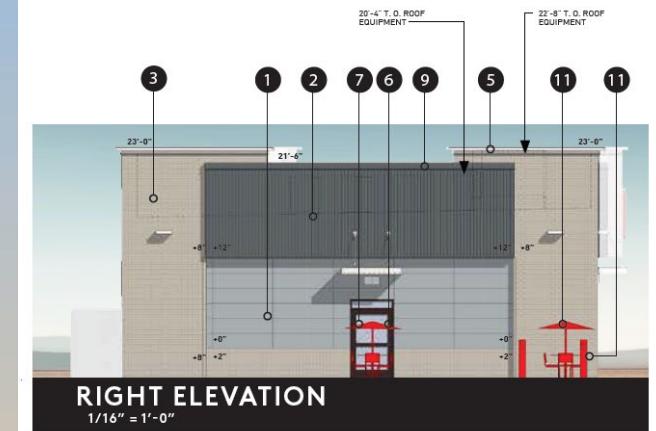
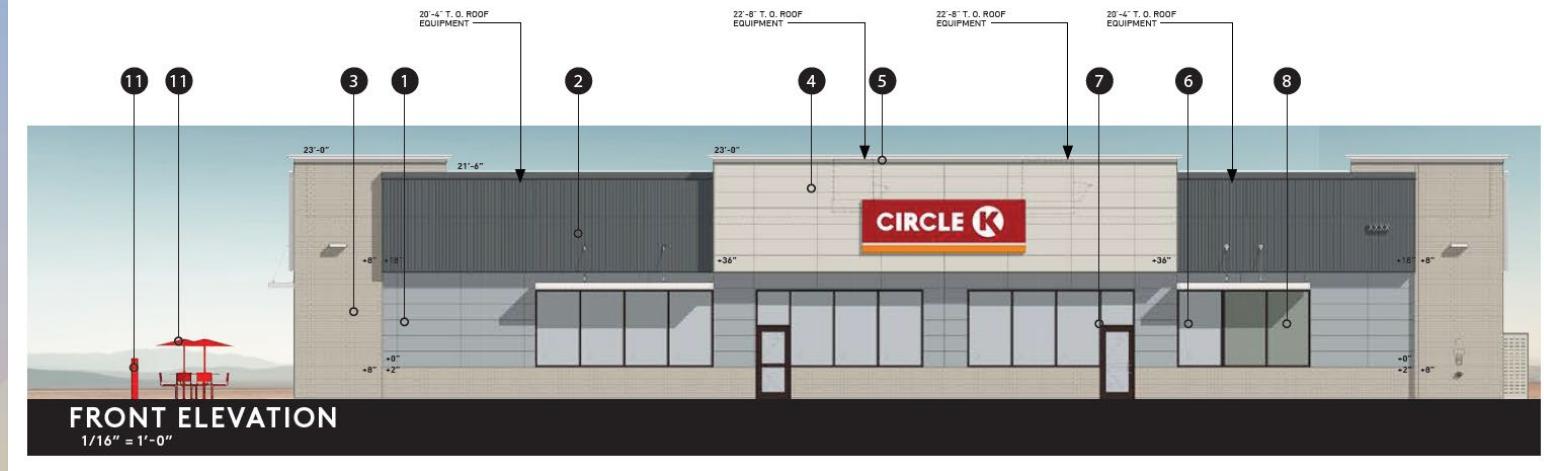


Landscape Plan



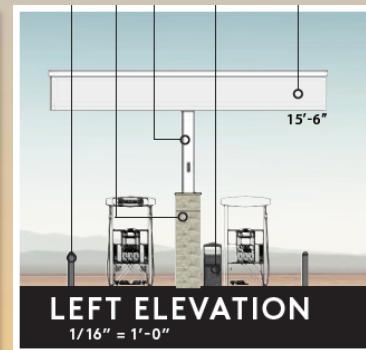
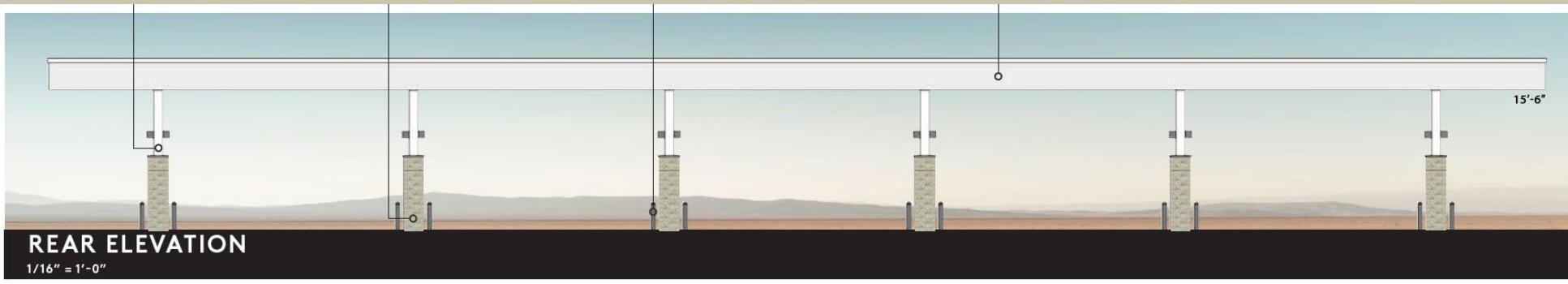
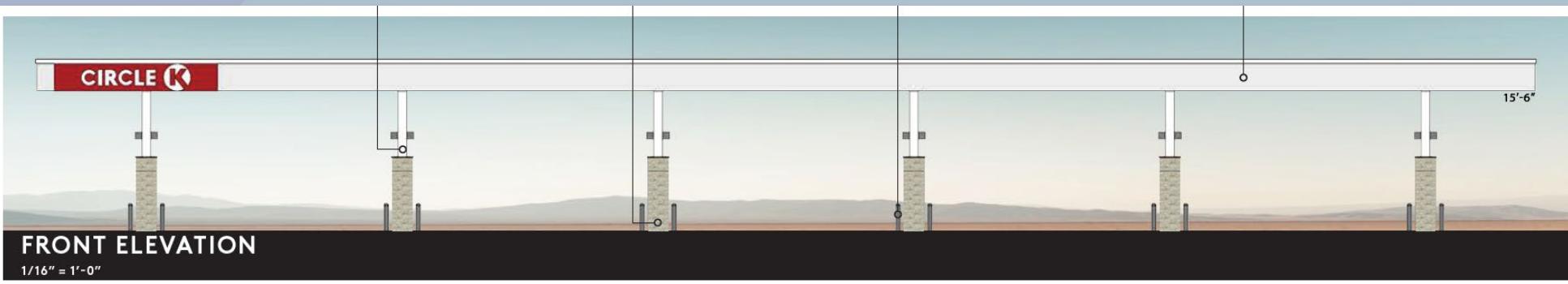


Building Elevations – C-Store





Building Elevations – Gas Canopy





Renderings





Renderings





Colors and Materials

rdc.
Architecture | Planning | Interiors
CIRCLE K
PECOS & SOSSAMAN
MESA, AZ

MATERIAL LEGEND

- ① MANUFACTURER: GENERAL SHALE
PRODUCT: BRICK CLADDING
COLOR: OLD EDISTO
- ② MANUFACTURER: NICHIA
PRODUCT: TUFF BLOCK
COLOR: SW6255 MORNING FOG
- ③ MANUFACTURER: NICHIA
PRODUCT: TUFF BLOCK
COLOR: SW9166 DRIFT OF MIST
- ④ MANUFACTURER: MCELROY
PRODUCT: RIBBED METAL PANEL
COLOR: CHARCOAL
- ⑤ METAL COPING
COLOR: SW7004 SNOWBOUND
- ⑥ METAL COPING / FASCIA
COLOR: SW7075 WEB GRAY
- ⑦ ANODIZED WINDOW FRAMING
DARK BRONZE
- ⑧ INSULATED CLEAR GLASS
- ⑨ SPANDREL GLASS
- ⑩ CEMENTASOUS FENCE
COLOR: SW7004 SNOWBOUND



Alternative Compliance

- ✓ Materials. No more than 50% of the total façade may be covered with one (1) single material.
- ✓ Roof Articulation. Vary building height, providing at least two (2) changes in height or roof forms that are varied over different portions of the building through changes in pitch, plane, and orientation.



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape plan
- ✓ Proposed alternative compliance

Staff welcomes any feedback



Design Review Board



Design Review Board



DRB25-00623

NTT PH10 Pecos

Josh Grandlienard, Senior Planner

December 9, 2025



Request

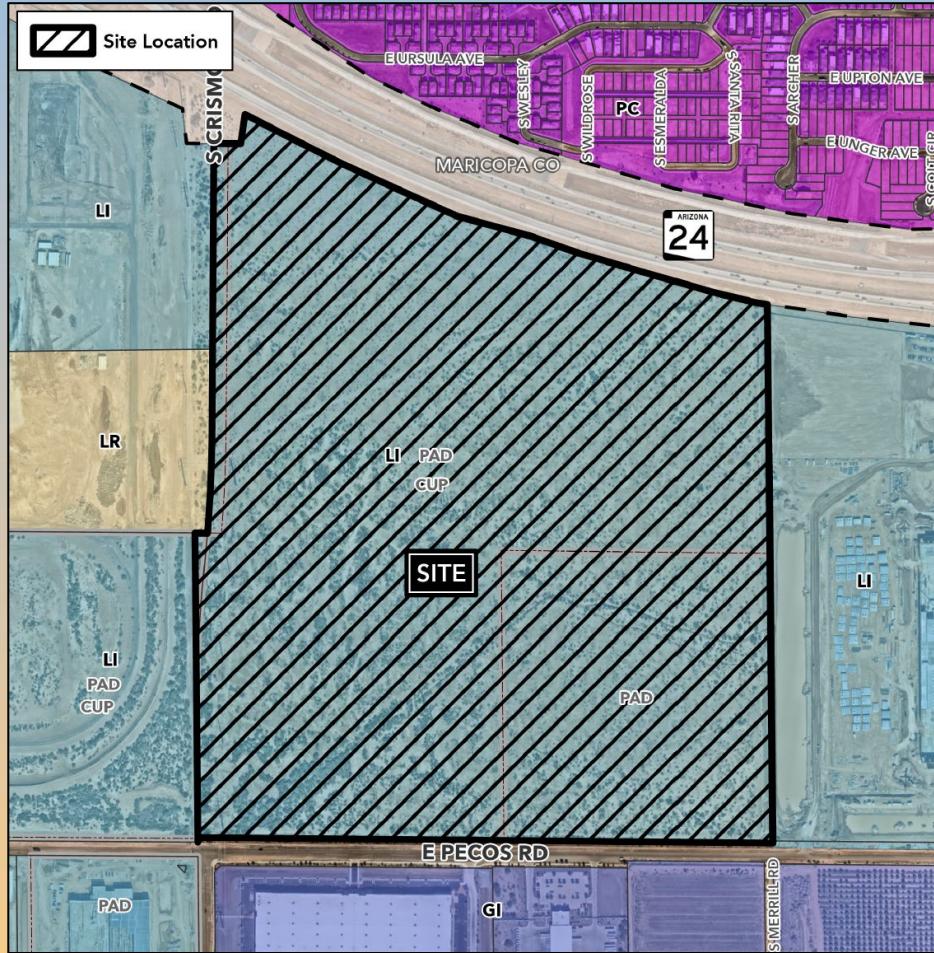
- Design Review
- To allow for a Data Center Campus





Location

- North of Pecos Road
- East of Crisman Road alignment





Site Photo



Looking north from Pecos Road



Site Photo

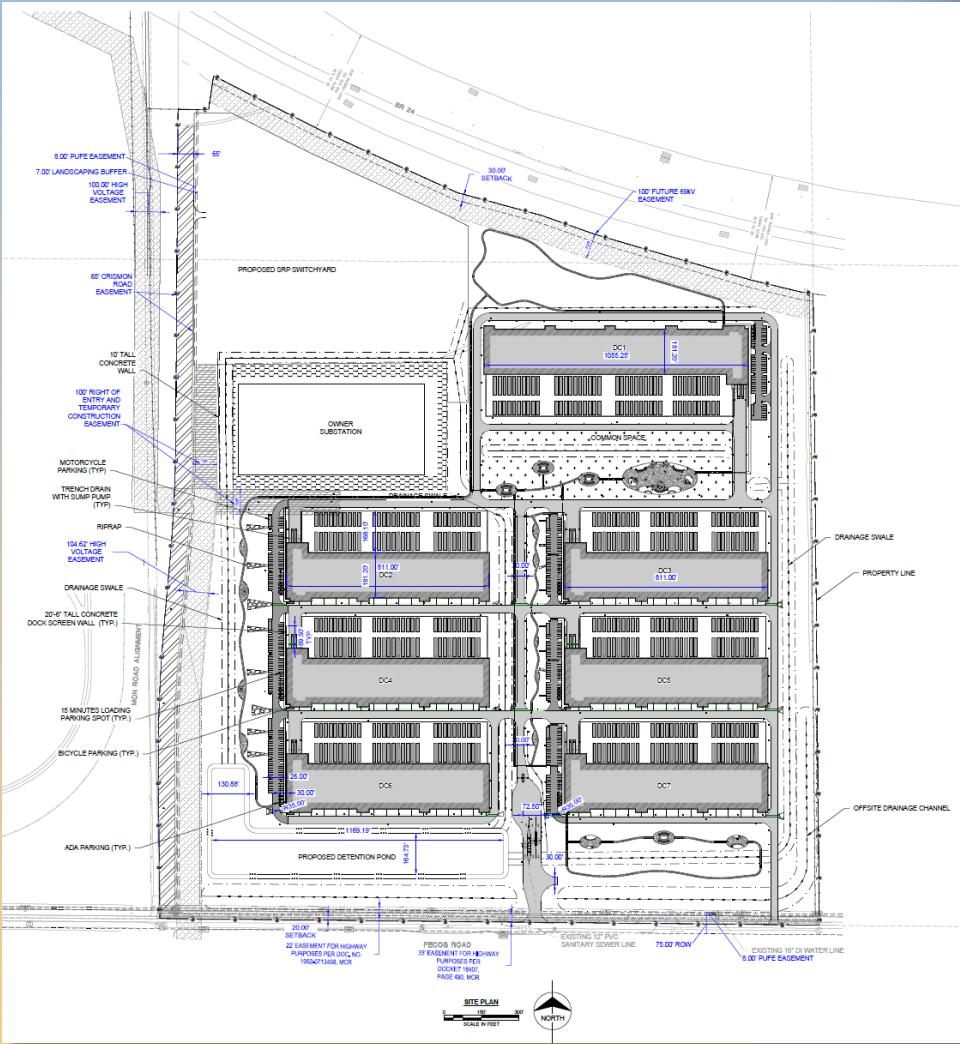


Looking south from SR 24



Site Plan

- Access will only be provided from Pecos Road
- 7 total buildings on site
- 2,257,561 square feet total
- Two Substations; one private, one owned by SRP
- Includes a walking path throughout the site





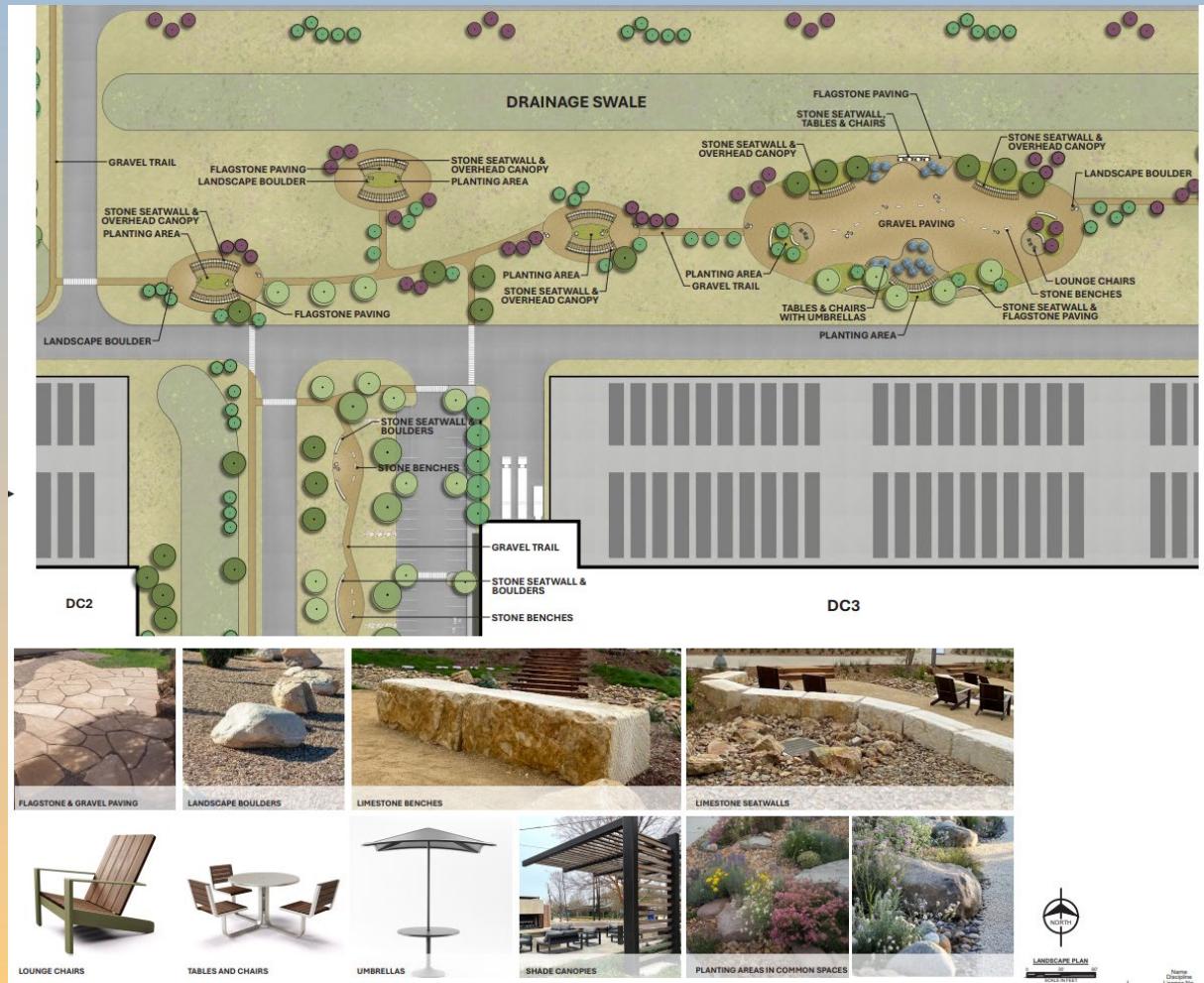
Landscape Plan



BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
CONIFEROUS TREES				
<i>Cupressus arizonica glabra 'Blue Ice'</i>	Blue Ice Arizona Cypress	5' Ht.	36" Box	
<i>Cupressus sempervirens 'Glauca'</i>	Blue Italian Cypress	6' Ht.	36" Box	
DECIDUOUS TREES				
<i>Acacia wiliardiana</i>	Palo Blanco	2" Cal.	24" Box	
<i>Cercis canadensis texensis</i>	Texas Redbud	6' Ht.	24" Box	Multi-trunked
<i>Chilopsis linearis 'Burgundy Lacy'</i>	Burgundy Lacy Desert Willow	2" Cal.	24" Box	Multi-trunked
<i>Chilopsis linearis 'MSWNLopur'</i>	Desert Diva® Desert Willow	6' Ht.	24" Box	Mult-trunked
<i>Lagerstroemia indica 'Whit II'</i>	Dynamite® Crape Myrtle	20 gal.		Clump
<i>Parkinsonia florida</i>	Desert Diva® Desert Willow	2" Cal.	36" Box	Clump
<i>Parkinsonia x 'Desert Museum'</i>	Blue Palo Verde	2" Cal.	36" Box	Multi-trunked
<i>Pistacia chinensis 'Red Push'</i>	Desert Museum Palo Verde	6' Ht.	36" Box	Multi-trunked
<i>Prosopis chilensis 'Thornless'</i>	Red Push Chinese Pistache	2" Cal.	36" Box	
THORNLESS CHILEAN MESQUITE				
EVERGREEN TREES				
<i>Acacia aneura</i>	Mulga	2" Cal.	24" Box	
<i>Acacia salicina</i>	Willow Acacia	2" Cal.	24" Box	
<i>Ficus nitida</i>	Weeping Fig	2" Cal.		
<i>Olea europaea 'Wilsonii'</i>	Wilson Olive	2" Cal.		
PALM TREES				
<i>Bismarckia nobilis</i>	Bismarck Palm	10' Ht.	48" Box	
<i>Chamaerops humilis</i>	Mediterranean Fan Palm	10' Ht.	48" Box	Clump
<i>Phoenix canariensis</i>	Canary Island Date Palm	10' Ht.	48" Box	
<i>Phoenix dactylifera</i>	Date Palm	10' Ht.	48" Box	
<i>Washingtonia robusta</i>	Mexican Fan Palm	10' Ht.	48" Box	
SHRUBS				
<i>Calliandra eriophylla</i>	Fairy Duster	5 gal.		
<i>Carissa macrocarpa 'Boxwood Beauty'</i>	Boxwood Beauty Natal Plum	5 gal.		
<i>Encelia farinosa</i>	Brittlebush	5 gal.		
<i>Eremophila hygrophana 'Blue Bells'</i>	Blue Bells Emu Bush	5 gal.		
<i>Eremophila maculata 'Valentine'</i>	Valentine Spotted Emu Bush	5 gal.		
<i>Lantana idahoensis</i>	Crescent Bush	5 gal.		
<i>Leucophyllum frutescens 'Green Cloud'</i>	Green Cloud Texas Sage	5 gal.		
<i>Leucophyllum x 'Heavenly Cloud'</i>	Heavenly Cloud Barometerbush	5 gal.		
<i>Myrtus communis 'Boetica'</i>	Boetica Twisted Common Myrtle	5 gal.		
<i>Photinia x fraseri</i>	Red Tip Photinia	5 gal.		
<i>Rhaphiolepis indica 'Ballerina'</i>	Ballerina Indian Hawthorn	5 gal.		
<i>Rhaphiolepis indica 'Pink Lady'</i>	Pink Lady Indian Hawthorn Standard	5 gal.		
<i>Salvia rosmarinus 'Tuscan Blue'</i>	Tuscan Blue Rosemary	5 gal.		
<i>Simmondsia chinensis</i>	Jojoba	5 gal.		
<i>Sophora secundiflora</i>	Texas Mountain Laurel	5 gal.		
FERNS				
<i>Asparagus densiflorus 'Myers'</i>	Myers Asparagus Fern	1 gal.		
GRASSES				
<i>Muhlenbergia capillaris 'Lenca'</i>	Regal Mist® Pink Muhy Grass	1 gal.		
<i>Muhlenbergia lindheimeri 'Len'</i>	Autumn Glow™ Lindheimer's Muhy	1 gal.		
<i>Muhlenbergia rigens</i>	Deer Grass	1 gal.		
PERENNIALS				
<i>Gaura lindheimeri 'Rosy Jane'</i>	Rosy Jane Gaura	1 gal.		
<i>Salvia greggii 'Raspberry'</i>	Raspberry Autumn Sage	1 gal.		
<i>Zantedeschia elliotiana</i>	Golden Calla	Bulb		
SUCCULENTS				
<i>Agave americana</i>	Century Plant	5 gal.		
<i>Agave parryi truncata</i>	Artichoke Parry's Agave	5 gal.		
<i>Agave shawii x attenuata 'Blue Flame'</i>	Blue Flame Agave	5 gal.		
<i>Dasylinon quadrangularum</i>	Mexican Grass Tree	5 gal.		
<i>Hesperaloe parviflora 'Desert Flamenco'</i>	Desert Flamenco Red Yucca	5 gal.		
<i>Hesperaloe parviflora 'Perpa'</i>	Brakebush® Red Yucca	5 gal.		
<i>Nolina microcarpa</i>	Sagahuista	5 gal.		

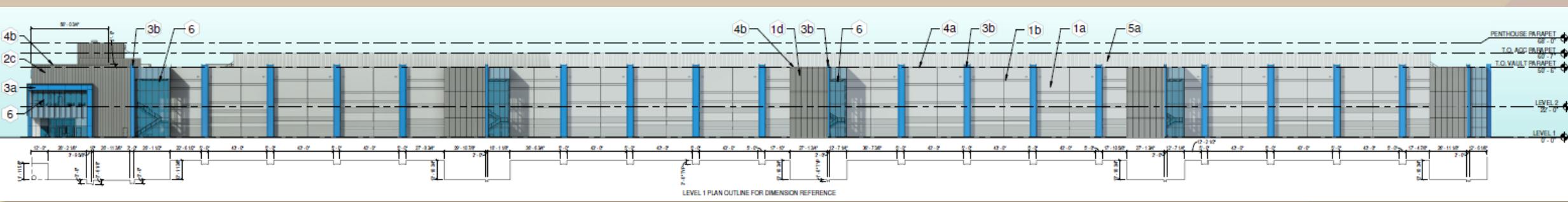
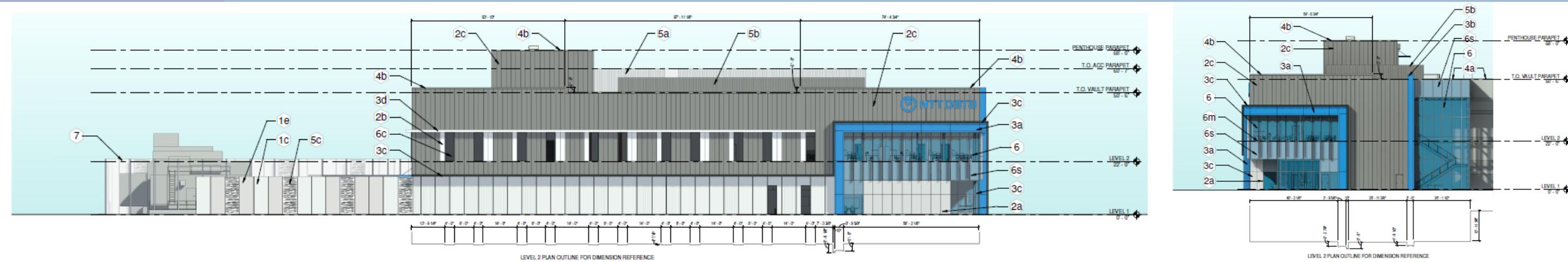


Landscape Plan - Details



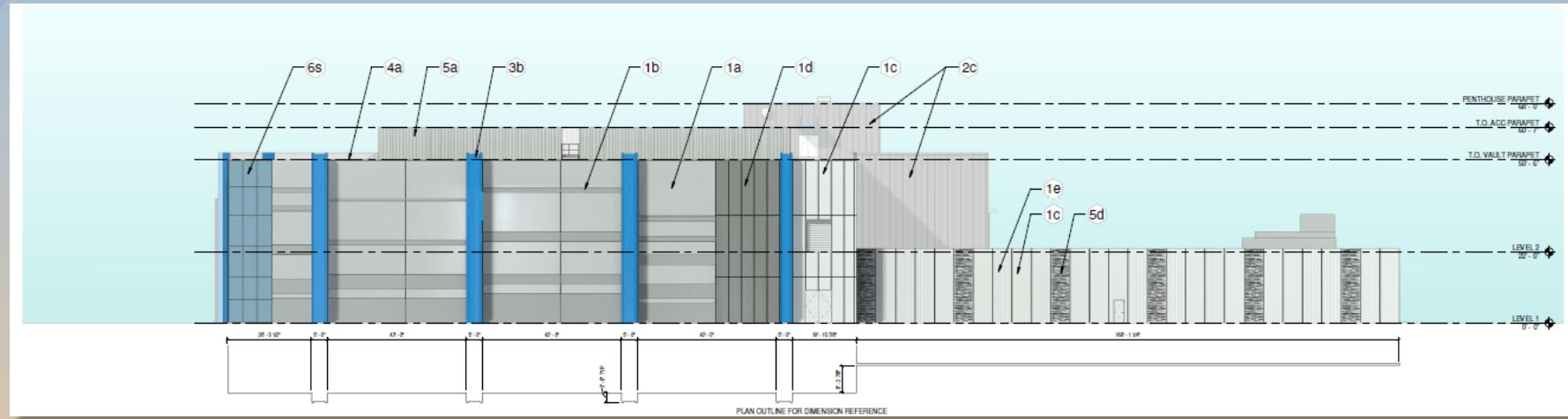


Building Elevations – Building 1



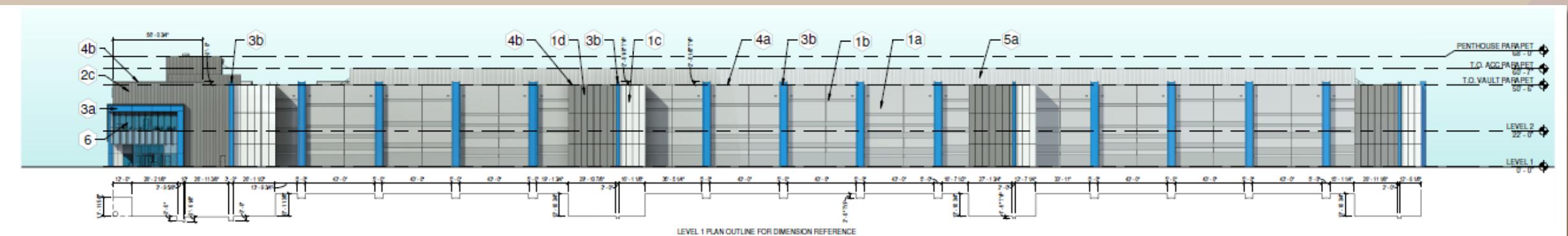
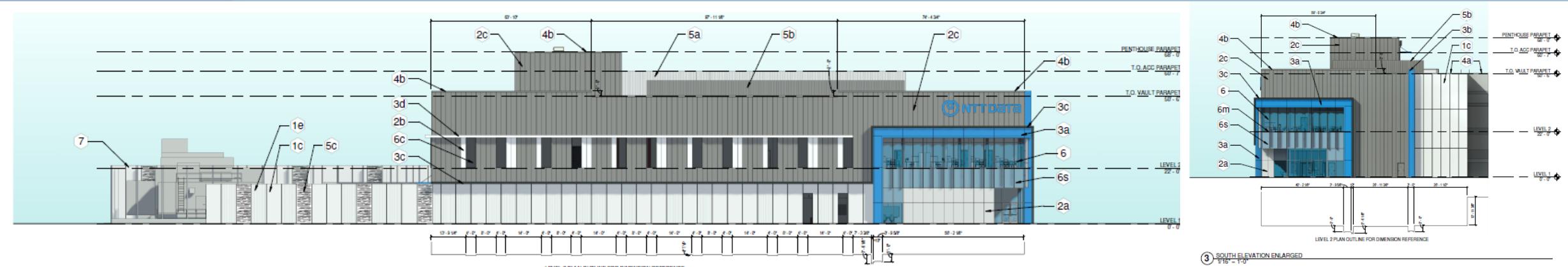


Building Elevations – Building 1



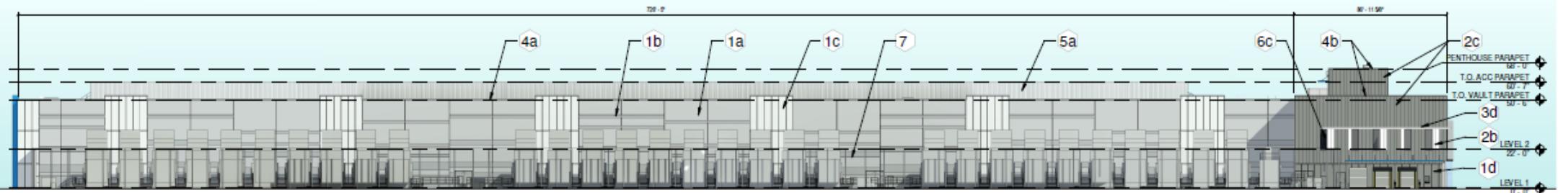
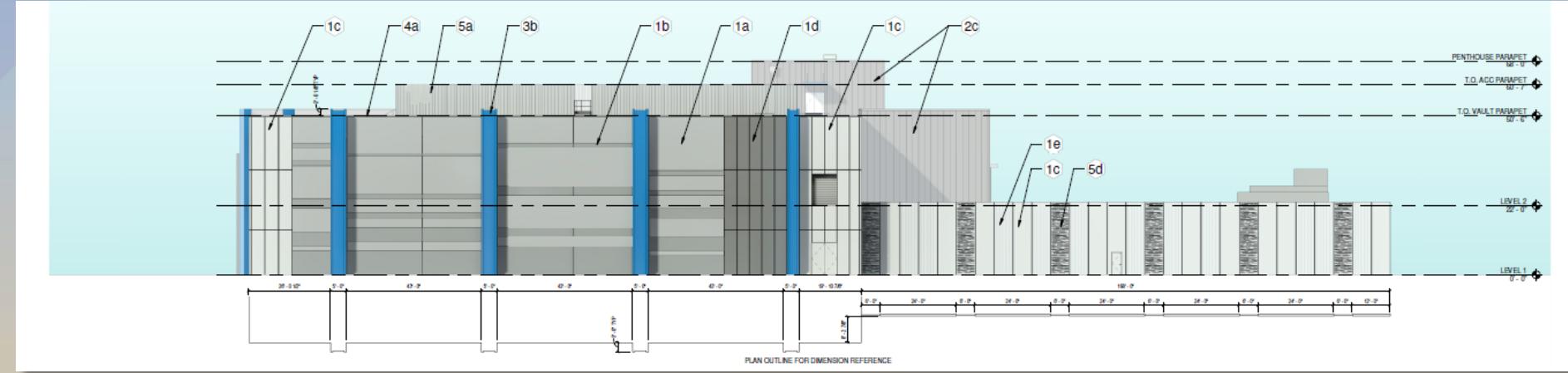


Building Elevations – Building 2-7





Building Elevations – Building 2-7





Colors and Materials

EXTERIOR ELEVATIONS - MATERIAL LEGEND

PAINTED TILT-UP CONCRETE	INSULATED METAL WALL PANELS	METAL COMPOSITE MATERIAL PANEL	METAL COPING	FORMED METAL PANEL SCREEN WALL	INSULATED GLASS UNIT CURTAIN WALL SYSTEM AND WINDOWS	EQUIPMENT YARD WALL
1a SILVER POLISH (DE6374)	2a SILVER POLISH (DE6374)	3a NTT BLUE PANTONE 285C	4a WALRUS (DE6368)	5a SILVER POLISH (DE6374)	6 BLUE GLASS UNIT	7 MINI CHAIN LINK SECURITY FENCE
1b WALRUS (DE6368)	2b IGLOO (DEW379)	3b NTT BLUE PANTONE 285C VERTICAL FIN / DOWNSPOUT ENCLOSURE	4b BOAT ANCHOR (DE6377)	5b BOAT ANCHOR (DE6377)	6f RICH BLACK CENTRIA - 9916 MULLION FRAMING	8 GALVANIZED POSTS
1c IGLOO (DEW379)	2c BOAT ANCHOR (DE6377)	3c RICH BLACK CENTRIA - 9916 EYEBROW		5c IGLOO (DEW379) PRODUCT - ARTISAN PANELS INC., 65 - MATRIX	6s BLUE SPANDREL GLASS UNIT	
1d BOAT ANCHOR (DE6377)		3d IGLOO (DEW379) EYEBROW		5d SILVER POLISH (DE6374) PRODUCT - ARTISAN PANELS INC., 65 - MATRIX	6m CLEAR ANODIZED MULLION FRAMING	
1e IGLOO (DEW379) FORMLINER - RECKLI, 2/241 HAWAII					6c CLEAR GLASS UNIT	



Alternative Compliance

- ✓ Materials. To reduce the apparent massing and scale of buildings, facades shall incorporate at least 3 different and distinct materials.
- ✓ Materials. No more than 50% of the total façade may be covered with one (1) single material.



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape plan
- ✓ Proposed alternative compliance

Staff welcomes any feedback



Design Review Board