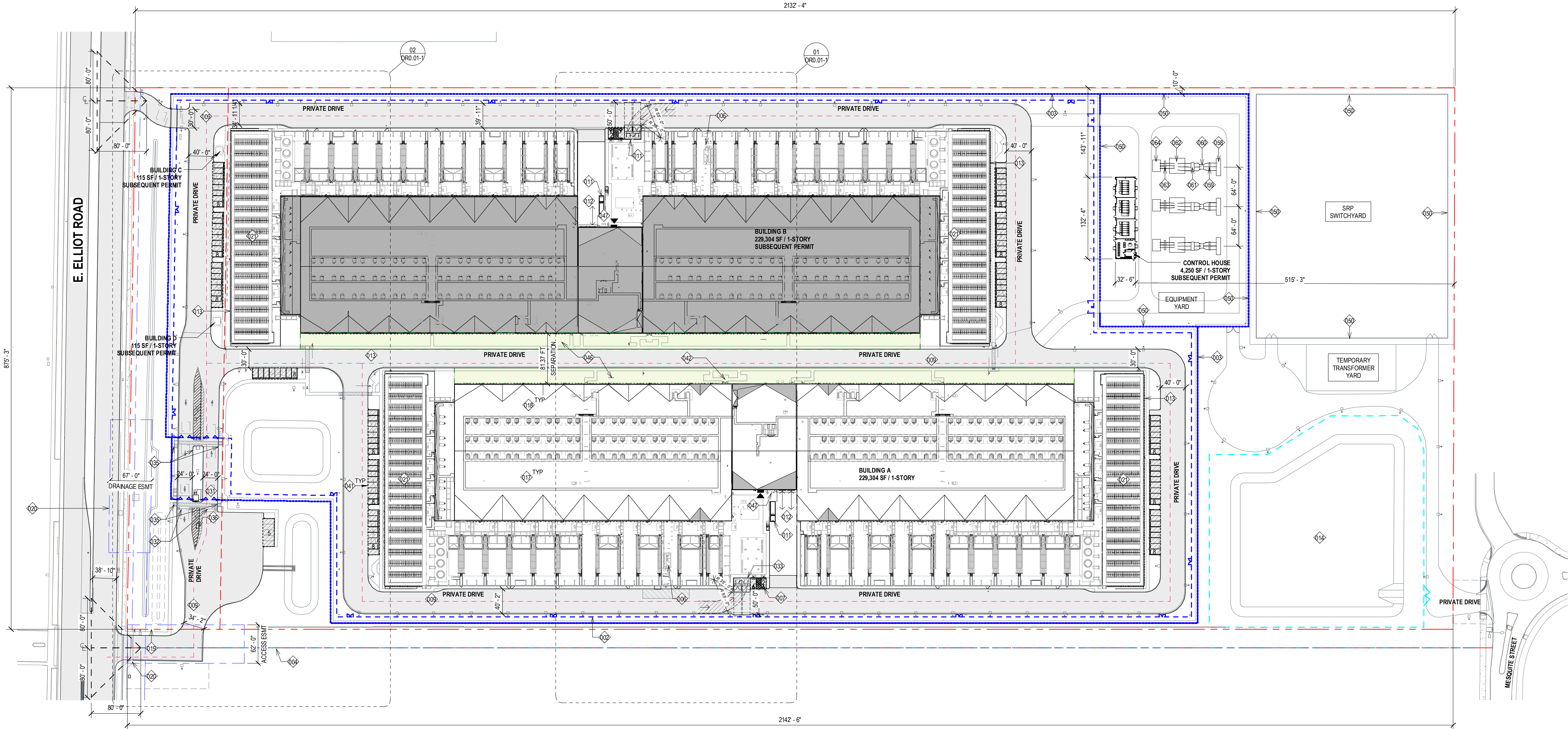




01 ARCHITECTURAL SITE PLAN

SCALE: 1" = 80'-0"



SITE INFORMATION

ASSESSOR'S PARCEL NUMBER (APN): 314-10-777

SITE ZONING: EXISTING: PC PROPOSED: PC

ZONING OVERLAY: AIRPORT OVERFLIGHT AREA: AOA-3: PHOENIX-MESA GATEWAY AIRPORT

EXISTING ADJACENT PARCEL ZONING: NORTH: 304-01-0090 (AG), 304-01-0089 (AG) EAST: 304-33-0055 (PC), 314-10-776 (PC) SOUTH: 313-28-798 (PC) WEST: 304-34-9795 (PC), 313-28-796 (PC)

GROSS SITE AREA: 1,870,488 SF / 42.94 ACRES NET SITE ACREAGE: 1,863,466 SF / 42.78 ACRES

LOT COVERAGE: 24.9% (465,541 SF / 1,870,488 SF) BUILDING HEIGHT ALLOWABLE: 35'-0" WITH SUPPLEMENTAL USE PERMIT BUILDING HEIGHT PROVIDED: 41'-0"

BUILDING AREAS: BUILDING A: 229,304 SF WAREHOUSE & OFFICE BUILDING B: 229,304 SF WAREHOUSE & OFFICE (SEPARATE PERMIT) BUILDING C: 6,533 SF OFFICE (SEPARATE PERMIT) TOTAL BUILDING AREA = 465,541

REQUIRED SETBACKS (TRUE ORIENTATION): NORTH: 15' EAST: 60' SOUTH: 60' WEST: 60' PROPOSED OCCUPANCIES: S1, B, A-3 CONSTRUCTION TYPE: I-A (SPRINKLERED)

SHEET KEYNOTE LEGEND

KEY	KEYNOTE TEXT
002	7' HIGH WIRE MESH FENCE
003	8' HIGH MASONRY WALL. SEE ELEVATION AND DETAILS DR2.02-2
004	RIGHT-OF-WAY LINE
006	FUEL CHARGING STATION
007	TYPICAL ACCESSIBLE VAN PARKING STALLS
009	FIRE LANE
011	REFUSE AND RECYCLE CONTAINERS AND SAFETY POSTS
012	TRUCK LOADING DOCK
013	MECHANICAL SCREEN WALL
014	STORMWATER RETENTION BASIN
017	MECHANICAL UNITS ON ROOF
018	EXHAUST ON ROOF
019	MONUMENT SIGN
020	EASEMENT
021	OUTDOOR PLATFORM WITH CHILLER EQUIPMENT
031	MOTORIZED SLIDING GATE
032	DROP ARM GATE
033	7' HIGH MASONRY DUMPSTER ENCLOSURE AND SAFETY POSTS
035	ADA ACCESSIBLE RAMP WITH DETECTABLE WARNING FOR PEDESTRIAN ACCESS
036	BOLLARDS
041	PARKING SHADE CANOPY
042	OUTDOOR AMENITY SPACES WITH SITE FURNISHINGS
046	FOUNDATION AREA
047	BICYCLE PARKING
050	12' HIGH MASONRY WALL. SEE ELEVATION AND DETAILS DR2.02-2
058	DEAD END STRUCTURE, 50'-0" HEIGHT.
059	230KV CT/PT, 22'-4" HEIGHT.
060	230KV CIRCUIT BREAKER, 22'-10" HEIGHT.
061	230KV DISCONNECT SWITCH, 24'-0" HEIGHT.
062	230/35 KV MAIN TRANSFORMER, 30'-0" HEIGHT.
063	SRP METERING CT/PT, 22'-4" HEIGHT.
064	34.5KV DISCONNECT STRUCTURE, 28'-0" HEIGHT.

GENERAL NOTES - SITE PLAN

- REFER TO CIVIL FOR PERIMETER FENCE, SECONDARY FENCE, AND ENTRY GATE LAYOUT & DETAILS.
- REFER TO ARCHITECTURAL FOR GENERATOR YARD FENCING.
- CHANGES INVOLVING SITE ACCESS MUST BE REVIEWED AND APPROVED BY AWS SECURITY.
- ACCESSIBLE PATH OF TRAVEL MAY NOT EXCEED 5% SLOPE AND 2% CROSS SLOPE. ACCESSIBLE LOADING AREAS MAY NOT EXCEED 2% SLOPE AND 2% CROSS SLOPE.

FOUNDATION BASE AREA CALCULATIONS

BUILDING	AREA REQUIRED	AREA PROVIDED	AVERAGE DEPTH
BUILDING A (1000 LF)	15,000 SF	20,800 SF	20.8 LF
BUILDING B (1000 LF)	15,000 SF	20,800 SF	20.8 LF
BUILDING C (130 LF)	1,950 SF	4,700 SF	36.1 LF

COMMON AREA CALCULATIONS

AREA	ACTIVE HARDSCAPE (SF)	LANDSCAPE AREA (SF)	TOTAL SF (4600 SF REQUIRED)
SEATING	2,060 SF	3,500 SF	5,560 SF
ENTRY	530 SF	420 SF	950 SF
TOTAL	2,290 SF	3,920 SF	6,510 SF

PARKING CALCULATIONS

PARKING PARKING REQUIRED: PER BUILDING OFFICE USE (B1-A-3), 1 STALL PER 375 SF 7,488 ÷ 2,025 SF = 3.698 175 SF = 26 SPACES PER BUILDING WAREHOUSE USE (S-1), 1 STALL PER 900 SF 94,860 SF / 900 SF = 105 SPACES PER BUILDING TOTAL REQUIRED = 26 + 106 = 132 SPACES PER BUILDING (PER MZO 11-32-3)

ENTIRE SITE TOTAL: 132 SPACES x 2 BUILDINGS = 264 SPACES

PARKING PROVIDED: TOTAL PROVIDED = 162 SPACES (APPLICATION FOR PARKING REDUCTION SUP TO BE SUBMITTED)

BICYCLE PARKING REQUIRED: NONRESIDENTIAL: 1 BICYCLE SPACE / 10 VEHICLES 152 VEHICLES / 10 = 15.2 = 16 BICYCLE SPACES (PER MZO 11-32-3A)

BICYCLE PARKING PROVIDED: TOTAL PROVIDED = 16 BICYCLE SPACES

PARKING TOTALS

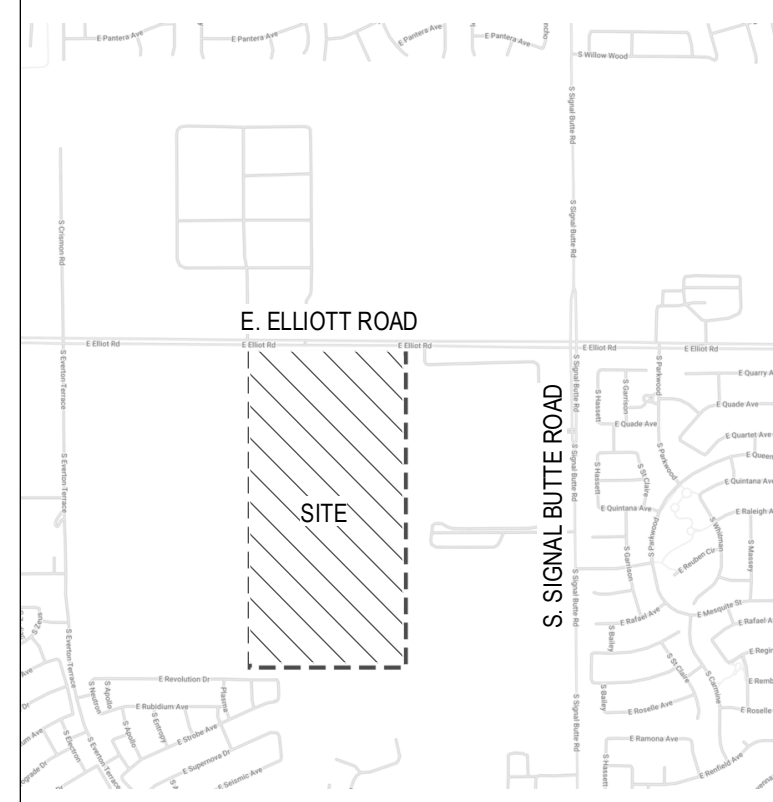
PARKING STALL TYPE	COUNT
ACCESSIBLE VAN PARKING STALL	4
EV PARKING STALL	8
PARKING STALL	93
TOTAL PARKING STALLS PROVIDED: 105	

NOTE: LOADING DOCK AREA INCLUDES 2 LOADING DOCK SPACES

SITE PLAN LEGEND

	PROPERTY LINE
	BUILDING SETBACK
	RIGHT-OF-WAY LINE
	CMU SCREEN
	WIRE MESH SCREEN
	CHAIN LINK FENCE
	EASEMENT
	REFUSE ACCESS
	PEDESTRIAN PATH
	FOUNDATION BASE
	LIGHT POLE
	PARKING SHADE CANOPY OUTLINE

VICINITY MAP



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PROJECT ADDRESS

10437 E ELLIOT ROAD
MESA, ARIZONA 85212

PROJECT DELIVERY PACKAGE

SITE PLAN REVIEW

SEAL/SIGNATURE

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ISSUE DATE: 11DEC2023

PROJECT NO: 78.3116.000

DESIGNED: GENSLER

ARCHITECT: JEFFREY MAAS

REV.	DATE	DESCRIPTION
1	11DEC2023	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
2	20MAR2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
3	09MAY2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
4	11JUL2025	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
5	08SEP2025	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS

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MECHANICAL ENGINEER:	ELECTRICAL ENGINEER:
SWANSON RINK GARY ORSIZO, PE (303) 832-2666 1120 LINCOLN ST., STE. 1200 DENVER, CO 80202	SWANSON RINK ALIGHAMMAR, PE (303) 832-2666 1120 LINCOLN ST., STE. 1200 DENVER, CO 80202
CIVIL ENGINEER:	STRUCTURAL ENGINEER:
KIMLEY-HORN CHARLES WURL (503) 388-6392 820 SW 6TH AVENUE, STE. 1200 PORTLAND, OR 97204	S.A. MRO, INC. MATTHEW WEST (503) 741-5737 4822 S. USTER ST. #750 DENVER, CO 80237
ARCHITECT:	SECURITY ENGINEER:
GENSLER PATRICK MACHNESS (802) 522-4000 2275 CAMELBACK RD, STE. 175 PHOENIX, AZ 85016	SWANSON RINK MICHAEL GHEZZI (303) 832-2666 1120 LINCOLN ST., STE. 1200 DENVER, CO 80202

TELECOM ENGINEER:

SWANSON RINK THANNA GLASSER (303) 832-2666 1120 LINCOLN ST., STE. 1200 DENVER, CO 80202	
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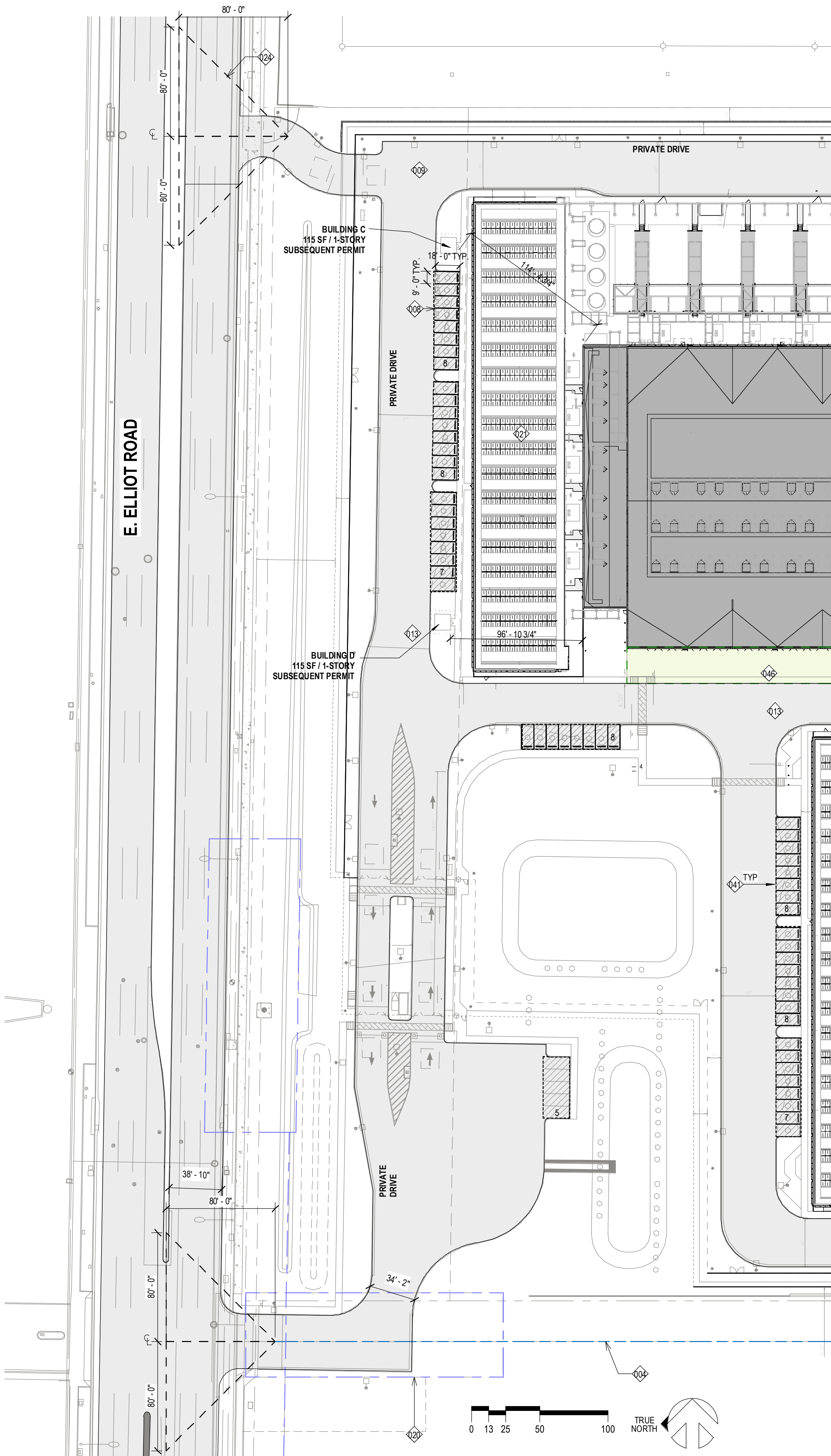
PROJECT: DATA CENTER - 10437 E ELLIOT ROAD

TITLE: SITE PLAN

DRAWING:

DR0.01

PAPER SIZE:	SCALE:	AGILE NO:	REV:
ARCH E1	As indicated		5



02 ARCHITECTURAL SITE PLAN - ENLARGED ENTRY
SCALE: 1"=50'-0"

SHEET KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
001	PROPERTY LINE
002	7' HIGH WIRE MESH FENCE
003	8' HIGH MASONRY WALL
004	RIGHT-OF-WAY LINE
005	FUEL CHARGING STATION
006	TYPICAL PARKING STALLS
007	FIRE LANE
008	REFUSE AND RECYCLE CONTAINERS AND SAFETY POSTS
009	TRUCK LOADING DOCK
010	MECHANICAL SCREEN WALL
011	MECHANICAL UNITS ON ROOF
012	EXHAUST ON ROOF
013	EASEMENT
014	OUTDOOR PLATFORM WITH CHILLER EQUIPMENT
015	80'x 80' INTERSECTION SIGHT VISIBILITY TRIANGLE
016	LIGHTING (REFER TO ELECTRICAL)
017	7' HIGH MASONRY DUMPSTER ENCLOSURE AND SAFETY POSTS
018	BOLLARDS
019	PARKING SHADE CANOPY
020	OUTDOOR AMENITY SPACES WITH SITE FURNISHINGS
021	50' CLEARANCE ZONE (REFUSE AND RECYCLE TRUCK MANEUVERING AREA)
022	FOUNDATION AREA

PARKING CALCULATIONS

PARKING PROVIDED, PER BUILDING
OFFICE USE (B / A-3): 1 STALL PER 375 SF
7,499 ÷ 2,025 SF = 3.70 STALLS PER BUILDING

WAREHOUSE USE (S-1): 1 STALL PER 900 SF
94,980 SF ÷ 900 SF = 106 SPACES PER BUILDING
TOTAL REQUIRED = 26 + 106 = 132 SPACES PER BUILDING
(PER MZO 11-32-3)

ENTIRE SITE TOTAL: 132 SPACES x 2 BUILDINGS = 264 SPACES

PARKING PROVIDED:
TOTAL PROVIDED = 152 SPACES
APPLICATION FOR PARKING REDUCTION SUP TO BE SUBMITTED)

BICYCLE PARKING REQUIRED:
NON-RESIDENTIAL: 1 BICYCLE SPACE / 10 VEHICLES
152 VEHICLES / 10 = 15.2 = 16 BICYCLE SPACES
(PER MZO 11-32-8A)

BICYCLE PARKING PROVIDED:
TOTAL PROVIDED = 16 BICYCLE SPACES

PARKING TOTALS

PARKING STALL TYPE	COUNT
ACCESSIBLE VAN PARKING STALL	4
EV PARKING STALL	8
PARKING STALL	93
TOTAL PARKING STALLS PROVIDED: 105	

NOTE: LOADING DOCK AREA INCLUDES 2 LOADING DOCK SPACES

GENERAL NOTES - SITE PLAN

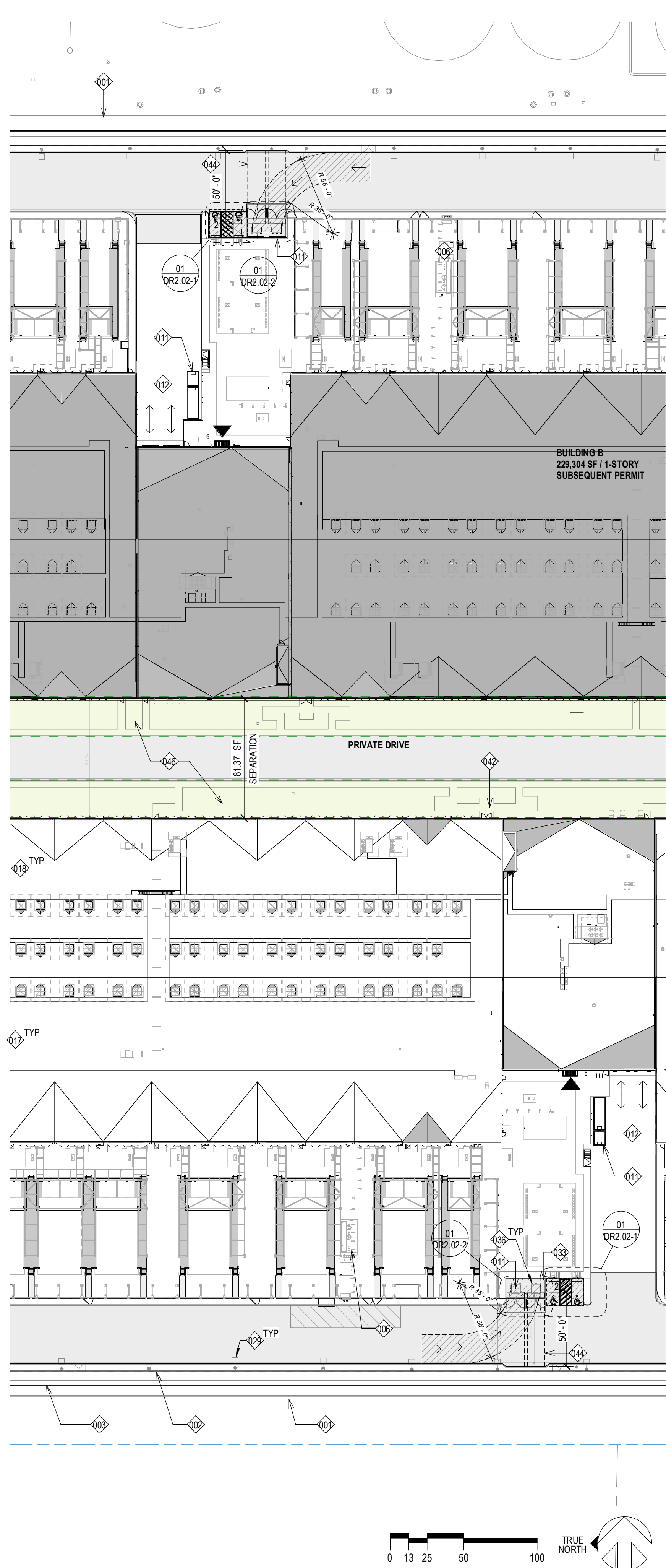
- REFER TO CIVIL FOR PERIMETER FENCE, SECONDARY FENCE, AND ENTRY GATE LAYOUT & DETAILS.
- REFER TO ARCHITECTURAL FOR GENERATOR YARD FENCING
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FOUNDATION BASE AREA CALCULATIONS

BUILDING	AREA REQUIRED	AREA PROVIDED	AVERAGE DEPTH
BUILDING A (1000 LF)	15,000 SF	20,800 SF	20.8 LF
BUILDING B (1100 LF)	15,000 SF	20,800 SF	20.8 LF
BUILDING C (130 LF)	1,950 SF	4,700 SF	36.1 LF

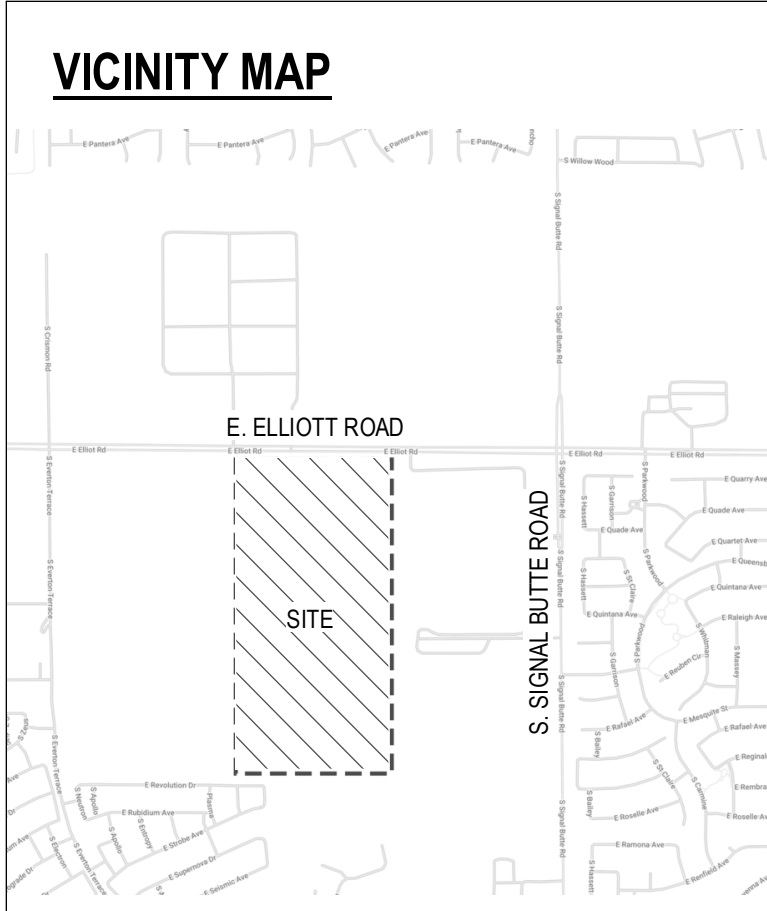
COMMON AREA CALCULATIONS

AREA	ACTIVE HARDSCAPE (SF)	LANDSCAPE AREA (SF)	TOTAL SF (4600 SF REQUIRED)
SEATING	2,100 SF	3,300 SF	5,400 SF
ENTRY	530 SF	420 SF	950 SF
TOTAL	2,230 SF	3,920 SF	6,510 SF



01 ARCHITECTURAL SITE PLAN - ENLARGED OUTDOOR SEATING
SCALE: 1"=50'-0"

SITE PLAN LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	RIGHT-OF-WAY LINE
	CMU SCREEN
	WIRE MESH SCREEN
	CHAIN LINK FENCE
	EASEMENT
	REFUSE ACCESS
	PEDESTRIAN PATH
	FOUNDATION BASE
	LIGHT POLE
	PARKING SHADE CANOPY OUTLINE



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PROJECT ADDRESS
10437 E ELLIOT ROAD
MESA, ARIZONA 85212

PROJECT DELIVERY PACKAGE
SITE PLAN REVIEW

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ISSUE DATE: 11DEC2023		PROJECT NO: 78.3116.000
DESIGNED: GENSLER		ARCHITECT: JEFFREY MAAS
REV.	DATE	DESCRIPTION
0	11DEC2023	SITE PLAN REVIEW
1	12FEB2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
2	29MAR2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
3	09MAY2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
4	11JUL2025	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
5	08SEP2025	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS

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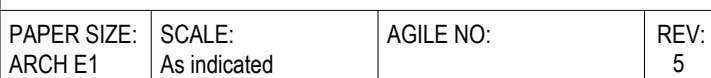
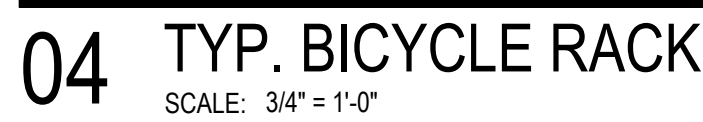
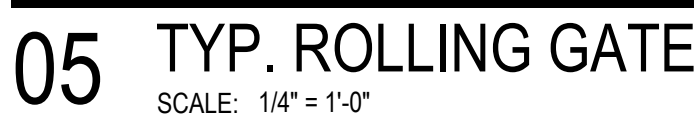
MECHANICAL ENGINEER: SWANSON RINK GARY OSBORN, PE (303) 832-2666 1120 LINCOLN ST., STE 1200 DENVER, CO 80203	ELECTRICAL ENGINEER: SWANSON RINK ALIGHAMMAR, PE (303) 832-2666 1120 LINCOLN ST., STE 1200 DENVER, CO 80203
CIVIL ENGINEER: KIMLEY-HORN CHARLES WURL (800) 388-6392 800 SW 6TH AVENUE, STE 1200 PORTLAND, OR 97204	STRUCTURAL ENGINEER: S.A. MRO, INC. MATTHEW WEST (800) 741-5737 4282 S ULLSTER ST #750 DENVER, CO 80237
ARCHITECT: GENSLER PATRICK MAGNESS (800) 522-4900 2575 CAMBESK RD, STE 175 PHOENIX, AZ 85016	SECURITY ENGINEER: SWANSON RINK THANNA GLASSEN (303) 832-2666 1120 LINCOLN ST., STE 1200 DENVER, CO 80203

PROJECT:
DATA CENTER - 10437 E ELLIOT ROAD

TITLE:
SITE PLAN - ENLARGED

DRAWING:
DR0.01-1

PAPER SIZE: ARCH E1	SCALE: As indicated	AGILE NO.:	REV: 5
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CIVIL ENGINEER		STRUCTURAL ENGINEER	
KIMLEY-HORN CHARLES WYRN (800) 964-5500 7740 N 161ST ST, BOX 300 PHOENIX, AZ 85020		S.A. MRO, INC. MATTHEW WEST (303) 741-3727 4402 S 48TH ST, STE F50 DENVER, CO 80237	
ARCHITECT		SECURITY ENGINEER	
GENSEL JEFFERY LAMAS (800) 523-4400 2375 S CAMELBACK RD STE 175 PHOENIX, AZ 85016		SWANSON RINK MICHAEL GHEZZO (303) 832-2666 1120 LINCOLN ST. STE 1200 DENVER, CO 80203	
TELECOM ENGINEER			
SWANSON RINK THIANA GLASSON (303) 832-2666 1120 LINCOLN ST. STE 1200 DENVER, CO 80203			
PROJECT: SITE PLAN - 10437 E ELLIOT ROAD			
TITLE: SITE DETAILS			
DRAWING: DR2.02-2			
PAPER SIZE: ARCH E1		SCALE: As indicated	AGILE NO.:
			REV. 5:

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ISSUE DATE: 11DEC2023		PROJECT NO: 78.3116.00	
DESIGNED: GENSLER		ARCHITECT: JEFFREY MAAS	
REV.	DATE	DESCRIPTION	
0	11DEC2023	SITE PLAN REVIEW	
1	12FEB2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS	
2	29MAR2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS	
3	06MAY2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS	
4	11JUL2025	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS	
5	06SEP2025	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS	

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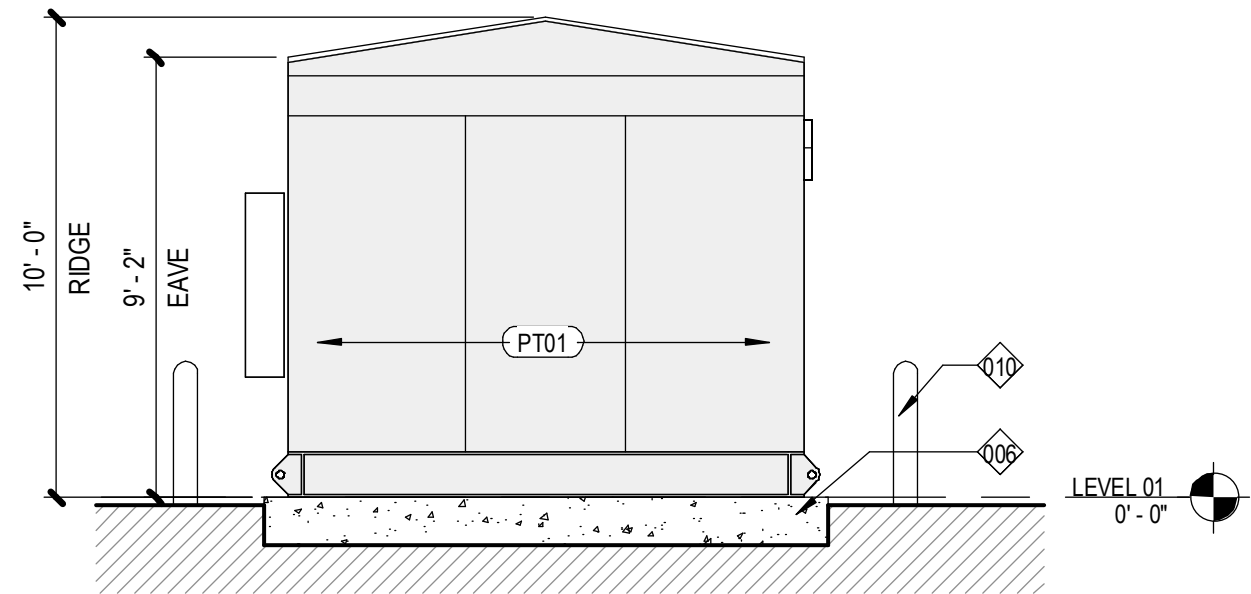
MECHANICAL ENGINEER	ELECTRICAL ENGINEER
SWANSON RIK GARY CRAZIO, PE (303) 832-2666 1120 LINCOLN ST. STE 1200 DENVER, CO 80203	SWANSON RIK ALI GHAMKHAIR, PE (303) 832-2666 1120 LINCOLN ST. STE 1200 DENVER, CO 80203
CIVIL ENGINEER	STRUCTURAL ENGINEER
GAILLET-HORN CHARLES WURK (303) 844-5450 1740 N. MITCHELL ST. STE 300 PHOENIX, AZ 85020	S.A. MIRD, INC MATTHEW WEST (303) 744-3737 4400 N. 116TH ST. STE. 1750 DENVER, CO 80237
ARCHITECT	SECURITY ENGINEER
GENSLER JEFFREY MAIER (850) 323-4400 2975 E CAMELBACK RD STE 175 SCOTTSDALE, AZ 85016	SWANSON RIK MICHAEL GHEZZI (303) 832-2666 1120 LINCOLN ST. STE 1200 DENVER, CO 80203
TELECOM ENGINEER	
SWANSON RIK THIANA GLASSEN (303) 832-2666 1120 LINCOLN ST. STE 1200 DENVER, CO 80203	

PROJECT: SITE PLAN - 10437 E ELLIOT ROAD

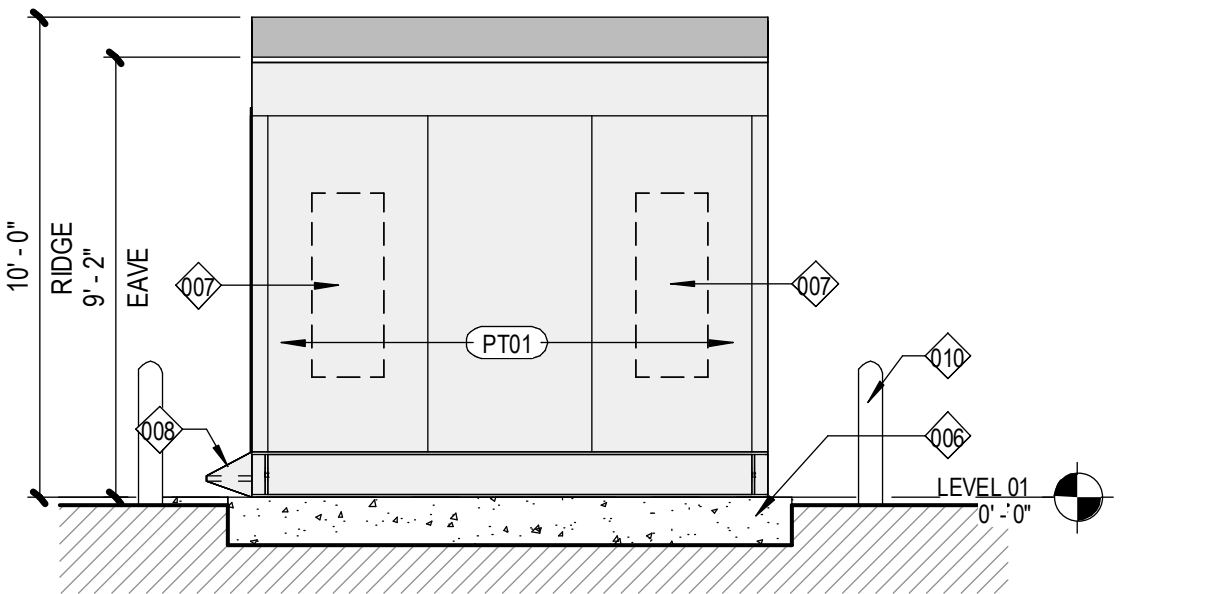
TITLE:	SITE DETAILS
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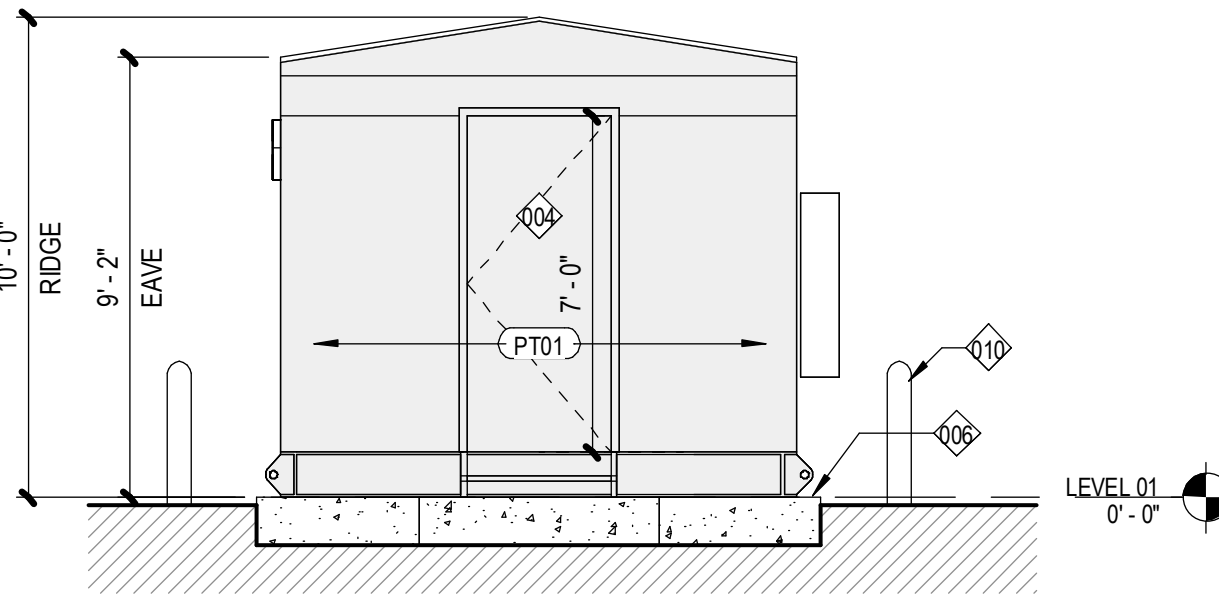
PAPER SIZE: ARCH E1	SCALE: As indicated	AGILE NO:	REV: 5
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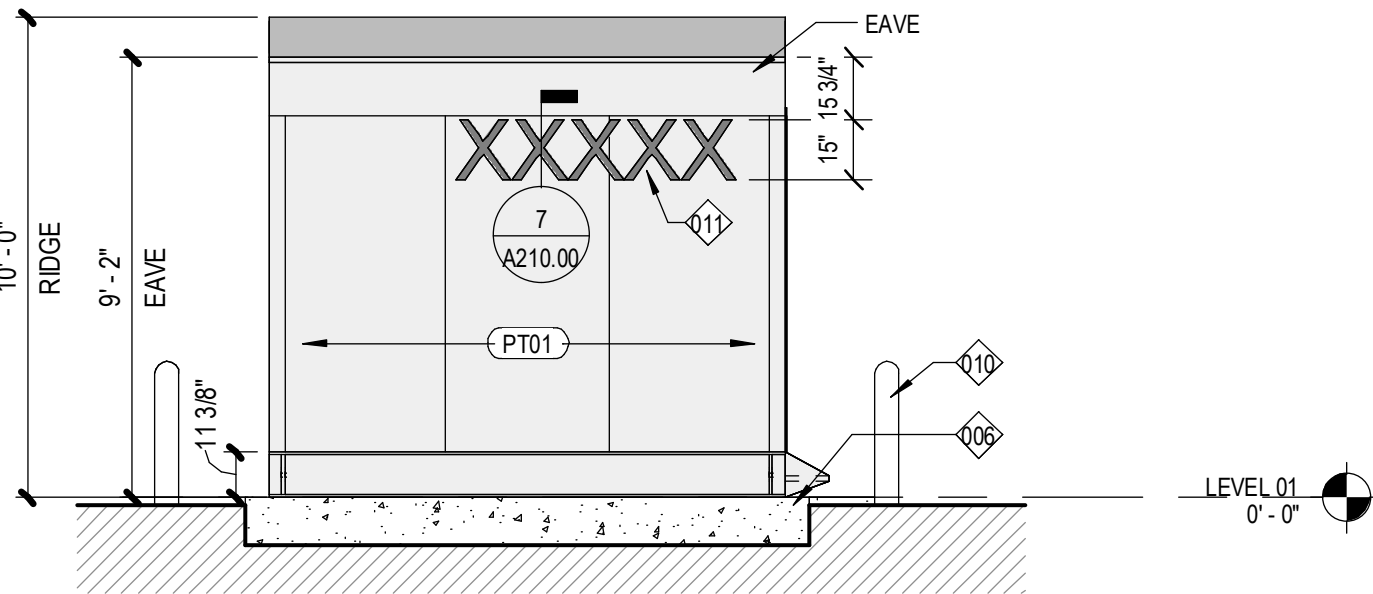
1 NORTH ELEVATION
A210.00 1/4" = 1'-0"



2 EAST ELEVATION
A210.00 1/4" = 1'-0"



3 SOUTH ELEVATION
A210.00 1/4" = 1'-0"



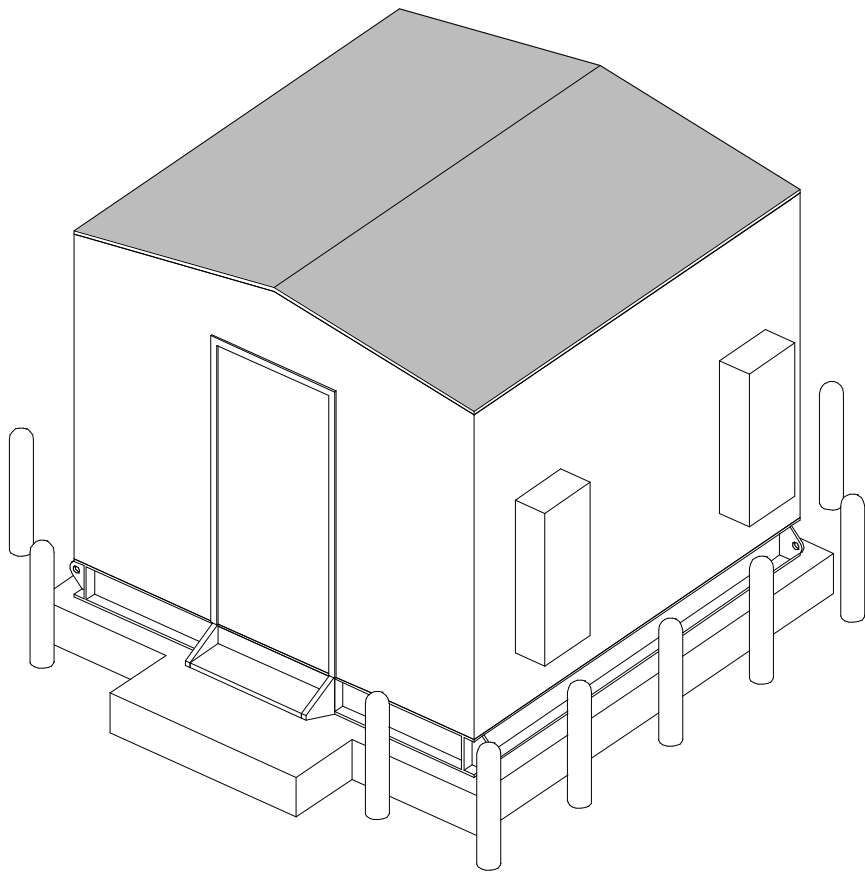
4 WEST ELEVATION
A210.00 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

PT01 BASIS OF DESIGN COLOR:
SHERWIN WILLIAMS
POPULAR GRAY - SW 6071

SHEET KEYNOTE LEGEND

KEY	KEYNOTE TEXT
001	FIRE TREATED PLYWOOD SHEATHING, FULL HEIGHT.
002	WELDED STEEL CONSTRUCTION. INSULATION IN WALLS AND CEILING.
003	CONDUIT ENTRY PORTS IN FLOOR. 7" DIAMETER, TYP.
004	30"x96" STEEL DOOR
005	(6) LED LIGHTS, DC POWERED, @ FRONT AND REAR OF EACH EQUIPMENT RACK. EXTERNAL DC POWERED LIGHTS ON FRONT AND REAR. (2) 86 BLOCKS FOR ALARM TERMINATION ON REAR WALL. (1) LAPTOP TRAY/DOCUMENT HOLDER. GPS ANTENNA POINT ON LHS & RHS. SEE ELECTRICAL.
006	CONCRETE PAD BELOW. SEE STRUCTURAL.
007	HVAC UNIT. SEE MECHANICAL.
008	INTEGRATED STEP.
010	BOLLARD, PAINT "SAFETY YELLOW", TYP. V.I.F. NO CLASHES WITH UNDERGROUND UTILITIES. SEE CIVIL FOR DETAIL.
011	15" HIGH CAST ALUMINUM BUILDING NUMBERS, PIN MOUNTED.



WALK-IN CABINET - ABOVE GRADE FIBER VAULT
- ISOMETRIC

LOCATIONS INDICATED AS BUILDING C AND BUILDING C ON DR0.01 SITE PLAN

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PROJECT ADDRESS

10437 E ELLIOT ROAD
MESA, ARIZONA 85212

PROJECT DELIVERY PACKAGE

SITE PLAN REVIEW

SEAL/SIGNATURE

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MECHANICAL ENGINEER: SWANSON RINK GARY ORSIZO, PE (303) 832-2666 1120 LINCOLN ST, STE 1200 DENVER, CO 80203	ELECTRICAL ENGINEER: SWANSON RINK AL GHAMAMKAR, PE (303) 832-2666 1120 LINCOLN ST, STE 1200 DENVER, CO 80203
CIVIL ENGINEER: KIMLEY-HORN CHARLES WURL (602) 844-6500 7740 N 16TH ST, STE 300 PHOENIX, AZ 85020	STRUCTURAL ENGINEER: S.A. MRO, INC. MATTHEW WEST (602) 714-3737 4882 S ULSTER ST, STE 750 DENVER, CO 80237
ARCHITECT: GENSLER JEFFREY MAAS (602) 524-4900 2075 E CAMELBACK RD, STE 175 PHOENIX, AZ 85016	SECURITY ENGINEER: SWANSON RINK MICHAEL GHEZZI (303) 832-2666 1120 LINCOLN ST, STE 1200 DENVER, CO 80203
TELECOM ENGINEER: SWANSON RINK THIANA GLASSEN (303) 832-2666 1120 LINCOLN ST, STE 1200 DENVER, CO 80203	

PROJECT: SITE PLAN - 10437 E ELLIOT ROAD

TITLE: ELEVATIONS
BUILDINGS 'C' & 'D'

DRAWING:

DR2.04

PAPER SIZE: ARCH E1	SCALE: As indicated	AGILE NO:	REV: 5
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