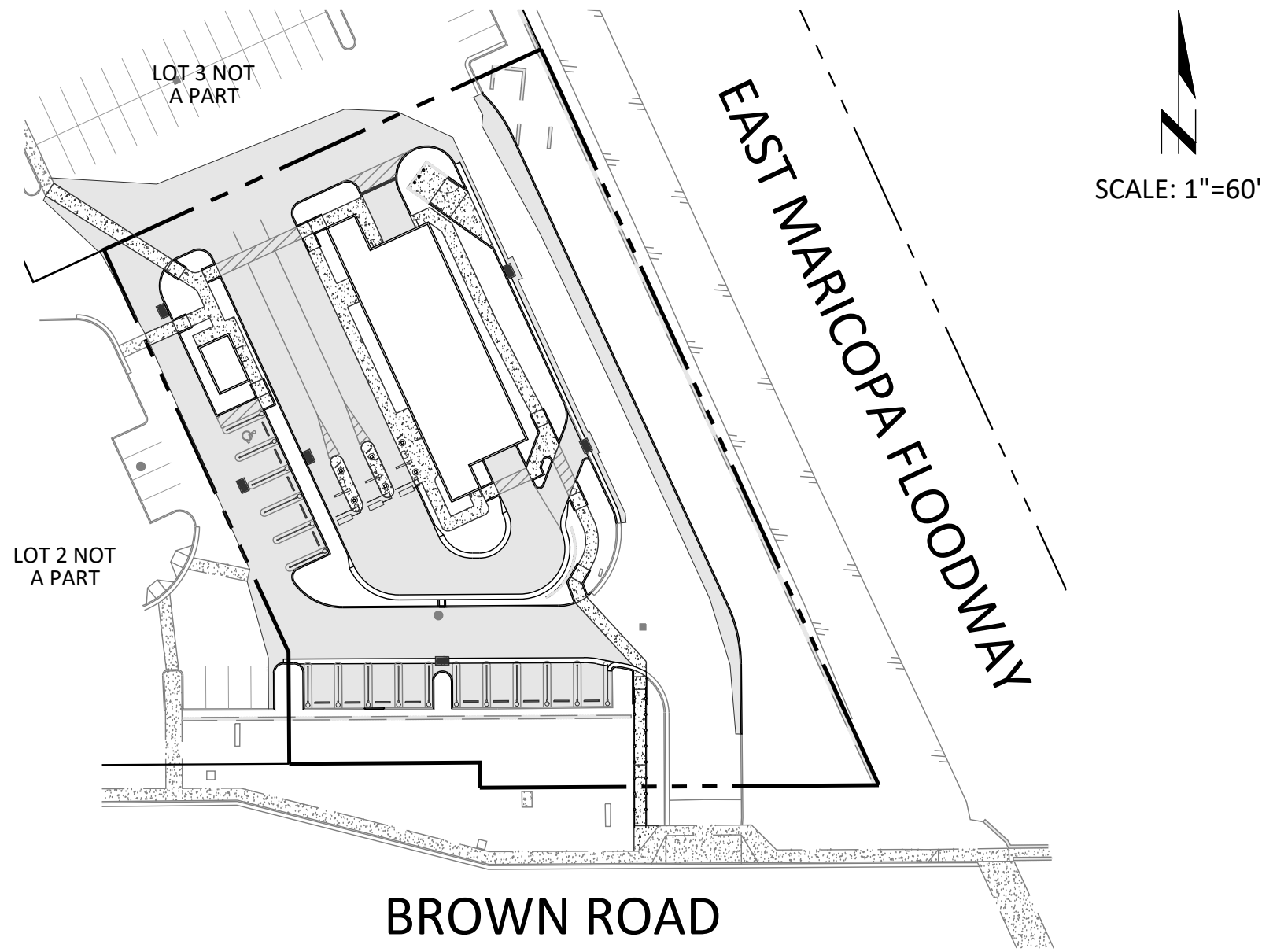


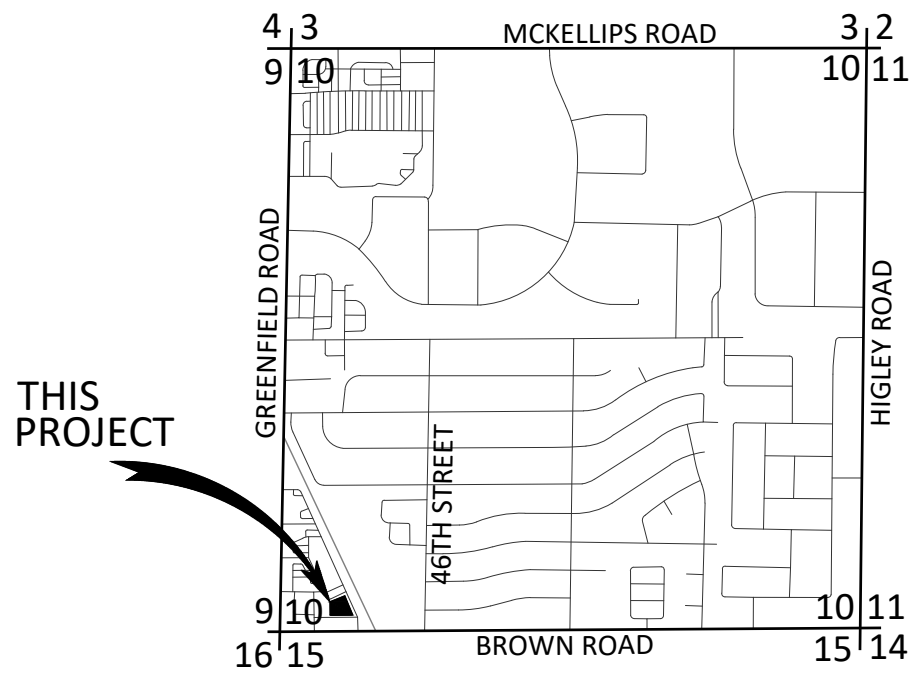
PRELIMINARY IMPROVEMENT PLAN for ULTRA CLEAN - GREENFIELD AND BROWN

1231 NORTH GREENFIELD ROAD MESA, ARIZONA
A PORTION SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



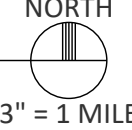
BROWN ROAD

PROJECT OVERVIEW



IN THE SW 1/4 OF THE SW 1/4 OF SECTION 10,
T. 1 N., R. 6 E., G. & S. R. M.,
CITY OF MESA, MARICOPA COUNTY, ARIZONA

LOCATION MAP



PROJECT INFORMATION

PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF THE DEMOLITION OF THE EXISTING SITE AND THE
CONSTRUCTION OF A NEW DRIVE-THRU CAR WASH BUILDING WITH ALL REQUIRED
GRADING & DRAINAGE, UTILITY AND PAVING IMPROVEMENTS.

ADDRESS:
1331 NORTH GREENFIELD ROAD
MESA, ARIZONA 85205

APN: 141-33-125

ZONING: LC

SITE AREA: 53,119 SF (1.219 AC)

SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
ALLIANCE LAND SURVEYING LLC
7900 NORTH 70TH AVENUE, SUITE 104
GLENDALE, ARIZONA 85303
PH: 623-972-2200
CONTACT: G. BRYAN GOETZENBERGER, R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF BROWN
ROAD, ALSO BEING THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION
10 USING A BEARING OF N 89°38'27" E, PER THE PLAT OF MOUNTAIN VIEW
PLAZA, RECORDED IN BOOK 590, PAGE 19, M.C.R.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE "BRASS TAG T.C. N.E.
CORNER", LOCATED AT THE INTERSECTION OF GREENFIELD ROAD & BROWN
ROAD HAVING AN ELEVATION OF 1341.62', (NAVD88).

BENCHMARK

THE BENCHMARK USED FOR THIS PLAN IS THE "BRASS TAG T.C. N.E. CORNER",
LOCATED AT THE INTERSECTION OF GREENFIELD ROAD & BROWN ROAD HAVING AN
ELEVATION OF 1341.62', (NAVD88).

LEGAL DESCRIPTION

LOT 1, MOUNTAIN VIEW PLAZA, ACCORDING TO BOOK 590 OF MAPS, PAGE 19,
RECORDS OF MARICOPA COUNTY, ARIZONA.

PROJECT RETENTION

REQUIRED RETENTION VOLUME:
VOLUME [CF] = C x (P [IN] / 12) x AREA [SF]

OUR SITE (LOT 1):

$$Cw = (0.5 \times 15,812 \text{ SF}) + (0.95 \times 37,307 \text{ SF}) / 53,119 \text{ SF}$$
$$Cw = 0.82$$

$$V = 0.82 \times (2.60/12) \times 53,119 = 9,436 \text{ CF}^*$$

$$\text{ADJACENT EXISTING SITE (LOT 2): } 7,246 \text{ CF}^*$$

TOTAL REQUIRED FOR EXISTING EQUALIZED TANKS (#1,2,11):
9,436 + 7,288 = 16,684 CF

PROVIDED VOLUME:
16,838 CF VIA EXISTING 8' DIAMETER CMP RETENTION TANKS 1, 2, & 11. TANKS
SHALL DRAIN TO THE PUBLIC STORM DRAIN VIA EXISTING BLEED-OFF PIPES AND
PUMP.

*REFER TO AS-BUILT MASTER DRAINAGE EXHIBIT FOR MOUNTAIN VIEW PLAZA,
S01-07, PREPARED BY SPERR AND ASSOCIATES ON 08-29-03, FOR ALL REQUIRED AND
PROVIDED RETENTION CALCULATIONS. THE PROJECT SHALL REMAIN IN KEEPING
WITH THE MASTER DESIGN, AS THE WEIGHTED 'C' VALUE SHALL CONTINUE TO BE
0.82, AS THE EXISTING RETENTION SYSTEMS WERE DESIGNED FOR.

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD
INSURANCE RATE MAP PANEL NUMBER 04013C2280L, DATED OCTOBER 16, 2013
THE PARCEL IS LOCATED IN THE ZONE X (SHADED) AREA, WHICH IS DEFINED AS
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD
WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS
THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL
CHANCE FLOOD.

LEGEND

---	PROJECT RIGHT-OF-WAY	[W]	EXISTING WATER METER
---	EXISTING RIGHT-OF-WAY	[BF]	EXISTING BACKFLOW PREVENTER
---	PROJECT/NEW PROPERTY LINE	[SD]	EXISTING FIRE HYDRANT
---	EXISTING PROPERTY LINE	[CF]	EXISTING FIRE CONNECTION
---	ROADWAY CENTERLINE	[G]	EXISTING STORM DRAIN MANHOLE
---	EXISTING EASEMENT	[G]	EXISTING GAS VALVE
---	EXISTING CONTOUR	[G]	EXISTING GAS METER
---	NEW CONTOUR	[G]	EXISTING GAS MARKER
[CONCRETE]	EXISTING CONCRETE	[TRANS]	EXISTING TRANSFORMER
[ASPHALT]	EXISTING WALL	[SITE]	EXISTING SITE LIGHT
[CONCRETE]	NEW ASPHALT	[E]	EXISTING ELECTRIC PULL BOX
[CONCRETE]	NEW CONCRETE	[EE]	EXISTING ELECTRICAL EQUIPMENT
---	EXISTING CURB	[C]	EXISTING COMMUNICATION PEDESTAL
---	EXISTING PAINT STRIPE	[UTILE]	EXISTING UTILITY POLE
---	NEW CURB	[M]	EXISTING MAIL BOX
---	NEW PAINT STRIPE	[CO]	NEW SEWER CLEANOUT
[SD]	EXISTING STORM DRAIN PIPE	[W]	NEW WATER METER
---	EXISTING UNDERGROUND ELECTRIC	[BF]	NEW BACKFLOW PREVENTER
---	EXISTING COMMUNICATION LINE	[CF]	NEW FIRE CONNECTION
---	EXISTING OVERHEAD ELECTRIC	[FFB]	NEW FIRE BACKFLOW PREVENTER
---	EXISTING SEWER LINE	[MON]	SURVEY MONUMENT AS NOTED
---	EXISTING WATER LINE	[SPOT]	SPOT ELEV. (EXIST. GRADE)
---	EXISTING FIRE SERVICE	[SPOT]	SPOT ELEV. (NEW GRADE)
---	EXISTING GAS LINE	[ROW]	RIGHT-OF-WAY
[SD]	NEW STORM DRAIN PIPE	[BC]	BACK OF CURB
---	NEW SEWER LINE	[BSW]	BACK OF SIDEWALK
---	NEW WATER LINE	[R]	RECORDED VALUE
---	NEW FIRE SERVICE	[M]	MEASURED VALUE
[MANHOLE]	EXISTING SEWER MANHOLE	[P]	PAVEMENT (ASPHALT)
[CLEANOUT]	EXISTING SEWER CLEANOUT	[C]	CONCRETE
[VALVE]	EXISTING WATER VALVE	[G]	GUTTER
		[TC]	TOP OF CURB
		[GB]	GRADE BREAK
		[FFE/FF]	FINISHED FLOOR ELEVATION
		[PUE]	PUBLIC UTILITY EASEMENT

OWNER/DEVELOPER

ULTRA CLEAN EXPRESS
5140 WEST CHEYENNE AVENUE
LAS VEGAS, NEVADA 89108
PH: 702-550-4913
ATTN: DON HORNER

CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT
4450 NORTH 12TH STREET, #228
PHOENIX, ARIZONA 85014
PH: 623-282-2498
ATTN: JEFF HUNT, PE

ARCHITECT

JMDA ARCHITECTS
8194 WEST DEER VALLEY ROAD
PEORIA, ARIZONA 85382
PH: 623-271-7707
ATTN: JAMES M. DAY

UTILITIES

WATER: CITY OF MESA
SEWER: CITY OF MESA
ELECTRIC: SALT RIVER PROJECT
GAS: SOUTHWEST GAS
TELEPHONE: CENTURYLINK
CABLE: COX COMMUNICATIONS

SHEET INDEX

- COVER SHEET
- GRADING AND DRAINAGE PLAN
- ONSITE UTILITY PLAN

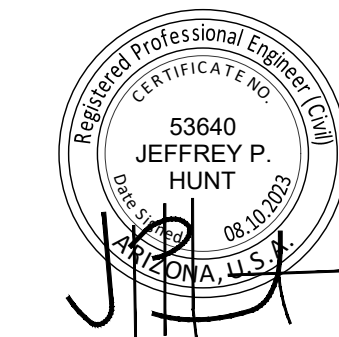


4450 north 12th street
suite 228
phoenix, arizona 85014
p: 623.282.2498
e: jphunt@cypresscivil.com

PRELIMINARY IMPROVEMENT PLAN for UTLRA CLEAN - GREENFIELD AND BROWN

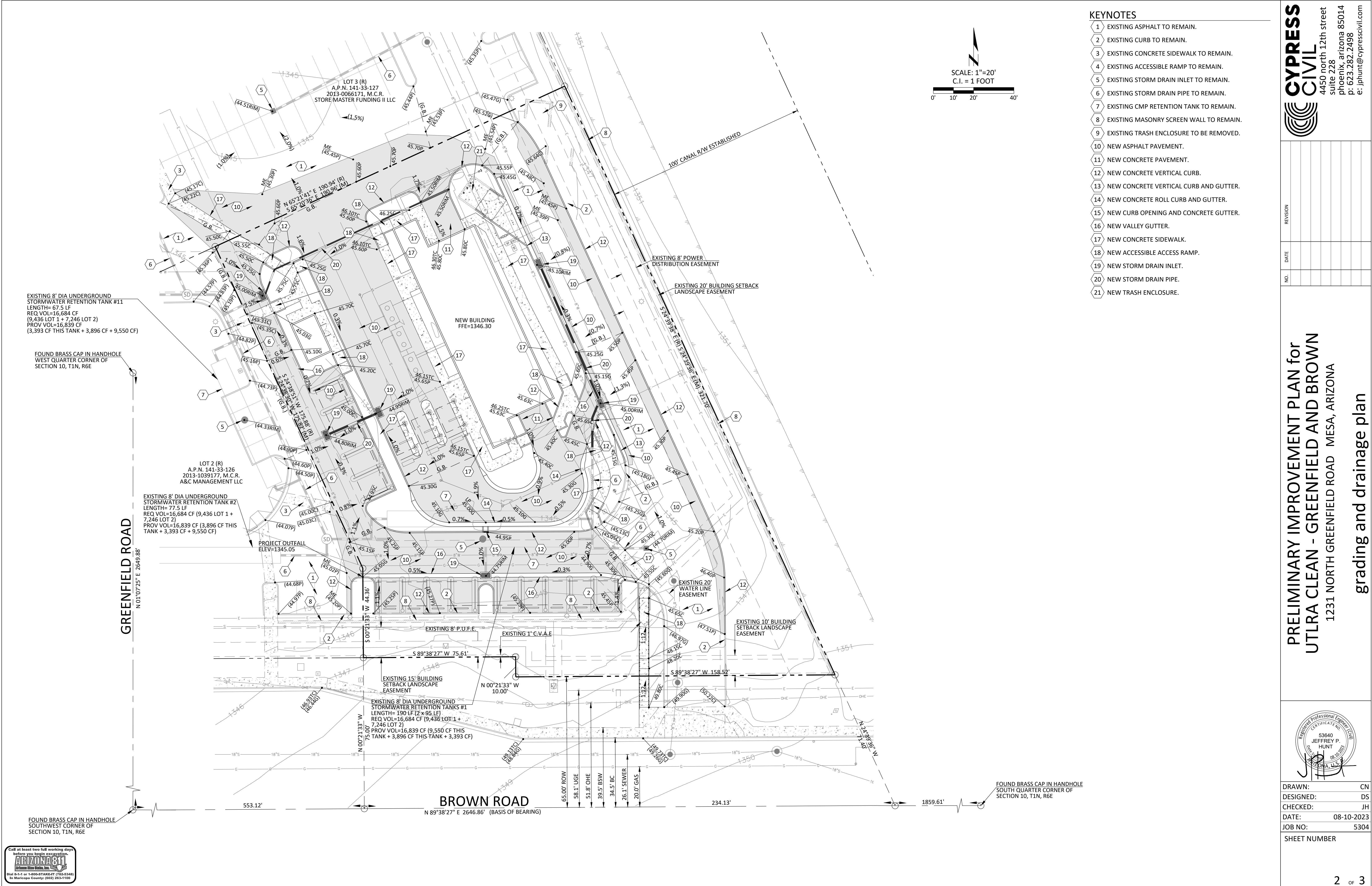
1231 NORTH GREENFIELD ROAD MESA, ARIZONA

cover



DRAWN: CN
DESIGNED: DS
CHECKED: JH
DATE: 08-10-2023
JOB NO: 5304
SHEET NUMBER





THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING

FOUND BRASS CAP IN HANDHOLE
WEST QUARTER CORNER OF
SECTION 10, T1N, R6E

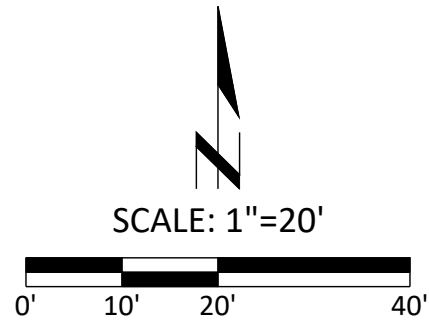
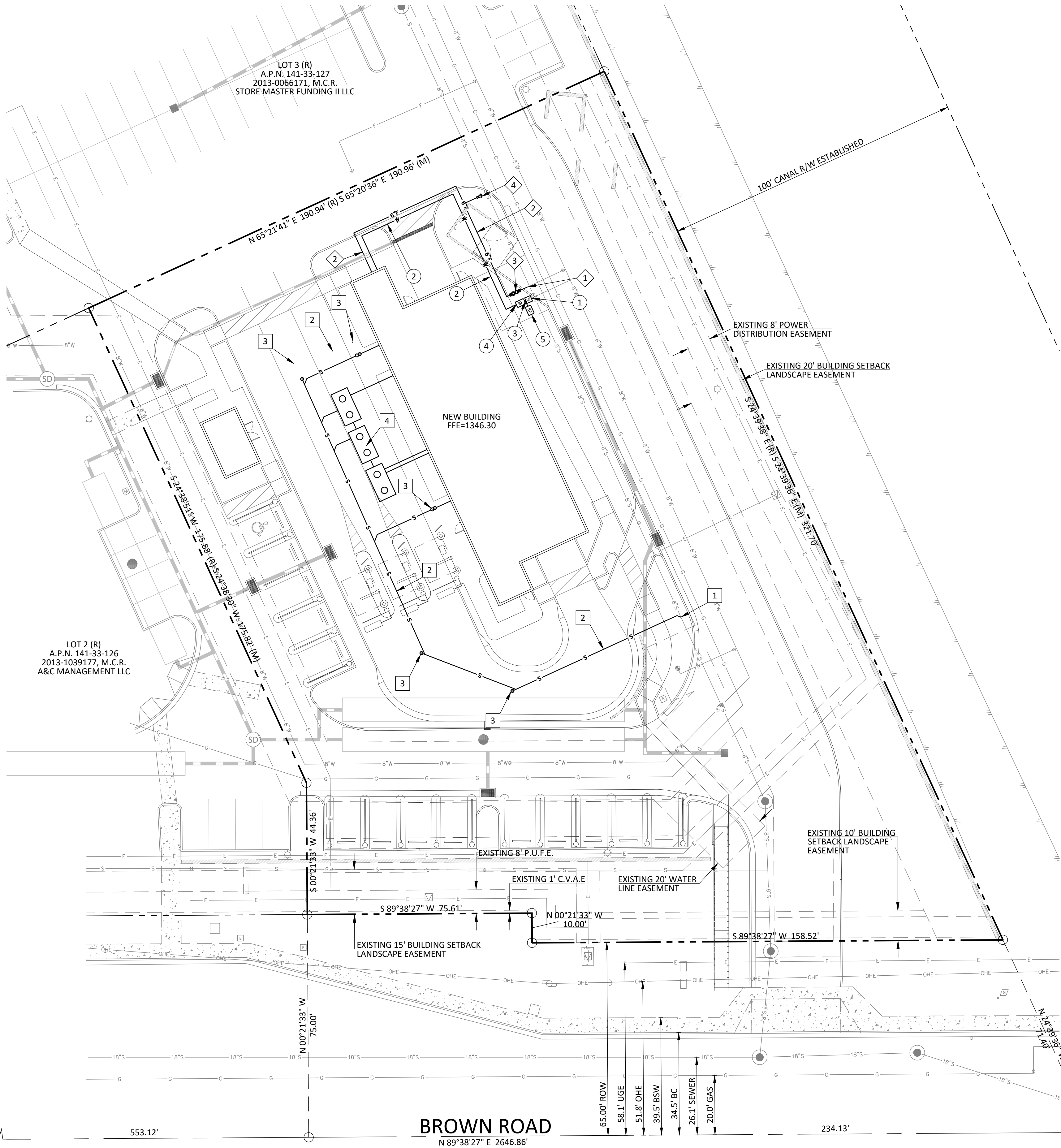
GREENFIELD ROAD
N 01°07'25" E 2649.88'

LOT 2 (R)
A.P.N. 141-33-126
2013-1039177, M.C.R.
A&C MANAGEMENT LLC

LOT 3 (R)
A.P.N. 141-33-127
2013-0066171, M.C.R.
STORE MASTER FUNDING II LLC

BROWN ROAD
N 89°38'27" E 2646.86'

FOUND BRASS CAP IN HANDHOLE
SOUTHWEST CORNER OF
SECTION 10, T1N, R6E



PRIVATE WATER KEYNOTES

- 1 EXISTING 2" SERVICE. INSTALL NEW METER FOR DOMESTIC WATER SERVICE.
- 2 NEW DOMESTIC WATER LINE.
- 3 NEW TEE FOR IRRIGATION SERVICE.
- 4 NEW DOMESTIC BACKFLOW PREVENTER
- 5 NEW IRRIGATION BACK FLOW PREVENTER.

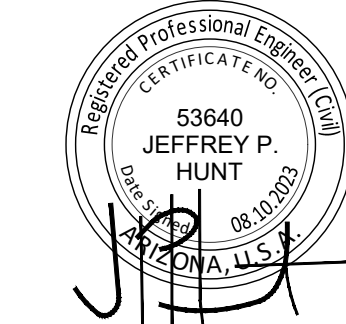
PRIVATE FIRE LINE KEYNOTES

- 1 CONNECT TO EXISTING 6" FIRE SERVICE STUB.
- 2 NEW 6" DIP FIRE LINE.
- 3 NEW 6" BACKFLOW PREVENTER.
- 4 NEW REMOTE FDC LOCATION.

PRIVATE SEWER KEYNOTES

- 1 TAP EXISTING 8" SEWER MAIN.
- 2 NEW 6" PVC SDR-35 SEWER LINE.
- 3 NEW SEWER CLEAN OUT.
- 4 NEW SAND/OIL SEPARATOR.

PRELIMINARY IMPROVEMENT PLAN for
UTLRA CLEAN - GREENFIELD AND BROWN
1231 NORTH GREENFIELD ROAD MESA, ARIZONA
onsite utility plan



DRAWN: CN
DESIGNED: DS
CHECKED: JH
DATE: 08-10-2023
JOB NO: 5304
SHEET NUMBER