

Design Review Board



Meeting Minutes

**Mesa City Council Chambers - Lower Level, 20 East Main Street
Date: December 9, 2025 Time: 4:30 p.m.**

A meeting of the Design Review Board was held at 4:30 p.m.

MEMBERS PRESENT:

Chair Dane Astle
Vice Chair Ryan Circello
Boardmember Paul Johnson
Boardmember Denise Dunlop
Boardmember Shelly Udall
Boardmember David Winstanley

MEMBERS ABSENT:

STAFF PRESENT:

Nanna Appiah
Rachel Phillips
Kellie Rorex
Joshua Grandlienard
Charlotte Bridges
Chloe Durfee Daniel
Kwasi Abebrese
Vanessa Felix

OTHERS PRESENT:

(* indicates Boardmember or staff participated in the meeting using audio conference equipment)

1 Call meeting to order.

Chair Astle and welcomed everyone to the meeting at 4:30PM.

2 Consider the Minutes from November 18, 2025, Design Review Board Meeting.

A motion to approve the Minutes from the November 18, 2025, Design Review Board Meeting was made by Vice Chair Circello and seconded by Boardmember Udall.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

NAYS – None

ABSENT – None

ABSTAINED – None

- 3 Hear a presentation and discuss proposed changes to the Design Review Board's authority and duties related to streamlined development processes and changes to State legislation.**

Staff Director Nanna Appiah and staff Assistant Director Rachel Phillips presented.

See attached presentation.

- 4 Discuss and take action on the following case:**

- 4a DRB25-00647. "Aldi Greenfield and Main," 3.4± acres located at 4433 East Main Street. Design Review of façade improvements to the existing approximately 25,850 square foot building and a request to allow a new 35± foot tall entry feature at the existing building. (District 2)**

Staff planner Charlotte Bridges presented the case.

Staff Recommendation: Approval with Conditions

The Board approved DRB25-00647 with the following conditions:

1. Compliance with Ordinance No. 1273, except as modified by subsequent approvals.
2. Compliance with all requirements of Design Review Case No. DRB25-00647.
3. Compliance with all applicable City development codes and regulations.
4. Prior to the issuance of a building permit, submit for and receive approval of an Administrative Review for minor site plan modifications.
5. Prior to submittal of a building permit, submit to planning staff revised elevations to continue the painted CMU wainscot along the west, north and east elevations

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

NAYS – None

ABSENT – None

ABSTAINED – None

- 5 Discuss and make a recommendation on the following case:**

- 5b DRB25-00059. "Destination at Gateway FLM," 125± acres located at the Southeast and Southwest corners of East Williams Field Road and South Signal Butte Road. Design Review for two Freeway Landmark signs. (District 6)**

Staff planner Kellie Rorex presented the case.

Staff Recommendation: Approval with Conditions

The Board recommends to approve case DRB25-00059 conditioned upon:

1. Compliance with the final sign plan submitted.
2. Compliance with all requirements of Case No. ZON25-00056.
3. Compliance with all requirements of DA22-00031.
4. Compliance with all applicable City development codes and regulations

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

NAYS – None

ABSENT – None

ABSTAINED – None

6 Discuss and provide direction on the following Preliminary Design Review cases: *

- 6a DRB24-00524. "202 RV Valet Storage Expansion,"** 2.3± acres located at 8839 East Main Street. Design Review for an approximately 58,845 square foot expansion of a Boat and Recreational Vehicle Storage facility. **(District 5)**

Chair Astle recused himself.

Staff planner Kwasi Abebrese presented the case.

See attached presentation.

Staff planner Kwasi Abebrese summarized the case:

- Enhance the design of the proposed parapets by increasing the depth of the returns or provide a different material

- 6b DRB25-00325. "Circle K - Pecos & Sossaman,"** 6.3± acres located at the southeast corner of East Pecos Road & South Sossaman Road. Design Review to allow for an approximately 5,200 square foot service station and associated fuel canopy. **(District 5)**

Staff planner Chloe Durfee Daniel presented the case.

See attached presentation.

Staff planner Chloe Durfee Daniel summarized the case:

- Provide landscaping around the trash enclosure, specifically immediately south of the enclosure so long as there are no easements of concern

- 6c DRB25-00623. "NTT Mesa PH10,"** 170± acres located at the NEC of the future alignment of S Crismon Road and Pecos Road. Design Review for an approximately 2,257,600 square foot Data Center development. **(District 6)**

Boardmember Dunlop recused herself.

Staff planner Joshua Grandlienard presented the case.

See attached presentation.

Staff planner Joshua Grandlienard summarized the case:

- Provide the architectural eyebrow only at the public entry area
- Confirm that there are no downspouts visible from outside the site
- Confirm that lighting is consistent with the AOA overlay allowances and that it creates elements along SR24

7 Staff Update: No update

8 Adjournment: Vice Chair Circello moved to adjourn the meeting and was seconded by Boardmember Udall.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Johnson – Dunlop – Udall – Winstanley

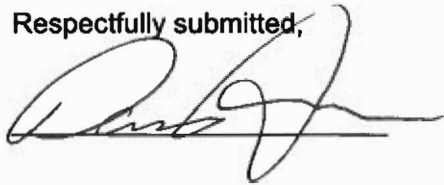
NAYS – None

ABSENT – None

ABSTAINED – None

The meeting was adjourned at 5:58 p.m.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Dane Astle', written over a horizontal line.

Chair Dane Astle

Design Review Board Duties

Nana Appiah, Development Services Director

December 9, 2025





Changes to State Legislation

- HB 2447 signed by the governor on March 31, 2025
- Changed existing law to require (rather than allow) legislative bodies to establish administrative review processes for development proposals
- Required design review plans to be:
 - Reviewed and approved based on objective standards
 - Without a public hearing
- "Objective" means not influenced by personal interpretation, taste or feelings of a municipal employee and verifiable by reference to an adopted benchmark, standard or criterion available and knowable by the applicant or proponent.

Development Community Feedback

- Improve and expand administrative approvals
- Revise stringent standards on major and minor site plan amendment approval process
- Minimize uncertainty in the Design Review Process



Effects on the Design Review Board

Streamline Processes

- 1) Combine Design Review with Site Plan Review to create a new “Development Plan Review” application
- 2) Align reviewing and approving bodies

Planning Director

- Meet all development standards
- Not requesting a rezone, PAD, BIZ, CUP, SUP, or other deviation

Design Review Board

- Alternative Compliance
- Municipal Projects
- As Directed by Council
- Planning Director Referral
- Planning Director Appeal
- PC District Matters
- Previous Condition

Planning & Zoning Board

- Rezone, PAD, BIZ, CUP, or SUP
- PC District Matters
- Project Specific Design Guidelines & Standards

Questions?





Design Review Board



DRB25-00647

Aldi at Greenfield and Main



Request

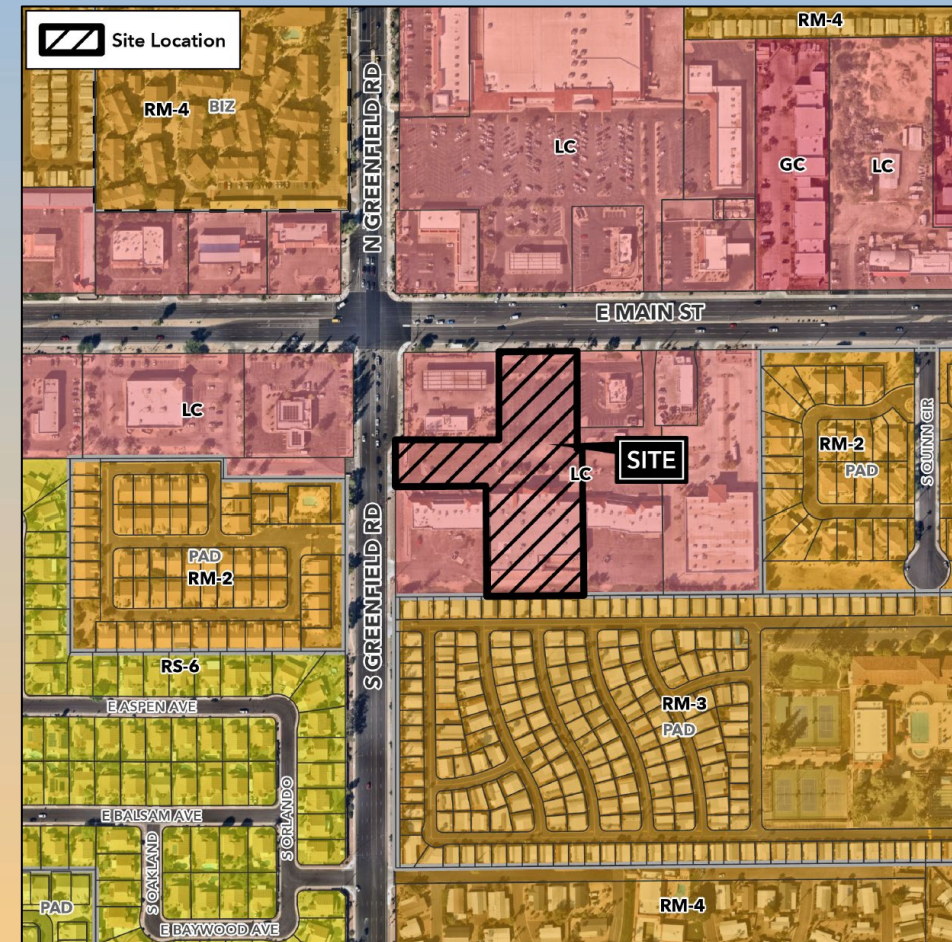
- Review of an exterior remodel of a 35,705 square foot major tenant space and associated landscape plan
- Approval of a height exception to allow a 35-foot two-inch entry feature





Location

- 4433 East Main Street
- Major tenant within the commercial center at the southeast corner Greenfield Road and Main Street





Site Photo



Looking south from Main Street



Site Photo

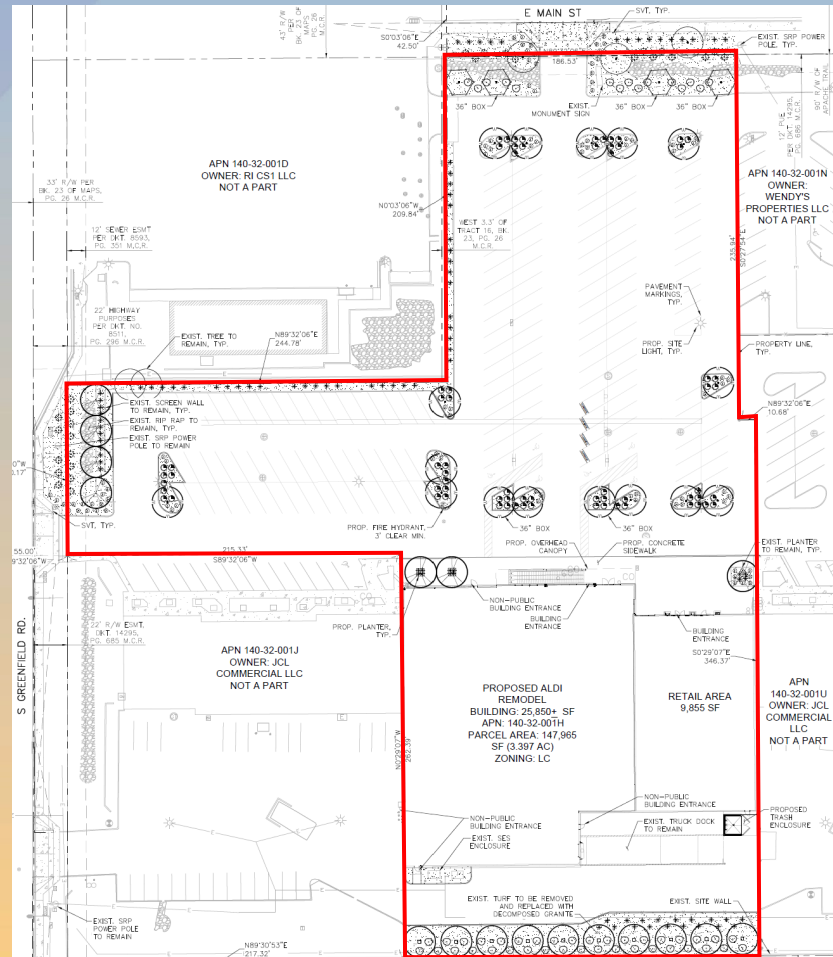


Looking east from Greenfield Road

[illegible]



Landscape Plan



PLANTING LEGEND

TREES (*LARGER SPECIES LABELED ON PLAN)

BOTANICAL NAME / COMMON NAME	SIZE	QTY
Existing Tree to Remain	Size Varies	-
Species Vary		
Acacia aneura	1½" Cal. Min., 7' Ht. Min., 3' Sp. Min., 24" Box Min.	14
Mulga	*2" Cal. Min., 9' Ht. Min., 6' Sp. Min., 36" Box Min.	2
Olea europaea 'Wilsonii'	1½" Cal. Min., 8' Ht. Min., 5' Sp. Min., 24" Box Min.	1
Fruitless Olive	*2" Cal. Min., 10' Ht. Min., 7' Sp. Min., 36" Box Min.	3
Pistacia x 'Red Push'	1½" Cal. Min., 7' Ht. Min., 3' Sp. Min., 24" Box Min.	7
Red Push Pistache		
Quercus virginiana	1½" Cal. Min., 7' Ht. Min., 4' Sp. Min., 24" Box Min.	10
Live Oak		

SHRUBS

BOTANICAL NAME / COMMON NAME	SIZE	QTY
Leucophyllum zygomphyllum 'Cimarron'	5 Gal.	26
Cimarron Sage		
Hesperaloe parviflora 'Perpa'	5 Gal.	93
Brakelights Red Yucca		
Ruellia peninsularis	5 Gal.	69
Baja Ruellia		
Tecomaria stans 'Gold Star'	5 Gal.	52
Yellow Bells		

GROUNDCOVERS

BOTANICAL NAME / COMMON NAME	SIZE	QTY
Lantana montevidensis	1 Gal.	87
Purple Trailing Lantana		

MATERIALS

DESCRIPTION	QTY
Decomposed Granite	20,105 SF
½" Screened, Madison Gold, Color to Match Existing, 2" Depth Min.	



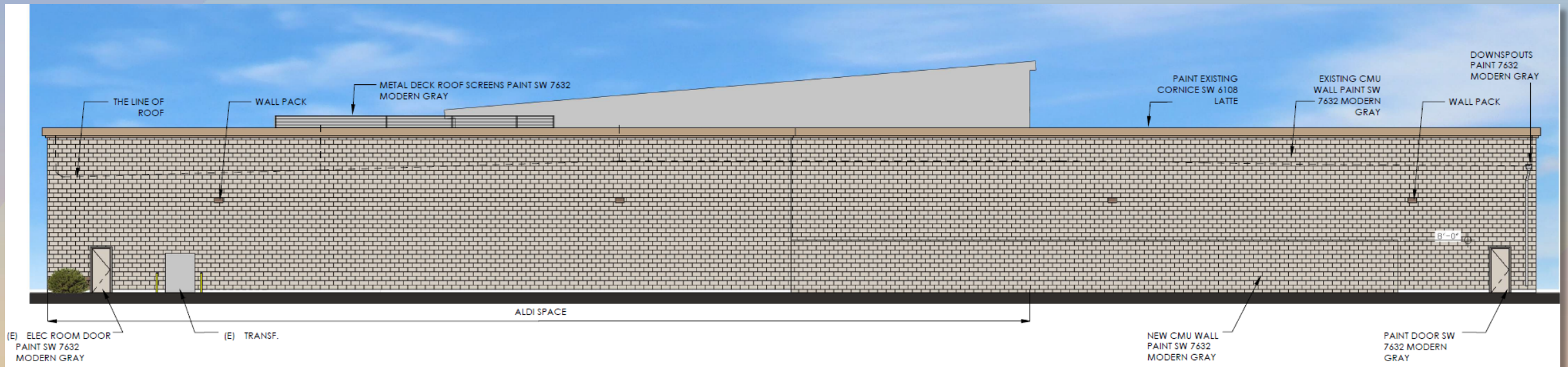
Elevations



IN COMPLIANCE WITH SECTION 11-6-3(B)(5) OF THE MZO - REASONING FOR THE ELEVATIONS - MATERIAL & COLOR		
ITEM	SQUARE FOOTAGE	PERCENTAGE
FRONT OVERALL FACADE	6,248	100%
PAINTED CMU	2,603	42%
NICHHA COMPOSITE SIDING	1,198	19%
ALUMINUM COMPOSITE PANELS	1,181	18%
GLAZING	971	16%
PAINT PLASTER CORNICE	248	4%
TRELLIS	47	1%



Elevations



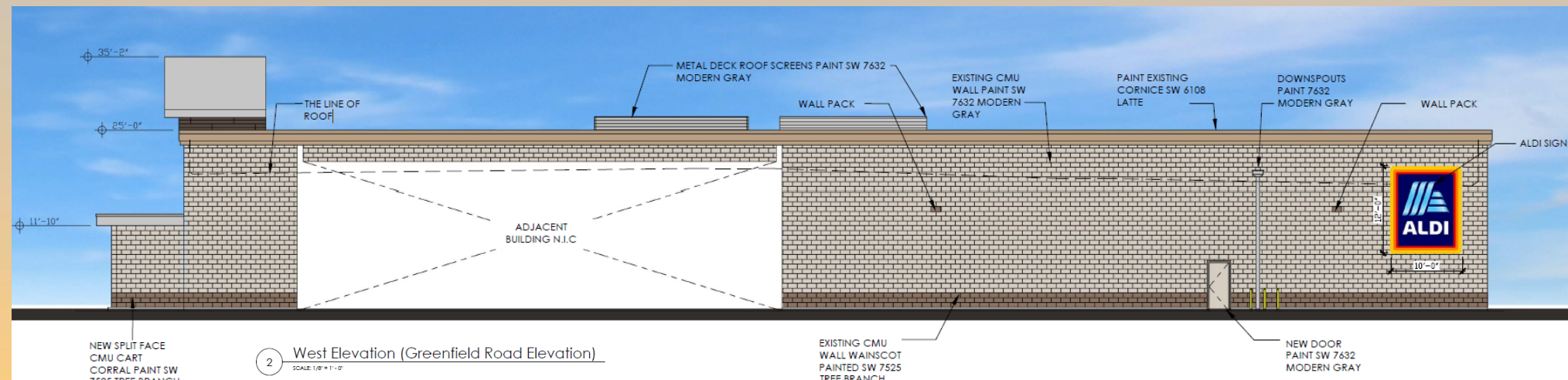
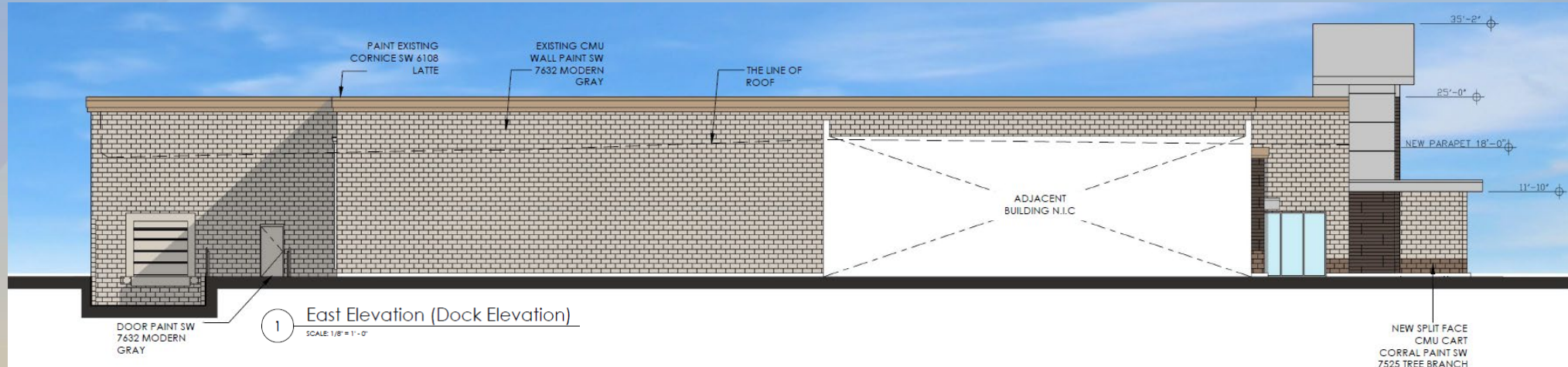
2 Rear Elevation (South)

SCALE: 1/8" = 1'-0"

IN COMPLIANCE WITH SECTION 11-6-3(B)(5) OF THE MZO - REASONING FOR THE ELEVATIONS - MATERIAL & COLOR		
ITEM	SQUARE FOOTAGE	PERCENTAGE
REAR OVERALL FACADE	5,674	100%
PAINTED CMU	5,332	94%
PAINT PLASTER CORNICE	342	6%



Elevations





Site Rendering





Site Rendering





Color and Material Board

PAINT TO MATCH
SHERWIN WILLIAMS PAINTS
SW7632 "MODERN GRAY"

PAINT TO MATCH
SHERWIN WILLIAMS PAINTS
SW7252 "TREE BRANCH"

PAINT TO MATCH
SHERWIN WILLIAMS PAINTS
SW6018 "LATTE"

NICHIHA FIBER CEMENT PANELS
"BARK"
VINTAGE WOOD COLLECTION

ALUMINUM COMPOSITE PANELS
"BRIGHT SILVER"

ALUMINUM STOREFRONT
TO MATCH ARCADIA AC-2
"CLEAR ANODIZED ALUMINUM"

SOLARBAN® 700L, 0.1 Clear + Clear Glass Insulating Glass Unit						6-11 12/16	
U-Value	U-Value (Interior Surface)	U-Value (Exterior Surface)	U-Value (Average)	U-Value (Average)	U-Value (Average)	U-Value (Average)	U-Value (Average)
0.27	0.27	0.27	0.27	0.27	0.27	0.27	0.27
0.27	0.27	0.27	0.27	0.27	0.27	0.27	0.27

STOREFRONT GLASS TO MATCH
PRG / VITRO SOLARBAN
700L INSULATED GLAZING UNIT

ALDI MARKET #196
4433 East Main Street
Mesa, Arizona

Color & Materials






Alternative Compliance

- ✓ Character and Image: In multiple building developments, each individual building shall include predominant characteristics shared by each building so that the buildings within the development appear to be part of a cohesive, planned area, yet are not monotonous in design.
- ✓ Roof Articulation – Existing South Elevation: Minimum vertical modulation is two (2) feet or one-tenth ($1/10$) multiplied by the wall height, not to exceed one-third ($1/3$) of the height of the supporting wall.



Alternative Compliance

Materials and Colors:

- ✓ Existing East, West and South Elevations: Shall incorporate at least three (3) different and distinct materials and no more than 50% of the total facade may be covered with one material.
- ✓ Existing East and South Elevations: Provide a recognizable “base”.



Height Exception

- ✓ Maximum height allowed in the LC district is 30 feet
- ✓ Requesting a 35-foot two-inch top height (mid-point height of 31 feet, six-inches) for a shed roof entry feature



Findings

Staff is seeking review and recommendation on the following:

- ✓ Proposed building elevations & landscape design
- ✓ Alternative compliance requests

Staff is seeking review and approval of the:

- ✓ Exception to the height limit in the LC District

Staff welcomes any feedback



Design Review Board



Photos of Commercial Center





Photos of Commercial Center





Design Review Board



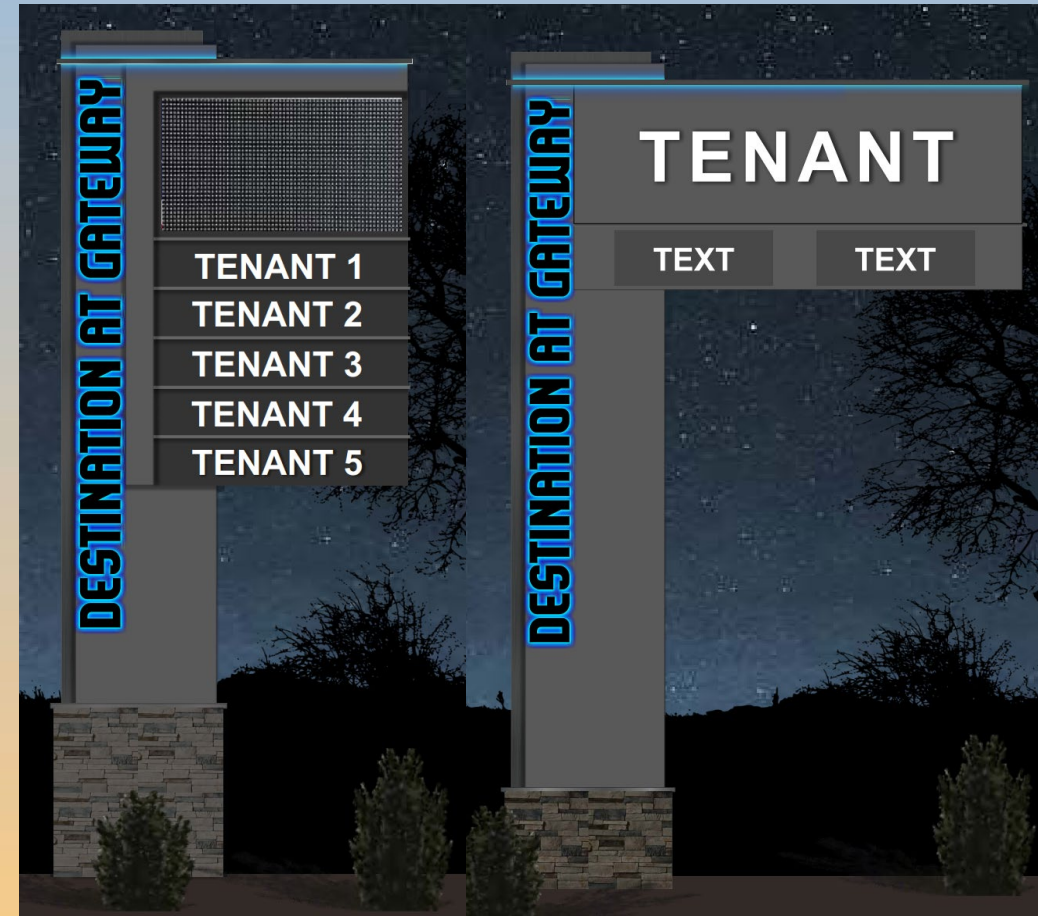
DRB25-00059

Destination at Gateway Freeway Landmark Monument



Request

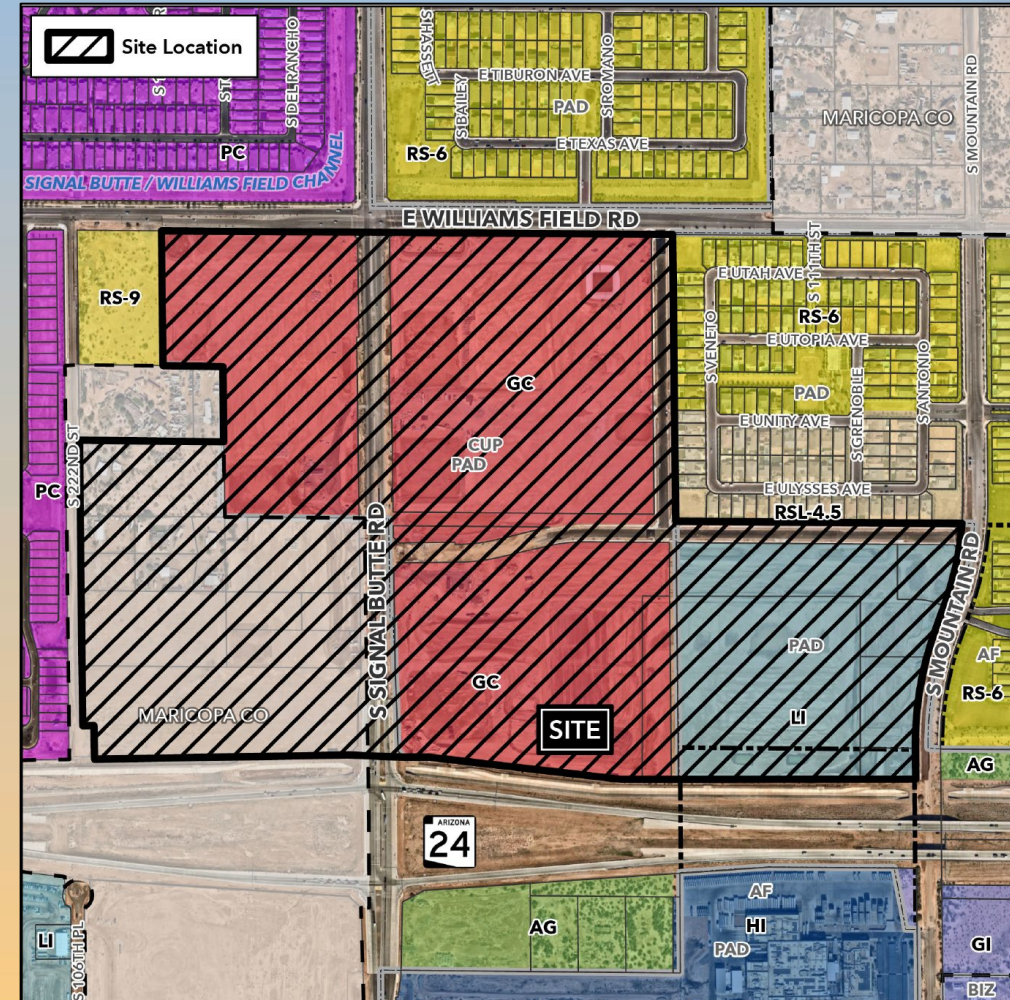
- Design Review for two (2) Freeway Landmark Signs within Destination at Gateway





Location

- East of Signal Butte Road
- North of 24 Gateway Freeway
- West of Mountain Road
- Within Destination at Gateway commercial center





Site Photo



Looking north from 24 Gateway Freeway offramp (Signal Butte)



Site Photo

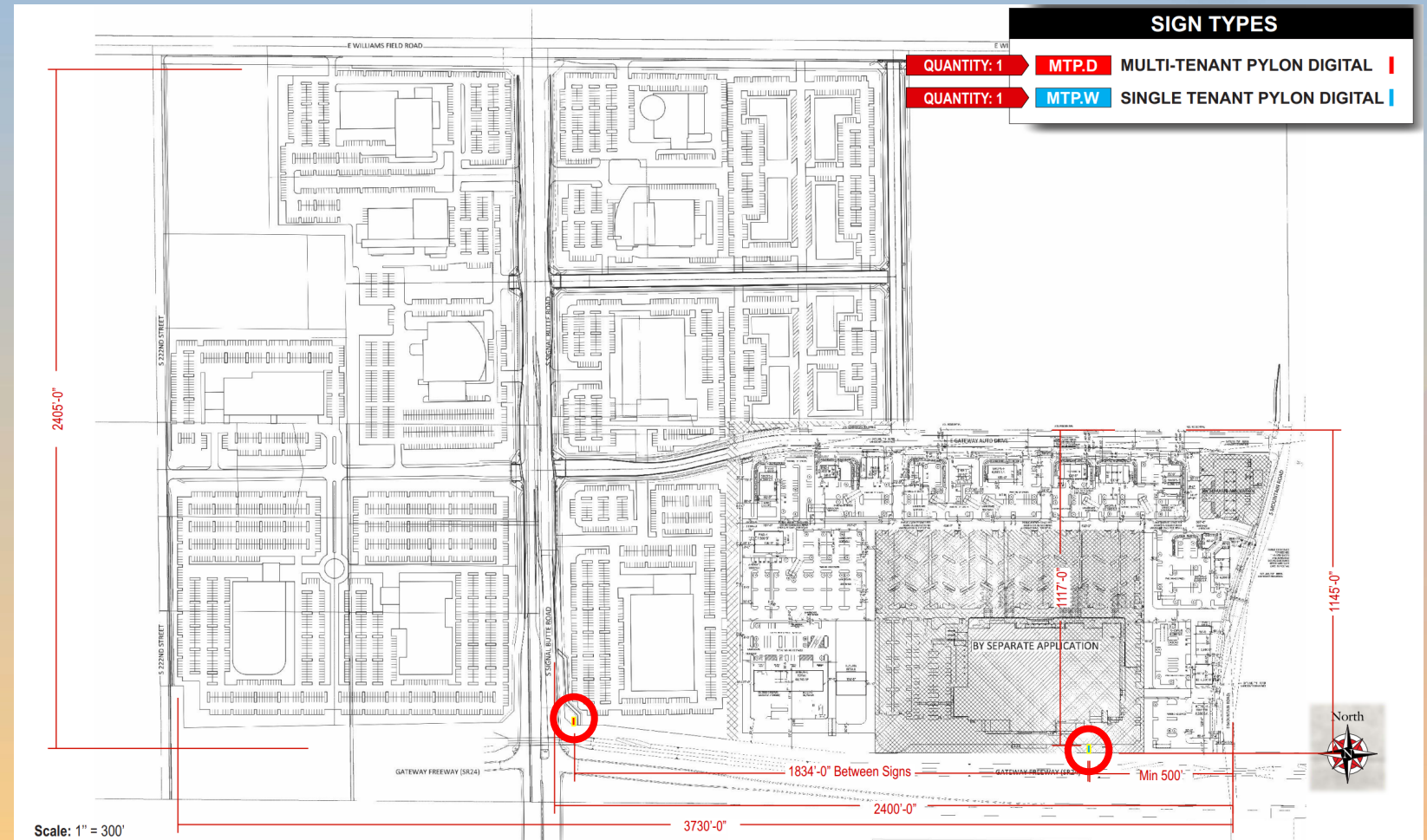


Looking north from 24 Gateway Freeway (Mountain Road)



Site Plan

- One FLM sign at the corner of Signal Butte and the 24 Gateway Freeway offramp
- One FLM sign 500+ feet from Mountain Road and 24 Gateway Freeway





MZO Design Standards

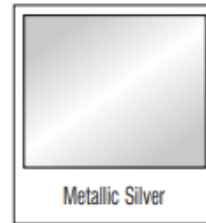
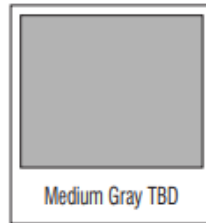
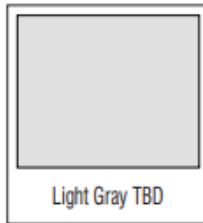
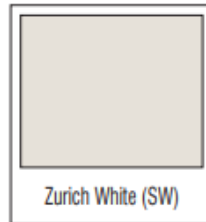
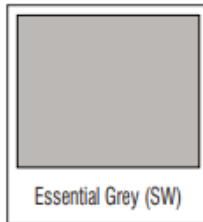
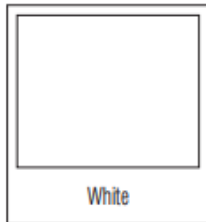
- Architectural Compatibility
- Materials
- Project Identification
- Lighting Controls



Color & Materials

Sign Colors and Materials

COLOR & MATERIAL SCHEDULE



Destination at Gateway Design Guidelines Colors and Materials



"CHARDONNAY"



"ASHFALL"

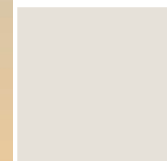


"WHEATON"



"MIXED SHALE"

Primary Colors:



Zurich White (SW)



Pavestone (SW)



Essential Gray (SW)



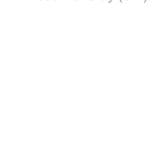
Northwood Brown (BM)



Dry Dock (SW)



Cabot Trail (BM)



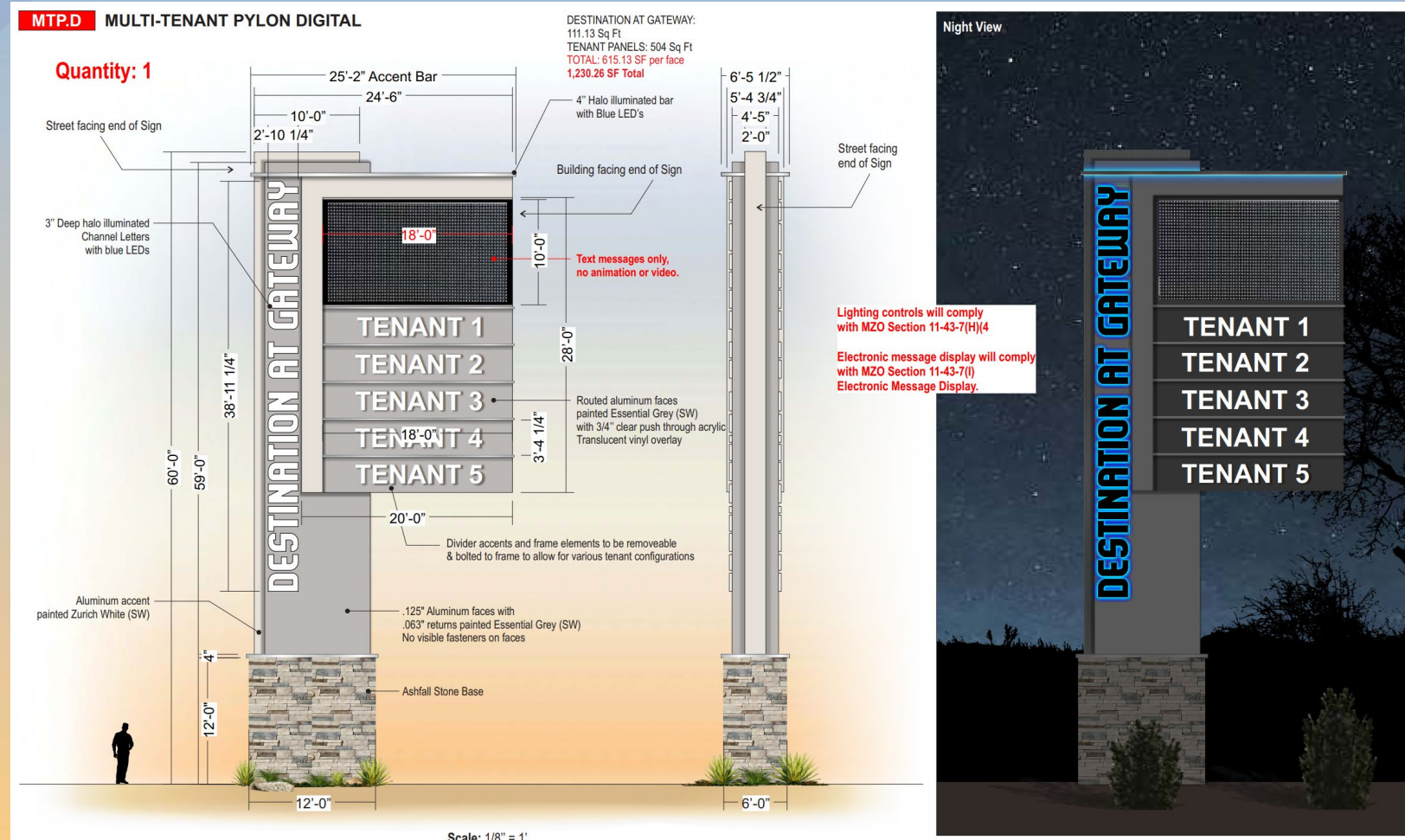
White



Aesthetic White



Elevations (Signal Butte)

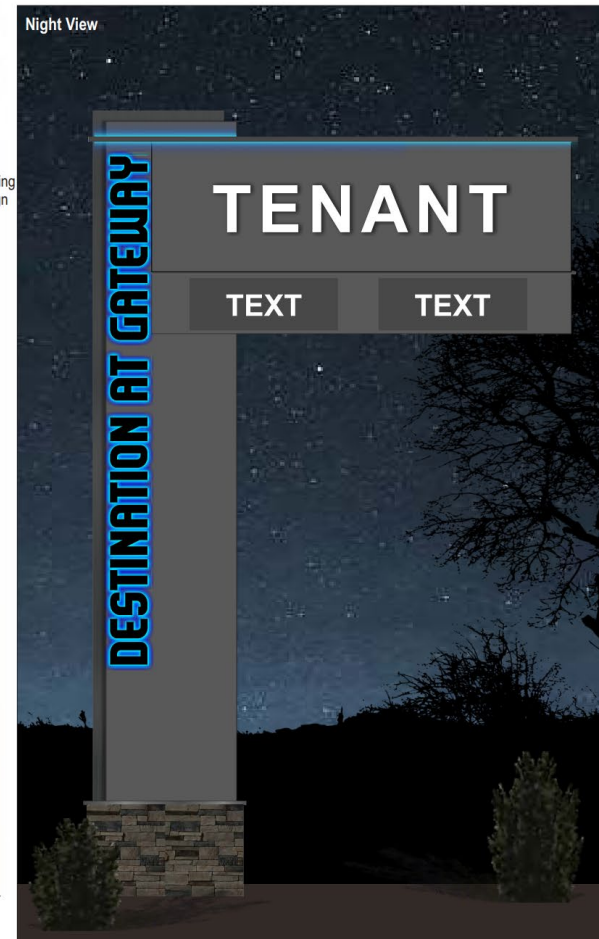
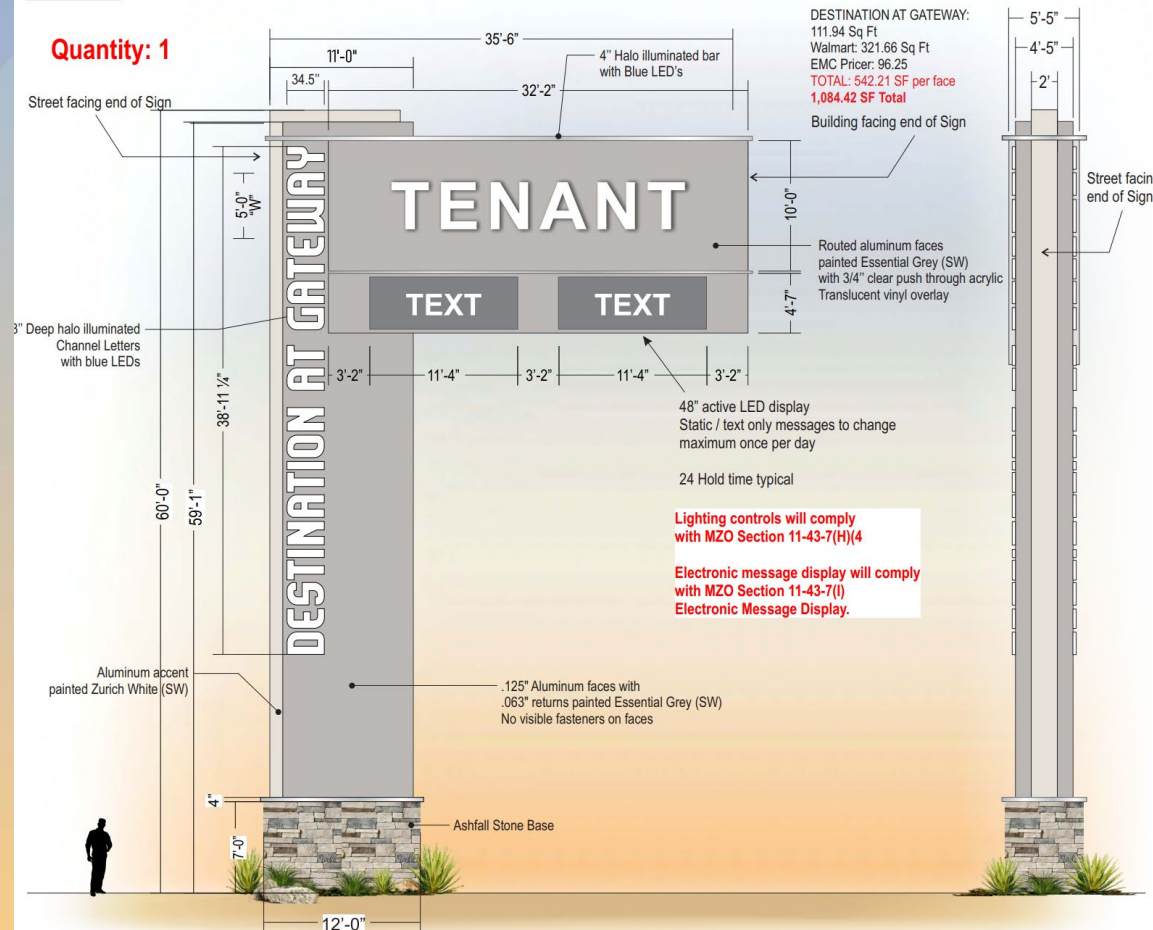




Elevations (Mountain)

MTP.W SINGLE TENANT PYLON WITH DIGITAL

Quantity: 1





Findings

Staff is seeking your review and recommendation on the following:

- ✓ Freeway Landmark Monument Sign design and materials

Staff recommendations Approval with Conditions



Design Review Board



Design Review Board



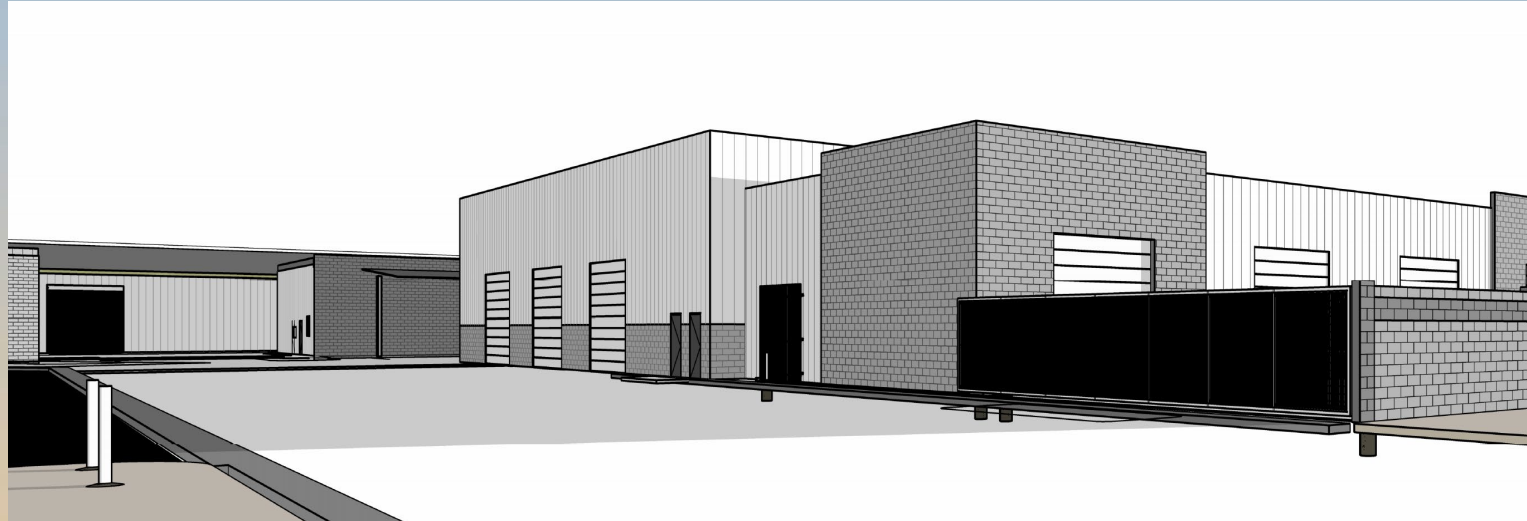
DRB24-00524

202 RV Valet Storage Expansion



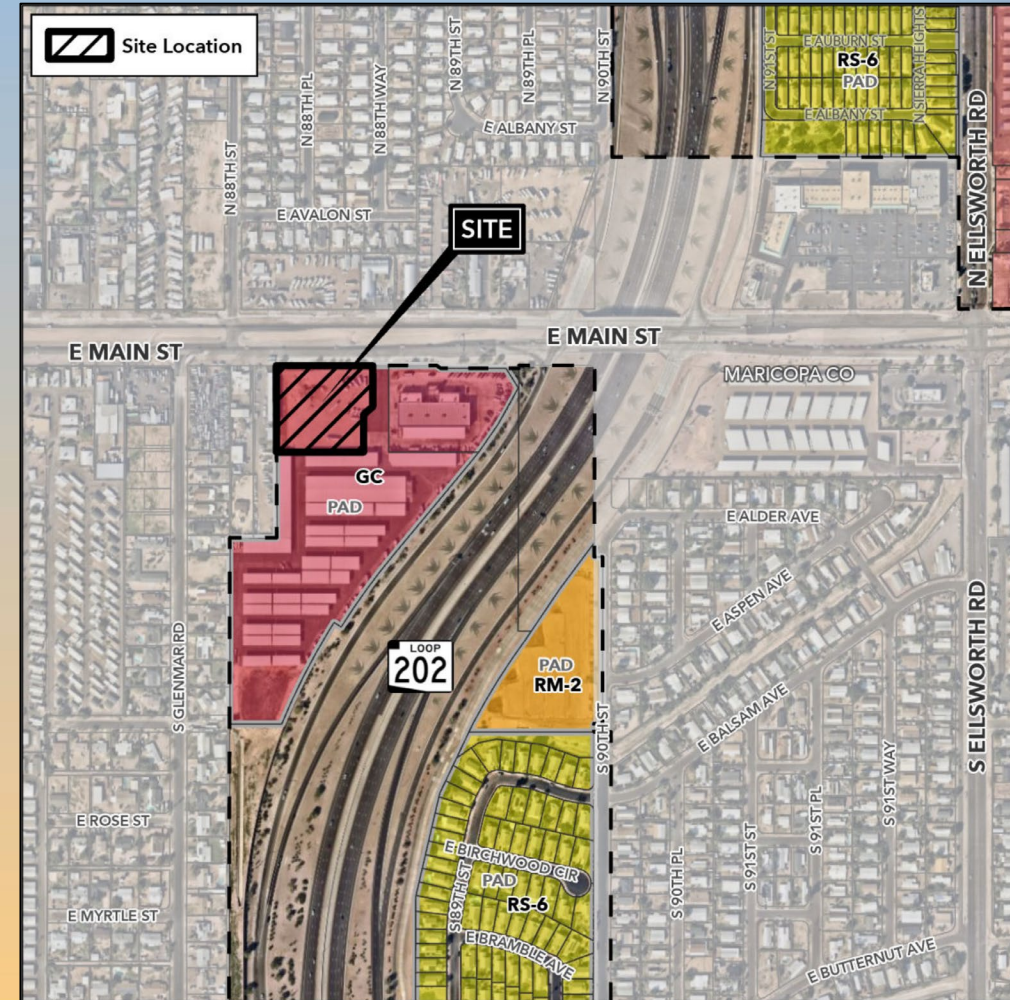
Request

- Design Review for an approximately 58,845 square foot expansion of a Boat and Recreational Vehicle Storage Facility





- 8839 East Main Street
- West of Ellsworth Road
- South side of Main Street





Site Photo



Looking south from Main Street



Site Context (Phase 1)



Looking south from Main Street



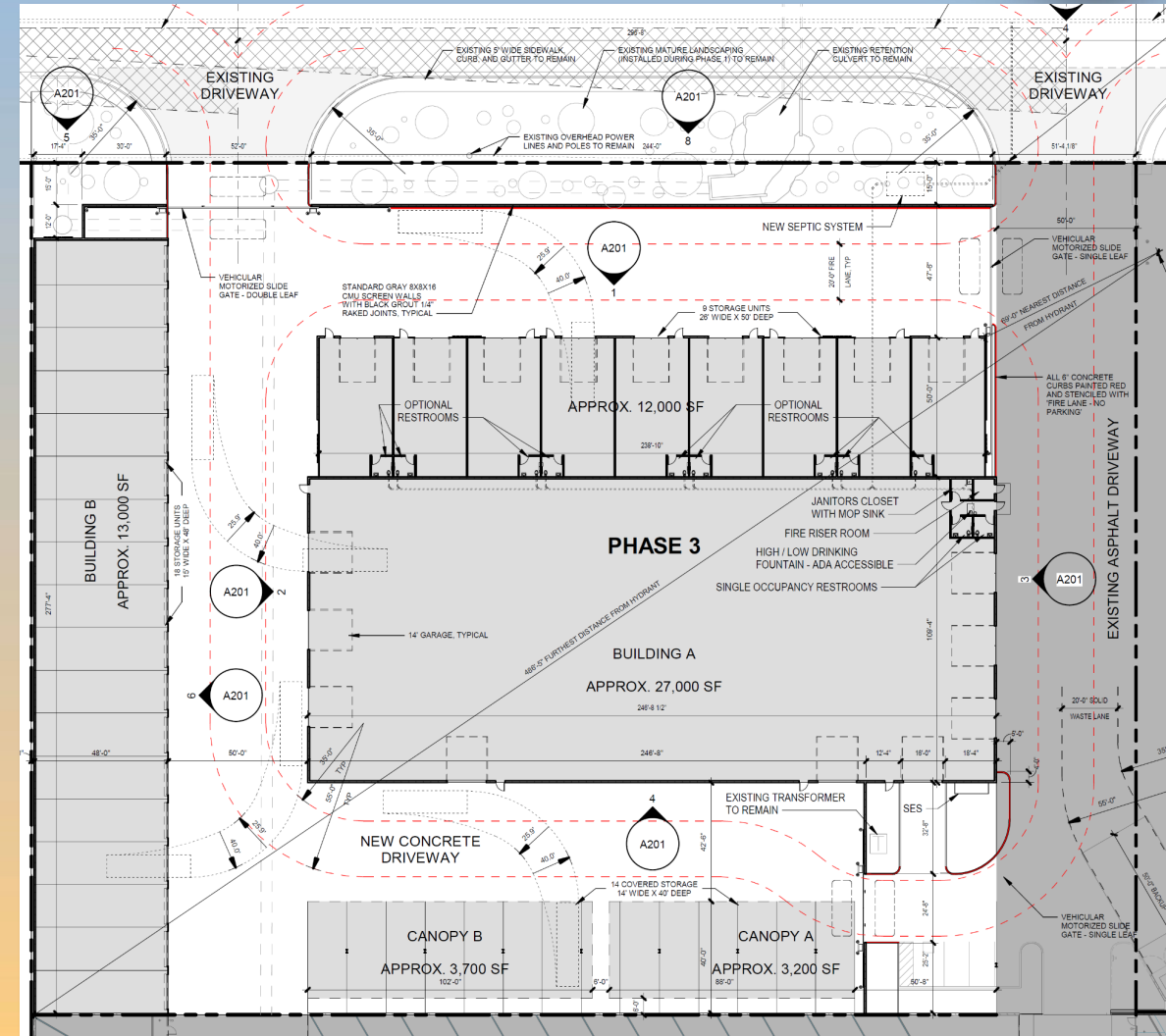
Site Context (Phase 2)



Looking south from Main Street



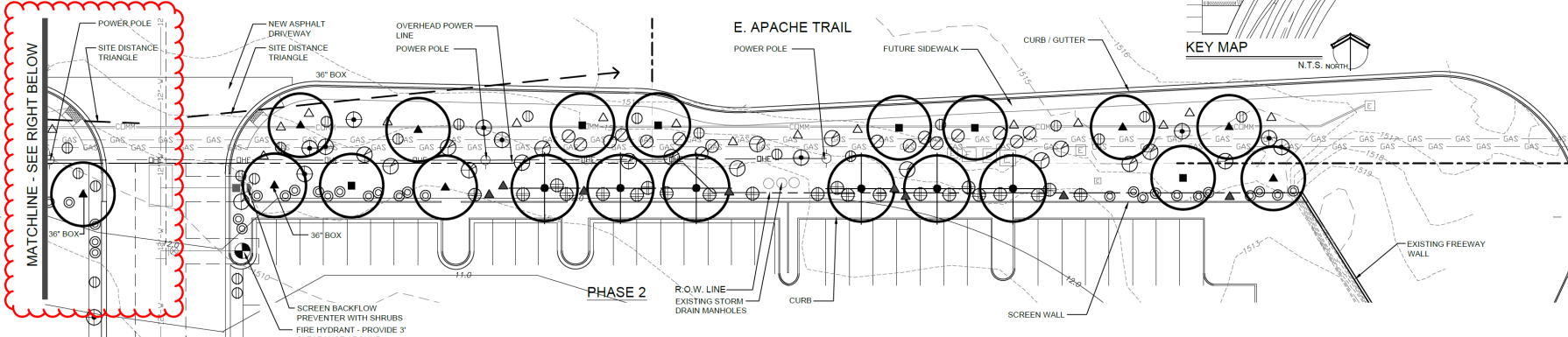
- Four RV and Boat Storage buildings
- Range from 3,200 square feet to 27,000 square feet
- 58,845 total building square footage



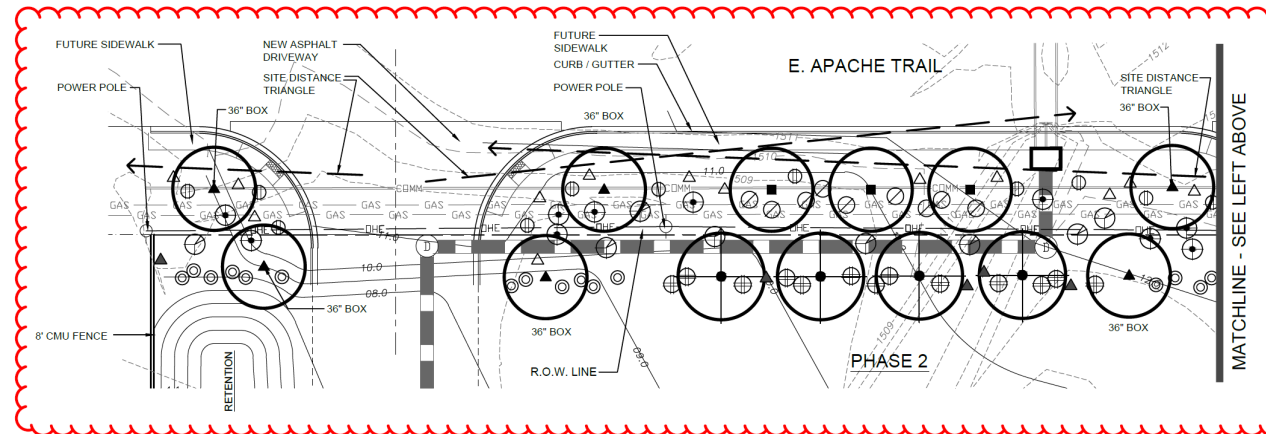


Landscape Plan

THIS EXISTING MATURE LANDSCAPE SCOPE, AS INSTALLED DURING PHASE 1, IS TO REMAIN IN PLACE



THIS EXISTING MATURE LANDSCAPE SCOPE, AS INSTALLED DURING PHASE 1, IS TO REMAIN IN PLACE



PLANT KEY

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES:		
	ACACIA SALICINA	WILLOW ACACIA
	CERCIDIUM HYBRID 'AZT'	THORNLESS PALO VERDE
	PROSOPIS THORNLESS HYBRID 'AZT'	AZT THORNLESS MESQUITE
SHRUBS:		
	AMBROSIA DELTOIDEA	TRIANGLE-LEAF BURSAGE
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE
	ENCELIA FARINOSA	BRITTLE BUSH
	JUSTICIA CALIFORNICA	CHUPAROSA
	LARREA TRIDENTATA	CREOSOTE
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	GREEN CLOUD SAGE
	RUPELLIA PENINSULARIS	BAJA RUELLIA
ACCENTS / CACTUS:		
	OPUNTIA ENGELMANNII	ENGELMANN'S PRICKLY PEAR
	OPUNTIA FICUS-INDICA	INDIAN FIG PRICKLY PEAR



Color & Material Board



CMU1

GRAY CMU WITH BLACK TOOLED GROUT JOINTS

MATERIAL: 8X8X16 CONCRETE MASONRY UNITS STANDARD COURSING

FINISH: GRAY WITH BLACK GROUT 1/4" RAKED JOINTS

LOCATIONS: SITE WALLS AND BUILDING WALLS



CMU2

BLACK CMU WITH BLACK TOOLED GROUT JOINTS

MATERIAL: 8X8X16 CONCRETE MASONRY UNITS STANDARD COURSING

FINISH: BLACK WITH BLACK GROUT 1/4" RAKED JOINTS

LOCATIONS: BUILDING WALLS



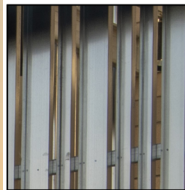
MTL

PRE-ENGINEERED METAL BUILDING CLADDING

MATERIAL: METAL BUILDING CLADDING BY MANUFACTURER

FINISH: WHITE

LOCATIONS: PRE-ENGINEERED METAL BUILDING CLADDING



CHN

CHANNEL CLADDING

MATERIAL: GALVANIZED METAL CHANNELS OF VARYING WIDTHS SPACE 2" APART AND MOUNTED VERICALLY

FINISH: GALVANIZED

LOCATIONS: NORTH ELEVATION



WIF

WROUGHT IRON FENCE

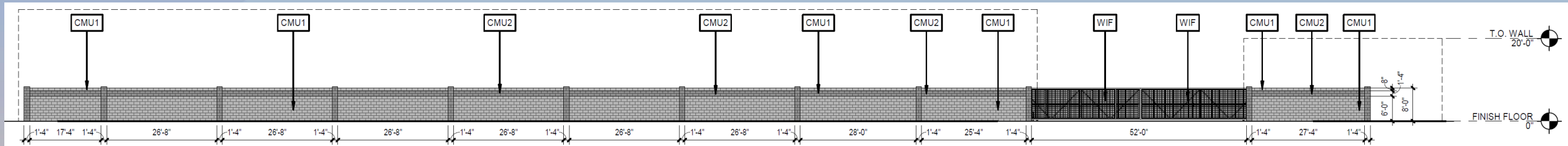
MATERIAL: WROUGHT IRON POSTS, BEAMS, AND PICKETS

FINISH: BLACK

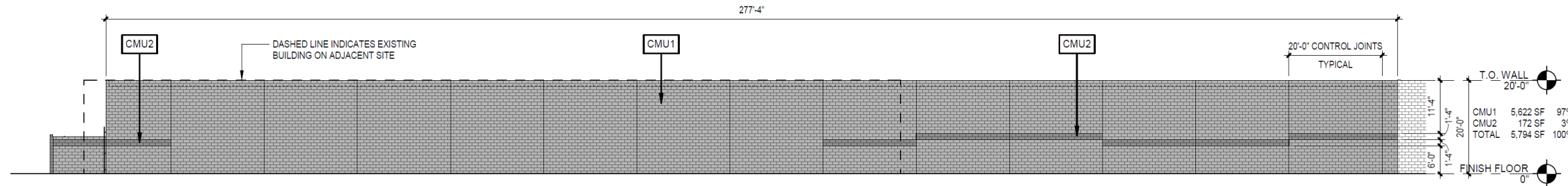
LOCATIONS: ON TOP OF SELECT SITE WALLS AND ON VEHICULAR SLIDING GATES



Elevations



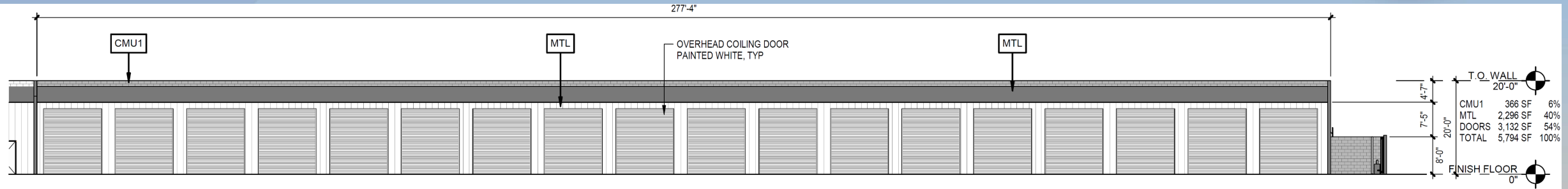
8 STREET FRONTAGE WALL ELEVATION
1/16" = 1'-0"



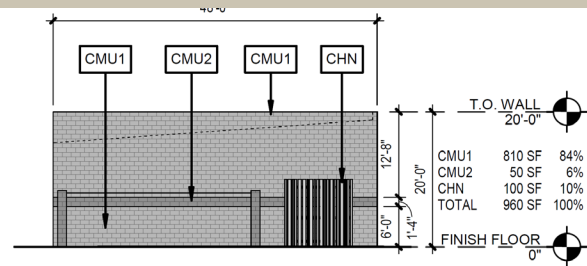
7 BUILDING B - WEST ELEVATION
1/16" = 1'-0"



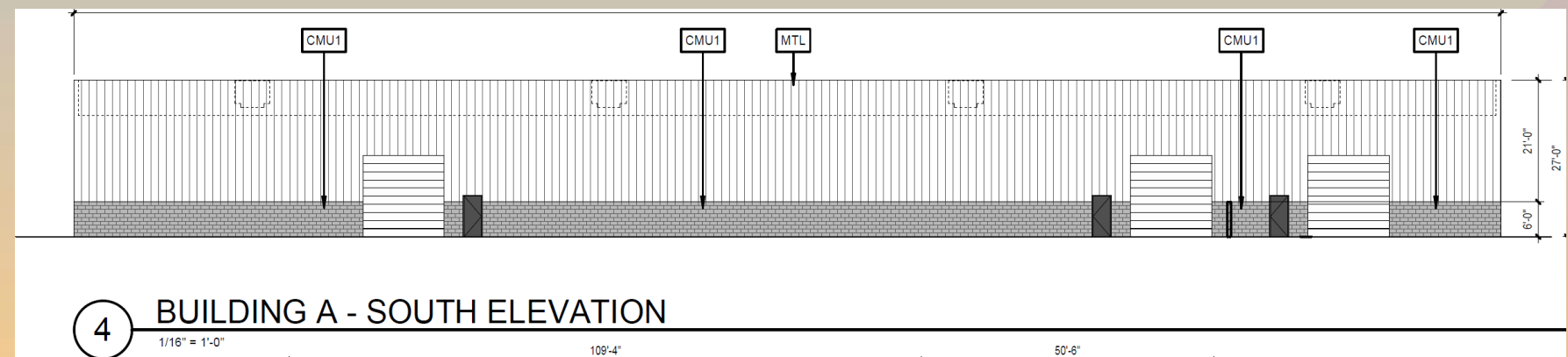
Elevations



6 BUILDING B - EAST ELEVATION
 1/16" = 1'-0"



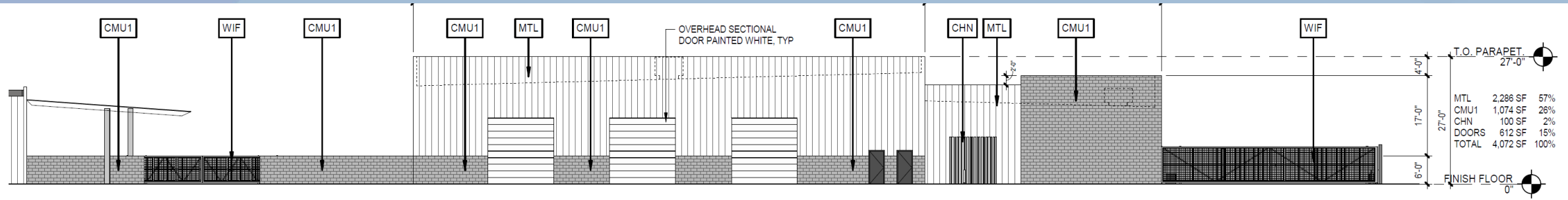
5 BLDG B - NORTH ELEV
 1/16" = 1'-0"



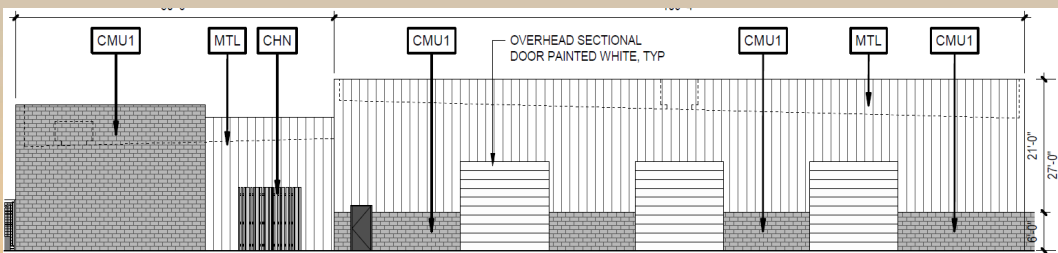
4 BUILDING A - SOUTH ELEVATION
 1/16" = 1'-0"



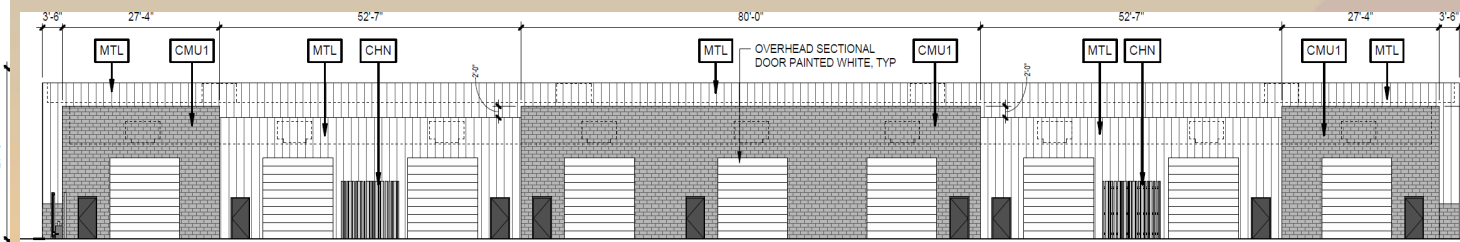
Elevations



3 BUILDING A - EAST ELEVATION
1/16" = 1'-0"



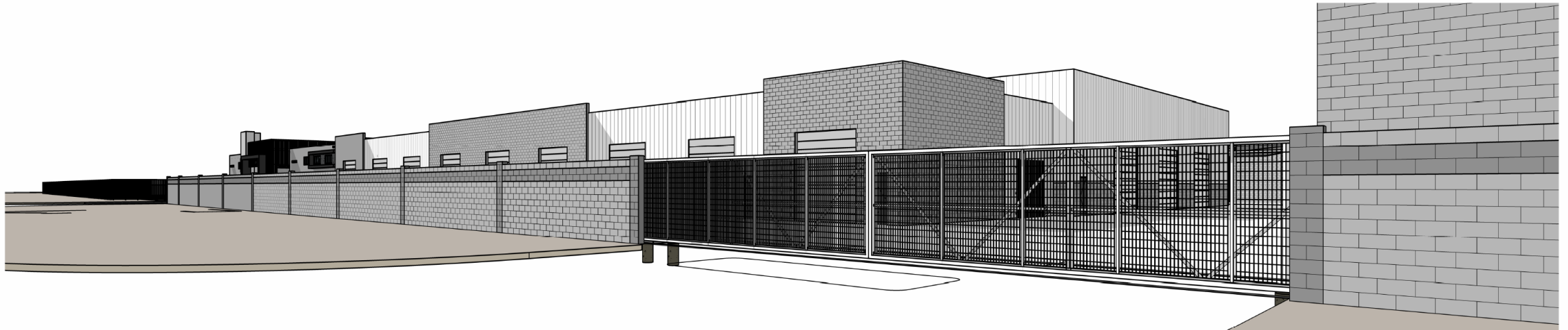
2 BUILDING A - WEST ELEVATION
1/16" = 1'-0"



1 BUILDING A - NORTH ELEVATION
1/16" = 1'-0"



Site Rendering

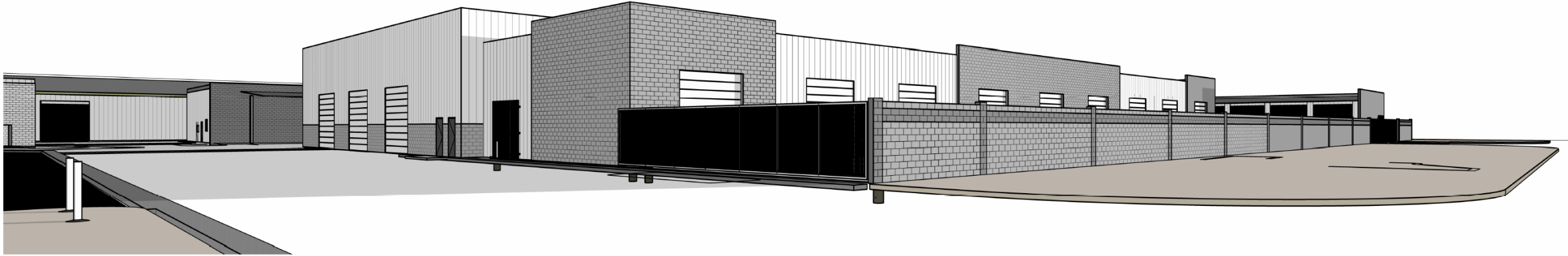


2

PHASE 3 NORTHWEST PERSPECTIVE



Site Rendering



PHASE 3 NORTHEAST PERSPECTIVE



Alternative Compliance

- ✓ Roof Articulation. Vary building height including at least 2 changes in height or roof forms that are varied over different portions of the building through changes in pitch, plane and orientation
- ✓ Materials. Facades shall incorporate at least 3 different materials
- ✓ Materials. No more than 50% of the façade may be covered with one single material



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations & landscape design
- ✓ Alternative compliance requests

Staff welcomes any feedback



Design Review Board



Site Context (Phase 2)



Looking south from Main Street



Design Review Board



DRB25-00325

Circle K Pecos & Sossaman



Request

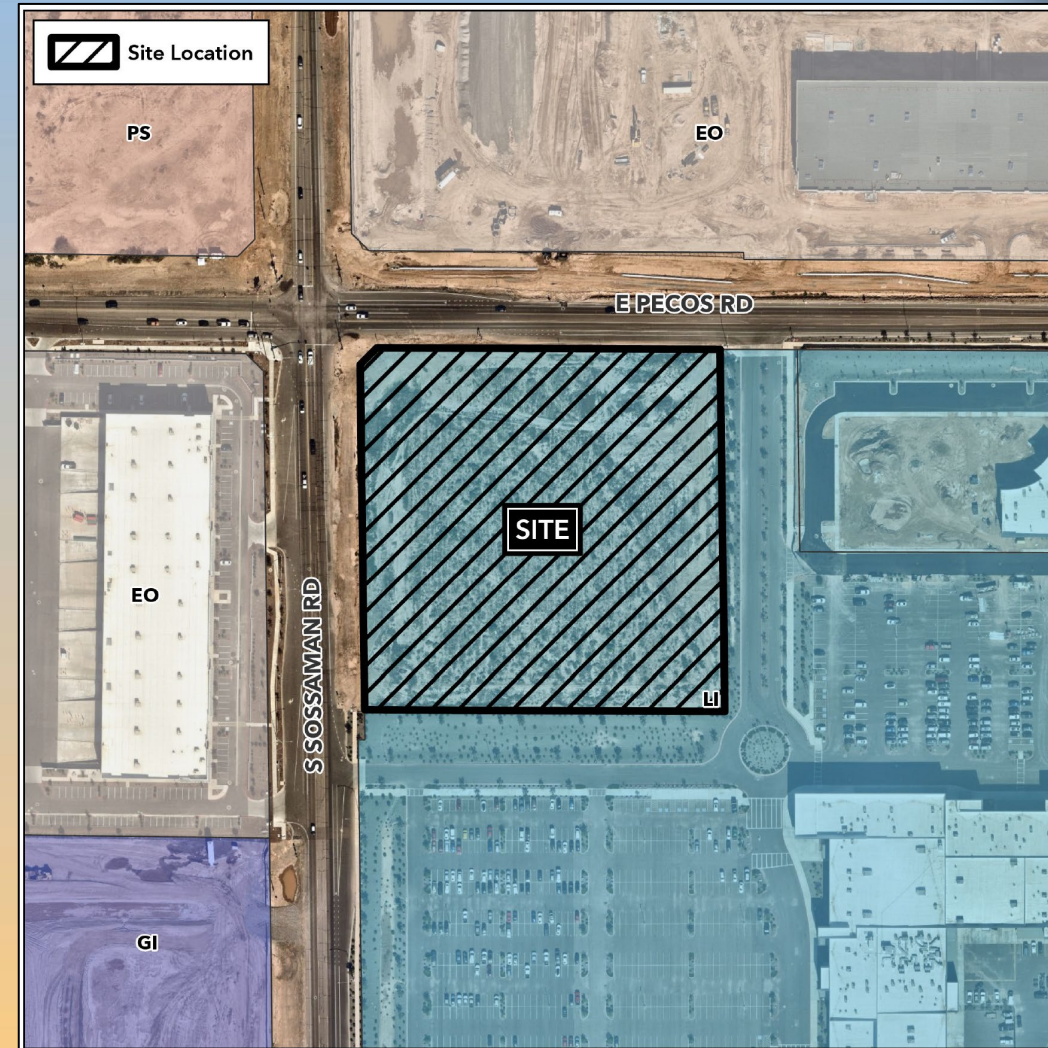
- Design Review
- To allow for a Service Station





Location

- South side of Pecos Road
- East side of Sossaman Road





Site Photo



Looking south from Pecos Road





MASTER PLANT LIST

TREES	SIZE/ COMMENTS/ QTY
EVERGREEN ELM ULMUS PARVIFOLIA 'DRAKE'	36" BOX / 11 QTY / LOW-BREAKING / MATCHED
FRUITLESS OLIVE OLEA EUROPAEA 'WILSONII'	36" BOX / 13 QTY / STANDARD / MATCHED
RED PUSH PISTACHE PISTACHIA 'RED PUSH'	24" BOX / 13 QTY / STANDARD / MATCHED
THORNLESS CASCALOTE CAESALPINIA CACALOTA 'SMOOTHIE'	24" BOX / 13 QTY / LOW-BREAKING / MATCHED
HYBRID DESERT WILLOW CHILOPSIS LINEARIS 'BUBBA'	24" BOX / 9 QTY / LOW-BREAKING / MATCHED
SHRUBS	
RED YUCCA HESPERALOE PARVIFLORA	5 GAL / 188 QTY
DWARF OLEANDER NERIUM OLEANDER 'PETITE PINK'	5 GAL / 93 QTY
WINTER BLAZE EMU EREMOPHILA CARNOSA	5 GAL / 99 QTY
CHUPAROSA JUSTICIA CALIFORNICA	5 GAL / 57 QTY
HOPSEED DODONAEA VISCOSA	5 GAL / 127 QTY
GROUNDCOVERS	
TURPENTINE ERCAMERA LARICIFOLIA	1 GAL / 92 QTY
NASHVILLE GRASS MUHLBERGIA RIGIDA	1 GAL / 71 QTY
TRAILING YELLOW LANTANA LANTANA 'NEW GOLD'	1 GAL @ 3.9" O.C. 159 QTY
OUTBACK SUNRISE EMU EREMOPHILA GLABRA	1 GAL @ 4" O.C. 188 QTY
TRAILING ACACIA ACACIA REDOLENS	1 GAL @ 5" O.C. 152 QTY
INERT MATERIAL	
DECOMPOSED GRANITE ROCK PROS - FROST	12" SCREENED, 2' DEPTH, TYP.

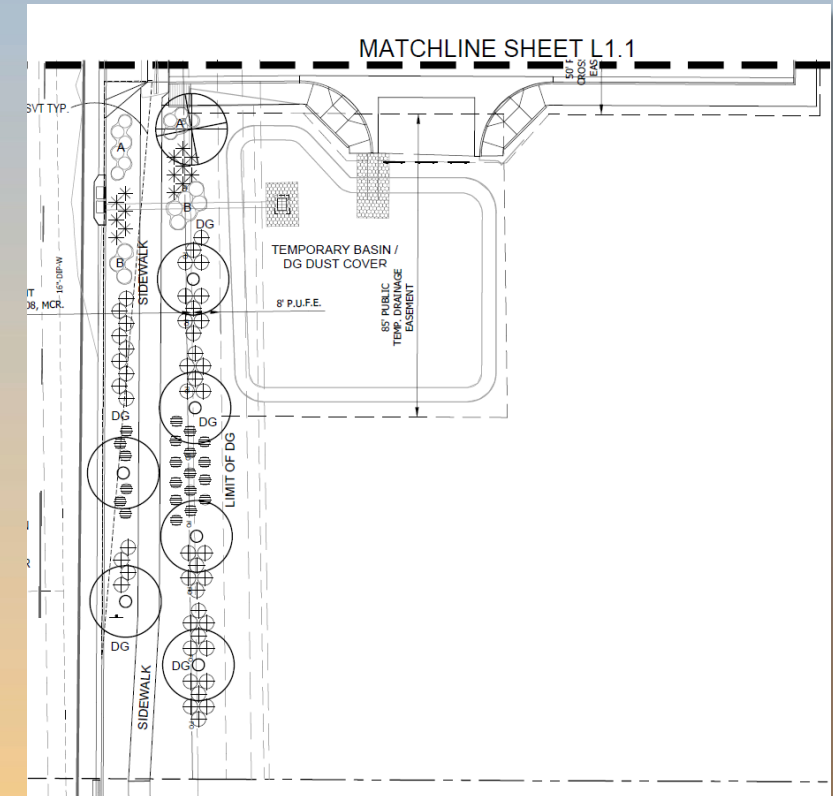
PLANTING PLAN

SCALE 1"=20'-0"

0 5 10 20 40

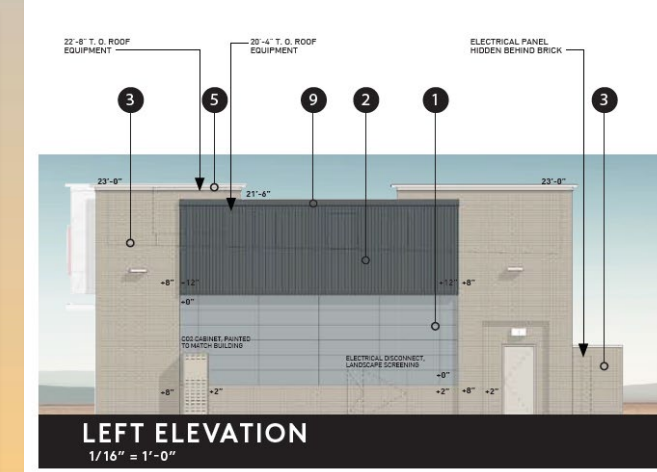
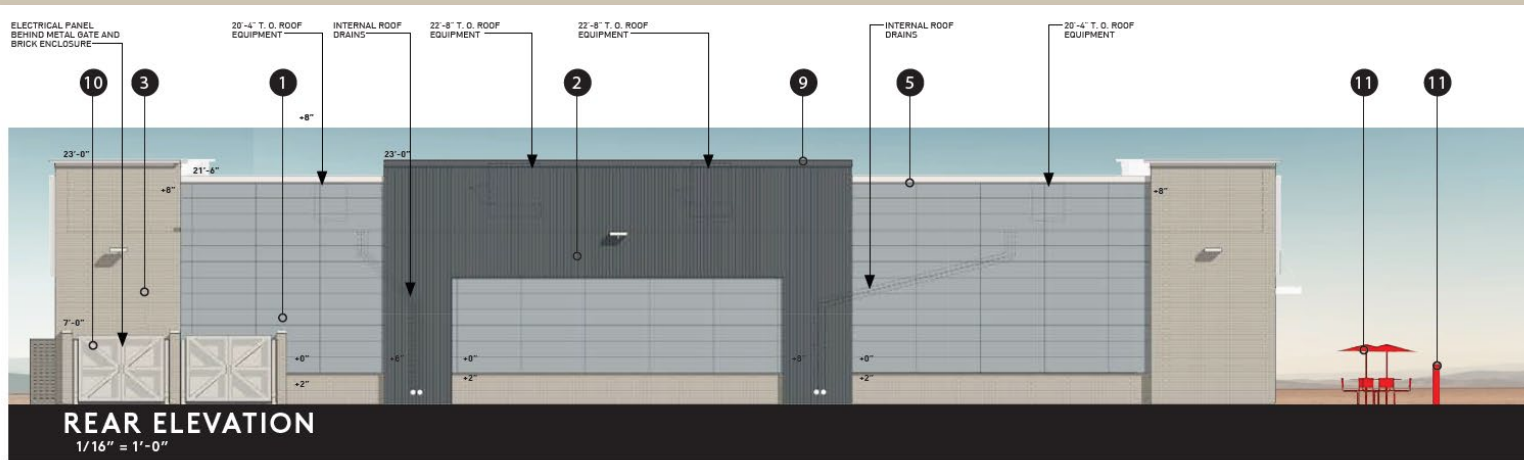
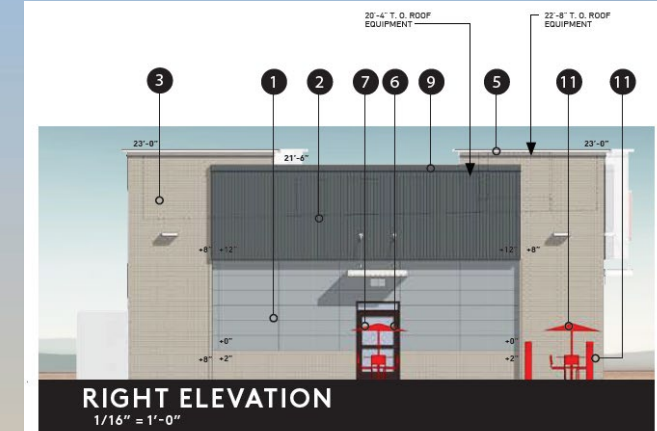
Ref. North

MATCHLINE SHEET L.1.2



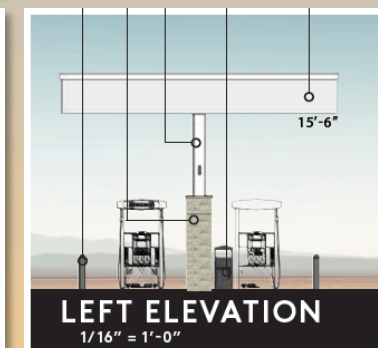
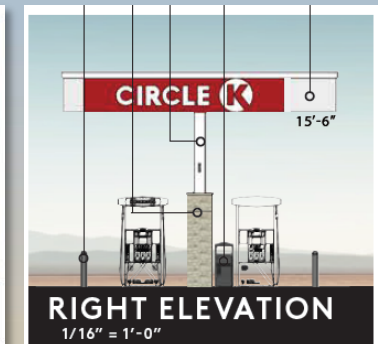
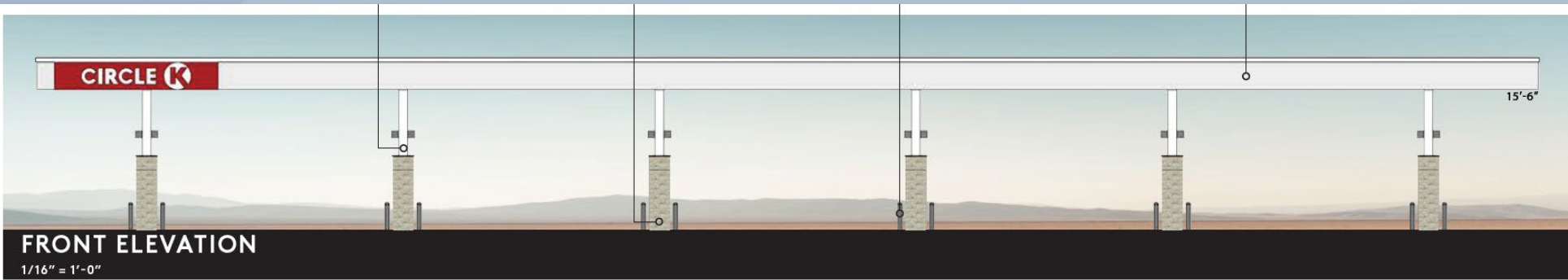


Building Elevations – C-Store





Building Elevations – Gas Canopy





Renderings




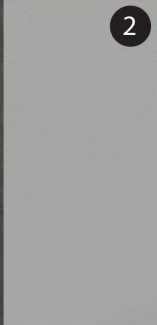


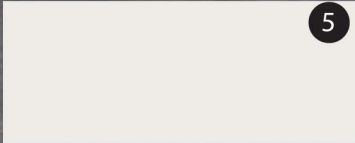

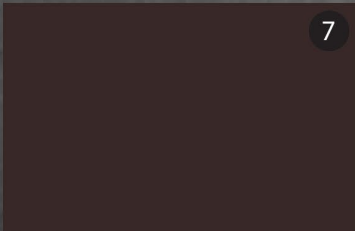
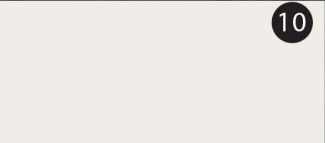

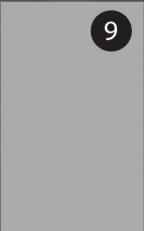


Renderings





Colors and Materials

rdc.
Architecture | Planning | Interiors

**CIRCLE K
PECOS & SOSSAMAN
MESA, AZ**

MATERIAL LEGEND

- 1 MANUFACTURER: GENERAL SHALE
PRODUCT: BRICK CLADDING
COLOR: OLD EDISTO
- 2 MANUFACTURER: NICHIA
PRODUCT: TUFF BLOCK
COLOR: SW6255 MORNING FOG
- 3 MANUFACTURER: NICHIA
PRODUCT: TUFF BLOCK
COLOR: SW9166 DRIFT OF MIST
- 4 MANUFACTURER: MCELROY
PRODUCT: RIBBED METAL PANEL
COLOR: CHARCOAL
- 5 METAL COPING
COLOR: SW7004 SNOWBOUND
- 6 METAL COPING / FASCIA
COLOR: SW7075 WEB GRAY
- 7 ANODIZED WINDOW FRAMING
DARK BRONZE
- 8 INSULATED CLEAR GLASS
- 9 SPANDREL GLASS
- 10 CEMENTITIOUS FENCE
COLOR: SW7004 SNOWBOUND



Alternative Compliance

- ✓ Materials. No more than 50% of the total façade may be covered with one (1) single material.
- ✓ Roof Articulation. Vary building height, providing at least two (2) changes in height or roof forms that are varied over different portions of the building through changes in pitch, plane, and orientation.



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape plan
- ✓ Proposed alternative compliance

Staff welcomes any feedback



Design Review Board



Design Review Board



DRB25-00623

NTT PH10 Pecos



Request

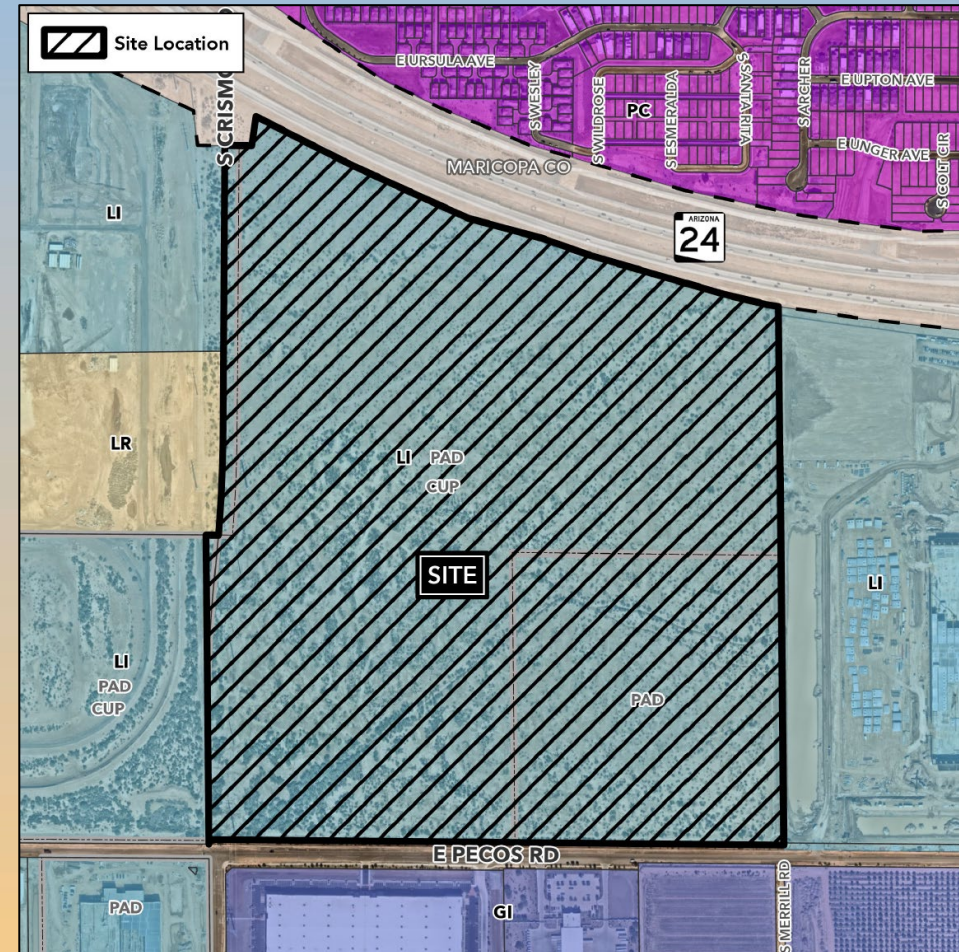
- Design Review
- To allow for a Data Center Campus





Location

- North of Pecos Road
- East of Crismon Road alignment





Site Photo



Looking north from Pecos Road



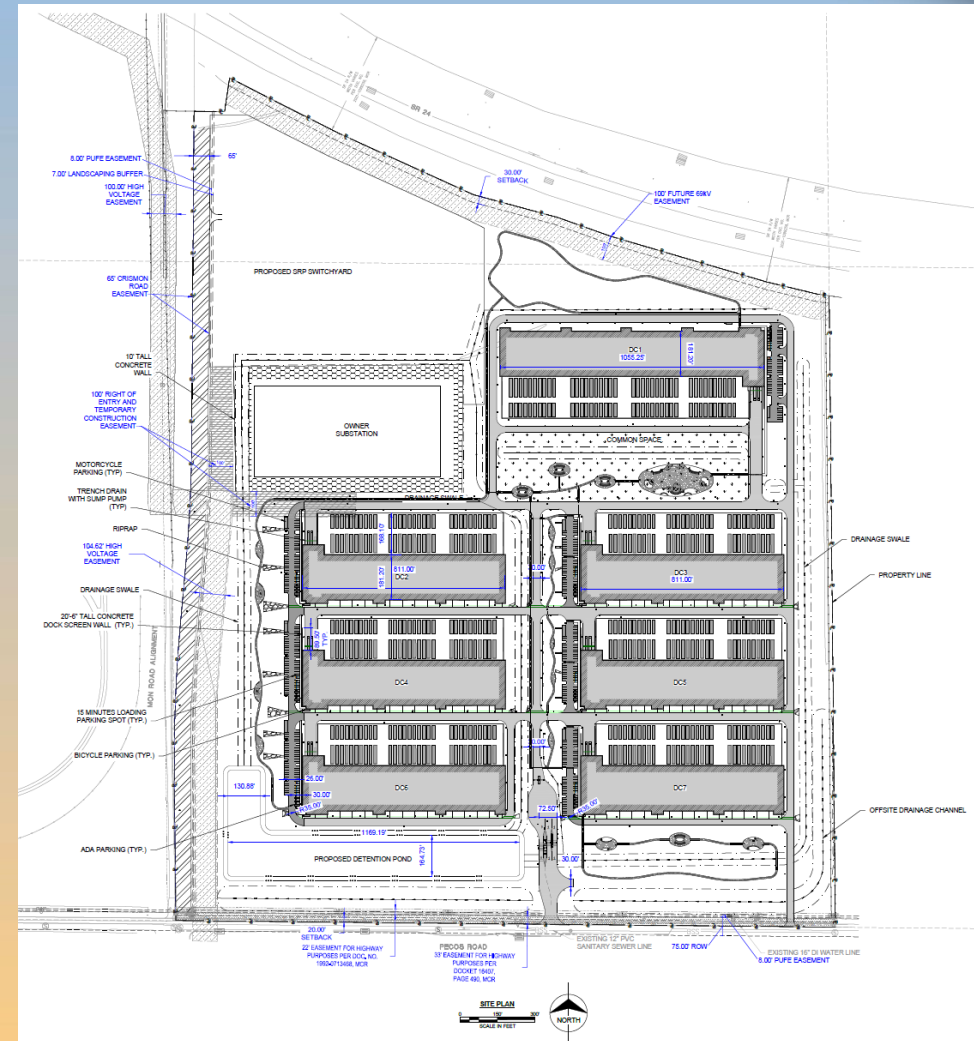
Site Photo



Looking south from SR 24



- Access will only be provided from Pecos Road
- 7 total buildings on site
- 2,257,561 square feet total
- Two Substations; one private, one owned by SRP
- Includes a walking path throughout the site





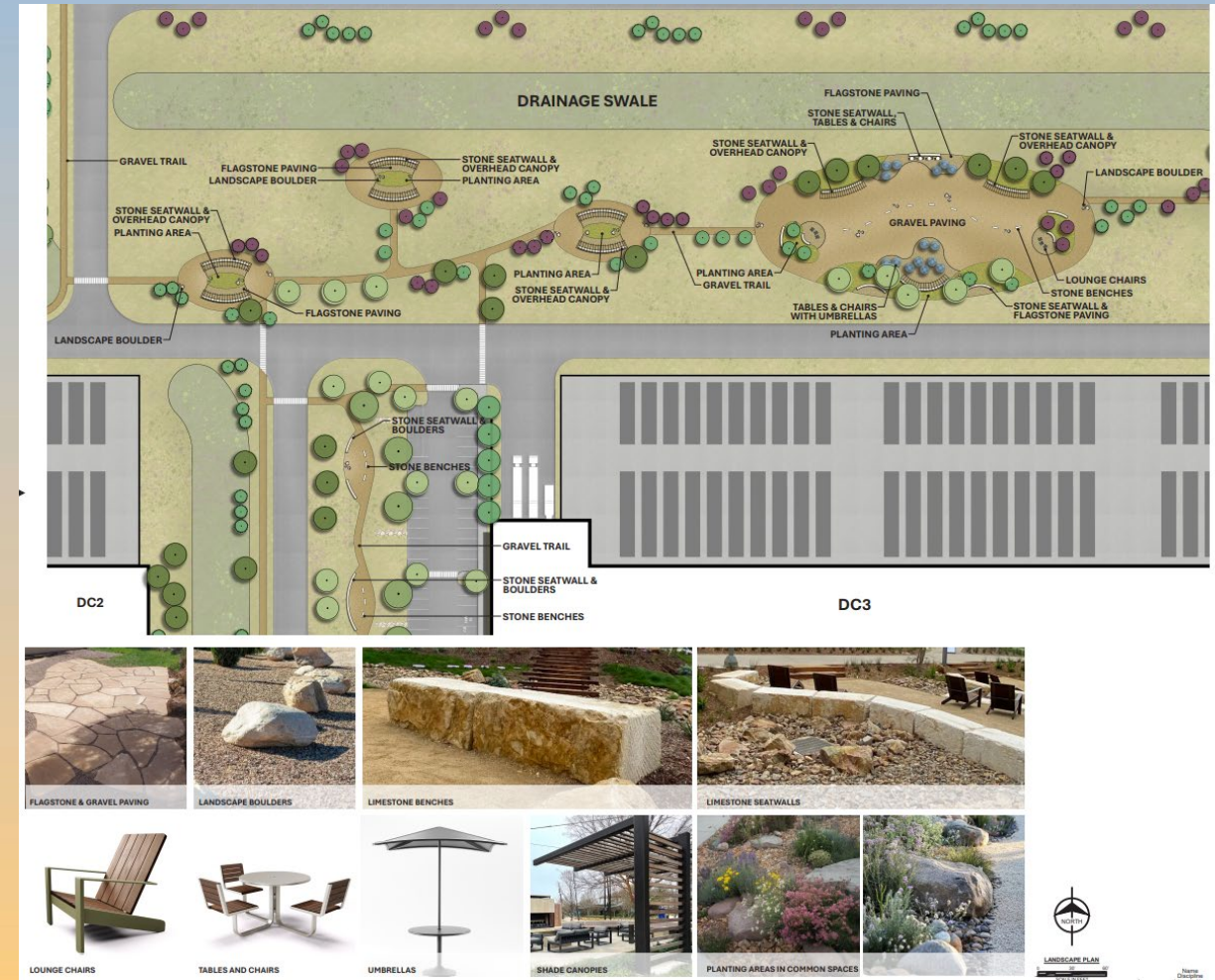
Landscape Plan



BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
CONIFEROUS TREES				
<i>Cupressus arizonica</i> 'Blue Ice'	Blue Ice Arizona Cypress	5' Ht.	36" Box	
<i>Cupressus sempervirens</i> 'Glaucia'	Blue Italian Cypress	6' Ht.	36" Box	
DECIDUOUS TREES				
<i>Acacia willardiana</i>	Palo Blanco	2" Cal.	24" Box	
<i>Cercis canadensis</i> 'Texas Redbud'	Texas Redbud	6' Ht.	24" Box	Multi-trunked
<i>Chilopsis linearis</i> 'Burgundy Lace'	Burgundy Lace Desert Willow	2" Cal.	24" Box	Multi-trunked
<i>Chilopsis linearis</i> 'MSVH-Lupar'	Desert Diva® Desert Willow	6' Ht.		Multi-trunked
<i>Lagerstroemia indica</i> 'Whit II'	Dynamite® Cape Myrtle	20 gal.		Clump
<i>Parkinsonia florida</i>	Blue Palo Verde	2" Cal.	36" Box	Multi-trunked
<i>Parkinsonia</i> x 'Desert Museum'	Desert Museum Palo Verde	6' Ht.	36" Box	Multi-trunked
<i>Pistacia chinensis</i> 'Red Push'	Red Push Chinese Pistache	2" Cal.	36" Box	
<i>Prosopis chilensis</i> 'Thomless'	Thomless Chilean Mesquite	2" Cal.	36" Box	
EVERGREEN TREES				
<i>Acacia aneura</i>	Mulga	2" Cal.	24" Box	
<i>Acacia salicina</i>	Willow Acacia	2" Cal.	24" Box	
<i>Ficus nitida</i>	Weeping Fig	2" Cal.		
<i>Olea europaea</i> 'Wilsoni'	Wilson Olive	2" Cal.		
PALM TREES				
<i>Bismarckia nobilis</i>	Bismarck Palm	10' Ht.	48" Box	Clump
<i>Chamaerops humilis</i>	Mediterranean Fan Palm	10' Ht.	48" Box	
<i>Phoenix canariensis</i>	Canary Island Date Palm	10' Ht.	48" Box	
<i>Phoenix dactylifera</i>	Date Palm	10' Ht.	48" Box	
<i>Washingtonia robusta</i>	Mexican Fan Palm	10' Ht.	48" Box	
SHRUBS				
<i>Calliandra eriophylla</i>	Fairy Duster	5 gal.		
<i>Carissa macrocarpa</i> 'Boxwood Beauty'	Boxwood Beauty Natal Plum	5 gal.		
<i>Encelia farinosa</i>	Brittlebush	5 gal.		
<i>Eremophila hydrophana</i> 'Blue Bells'	Blue Bells Emu Bush	5 gal.		
<i>Eremophila maculata</i> 'Valentine'	Valentine Spotted Emu Bush	5 gal.		
<i>Larrea tridentata</i>	Creosote Bush	5 gal.		
<i>Leucophyllum frutescens</i> 'Green Cloud'	Green Cloud Texas Sage	5 gal.		
<i>Leucophyllum</i> x 'Heavenly Cloud'	Heavenly Cloud Barometerbush	5 gal.		
<i>Myrtus communis</i> 'Boetica'	Boetica Twisted Common Myrtle	5 gal.		
<i>Photinia x fraseri</i>	Red Tip Photinia	5 gal.		
<i>Rhaphiolepis indica</i> 'Ballerina'	Ballerina Indian Hawthorn	5 gal.		
<i>Rhaphiolepis indica</i> 'Pink Lady'	Pink Lady Indian Hawthorn Standard	5 gal.		
<i>Salvia rosmarinus</i> 'Tuscan Blue'	Tuscan Blue Rosemary	5 gal.		
<i>Simmondsia chinensis</i>	Jojoba	5 gal.		
<i>Sophora secundiflora</i>	Texas Mountain Laurel	5 gal.		
FERNS				
<i>Asparagus densiflorus</i> 'Myers'	Myers Asparagus Fern	1 gal.		
GRASSES				
<i>Muhlenbergia capillaris</i> 'Lunca'	Regal Mist® Pink Muhly Grass	1 gal.		
<i>Muhlenbergia lindheimeri</i> 'Lent'	Autumn Glow™ Lindheimer's Muhly	1 gal.		
<i>Muhlenbergia rigens</i>	Deer Grass	1 gal.		
PERENNIALS				
<i>Gaura lindheimeri</i> 'Rosy Jane'	Rosy Jane Gaura	1 gal.		
<i>Salvia greggii</i> 'Raspberry'	Raspberry Autumn Sage	1 gal.		
<i>Zantedeschia elliptica</i>	Golden Calla	Bulb		
SUCCULENTS				
<i>Agave americana</i>	Century Plant	5 gal.		
<i>Agave parryi</i> 'truncata'	Artichoke Parry's Agave	5 gal.		
<i>Agave shawii</i> x 'attenuata' 'Blue Flame'	Blue Flame Agave	5 gal.		
<i>Dasylistron quadrangulatum</i>	Mexican Grass Tree	5 gal.		
<i>Hesperaloe parviflora</i> 'Desert Flamenco'	Desert Flamenco Red Yucca	5 gal.		
<i>Hesperaloe parviflora</i> 'Perla'	Brakelights® Red Yucca	5 gal.		
<i>Nolina microcarpa</i>	Sacahuista	5 gal.		

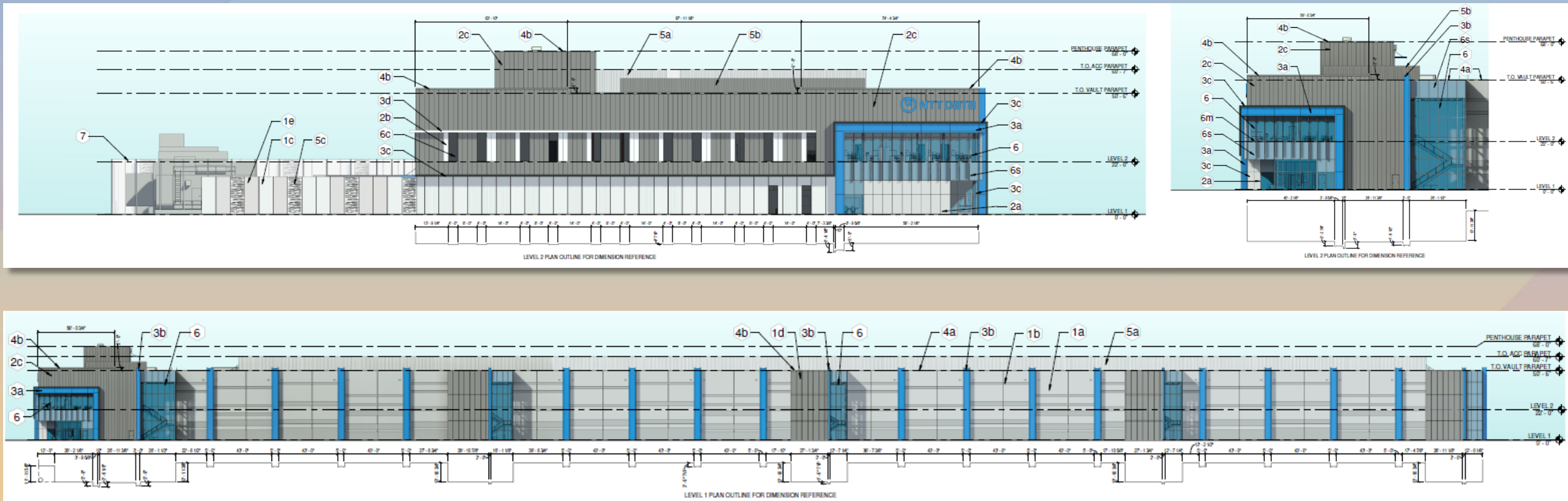


Landscape Plan - Details



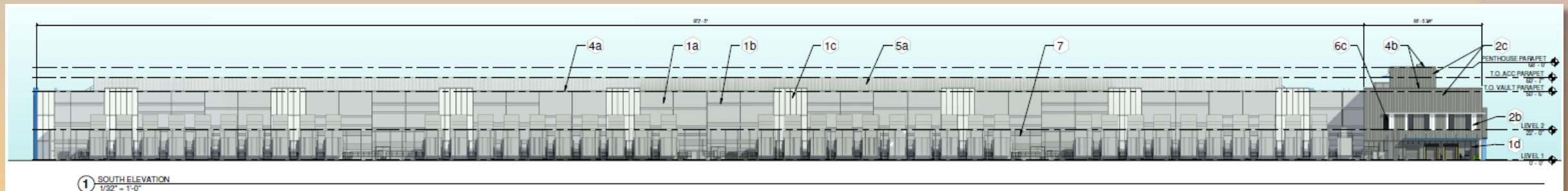
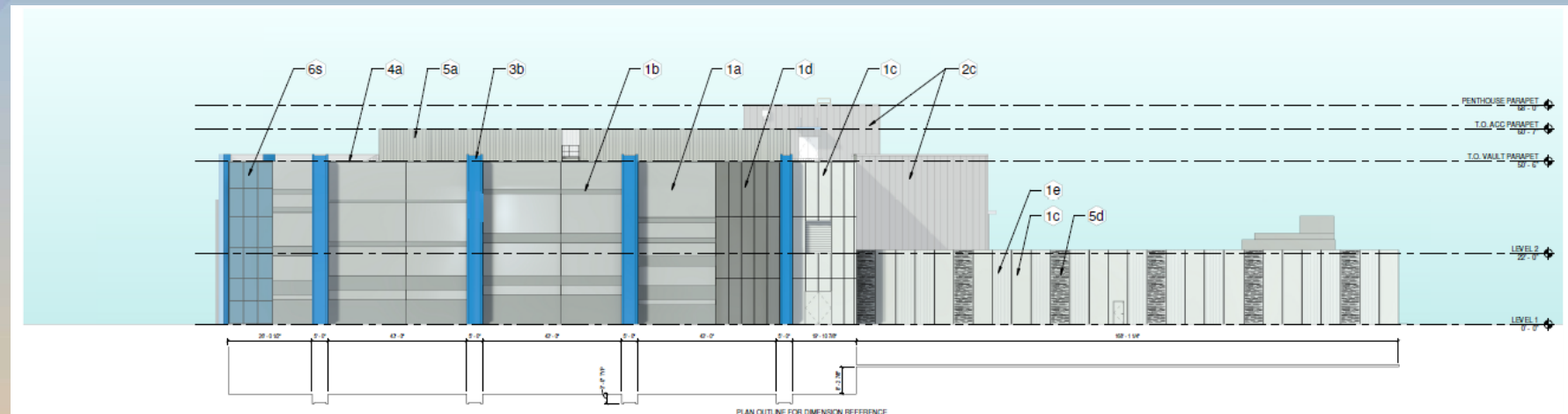


Building Elevations – Building 1



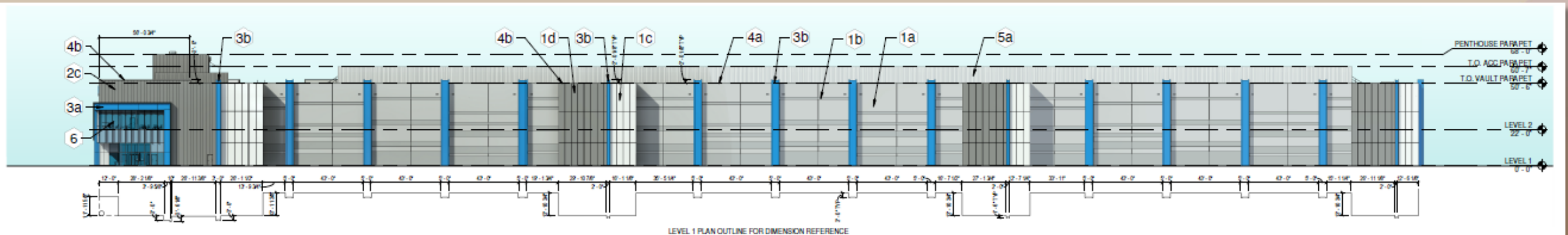
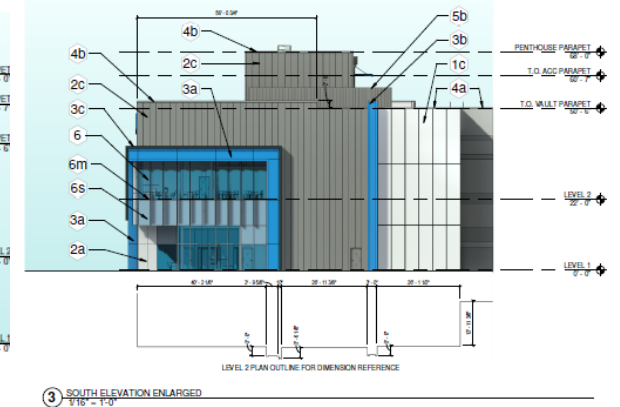
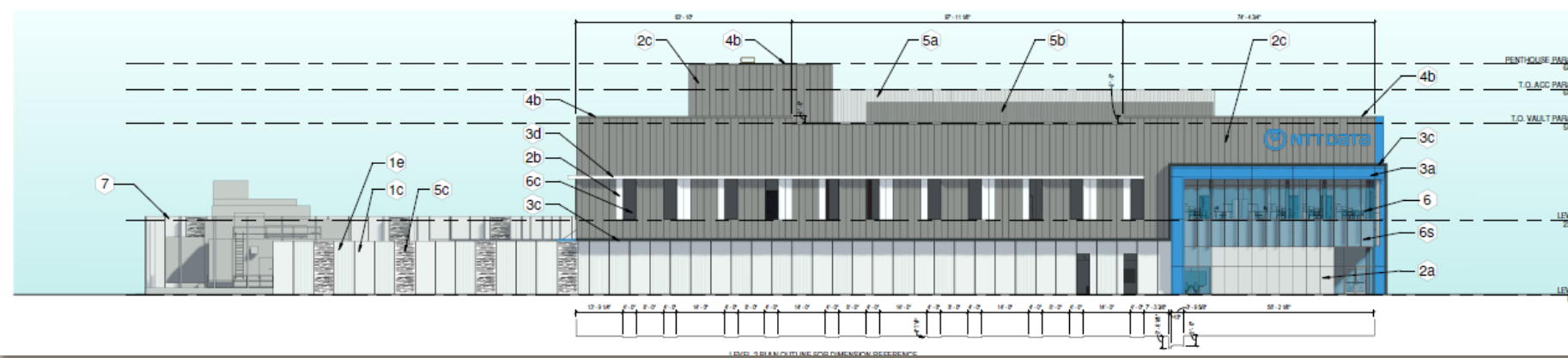


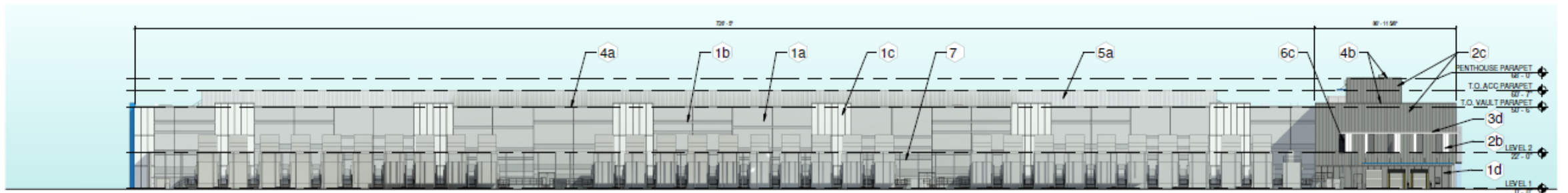
Building Elevations – Building 1





Building Elevations – Building 2-7



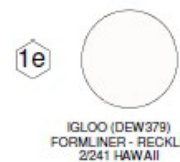
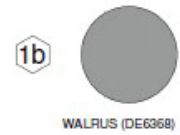
[illegible]



Colors and Materials

EXTERIOR ELEVATIONS - MATERIAL LEGEND

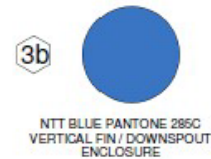
PAINTED TILT-UP CONCRETE



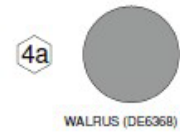
INSULATED METAL WALL PANELS



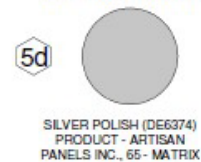
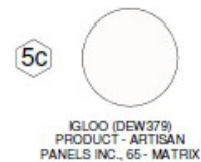
METAL COMPOSITE MATERIAL PANEL



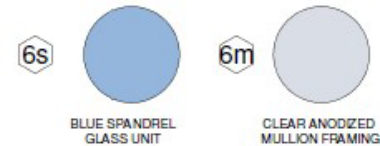
METAL COPING



FORMED METAL PANEL SCREEN WALL



INSULATED GLASS UNIT CURTAIN WALL SYSTEM AND WINDOWS



EQUIPMENT YARD WALL





Alternative Compliance

- ✓ Materials. To reduce the apparent massing and scale of buildings, facades shall incorporate at least 3 different and distinct materials.
- ✓ Materials. No more than 50% of the total façade may be covered with one (1) single material.



Findings

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- ✓ Proposed alternative compliance

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Design Review Board