

LEGAL DESCRIPTION

PAD P4 - LOT 11 (TO BE REPLATED)

A PORTION OF LOTS 9, 10 AND 11 OF 'THE FINAL PLAT FOR "THE POINT" AS RECORDED IN BOOK 1483, PAGE 19, RECORDS OF MARICOPA COUNTY, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF 'THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 11,
THENCE SOUTH 89 DEGREES 22 MINUTES 03 SECONDS WEST
ALONG THE SOUTH LINE OF SAID LOT 11 AND 9, A DISTANCE OF 238.53 FEET;
THENCE DEPARTING SAID SOUTH LINE, NORTH 00 DEGREES 37 MINUTES 57 SECONDS WEST, A DISTANCE OF 115.74 FEET;
'THENCE NORTH 89 DEGREES 22 MINUTES 03 SECONDS EAST, A DISTANCE OF 15.78 FEET;
'THENCE NORTH 00 DEGREES 37 MINUTES 57 SECONDS WEST, A DISTANCE OF 48.00 FEET;
'THENCE NORTH 89 DEGREES 22 MINUTES 03 SECONDS EAST, A DISTANCE OF' 176.n FEET;
'THENCE NORTH 00 DEGREES 37 MINUTES 57 SECONDS WEST, A DISTANCE OF 12.26 FEET;
THENCE NORTH 89 DEGREES 22 MINUTES 03 SECONDS EAST, A DISTANCE OF 45.96 FEET TO 'THE EAST LINE OF SAID LOT 10;
THENCE SOUTH 00 DEGREES 38 MINUTES 01 SECONDS EAST, A DISTANCE OF 176.01 FEET TO THE POINT OF BEGINNING.

NOTE:

EXISTING LOTS 9, 10 AND 11 OF THE FINAL PLAT FOR THE POINT (AS RECORDED IN BOOK 1371, PAGE 46) ARE TO BE REPLATED. A RE-PLAT WILL BE SUBMITTED SEPARATELY.

BENCHMARK

CITY OF MESA 2006 BENCHMARK: BRASS TAG IN THE TOP OF CURB AT THE NORTHWEST CORNER OF MERIDIAN AND WARENER ROAD. ELEVATION = 1481.15 CITY OF MESA DATUM

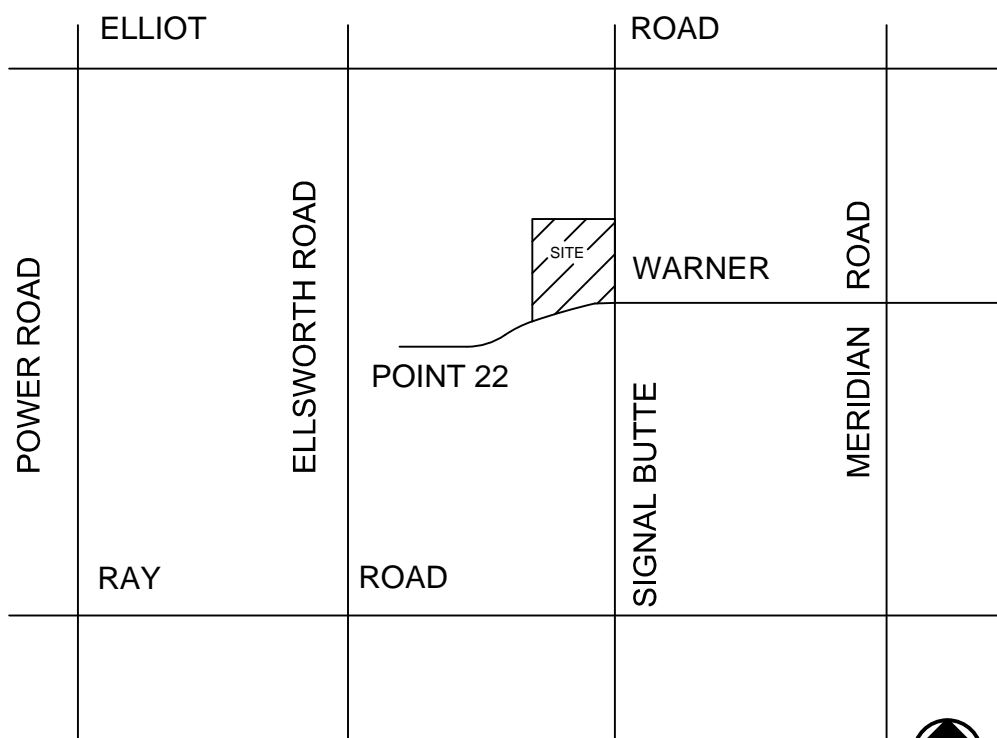
FLOOD ZONE:

THIS PROPERTY LIES IN FLOOD ZONE "D", DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT ASSOCIATION (FEMA) AS "AREAS OF UNDETERMINED FLOOD HAZARD" PER FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 04013C2780L UNPUBLISHED.

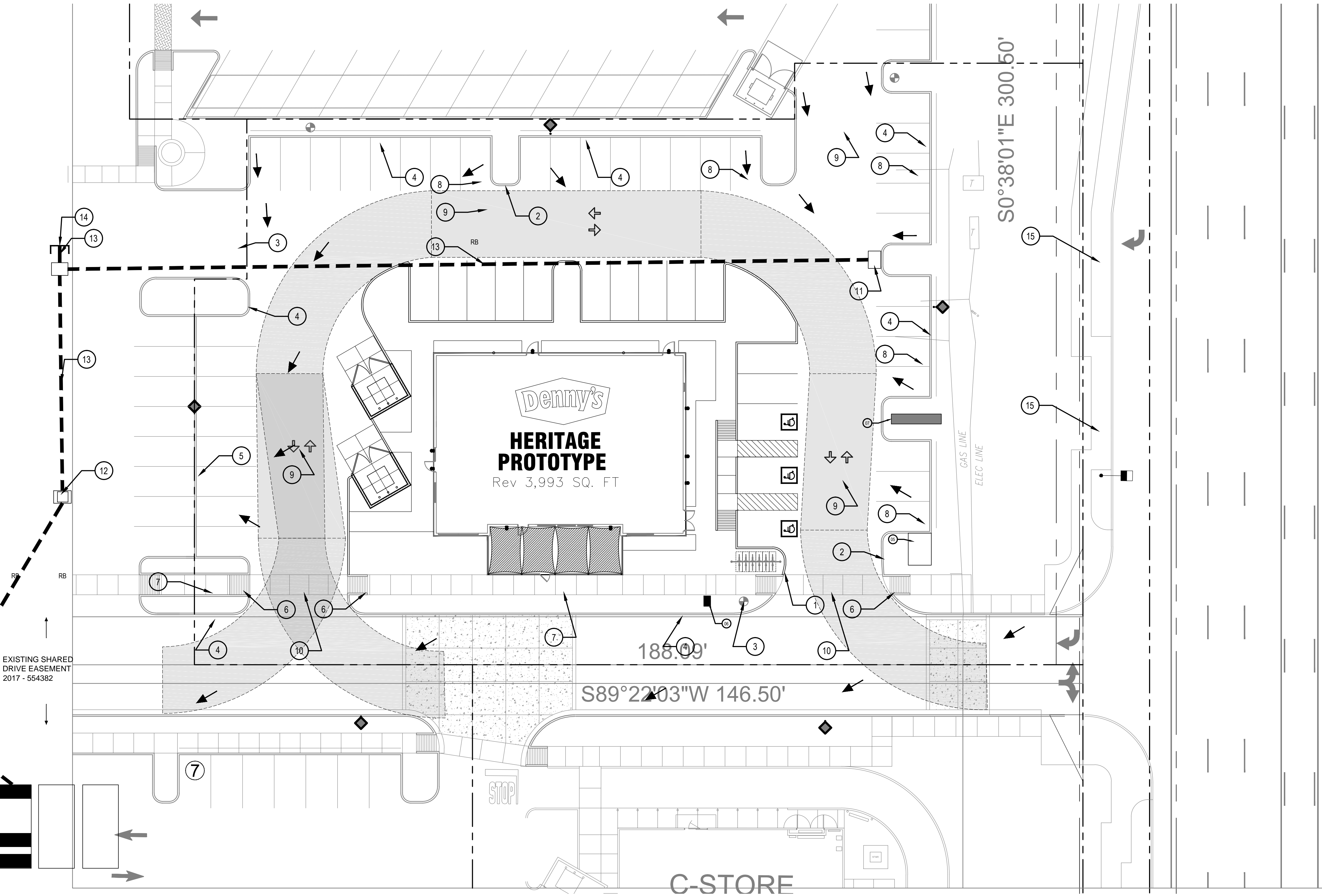
PROJECT DESCRIPTION

THIS PROJECT IS LOCATED WITHIN "THE POINT" COMMERCIAL CENTER CURRENTLY BEING CONSTRUCTED. RETENTION VOLUME FOR THE PROPOSED IMPROVEMENTS IS ALREADY PROVIDED PER THE APPROVED DRAINAGE REPORT FOR THE POINT PROJECT (PMT 18-12557) AND NO ADDITIONAL RETENTION VOLUME IS REQUIRED. ALL SEWER AND WATER STUBS ARE ALSO PROVIDED PER "THE POINT" IMPROVEMENT PLANS.

VICINITY MAP



SCALE: 1/16"=1'-0"



KEYNOTES

- CONTRACTOR TO VERIFY ELEVATION OF EXISTING AC PAVEMENT, CURB OR SIDEWALK TIE-IN LOCATION AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- EXISTING CURB (TYP.)
- EXISTING FIRE HYDRANT
- EXISTING 6" SINGLE CURB
- 2" CURB OPENING IN PAVEMENT

- EXISTING ACCESS RAMP
- EXISTING 6' WIDE SIDEWALK
- EXISTING ASPHALT PAVEMENT
- EXISTING HEAVY DUTY ASPHALT PAVEMENT
- EXISTING DECORATIVE PAVEMENT
- EXISTING CATCH BASIN
- EXISTING CATCH BASIN WITH SEDIMENT CAPTURE TO REMAIN UNTIL LOT TO THE NW IS DEVELOPED.

- EXISTING HDPE STORM DRAIN PIPE
- EXISTING 18" STORM DRAIN CAP
- EXISTING SIDEWALK

1 grading & drainage plan



mrt design llc
architecture
interior design
facilities management

340 east palm lane
suite 304
phoenix, arizona
85004
p 602.667.9098
f 602.331.3558
www.mrtdesignllc.com

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JOB NUMBER
22006

denny's restaurant #9633
mesa new build
4248 S. SIGNAL BUTTE ROAD
MESA, ARIZONA 85212

PROJECT

AUG 8, 2022

REVISIONS
QTY COMMENTS

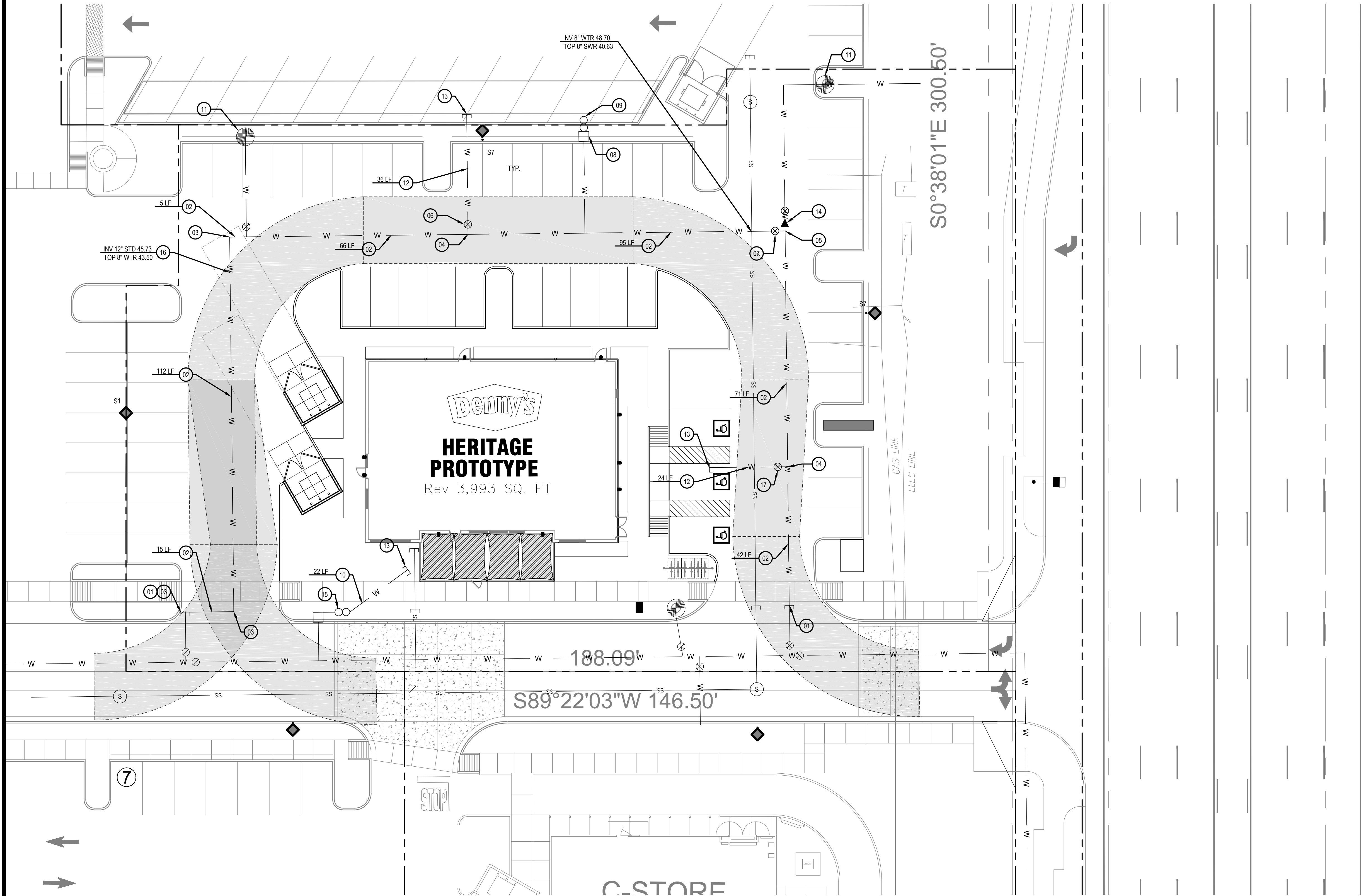
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DATE ISSUED
SHEET DESCRIPTION

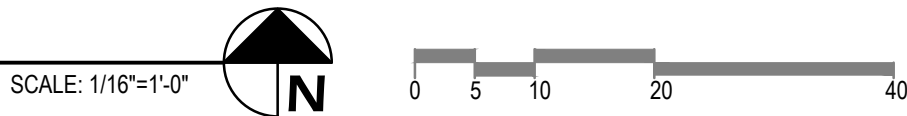


SHEET
C1

PLOTTED BY OMAR YOUSSEF ON 8/2/2022 5:59 PM AT C:\22006 SITE ADAPT A DENNY'S PROTOTYPE IN MESA ARIZONA DRAWINGS\22006 DENNY'S MESA_CD.DWG



1 utility plan



notes:

- CONNECT TO EXISTING 8" WATER STUB. CONTRACTOR TO LOCATE AND VERIFY SIZE AND LOCATION OF EXISTING STUB PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 8" D.I.P. WATER LINE PER MAG SPECS 750 WITH POLYETHYLENE CORROSION PROTECTION PER MAG STD. SPECS 610.6 LENGTH PER PLAN.
- 8" - 90° BEND WITH THRUST BLOCKS PER MAG STD DTL 380.
- 8" x 6" TEE WITH THRUST BLOCKS PER MAG STD DTL 380.
- 8" x 8" TEE WITH THRUST BLOCKS PER MAG STD DTL 380.
- 6" VALVE PER COM STD DTL M-31.07
- 8" VALVE PER COM STD DTL M-31.07
- 2" WATER SERVICE PER COM STD DTL M-29, M-49.01 AND M-49-02
- 2" RPPBPA PER COM STD DTL M-31.03
- 2" TYPE "C" COPPER OR SCHEDULE 80 P.V.C. PRIVATE DOMESTIC SERVICE LINE.
- FIRE HYDRANT PER MAG STD DTL 360-1
- 6" FIRE LINE PER COM STD DTL M-31.07. LENGTH PER PLAN.
- CAP & UTILITY MARKER PER MAG STD DTL 390, TYPE A. SEE BUILDING PLANS FOR PRIVATE FIRE SERVICE RISER LOCATION AND DETAILS.
- 8" x 6" REDUCER
- RELOCATE EXISTING 2" RPPBPA AS SHOWN.
- VERTICAL REALIGNMENT OF WATER MAIN PER MAG STD DTL 370. MAINTAIN A 2' MINIMUM SEPARATION BETWEEN THE TOP OF THE WATER LINE AND THE BOTTOM OF THE CONFLICTING UTILITY.
- 6" VALVE PER MAG STD DTL 391-1 TYPE "C".



mrt design llc
 architecture
 interior design
 facilities management

340 east palm lane
 suite 304
 phoenix, arizona
 85004
 p 602.667.9098
 f 602.331.3558
 www.mrtdesignllc.com

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 22006

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PROJECT
 AUG 8, 2022

REVISIONS
 QTY COMMENTS

DRAWN BY
 CHECKED BY
 utility plan



SHEET
 C2