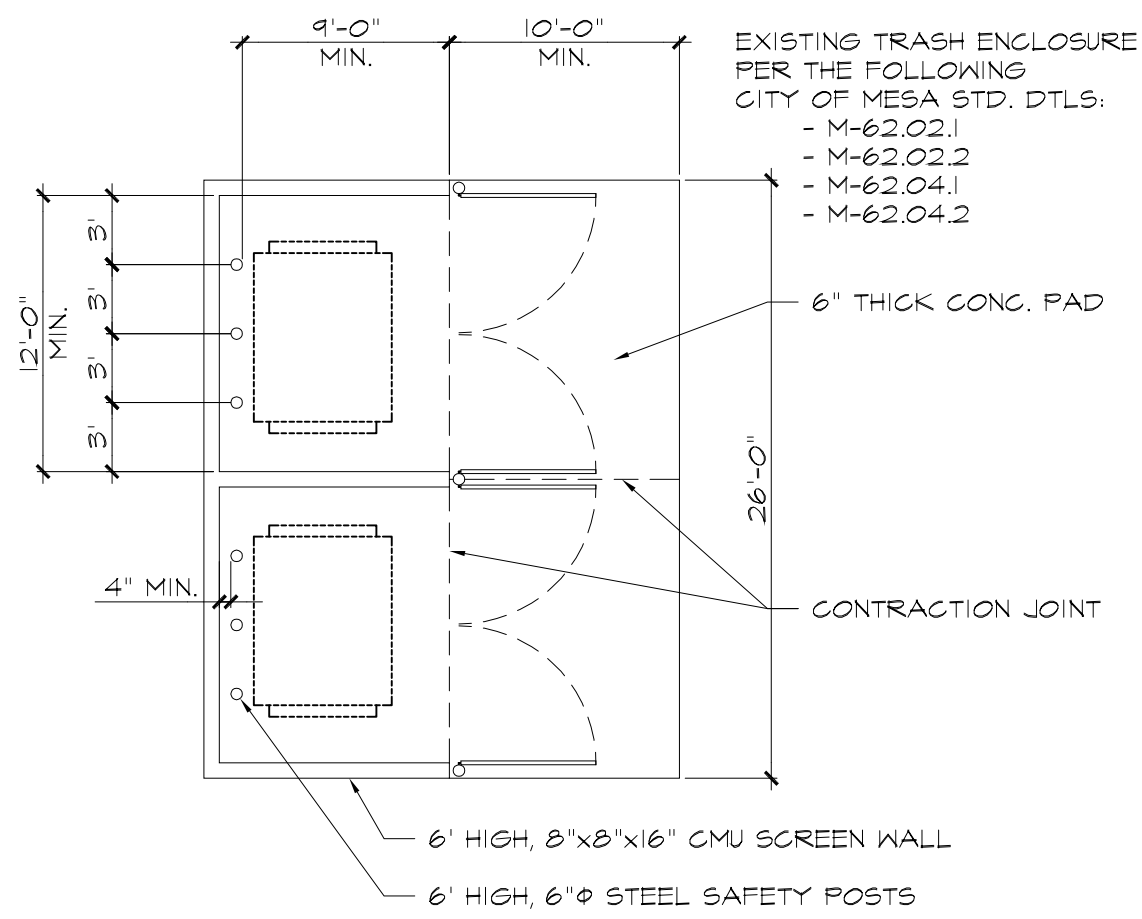
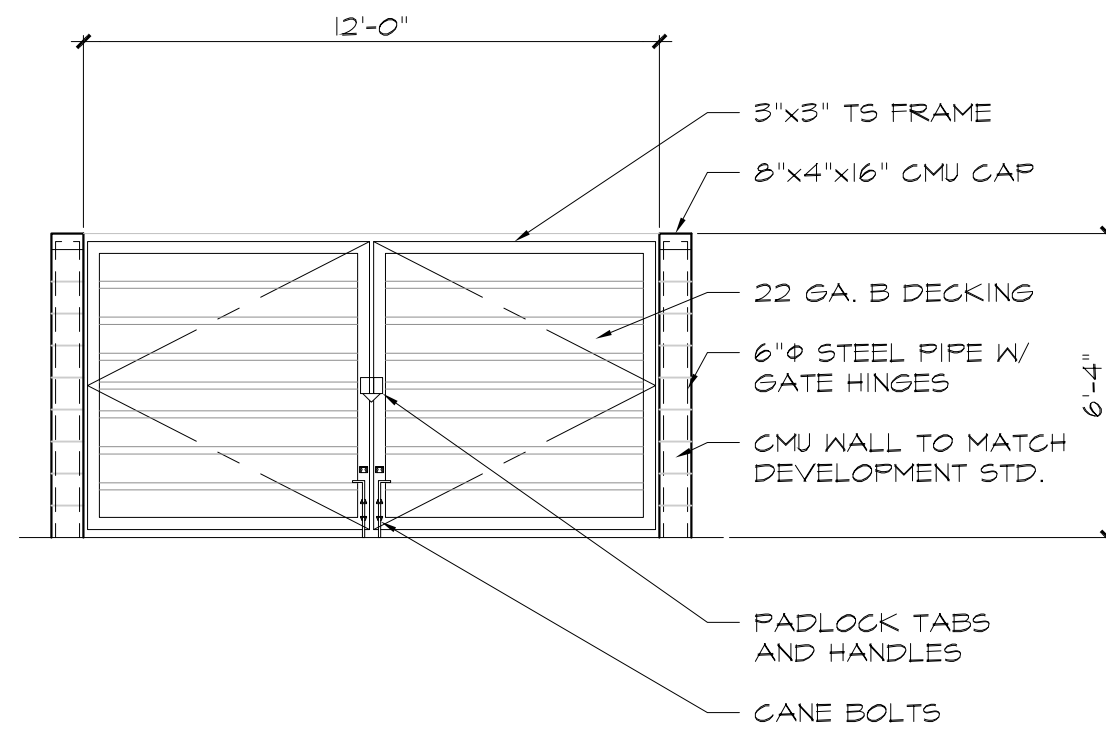




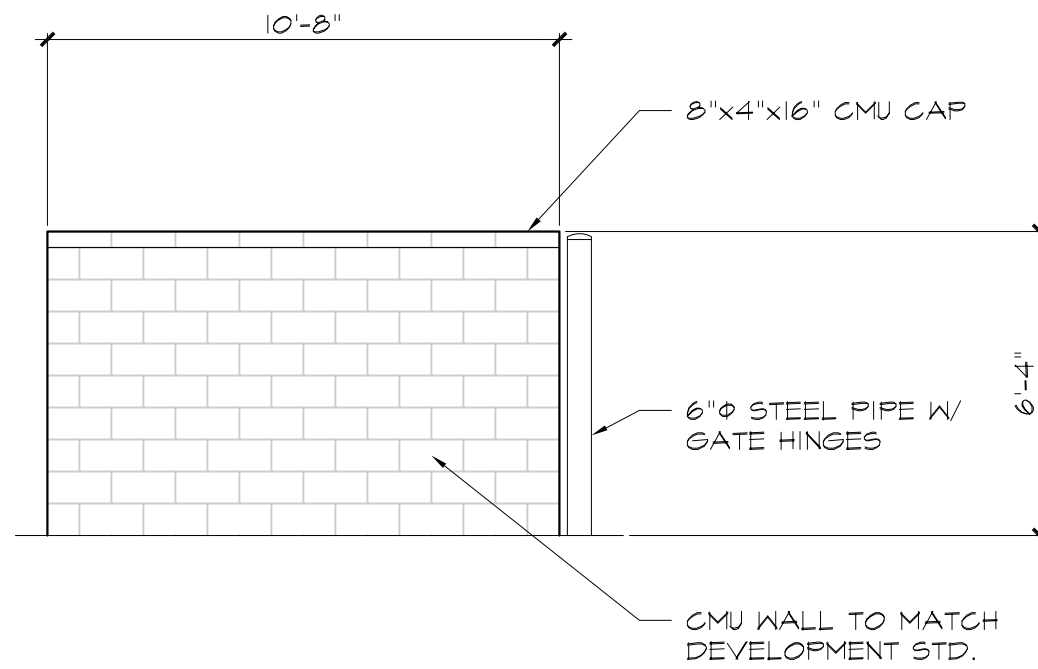
1 EXTG. DOUBLE-WIDE BIN ENCLOSURE
SCALE: 1/8" = 1'-0"

TRASH ENCLOSURE SHALL ADHERE TO THE FOLLOWING CITY OF MESA STD. DTLs:
- M-62.02.1
- M-62.02.2
- M-62.04.1
- M-62.04.2

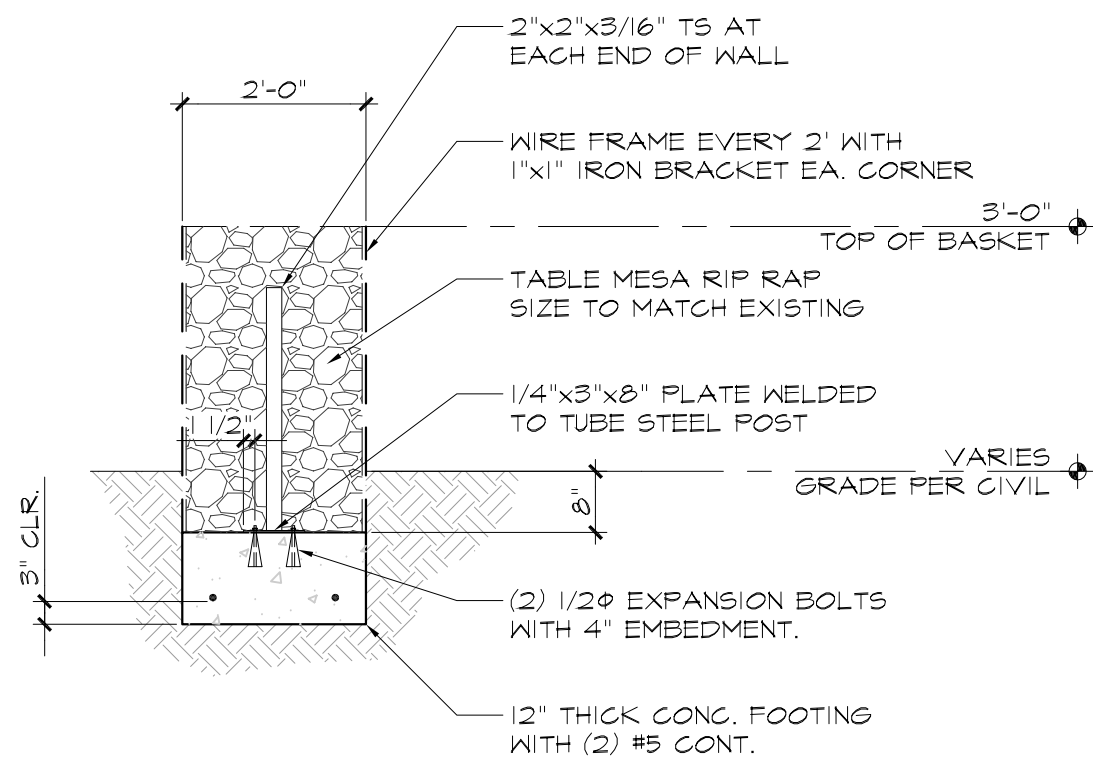


2 EXISTING REFUSE GATE ELEVATION
SCALE: 1/4" = 1'-0"

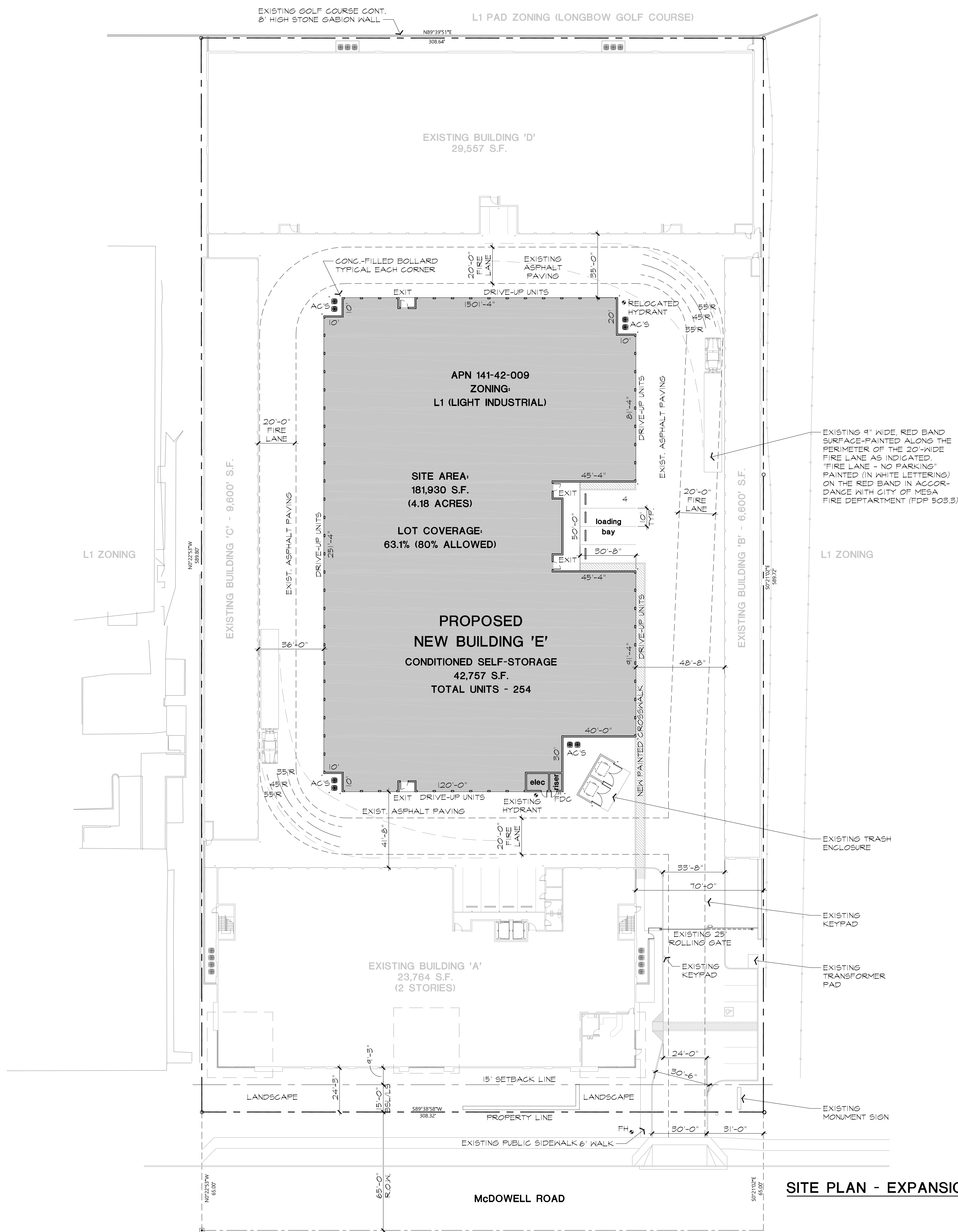
TRASH ENCLOSURE SHALL ADHERE TO THE FOLLOWING CITY OF MESA STD. DTLs:
- M-62.02.1
- M-62.02.2
- M-62.04.1
- M-62.04.2



3 EXISTING REFUSE WALL ELEVATION
SCALE: 1/4" = 1'-0"

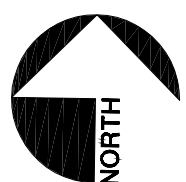


4 NEW PARKING GABION SCREEN WALL
SCALE: 1/2" = 1'-0"



SITE PLAN - EXPANSION OF RED MOUNTAIN SELF STORAGE

SCALE: 1/30" = 1'-0"



REQUEST

DEVELOPMENT OF NEW SELF STORAGE BUILDING ON EXISTING FACILITY SITE
CONDITIONED AND UNCONDITIONED

SITE DATA

RED MOUNTAIN SELF STORAGE
5612 EAST McDOWELL ROAD, MESA, AZ 85215

APN: 141-42-009

ZONING: L1 (LIGHT INDUSTRIAL)

SITE AREAS

GROSS SITE AREA = 181,930 S.F. = 4.18 ACRES
NET SITE AREA = 177,305 S.F. = 4.07 ACRES

PROPOSED BUILDING AREA

BUILDING 'E' 42,757 S.F.

ESTIMATED LOT COVERAGE

111,833 / 177,305 = 62.7%

USE GROUP = S-1, SELF STORAGE FACILITY
CONSTRUCTION TYPE II-B (AUTOMATIC SPRINKLER SYSTEM)

MAX. BUILDING HEIGHT = 40'-0", 2 STORIES (PER MZO TABLE 11-7-3)
PROPOSED BUILDING HEIGHT = 18'-0"

ALLOWABLE AREA INCREASE 2018 IBC TABLE 506.2

52,500 S.F. - S-1 OCCUPANCY, MULTI STORY

PARKING REQUIREMENTS

PARKING PROVIDED - EXISTING = 10 INCLUDING 1 HC
PARKING PROVIDED - NEW = 4

PROJECT TEAM

OWNER/DEVELOPER
CASA de AMIGOS MOBILE HOME ESTATES, LP
1276 AUTO PARKWAY, SUITE D306
ESCONDIDO, CA 92029
(760) 613-3783 ATTN: BYRNES LAMBERT

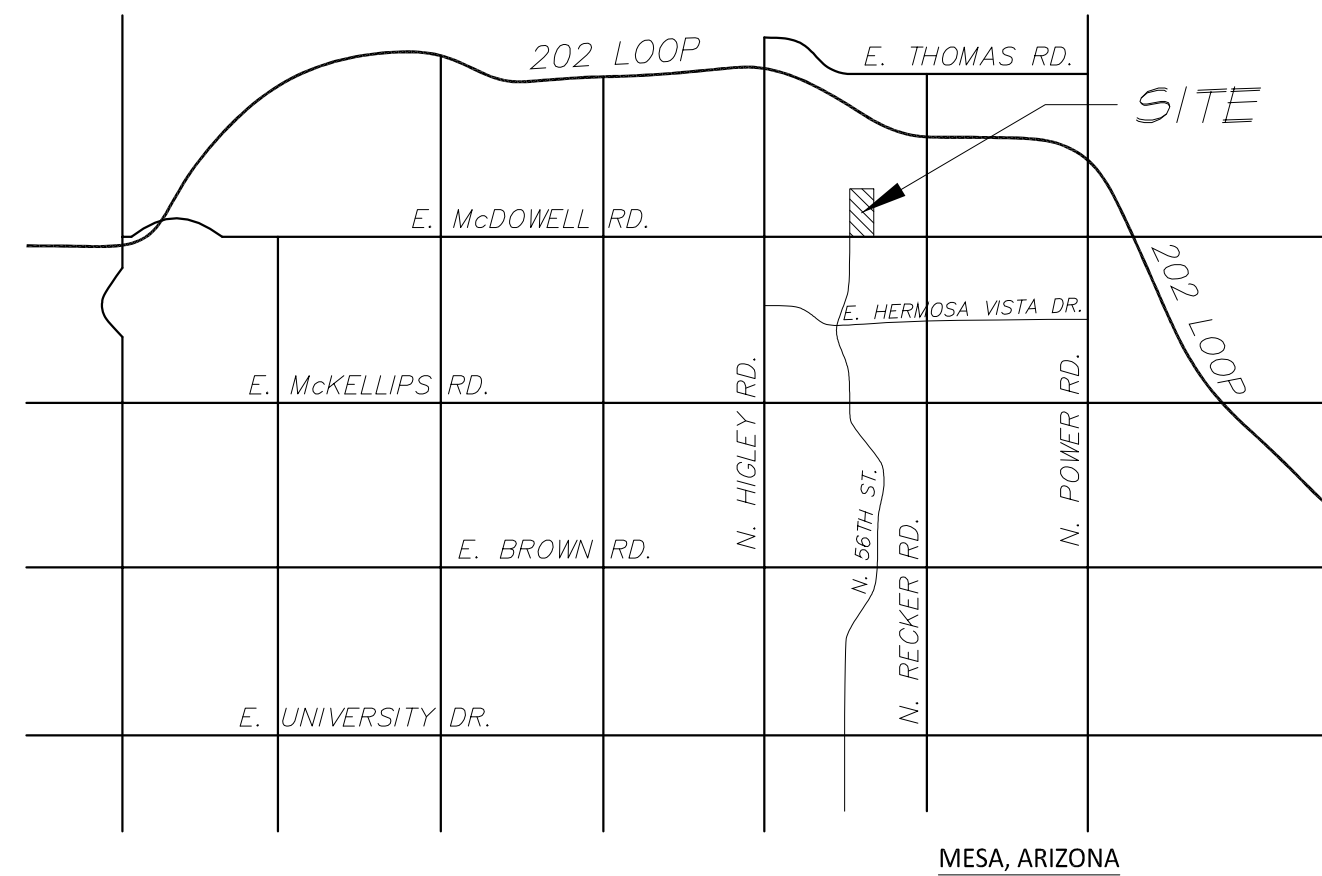
ARCHITECT
ARC SERVICES INC.
14010 N SUSSEX PL
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-0761 ATTN: PHIL GOLLON

CIVIL
WESTWOOD
6909 EAST GREENWAY PARKWAY, SUITE 250
SCOTTSDALE, ARIZONA 85254
(480) 840-7715 ATTN: DAVID BOHN

LANDSCAPE
EVERETT LANDSCAPE ARCHITECTURE
6628 EAST BASELINE ROAD STE 102
MESA, ARIZONA 85206
(602) 753-9140 ATTN: TOM EVERETT

APPLICANT/AGENT
ARC SERVICES INC.
14010 N SUSSEX PL
FOUNTAIN HILLS, ARIZONA 85268
(480) 837-0761 ATTN: PHIL GOLLON

VICINITY MAP



SCIP DESCRIPTIONS

NON-CONFORMING MZO ITEMS
1. 11-30-9(H) PARKING SCREENING
2. 11-32-4(A) ENTRY THROAT DEPTH
3. 11-7-3(A) EAST, WEST AND NORTH LANDSCAPE SETBACKS

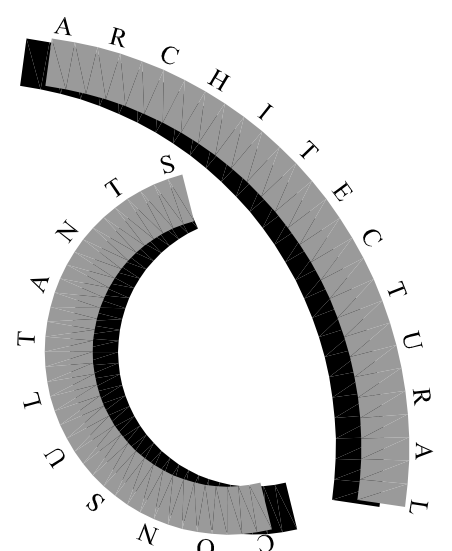
APPLICABLE SUBSTANTIAL CONFORMANCE ITEMS

1. 11-30-9(H) NEW GABION SCREEN WALL ADDED
2. 11-32-4(A) NO ACTION TAKEN
3. 11-7-3(A) NO ACTION TAKEN ON NORTH, EAST AND WEST. FRONTAGE LANDSCAPE UPDATED

Architectural
Concepts

68851 Calle Monforte
Cathedral City, California
92234

Phone (480) 734-1687
Em archconcepts52@gmail.com

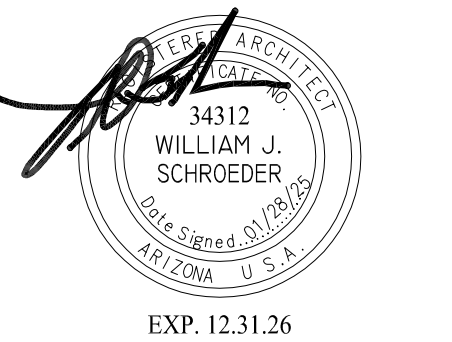


ARC Services Inc.
14010 N. SUSSEX PLACE
Fountain Hills, Arizona 85268

phone (480)-837-0761
em.pgollon@arc-services-inc.com

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seal



EXP. 12.31.26

RED MOUNTAIN
SELF STORAGE AND RV
EXPANSION OF EXIST. FACILITY
5612 E. McDOWELL ROAD
MESA, ARIZONA 85215

Title:

SITE PLAN

Date: 01/28/2025

Project number: RMSE

Drawn by: RL

Checked by: PG

CAD file: RMSE-base-SP

Design Development

Progress Const. Docs.

City Submittal

Bid Package

Construction Issue

Record Drawings

Sheet Number:

SP

BOA24-00635, ZON24-00636, DRB24-00637