

The Cottages on Sossaman

Submitted by:

Adam Baugh
2525 E. Arizona Biltmore Circle, A-212
Phoenix, Arizona 85016
602-230-0600
adam@wmbattorneys.com



On behalf of:

Craft Homes, LLC



ZON21-00874

First Submittal: September 3, 2021
Second Submittal: October 10, 2022
Third Submittal: September 25, 2023
Fourth Submittal: February 26, 2024

Request

This application includes a request to rezone property from Limited Commercial (LC) to Multiple Residence (RM-2) with a PAD overlay along with a Site Plan Review to allow for a new residential community called The Cottages on Sossaman.

Approval of this request will allow the development of a 37-unit residential community. The developer has worked diligently to create a site plan that works within the tight constraints of an infill lot to best utilize the property and create a dynamic addition to the surrounding community. The development will be an improvement to the area and will provide safe places for people to live where they can feel secure and enjoy their home and neighborhood.

Project Location

The subject property is approximately 2.75 gross acres located on Sossaman Road, approximately 545 feet north of the NWC of Main Street and Sossaman Road (the “Property”). See Aerial Map at **Tab 1**. The property is vacant land.

To the north of the property is a storage facility zoned LC. To the south and west is a shopping center, which is mostly vacant, zoned LC. To the east is a residential subdivision zoned R1-10.

Current Zoning & Infill Opportunity

The project site is designated in the City of Mesa General Plan as Neighborhood, which, according to the General Plan, is intended to “provide safe places for people to live where they can feel secure and enjoy their surrounding community” and “can contain a wide range of housing options.” This proposal is consistent with the Mesa General Plan.

The Property is also within a Mixed-Use Activity District character area. Though this district is intended for large format commercial, these areas may take on a significant residential character with the redevelopment of shopping centers, so long as the residential component is a secondary use. This proposal conforms with the intent of the character area designation as the residential use will be secondary to the established commercial center to the immediate south. See General Plan and Zoning Map at **Tab 2**.

The Property is an infill lot on older LC property that is clearly a forgotten remnant. It appears to be a neglected part of the shopping center as it is located to the rear of the retail storefronts and never developed with the rest of the shopping center. It is possible it may have once been considered a part of the shopping center to the north although that eventually developed with self-storage buildings and a fence along the common property line, effectively blocking off any opportunity for future expansion. Because the property is hidden behind a shopping center without visibility to Main Street, it is highly unlikely to ever develop with commercial uses. Thus, a change in zoning to residential is appropriate.

The platted residential subdivision to the north and east were built in 1975 and general upkeep of the area is not reflective of the high-quality design standards Mesa expects today. Recognizing the infill nature of the site and quality of the homes that surround it, Sossaman Villas proposes a new residential community that makes meaningful use of this challenging infill site. Additionally, the high-quality architecture will raise the bar for housing in this area and will strengthen nearby home values.

Infill development is always challenging because there are often factors that negatively affect vacant land and make it difficult to develop. In addition, infill development tries to consider the surrounding area while recognizing that creating an identical development or zoning pattern is often not possible. As a result, good planning principles try to find a way to make meaningful development, including a change in zoning or other modifications, that encourage infill development with minimal impacts. In order for infill development to be feasible at this location, this application requests a change in zoning to RM-2 with a PAD overlay.

The purpose of a PAD District is to permit flexibility in the application of zoning standards and requirements where it can be demonstrated that the proposed development provides equivalent or superior standards in a creative way to meet the intent of the underlying zoning district and general plan.

City staff recognizes that a change in zoning and additional flexibility is warranted in situations like this because of the unusual circumstances affecting infill development and this particular property. Thus, the City of Mesa has generally been supportive of multiple residence rezoning for unique sites like this. Through this change in zoning the Property can be put to productive use in a manner that is complementary with the mix of commercial and residential uses in the surrounding area.

Development Proposal

Site Plan

The development plan has been designed to fully utilize the unique infill Property while dedicating areas for open space and resident amenities. The proposal includes 37 cottages with common open space amenities including a pool, ramada, barbecue facilities, pickle ball court, and lawn. Architecture, design, and theming of the community will meet and exceed the standards established by the nearby townhome community to the north. The project will have two access points on Sossaman Road. Landscaped setbacks along the streetscape will improve street aesthetics.

Housing Product

Homes will include between approximately 1,008 and 1,062 livable square feet and will feature two stories, a rear yard and covered front porch, and a carport. There will be four different elevations and two different floor plans offered in the community. The elevations will include

distinctive exterior materials, roof lines, fenestration, and façade articulation. The units will be connected via the adjoining carport canopy.

New Quality Development Design Guidelines

The homebuilder has studied the Quality Development Design Guidelines and incorporated many of the new elements with this community. The enhanced design will promote quality development that will improve area aesthetics. Enhanced design elements include the following:

Site Design

The development provides a sense of neighborhood and arrival with monument signs, landscaped entry areas, and decorative pavers. A centrally located open space area will include a pool, pickle ball court, and grass area. A second landscaped amenity area will include a ramada for outdoor community gathering. The development creates visual interest by offering distinct elevations to provide variation and avoid monotony.

Architectural Design

Incorporating unique design, these cottages utilize different colors and materials at each elevation and mix in different rooflines. Facades are articulated with windows, paneling, and detailing. Articulation includes window trim, overhang eaves and other building details.

High-quality authentic building materials are used - such as wood, siding, and stucco - which enhance the building's architectural character and assure a long-lasting building life. The development provides visual interest through the use of accent materials, so the application replicates the authentic means of construction. Materials are durable in extreme heat and under high amounts of sun exposure. Deep, rich accent colors are used, and bright colors are excluded.

Development Standards

Per Table 11-5-5 of the Mesa Zoning Ordinance, development standards are outlines for the RM-2 zoning district. The chart below outlines how this development meets the required standards.

Standard	RM-2 Required	RM-2 (PAD) Proposed
Minimum Lot Area	7,200	7,200
Minimum Lot Width (ft.)		
• Multiple Residence	60	60

Minimum Lot Depth (ft.)		
• Multiple Residence	94	94
Maximum Density (du/ac)	15	14.8
Minimum Density (du/ac)	-	-
Minimum Lot Area per Dwelling Unit	2,904	2,904
Maximum Height (ft.)	30'	30'
Maximum Lot Coverage (% of lot)	70%	70%
Minimum Yard Size (ft.):		
• Front and Street-Facing Side	4-lane arterial (Sossaman): 20'	20'
• Interior side and rear: 3 or more units per lot	15 ft per story	Side (North): 6 ft Side (South): 30 ft Rear (West): 24 ft
Minimum Separation Between Buildings on Same Lot (two-story building)	30 ft	12 ft
Perimeter Landscaping	Side (North): 15 ft Side (South): 15 ft Rear (West): 15 ft	Side (North): 6 ft Side (South): 8 ft Rear (West): 10 ft
Maximum Building coverage (% of Lot)	45%	45%
Minimum Open Space (sq. ft./unit)	200 sq ft	200 sq ft (520 sq ft provided)
Private Open Space (sq. ft./unit)	120 sq ft	120 sq ft (227 sq ft provided)

• Minimum Dimension (ft.)	10 ft	10 ft
Covered Private Open Space (% of Open Space)	50%	50%
Minimum Horizontal Area of Entryway	50 ft	36 ft (Plan C only)
Parking Spaces	78	78 (80 provided)

The PAD deviations are a result of this unique infill parcel. Infill development is always challenging because there are often factors that negatively affect vacant land and make it difficult to develop. In addition, infill development tries to consider the surrounding area while recognizing that creating an identical development or zoning pattern is often not possible. As a result, good planning principles try to find a way to make meaningful development, including a change in zoning or other PAD modifications, that encourage infill development with minimal impacts.

This application requests the following PAD deviations:

- 1. The yard size adjacent to non-single residence uses reduced to 0 feet on north property line and 24 feet on west property line. Required: 30 feet.**

Rationale: Due to the unusual circumstances affecting infill development and this property in particular, additional flexibility is warranted to ensure the development is viable and to achieve maximum utility for the property. The cottages along the northern property line abut a self-storage facility. Given the lack of activity associated with such use and the screening provided by the storage units, additional landscape setback is not necessary. On the western property line, more than 30 feet of setback is provided with the exception of the northwest corner of the Property where a carport is located 21 feet from the property line.

- 2. Minimum separation between buildings on the same lot reduced to 12 feet. Required: 30 feet.**

Rationale: The proposed development offers a unique product of single-family cottages that functions like a multifamily development community. The residences are attached via each unit's adjacent carport, which measure 12 feet in width. Accordingly, the minimum separation requirements are not practically feasible with this product type and a deviation is requested.

- 3. Minimum horizontal area of entry way reduced to 36 feet (Plan C Only). Required: 50 feet.**

Rationale: All proposed floors plans exceed the required 50 square feet of horizontal area for their entry ways, with the exception of Plan C, which features a smaller covered entry way in exchange for additional interior square footage. This minor deviation allows for variation in the provided elevations and floor plans and will improve the aesthetic quality of the community without negatively impacting the resident experience.

4. The landscape yard setbacks adjacent to non-single residence uses reduced to 6 feet (north), 8 feet (south), 10 feet (west). Required: 15 feet

Rationale: Due to the unusual circumstances affecting infill development and this property in particular, additional flexibility is warranted to ensure the development is viable and to achieve maximum utility for the property. The townhomes along the northern property line abut a self-storage facility. Given the lack of activity associated with such use and the screening provided by the storage units, additional landscape setback is not necessary. Along the north property line, the rear yards of the residences shall function as the landscape yard. Accordingly, the minimum planting requirements of 11-33-B(2)(c) shall not apply along the north property line. Additionally, a 10-foot landscape yard is provided on the western property line and an 8-foot landscape yard is provided on the south property line. The residences are further separated from the adjacent uses to the west and south by an internal drive aisle. The reduced landscape yard sizes allow for efficient use of this infill property and enable more activated public open space for the benefit of residents, such as a pickle ball court, pool, ramada, and other gathering spaces.

PAD Request and Compliance

As stated in the Mesa Zoning Ordinance, the PAD overlay can be used to modify base district regulations to implement policies in the General Plan such as the ones identified in this project narrative. The deviations help create innovative design and flexibility in projects. In this manner, the applicant can tailor the development standards and site design in a way that not only maximizes the compatibility between the development and the adjacent neighborhood, but also ensures that any future development on the Property is limited to the same requirements. The benefit of the PAD is to ensure the proposed residential community will develop in a manner compatible with the adjacent communities. This ensures the site plan, lot sizes, dimensions, layout and open space areas are tied to the rezone approval. The intent of a PAD overlay is to provide for the following:

- A. Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use;
 - *The proposal includes a residential community with common open space amenities including lawn, a covered ramada, shaded seating areas, a playground, and barbecue facilities. The size and scale of the amenities are commensurate with the small number of lots provided in the community.*
- B. Options for the design and use of private or public streets;
 - *The development uses private streets that include simulated “neck-downs” to promote safety.*
- C. Preservation of significant aspects of the natural character of the land;
 - *As a small infill site, there are no significant aspects of the natural character of the land.*
- D. Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development;

- *The proposed development offers a unique new housing product that will create more diversity in inventory and bring value to the surrounding area by creatively utilizing a challenging infill property. The Cottages on Sossaman will provide a high quality, thoughtfully designed community with over twice the minimum required public open space in order to foster public gathering and community engagement.*

E. Sustainable property owners' associations;

- *The applicant has experience developing infill residential communities and understands how to provide amenities that are useful and sustainable long term for the homeowner's association. In this instance, the association's obligations are manageable given the thoughtful design, layout, and amenities.*

F. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions; and

- *The Property will be under common ownership and maintained by a property management company.*

G. Single or multiple land use activities organized in a comprehensive manner and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.

- *The PAD application facilitates an enhanced community "organized in a comprehensive manner" with a layout that works within the constraints of a challenging infill site. The design of the community brings a unique product to the area's housing market, increasing diversity and providing more options for prospective residents. The community will also improve the walkability/connectivity of the area and increase demand and economic activity in the adjacent shopping center. Lastly, the community improves the public street, sidewalk, lighting, landscaping and walls to create an improved street appearance that benefits the overall area.*

General Plan Conformance

This proposal is consistent with the underlying land use designation of Neighborhood. The primary focus of the Neighborhood character type is to provide safe places for people to live where they can feel secure and enjoy their surrounding community.

There are many goals, policies, and objectives of the General Plan that support an RM-2 residential use at this location as identified in Chapter 4 of the Mesa 2040 General Plan. The following are some excerpted provisions from the General Plan:

1. ***Safe, Clean and Healthy Living Environment.***

People want to have their homes in neighborhoods where their families will be safe, and they can live healthy, productive lives. This community will be professionally managed and will ensure safety, cleanliness and responsible maintenance of the common areas and streetscape.

The development will also have its own active outdoor space for all ages. The open space will include lawn, a covered armada, a pickleball court, barbecue facilities, and gathering spaces to promote community engagement.

The streetscape will also be improved with new landscaping and wall treatments that beautify the areas as opposed to its empty lot condition today and will create a favorable impression to area residents.

2. Build Community and Foster Social Interaction

The homebuilder recognizes that great neighborhoods build a sense of community and foster social interactions. This is achieved on-site through public open space amenities like barbecue facilities, a playground and a covered ramada. This offering allows residents to congregate and get to know their neighbors as the center of neighborhood activity.

3. Connectivity and Walkability.

In Mesa, walkability and connectivity can be improved by encouraging a mix of uses that are within walking distance and working proactively with underutilized commercial sites to redevelop in a manner that improves the mix of uses and connections with the surrounding neighborhood. This proposal will increase the mix of uses and promote economic activity in the adjacent shopping center. Additionally, the developer will implement a complete streets program along their site frontage to include trees and shade along Sossaman Road.

4. Provide for Diversity

The General Plan encourages a variety of housing types and a variety of people. Having a variety of housing types, like the requested RM-2 zoning here, provides interest to the built environment and provides the opportunity for differing people to live near one another. Diverse neighborhoods can be achieved through encouraging a variety of dwelling types within each area of the community consistent with the character area standards.

Great neighborhoods should have a variety of people and that can be achieved with RM-2 zoning such as this. Diverse and inclusive neighborhoods allow people of different incomes, ages, races, and ethnicities to gather and get to know each other which make the community stronger. That is the vision for this development site and that is the stated goal of the Mesa General Plan.

Until now, there has been no diverse housing types in this area. The surrounding residences were built primarily in 1975 and there is no housing diversity within the existing neighborhood. One home looks like the next with no variety of housing options. This development provides for a residential product that is needed in this area, is highly attractive, fulfills a need for young families, and is attainable for the workforce.

5. Neighborhood Character and Personality

Neighborhood investment and maintenance is more likely to happen when a neighborhood is a recognizable place, when it has its own character and personality. This community will provide a sense of place, will improve an eyesore vacant lot, and will create an enhanced streetscape and landscape appearance.

6. Quality Design and Development

The opportunity for long-term health and sustainability is increased when the initial development is of a high quality. The high-quality architecture designed with this community will greatly improve the area aesthetics and create an identifiable and unique neighborhood. Further, the developer will install landscaping throughout the development and utilize a property manager to ensure proper maintenance and enforcement.

The high-quality nature of this development is represented in the images and renderings presented with this proposal. It is evident in the use of architectural detailing that provide visual interest, use of materials that add texture and are easily maintained over time, integration of architecture and landscape design, and use of a plant palate that is appropriate for our climate and can be easily maintained.

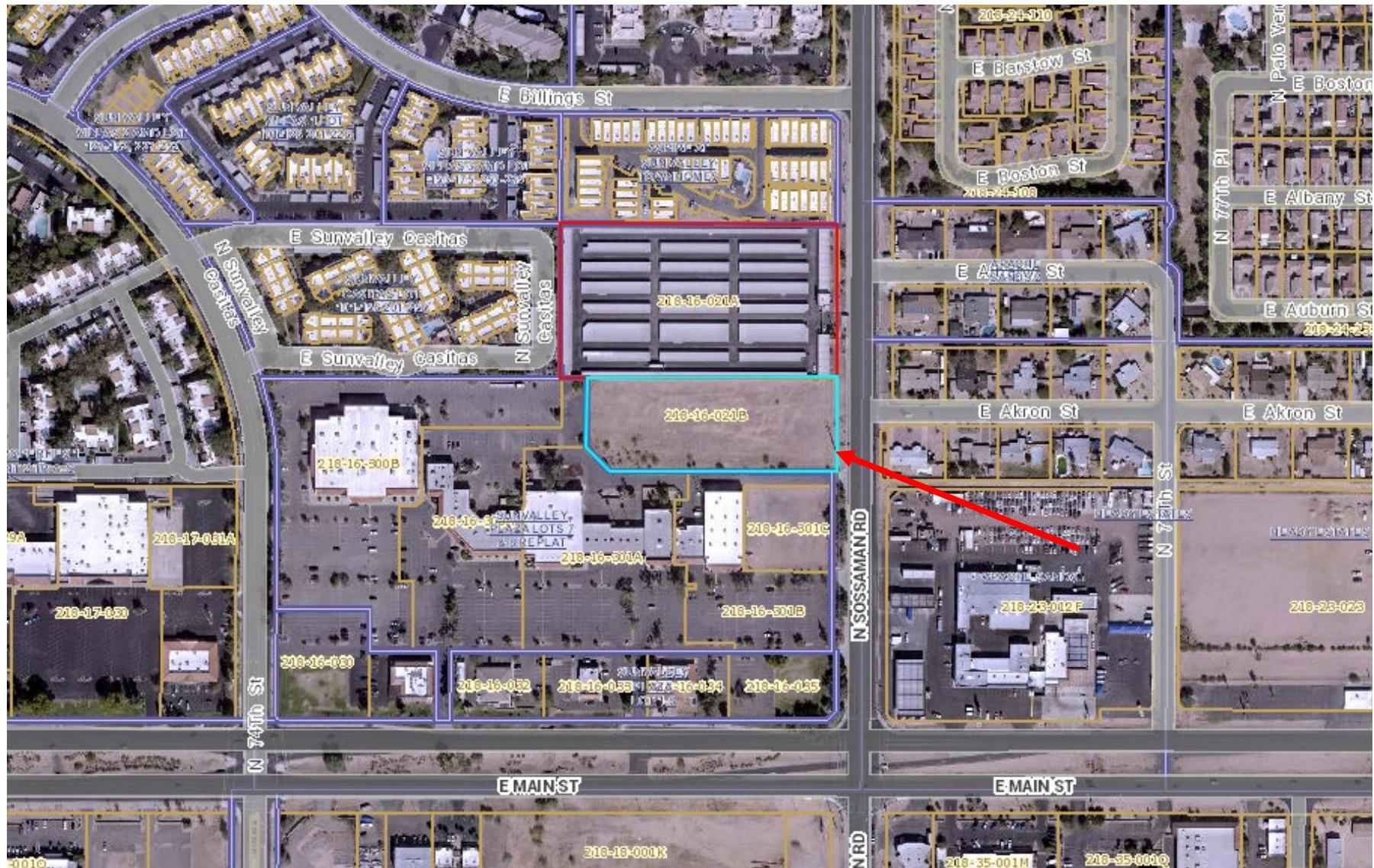
Summary

The Cottages on Sossaman will add to the diversity of housing types available in the area. This proposal is also a benefit to the residential homes and retail uses that surround this site because it makes meaningful use of an otherwise unattractive, empty infill property. This project will also create an opportunity for additional housing choices in this area.

New residences on this infill parcel provide many benefits to the area and City. The development will fill a need in this area and makes meaningful use of an otherwise vacant property. It will provide a new housing product that is low maintenance which is not available in the immediate area. Finally, it provides a use and zoning that strengthens the neighborhood with no negative impacts.

TAB 1

Aerial Map

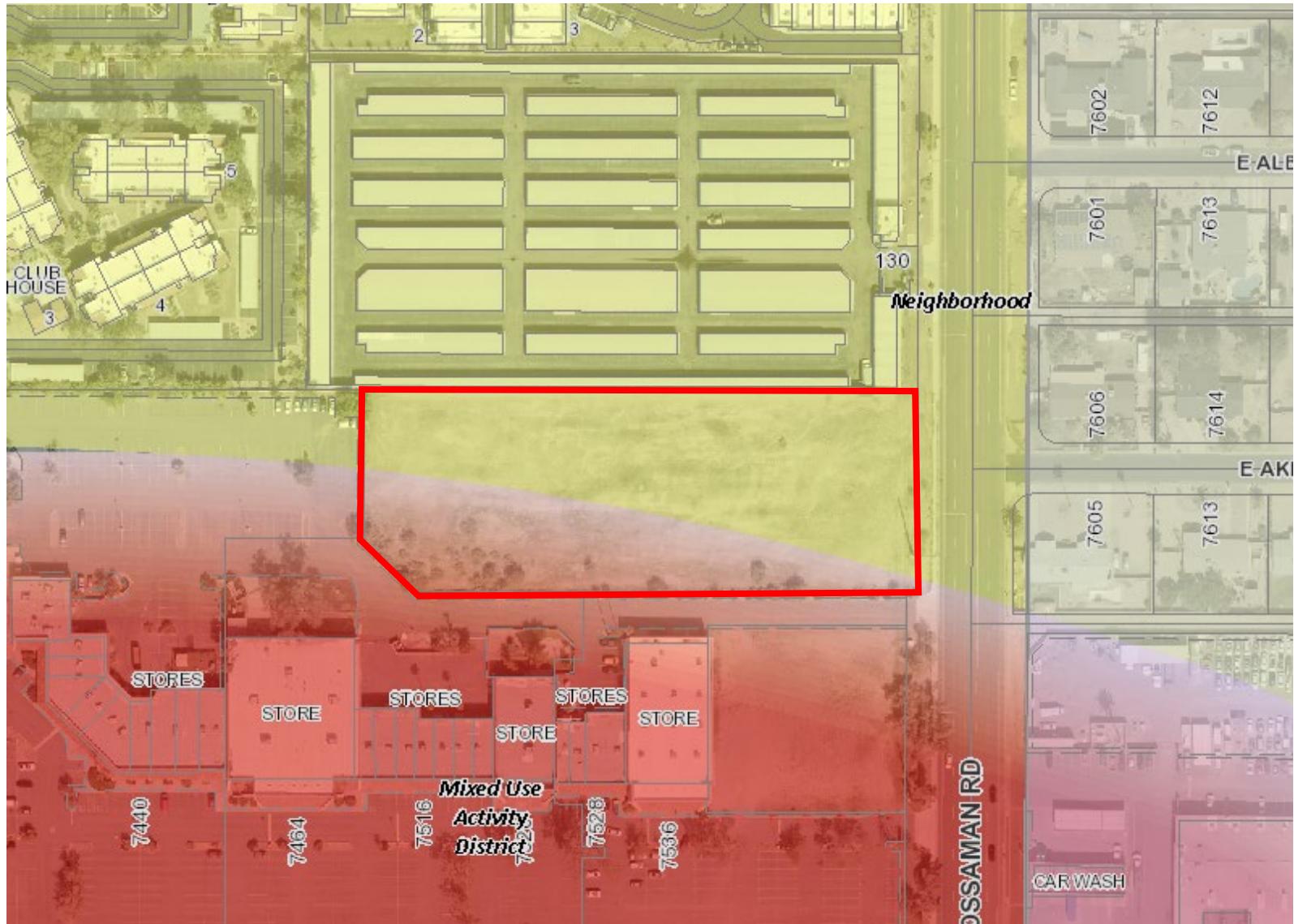


545 Feet North of NWC Main Street and Sossaman Road – Mesa, AZ

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TAB 2

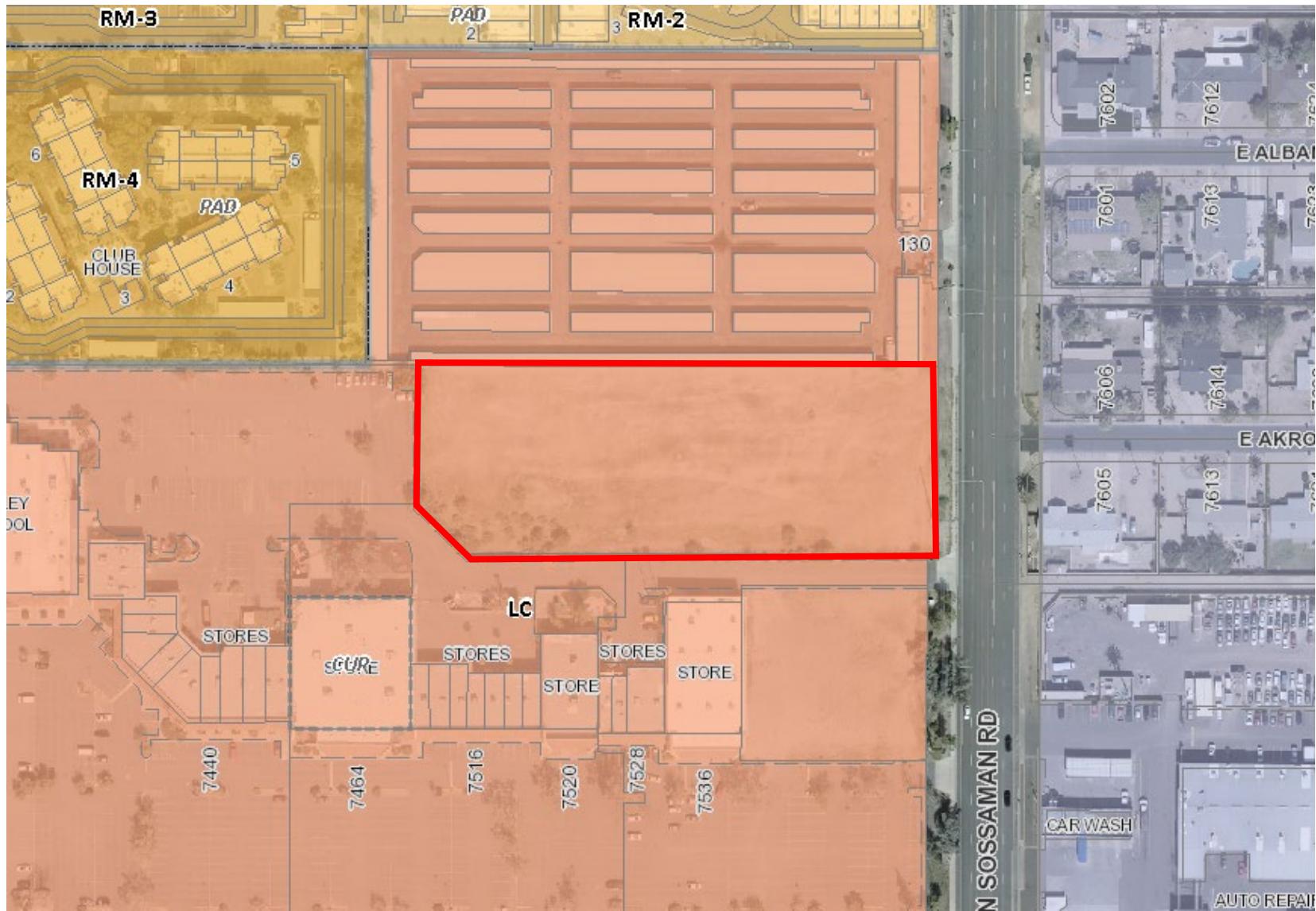
General Plan Map



545 Feet North of NWC Main Street and Sossaman Road – Mesa, AZ

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Zoning Map

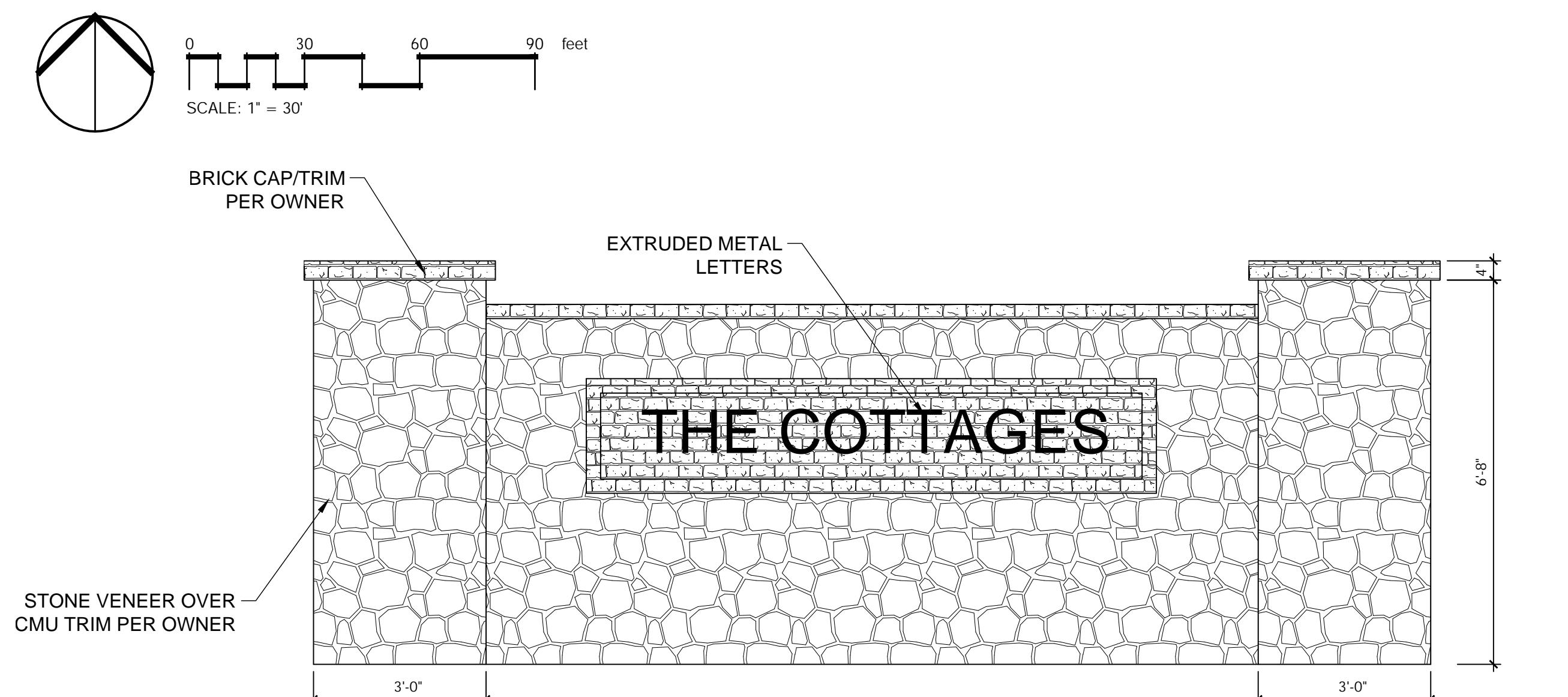
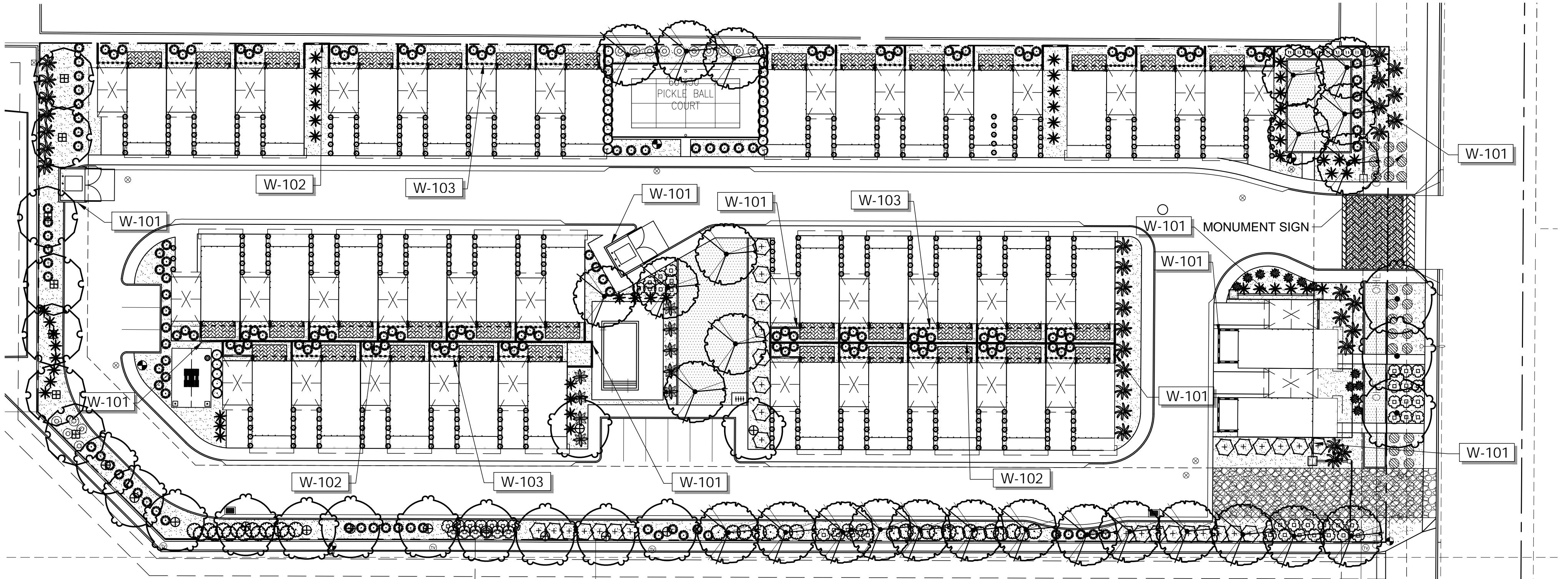


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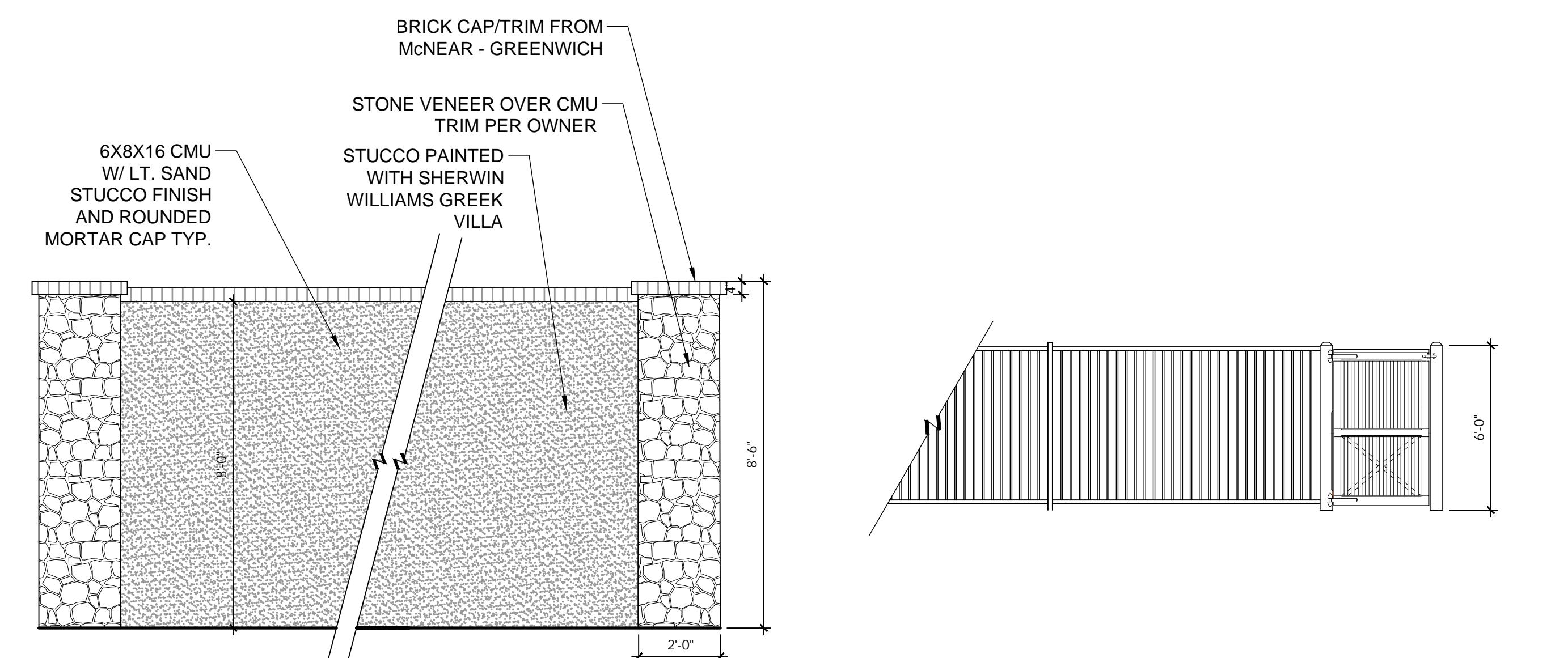
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SOSSAMAN TOWNHOMES

NWC SOSSAMAN & MAIN MESA, ARIZONA



2 MONUMENT SIGN
1/2" = 1'-0"
P-CO-GAR-SOSS-02



1 THEME WALL
3/8" = 1'-0"
3 WROUGHT IRON FENCE WITH GATE
1/4" = 1'-0"
P-CO-GAR-SOSS-01

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
TREES			
	Olea europaea 'Fruitless' Fruitless Olive	36" Box	26
SHRUBS			
	Pistacia x 'Red Push' Pistache	24" box	3
	Quercus virginiana 'Heritage' Heritage Southern Live Oak	24" Box	7
	x Chitalpa tashkentensis 'Pink Dawn' Pink Dawn Chitalpa	24" Box	13
GROUND COVERS			
	Agave desmettiana Dwarf Century Plant	5 gal.	12
	Agave geminiflora Century Plant	5 gal.	337
	Carissa macrocarpa 'Boxwood' Beauty	5 gal.	27
	Carissa macrocarpa 'Green Carpet' Green Carpet Natal Plum	1 gal.	53
	Dasyllirion longissimum Toothless Desert Spoon	5 gal.	32
	Dodonaea viscosa 'Purpurea' Purple Leafed Hopseed Bush	5 gal.	36
	Hesperaloe parviflora Red Yucca	5 gal.	49
	Lantana montevidensis 'New Gold' Trailing Lantana	1 gal.	25
	Muhlenbergia capillaris 'Regal Mist' TM	5 gal.	187
	Phoenix roebelenii Pigmy Date Palm Multi-Trunk	5 gal.	9
	Ruellia penninsularis Wild Petunia	5 gal.	15
	Russelia equisetiformis Firecracker Plant	5 gal.	9
	Tecoma stans angustata Yellow Bells	5 gal.	30
ROCK			
	Cynodon dactylon 'Midiron' Bermuda Grass	3,368 sf	

LANDSCAPE CALCULATIONS

Total Open Space Area	21,298 Square Feet	
Plant Material Coverage	16,476 Square Feet (77%)	
Total Parking lot trees	1	
Foundation base length	0	
	REQUIRED	PROVIDED
Street Frontage Trees	5	5
36" Street Frontage Trees	2	2
Ocotillo substitution	N/A	N/A
24" Street Frontage Trees	3	3
Street Frontage Shrubs	48	58
5 Gal. Street Frontage Shrubs	24	30
36" box parking lot trees	1	1
Perimeter trees	12	12
Perimeter shrubs	80	80
Foundation base trees required	7	19
36" box foundation base trees	1	6
Foundation base LF required	122 (33%)	343 (94%)

MAXIMUM LOT COVERAGE - 70%
MAXIMUM BUILDING COVERAGE - 45%
REQUIRED OPEN SPACE - 7400 SF

REFERENCE NOTES SCHEDULE

SYMBOL	CONCRETE CURB DESCRIPTION
C-101	New 6" Mowstrip
WALL	
SYMBOL	DESCRIPTION
W-101	Theme Wall - 6 Feet in height
W-102	Std. Fence Block Builder Wall - 6 Feet in height
W-103	Wrought Iron View Fence with gate - 6 Feet in height
SYMBOL	DESCRIPTION
	DECORATIVE PAVEMENT TO BE SELECTED BY OWNER
SYMBOL	ROCK DESCRIPTION
	1/2" screened decomposed granite. Express Carmel color at 2" Depth.
	1/4" Minus Stabilized Decomposed Granite Table Mesa Brown in color 2" depth

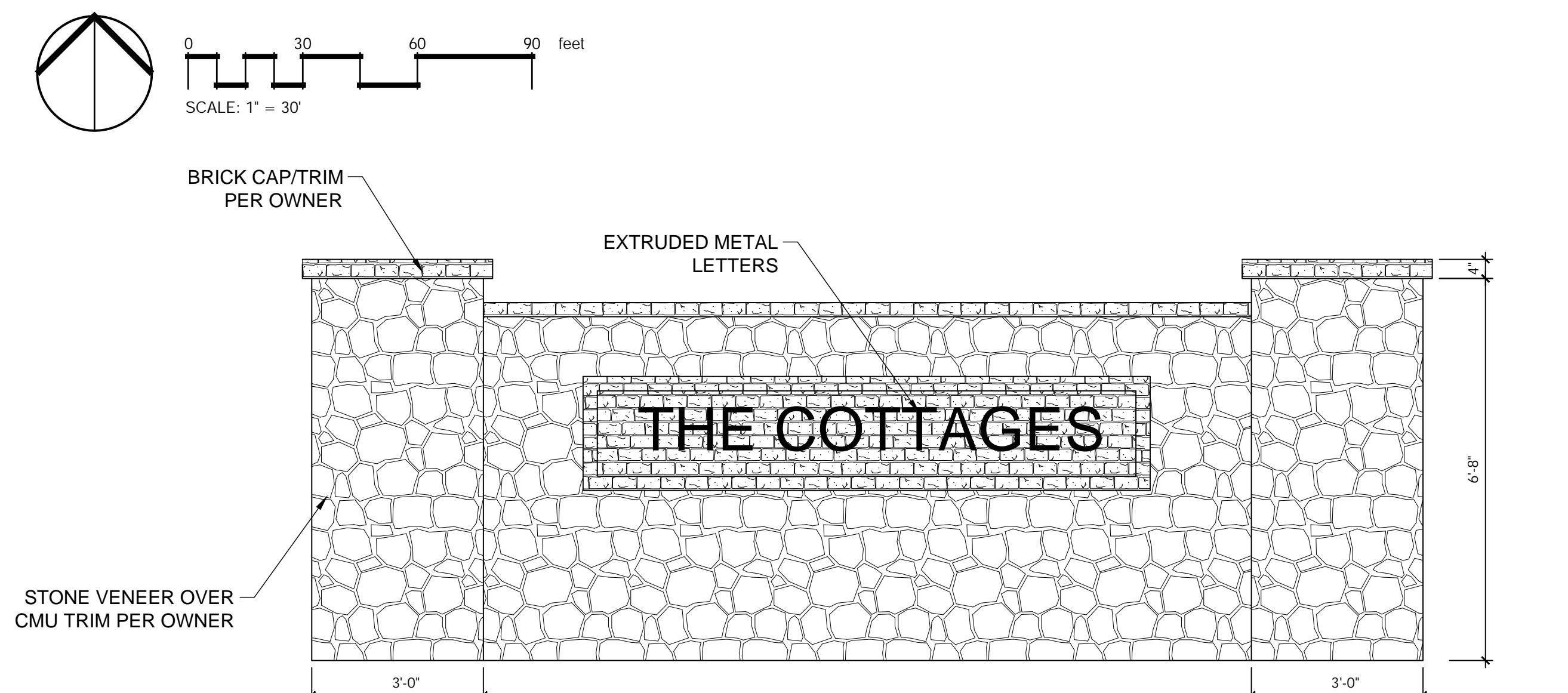
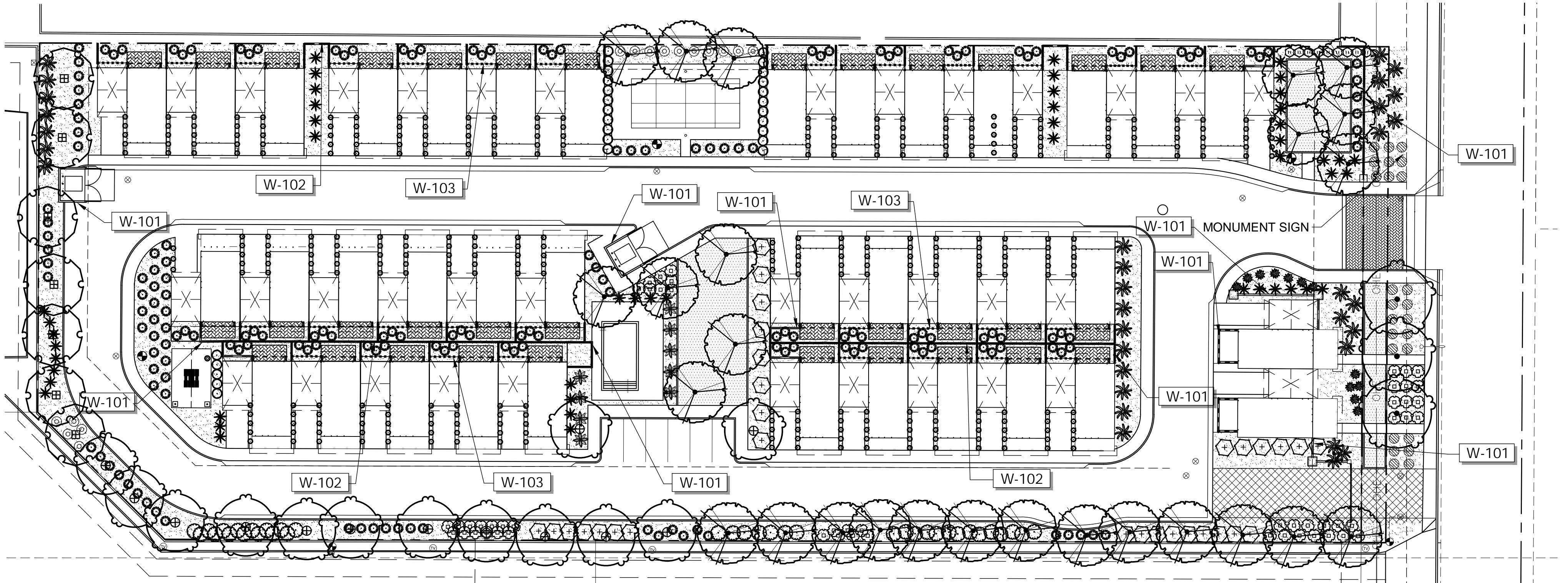
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Sheet Title:
PRELIMINARY
LANDSCAPE
PLAN

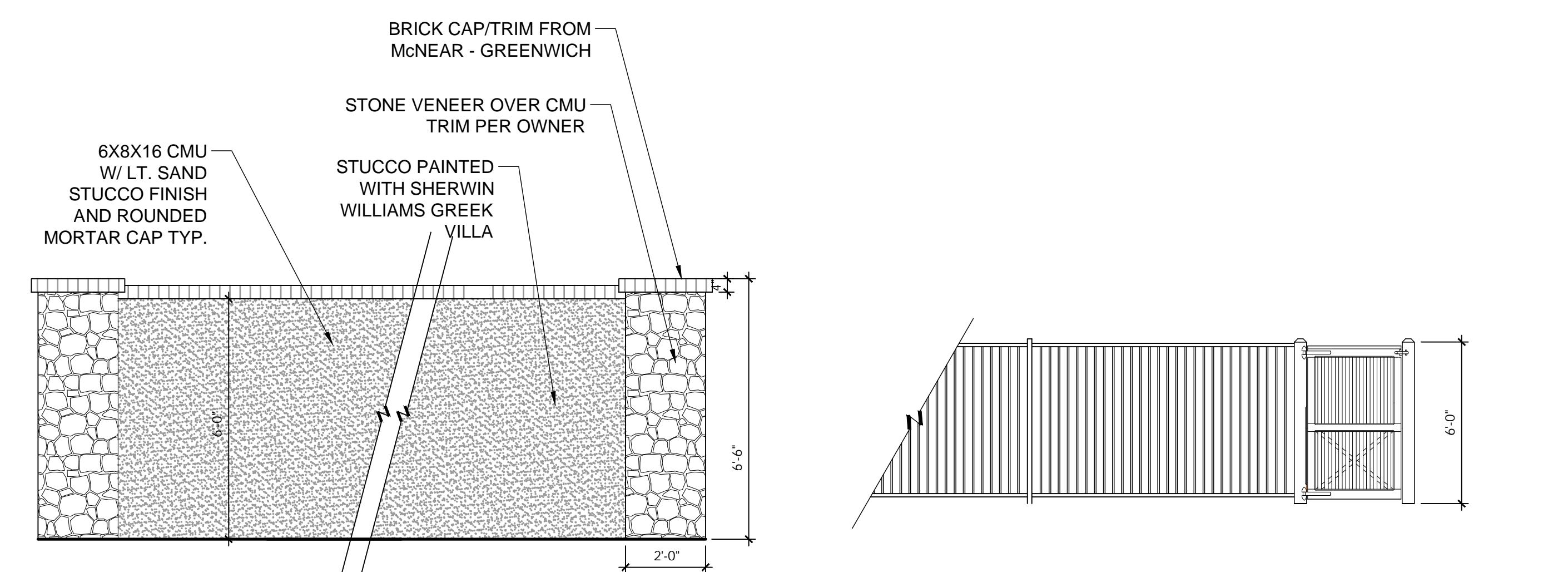
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SOSSAMAN TOWNHOMES

NWC SOSSAMAN & MAIN MESA, ARIZONA



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	1/4" Minus Stabilized Decomposed Granite Table Mesa Brown in color 2" depth

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Sheet Title:
PRELIMINARY
LANDSCAPE
PLAN

Sheet:

STRUCTURAL NOTES

GENERAL

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ALL DISCREPANCIES TO AMBASSADOR ENGINEERING, LLC PRIOR TO CONSTRUCTION FABRICATION OF STRUCTURAL MEMBERS.
- NOTES AND DIMENSION SHOWN ON STRUCTURAL PLANS TAKE PRECEDENCE OVER DRAWING SPECIFICATIONS NOTED ABOVE.
- NOTES AND DETAILS ON PLANS TAKE PRIORITY OVER GENERAL NOTES.
- SHOP DRAWINGS, CONCRETE MIX DESIGNS, OR OTHER ENGINEERED DESIGNS SUBMITTED FOR REVIEW AND APPROVAL SHALL BEAR THE STAMP OF A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THIS PROJECT IS LOCATED.
- THESE STRUCTURAL DOCUMENTS REPRESENT THE FINISHED STRUCTURE, UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF THE STRUCTURE DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: TEMPORARY LATERAL BRACING AND SNORKELING; DISTRIBUTION AND SUPPORT OF CONSTRUCTION MATERIALS; PROTECTION FROM ELEMENTS LIKE WIND, RAIN, SNOW, ETC.
- WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.

DESIGN CRITERIA

BUILDING CODE:
2006 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL AMENDMENTS. ALL WORK SHALL COMPLY WITH THE MINIMUM STANDARDS IN THE CODE AND AMENDMENTS NOTED ABOVE.

SOILS INFORMATION:

RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT NO. 143535G ISSUED BY GEOTECHNICAL TESTING & INSPECTION, INC. ON JULY 9, 2014, WERE USED IN THE DESIGN OF THE FOUNDATION.

WIND	SEISMIC
BASIC WIND SPEED (3-SEC GUST): 90 MPH	SEISMIC IMP. FACTOR: 1.0
WIND IMP. FACTOR: C	SITE CLASS: D
WIND EXPOSURE: C	SEISMIC DESIGN CAT: B

CONCRETE

SPECIFIED 28-DAY COMPRESSIVE STRENGTH f_c SHALL MEET OR EXCEED THE FOLLOWING, UNO-UNEXPOSED FOUNDATION WALLS AND FOOTINGS 2,500 PSI;
EXPOSED FOUNDATION WALLS, BASEMENT WALLS, AND SITE WALLS 3,000 PSI;
EXTERIOR SLABS-ON-GRADE 3,000 PSI

- CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED LABORATORY AND SEALED BY A LICENSED ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED. MIX DESIGNS SHALL BE SUBMITTED TO OWNER FOR APPROVAL.
- CONCRETE CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH ACI 318 AND APPLICABLE CODE AND JURISDICTIONAL AMENDMENTS.
- WHERE FOOTING DIMENSIONS ARE NOT PROVIDED, EXTEND FOOTING A MINIMUM OF 3' BEYOND FACE OF WALL OR PIER ABOVE.
- CONCRETE MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS: TYPE II PORTLAND CEMENT, ASTM C150; POZZOLANIC ASH - ASTM C616; AGGREGATE - ASTM C33; WATER - ASTM C1802; ADMIXTURES (NON-CHLORIDE ONLY) - ASTM C494, ASTM C1017, ASTM C260; REINFORCING BARS (GRADE 60) - ASTM A615; WELDED DEFORMED WIRE - ASTM A497; WELDED PLAIN WIRE - ASTM A183.
- THOROUGHLY CONSOLIDATE AND WORK ALL CONCRETE AROUND EMBEDDED ITEMS AND TIGHT TO CORNERS OF FORMS WHEN PLACED, U.N.O.
- SECURE ALL REINFORCING BARS, ANCHOR BOLTS, HOLDOWN DEVICES, AND OTHER INSERTS INTO POSITION PRIOR TO CONCRETE PLACEMENT. SEE DETAILS ON PLANS AND/OR MANUFACTURER'S SPECIFICATIONS FOR LOCATION, POSITION, AND ALIGNMENT OF EMBEDDED STRUCTURAL ITEMS.
- CONCRETE SHALL BE PLACED IN A CONTINUOUS OPERATION UNTIL SECTION BETWEEN PREDETERMINED CONSTRUCTION JOINTS IS COMPLETED.
- CURE ALL CONCRETE IN A MOIST CONDITION FOR THE FIRST 7 DAYS FOLLOWING PLACEMENT.
- COLD WEATHER CONCRETE PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 306R.
- HOT WEATHER CONCRETE PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 305R.
- FORM WORK AND SUPPORTS SHALL BE DESIGNED BY OTHERS TO PREVENT DAMAGE AND BODILY HARM.
- SPLICE REINFORCING BARS AS SHOWN ON THE STRUCTURAL DRAWINGS OR IN ACCORDANCE WITH CLASS "B" TENSION SPLICE PER ACI-318.
- DETAIL, FABRICATE, LABEL, AND INSTALL ALL REINFORCING STEEL IN ACCORDANCE WITH ACI 318.
- PROVIDE BENT CORNER BARS MATCHING SIZE AND NUMBER OF HORIZONTAL REINFORCING BARS. PROVIDE 48 BAR DIAMETER LAP SPLICE AT ALL CORNER BAR LOCATIONS.
- ANCHOR BOLTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM A307, U.N.O.

MASONRY

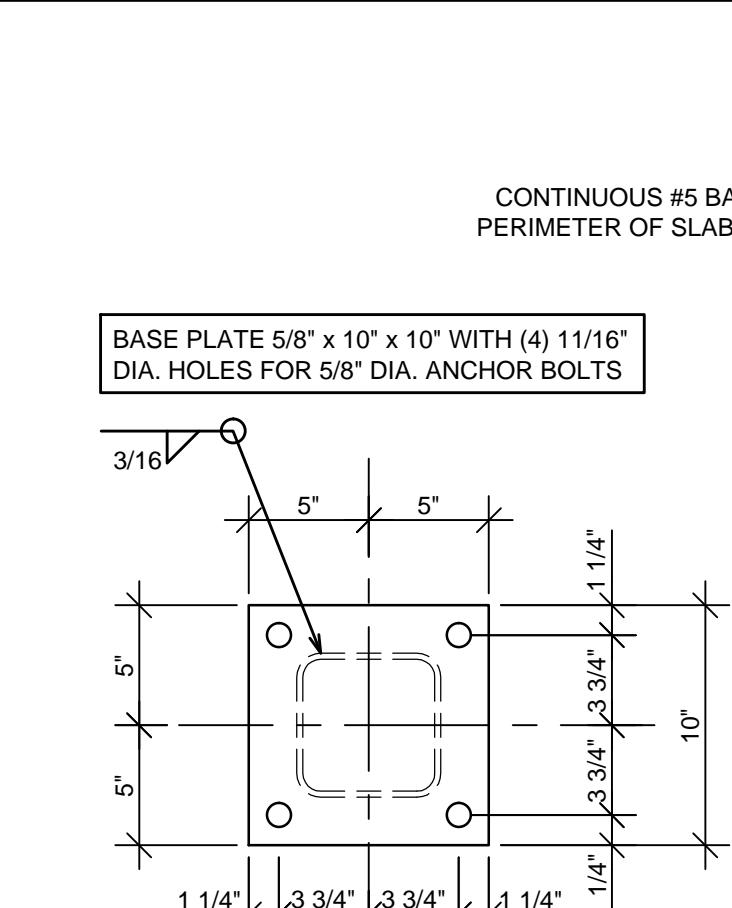
CMU:	$f_m = 1,500 \text{ PSI}$, ASTM C90
MORTAR:	TYPE S, ASTM C270
GROUT:	$f_g = 2,000 \text{ PSI}$, ASTM C476
BAR REINFORCING STEEL:	Fy = 60 KSI
WIRE REINFORCING STEEL:	Fy = 80 KSI

- CONCRETE MASONRY UNITS SHALL BE LAID IN RUNNING BOND PATTERN, U.N.O.
- VERTICAL CONTROL JOINTS SHALL BE INSTALLED SUCH THAT NO STRAIGHT RUN OF WALL EXCEEDS 24 FEET, PROVIDE FULLY GROUTED REINFORCED CORE ON BOTH SIDES OF CONTROL JOINTS AND DISCONTINUOUS HORIZONTAL JOINT REINFORCEMENT AT THESE LOCATIONS. BOND BEAM REINFORCEMENT AND FOOTING REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTROL JOINTS.
- CORNER BARS MATCHING BOND BEAM REINFORCEMENT SHALL BE INSTALLED AT ALL INTERSECTION WALL LOCATIONS WITH A MINIMUM LAP OF 48 BAR DIAMETERS WITH BOND BEAM REINFORCEMENT.
- THOROUGHLY CONSOLIDATE AND WORK ALL GROUT AROUND REINFORCEMENT STEEL AND EMBEDDED ITEMS WHEN PLACED, U.N.O.
- SECURE ALL REINFORCING BARS, ANCHOR BOLTS, HOLDOWN DEVICES, AND OTHER INSERTS INTO POSITION PRIOR TO CONCRETE PLACEMENT. SEE DETAILS ON PLANS AND/OR MANUFACTURER'S SPECIFICATIONS FOR LOCATION, POSITION, AND ALIGNMENT OF EMBEDDED STRUCTURAL ITEMS.
- PROVIDE 48 BAR DIAMETER LAP SPLICES AT ALL HORIZONTAL AND VERTICAL REINFORCING BARS.
- ANCHOR BOLTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM A307, U.N.O.

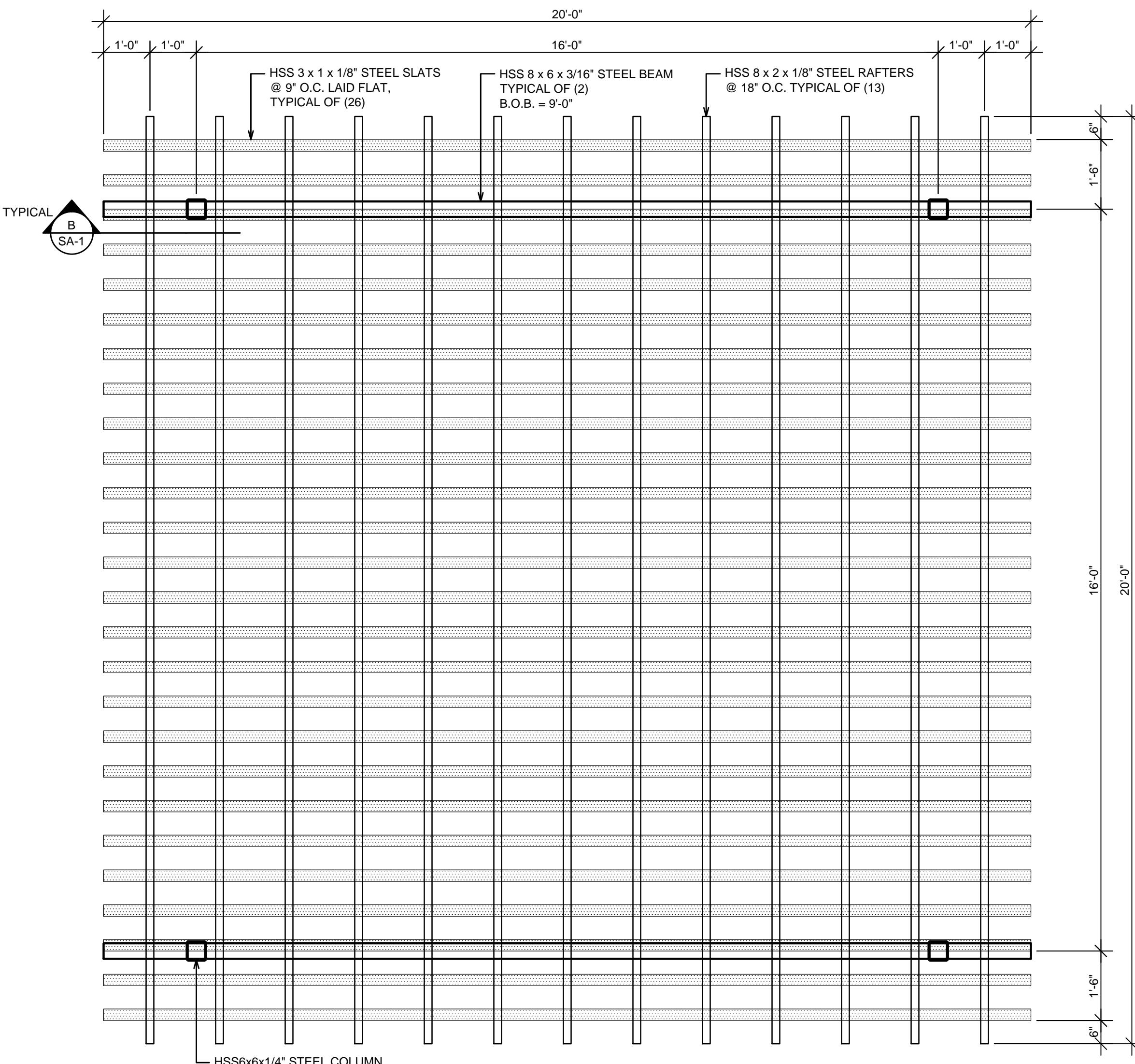
STEEL

STEEL PLATES: ASTM A36

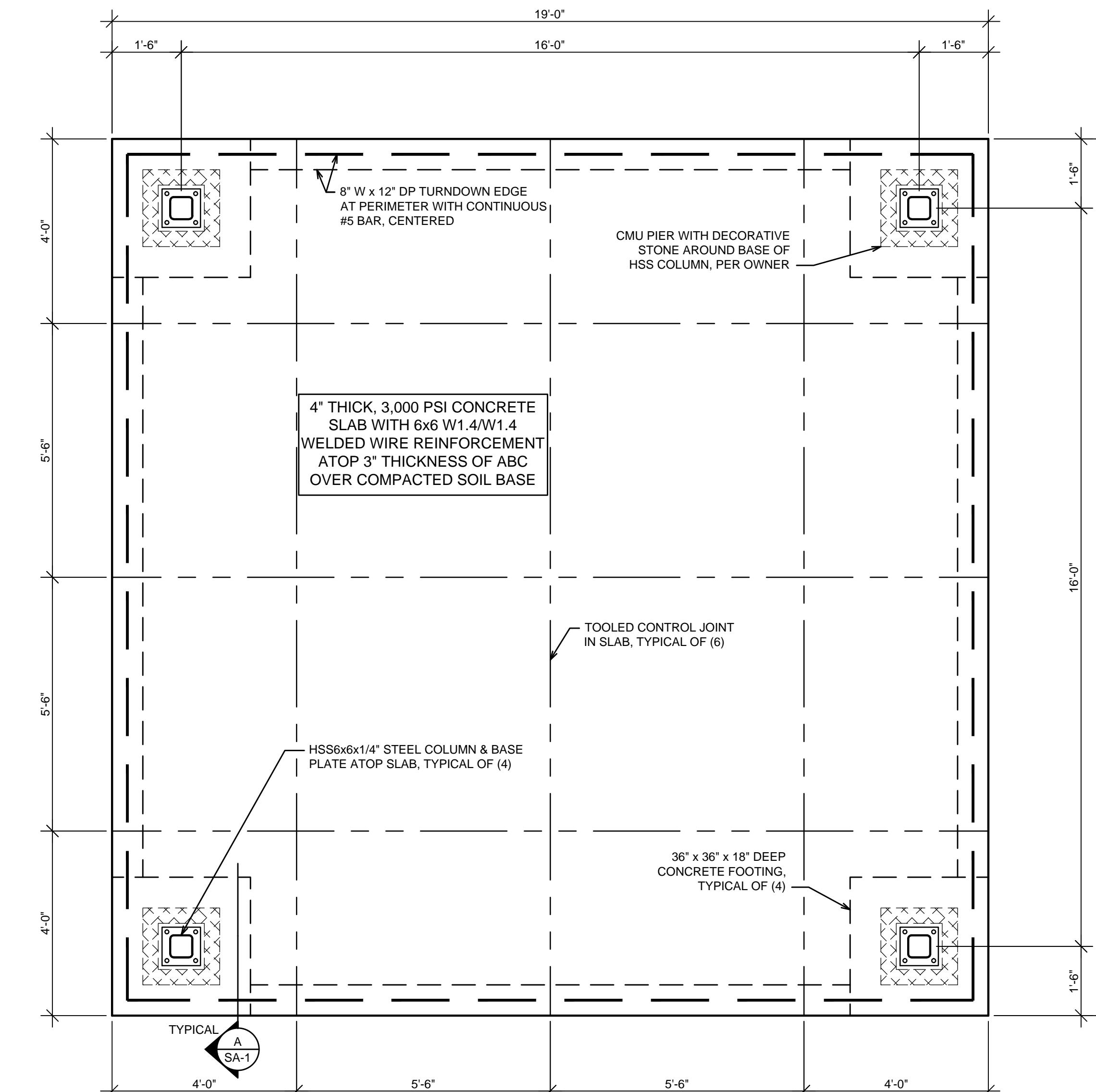
HOLLOW STEEL SECTIONS (HSS): ASTM A500 GR. B
WELDS: SHOP WELD PRIOR TO PAINTING WITH E70XX ELECTRODE
SCREWS: 1/4" DIAMETER, SELF-DRILLING (ITW BUILDEX TEKS FASTENER, OR EQUAL)
BOLTS: ASTM A325
FINISH: SHOP PRIMED AND PAINTED WITH NON-CORROSIVE COATING, PER OWNER



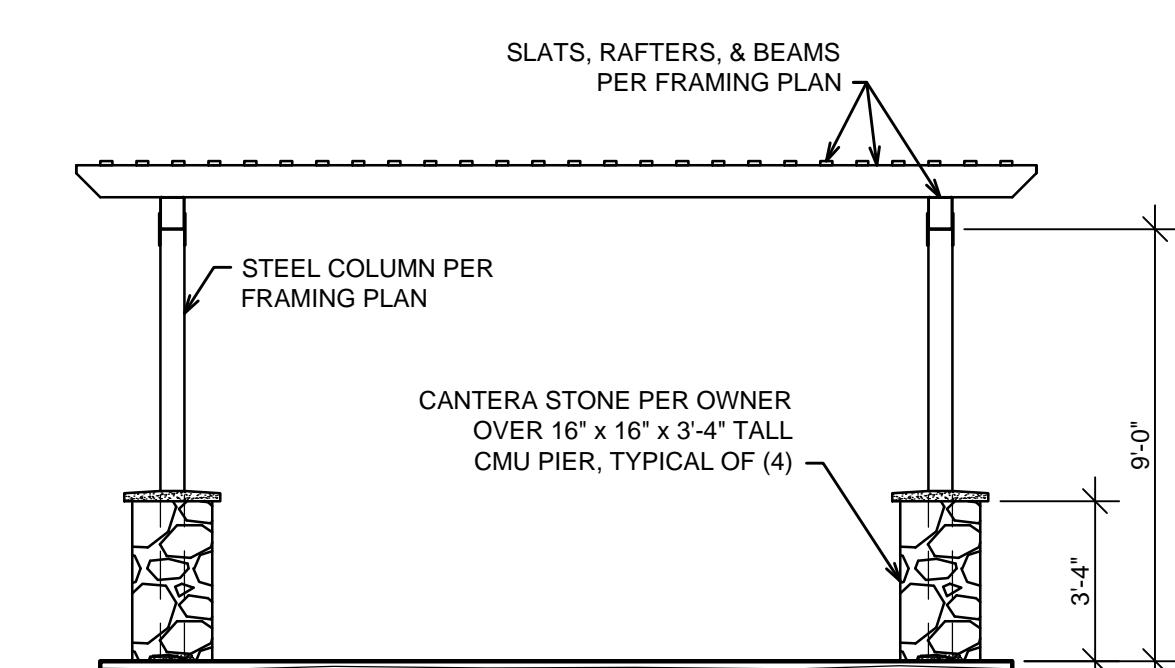
BASE PLATE
SCALE: 3" = 1'-0"



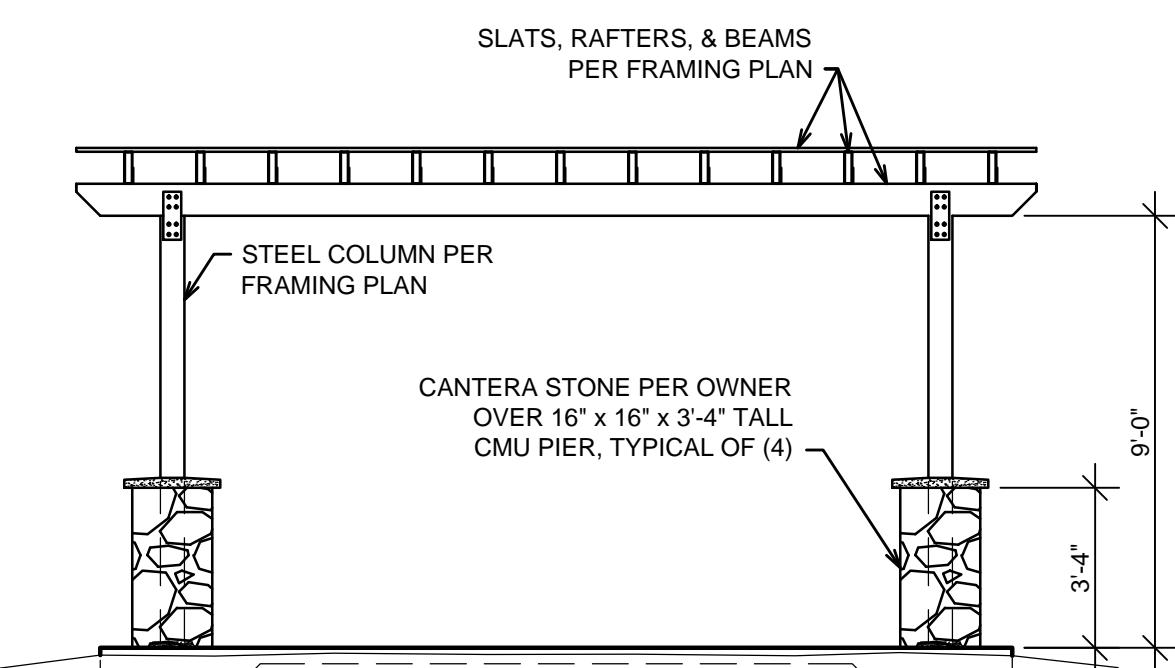
1 PERGOLA FRAMING PLAN
SCALE: 1/2" = 1'-0"



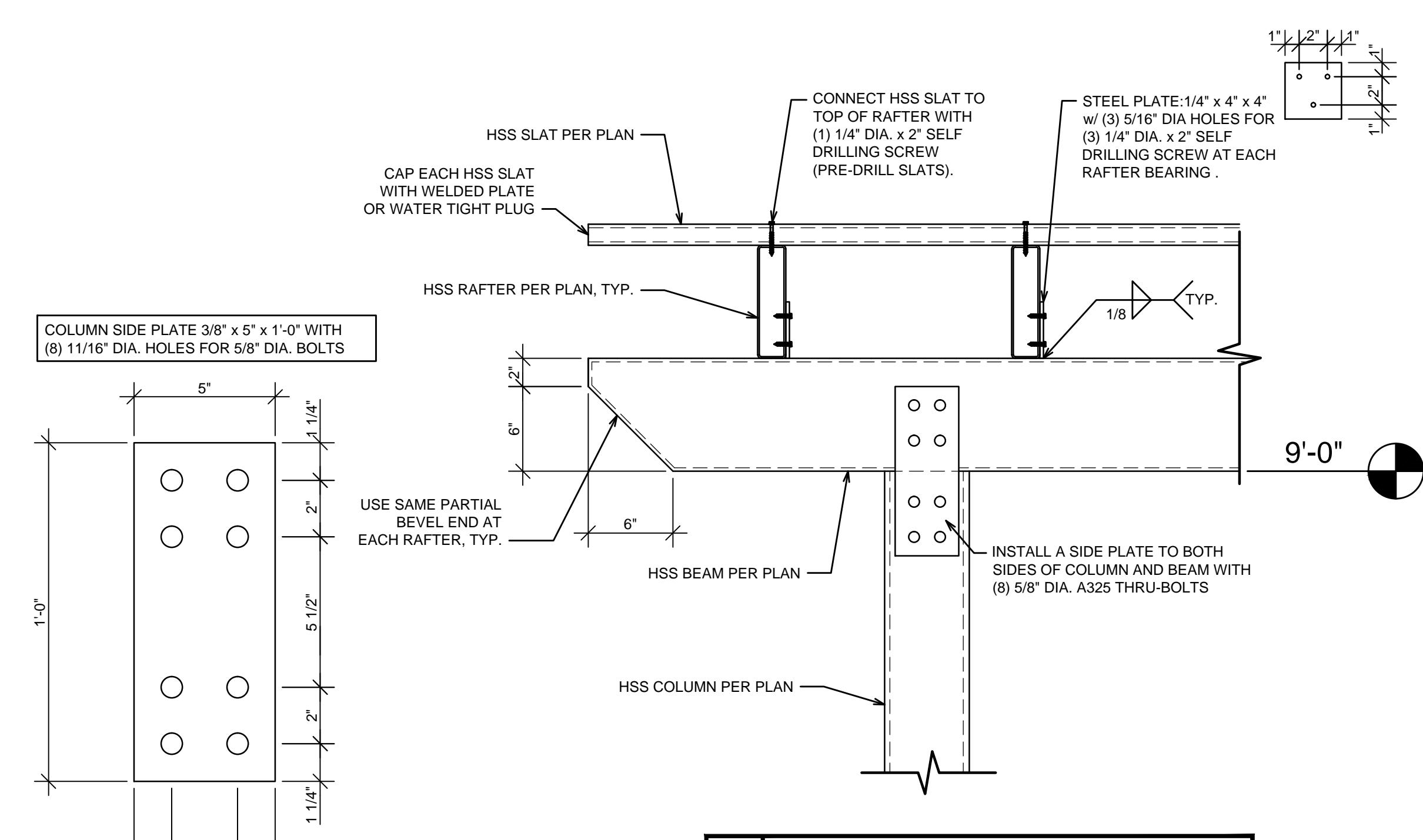
2 PERGOLA FOUNDATION PLAN
SCALE: 1/2" = 1'-0"



3 PERGOLA SIDE ELEVATION
SCALE: 1/4" = 1'-0"



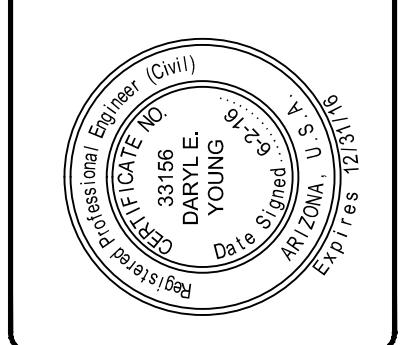
4 PERGOLA FRONT ELEVATION
SCALE: 1/4" = 1'-0"



B COLUMN, BEAM, & RAFTER DETAIL
SCALE: 1 1/2" = 1'-0"

Proj. No.: AE07-16009
Proj. Date: 4-19-16
Drawn By: dey
Proj. Mgr.: Daryl Young

AMBASSADOR
ENGINEERING, LLC
619 E. ORCHID LANE
GILBERT, ARIZONA 85296
(602) 690-3994
dyoung@ambassadorengineering.com



REVISION
ADDED FRONT & SIDE ELEVATIONS PER PLAN REVIEW
6-2-16

NO. DATE
1 6-2-16

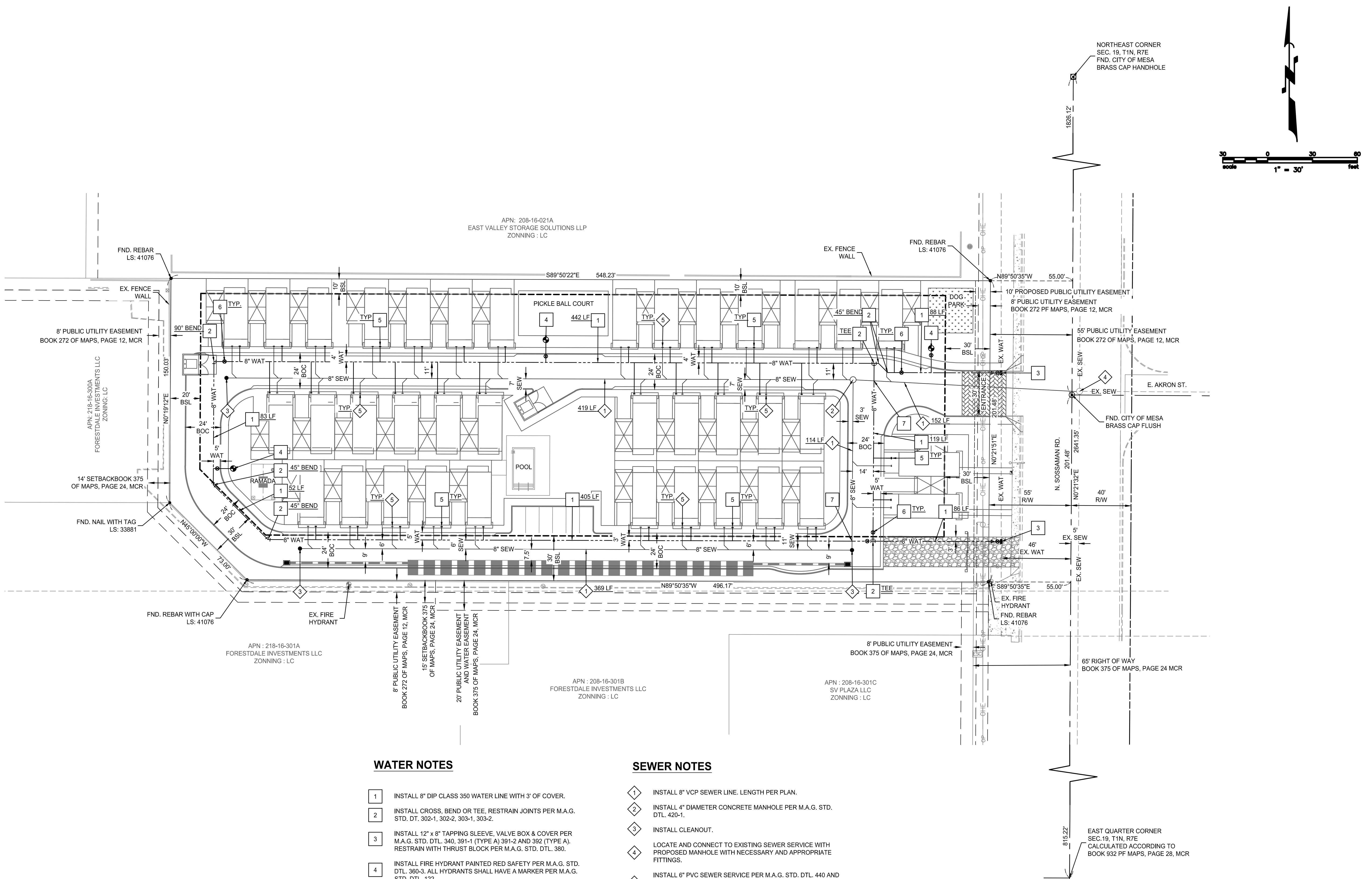
1 1/2" x 1/4"
1/2" x 1/4"
1/2" x 1/4"

1/2" x 1/4"
1/2" x 1/4"
1/2" x 1/4"
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1/2" x 1/4"
1/2" x 1/4"
1/2" x 1/4"

MESA, AZ
SITE AVENITY - PERGOLA

SHEET NUMBER
SA-1



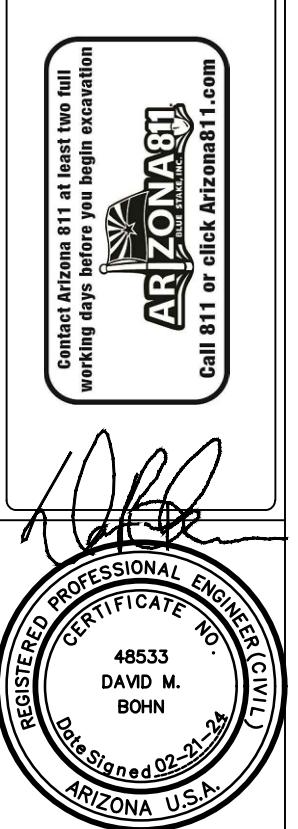
WATER NOTE

- 1 INSTALL 8" DIP CLASS 350 WATER LINE WITH 3' OF COVER.
 - 2 INSTALL CROSS, BEND OR TEE, RESTRAIN JOINTS PER M.A.G. STD. DT. 302-1, 302-2, 303-1, 303-2.
 - 3 INSTALL 12" x 8" TAPPING SLEEVE, VALVE BOX & COVER PER M.A.G. STD. DTL. 340, 391-1 (TYPE A) 391-2 AND 392 (TYPE A). RESTRAIN WITH THRUST BLOCK PER M.A.G. STD. DTL. 380.
 - 4 INSTALL FIRE HYDRANT PAINTED RED SAFETY PER M.A.G. STD. DTL. 360-3. ALL HYDRANTS SHALL HAVE A MARKER PER M.A.G. STD. DTL. 122.
 - 5 INSTALL 1" DOMESTIC WATER SERVICE, SEE PLUMBING PLAN FOR CONTINUATION.
 - 6 INSTALL 8" GATE VALVE AND BOX PER M.A.G. STD. DTL. 391-1 (TYPE A), 391-2 AND 392 (TYPE A)
 - 7 COMPLIANCE OF M.A.G. STD. DTL. 404 AND 610 AT WATER AND SEWER CROSSING IS REQUIRED. EXTRA PROTECTION (EPR) PER M.A.G. STD. DTL. 404-3 WHEN NEEDED. RESTRAIN JOINTS ON DIP WATER PER M.A.G. STD. DTL. 303.

SEWER NOTE

- 1** INSTALL 8" VCP SEWER LINE. LENGTH PER PLAN.
 - 2** INSTALL 4" DIAMETER CONCRETE MANHOLE PER M.A.G. STD. DTL. 420-1.
 - 3** INSTALL CLEANOUT.
 - 4** LOCATE AND CONNECT TO EXISTING SEWER SERVICE WITH PROPOSED MANHOLE WITH NECESSARY AND APPROPRIATE FITTINGS.
 - 5** INSTALL 6" PVC SEWER SERVICE PER M.A.G. STD. DTL. 440 AND C.O.M. STD. DTL. M-24. SEE PLUMBING PLANS FOR CONTINUATION.

7 COMPLIANCE OF M.A.G. STD. DTL. 404 AND 610 AT WATER AND SEWER CROSSING IS REQUIRED. EXTRA PROTECTION (EPR) PER M.A.G. STD. DTL. 404-3 WHEN NEEDED. RESTRAIN JOINTS ON DIP WATER PER M.A.G. STD. DTL. 303.



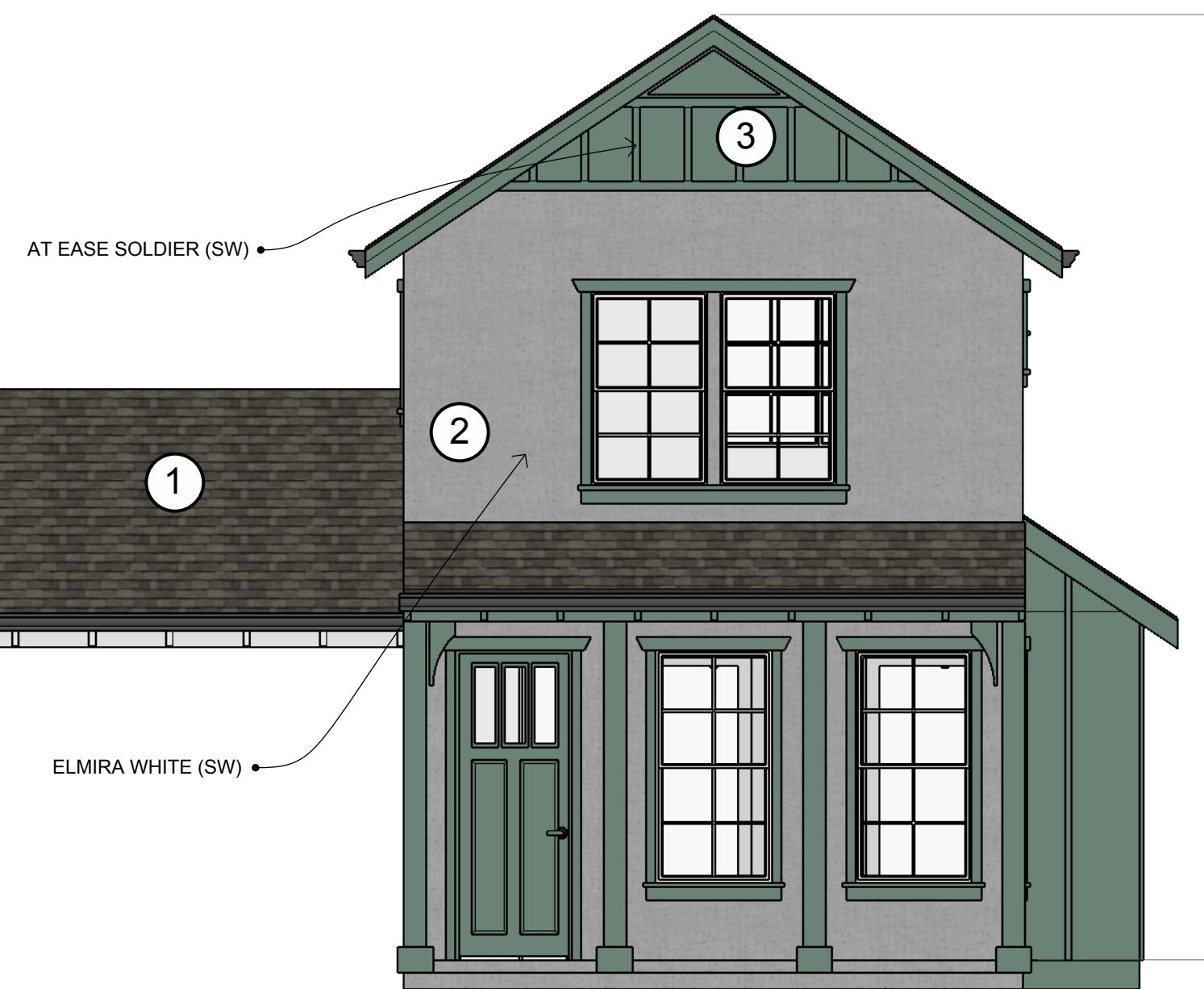
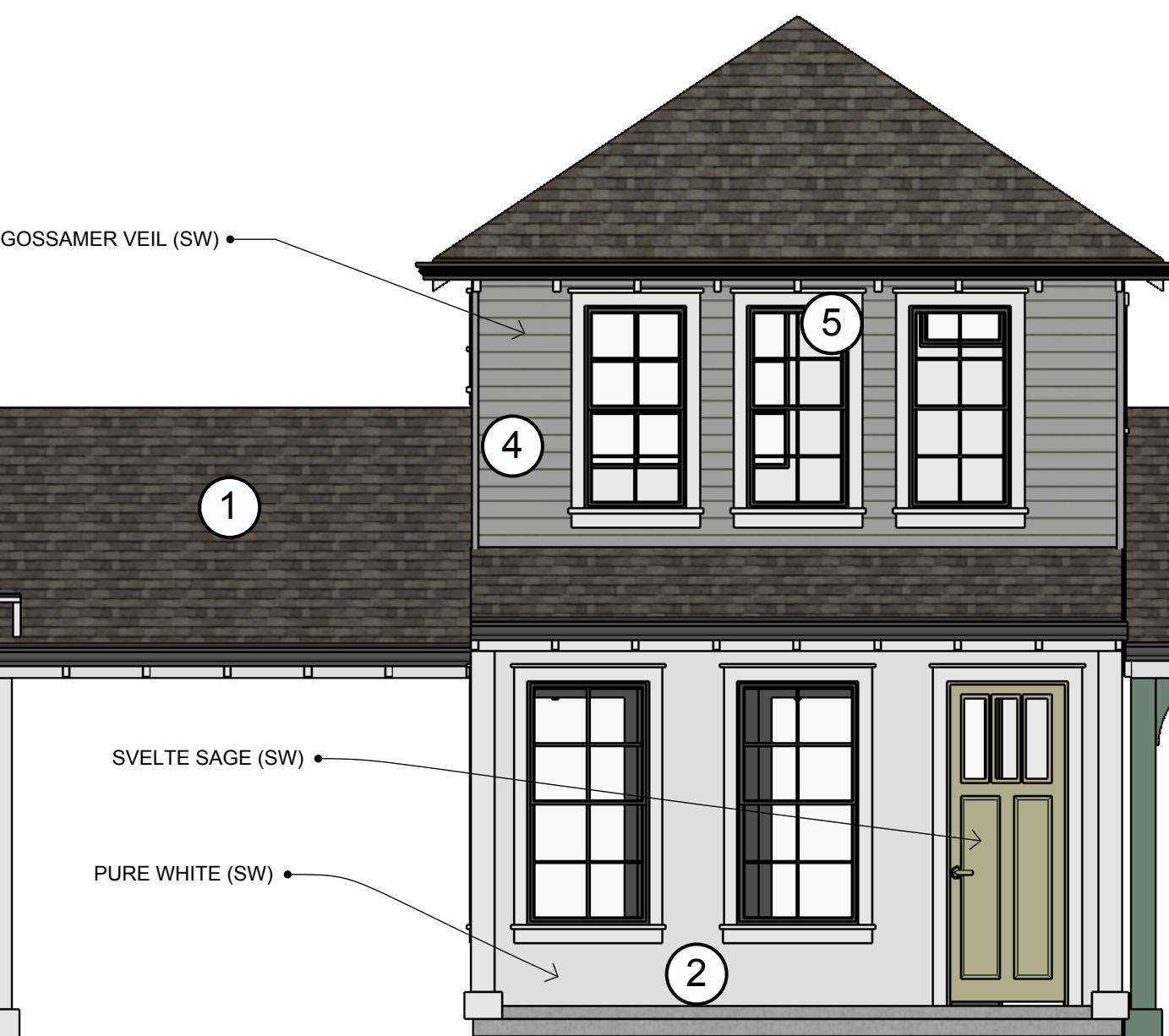
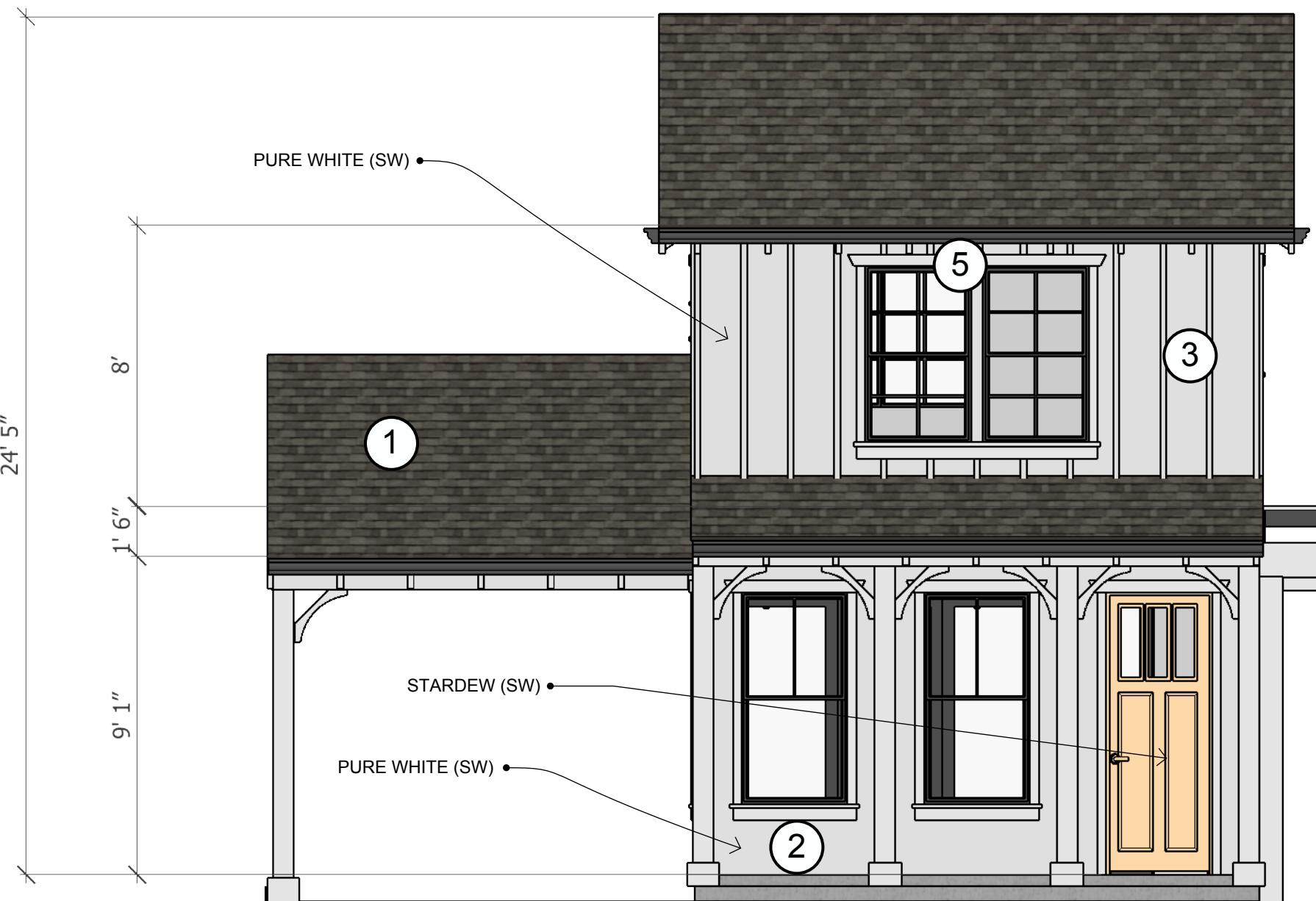
JOB NO.
202110270
PRELIM UTILITY PLAN
SHEET NO.
3
3 OF 4

CRAFT HOMES

Craft Development LLC
1806 N. Lindsay Rd.
Mesa, AZ 85213

CLIENT
RE-ISSUE

PROJECT
The Cottages
DESCRIPTION
Colored Elevations



- ① ASPHALT SHINGLES (ESR-1717)
ON ASTM D226 TYPE II #30 FELT
ON 1/2" PLTWD. ON PRE-FAB
TRUSSES OR RAFTERS @ 24" O.C.
- ② HAND TROWELED FINISH
STUCCO SYSTEM
- ③ JAMES HARDIE SIDING
ESR-1844 w/1x2 BATTEN BDS.
- ④ JAMES HARDIE SIDING
ESR-2290 HORIZONTAL SIDING
- ⑤ ALL TRIM AROUND WINDOWS IN SIDING
WALLS TO BE LP SMART TRIM



Left Elevation D1

Right Elevation A1



Rear Elevation A1

Rear Elevation B1

Rear Elevation C1

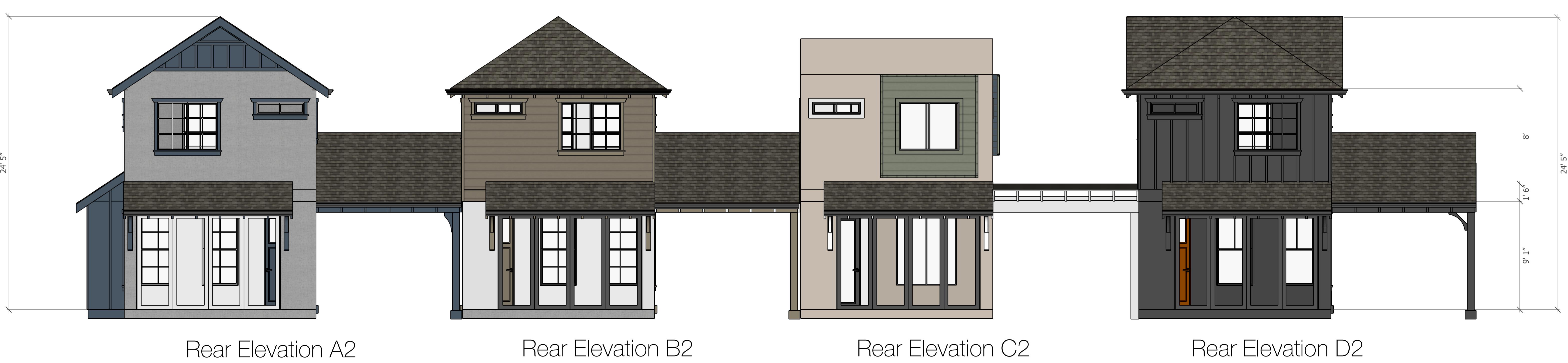
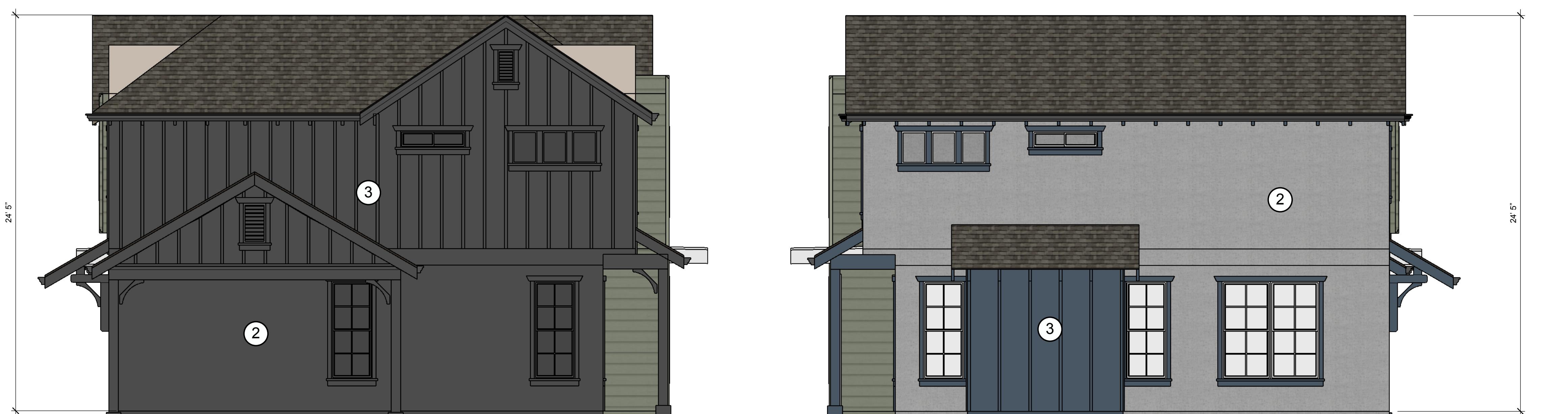
Rear Elevation D1

CRAFT HOMES

Craft Development LLC
1806 N. Lindsay Rd.
Mesa, AZ 85213

CLIENT
RE-ISSUE

PROJECT
The Cottages
DESCRIPTION
Colored Elevations

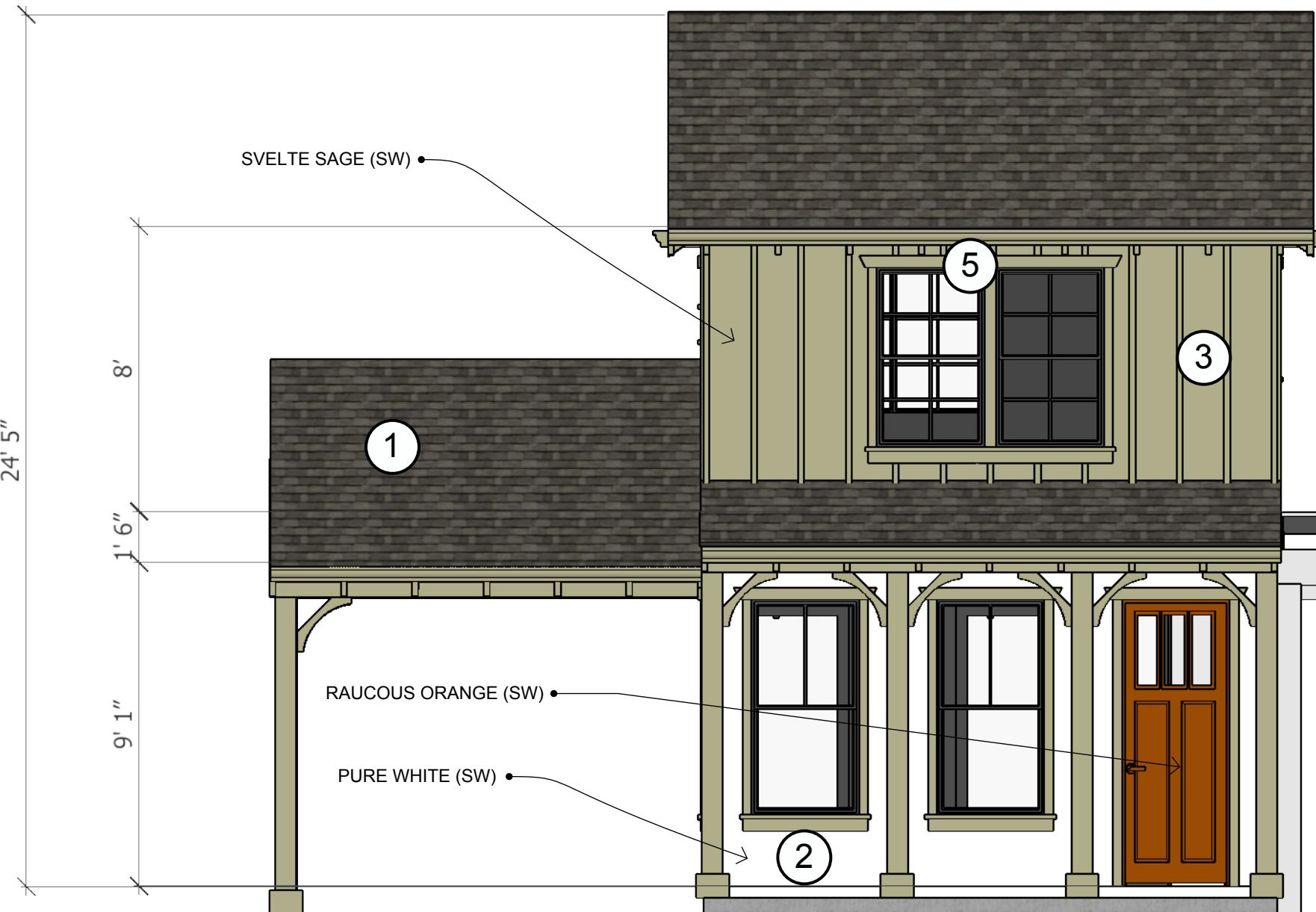


CRAFT HOMES

Craft Development LLC
1806 N. Lindsay Rd.
Mesa, AZ 85213

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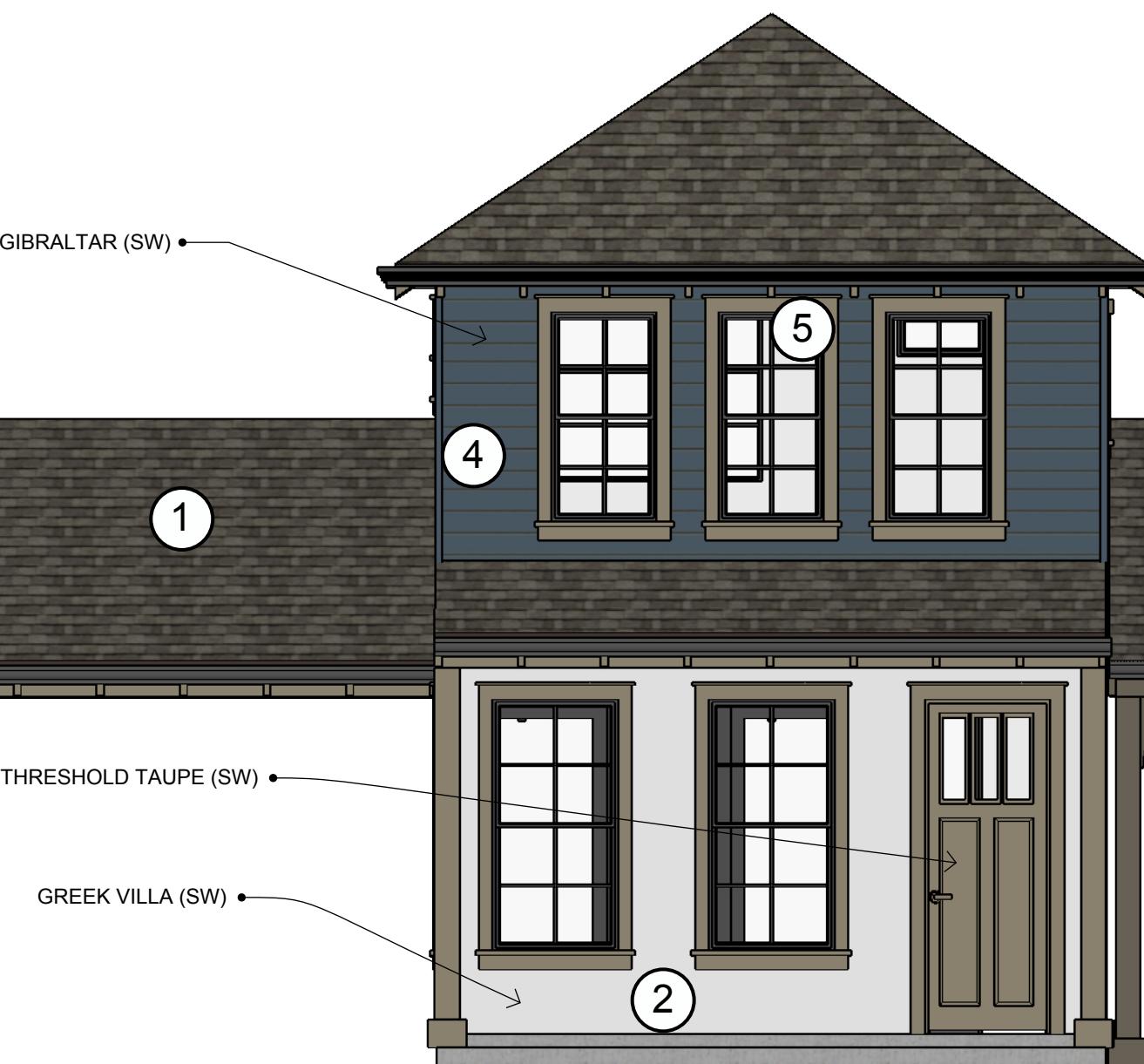
PROJECT
The Cottages
DESCRIPTION
Colored Elevations



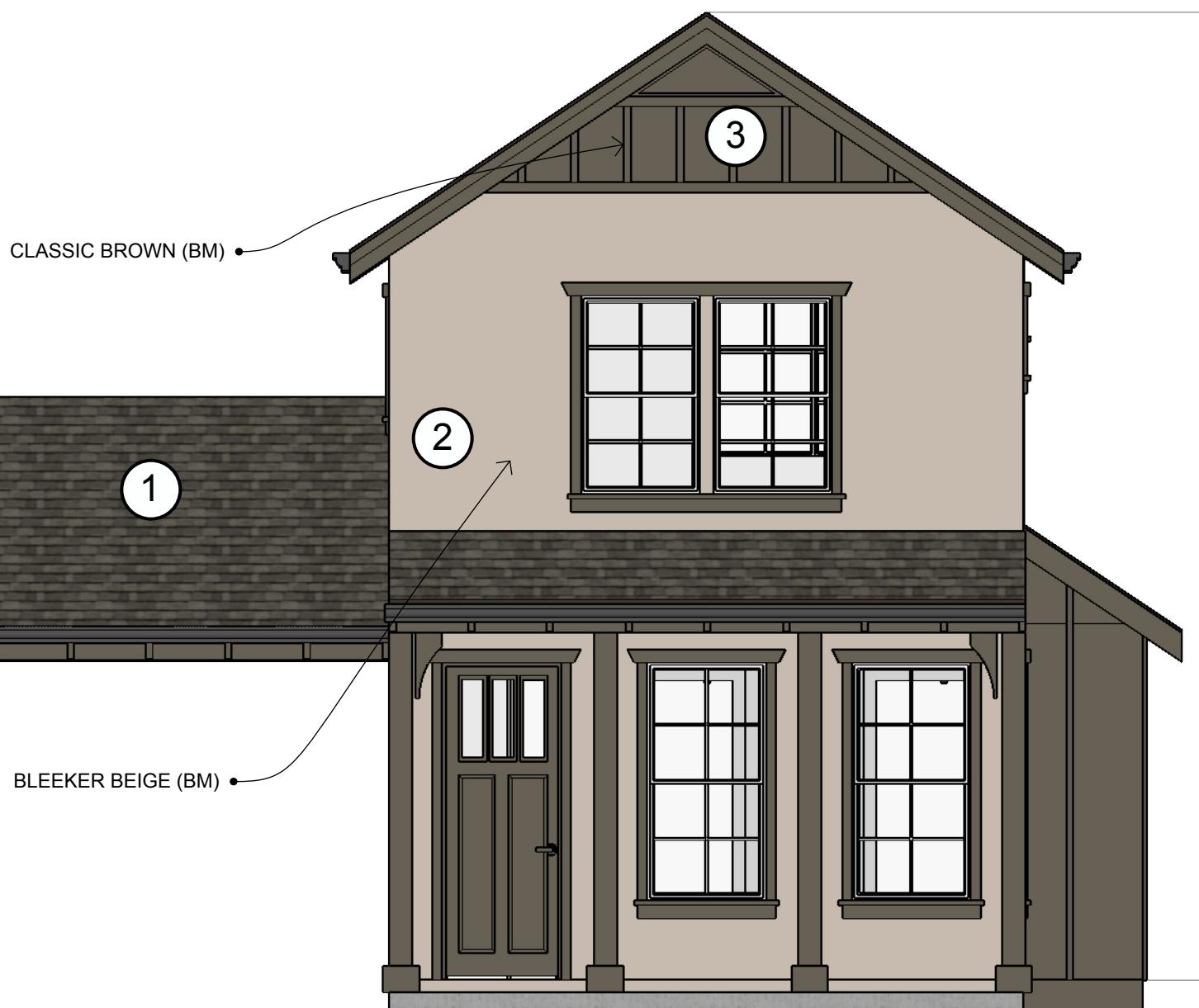
Front Elevation D3



Front Elevation C3

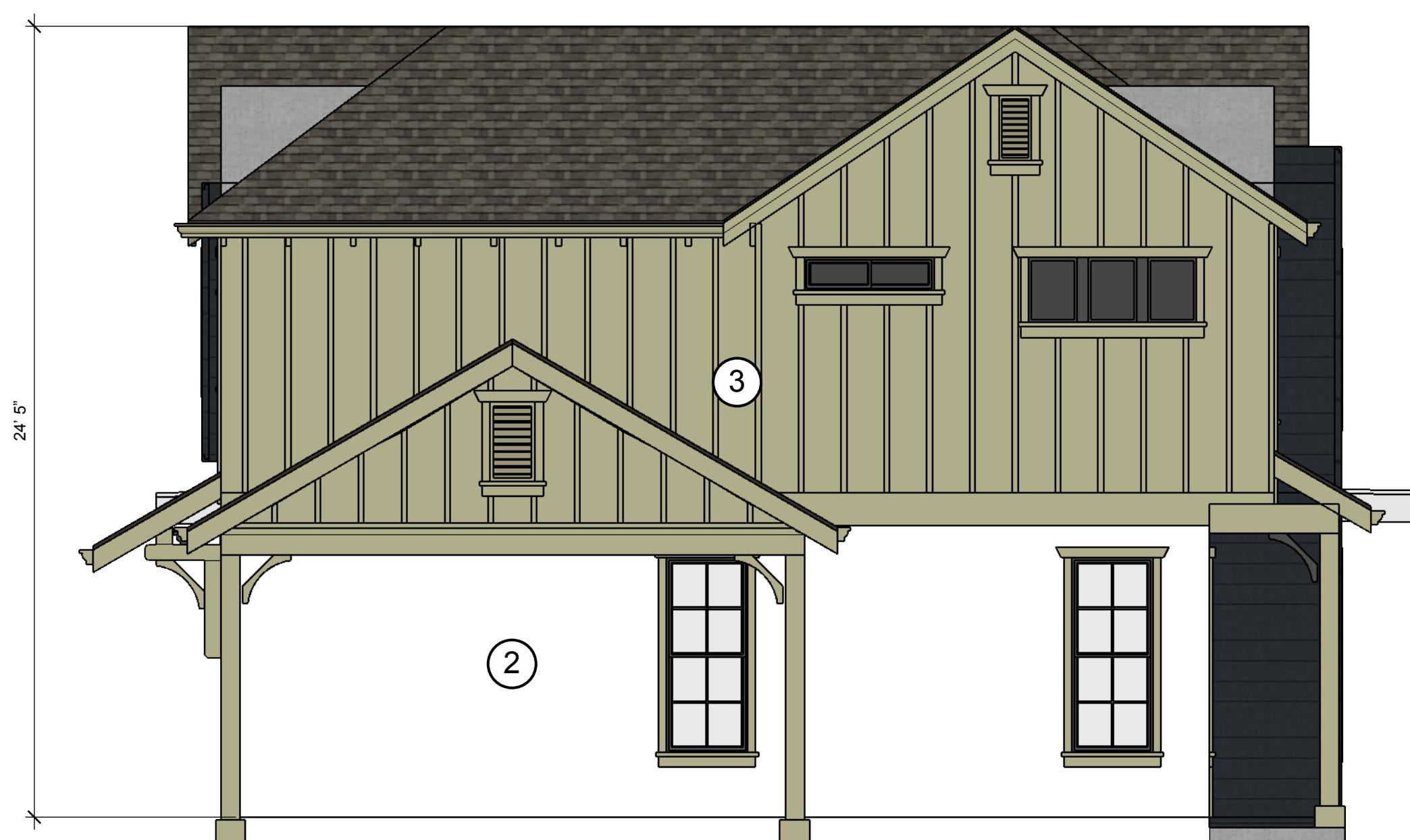


Front Elevation B3



Front Elevation A3

- ① ASPHALT SHINGLES (ESR-1717)
ON ASTM D226 TYPE II #30 FELT
ON 1/2" PLTWD. ON PRE-FAB
TRUSSES OR RAFTERS @ 24" O.C.
- ② HAND TROWELED FINISH
STUCCO SYSTEM
- ③ JAMES HARDIE SIDING
ESR-1844 w/1x2 BATTEN BDS.
- ④ JAMES HARDIE SIDING
ESR-2290 HORIZONTAL SIDING
- ⑤ ALL TRIM AROUND WINDOWS IN SIDING
WALLS TO BE LP SMART TRIM



Left Elevation D3



Right Elevation A3



Rear Elevation A3



Rear Elevation B3



Rear Elevation C3



Rear Elevation D3

REVISIONS BY
 1 KK
 2
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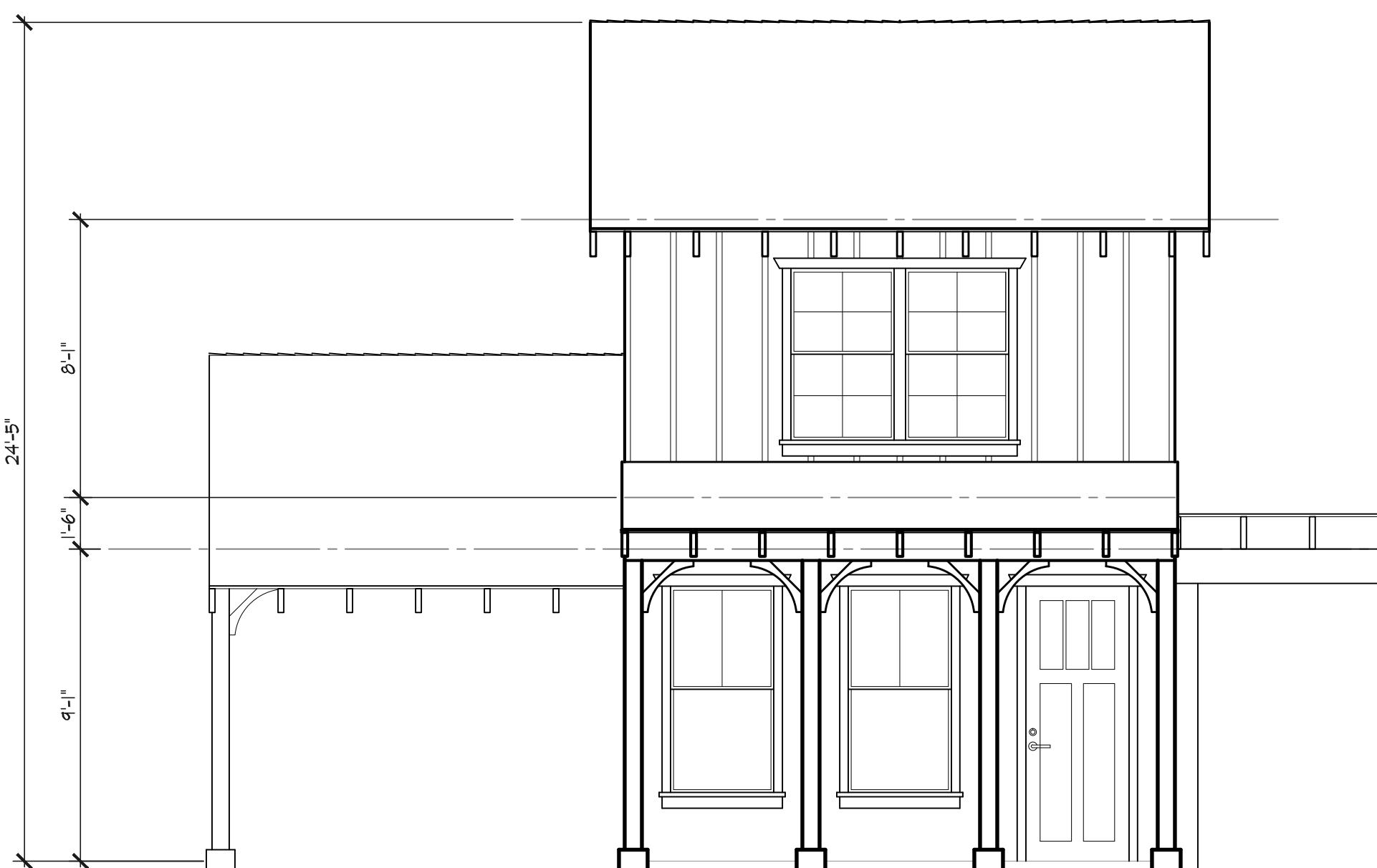
KING CUSTOM DESIGN
 1230 N 10TH ST.
 TUCSON, AZ 85701
 602.999.4440

MULTI-PLEX TOWNHOUSES
 SOUTHERN COTTAGES
 NESTA AZ

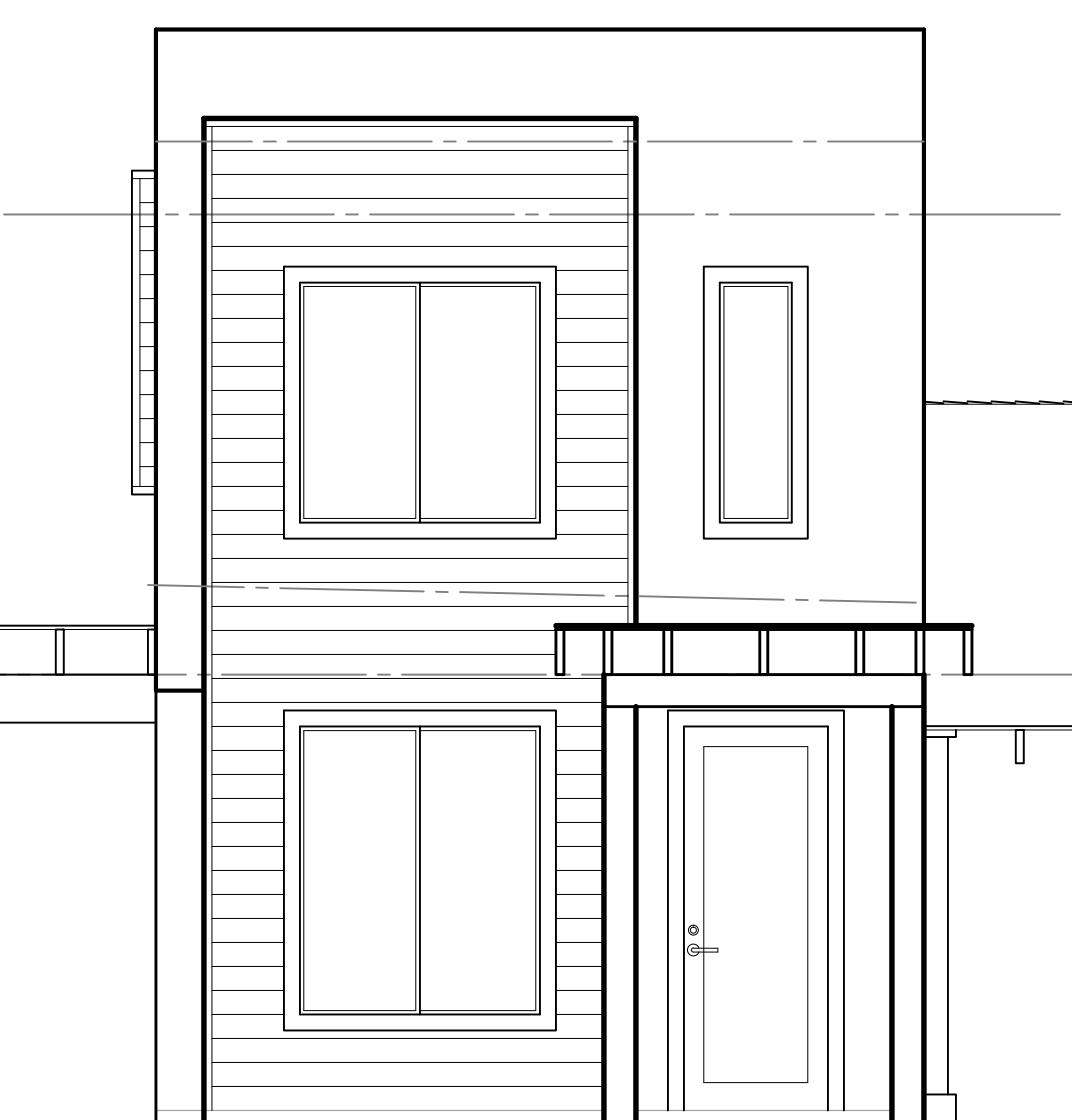
ELEVATIONS

DATE: 2/19/24
 SCALE: 1/4"=1'-0"
 DRAWN: KKING
 JOB: CRAFT-COT
 SHEET:

4



FRONT ELEVATION 'D'



FRONT ELEVATION 'C'

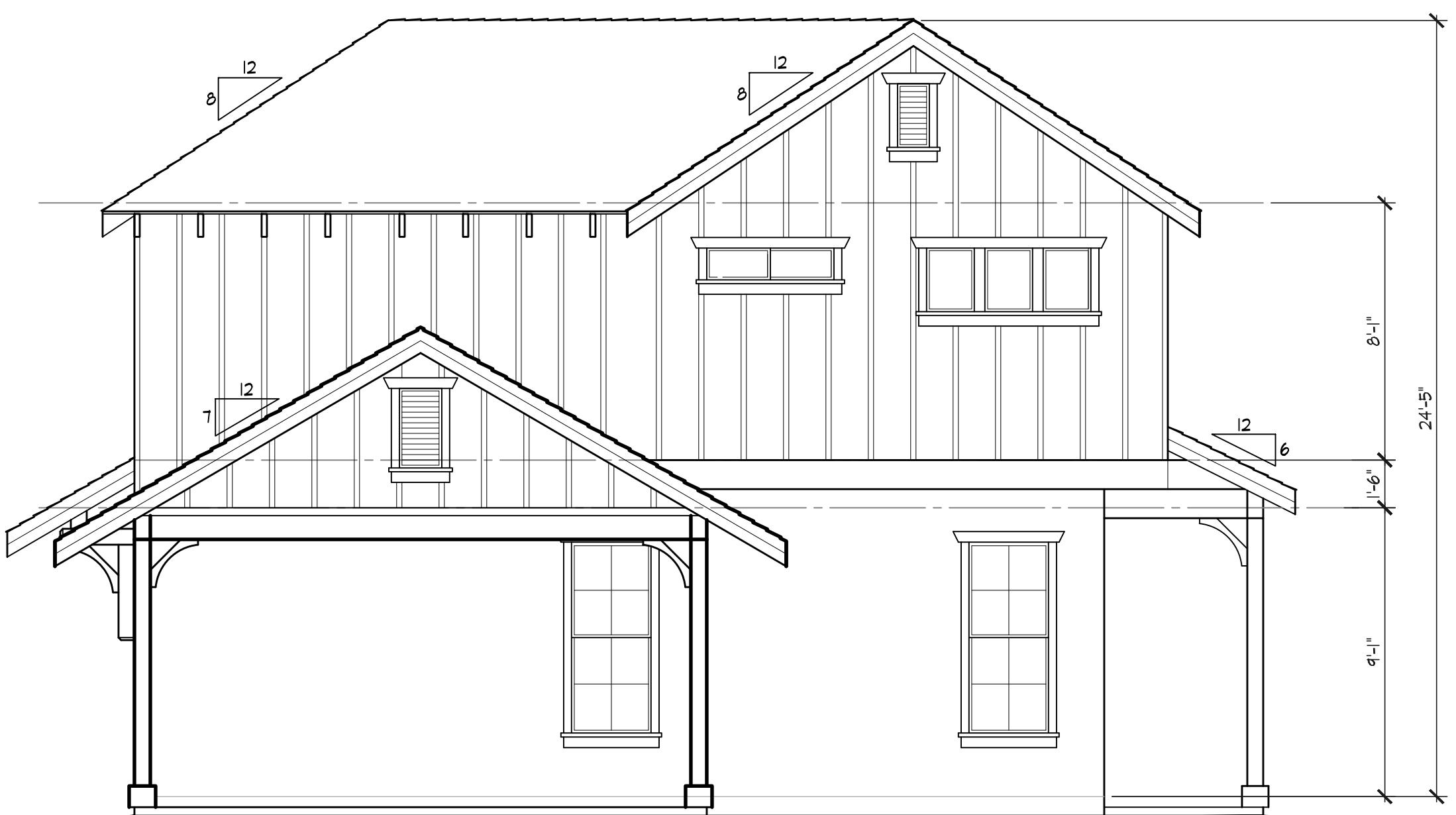


FRONT ELEVATION 'B'

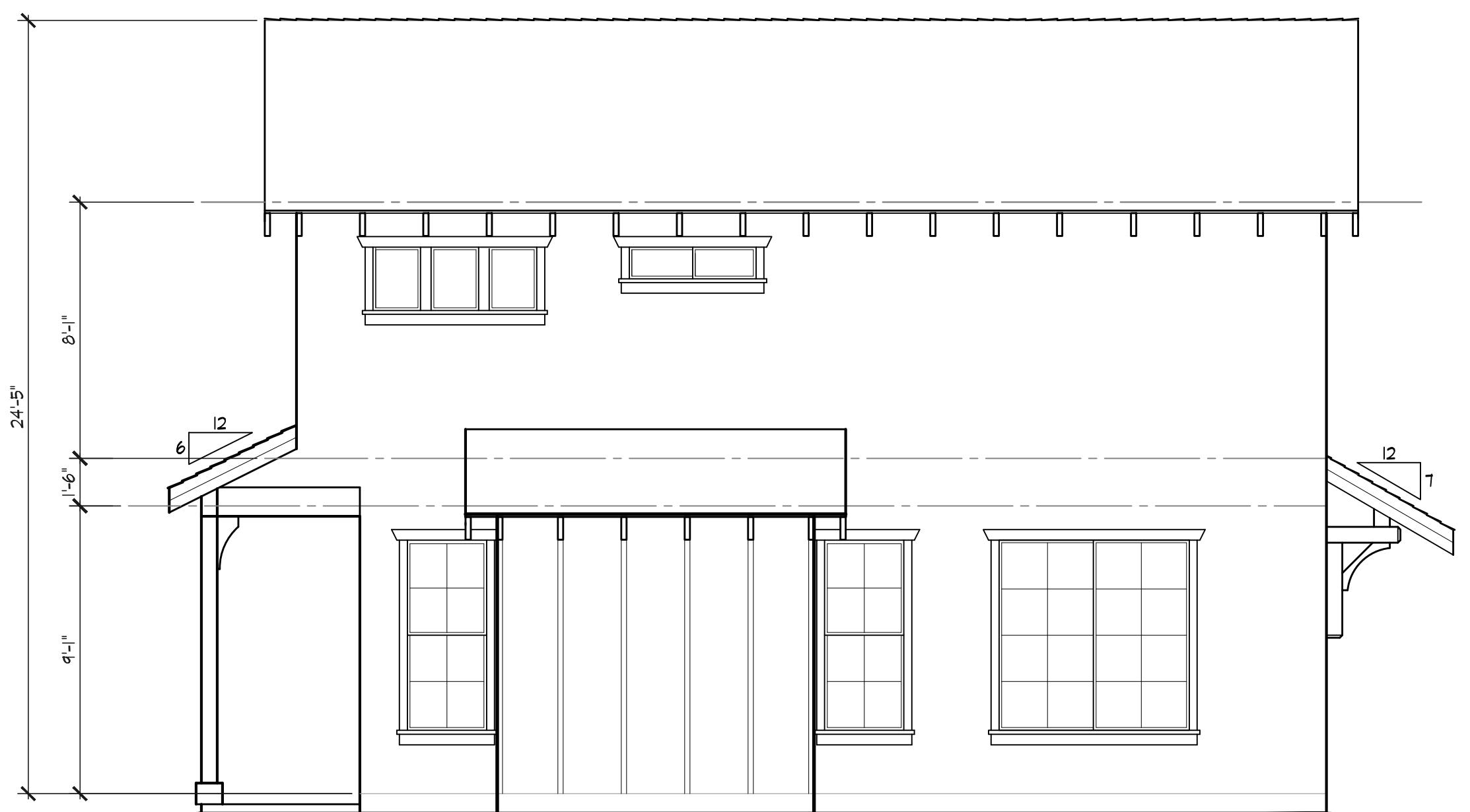


FRONT ELEVATION 'A'

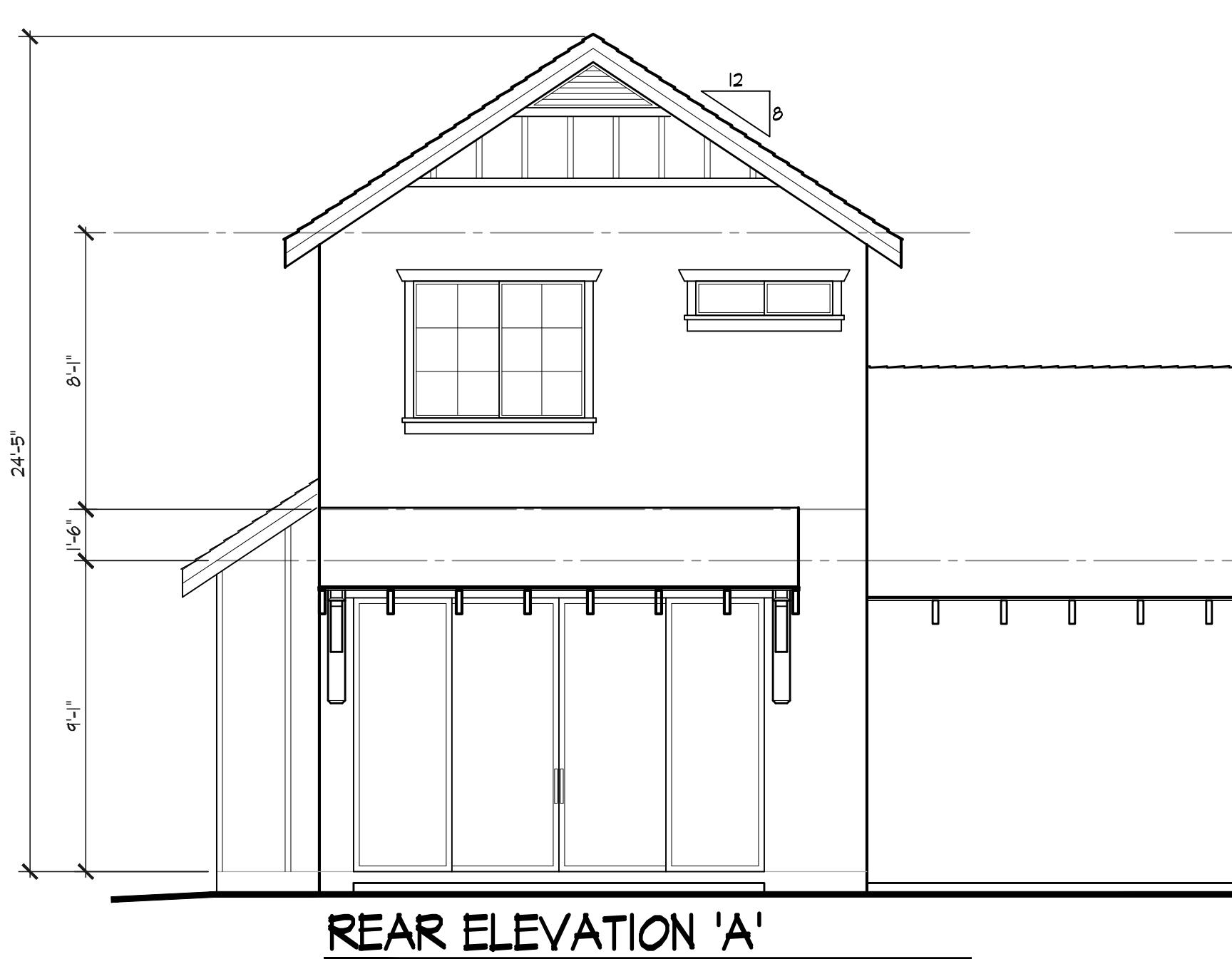
WALL MATERIAL BREAKDOWN at FOUR PLEX						
GROSS WALL AREA	NET OF STUCCO WALL AREA	GLAZING AREA	SIDING	ROOF PORCH AWNINGS	MISC. WD. TRIM & POSTS	TOTAL ALTERNATE MATERIAL
7,704 SQ.FT.	4,304 SQ.FT.	466 SQ.FT.	1,853 SQ.FT.	245 SQ.FT.	381 SQ.FT.	3,445 SQ.FT.
TOTAL GROSS %	12%	24.0%	3.2%	5.0%	44.7%	
TOTAL NET %	22.4%	43%	5.7%	8%	79.1%	



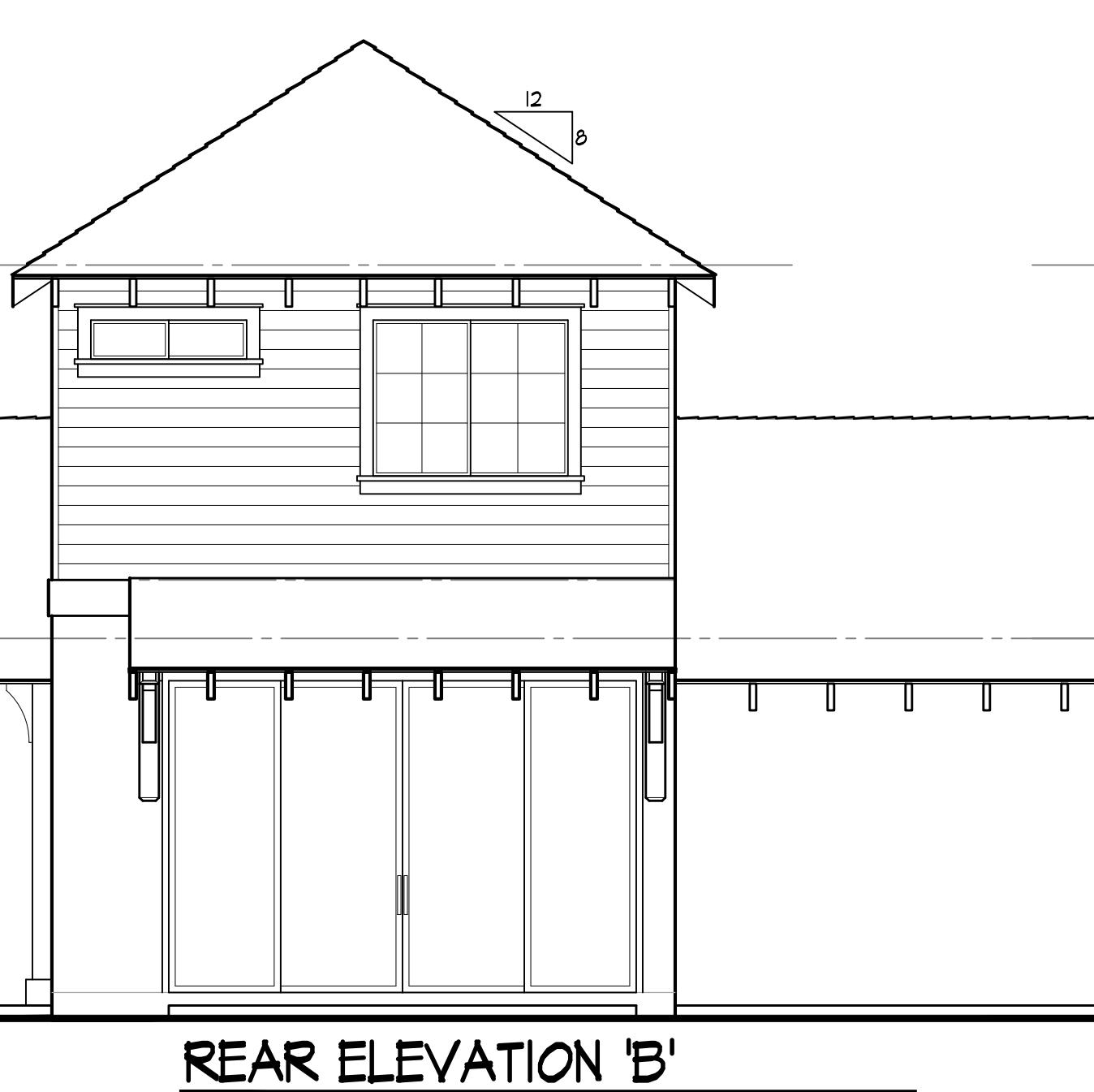
LEFT ELEVATION 'D'



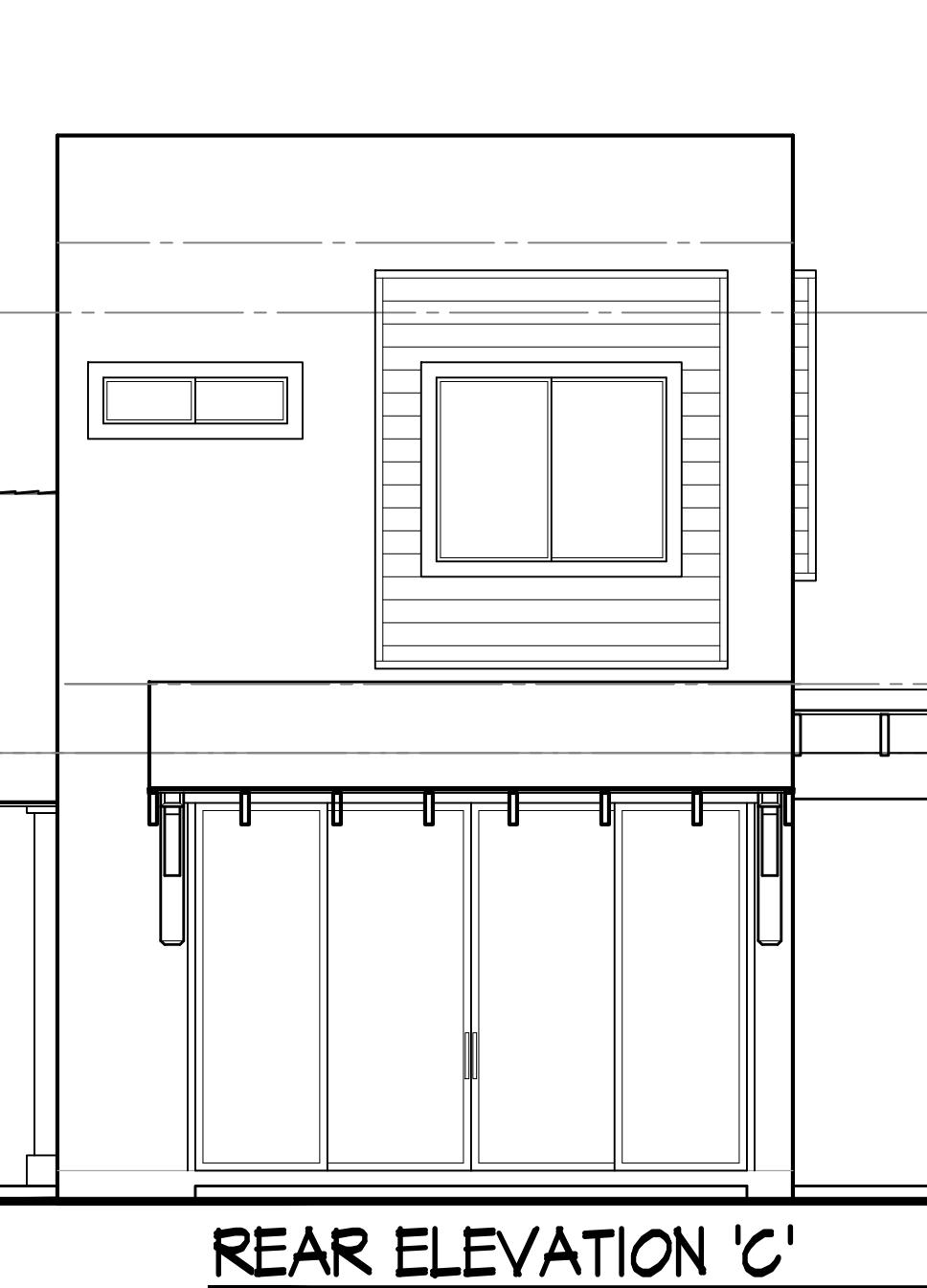
RIGHT ELEVATION 'A'



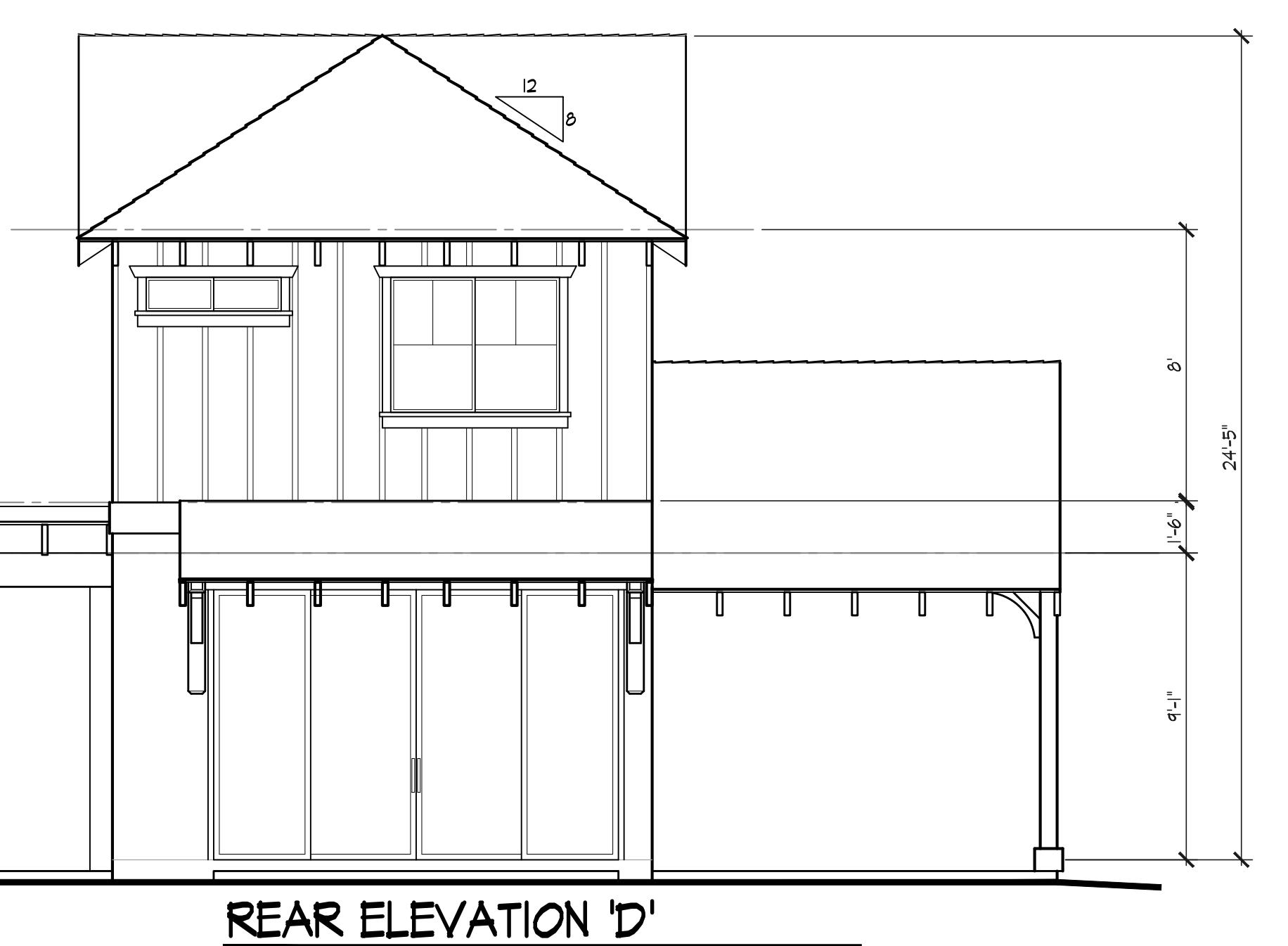
REAR ELEVATION 'A'



REAR ELEVATION 'B'



REAR ELEVATION 'C'



REAR ELEVATION 'D'

- 1 ASPHALT SHINGLES (ESR-111)
 ON ASTM D226 TYPE II #30 FELT
 ON 1/2" PLYND. ON PRE-FAB
 TRUSSES OR RAFTERS @ 24" O.C.

 2 HAND TROWLED FINISH
 STUCCO SYSTEM

 3 26 GAUGE CORROSION RESISTANT WITH
 A 3 1/2" VERT. FLANGE ATTACHMENT
 TERMINATED MIN. 4' ABOVE FINISHED GRADE

 4 2x6 R/S TAILS

 5 JAMES HARDIE SIDING
 ESR-1844 W/2 BATTEN BDG.

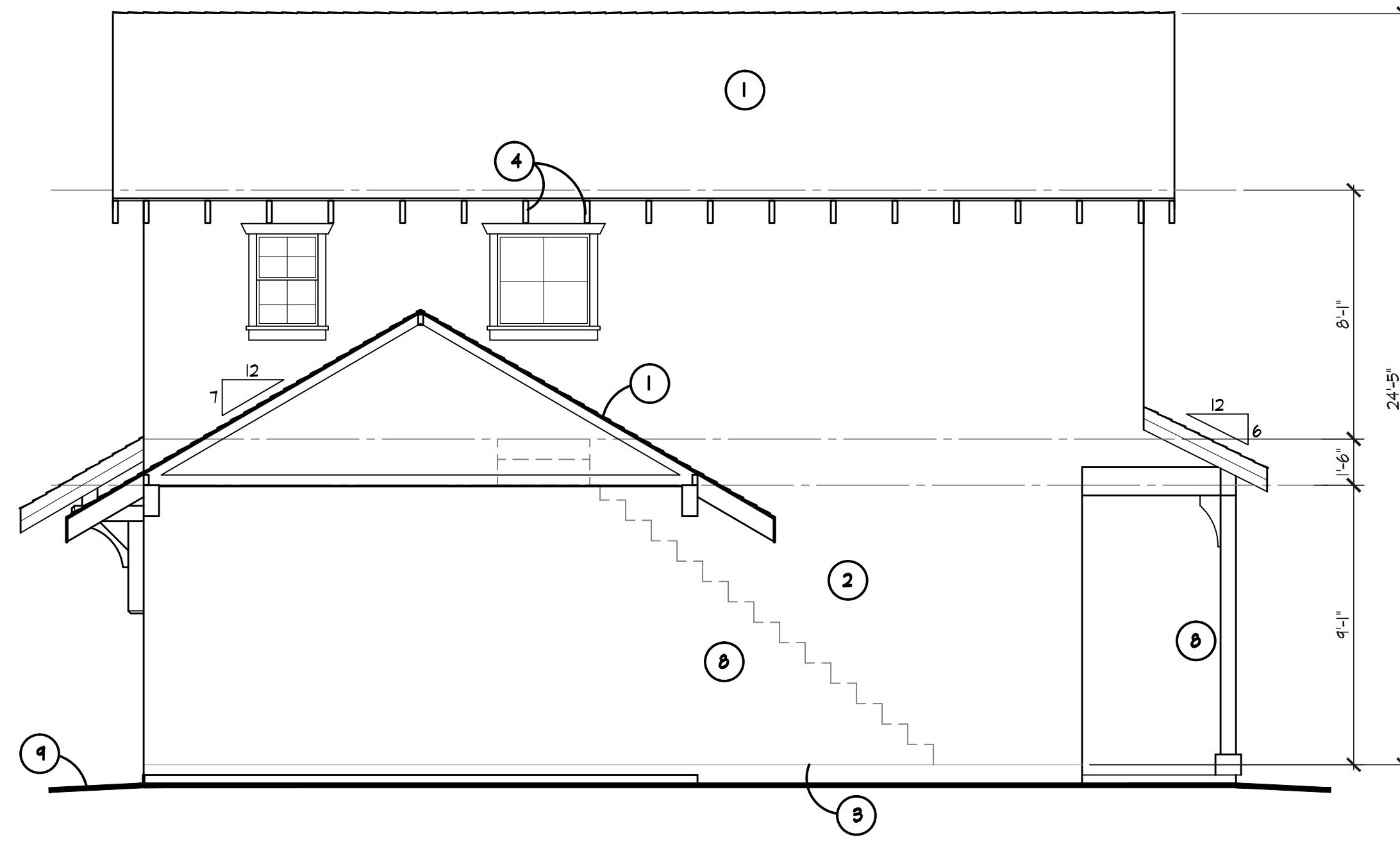
 6 JAMES HARDIE SIDING
 ESR-2210 HORIZONTAL SIDING

 7 ALL TRIM AROUND WINDOWS IN SIDING
 WALLS TO BE LP SMART TRIM

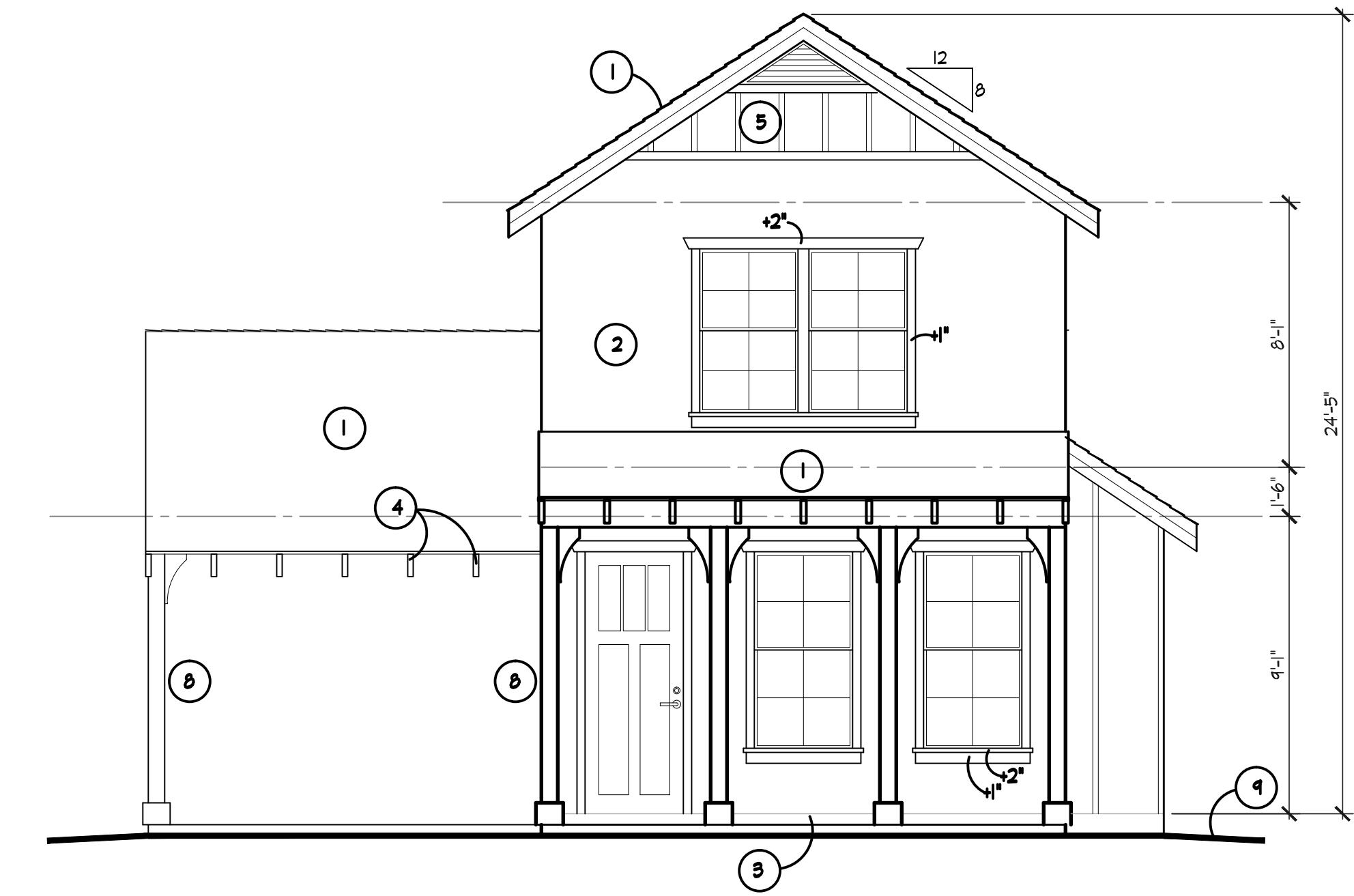
 8 ROUGH FRAME COLUMNS AND
 WRAP WITH CAPITAL SMART TRIM

 9 FINISH GRADE SLOPE MINIMUM 6"
 WITHIN FIRST 10' FROM FOUNDATION

WESTERN I-KOTE STUCCO SYSTEM (UES-382)
 MAG- ONE COAT STUCCO
 COMPLIANCE PROGRAM
 ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED
 BY MANUFACTURER APPROVED INSTALLERS
 OVER DOW STYROFOAM TONGUE AND GROOVE
 INSULATION BOARD (ESR-2142)
 OVER A WEATHER BARRIER CONSISTING OF
 (2) LAYER OF #15 ASPHALT FELT COMPLYING WITH
 ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL
 LAP AND 6" VERTICAL LAPS.

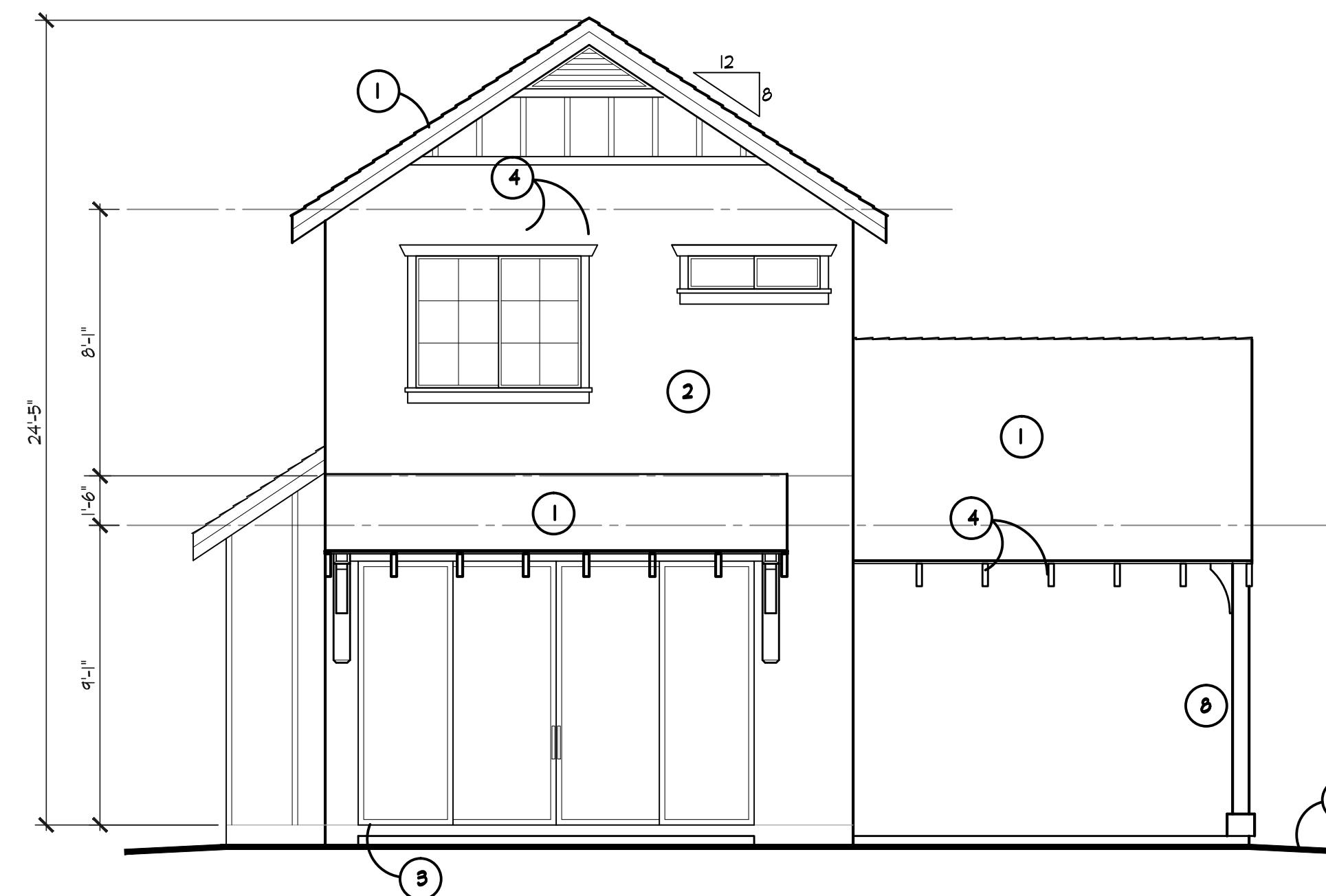


LEFT ELEVATION

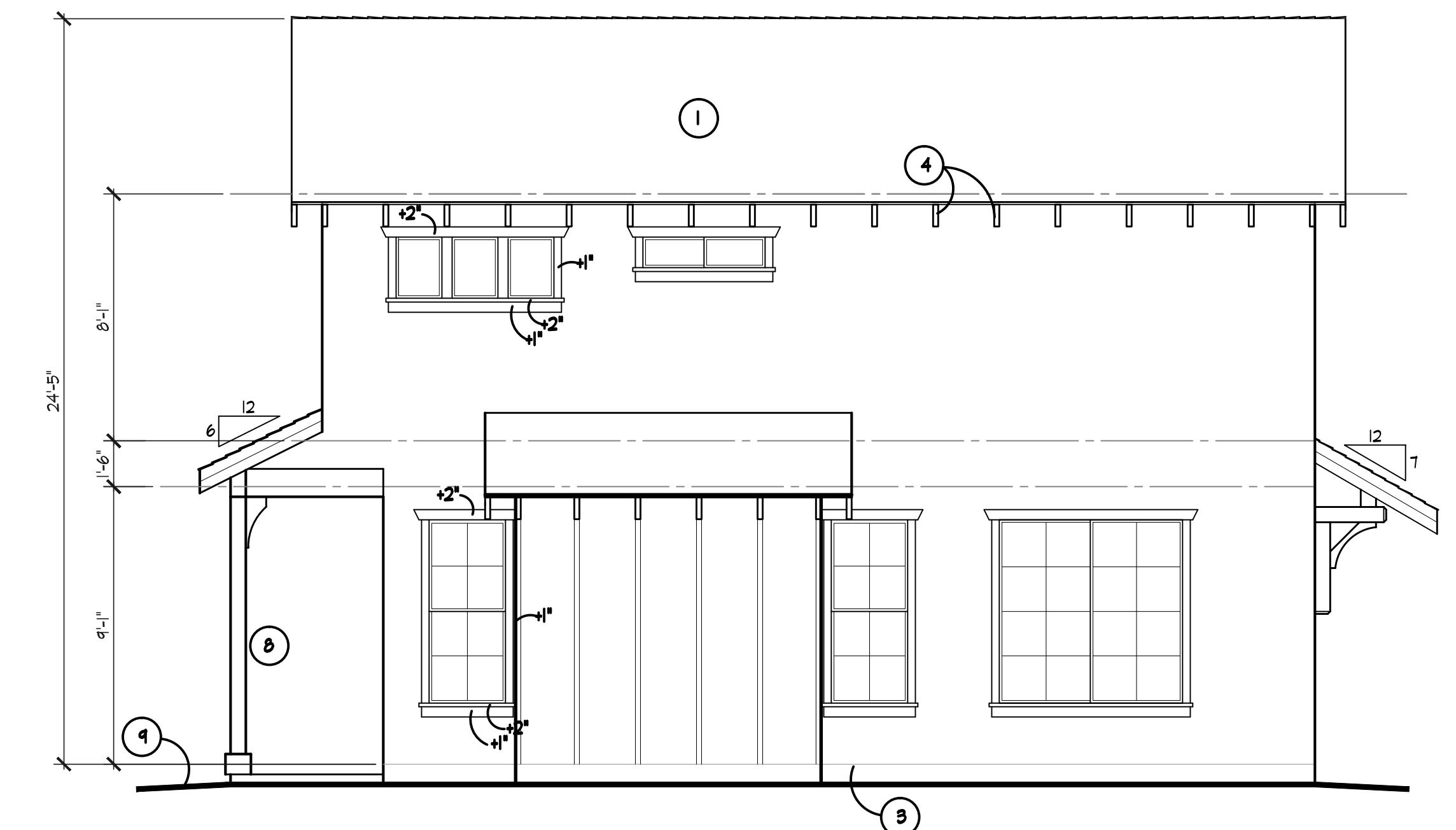


FRONT ELEVATION

WALL MATERIAL BREAKDOWN						
GROSS WALL AREA	NET OF STUCCO WALL AREA	GLAZING AREA	SIDING	ROOF PORCH AWNINGS	MISC. WD. TRIM & POSTS	TOTAL ALTERNATE MATERIAL
1,035 SQ.FT.	1,260 SQ.FT.	255 SQ.FT.	185 SQ.FT.	40 SQ.FT.	115 SQ.FT.	643 SQ.FT.
TOTAL GROSS %	13.3%	9.8%	4.7%	6.0%	33.8%	
TOTAL NET %	20.1%	14.7%	7.1%	9.1%	51.0%	



REAR ELEVATION



RIGHT ELEVATION

MULTI-PLEX TOWNHOUSES

SOSMAN COTTAGES

MESA AZ

ELEVATION 'A' FARMHOUSE

DATE: 2/19/24

SCALE: 1/4"=1'-0"

DRAWN: KK

JOB: CRAFT-COT

HEET:

4a

REVISIONS BY
 □ KK
 □ ▲
 □ △
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- ① ASPHALT SHINGLES (ESR-717)
 ON ASTM D226 TYPE II #30 FELT
 ON 1/2" PLYLD. ON FREE-FAB
 TRUSSES OR RAFTERS @ 24" O.C.

 ② HAND TROWLED FINISH
 STUCCO SYSTEM

 ③ 26 GAUGE CORROSION RESISTANT WITH
 A 3 1/2" VERT. FLANGE ATTACHMENT
 TERMINATED MIN. 4' ABOVE FINISHED GRADE

 ④ 2x8 R/S TAILS

 ⑤ JAMES HARDIE SIDING
 ESR-1844 W/2X BATTEN BD'S.

 ⑥ JAMES HARDIE SIDING
 ESR-2240 HORIZONTAL SIDING

 ⑦ ALL TRIM AROUND WINDOWS IN SIDING
 WALLS TO BE LP SMART TRIM

 ⑧ ROUGH FRAME COLUMNS AND
 WRAP WITH CAPITAL SMART TRIM

 ⑨ FINISH GRADE SLOPE MINIMUM 6"
 WITHIN FIRST 10' FROM FOUNDATION

WESTERN I-KOTE STUCCO SYSTEM (UES-382)
 MAG- ONE COAT STUCCO
 COMPLIANCE PROGRAM

 ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED
 BY MANUFACTURER APPROVED INSTALLERS

 OVER DOW STYROFOAM TONGUE AND GROOVE
 INSULATION BOARD (ESR 2142)

 OVER A WEATHER BARRIER CONSISTING OF
 (2) LAYER OF #15 ASPHALT FELT COMPLYING WITH
 ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL
 LAP AND 6" VERTICAL LAPS.

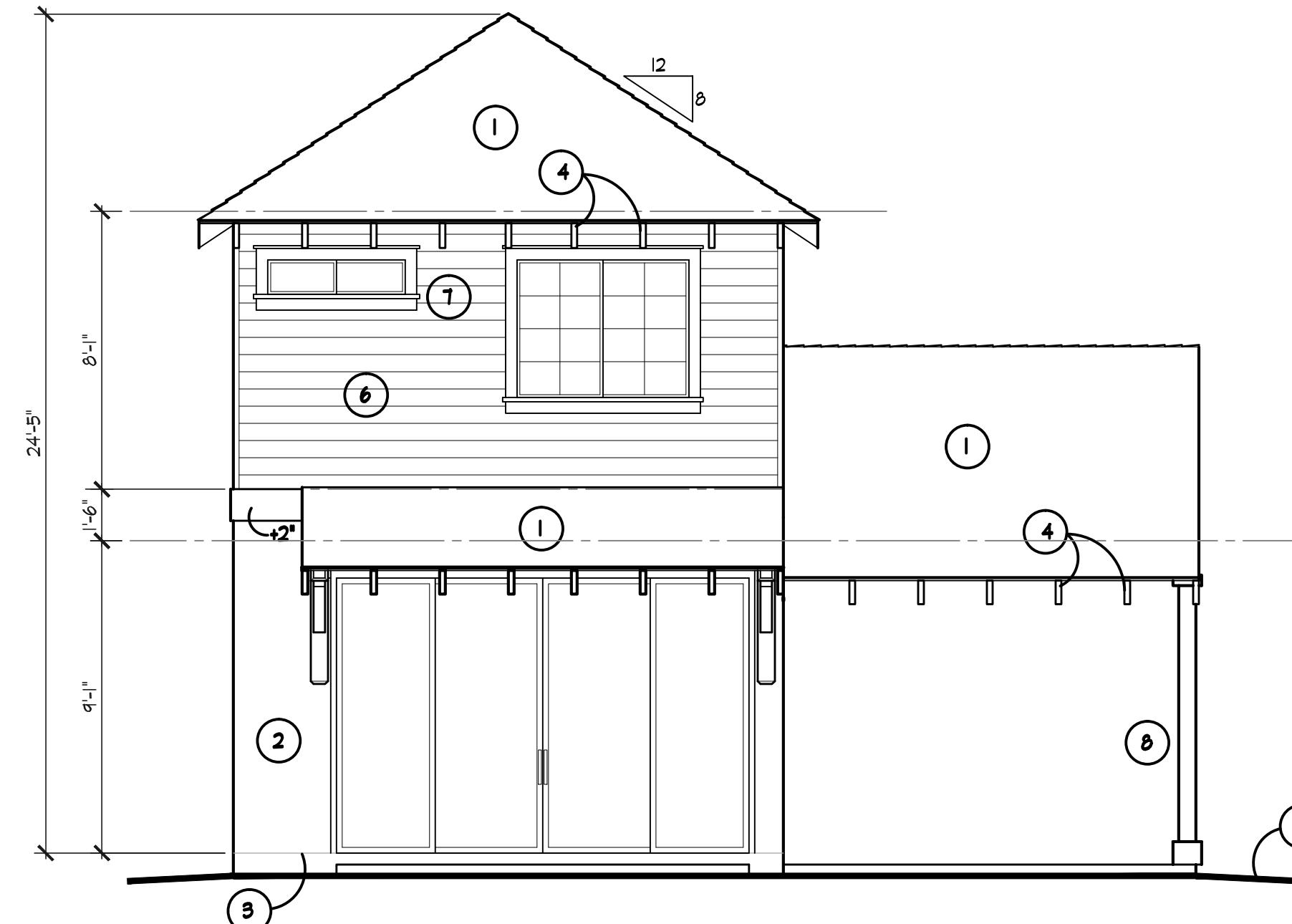


LEFT ELEVATION

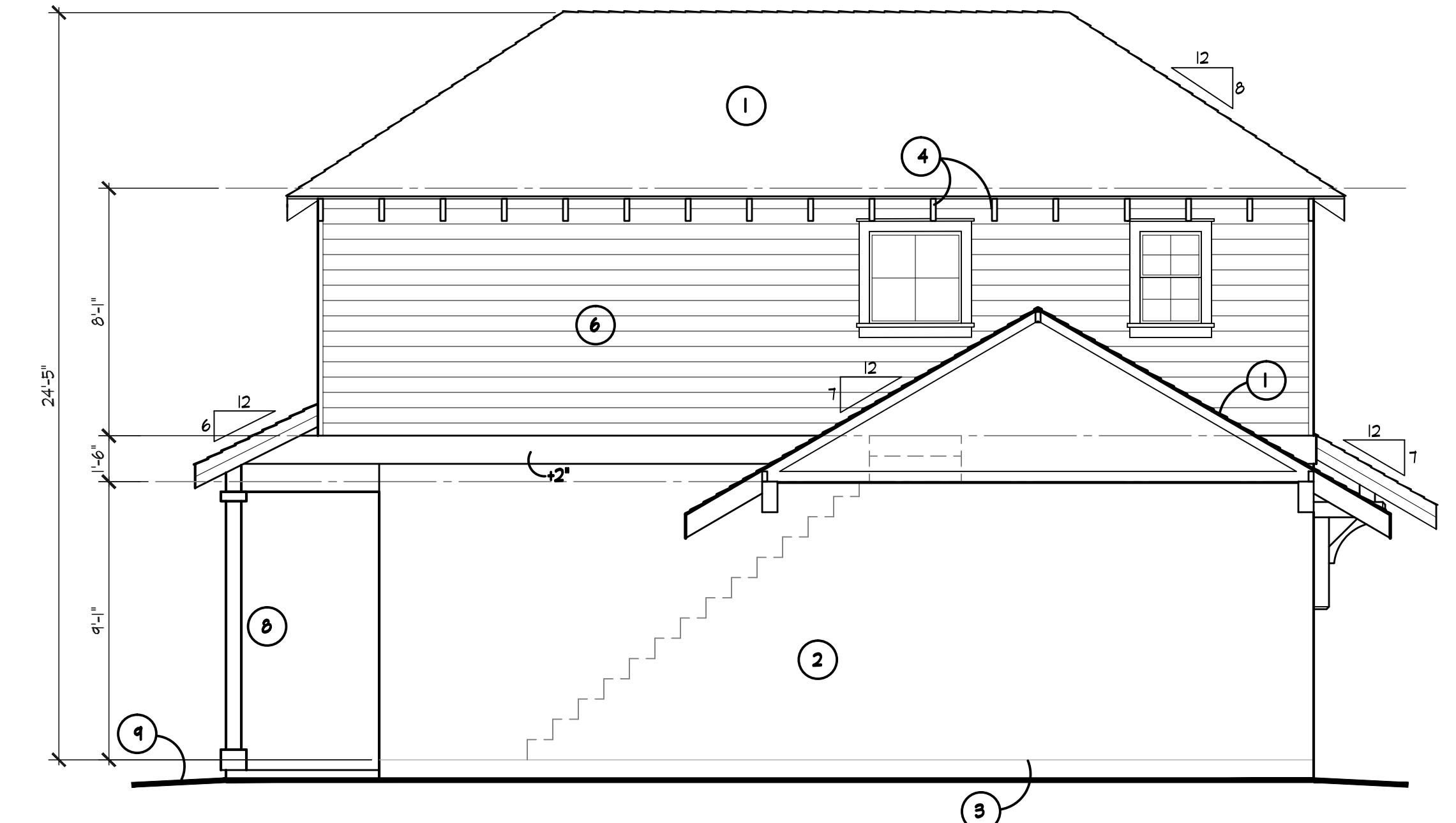


FRONT ELEVATION

WALL MATERIAL BREAKDOWN						
GROSS WALL AREA	NET OF STUCCO WALL AREA	GLAZING AREA	SIDING	ROOF PORCH AWNINGS	MISC. MD TRIM & POSTS	TOTAL ALTERNATE MATERIAL
1,760 SQ.FT.	144 SQ.FT.	226 SQ.FT.	618 SQ.FT.	61 SQ.FT.	106 SQ.FT.	1,011 SQ.FT.
TOTAL GROSS %	12.8%	35.1%	3.5%	6.0%	51.4%	
TOTAL NET %	30.2%	82.5%	8.1%	14.2%	135.0%	



REAR ELEVATION



RIGHT ELEVATION

MULTI-PLEX TOWNHOUSES

SOSMAN COTTAGES

MESA AZ

ELEVATION 'B' CRAFTSMAN

DATE: 2/19/24

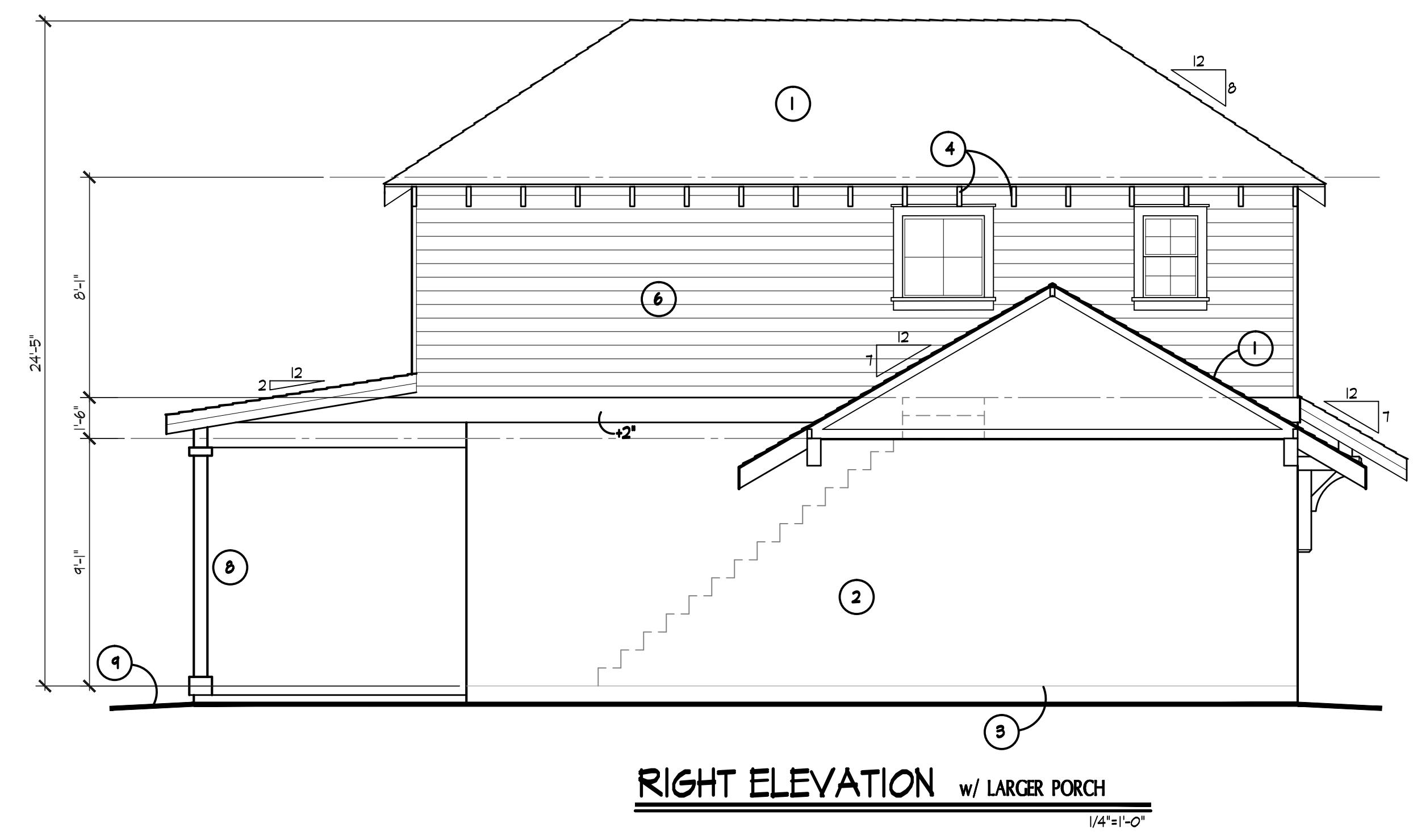
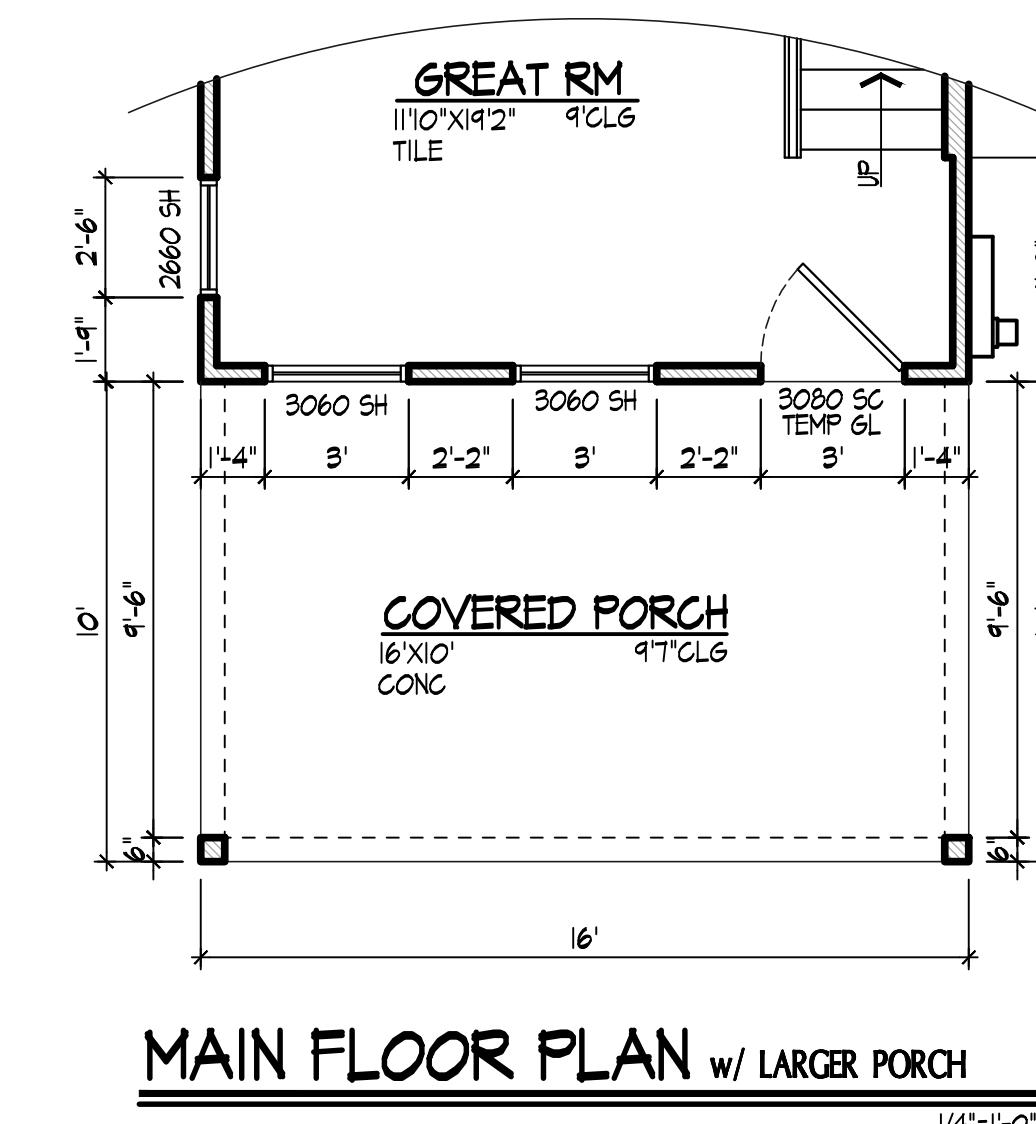
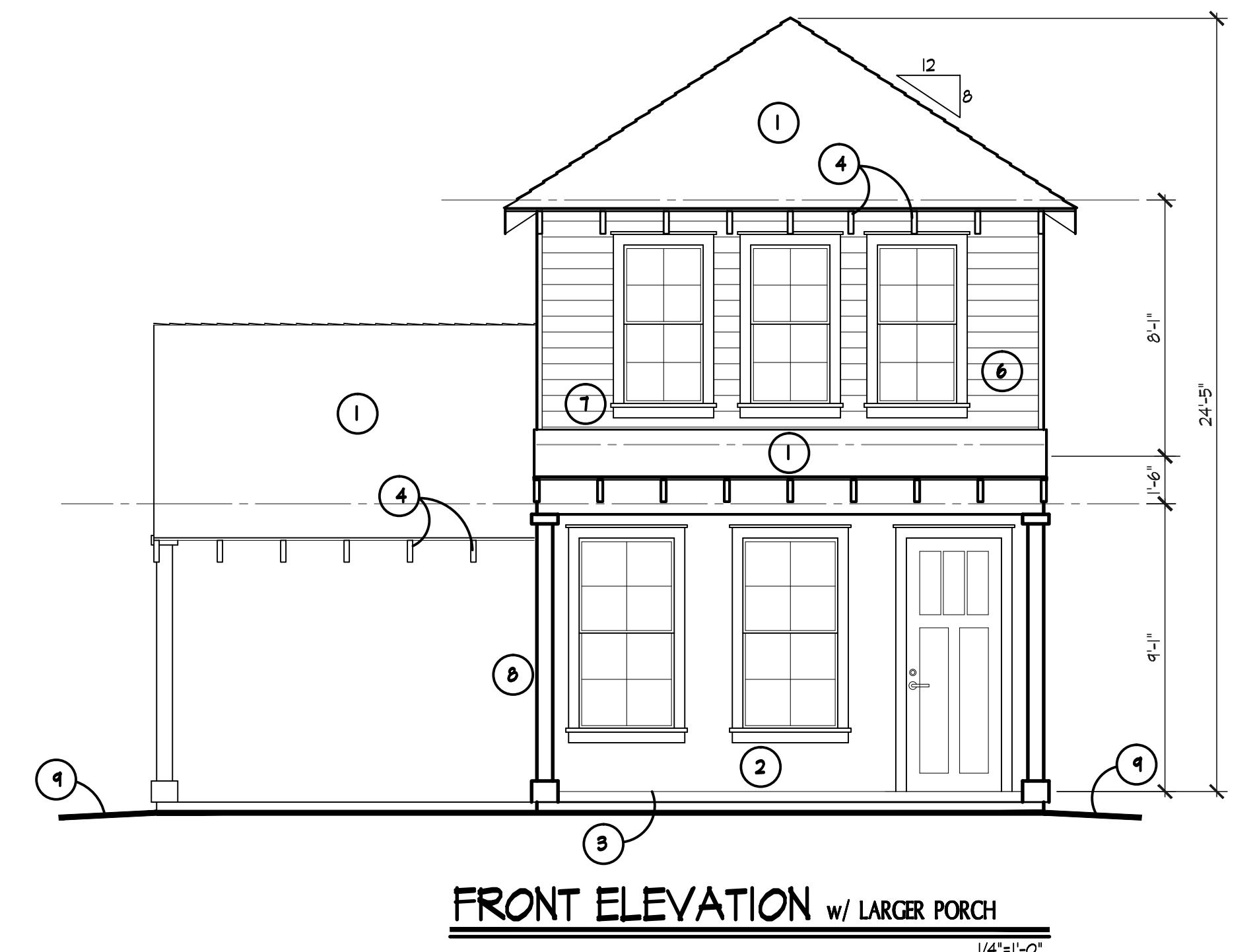
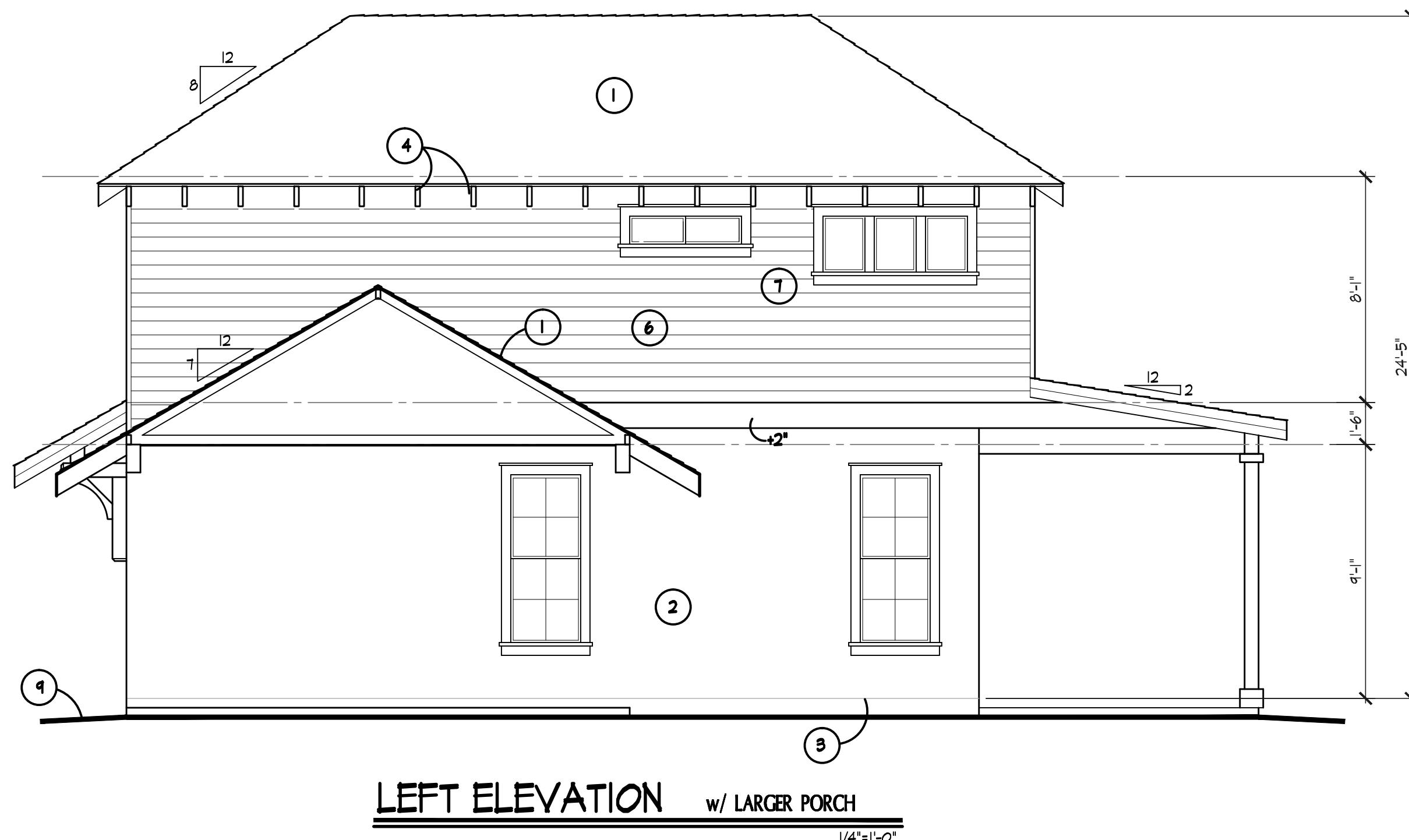
SCALE: 1/4"=1'-0"

DRAWN: KKING

JOB: CRAFT-COT

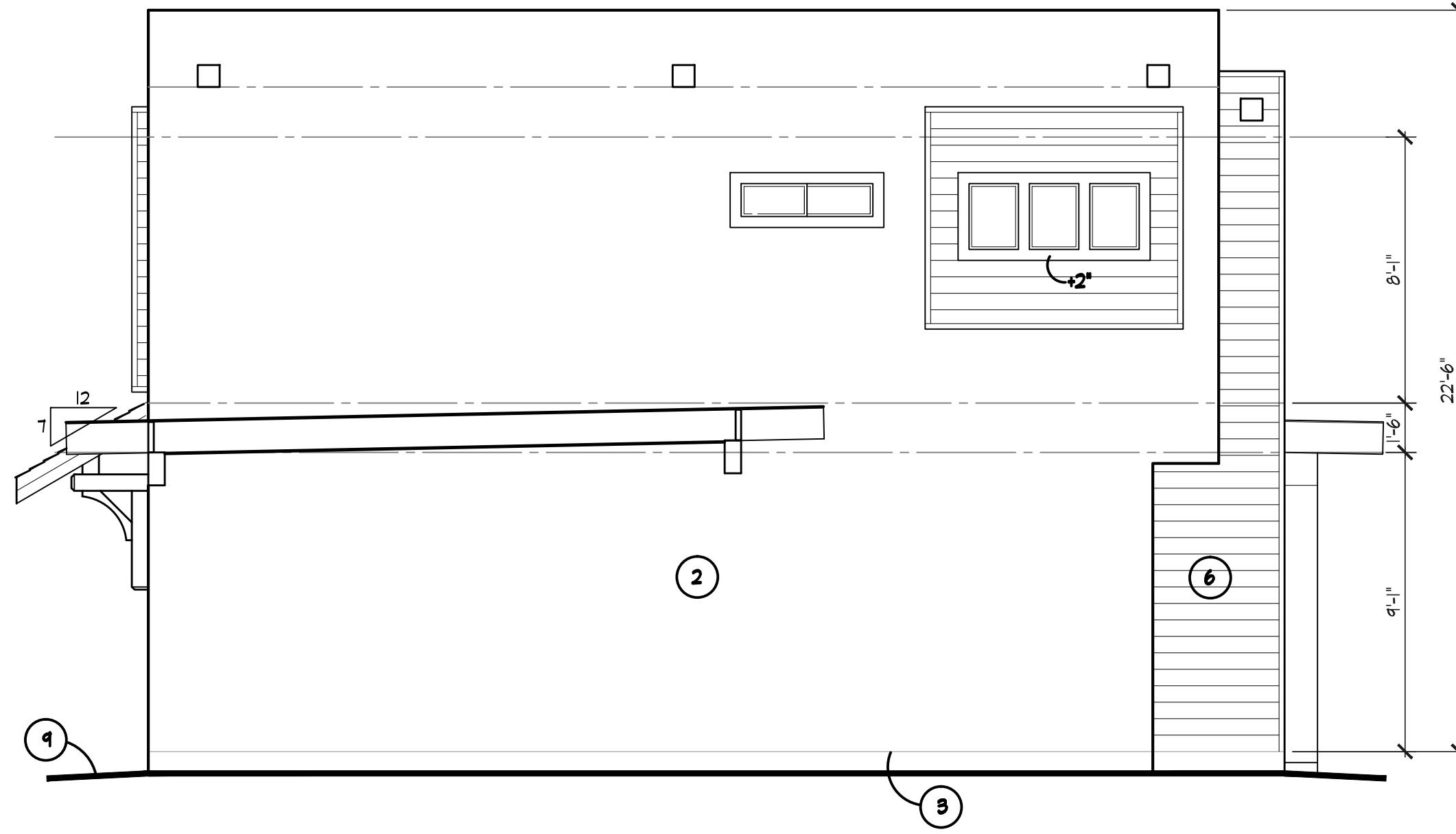
HEET:

- (1) ASPHALT SHINGLES (ESR-111)
ON ASTM D226 TYPE II #30 FELT
ON 1/2" PLYND. ON PRE-FAB
TRUSSSES OR RAFTERS @ 24" O.C.
- (2) HAND TROWLED FINISH
STUCCO SYSTEM
- (3) 26 GAUGE CORROSION RESISTANT WITH
A 3 1/2" VERT. FLANGE ATTACHMENT
TERMINATED MIN. 4" ABOVE FINISHED GRADE
- (4) 2x8 R/S TAILS
- (5) JAMES HARDIE SIDING
ESR-1644 W/H2 BATTEN BDs.
- (6) JAMES HARDIE SIDING
ESR-2210 HORIZONTAL SIDING
- (7) ALL TRIM AROUND WINDOWS IN SIDING
WALLS TO BE LP SMART TRIM
- (8) ROUGH FRAME COLUMNS AND
WRAP WITH CAPITAL SMART TRIM
- (9) FINISH GRADE SLOPE MINIMUM 6"
WITHIN FIRST 10' FROM FOUNDATION

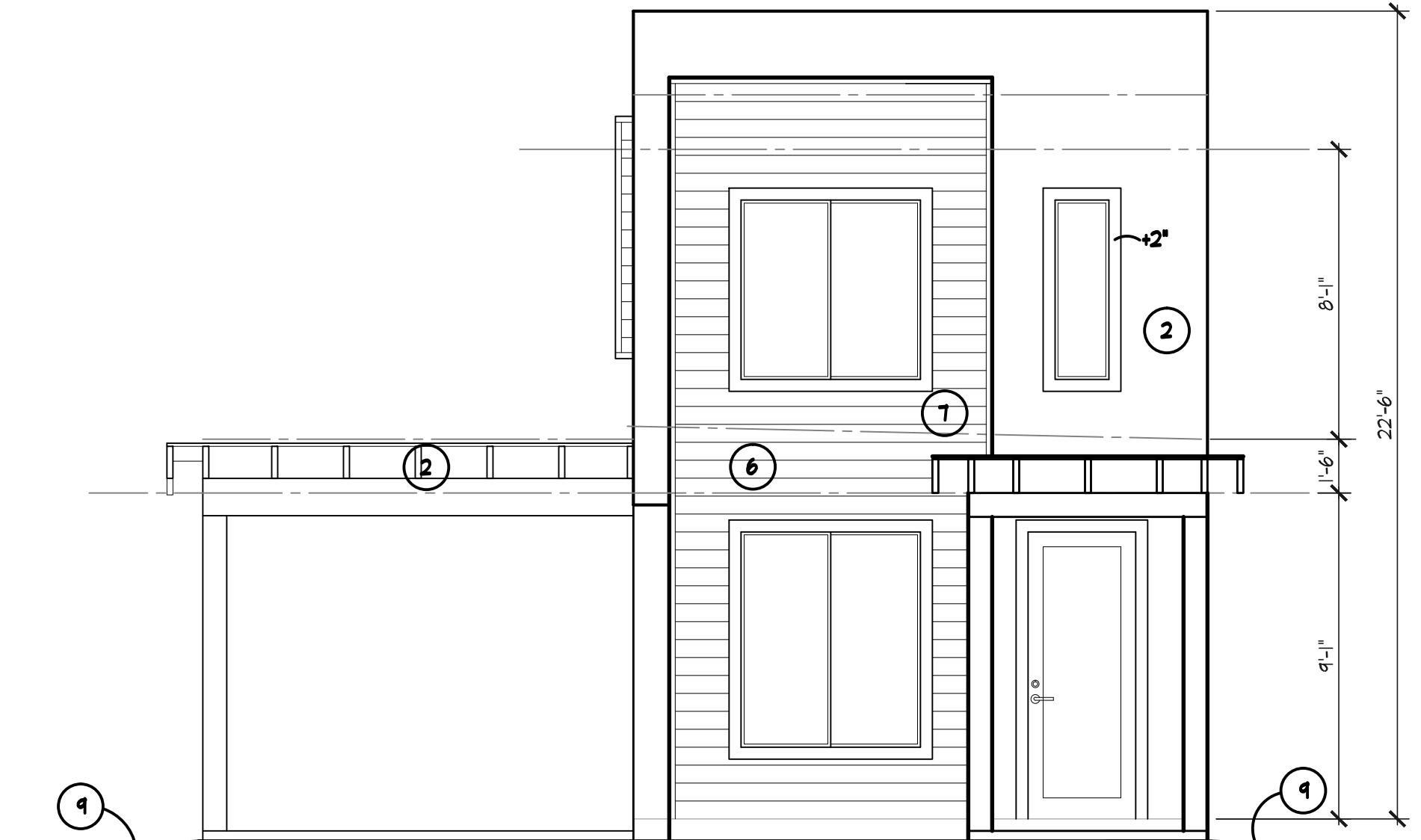


- (1) ASPHALT SHINGLES (ESR-717)
ON ASTM D226 TYPE II #30 FELT
ON 1/2" PLYND. ON PRE-FAB
TRUSSES OR RAFTERS @ 24" O.C.
- (2) HAND TROWLED FINISH
STUCCO SYSTEM
- (3) 26 GAUGE CORROSION RESISTANT WITH
A 3 1/2" VERT. FLANGE ATTACHMENT
TERMINATED MIN. 4' ABOVE FINISHED GRADE
- (4) 2x6 R/S TAILS
- (5) JAMES HARDIE SIDING
ESR-1844 W/1x2 BATTEEN BDGS.
- (6) JAMES HARDIE SIDING
ESR-2240 HORIZONTAL SIDING
- (7) ALL TRIM AROUND WINDOWS IN SIDING
WALLS TO BE LP SMART TRIM
- (8) ROUGH FRAME COLUMNS AND
WRAP WITH CAPITAL SMART TRIM
- (9) FINISH GRADE SLOPE MINIMUM 6"
WITHIN FIRST 10' FROM FOUNDATION

WESTERN I-KOTE STUCCO SYSTEM (UES-382)
MAG- ONE COAT STUCCO
COMPLIANCE PROGRAM
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED
BY MANUFACTURER APPROVED INSTALLERS
OVER DOW STYROFOAM TONGUE AND GROOVE
INSULATION BOARD (ESR 2142)
OVER A WEATHER BARRIER CONSISTING OF
(2) LAYER OF #15 ASPHALT FELT COMPLYING WITH
ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL
LAP AND 6" VERTICAL LAPS.

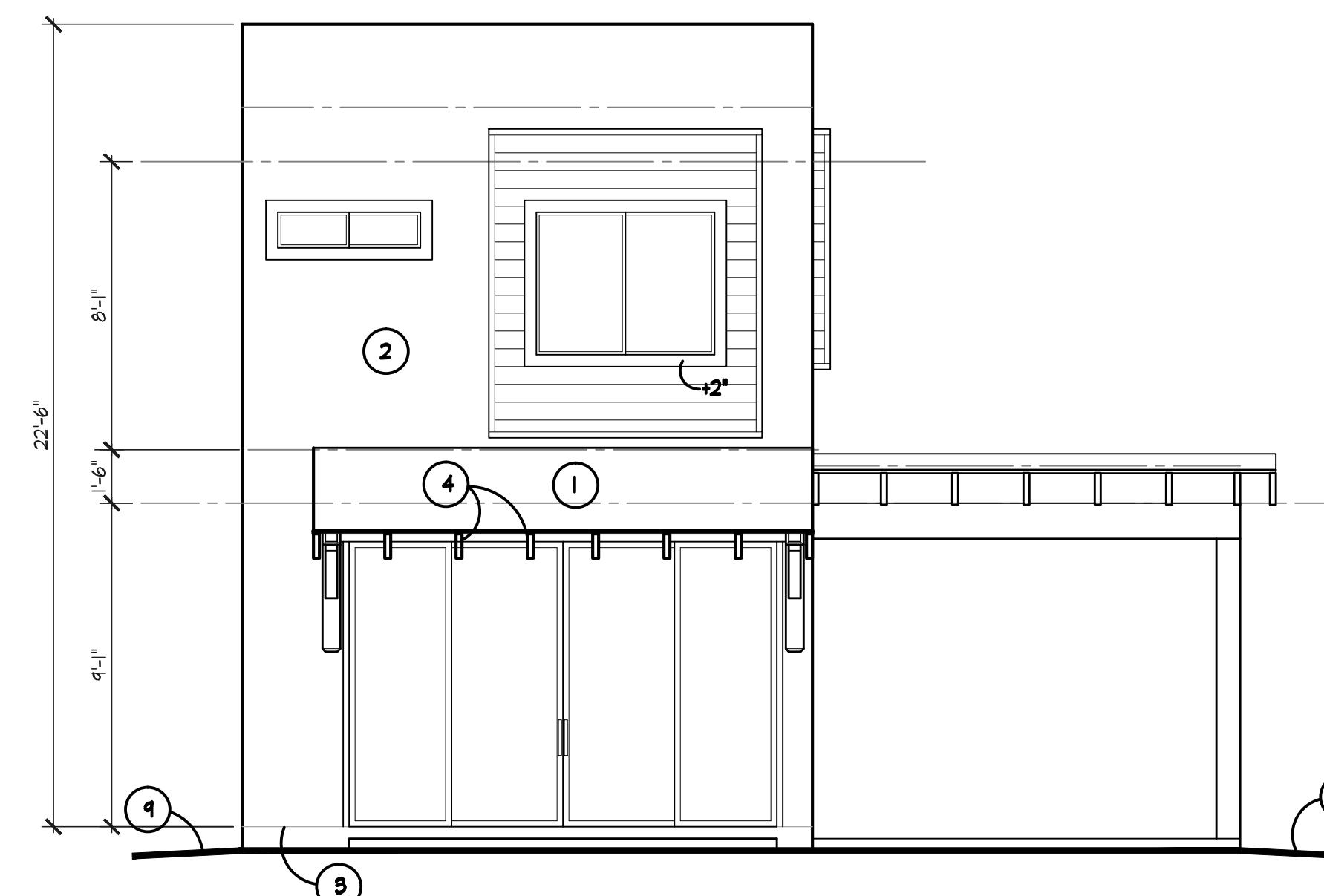


LEFT ELEVATION

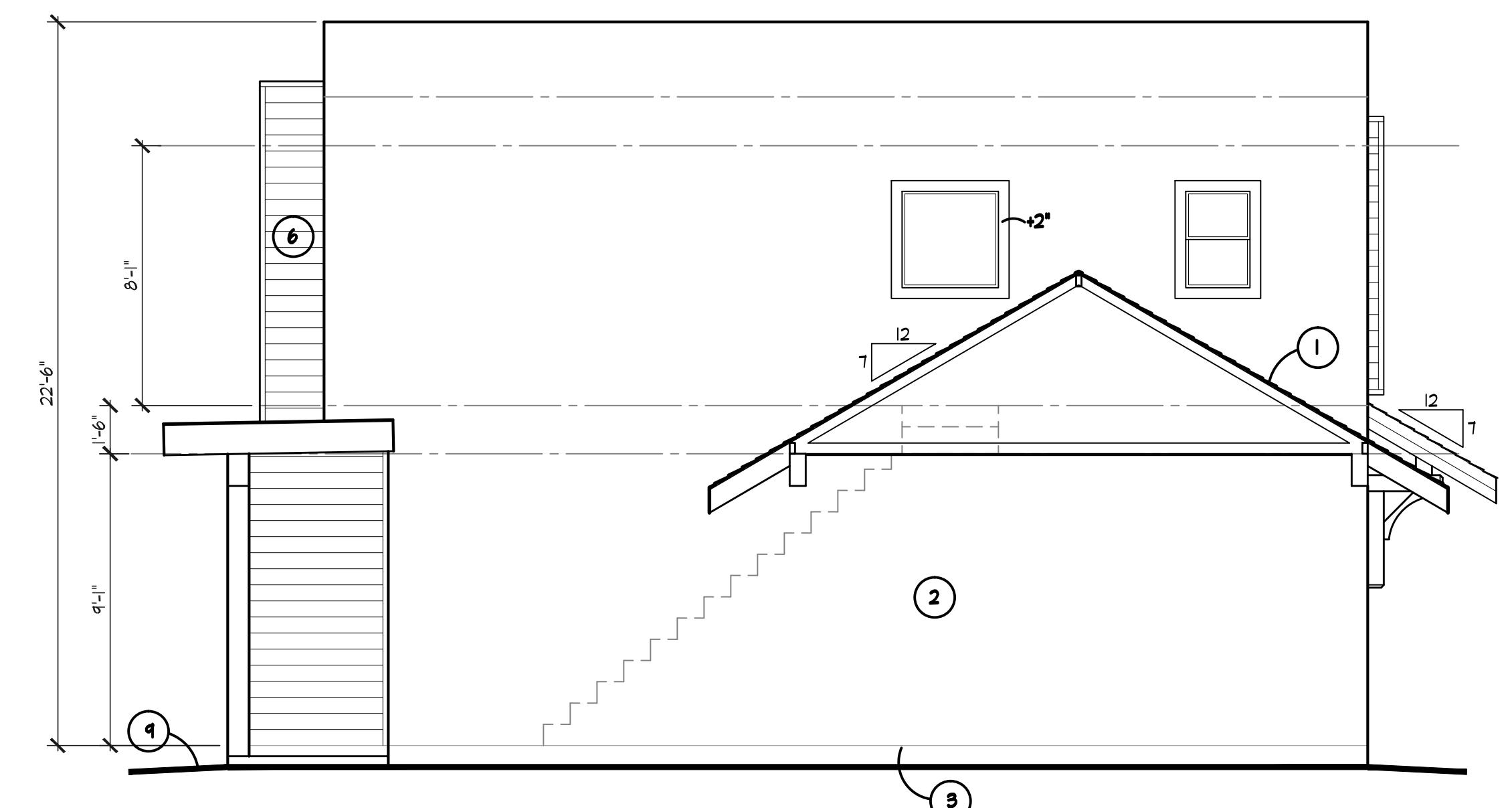


FRONT ELEVATION

WALL MATERIAL BREAKDOWN						
GROSS WALL AREA	NET OF STUCCO WALL AREA	GLAZING AREA	SIDING	ROOF, PORCH AWNINGS	MISC. WD. TRIM & POSTS	TOTAL ALTERNATE MATERIAL
2146 SQ.FT.	1591 SQ.FT.	234 SQ.FT.	347 SQ.FT.	38 SQ.FT.	51 SQ.FT.	665 SQ.FT.
TOTAL GROSS %	10.7%	15.8%	15%	2.3%	30.3%	
TOTAL NET %	15.3%	22.7%	2.7%	3.3%	44.0%	



REAR ELEVATION



RIGHT ELEVATION

MULTI-PLEX TOWNHOUSES

SOSMAN COTTAGES

MESA AZ

ELEVATION 'C' MODERN

DATE: 2/19/24

SCALE: 1/4"=1'-0"

DRAWN: KKING

JOB: CRAFT-COT

HEET:

4C

REVISIONS BY
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- 1 ASPHALT SHINGLES (ESR-1717)
 ON ASTM D226 TYPE II #30 FELT
 ON 1/2" PLYND. ON PRE-FAB
 TRUSSES OR RAFTERS @ 24" O.C.

 2 HAND TROWLED FINISH
 STUCCO SYSTEM

 3 26 GAUGE CORROSION RESISTANT WITH
 A 3 1/2" VERT. FLANGE ATTACHMENT
 TERMINATED MIN. 4' ABOVE FINISHED GRADE

 4 2x8 R/S TAILS

 5 JAMES HARDIE SIDING
 ESR-1844 W/12 BATTEN BDGS.

 6 JAMES HARDIE SIDING
 ESR-2210 HORIZONTAL SIDING

 7 ALL TRIM AROUND WINDOWS IN SIDING
 WALLS TO BE LP SMART TRIM

 8 ROUGH FRAME COLUMNS AND
 WRAP WITH CAPITAL SMART TRIM

 9 FINISH GRADE SLOPE MINIMUM 6"
 WITHIN FIRST 10' FROM FOUNDATION

WESTERN I-KOTE STUCCO SYSTEM (UES-382)
 MAG- ONE COAT STUCCO
 COMPLIANCE PROGRAM

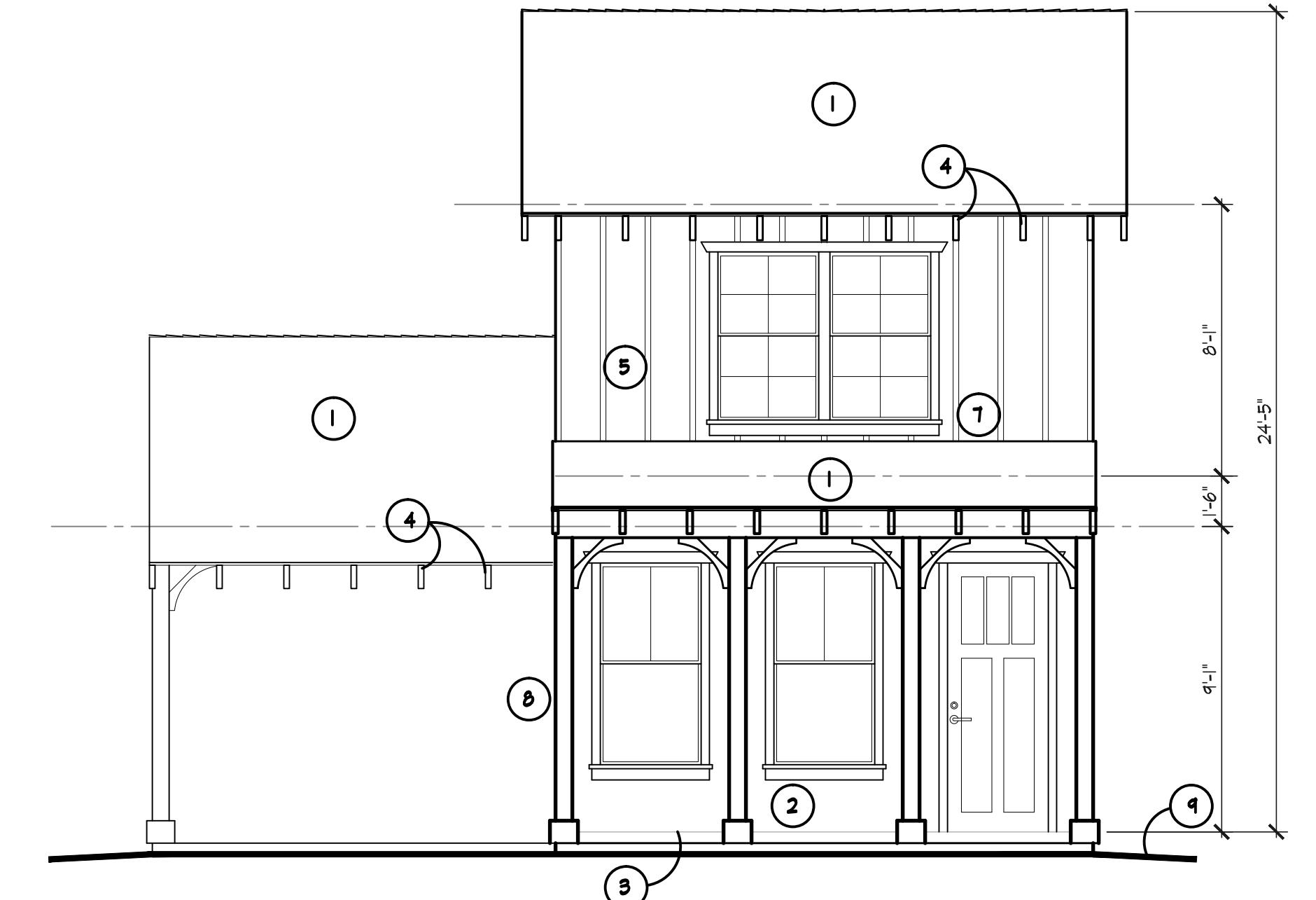
 ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED
 BY MANUFACTURER APPROVED INSTALLERS

 OVER DOW STYROFOAM TONGUE AND GROOVE
 INSULATION BOARD (ESR 2142)

 OVER A WEATHER BARRIER CONSISTING OF
 (2) LAYER OF #15 ASPHALT FELT COMPLYING WITH
 ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL
 LAP AND 6" VERTICAL LAPS.

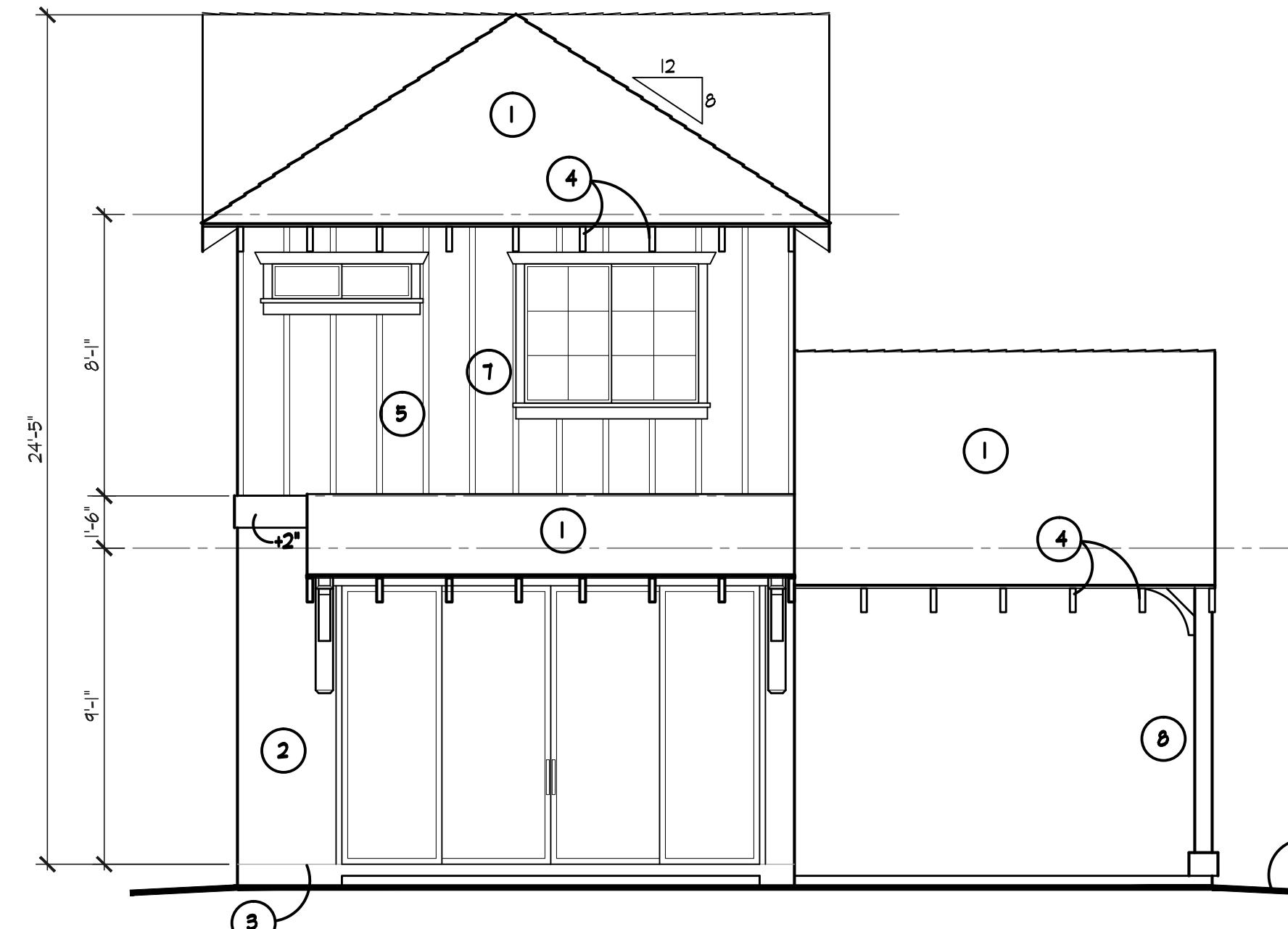


LEFT ELEVATION

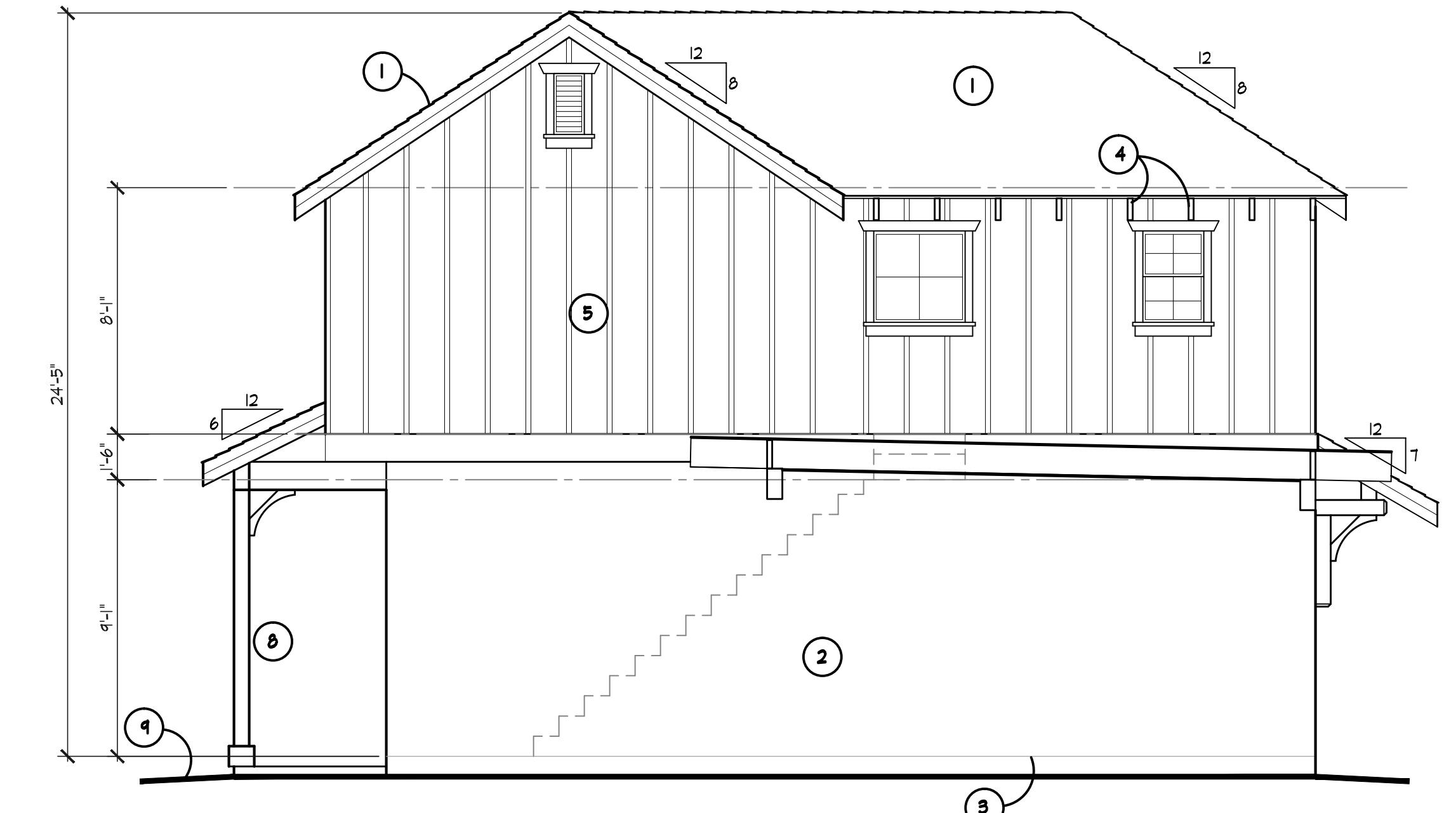


FRONT ELEVATION

WALL MATERIAL BREAKDOWN						
GROSS WALL AREA	NET OF STUCCO WALL AREA	GLAZING AREA	SIDING	ROOF PORCH AWNINGS	MISC. WD. TRIM & POSTS	TOTAL ALTERNATE MATERIAL
1,045 SQ.FT.	719 SQ.FT.	258 SQ.FT.	703 SQ.FT.	61 SQ.FT.	109 SQ.FT.	1,126 SQ.FT.
TOTAL GROSS %	13.7%	30.1%	3.3%	5.9%	61.0%	
TOTAL NET %	35.2%	47.0%	0.5%	15.2%	156.7%	



REAR ELEVATION



RIGHT ELEVATION

MULTI-PLEX TOWNHOUSES

SOSMAN COTTAGES

MESA AZ

ELEVATION 'D' RANCH

DATE: 2/19/24

SCALE: 1/4"=1'-0"

DRAWN: KKING

JOB: CRAFT-COT

SHEET:

4d

REVISIONS BY
 □ KK
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ASPHALT SHINGLES (ESR-111)
ON ASTM D226 TYPE II #30 FELT
ON 1/2" PLYMD. ON FREE-FAB
TRUSSES OR RAFTERS @ 24" O.C.

HAND TROWLED FINISH
STUCCO SYSTEM

26 GAUGE CORROSION RESISTANT WITH
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ROUGH FRAME COLUMNS AND
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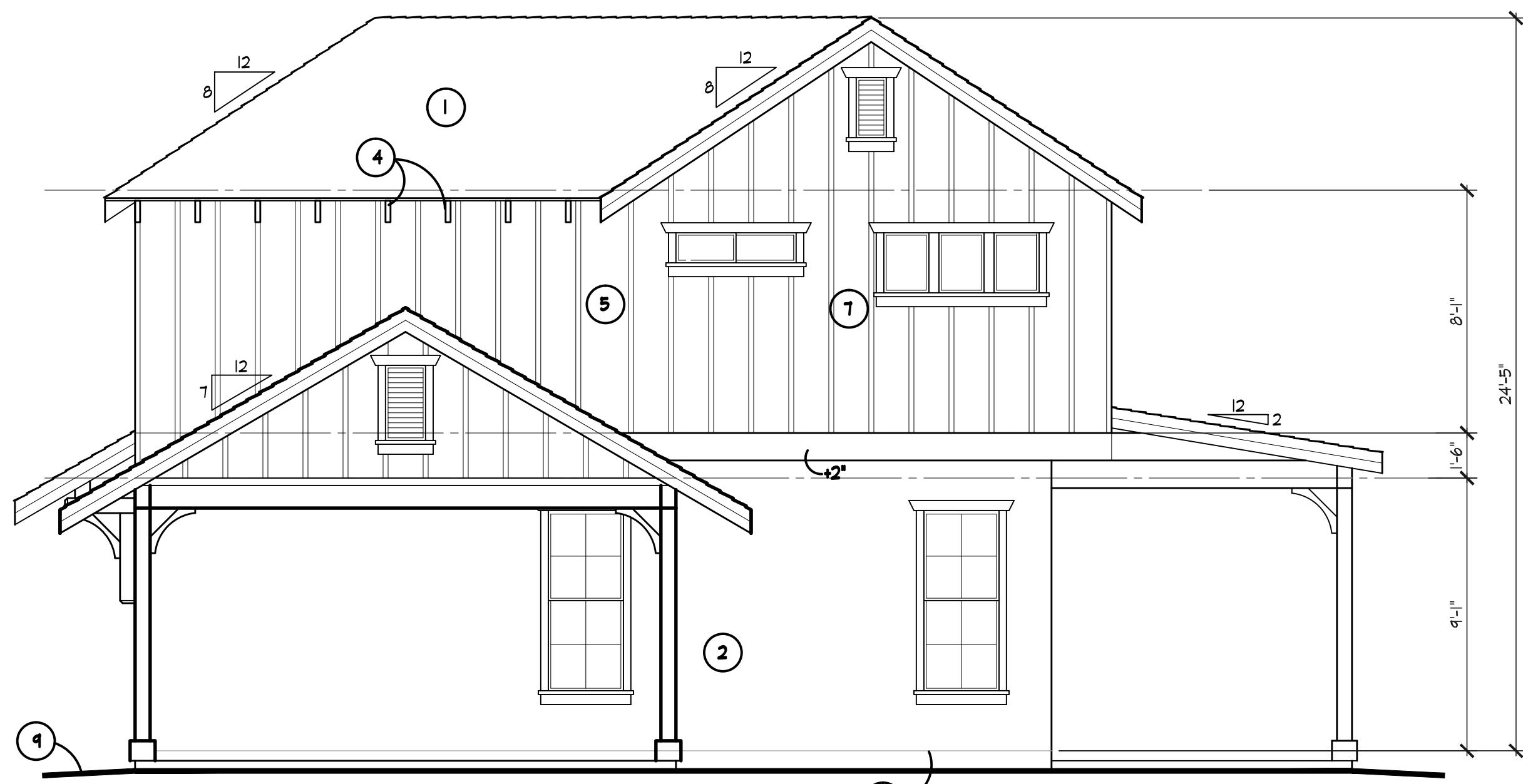
WESTERN I-KOTE STUCCO SYSTEM (UES-382)

MAG- ONE COAT STUCCO
CONFORMANCE PROGRAM

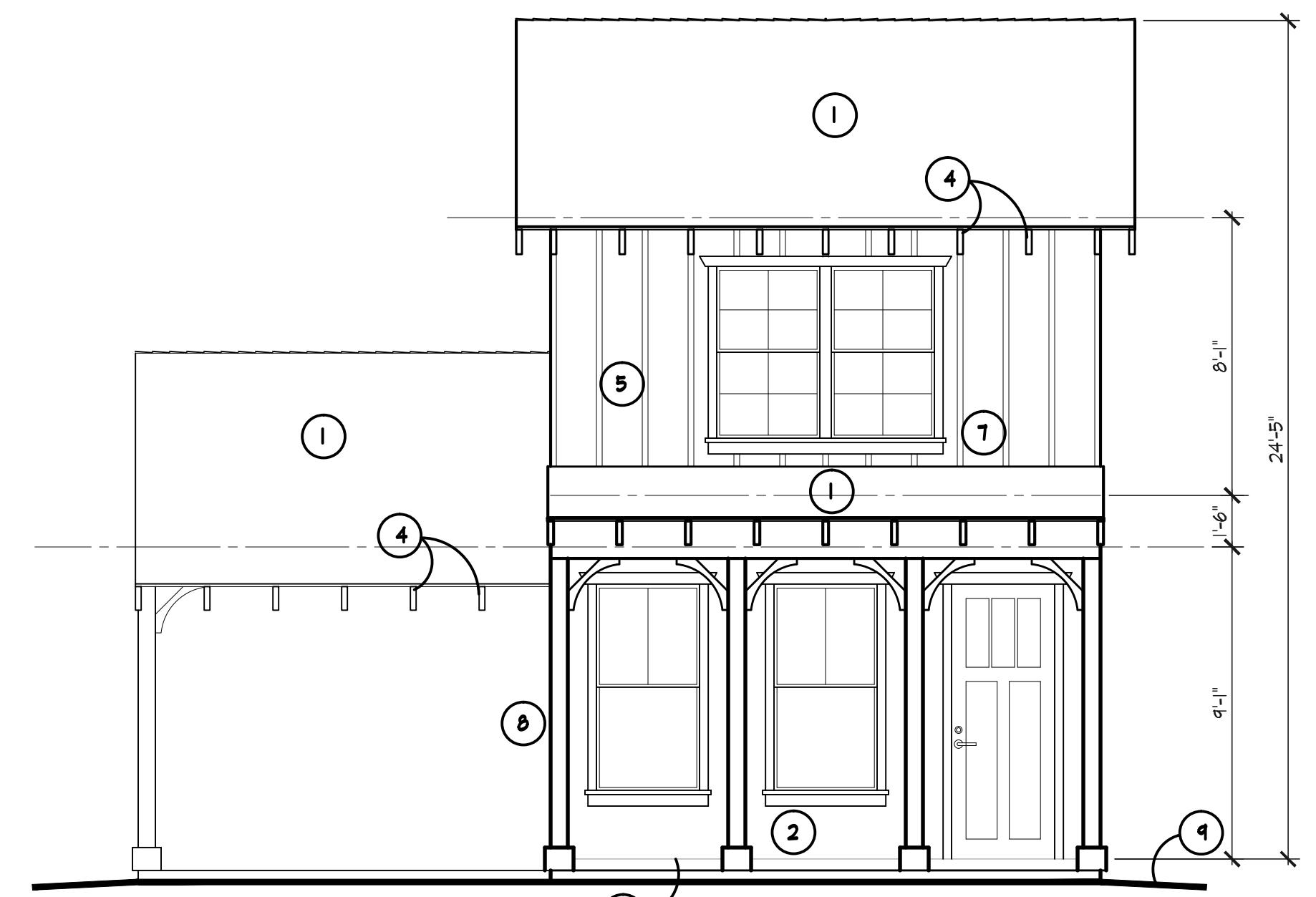
ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED
BY MANUFACTURER APPROVED INSTALLERS

OVER DOW STYROFOAM TONGUE AND GROOVE
INSULATION BOARD (ESR 2142)

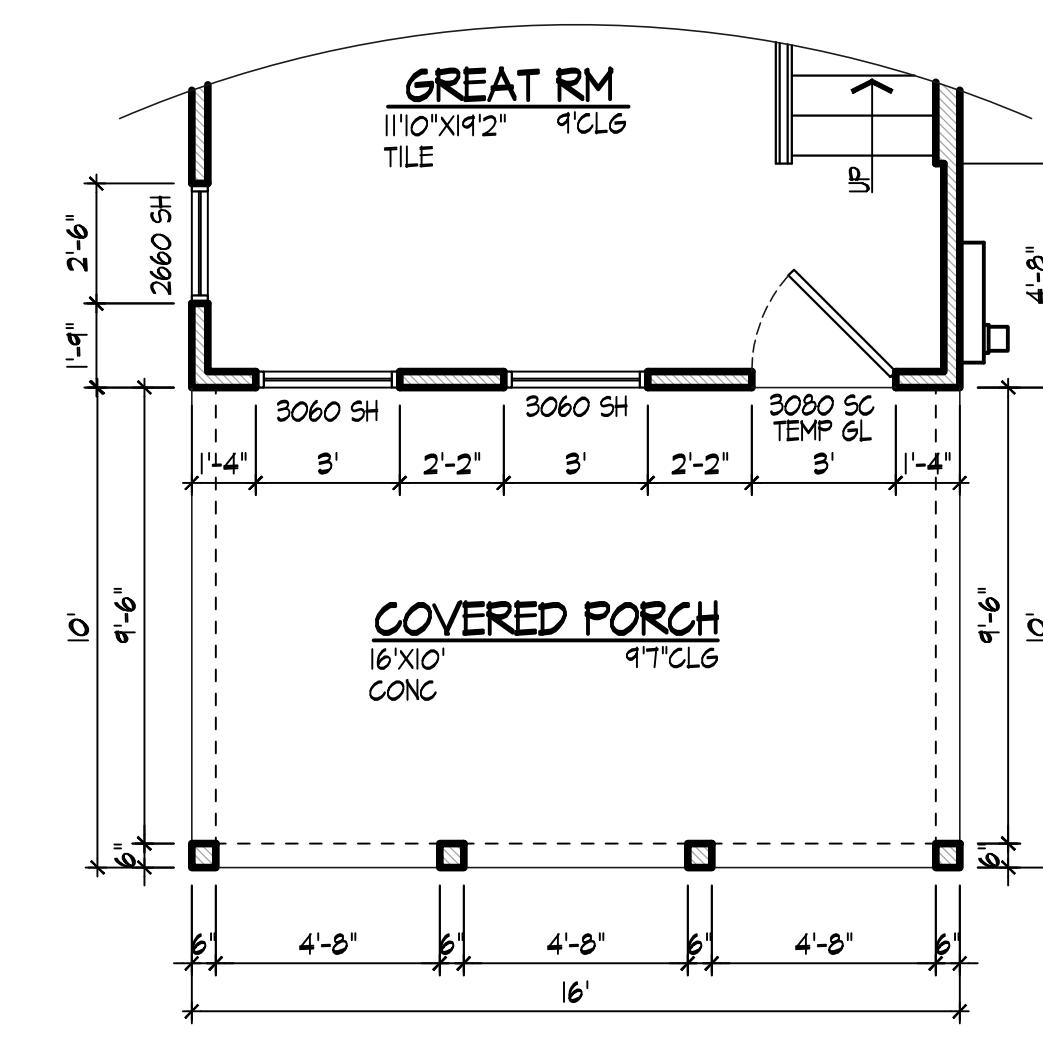
OVER A WEATHER BARRIER CONSISTING OF
(2) LAYER OF #15 ASPHALT FELT COMPLYING WITH
ASTM D 226 TYPE I WITH MINIMUM 2" HORIZONTAL
LAP AND 6" VERTICAL LAPS.



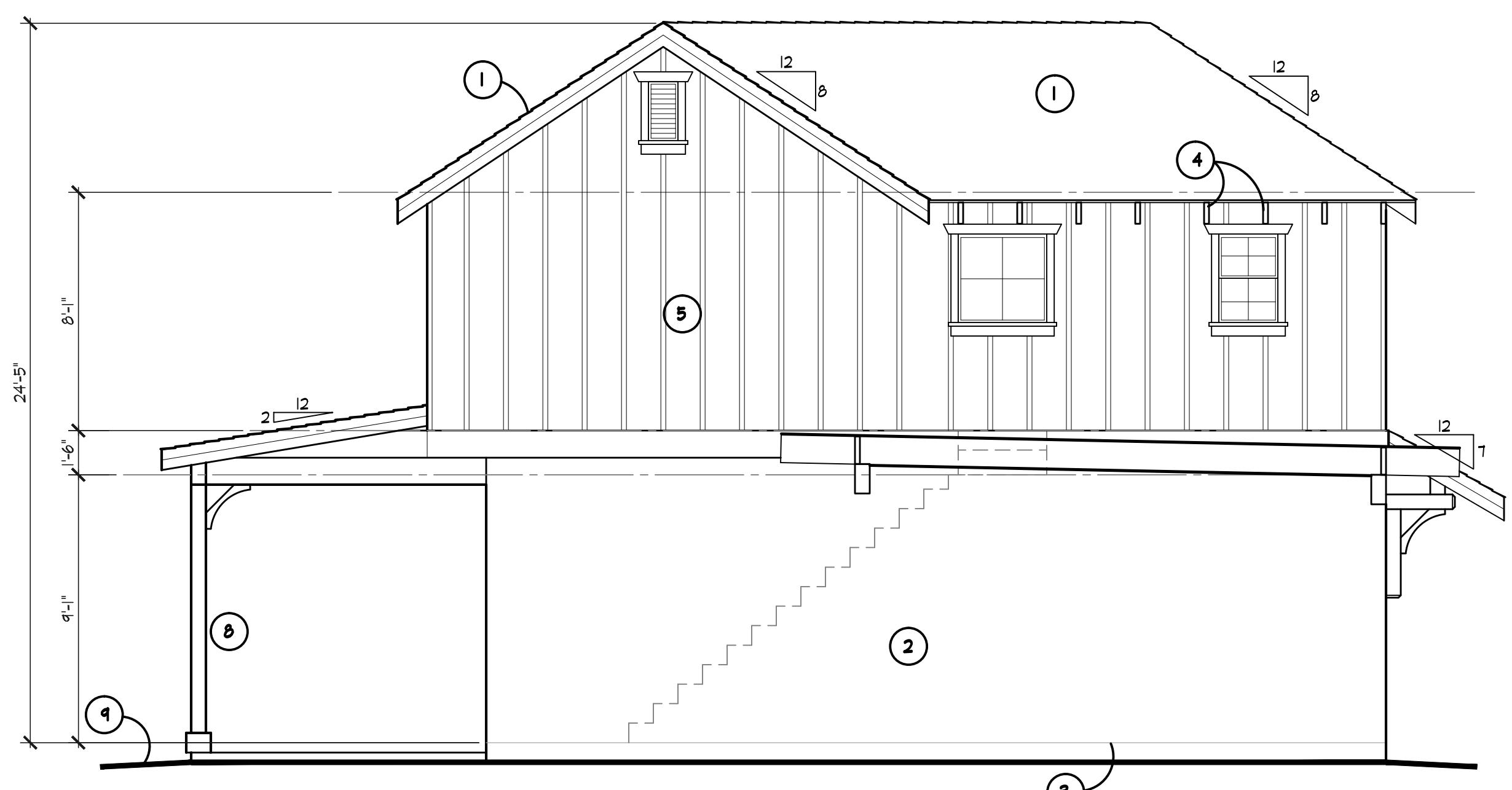
LEFT ELEVATION w/ LARGER PORCH
1/4"=1'-0"



FRONT ELEVATION w/ LARGER PORCH
1/4"=1'-0"



MAIN FLOOR PLAN w/ LARGER PORCH
1/4"=1'-0"



RIGHT ELEVATION w/ LARGER PORCH
1/4"=1'-0"

MULTI-PLEX TOWNHOUSES

SOSMAN COTTAGES

MESA, AZ

ELEVATION 'D' RANCH

DATE: 2/19/24

SCALE: 1/4"=1'-0"

DRAIN: KKING

JOB: CRAFT-COT

SHEET:

4d.1

REVISIONS BY
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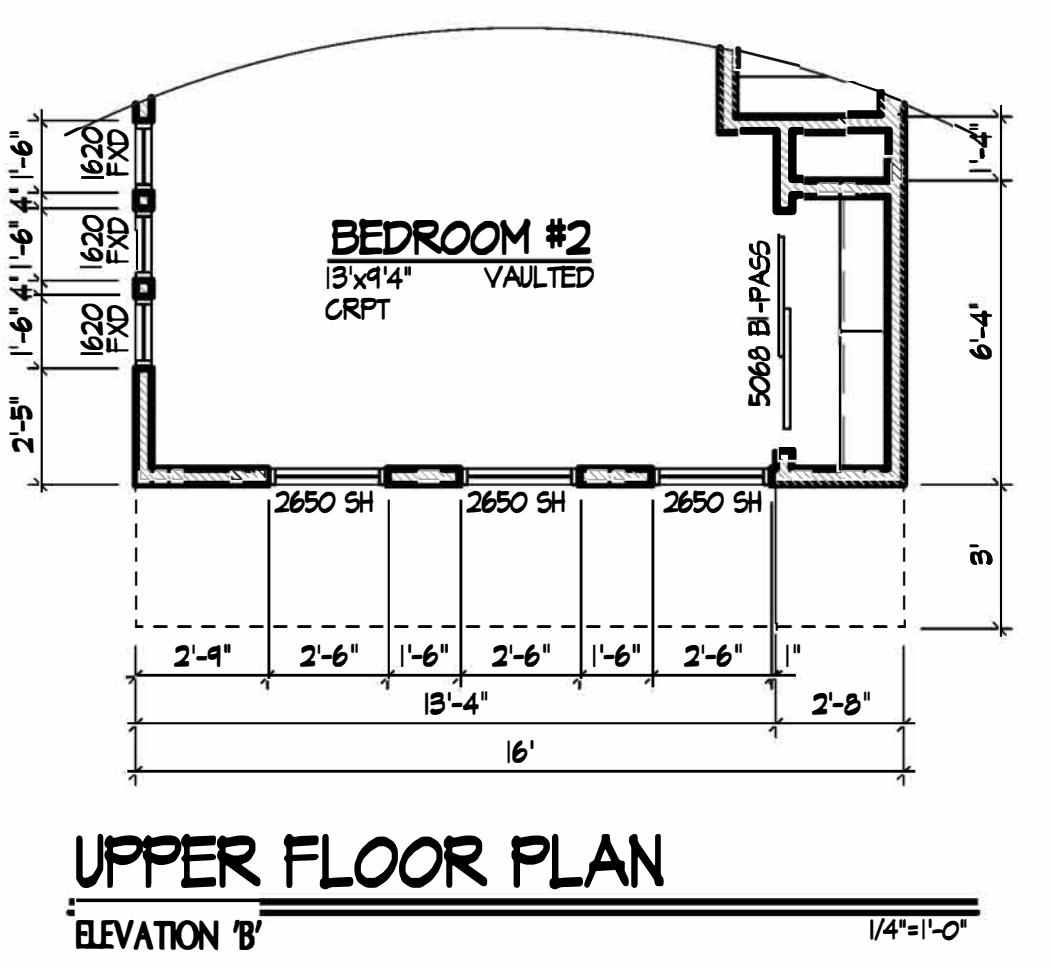
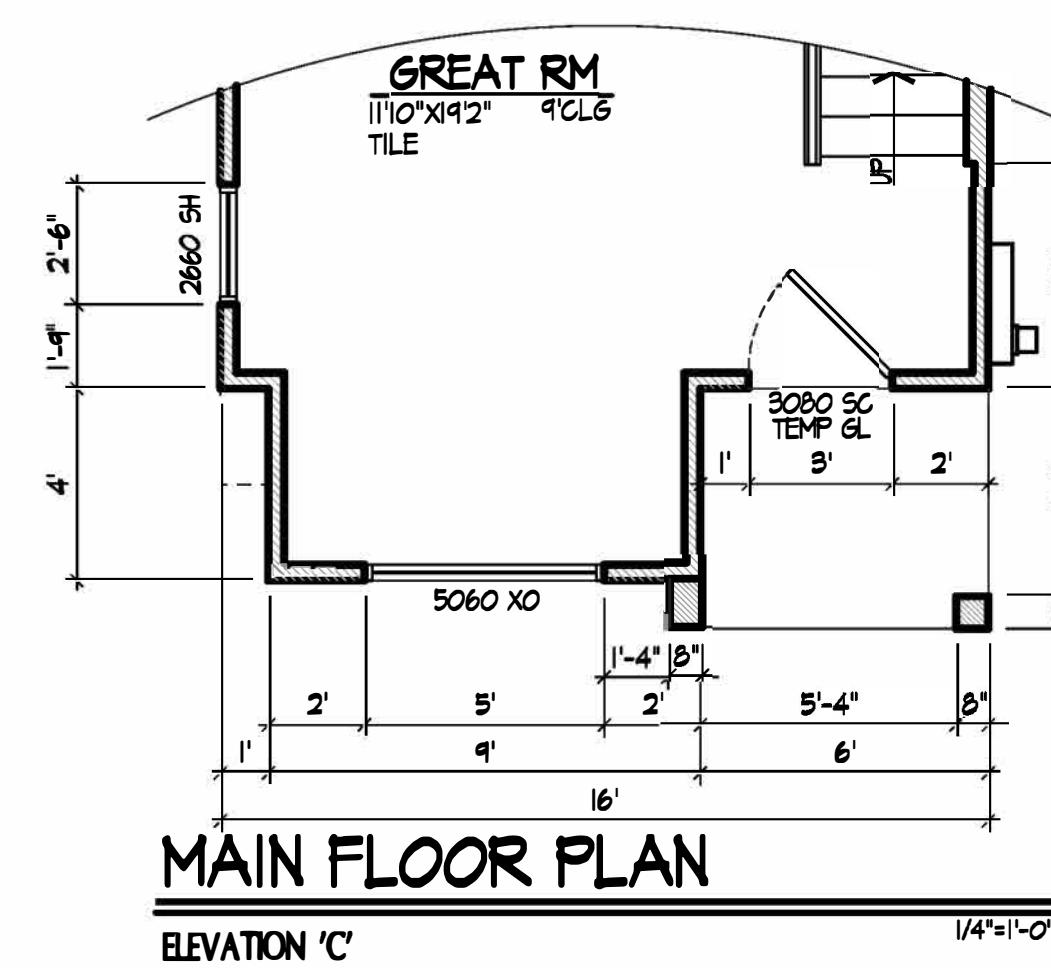
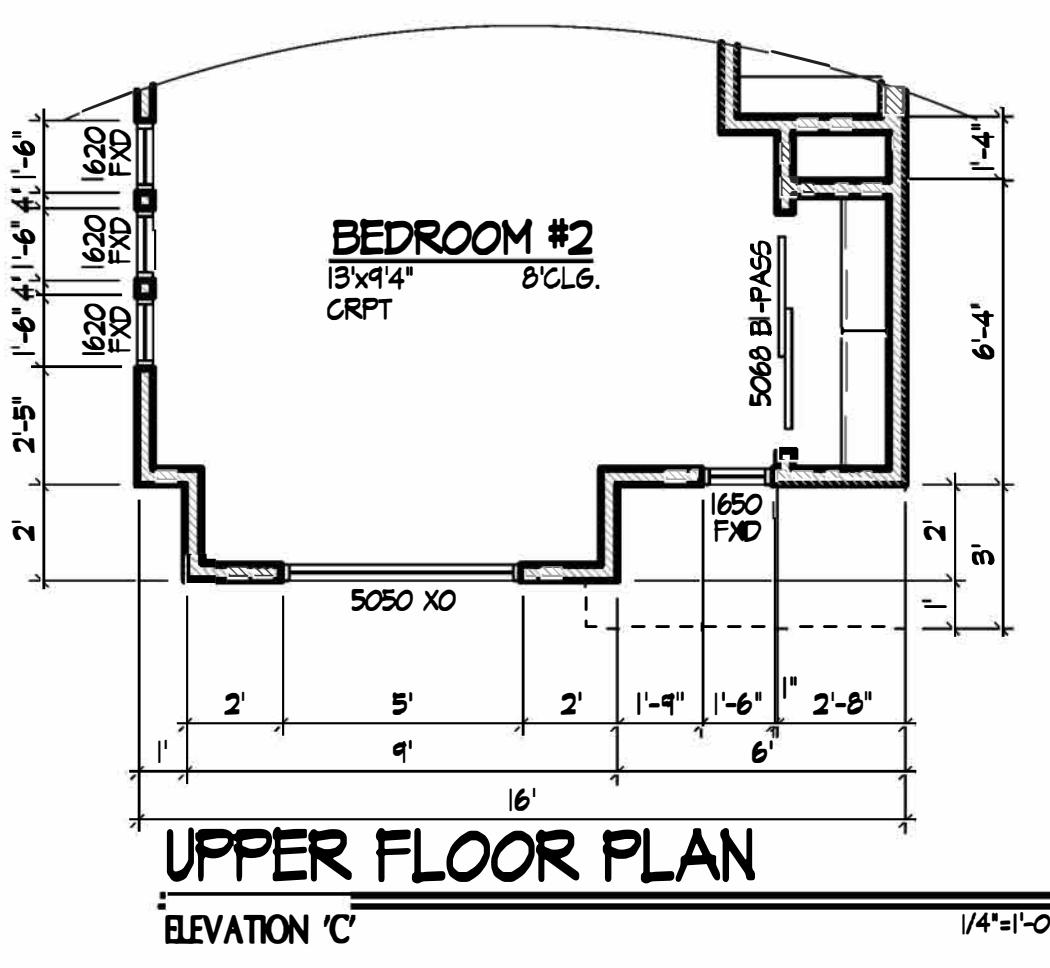
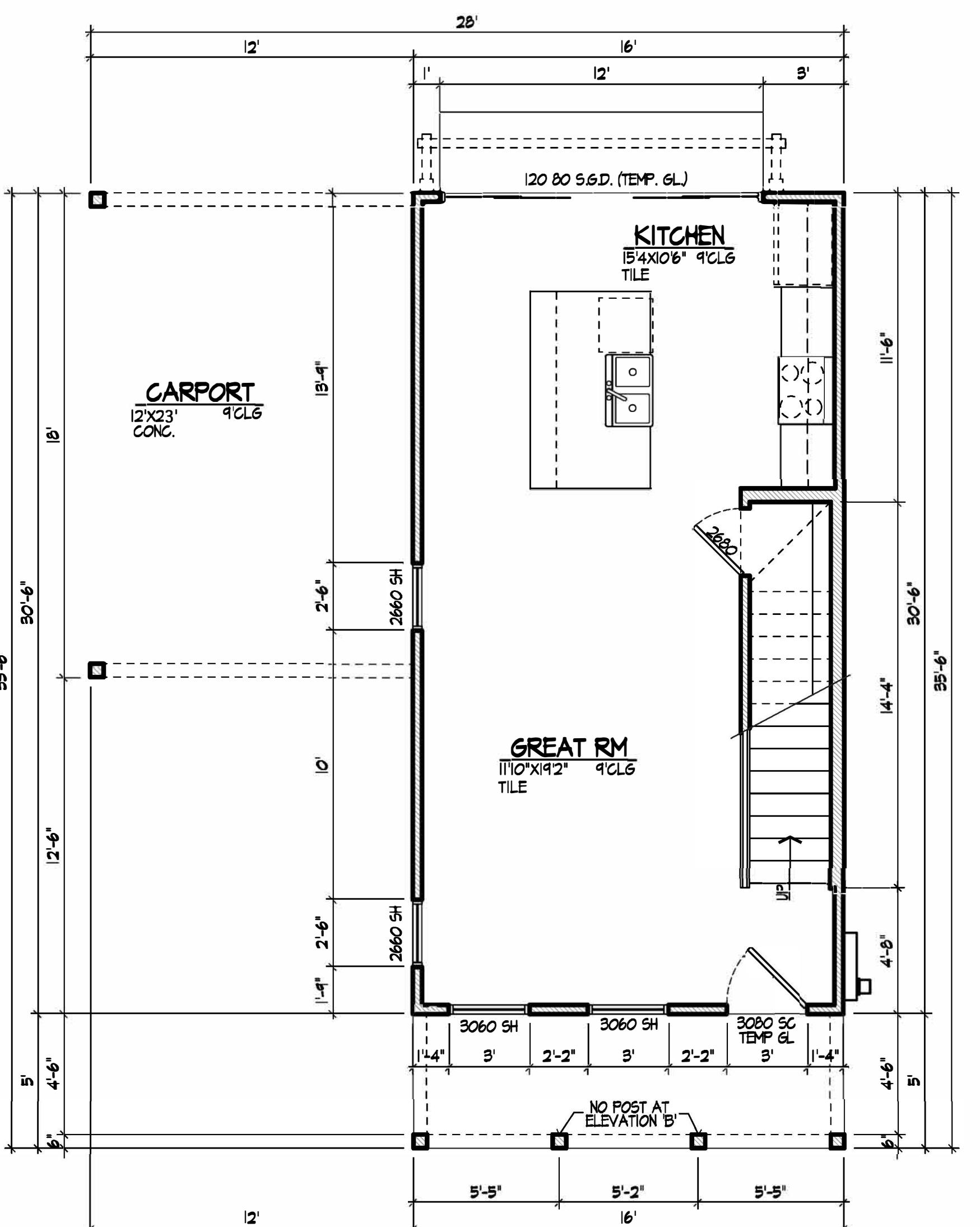
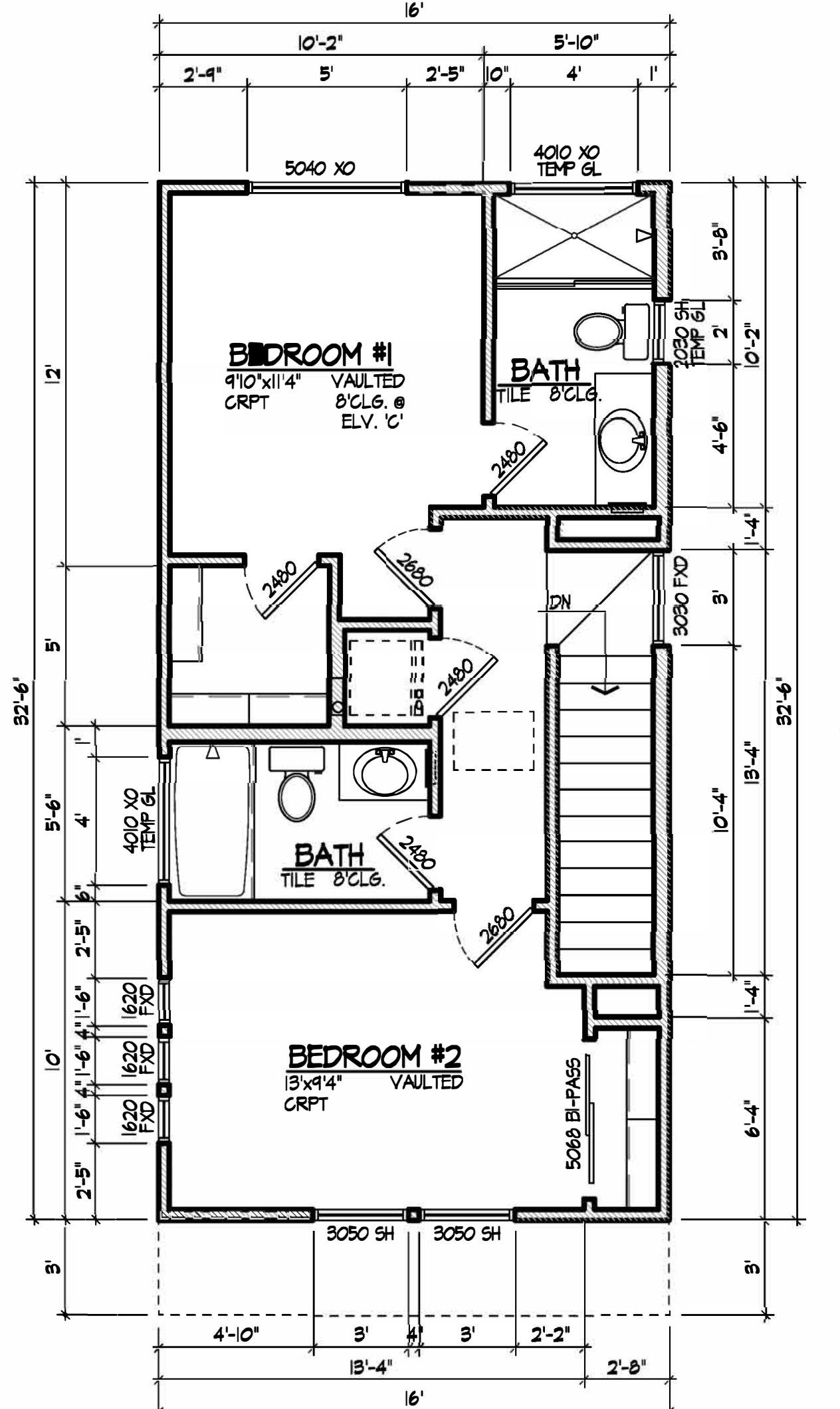
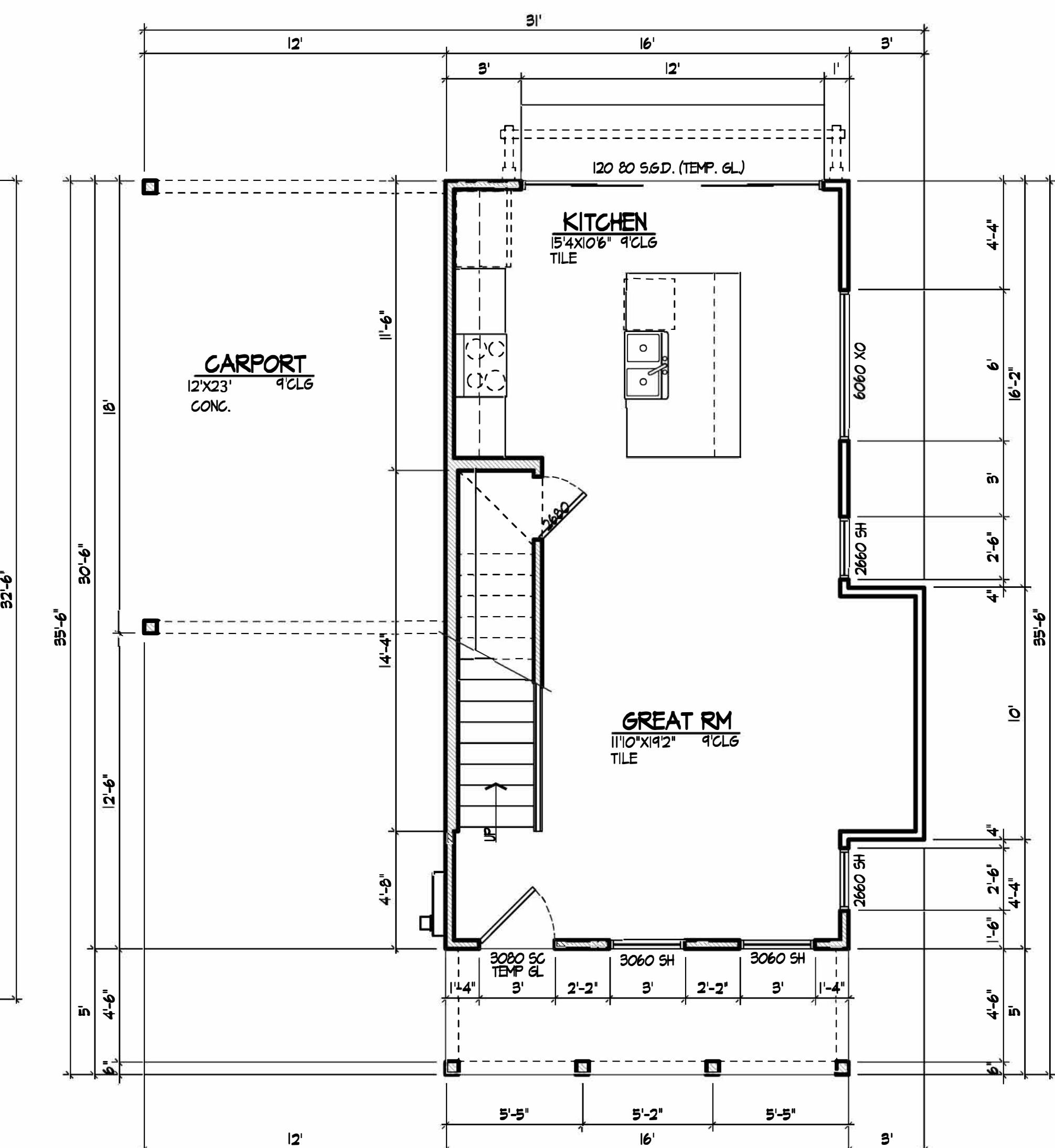
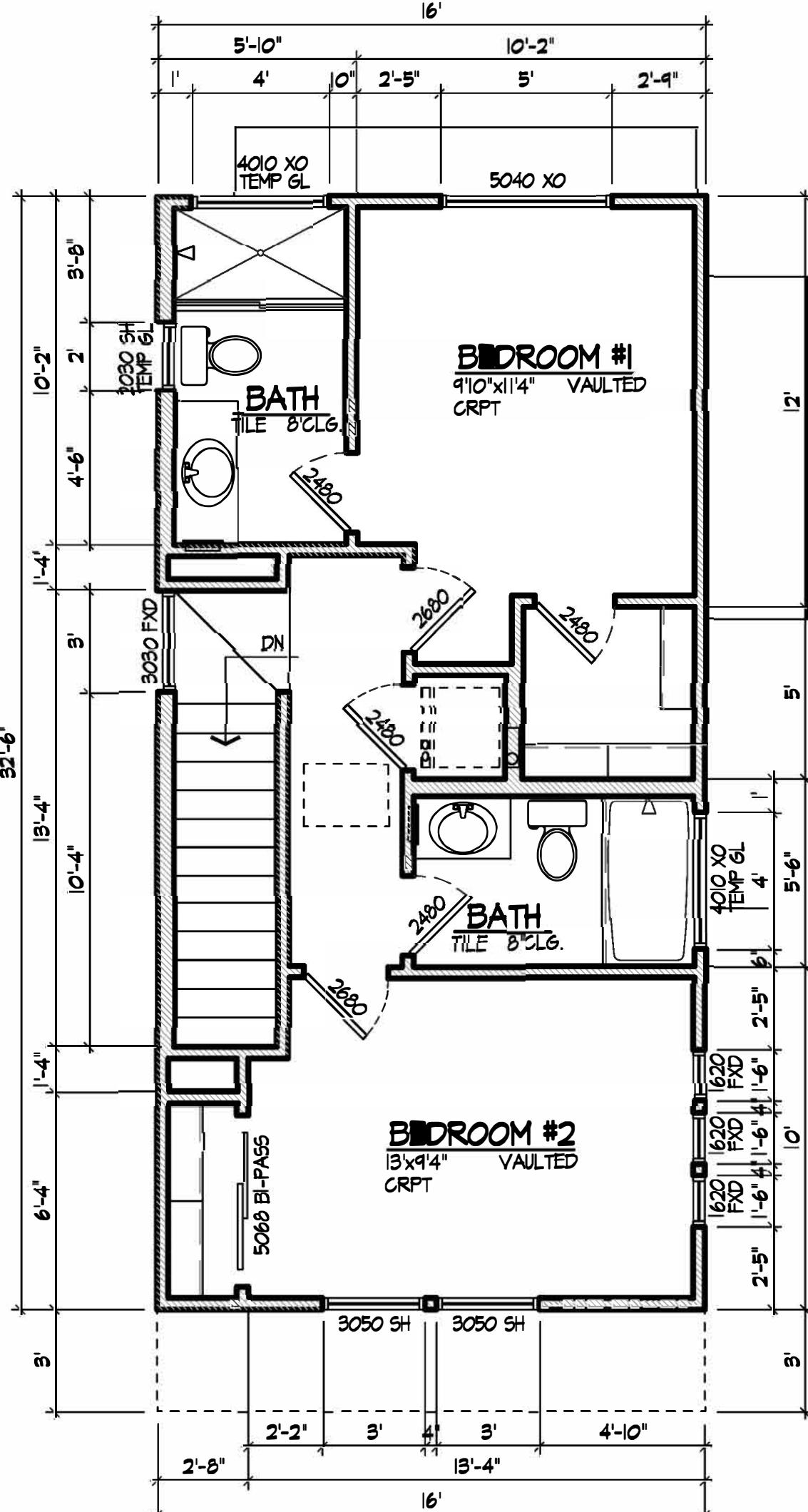
KING CUSTOM DESIGN
1620 39TH HWY
Tucson, AZ 85714

CRAFT
HOMES

REVISIONS BY
 □ KK
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AREA SCHEDULE	
ELEVATION 'A'	LIVABLE
(A) MAIN FLOOR LIVABLE	516
(B) UPPER LIVABLE	520
(C) CARPORT	216
(D) COVERED PORCH	80
TOTAL UNDER ROOF	1,036
	1,334

AREA SCHEDULE	
ELEVATION 'B'	LIVABLE
(A) MAIN FLOOR LIVABLE	496
(B) UPPER LIVABLE	520
(C) CARPORT	216
(D) COVERED PORCH	80
(E) LARGER CVRD. PORCH	146
TOTAL UNDER ROOF	1,008
	304/1,384

AREA SCHEDULE	
ELEVATION 'C'	LIVABLE
(A) MAIN FLOOR LIVABLE	524
(B) UPPER LIVABLE	536
(C) CARPORT	216
(D) COVERED PORCH	31
TOTAL UNDER ROOF	1,062
	1,309

AREA SCHEDULE	
ELEVATION 'D'	LIVABLE
(A) MAIN FLOOR LIVABLE	488
(B) UPPER LIVABLE	520
(C) CARPORT	216
(D) COVERED PORCH	80
(E) LARGER CVRD. PORCH	146
TOTAL UNDER ROOF	1,008
	309/1,384

FLOOR PLANS

DATE: 2/19/24

SCALE: 1/4"=1'-0"

DRAW: KKING

JOB: CRAFT-COT

SHEET:

3a

KING CUSTOM DESIGN
© 2022

MULTI-PLEX TOWNHOUSES
SOSMAN COTTAGES
NEVA AZ

REVISIONS BY
△ KK

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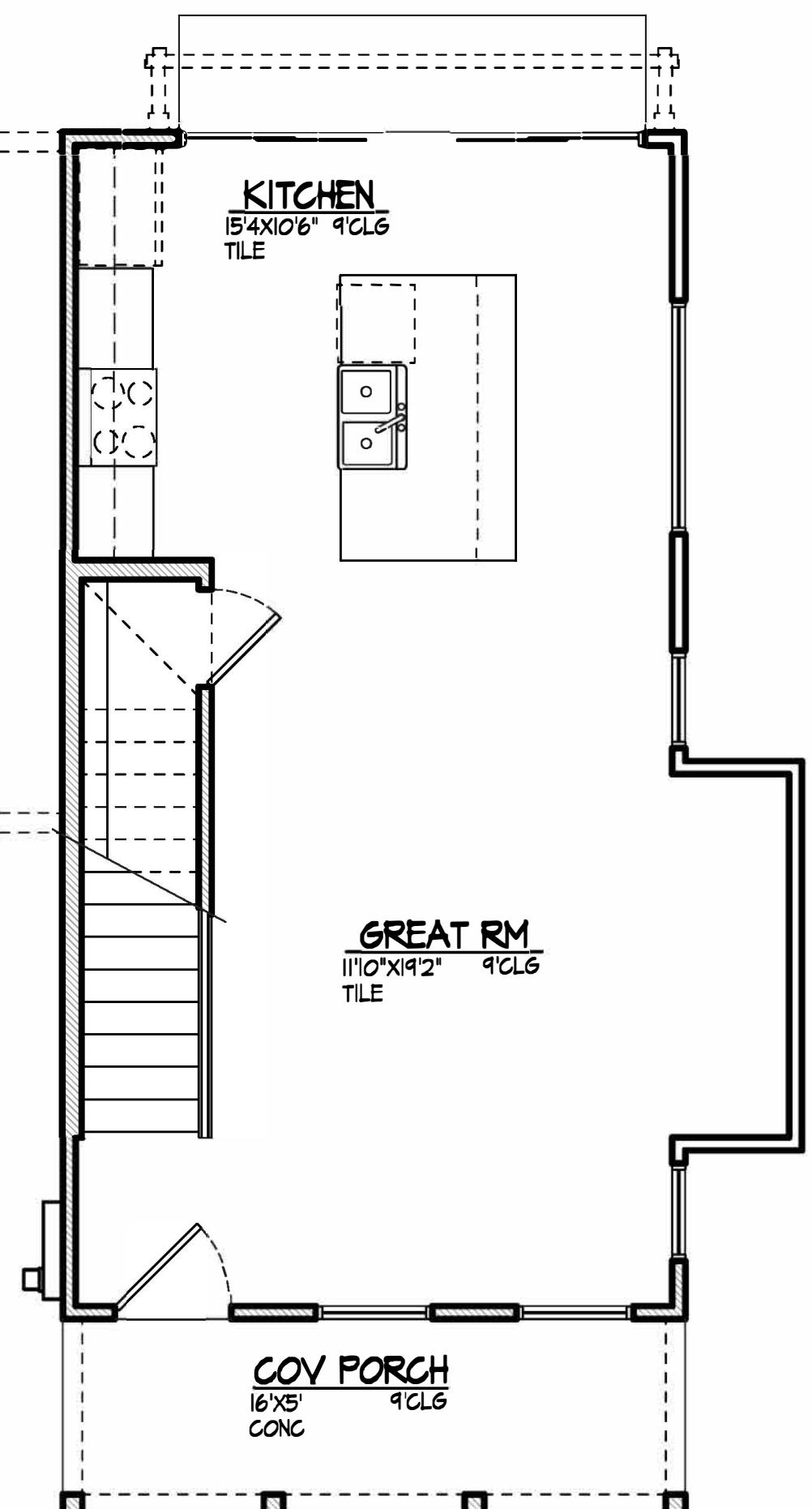
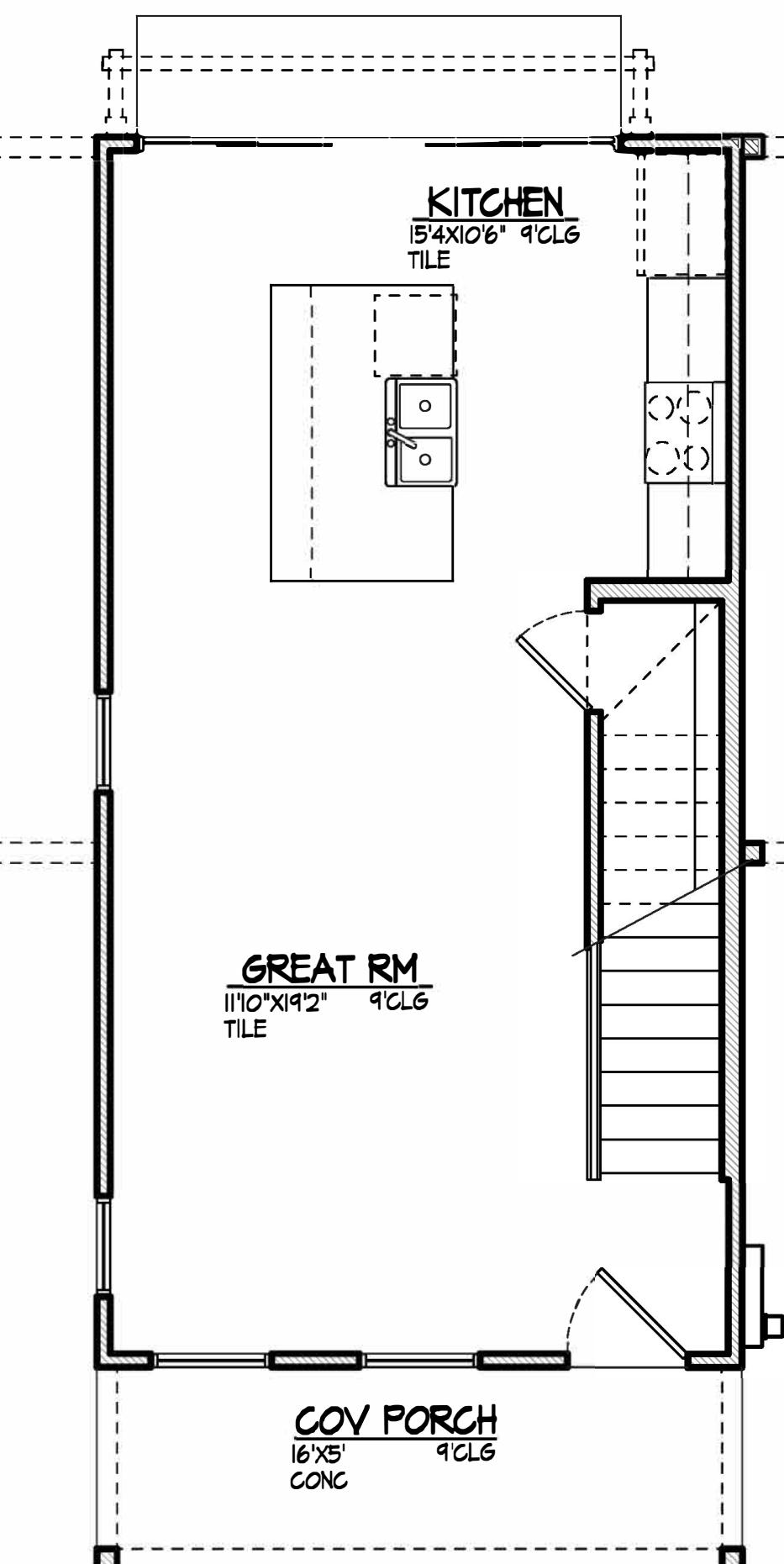
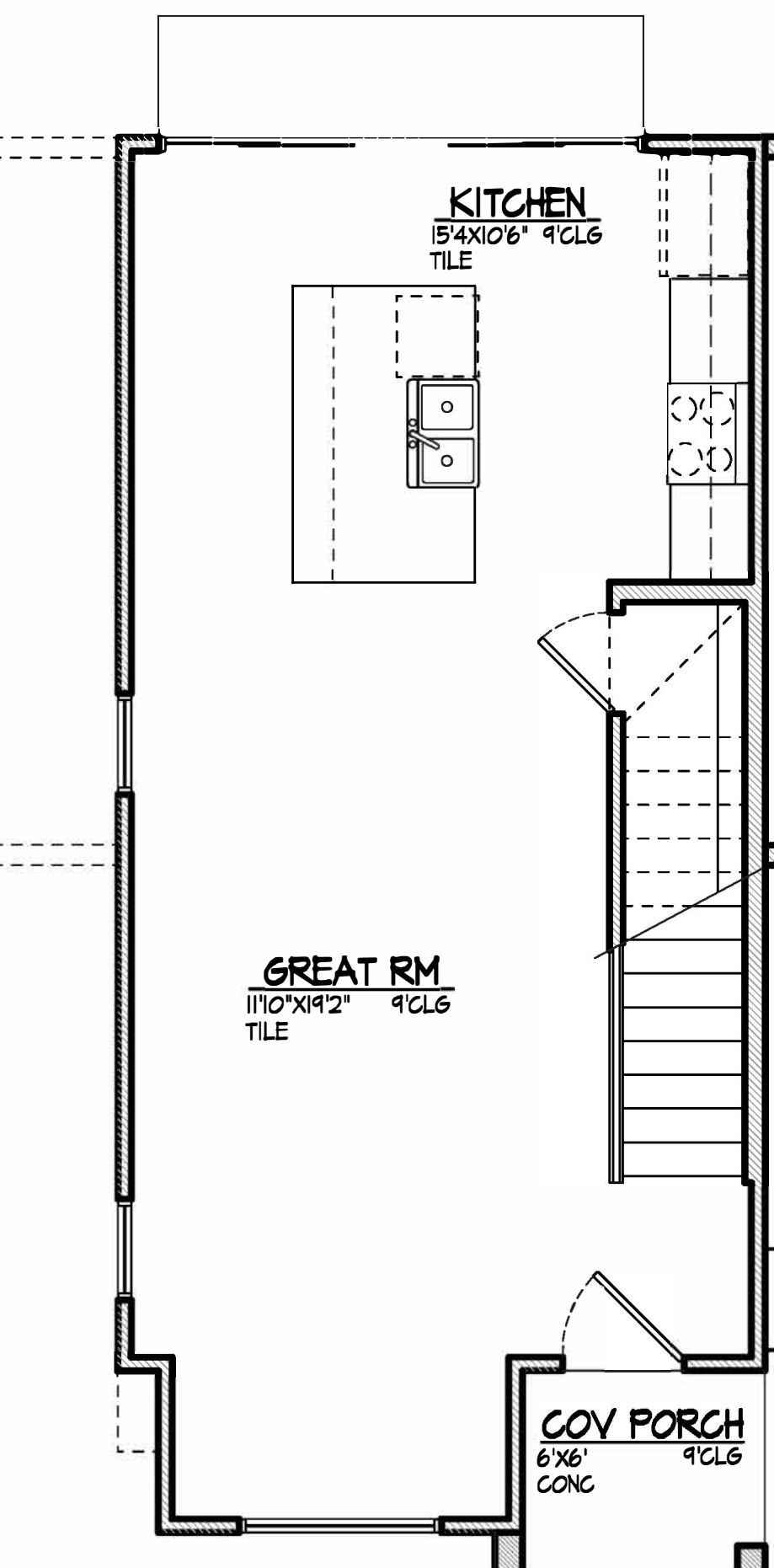
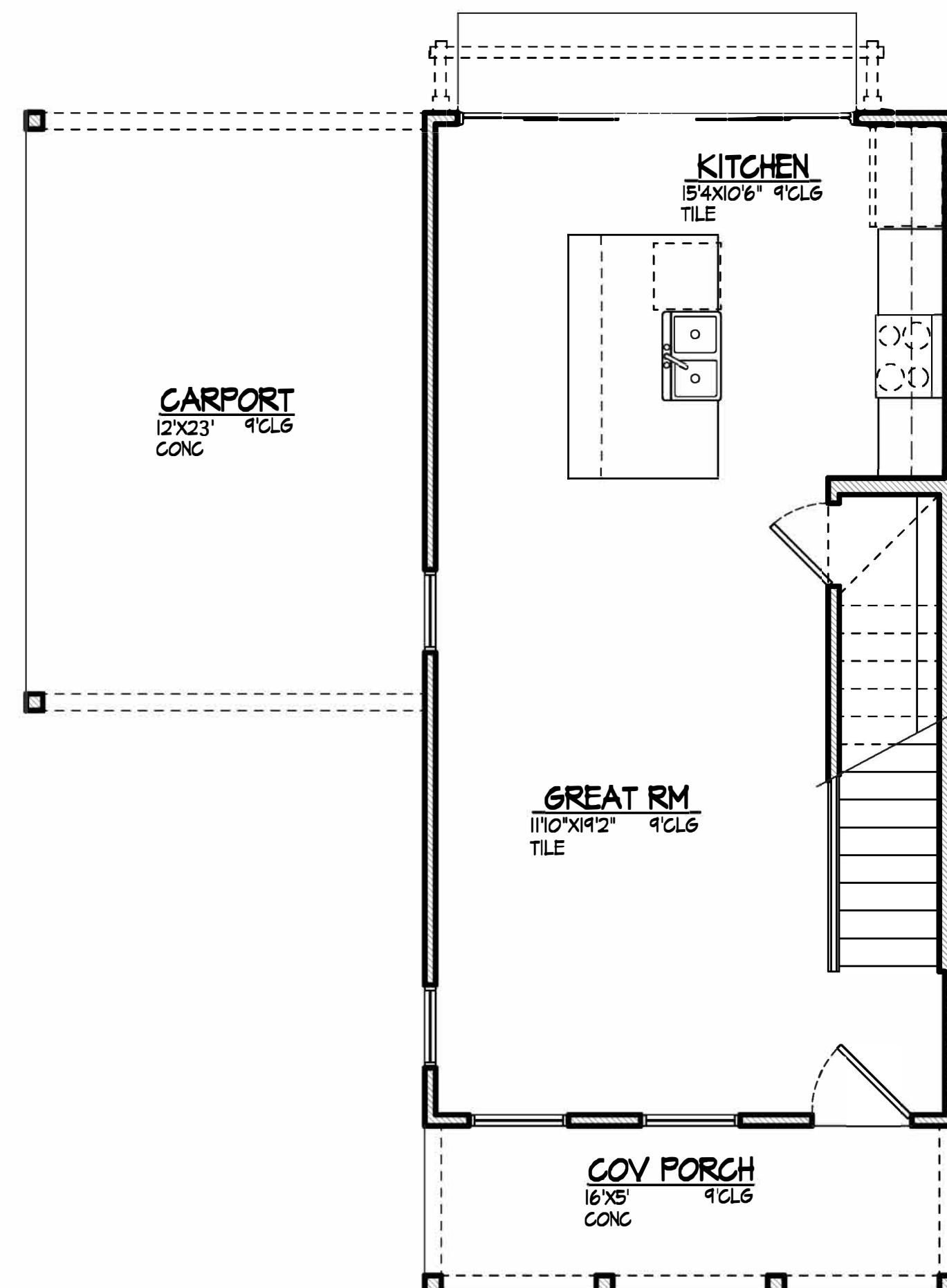
KING CUSTOM DESIGN
1000 N 100 E
MESA, AZ 85204

CRAFT
HOMES

MULTI-PLEX TOWNHOUSES
SOSSMAN COTTAGES
MESA, AZ

FLOOR PLANS

DATE: 2/19/24
SCALE: 1/4"=1'-0"
DRAWN: KKING
JOB: CRAFT-COT
SHEET: 3



Sossaman Townhomes

**PROPOSED RESIDENTIAL DEVELOPMENT
545 FEET NORTH OF NWC OF MAIN STREET AND
SOSSAMAN ROAD
Mesa, Arizona**

Rezone, Site Plan Review and Design Review

Citizen Participation Plan

Submitted: September 7, 2021

I. Introduction

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site. The Applicant is requesting a Rezone, Site Plan Review (SPR) and Design Review (DR) for the development of new residential community. The subject site is comprised of roughly 2.75 acres located approximately 545 feet north of the northwest corner of Main Street and Sossaman Road (the "Property"). See attached aerial map.

The project is consistent with the City's General Plan designation and compatible with the surrounding uses. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

II. Contact

Adam Baugh
Withey Morris, PLC
2525 East Arizona Biltmore Circle
Phoenix, Arizona 85016
602-230-0600
Email: George@witheymorris.com

III. Contact List

Parties affected by the applications may include properties owners within 500-feet of the Property as identified by the Maricopa County Assessor's Map, residents,

registered neighborhoods, homeowners' associations and other neighborhood entities identified by the City of Mesa and interested parties which may request to be placed on the Contact List.

IV. Notification Technique / Notice of Meetings

Citizens, registered neighborhoods, homeowners' associations, and other interested parties affected by the rezone / SPR / DR applications will be notified of the application through an informational mailing to be sent in mid-September. The letter will introduce the Applicant, provide information on the project, provide contact information for the City and the Applicant and encourage the recipient to contact the City or the Applicant with any questions or comments.

The letter will also invite neighbors to attend a future neighbor meeting to discuss the proposal.

Once hearings are scheduled, another mailing will be sent out with detailed information on the hearing and how to participate. The hearing notification letter will again encourage the recipient to contact the City or the Applicant with any questions or comments.

Additionally, once the SPR / DR application is scheduled for consideration by the Planning & Zoning Commission, new letters will be distributed with hearing information and a sign posted on site – as directed by the City.

V. Response Procedures

The Applicant will be available to discuss the project with any and all citizens expressing interest in the project. Phone conversations are typically the most efficient and appreciated means of discussing projects, but individual meetings

(virtual or otherwise) will be conducted upon request. The City of Mesa is also available to answer questions regarding the review and public hearing process.

VI. Status Procedures

The Applicant shall keep the City of Mesa informed of the status of its citizen participation efforts through a Citizen Participation Report or other correspondence with the assigned City Staff. Copies of the applications containing the complete details of the requests shall be kept on file with the City of Mesa.

VII. Inquiries

Information regarding project inquiries will be documented in the Citizen Participation Report and/or provided to the assigned City Staff.

VIII. Schedule for Implementation (Please note this schedule includes some information regarding the concurrent PAD case as and FYI of additional public outreach)

1. Rezone / SPR / DR Submittal	August 27
2. PAD/ SPR / DR notification letters	Mid-September
3. PAD/ SPR / DR virtual open house	October
4. DR hearing notification letters	October/November
5. DR Design Review Board hearing	November/December
6. PAD/SPR Planning & Zoning notifications	December
7. PAD/SPR/DR Planning & Zoning Board hearing	January
8. PAD/SPR/DR City Council hearing	February

The Cottages on Sossaman Citizen Participation Report

ZON21-00874
150 N Sossaman Road
Mesa

Date:
March 20, 2024

Purpose:
The following Citizen Participation Report provides a summary of the results from the implementation of the Citizen Participation Plan for the above reference project. The application is a request for a rezoning from Limited Commercial (LC) to Multiple Residence (RM-2) with a PAD overlay to allow for the development of a residential community called The Cottages on Sossaman. The site is roughly 2.75 gross acres at 150 N Sossaman Road, located 545 feet north of Main Street.

Contact:
Alex Hayes
Withey Morris Baugh, PLC
2525 E. Arizona Biltmore Circle, Ste A-212
Phoenix, AZ 85016
602.230.0600 / Hayes@wmbattorneys.com

Implementation of the Citizen Participation Plan:

1st Neighborhood Notification and Open House Meeting

The initial community involvement area for this project consisted of property owners located within 750 feet of the Property as well as registered neighborhoods within 1 mile of the property and HOA's within 1/2 mile of the property. In order to provide effective citizen participation in conjunction with the application, our office mailed first-class letters with companion exhibits on October 5, 2021 which described the development proposal and invited the recipient to attend a virtual neighbor meeting on October 20, 2021. The letter also included the applicant's contact information and exhibits including an aerial map showing the location of the development. See attached mailing list and notice letter at **Tab 1**.

Three individuals responded to the notification and requested virtual meeting information, which was provided by the applicant. A virtual neighborhood meeting was held on October 20, 2021 via Zoom. The applicant prepared a project presentation and members of the development team were present to provide information and answer questions. None of the individuals that responded to the notification attended the meeting, though one reported an

inability to access the zoom meeting. The individual was provided the same Zoom link used by the Applicant and development team who were in attendance.

2nd Neighborhood Notification and Open House Meeting

A second neighbor meeting was held to provide an additional opportunity for neighbors and interested parties to learn about the project and raise any potential concerns. The community involvement area for this meeting included property owners within 1,000 of the Property as well as registered neighborhoods within 1 mile of the property and HOA's within 1/2 mile of the property as provided by Mesa planning staff. First-class letters with companion exhibits were mailed on November 15, 2021 which described the development proposal and invited the recipient to attend an a virtual meeting for information regarding the project. The letter included the applicant contact information and exhibits including an aerial map. See attached materials at **Tab 2**.

Four individuals responded to the notification. A virtual neighborhood meeting was held on November 30, 2021 via Zoom. A project presentation was prepared and delivered and members of the development team were present to provide information and answer questions. Two individuals attended the meeting, including Mr. Brian Paul, the individual that had difficulty accessing the first meeting. Both attendees are residents of the Maricopa County island on the east side of Sossaman Road. The main points of discussion were as follows:

- Plans for the development of the long vacant 2.75-acre site with a new townhome community were presented by the development team.
- The complementary nature of the project to the existing residential neighborhood and the development patterns in the area.
- The difficulties of infill development.
- The status and history of the application, including adjustments to the project since the original inception and adjustment per feedback gathered from the City were presented by the development team.
- The development team fielded questions from attendees.

Positive Feedback Received:

To date, the applicant and has received 1 email indicating support for the project. See email at **Tab 3**. Below is a summary of the supportive comments:

- Board of the Amberly Lane HOA is supportive of the development as the current vacant lot attracts unwanted activity.

Concerns and Applicant Response:

Below is a summary of concerns expressed at the virtual meeting.

- **Parking:** Attendees were concerned this proposal would create a traffic impact in their neighborhood with community residents parking in their neighborhood. The Applicant

explained that the development will be parked consistent with the requirements of the Mesa Zoning Ordinance. Each residence will have two (2) parking spaces (one covered) and the community will feature six (6) guest parking spaces. This will provide ample parking and it is highly unlikely that residents or guests would park on the other side of Sossaman Road.

- **Property Values:** Mr. Paul stated this development would cause a loss in property values. The Applicant explained that a vacant blighted lot is more likely to negatively affect their property values than a brand-new residential development with high-quality homes.
- **Noise/traffic from Community Amenities:** Mr. Paul expressed concern that the public gathering areas and entertainment spaces within the community would create noise and traffic from visitors. The Applicant explained that the community amenity spaces will not be utilized as entertainment venues and will be for the sole use and enjoyment of the community's residents. The Applicant further explained that the community would be managed by an HOA that would include restrictions such as noise curfews to limit any potential impacts on the surrounding neighborhood.
- **Environmental Sensitivity of Property / Carbon Impact of Development:** Mr. Paul expressed concern over the development's impact on environmentally sensitive flora and fauna on the site, including potentially endangered birds. The Applicant explained that this infill site located between a retail center and self-storage facility was not home to any existing environmentally sensitive habitats and the increased landscaping associated with the development will be beneficial to bird life in the area.

Project Schedule:

• Pre-submittal meeting	May 26, 2021
• Original Application submittal	September 3, 2021
• Neighborhood notification letters	October 5, 2021
• Neighborhood open house meeting	October 20, 2021
• 2nd Neighborhood notification letters	November 15, 2021
• 2nd Neighborhood open house meeting	November 30, 2021
• Submit Citizen Participation Report and Notification materials:	March 20, 2024
• Planning & Zoning Board Hearing:	April 10, 2024

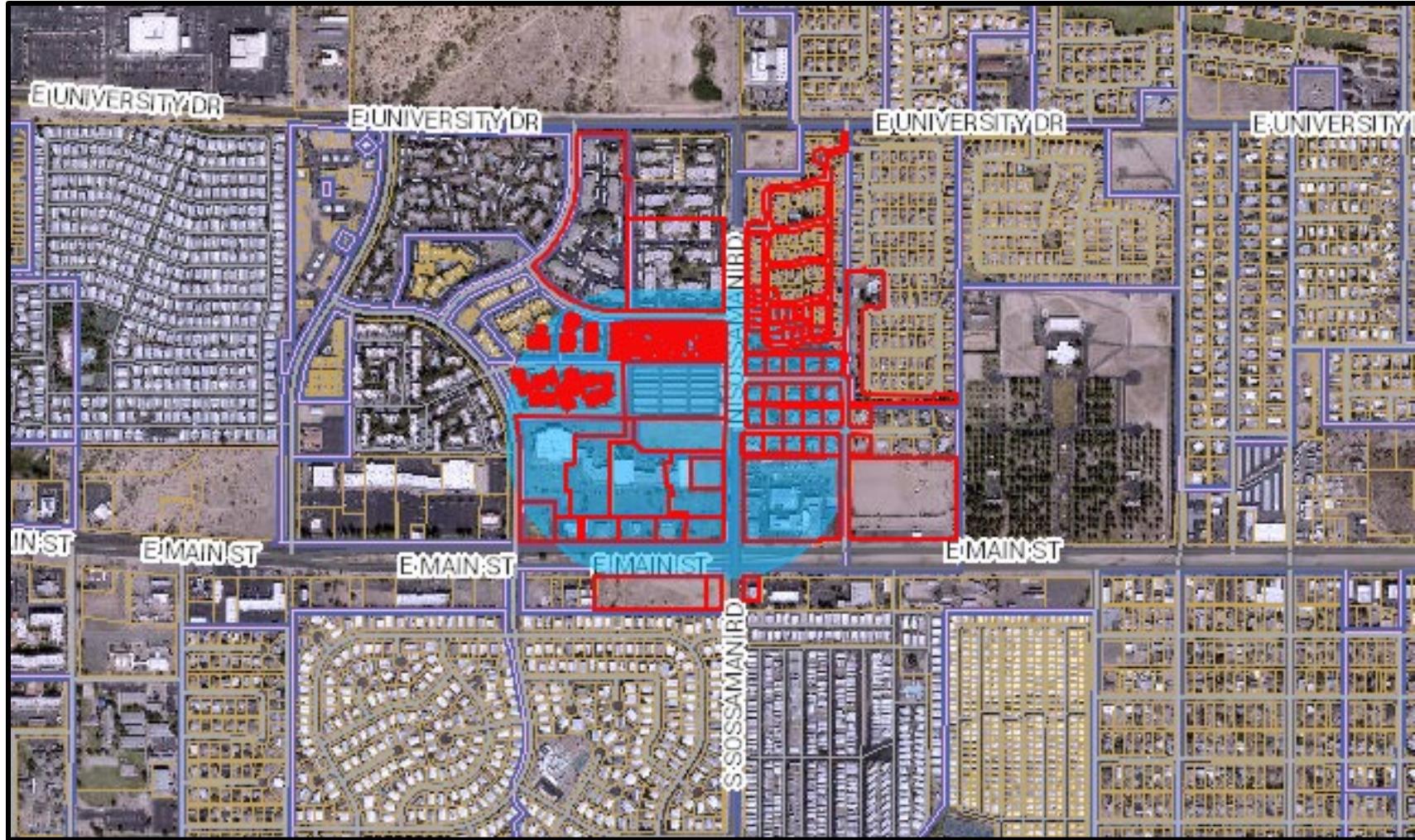
Conclusion:

The proposal seeks to transform a challenged infill site into a high-quality residential community. With any infill project there are always concerns about changing the status quo. This project is no different and the applicant is working to address the valid concerns raised by just two objectors. The very limited opposition, despite two separate notices, demonstrates

the compatibility and value of the proposal. The project is thoughtfully designed, and the applicant has been responsive to neighborhood comments and concerns. In concert with the action plan of the Citizen Participation Plan, the applicant will continue to be available to discuss the project with interested parties.

TAB 1

750 ft buffer



545 Feet North of NWC Main Street and Sossaman Road – Mesa, AZ

↑
N

Parcel Number	Owner	Property Address	Mailing Address
218-16-021A	EAST VALLEY STORAGE SOLUTIONS LLP	130 N SOSSAMAN RD MESA AZ 85207	3930 E CAMELBACK RD #100 PHOENIX AZ 85018
218-16-021B	BARETINICICH DENNIS F/BELLE L		414 LACINA RD GALLUP NM 87301
218-16-024C	VILLAGES AT SUN VALLEY LLC	7520 E BILLINGS ST MESA AZ 85207	8900 E BAHIA DR STE 105 SCOTTSALOE AZ 85260
218-16-030	FORESTDALE INVESTMENTS LLC	7464 E MAIN ST MESA AZ 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-031	ARWEN HOLDINGS LLC	7436 E MAIN ST MESA AZ 85207	11707 E TURQUOISE AVE SCOTTSDALE AZ 85259
218-16-032	KTN MESA 7448 LLC	7448 E MAIN ST MESA AZ 85207	2607 NE 109TH ST VANCOUVER WA 98686
218-16-033	7510 MAIN STREET LLC	7510 E MAIN ST MESA AZ 85207	270 N EL CAMINO REAL SUITE F480 ENCINITAS CA 92024
218-16-034	REED PARK INVESTMENTS LLC	7530 E MAIN ST MESA AZ 85207	7530 E MAIN ST MESA AZ 85207
218-16-035	MAIN AND SOSSAMAN LLC	7554 E MAIN ST MESA AZ 85207	9124 TERMINAL AVE SKOKIE IL 60077
218-16-053A	LAMB WILLIAM JJ/JANET E C/SCOTT W/JONATHON R	205 N 74TH ST 135 MESA AZ 85207	BOX 1 SITE 16 RR7 CALGARY AB CANADA T2P2G7
218-16-054A	KUMOK YI LIVING TRUST	205 N 74TH ST 136 MESA AZ 85207	205 N 74TH ST NO 136 MESA AZ 85207
218-16-055A	HOPKINS LISA A	205 N 74TH ST 137 MESA AZ 85207	249 CAMPO DR LONG BEACH CA 90803
218-16-056A	DURICK MICHAEL/JANICE	205 N 74TH ST 138 MESA AZ 85207	205 N 74TH ST UNIT 138 MESA AZ 85207
218-16-057A	HAINES RUTH ANN/JULIE ANN	205 N 74TH ST 139 MESA AZ 85207	205 N 74TH ST UNIT 139 MESA AZ 85207
218-16-058A	KEELER CLIVE EDGAR/SHARON GRACE	205 N 74TH ST 140 MESA AZ 85207	48 PRONGHORN ST NE MEDICINE HAT AB CANADA T1C1S3
218-16-079A	STRICKLAND LISA	205 N 74TH ST 235 MESA AZ 85207	11021 E TARRAGON AVE MESA AZ 85212
218-16-080A	RODE DAVID/KRISTINE	205 N 74TH ST 236 MESA AZ 85207	705 E 1ST STREET SOUTH TRUMAN MN 56088
218-16-081A	OLESON JESSICA A/CORY DION	205 N 74TH ST 237 MESA AZ 85207	205 N 74TH ST UNIT 237 MESA AZ 85207
218-16-082A	ANDERSON GEORGE W/KATHRYN S ETAL	205 N 74TH ST 238 MESA AZ 85207	205 N 74TH ST NO 238 MESA AZ 85207
218-16-083A	VAN DE WOESTYNE JACQUELINE ANN/MARCEL ANTHONY	205 N 74TH ST 239 MESA AZ 85207	229 BEAN CRESENT WEYBURN SK CANADA S4H3A3
218-16-084A	BIRD DANIEL M/LISA A	205 N 74TH ST 240 MESA AZ 85207	41800 PRINCESS DR CANTON MI 48188
218-16-142A	PARSONS REAL ESTATE INVESTMENT LLC SERIES 1	205 N 74TH ST 131 MESA AZ 85207	6375 SPRING BROOK RD ROCKFORD IL 61114-5662
218-16-143A	KRENN LAMBERT/WEBBER PAULETTE M	205 N 74TH ST 130 MESA AZ 85207	634 BENMORE PL KELOWNA BC CANADA V1W4Z4
218-16-144A	SMITH RONALD L/ERYLT	205 N 74TH ST 129 MESA AZ 85207	25 E WINDSOR CT SUGAR GROVE IL 60554
218-16-145A	IRVINE DAVID/DELLA	205 N 74TH ST 128 MESA AZ 85207	56 GREENFIELD DR REGINA SK CANADA S4S2T5
218-16-146A	DIANNER R WOODS REVOCABLE TRUST	205 N 74TH ST 127 MESA AZ 85207	PO BOX 7822 URBANDALE IA 50323
218-16-147A	BOKOL DANIEL JAMES/ERIKA S	205 N 74TH ST 126 MESA AZ 85207	205 N 74TH ST 126 MESA AZ 85207
218-16-148A	SALLY REHN FAMILY TRUST	205 N 74TH ST 125 MESA AZ 85207	7546 N 1300 AVE OSCO IL 61274
218-16-149A	ZION TRUST	205 N 74TH ST 124 MESA AZ 85207	205 N 74TH ST UNIT 124 MESA AZ 85207
218-16-150A	DAS SHOMIK/MARMORI RITA GONZALEZ	205 N 74TH ST 123 MESA AZ 85207	205 N 74TH ST NO 123 MESA AZ 85207
218-16-151A	KURCSICS BLAZENKA	205 N 74TH ST 122 MESA AZ 85207	205 N 74TH ST UNIT 122 MESA AZ 85207
218-16-152A	HAZEN LAURIE/WARREN THOMAS	205 N 74TH ST 121 MESA AZ 85207	426 PELICAN PL REGINA SK CANADA S4Y 1G3
218-16-153A	STEIEN CARL W/CHARLICE J	205 N 74TH ST 120 MESA AZ 85207	205 N 74TH ST NO 113 MESA AZ 85207
218-16-154A	STUBSTAD CLEM/PEGGY	205 N 74TH ST 119 MESA AZ 85207	14253 N HONEYSUCKLE DR FOUNTAIN HILLS AZ 85268
218-16-155A	RODGERS LESLEY JOANNE	205 N 74TH ST 118 MESA AZ 85207	4245 GREEN APPLE DR REGINA SK CANADA S4V515
218-16-156A	SHAGENA KRISTAL MICHELLE	205 N 74TH ST 117 MESA AZ 85207	205 N 74TH ST UNIT 117 MESA AZ 85207
218-16-157A	PIOTROWSKI EDWARD J/DARLENE J TR	205 N 74TH ST 116 MESA AZ 85207	205 N 74TH ST 116 MESA AZ 85207
218-16-158A	DANIEL KEVIN DOUGLAS	205 N 74TH ST 115 MESA AZ 85207	205 N 74TH ST UNIT 115 MESA AZ 85207-7403
218-16-159A	DEGRAY KAREN	205 N 74TH ST 114 MESA AZ 85207	205 N 74TH ST UNIT 114 MESA AZ 85207
218-16-160A	STEIEN CARL W/CHARLICE J	205 N 74TH ST 113 MESA AZ 85207	205 N 74TH ST NO 113 MESA AZ 85207
218-16-161A	COMMON RICHARD D/DELTRAUD TR	205 N 74TH ST 112 MESA AZ 85207	14282 HOLBROOK CT HUNTELEV IL 60142
218-16-162A	REDEKOPP-MCKEOWN JUANITA	205 N 74TH ST 111 MESA AZ 85207	3615 21ST AVE REGINA SK CANADA S4S0V3
218-16-163A	KENT RICHARD L/WANDA L	205 N 74TH ST 110 MESA AZ 85207	205 N 74TH ST 110 MESA AZ 85207
218-16-164A	HEATON SCOTT	205 N 74TH ST 109 MESA AZ 85207	205 N 74TH ST UNIT 109 MESA AZ 85207
218-16-165A	GLAD RICHARD/JAMI A	205 N 74TH ST 231 MESA AZ 85207	5019 125TH AVE SE BELLEVUE WA 98006
218-16-166A	GATES MITCHELL DRAKE	205 N 74TH ST 230 MESA AZ 85207	205 N 74TH ST UNIT 230 MESA AZ 85207
218-16-167A	JOHNSTON NORMAN/BAUER DONNA	205 N 74TH ST 229 MESA AZ 85207	126 PLAINSVIEW DR REGINA SK CANADA S4S6L2
218-16-168A	WEINER DAVID	205 N 74TH ST 228 MESA AZ 85207	8103 E SOUTHERN AVE LOT 283 MESA AZ 85209
218-16-169A	JUSZAK JOSEPH J/JUDITH	205 N 74TH ST 227 MESA AZ 85207	15 BUCKINGHAM DR SUGAR GROVE IL 60554
218-16-170A	MARGRAF ROBERT J/NANCY W	205 N 74TH ST 226 MESA AZ 85207	2982 LEPAK LN GREEN BAY WI 54313
218-16-171A	FAWELL RANDALL G	205 N 74TH ST 225 MESA AZ 85207	205 N 74TH ST 225 MESA AZ 85207
218-16-172A	JOYCE FIORE LIVING TRUST	205 N 74TH ST 224 MESA AZ 85207	11 CHESTNUT LN CLIFFORD PARK NY 12605
218-16-173A	VAN ZANTEN STOEL TRUST	205 N 74TH ST 223 MESA AZ 85207	783 ALDER ST GILROY CA 95020
218-16-174A	SOLAR JENNIFER V	205 N 74TH ST 222 MESA AZ 85207	123 ADAMS AVE INGLESIDE IL 60041
218-16-175A	SHERMAN PATSY N	205 N 74TH ST 221 MESA AZ 85207	3900 N STABLE CT APT 101 PEORIA IL 61614
218-16-176A	HUNTER MICHELE	205 N 74TH ST 220 MESA AZ 85207	PO BOX 14083 MESA AZ 85216
218-16-177A	VAN VALKENBURG JOSHUA EDWARD	205 N 74TH ST 219 MESA AZ 85207	205 N 74TH ST UNIT 219 MESA AZ 85207
218-16-178A	THOENNES GERHARD L/KATHLEEN C	205 N 74TH ST 218 MESA AZ 85207	842 E LAKE COWDRY RD NW ALEXANDRIA MN 56308
218-16-179A	CARISSIMO DOMINICK R/SHIRLEY R	205 N 74TH ST 217 MESA AZ 85207	205 N 74TH ST 217 MESA AZ 85207
218-16-180A	NYE ROBERT/SAYLER JODY S	205 N 74TH ST 216 MESA AZ 85207	6815 E LAS ANIMAS TRL GOLD CANYON AZ 85218
218-16-181A	KASINECZ NANCY STACIE ANN	205 N 74TH ST 215 MESA AZ 85207	205 N 74TH ST 215 MESA AZ 85207
218-16-182A	GUAY LORRAINE R/CUMMING RICK A	205 N 74TH ST 214 MESA AZ 85207	834 KLOPPENBURG COURT SASKATOON SK CANADA S7W0P3
218-16-183A	GAGNE BRENDA G	205 N 74TH ST 213 MESA AZ 85207	205 N 74TH ST UNIT 213 MESA AZ 85207
218-16-184A	RAMPTON DENNIS/DONNA ELAINE	205 N 74TH ST 212 MESA AZ 85207	3041 E MERLOT ST GILBERT AZ 85298
218-16-185A	NORRIS SARAH L	205 N 74TH ST 211 MESA AZ 85207	205 N 74TH ST UNIT 211 MESA AZ 85207
218-16-186A	EVERETT ROXANA-DIANA	205 N 74TH ST 210 MESA AZ 85207	205 N 74TH ST UNIT 210 MESA AZ 85207
218-16-187A	KLINGER GEORGE L/JUDITH A TR	205 N 74TH ST 209 MESA AZ 85207	4266 E STRAWBERRY DR GILBERT AZ 85298
218-16-188	TERRY R MOORE & BETTY J MOORE TRUST	145 N 74TH ST 101 MESA AZ 85207	4015 PLEASANT VALLEY BLVD ROCKFORD IL 61114-5244
218-16-189	GUY THOMAS M SR/JANE E	145 N 74TH ST 102 MESA AZ 85207	145 N 74TH ST UNIT 102 MESA AZ 85207-8328
218-16-190	POPOWICH GARRY/SONIA	145 N 74TH ST 103 MESA AZ 85207	145 N 74TH ST MESA AZ 85207
218-16-191	PLATKO KIMBERLY MARIE SHAW	145 N 74TH ST 104 MESA AZ 85207	145 N 74TH ST UNIT 104 MESA AZ 85207
218-16-192	GENTRY JAMES D	145 N 74TH ST 105 MESA AZ 85207	145 N 74TH ST UNIT 105 MESA AZ 85207
218-16-193	MOELLER DONALD J/GERALDINE M	145 N 74TH ST 106 MESA AZ 85207	145 N 74TH ST UNIT 106 MESA AZ 85207
218-16-194	PUGH DAVID/SHARON	145 N 74TH ST 107 MESA AZ 85207	3432 E VERNON DR MOORESVILLE IN 46158
218-16-195	MCNEILLY JOSEPH W/DONNA C	145 N 74TH ST 108 MESA AZ 85207	74 BAKER BAY WINNIPEG MB CANADA R2P1MB
218-16-196	XCR PROPERTY MANAGEMENT LLC	145 N 74TH ST 109 MESA AZ 85207	145 N 74TH ST UNIT 109 MESA AZ 85207
218-16-197	SUCH ADAM E/FIDELIA C	145 N 74TH ST 110 MESA AZ 85207	145 N 74TH ST UNIT 205 MESA AZ 85207
218-16-198	LAWRENCE W MCMANN AND PATRICIA A MCMANN REVOCABLE LIVING TRUST	145 N 74TH ST 111 MESA AZ 85207	8340 E APACHE PLUMB DR GOLD CANYON AZ 85118
218-16-199	THADA GEORGE JR/ZEITLOW LAURA	145 N 74TH ST 112 MESA AZ 85207	938 LEEWARD CT OSHKOSH WI 54901
218-16-200	CHRISTIANSEN TAYLOR LYNN/LEE D/BOBBIE L	145 N 74TH ST 113 MESA AZ 85207	145 N 74TH ST UNIT 113 MESA AZ 85207
218-16-201	A & F FAMILY TRUST	145 N 74TH ST 114 MESA AZ 85207	145 N 74TH ST UNIT 114 MESA AZ 85207
218-16-202	BECK FAMILY LIVING TRUST	145 N 74TH ST 115 MESA AZ 85207	145 N 74TH ST UNIT 115 MESA AZ 85207
218-16-203	BEEBE OMAIRA	145 N 74TH ST 116 MESA AZ 85207	145 N 74TH ST UNIT 116 MESA AZ 85207-8328
218-16-204	HOLDER JEREMY/SNYDER KELLI	145 N 74TH ST 117 MESA AZ 85207	145 N 74TH ST NO 117 MESA AZ 85207
218-16-205	PATRICIA A MCCOMISH REVOCABLE TRUST 2017	145 N 74TH ST 118 MESA AZ 85207	21778 COUNTRY CLUB RD SHULLSBURG WI 53586-9769
218-16-206	LEUTH JERRY/STREET JUDITH	145 N 74TH ST 119 MESA AZ 85207	N6705 COUNTY ROAD A GREEN LAKE WI 54941

218-16-207	NICHOLSON LHONDA	145 N 74TH ST 120 MESA 85207	145 N 74TH ST UNIT 120 MESA AZ 85207
218-16-208	MILLER DOUGLAS A	145 N 74TH ST 121 MESA 85207	PO BOX 593 GAYLORD MI 49734
218-16-209	KANEPS SANDRA	145 N 74TH ST 122 MESA 85207	550 N NORMANDY AVE CHICAGO IL 60656
218-16-210	MILLER ARTHUR W/SHARON J	145 N 74TH ST 123 MESA 85207	12927 N TEWS RD HAYWARD WI 54843
218-16-211	CATHY J PASCAL MEMORIAL TRUST	145 N 74TH ST 124 MESA 85207	7231 W MINERAL POINT RD VERONA WI 53593
218-16-212	MACDOUGALL JAMES/IRENE/COWAN KAY/MOE KAREN	145 N 74TH ST 125 MESA 85207	BOX 105 DELACOUR AB CANADA TOMOTO
218-16-213	LEO EDWARD LAMERE AND CAROL A LAMERE REVOCABLE TRUST	145 N 74TH ST 126 MESA 85207	344 CUSTER CT GREEN BAY WI 54301-1245
218-16-214	STOCK DENNIS A/RENEE A	145 N 74TH ST 127 MESA 85207	420 THUMPER LODGE RD OTTERTAIL MN 56571
218-16-215	MALINA KENNETH H/DEBORAH S	145 N 74TH ST 128 MESA 85207	272 MARGARITE RD MIDDLETOWN CT 06457
218-16-216	MARTINELLI MIKI MARLENE	145 N 74TH ST 129 MESA 85207	10032 E SEISMIC AVE MESA AZ 85212
218-16-217	MILLER JENI R	145 N 74TH ST 130 MESA 85207	PO BOX 1237 GAYLORD MI 49734-5237
218-16-218	FISHER CHARLES D/JUNEEN M	145 N 74TH ST 131 MESA 85207	145 N 74TH ST 131 MESA AZ 85207
218-16-219	JOHNSON NATHAN	145 N 74TH ST 132 MESA 85207	145 N 74TH ST 132 MESA AZ 85207
218-16-220	ERICKSON WILLARD S/LEORA M	145 N 74TH ST 133 MESA 85207	300 BUFFALO HILLS LN UNIT 79 BRAINERD MN 56401
218-16-221	FERRY SANDRA M	145 N 74TH ST 134 MESA 85207	145 N 17TH ST NO 134 MESA AZ 85207
218-16-222	PAUL PETER STEVEN	145 N 74TH ST 135 MESA 85207	145 N 74TH ST UNIT 135 MESA AZ 85207
218-16-223	TWITO JEFF/BRENDA M	145 N 74TH ST 136 MESA 85207	9532 E JAN AVE MESA AZ 85208
218-16-224	SALAZAR ROGER D JR	145 N 74TH ST 137 MESA 85207	145 N 74TH ST UNIT 137 MESA AZ 85207
218-16-225	DAYLEY KYLE ALAN	145 N 74TH ST 138 MESA 85207	145 N 74TH ST UNIT 138 MESA AZ 85207-8329
218-16-226	COON LOIS A/WALL SHIRLEY/WILLIAM W	145 N 74TH ST 139 MESA 85207	145 N 74TH ST UNIT 139 MESA AZ 85207
218-16-227	GREEN TAMMY/ROBERT M	145 N 74TH ST 140 MESA 85207	145 N 74TH ST UNIT 140 MESA AZ 85207
218-16-228	CAROL FAYE TORSSELL LIVING TRUST	145 N 74TH ST 141 MESA 85207	18552 E WALNUT RD QUEEN CREEK AZ 85142
218-16-229	GREEN ROBERT M/TAMMY	145 N 74TH ST 142 MESA 85207	7928 E HARMONY AVE MESA AZ 85209
218-16-230	NACARATO DANIEL J	145 N 74TH ST 143 MESA 85207	145 N 74TH ST 143 MESA AZ 85207
218-16-231	RANDLER JOHN S	145 N 74TH ST 144 MESA 85207	145 N 74TH ST 144 MESA AZ 85207
218-16-232	DIEHL RAY A/EDWINA A	145 N 74TH ST 145 MESA 85207	3034 SUNRISE DR CROWN POINT IN 46307
218-16-233	AMI FAMILY TRUST	145 N 74TH ST 146 MESA 85207	10922 E CALYPSO AVE MESA AZ 85208
218-16-234	THOMAS A ZENS TRUST/CAROLE J ZENS TRUST	145 N 74TH ST 147 MESA 85207	2603 BODDINGTON LN NAPERVILLE IL 60564-9488
218-16-235	PETERSON CYNTHIA	145 N 74TH ST 148 MESA 85207	145 N 74TH ST UNIT 148 MESA AZ 85207
218-16-236	BRUSTOWICZ EDWARD/MARIE	145 N 74TH ST 149 MESA 85207	4 FAIRVIEW RD ROBBINSVILLE NJ 08691
218-16-237	SAMMUL ANDRES/DENISE A	145 N 74TH ST 150 MESA 85207	2774 REID FARM RD ROCKFORD IL 61114
218-16-238	MARVIN A AND JANET E SCHRADER JOINT REV TRUST	145 N 74TH ST 151 MESA 85207	1719 AUTUMNWOOD CT SHEBOYGAN WI 53081
218-16-239	COWAN KAY MARIE/MACDOUGALL IRENE MARIE	145 N 74TH ST 152 MESA 85207	222 COVEWOOD CLOSE NE CALGARY AB CANADA T3X5A1
218-16-240	BYRON BEVERLEY ALICE	145 N 74TH ST 153 MESA 85207	145 N 74TH ST MESA AZ 85207
218-16-241	CARROTHERS ETHAN P	145 N 74TH ST 154 MESA 85207	145 N 74TH ST UNIT 154 MESA AZ 85207
218-16-242	RODRIGUEZ RICARDO MERCADO	145 N 74TH ST 155 MESA 85207	145 N 74TH ST UNIT 155 MESA AZ 85207
218-16-243	NEFF DAVID JOSEPH/NANCY J	145 N 74TH ST 156 MESA 85207	145 N 74TH ST UNIT 156 MESA AZ 85207
218-16-244	LOCKERBY WAYNE N	145 N 74TH ST 201 MESA 85207	79 SILVER CREEK BOULEVARD NW AIRDRIE AB CANADA T4B2P7
218-16-245	MOFFATT FAMILY TRUST	145 N 74TH ST 202 MESA 85207	933 N MADELENE CT GILBERT AZ 85234
218-16-246	HENSON RICK A	145 N 74TH ST 203 MESA 85207	145 N 74TH ST 203 MESA AZ 85207
218-16-247	MOFFATT ASHLEY	145 N 74TH ST 204 MESA 85207	2503 LEISURE WORLD MESA AZ 85206
218-16-248	A & F FAMILY TRUST	145 N 74TH ST 205 MESA 85207	145 N 74TH ST UNIT 205 MESA AZ 85207
218-16-249	LINES FAMILY LIVING TRUST	145 N 74TH ST 206 MESA 85207	145 N 74TH ST UNIT 206 MESA AZ 85207
218-16-250	DAMASCO CHRISTINA	145 N 74TH ST 207 MESA 85207	145 N 74TH ST UNIT 207 MESA AZ 85207
218-16-251	HAWORTH JACK B	145 N 74TH ST 208 MESA 85207	145 N 74TH ST UNIT 208 MESA AZ 85207
218-16-252	MARTINEZ JOHN G	145 N 74TH ST 209 MESA 85207	145 N 74TH ST UNIT 209 MESA AZ 85207
218-16-253	BRUST JOHN A/JOYCE S	145 N 74TH ST 210 MESA 85207	4555 W 1200 S UNION HILLS IN 46382
218-16-254	BRUST JOHN A/JOYCE S	145 N 74TH ST 211 MESA 85207	4555 WST 1200 SOUTH UNION MILLS IN 46832
218-16-255	MACLEOD KEN	145 N 74TH ST 212 MESA 85207	11671 HYLAND DR DELTA BC CANADA V4E2Z9
218-16-256	HUNTER MARCIA KAY	145 N 74TH ST 213 MESA 85207	1442 NW 131ST ST CLIVE IA 50325
218-16-257	SCALZOTTO TONIA MARIE/GIANCARLO	145 N 74TH ST 214 MESA 85207	2416 E 139TH PL THORNTON CO 80602
218-16-258	GARDNER FAMILY TRUST	145 N 74TH ST 215 MESA 85207	16224 W HILLTOP LN HAYWARD WI 54843
218-16-259	PRESTON DUSTIN	145 N 74TH ST 216 MESA 85207	8101 E ENSENADA ST MESA AZ 85207
218-16-260	STE MARIE STEVE/JANET	145 N 74TH ST 217 MESA 85207	11309 JOHNSON AVE S BLOOMINGTON MN 55437
218-16-261	SNYDER M LEE/SUSAN W	145 N 74TH ST 218 MESA 85207	1049 PARK WEST DR GLENWOOD CO 81601
218-16-262	SNYDER TOM/SHARON	145 N 74TH ST 219 MESA 85207	1314 N 3RD ST ABERDEEN SD 57401
218-16-263	ESPOSITO RICHARD M/NANCY L	145 N 74TH ST 220 MESA 85207	8622 VERDE DR BYRON IL 61010
218-16-264	LORENZEN RONALD W/ PATRICIA A	145 N 74TH ST 221 MESA 85207	12 S GOSSE BLVD PRINCETON IL 61356
218-16-265	APOSTOLAKIS ASIMOUNA/RUTA TERRY	145 N 74TH ST 222 MESA 85207	78 COLERAINE CRES WINNIPEG MB CANADA R3P1W1
218-16-266	RITTER FREDRICK S JR/JULIE M	145 N 74TH ST 223 MESA 85207	8544 E NARANJA AVE MESA AZ USA 85209
218-16-267	WEINER DAVID	145 N 74TH ST 224 MESA 85207	145 N 74TH ST UNIT 224 MESA AZ 85207
218-16-268	LUCAS COLLEEN M	145 N 74TH ST 225 MESA 85207	145 N 74TH ST NO 225 MESA AZ 85208
218-16-269	PREST JOHN PETER STANLEY/JULIE P	145 N 74TH ST 226 MESA 85207	145 N 74TH ST UNIT 226 MESA AZ 85207
218-16-270	BENJAMINSON DIANE	145 N 74TH ST 227 MESA 85207	145 N 74TH ST UNIT 227 MESA AZ 85207
218-16-271	PHILPOTT BRIAN H/LINDA G	145 N 74TH ST 228 MESA 85207	PO BOX 1017 GIMLI MB CANADA ROC1B0
218-16-272	EARLY HOLLY	145 N 74TH ST 229 MESA 85207	145 N 74TH ST UNIT 229 MESA AZ 85207-8331
218-16-273	GRAYBILL WAYNE J/DIANE C	145 N 74TH ST 230 MESA 85207	145 N 74TH ST UNIT 230 MESA AZ 85207
218-16-274	ALLDREDGE JASON T	145 N 74TH ST 231 MESA 85207	145 N 74TH ST UNIT 231 MESA AZ 85207-8331
218-16-275	WISE JOSE A/LINDA M TR	145 N 74TH ST 232 MESA 85207	1649 E 8TH ST MESA AZ 85203
218-16-276	THOMAS DAVID J/MICHELE W	145 N 74TH ST 233 MESA 85207	145 N 74TH ST UNIT 233 MESA AZ USA 85207
218-16-277	SELLER PATRICIA/DENNIS	145 N 74TH ST 234 MESA 85207	7 MINOT DR REGINA SK CANADA S4X1B5
218-16-278	BEARS KIRSTEN RANAE	145 N 74TH ST 235 MESA 85207	145 N 74TH ST UNIT 235 MESA AZ 85207
218-16-279	RAMIREZ JULIO A	145 N 74TH ST 236 MESA 85207	145 N 74TH ST UNIT 236 MESA AZ 85207-8331
218-16-280	WYBLE ROCKY/STELLA	145 N 74TH ST 237 MESA 85207	6444 E RUSSELL ST MESA AZ 85215
218-16-281	PETERS DAVID/LAVERNE	145 N 74TH ST 238 MESA 85207	7715 -173A STREET EDMONTON AB CANADA T5T0G2
218-16-282	RAMIREZ ALINA ELENA RODRIGUEZ/PENAS RAFAEL ANDRES GONZALEZ DE LAS	145 N 74TH ST 239 MESA 85207	145 N 74TH ST UNIT 239 MESA AZ 85207
218-16-283	CLAUSEN DOUGLAS T	145 N 74TH ST 240 MESA 85207	8808 E MAIN ST MESA AZ 85207
218-16-284	PAYNE TIMOTHY P/LESLIE M	145 N 74TH ST 241 MESA 85207	7735 SEVERY AVE CASCADE CO 80809
218-16-285	BROWN MORGAN ELIZABETH	145 N 74TH ST 242 MESA 85207	145 N 74TH ST UNIT 242 MESA AZ 85207
218-16-286	KERBY BRADLEY S	145 N 74TH ST 243 MESA 85207	145 N 74TH ST UNIT 243 MESA AZ 85207
218-16-287	RODRIGUEZ RICARDO MERCADO	145 N 74TH ST 244 MESA 85207	506 W UNIVERSITY DR MESA AZ 85201
218-16-288	MOUNTAIN QUAIL INVESTMENTS LLC	145 N 74TH ST 245 MESA 85207	3307 E JAEGER CIR MESA AZ 85213
218-16-289	FIGUEROA PEDRO Z/BERTHA C/JUAN PABLO	145 N 74TH ST 246 MESA 85207	145 N 74TH ST UNIT 246 MESA AZ 85207
218-16-290	RODGERS GARNET	145 N 74TH ST 247 MESA 85207	3122 PHANEUF CRESENT REGINA SK CANADA S4V1T7
218-16-291	GHARRAS OUIDAD/MOSSADAK TAWFIQ	145 N 74TH ST 248 MESA 85207	145 N 74TH ST UNIT 248 MESA AZ 85207
218-16-292	JONES LEWIS KENNETH	145 N 74TH ST 249 MESA 85207	2316-8561 8A AVE SW CALGARY AB CANADA T3H 0V5
218-16-293	REID CRAIG W	145 N 74TH ST 250 MESA 85207	48 AERO DR NEPEAN ON CANADA K2H5E4

218-16-294	RODGERS GREG/MILLISA	145 N 74TH ST 251 MESA 85207	3033 ARGYLE RD REGINA SK CANADA S4S2B3
218-16-295	BOWMAN TAMMY JONES	145 N 74TH ST 252 MESA 85207	145 N 74TH ST UNIT 252 MESA AZ 85207-7441
218-16-296	MARTINEZ JONATHAN D/LETICIA	145 N 74TH ST 253 MESA 85207	145 N 74TH ST UNIT 253 MESA AZ 85207
218-16-297	NOVOTNY SCOTT	145 N 74TH ST 254 MESA 85207	145 N 74TH ST 254 MESA AZ 85207
218-16-298	ROSITANO PETER J/NILDA R	145 N 74TH ST 255 MESA 85207	4173 S RIM RD GILBERT AZ 85297
218-16-299	FRIEDLANDER MARLENE T TR	145 N 74TH ST 256 MESA 85207	5423 CRESTDALE DR ROCKFORD IL 61114
218-16-300A	FORESTDALE INVESTMENTS LLC	7440 E MAIN ST MESA 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-300B	KJ LAND COMPANY LLC	7420 E MAIN ST MESA 85207	7420 E MAIN STREET MESA AZ 85207
218-16-301A	FORESTDALE INVESTMENTS LLC	7464 E MAIN ST MESA 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-301B	FORESTDALE INVESTMENTS LLC	7536 E MAIN ST MESA 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-301C	SV PLAZA LLC	339 N 75TH ST MESA 85207	3725 E COLUMBINE DR PHOENIX AZ 85032
218-16-303	TIERRA ANTIGUA APARTMENTS LLC		8900 E BAHIA DR STE 105 SCOTTSDALE AZ 85260
218-16-417	WU JIAN-LUNG/LIN CHIA-EN		2044 W LONGHORN DR CHANDLER AZ 85286
218-16-418	HUMMERT JENNIFER		7531 E BILLINGS ST UNIT 102 MESA AZ 85207
218-16-419	SANCHEZ BRIANDA		7531 E BILLINGS ST UNIT 103 MESA AZ 85207
218-16-420	CAVAZOS BRETTON D/JAMIE M		2867 E LA JOYA DR SALT LAKE CITY UT 84124
218-16-421	TOSCANO ELSA		7531 E BILLINGS ST UNIT 105 MESA AZ 85207
218-16-422	8540 INVESTMENTS LLC		2733 N POWER RD STE 102-183 MESA AZ 85215
218-16-423	VASQUEZ RUBEN/SALCEDO KEVIN		7531 E BILLINGS ST UNIT 107 MESA AZ 85207
218-16-424	HORSTMAN GARY LEON/FLORENCE ELAINE		7531 E BILLINGS ST UNIT 108 MESA AZ 85207
218-16-425	REYNOSO LUIS ENRIQUE		7531 E BILLINGS ST UNIT 109 MESA AZ 85207
218-16-426	OTIS ANDREW JACOB		7531 E BILLINGS ST UNIT 110 MESA AZ 85207
218-16-427	MCKINSTRY JONATHAN		10 ALENITA LN RANCHO MISSION VIEJO CA 92694
218-16-428	GALOVAN JEFFREY L		7531 E BILLINGS ST UNIT 112 MESA AZ 85207
218-16-429	YOUNG DEAN ARTHUR/CAROL		803 E MELODY DR GILBERT AZ 85234
218-16-430	SHEN LIJEN		908 N CHOLLA ST CHANDLER AZ 85224
218-16-431	CARONE KELLY/KATHRYN		3057 HAYDEN RIDGE WAY RIVERTON UT 84065
218-16-432	CLARDY KATARINA		7531 E BILLINGS ST UNIT 116 MESA AZ 85207
218-16-433	DWORAKOWSKI LUKASZ		7531 E BILLINGS ST UNIT 117 MESA AZ 85207
218-16-434	TABAK GOLALEH		3 TREE TOPS LN UNIT 101 HUNTSVILLE P1H088 ON CANADA 85207
218-16-435	SZESZEL RACHEL		7531 E BILLINGS ST UNIT 119 MESA AZ 85207
218-16-436	KNIGHT YASMYN M		7531 E BILLINGS ST UNIT 120 MESA AZ 85207
218-16-437	ANDRA SARAH/BRANDON R		566 W AUTUMN HILLS BLVD LEHI UT 84043
218-16-438	PINEAU CHRISTOPHER		7531 E BILLINGS ST UNIT 122 MESA AZ 85207
218-16-439	CUMMINS BRENDA MATTHEW/MICHAEL GLEN		7531 E BILLINGS ST UNIT 123 MESA AZ 85207
218-16-440	PERRY NINA MARIA		7531 E BILLINGS ST UNIT 124 MESA AZ 85207
218-16-441	BORGE DANEYL/HALLSTED MITCHELL		7531 E BILLINGS ST UNIT 125 MESA AZ 85207
218-16-442	HEBTING CHELSEA/LISA DAWN		7531 E BILLINGS ST UNIT 126 MESA AZ 85207
218-16-443	CHILESKI FAMILY TRUST		PO BOX 727 CEDAR RIDGE CA 95924
218-16-444	JORDAN DANIELLE		7531 E BILLINGS ST UNIT 128 MESA AZ 85207
218-16-445	HOWARD MELISSA L		7531 E BILLINGS ST UNIT 129 MESA AZ 85207
218-16-446	LEAVITT PROPERTIES LLC		723 N ORANGE CIR MESA AZ 85201
218-16-447	WILLIAMS JORDAN LEE		7531 E BILLINGS ST UNIT 131 MESA AZ 85207
218-16-448	CORRELL JACOB THOMAS		7531 E BILLINGS ST UNIT 132 MESA AZ 85207
218-16-449	CHILESKI FAMILY TRUST		PO BOX 727 CEDAR RIDGE CA 95924
218-16-450	KUEHN STACEY KIM		7531 E BILLINGS ST UNIT 134 MESA AZ 85207
218-16-451	BENNETT LEIGH		1080 E 800 N OREM UT 84097
218-16-452	BENNETT WILLIAM BRYSON		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-453	COMISH JOSEPH/HEIDY		7531 E BILLINGS ST UNIT 137 MESA AZ 85207
218-16-454	L&D GARRET ARIZONA LLC		670 EAST 650 NORTH AMERICAN FORK UT 84003
218-16-455	L&D GARRET ARIZONA LLC		670 EAST 650 NORTH AMERICAN FORK UT 84003
218-16-456	CARONE KELLY/KATHRYN		3057 HAYDEN RIDGE WAY RIVERTON UT 84065
218-16-457	STEVENSON HEIDI		7531 E BILLINGS ST UNIT 141 MESA AZ 85207
218-16-458	SEDILLO JUSTIN/HERNANDEZ YVETTE		7531 E BILLINGS ST UNIT 142 MESA AZ 85207
218-16-459	REIS CYNDI		7531 E BILLINGS ST UNIT 143 MESA AZ 85207
218-16-460	GOBBELL ERIC/MUGGY JESSIKA		7531 E BILLINGS ST UNIT 144 MESA AZ 85207
218-16-461	GBM FUTURE I LLC		3943 S WHITE DR CHANDLER AZ 85286
218-16-462	FOX DENNIS L		2727 N TERRACE CIR MESA AZ 85102
218-16-463	CLAYBURGH ZACHERY REES		7531 E BILLINGS ST UNIT 147 MESA AZ 85207
218-16-464	APACHE CREEK REALTY LLC		342 FIRE THORN IDAHO FALLS ID 83404-4954
218-16-465	HILLS ERIN		14014 SANTA FE CT BAKERSFIELD CA 93314
218-16-466	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-467	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-468	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-469	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-470	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-471	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-18-001J	YANG CHIN SEIN/MARY FONG		13731 FM 1097 RD W WILLIS TX 77318
218-18-001K	YANG CHIN SEIN/MARY FONG		13731 FM 1097 RD W WILLIS TX 77318
218-23-001A	MOORE FRANK B & SHIRLEY A		7605 E AKRON ST MESA AZ 85207
218-23-001B	HULON STONEY B/JOAN M		7605 E AKRON ST MESA AZ 85207
218-23-002	MELTON COLLEEN M		7613 E AKRON ST MESA 85207
218-23-003	PAUL BRIAN M/DAUCH JAMIE L M		7621 E AKRON ST MESA 85207
218-23-004	VENEGAS MARTIN		7629 E AKRON ST MESA 85207
218-23-005	WALCOM JERRYSUE		7637 E AKRON ST MESA AZ 85207
218-23-006	FLETCHER KELLY J		7638 E AKRON ST MESA 85207
218-23-007	MENARD JOHN S/LEIGH-ANN		8301 E McDOWELL RD MESA AZ 85207
218-23-008	DIANNE CAROLE PATERSON LIVING TRUST		7630 E AKRON ST MESA 85207
218-23-009	DICKERMAN FAMILY LIVING TRUST		7622 E AKRON ST MESA 85207
218-23-010	TUFFLY FREDERICK M SR		7614 E AKRON ST MESA AZ 85207
218-23-012F	FREDRICKSON LIVING TRUST		7606 E AKRON ST MESA 85207
218-23-013	CHAPMAN CRAIG/DIANE S		7602 E MAIN ST MESA 85207
218-23-022	WILHELM CARROLL SPENCE/CHRISTINE		7701 E AKRON ST MESA 85207
218-23-023	CAMBER MARIE FURMAN REVOCABLE TRUST/TIPHANI MARIE HINSHAW REVOCABLE TRUST ET AL		7702 E AKRON ST MESA AZ 85207-8441
218-23-024	PEATON LOUISE B/JUDY S		7744 E MAIN ST MESA 85207
218-23-025	BE HAPPY THERE IS ANYTHING LEFT TRUST		PO BOX 12072 CASA GRANDE AZ 85130
218-23-026	WAITE CARLA		7601 E ALBANY ST MESA 85207
			7613 E ALBANY ST MESA AZ 85207
			7623 E ALBANY ST MESA AZ 85207

218-23-027	DITTUS JAMES D/PATRICIA M	7635 E ALBANY ST MESA AZ 85207	7635 E ALBANY ST MESA AZ 85207
218-23-028	HUSTON SCOTT/HERLINDA	7647 E ALBANY ST MESA AZ 85207	7647 E ALBANY ST MESA AZ 85207
218-23-029	HALES DON G/CHERYL	7640 E ALBANY ST MESA AZ 85207	7640 E ALBANY ST MESA AZ 85207
218-23-030	FLORES MARIA JOSE/LUIS ANGEL	7630 E ALBANY ST MESA AZ 85207	7630 E ALBANY ST MESA AZ 85207
218-23-031	BRADY KIMBERLY JO	7624 E ALBANY ST MESA AZ 85207	7624 E ALBANY ST MESA AZ 85207
218-23-032	HANSEN DALE R/CYRENA M	7612 E ALBANY ST MESA AZ 85207	7612 E ALBANY ST MESA AZ 85207
218-23-033	LUSANIA VINCENT	7602 E ALBANY ST MESA AZ 85207	7602 E ALBANY ST MESA AZ 85207
218-24-045	CARY TYLER K/LYNDA A	208 N 76TH PL MESA AZ 85207	208 N 76TH PL MESA AZ 85207
218-24-046	WIDMER KIM	7642 E BOSTON ST MESA AZ 85207	7642 E BOSTON ST MESA AZ 85207
218-24-047	HARRINGTON PATRICK JAMES	7636 E BOSTON ST MESA AZ 85207	7636 E BOSTON ST MESA AZ 85207
218-24-048	IH6 PROPERTY PHOENIX LP	7630 E BOSTON ST MESA AZ 85207	8665 E HARTFORD DR STE 200 SCOTTSDALE AZ 85255
218-24-049	MUHS SARAH ELIZABETH	205 N SEYMOUR MESA AZ 85207	205 N SEYMOUR MESA AZ 85207
218-24-050	REVOCABLE LIVING TRUST OF ROMEO T BARON	209 N SEYMOUR MESA AZ 85207	209 N SEYMOUR MESA AZ 85207-7520
218-24-051	MONKS CONNER/SAMANTHA	7623 E BARSTOW ST MESA AZ 85207	7623 E BARSTOW ST MESA AZ 85207
218-24-052	PROGRESS RESIDENTIAL BORROWER 14 LLC	7629 E BARSTOW ST MESA AZ 85207	PO BOX 4090 SCOTTSDALE AZ 85261
218-24-053	RAMIREZ DANAH C/LAUGESSEN JOSHUA L	7635 E BARSTOW ST MESA AZ 85207	7635 E BARSTOW ST MESA AZ 85207
218-24-054	RODRIGUEZ JULIO	7641 E BARSTOW ST MESA AZ 85207	7641 E BARSTOW ST MESA AZ 85207-7522
218-24-055	ROSENBAKER ERIC/SARAH	7647 E BARSTOW ST MESA AZ 85207	7647 E BARSTOW ST MESA AZ 85207
218-24-061	ROHNER REGHAN/AUSTIN	7622 E BARSTOW ST MESA AZ 85207	7622 E BARSTOW ST MESA AZ 85207
218-24-100	NEEDHAM SHARON	230 N SEYMOUR MESA AZ 85207	230 N SEYMOUR MESA AZ 85207
218-24-101	IH5 PROPERTY PHOENIX LP	226 N SEYMOUR MESA AZ 85207	1325 N FIESTA BLVD SUITE 103 GILBERT AZ 85233
218-24-102	AMADI CAREY C	222 N SEYMOUR MESA AZ 85207	222 N SEYMOUR ST MESA AZ 85207
218-24-103	DAX CAROLINA I	218 N SEYMOUR MESA AZ 85207	218 N SEYMOUR MESA AZ 85207-7519
218-24-104	HOESMAN SHANE	214 N SEYMOUR MESA AZ 85207	214 N SEYMOUR RD MESA AZ 85207
218-24-105	BEACH DAVID J/ROXANNA	210 N SEYMOUR MESA AZ 85207	210 E SEYMOUR ST MESA AZ 85207
218-24-106	AMBERLY LANE COMMUNITY ASSOCIATION INC	450 N DOBSON RD STE 201 MESA AZ 85201	
218-24-108	AMBERLY LANE COMMUNITY ASSOCIATION INC	208 N SEYMOUR MESA AZ 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-24-109	AMBERLY LANE COMMUNITY ASSOCIATION INC	208 N SEYMOUR MESA AZ 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-24-233	CECINA HOMEOWNERS ASSOCIATION	7718 E BOSTON ST MESA AZ 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-35-001B	GRIZZLYS DISCOUNT FLOORING LLC	7601 E MAIN ST MESA AZ 85207	580 W VIA DE PALMAS SAN TAN VALLEY AZ 85140



October 5, 2021

Re: Neighborhood Meeting Notification for Sossaman Townhomes, generally located 545 feet north of Main Street and Sossaman Road.

Dear Property Owner or Neighborhood Association Representative:

Our office represents Craft Development regarding approximately 2.75 acres of vacant land generally located 545 feet north of Main Street and Sossaman Road (the "Property"). The Property is tucked between the storage facility to the north and the commercial center to the south. The Property is currently zoned Limited Commercial (LC) in Mesa and has a General Plan designation of "Neighborhood." Sossaman Townhomes is requesting to rezone the Property to Multiple Residence (RM-3).

The Property is an infill lot on older LC property that is clearly a forgotten remnant. It's likely the Property was once an overlooked part of the shopping center as it is located to the rear of the retail store and never developed with the rest of the shopping center. It is also possible it may have once been considered a part of a planned shopping center to the north although that eventually developed with self-storage buildings and a fence along the common property line, effectively blocking off any opportunity for future expansion. Either way, because the property is hidden behind a shopping center without visibility to Main Street, it is highly unlikely to ever develop with commercial uses. Thus, a change in zoning to residential is appropriate.

Craft Development seeks to develop the Property as a high-end townhome community with a total of 37 residences. High-quality authentic building materials will be used, such as wood, siding, and stucco, which enhance the buildings' architectural character and will provide a visually appealing aesthetic from Sossaman Road. Each townhome will be two-story with high-end finishes and private outdoor yards and patios. The homes will be arranged around multiple active and inactive open space areas. The community amenities are still being refined but will likely include a lawn, barbecue facilities, and a ramada. Garages, covered and uncovered parking for residents and guests will be provided for convenient access to each residential home. The proposed project will feature a lush, drought-tolerant landscape palette consistent with the area.

We would like to invite you to a virtual neighborhood meeting to learn about the community and provide an opportunity for comments or feedback. We will make a live presentation via web conference to share our proposal, community plan, and the design of our homes. After the presentation, anyone who is interested will be able to submit questions and the development team will answer via live webcam. The virtual meeting will be held:

Virtual Neighborhood Meeting

Date: **October 20, 2021,**
Time: **6:00 pm**
Location: **Virtual**

To participate in the meeting, please contact Alex Hayes to request a meeting link via telephone at 602-346-4600 or by e-mail at hayes@witheymorris.com. The only way to access the meeting will be via the link from Mr. Hayes.

Additionally, please feel free to contact Mr. Hayes should you have any questions or concerns regarding this proposal.

Thank you for your courtesy and consideration.

Sincerely,

WITHEY MORRIS P.L.C.



By

Alex Hayes

Enclosures: Site Aerial

Aerial Map



545 Feet North of NWC Main Street and Sossaman Road – Mesa, AZ

TAB 2



November 15, 2021

Re: Neighborhood Meeting Notification for Sossaman Townhomes, generally located 545 feet north of Main Street and Sossaman Road.

Dear Property Owner or Neighborhood Association Representative:

Our office represents Sossaman Townhomes regarding approximately 2.75 acres of vacant undeveloped land generally located 545 feet north of Main Street and Sossaman Road (the "Property"). The Property is currently zoned Limited Commercial (LC) in Mesa and has a General Plan designation of "Neighborhood." Sossaman Townhomes is requesting to rezone the Property to Multiple Residence (RM-2).

Sossaman Townhomes seeks to develop the Property, which is a remnant infill lot, as a high-end townhome community with a total of 37 residences. High-quality authentic building materials will be used, such as wood, siding, and stucco, which enhance the buildings' architectural character and will provide a visually appealing aesthetic from Sossaman Road. Each townhome will be two-story with high-end finishes and private outdoor yards and patios. The homes will be arranged around multiple active and inactive open space areas. The community amenities will include a lawn, barbecue facilities, and a ramada. Garages, covered and uncovered parking for residents and guests will be provided for convenient access to each residential home. The proposed project will feature a lush, drought-tolerant landscape palette consistent with the area.

We would like to invite you to a virtual neighborhood meeting to learn about the proposed community and provide an opportunity for comments or feedback. We will make a live presentation via web conference to share our proposal, community plan, and the design of our homes. After the presentation, anyone who is interested will be able to submit questions and the development team will answer via live webcam. The virtual meeting will be held:

Virtual Neighborhood Meeting

Date: Tuesday, November 30, 2021
Time: 6:00 pm
Location: Virtual

To participate in the meeting, please contact Alex Hayes to request a meeting link via telephone at 602-346-4636 or by e-mail at hayes@withey morris.com. The only way to access the meeting will be via the link from Mr. Hayes.

Additionally, please feel free to contact Mr. Hayes should you have any questions or concerns regarding this proposal.

Thank you for your courtesy and consideration.

Sincerely,

WITHEY MORRIS P.L.C.



By

Alex Hayes

Enclosures: Site Aerial

Aerial Map



545 Feet North of NWC Main Street and Sossaman Road – Mesa, AZ

Parcel Number	Owner	Property Address	Mailing Address
218-16-021A	EAST VALLEY STORAGE SOLUTIONS LLP	130 N SOSSAMAN RD MESA AZ 85207	3930 E CAMELBACK RD #100 PHOENIX AZ 85018
218-16-021B	BARETINICICH DENNIS F/BELLE L		414 LACINA RD GALLUP NM 87301
218-16-024C	VILLAGES AT SUN VALLEY LLC	7520 E BILLINGS ST MESA AZ 85207	8900 E BAHIA DR STE 105 SCOTTSDALE AZ 85260
218-16-030	FORESTDALE INVESTMENTS LLC	7464 E MAIN ST MESA AZ 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-031	ARWEN HOLDINGS LLC	7436 E MAIN ST MESA AZ 85207	11707 E TURQUOISE AVE SCOTTSDALE AZ 85259
218-16-032	KTN MESA 7448 LLC	7448 E MAIN ST MESA AZ 85207	2607 NE 109TH ST VANCOVER WA 98686
218-16-033	7510 MAIN STREET LLC	7510 E MAIN ST MESA AZ 85207	270 N EL CAMINO REAL SUITE F480 ENCINITAS CA 92024
218-16-034	REED PARK INVESTMENTS LLC	7530 E MAIN ST MESA AZ 85207	7530 E MAIN ST MESA AZ 85207
218-16-035	MAIN AND SOSSAMAN LLC	7554 E MAIN ST MESA AZ 85207	9124 TERMINAL AVE SKOKIE IL 60077
218-16-038A	MYERS JASON NELSON	205 N 74TH ST 157 MESA AZ 85207	205 N 74TH ST UNIT 157 MESA AZ 85207
218-16-039A	SCHAFFER ROBERT T/HERESE M	205 N 74TH ST 156 MESA AZ 85207	8503 KESTRAL DR REGINA SK CANADA S4Y2H2
218-16-040A	BLANCHARD RUSSELL/PAMELA	205 N 74TH ST 155 MESA AZ 85207	205 N 74TH ST UNIT 155 MESA AZ 85207-7419
218-16-041A	WATSON BARBARA MAE	205 N 74TH ST 154 MESA AZ 85207	16445 ELK VIEW TRL JOHANNESBURG MI 49751
218-16-042A	SPAETH DAVID JOHN	205 N 74TH ST 153 MESA AZ 85207	205 N 74TH ST UNIT 153 MESA AZ 85207
218-16-043A	PK INVESTMENTS INC	205 N 74TH ST 152 MESA AZ 85207	4365 E PECONICS RE STE 133 BLDG 13 GILBERT AZ 85297
218-16-044A	KRENN RICHARD/BRENDA	205 N 74TH ST 151 MESA AZ 85207	925 KENT STREET WHITE ROCK BC CANADA V4B4S9
218-16-045A	MYRON A MEYTHALER & LINDA L MEYTHALER REV TR	205 N 74TH ST 150 MESA AZ 85207	PO BOX 102 SOUTH WAYNE WI 53587
218-16-046A	RYNIAK IRIS R	205 N 74TH ST 149 MESA AZ 85207	3906 PORT AUSTIN RD CASEVILLE MI 48725
218-16-047A	BISSON RONALD A SR/ANNE	205 N 74TH ST 148 MESA AZ 85207	205 N 74TH ST 148 MESA AZ 85207
218-16-048A	NAFFZIGER KAREN S	205 N 74TH ST 147 MESA AZ 85207	205 N 74TH ST UNIT 147 MESA AZ 85207
218-16-049A	LIEBERMAN PAULA R	205 N 74TH ST 146 MESA AZ 85207	205 N 74TH ST NO 146 MESA AZ 85207
218-16-050A	MEIER DENNIS/RYMA	205 N 74TH ST 132 MESA AZ 85207	14840 30TH ST SE WHEATLAND ND 58079
218-16-051A	RICHARDSON JAMES DEAN/MARY GENEVIEVE	205 N 74TH ST 133 MESA AZ 85207	1662 9TH ST SW MASON CITY IA 50401
218-16-052A	ANDERSON MYRA/RON	205 N 74TH ST 134 MESA AZ 85207	HCO 3 BOX 35 KEENE ND 58847
218-16-053A	LAMB WILLIAM J/JANET E/C/SCOTT W/JONATHON R	205 N 74TH ST 135 MESA AZ 85207	BOX 1 SITE 16 RR7 CALGARY AB CANADA T2P2G7
218-16-054A	KUMOK YI LIVING TRUST	205 N 74TH ST 136 MESA AZ 85207	205 N 74TH ST NO 136 MESA AZ 85207
218-16-055A	HOPKINS LISA A	205 N 74TH ST 137 MESA AZ 85207	249 CAMPO DR LONG BEACH CA 90803
218-16-056A	DURICK MICHAEL/JANICE	205 N 74TH ST 138 MESA AZ 85207	205 N 74TH ST UNIT 138 MESA AZ 85207
218-16-057A	HAINES RUTH ANN/JULIE ANN	205 N 74TH ST 139 MESA AZ 85207	205 N 74TH ST UNIT 139 MESA AZ 85207
218-16-058A	KEELER CLIVE EDGAR/SHARON GRACE	205 N 74TH ST 140 MESA AZ 85207	48 PRONGHORN ST NE MEDICINE HAT AB CANADA T1C1S3
218-16-059A	MEIER MIKE	205 N 74TH ST 141 MESA AZ 85207	943 N MARION ST OAK PARK IL 60302
218-16-060A	PINTO KATELYN M	205 N 74TH ST 142 MESA AZ 85207	205 N 74TH ST UNIT 142 MESA AZ 85207
218-16-061A	MARTYNIUK ZOE	205 N 74TH ST 143 MESA AZ 85207	205 N 74TH ST UNIT 143 MESA AZ 85207
218-16-062A	JOHNSON CARL A/JEAN L	205 N 74TH ST 144 MESA AZ 85207	20472 CYPRESS DR FARMINGTON MT 59024
218-16-063A	KOHLER TONIA M	205 N 74TH ST 145 MESA AZ 85207	10516 N W 15TH CT VANCONVER WA 98685
218-16-064A	AINSWORTH KELLY M	205 N 74TH ST 146 MESA AZ 85207	7835-B RANCHO FANITA DR SANTEE CA 92071
218-16-065A	KNUTSON JOSEPH H/CARLA M/STEVEN	205 N 74TH ST 147 MESA AZ 85207	4532 FAIRLANE DR NE CEDAR RAPIDS IA 52402
218-16-066A	PERRAULT BERTRAND/CONNIE	205 N 74TH ST 148 MESA AZ 85207	4833 WRIGHT RD REGINA SK CANADA S4W0A8
218-16-067A	KRENN RICHARD/BRENDA	205 N 74TH ST 149 MESA AZ 85207	925 KENT ST WHITE ROCK BC CANADA V4B4S9
218-16-068A	WILLEMS LESTER J/SUZANNE M	205 N 74TH ST 150 MESA AZ 85207	720 4TH ST NW NEW WESTMINSTER BC CANADA V3L2W3
218-16-069A	KOESTNER BRYAN/CHRISTINE	205 N 74TH ST 151 MESA AZ 85207	406 HILLANDALE DR BARTLETT IL 60103
218-16-070A	STROB ENGLEBERT F	205 N 74TH ST 152 MESA AZ 85207	205 N 74TH ST UNIT 251 MESA AZ 85207
218-16-071A	TIEDEMAN DOUGLAS L/DONNA J	205 N 74TH ST 153 MESA AZ 85207	86 GRANADA DR MASON CITY IA 50401
218-16-072A	SCHAUER INVESTMENTS LLC	205 N 74TH ST 154 MESA AZ 85207	9915 E GRANDVIEW CIR MESA AZ 85207
218-16-073A	KNACKSTEDT TOM/SUTTON DOUGLAS L	205 N 74TH ST 155 MESA AZ 85207	551 VALLEY WEST DR WEST DES MOINES IA 50265
218-16-074A	FERGUSON JOHN/PRESTON BEVERLEY/ZALIK P/ETAL	205 N 74TH ST 156 MESA AZ 85207	RR2 COCHRANE AB CANADA T4C1A2
218-16-075A	JOHN C MICKELSON TRUST	205 N 74TH ST 157 MESA AZ 85207	2231 N RECKER RD MESA AZ 85215
218-16-076A	HOWARD AARON R	205 N 74TH ST 158 MESA AZ 85207	2601 E HARWELL RD GILBERT AZ 85234
218-16-077A	DAVID D AND DIANE M KRAUSE REVOCABLE TRUST	205 N 74TH ST 159 MESA AZ 85207	218 HERITAGE DR FORT ATKINSON WI 53538
218-16-078A	JOHNSON LYNN W/CONSTANCE L	205 N 74TH ST 160 MESA AZ 85207	2966 EAGLE AVE EXIRA IA 50076
218-16-079A	STRICKLAND LISA	205 N 74TH ST 161 MESA AZ 85207	11021 E TARRAGON AVE MESA AZ 85212
218-16-080A	RODE DAVID/KRISTINE	205 N 74TH ST 162 MESA AZ 85207	705 E 1ST STREET SOUTH TRUMAN MN 56088
218-16-081A	OLESEN JESSICA A/CORY DION	205 N 74TH ST 163 MESA AZ 85207	205 N 74TH ST UNIT 237 MESA AZ 85207
218-16-082A	ANDERSON GEORGE W/KATHRYN S ETAL	205 N 74TH ST 164 MESA AZ 85207	205 N 74TH ST NO 238 MESA AZ 85207
218-16-083A	VAN DE WOESTYNE JACQUELINE ANN/MARCEL ANTHONY	205 N 74TH ST 165 MESA AZ 85207	229 BEAN CRESENT WEYBURN SK CANADA S4H3A3
218-16-084A	BIRD DANIEL M/LISA A	205 N 74TH ST 166 MESA AZ 85207	41800 PRINCESS DR CANTON MI 48188
218-16-085A	JINWRIGHT JOSEPH/HAVEN	205 N 74TH ST 167 MESA AZ 85207	205 N 74TH ST UNIT 241 MESA AZ 85207
218-16-086A	VANCOTT ANDREW J	205 N 74TH ST 168 MESA AZ 85207	205 N 74TH ST UNIT 242 MESA AZ 85207
218-16-087A	MARY KAY DORNBURG LIVING TRUST	205 N 74TH ST 169 MESA AZ 85207	2508 BOCA RATON DR VALPARAISO IN 46383
218-16-088A	JAMIESON IRENE	205 N 74TH ST 170 MESA AZ 85207	205 N 74TH ST APT 244 MESA AZ 85207
218-16-089A	WITTE REX	205 N 74TH ST 171 MESA AZ 85207	205 N 74TH ST UNIT 245 MESA AZ 85207
218-16-090A	GINCH JAMES E JR	205 N 74TH ST 172 MESA AZ 85207	205 N 74 TH ST UNIT 108 MESA AZ 85207
218-16-091A	JOHNSON VIRGINIA W TR	205 N 74TH ST 173 MESA AZ 85207	208 N 74TH ST UNIT 107 MESA AZ 85207
218-16-092A	FREDRICKSON BONNIE	205 N 74TH ST 174 MESA AZ 85207	3871 W COLLEGE AVE MILWAUKEE WI 53221-4715
218-16-093A	DOROTHY A BUCK FAMILY TRUST	205 N 74TH ST 175 MESA AZ 85207	205 N 74TH ST NO 101 MESA AZ 85207
218-16-094A	KISEROW DONALD R/HEINZ GLORIA R	205 N 74TH ST 176 MESA AZ 85207	6147 S LINWOOD DR WYOMING MN 55092
218-16-116A	YAMAUCHI SAEKO	205 N 74TH ST 177 MESA AZ 85207	205 N 74 TH ST 208 MESA AZ 85207
218-16-117A	GREENE JOHN A	205 N 74TH ST 178 MESA AZ 85207	205 N 74 TH ST 207 MESA AZ 85207
218-16-118A	COSTA LOUIS W JR/MELISSA J	205 N 74TH ST 179 MESA AZ 85207	8816 SAN BADGER WAY ELK GROVE CA 95624
218-16-119A	DARLING 74TH LLC	205 N 74TH ST 180 MESA AZ 85207	5451 E BILLINGS ST MESA AZ 85205
218-16-120A	BARCLAY ANTHONY/SARA MARIE	205 N 74TH ST 181 MESA AZ 85207	205 N 74TH ST UNIT 204 MESA AZ 85207
218-16-142A	PARSONS REAL ESTATE INVESTMENT LLC SERIES 1	205 N 74TH ST 182 MESA AZ 85207	6375 SPRING BROOK RD ROCKFORD IL 61114-5662
218-16-143A	KRENN LAMBERT/WEBBER PAULETTE M	205 N 74TH ST 183 MESA AZ 85207	634 BENMORE PL KELOWNA BC CANADA V1W4Z4
218-16-144A	SMITH RONALD L/JERYL T	205 N 74TH ST 184 MESA AZ 85207	25 E WINDSOR CT SUGAR GROVE IL 60554
218-16-145A	IRVINE DAVID/DELLA	205 N 74TH ST 185 MESA AZ 85207	56 GREENFIELD DR REGINA SK CANADA S4S2T5
218-16-146A	DIANNE R WOODS REVOCABLE TRUST	205 N 74TH ST 186 MESA AZ 85207	PO BOX 7822 URBANDALE IA 50323
218-16-147A	BOKOL DANIEL JAMES/ERIKA S	205 N 74TH ST 187 MESA AZ 85207	205 N 74TH ST 126 MESA AZ 85207
218-16-148A	SALLY REHN FAMILY TRUST	205 N 74TH ST 188 MESA AZ 85207	7546 N 1300 AVE OSCO IL 61274
218-16-149A	ZION TRUST	205 N 74TH ST 189 MESA AZ 85207	205 N 74TH ST UNIT 124 MESA AZ 85207
218-16-150A	DAS SHOMIK/MARMORI RITA GONZALEZ	205 N 74TH ST 190 MESA AZ 85207	205 N 74TH ST NO 123 MESA AZ 85207
218-16-151A	KURCSICS BLAZENKA	205 N 74TH ST 191 MESA AZ 85207	205 N 74TH ST UNIT 122 MESA AZ 85207
218-16-152A	HAZEN LAURIE/WARREN THOMAS	205 N 74TH ST 192 MESA AZ 85207	426 PELICAN PL REGINA SK CANADA S4Y 1G3
218-16-153A	STEIN CARL W/CHARLICE J	205 N 74TH ST 193 MESA AZ 85207	205 N 74TH ST NO 113 MESA AZ 85207
218-16-154A	STUBSTAD CLEM/PEGGY	205 N 74TH ST 194 MESA AZ 85207	14253 N HONEYSUCKLE DR FOUNTAIN HILLS AZ 85268
218-16-155A	RODGERS LESLEY JOANNE	205 N 74TH ST 195 MESA AZ 85207	4245 GREEN APPLE DR REGINA SK CANADA S4V5L5
218-16-156A	SHAGENA KRISTAL MICHELLE	205 N 74TH ST 196 MESA AZ 85207	205 N 74TH ST UNIT 117 MESA AZ 85207
218-16-157A	PIOTROWSKI EDWARD J/DARLENE J TR	205 N 74TH ST 197 MESA AZ 85207	205 N 74TH ST 116 MESA AZ 85207
218-16-158A	DANIEL KEVIN DOUGLAS	205 N 74TH ST 198 MESA AZ 85207	205 N 74TH ST UNIT 115 MESA AZ 85207-7403
218-16-159A	DEGRAY KAREN	205 N 74TH ST 199 MESA AZ 85207	205 N 74TH ST UNIT 114 MESA AZ 85207
218-16-160A	STEIN CARL W/CHARLICE J	205 N 74TH ST 200 MESA AZ 85207	205 N 74TH ST NO 113 MESA AZ 85207
218-16-161A	COMMON RICHARD D/DELTRAUD TR	205 N 74TH ST 201 MESA AZ 85207	14282 HOLBROOK CT HUNTELV IL 60142
218-16-162A	REDEKOPP-MCKEOWN JUANITA	205 N 74TH ST 202 MESA AZ 85207	3615 21ST AVE REGINA SK CANADA S4S0V3
218-16-163A	KENT RICHARD L/WANDA L	205 N 74TH ST 203 MESA AZ 85207	205 N 74TH ST 110 MESA AZ 85207
218-16-164A	HEATON SCOTT	205 N 74TH ST 204 MESA AZ 85207	205 N 74TH ST UNIT 109 MESA AZ 85207
218-16-165A	GLAD RICHARD/JAMI A	205 N 74TH ST 205 MESA AZ 85207	5019 125TH AVE SE BELLEVUE WA 98006
218-16-166A	GATES MITCHELL DRAKE	205 N 74TH ST 206 MESA AZ 85207	205 N 74TH ST UNIT 230 MESA AZ 85207
218-16-167A	JOHNSTON NORMAN/BAUER DONNA	205 N 74TH ST 207 MESA AZ 85207	126 PLAINSVIEW DR REGINA SK CANADA S4S6L2

218-16-168A	WEINER DAVID	205 N 74TH ST 228 MESA AZ 85207	8103 E SOUTHERN AVE LOT 283 MESA AZ 85209
218-16-169A	JUSZAK JOSEPH J/JUDITH	205 N 74TH ST 227 MESA AZ 85207	15 BUCKINGHAM DR SUGAR GROVE IL 60554
218-16-170A	MARGRAF ROBERT J/NANCY W	205 N 74TH ST 226 MESA AZ 85207	2982 LEPAK LN GREEN BAY WI 54313
218-16-171A	FAWELL RANDALL G	205 N 74TH ST 225 MESA AZ 85207	205 N 74TH ST 225 MESA AZ 85207
218-16-172A	JOYCE FIORI LIVING TRUST	205 N 74TH ST 224 MESA AZ 85207	11 CHESTNUT LN CLIFFORD PARK NY 12605
218-16-173A	VAN ZANTEN STOEL TRUST	205 N 74TH ST 223 MESA AZ 85207	783 ALDER ST GILROY CA 95020
218-16-174A	SOLAR JENNIFER V	205 N 74TH ST 222 MESA AZ 85207	123 ADAMS AVE INGLESIDE IL 60041
218-16-175A	SHERMAN PATSY N	205 N 74TH ST 221 MESA AZ 85207	3900 N STABLE CT APT 101 PEORIA IL 61614
218-16-176A	HUNTER MICHELE	205 N 74TH ST 220 MESA AZ 85207	PO BOX 14083 MESA AZ 85216
218-16-177A	VAN VALKENBURG JOSHUA EDWARD	205 N 74TH ST 219 MESA AZ 85207	205 N 74TH ST UNIT 219 MESA AZ 85207
218-16-178A	THOENNES GERHARD L/KATHLEEN C	205 N 74TH ST 218 MESA AZ 85207	842 E LAKE COWDRY RD NW ALEXANDRIA MN 56308
218-16-179A	CARISSIMO DOMINICK R/SHIRLEY R	205 N 74TH ST 217 MESA AZ 85207	205 N 74TH ST 217 MESA AZ 85207
218-16-180A	NYE ROBERT/SAYLER JODY S	205 N 74TH ST 216 MESA AZ 85207	6815 E LAS ANIMAS TRL GOLD CANYON AZ 85218
218-16-181A	KASINECZ NANCY STACIE ANN	205 N 74TH ST 215 MESA AZ 85207	205 N 74TH ST 215 MESA AZ 85207
218-16-182A	GUAY LORRAINE R/CUMMING RICK A	205 N 74TH ST 214 MESA AZ 85207	834 KLOPPENBURG COURT SASKATOON SK CANADA S7W0P3
218-16-183A	GAGNE BRENDA G	205 N 74TH ST 213 MESA AZ 85207	205 N 74TH ST UNIT 213 MESA AZ 85207
218-16-184A	RAMPTON DENNIS/DONNA ELAINE	205 N 74TH ST 212 MESA AZ 85207	3041 E MERLOT ST GILBERT AZ 85298
218-16-185A	NORRIS SARAH L	205 N 74TH ST 211 MESA AZ 85207	205 N 74TH ST UNIT 211 MESA AZ 85207
218-16-186A	EVERETT ROXANA-DIANA	205 N 74TH ST 210 MESA AZ 85207	205 N 74TH ST UNIT 210 MESA AZ 85207
218-16-187A	KLINGLER GEORGE L/JUDITH A TR	205 N 74TH ST 209 MESA AZ 85207	4266 E STRAWBERRY DR GILBERT AZ 85298
218-16-188	TERRY R MOORE & BETTY J MOORE TRUST	145 N 74TH ST 101 MESA AZ 85207	4015 PLEASANT VALLEY BLVD ROCKFORD IL 61114-5244
218-16-189	GUY THOMAS M SR/JANE E	145 N 74TH ST 102 MESA AZ 85207	145 N 74TH ST UNIT 102 MESA AZ 85207-8328
218-16-190	POPOWICH GARRY/SONIA	145 N 74TH ST 103 MESA AZ 85207	145 N 74TH ST MESA AZ 85207
218-16-191	PLATKO KIMBERLY MARIE SHAW	145 N 74TH ST 104 MESA AZ 85207	145 N 74TH ST UNIT 104 MESA AZ 85207
218-16-192	GENTRY JAMES D	145 N 74TH ST 105 MESA AZ 85207	PO BOX 94447 PHOENIX AZ 85070
218-16-193	MOELLER DONALD J/GERALDINE M	145 N 74TH ST 106 MESA AZ 85207	145 N 74TH ST UNIT 106 MESA AZ 85207
218-16-194	PUGH DAVID/SHARON	145 N 74TH ST 107 MESA AZ 85207	3432 E VERNON DR MOORESVILLE IN 46158
218-16-195	MCNEILLY JOSEPH W/DONNA C	145 N 74TH ST 108 MESA AZ 85207	74 BAKER BAY WINNIPEG MB CANADA R2P1MB
218-16-196	XCR PROPERTY MANAGEMENT LLC	145 N 74TH ST 109 MESA AZ 85207	145 N 74TH ST UNIT 109 MESA AZ 85207
218-16-197	SUCH ADAM E/FIDELIA C	145 N 74TH ST 110 MESA AZ 85207	145 N 74TH ST UNIT 205 MESA AZ 85207
218-16-198	LAWRENCE W MCMMAN AND PATRICIA A MCMMAN REVOCABLE LIVING TRUST	145 N 74TH ST 111 MESA AZ 85207	8340 E APACHE PLUMS DR GOLD CANYON AZ 85118
218-16-199	THADA GEORGE JR/ZEITLOW LAURA	145 N 74TH ST 112 MESA AZ 85207	938 LEEWARD CT OSHKOSH WI 54901
218-16-200	CHRISTIANSEN TAYLOR LYNN/LEE D/BOBBIE L	145 N 74TH ST 113 MESA AZ 85207	145 N 74TH ST UNIT 113 MESA AZ 85207
218-16-201	A & F FAMILY TRUST	145 N 74TH ST 114 MESA AZ 85207	145 N 74TH ST UNIT 114 MESA AZ 85207
218-16-202	BECK FAMILY LIVING TRUST	145 N 74TH ST 115 MESA AZ 85207	145 N 74TH ST UNIT 115 MESA AZ 85207
218-16-203	BEEBE OMAIRA	145 N 74TH ST 116 MESA AZ 85207	145 N 74TH ST UNIT 116 MESA AZ 85207-8328
218-16-204	HOLDER JEREMY/SNYDER KELLI	145 N 74TH ST 117 MESA AZ 85207	145 N 74TH ST NO 117 MESA AZ 85207
218-16-205	PATRICIA A MCCOMISH REVOCABLE TRUST 2017	145 N 74TH ST 118 MESA AZ 85207	21778 COUNTRY CLUB RD SHULLSBURG WI 53586-9769
218-16-206	LEUTH JERRY/STREET JUDITH	145 N 74TH ST 119 MESA AZ 85207	N6705 COUNTY ROAD A GREEN LAKE WI 54941
218-16-207	NICHOLSON LHONDA	145 N 74TH ST 120 MESA AZ 85207	145 N 74TH ST UNIT 120 MESA AZ 85207
218-16-208	MILLER DOUGLAS A	145 N 74TH ST 121 MESA AZ 85207	PO BOX 593 GAYLORD MI 49734
218-16-209	KANEPS SANDRA	145 N 74TH ST 122 MESA AZ 85207	550 N NORMANDY AVE CHICAGO IL 60656
218-16-210	MILLER ARTHUR W/SHARON J	145 N 74TH ST 123 MESA AZ 85207	12927 N TEWS RD HAYWARD WI 54843
218-16-211	CATHY J PASCAL MEMORIAL TRUST	145 N 74TH ST 124 MESA AZ 85207	7231 W MINERAL POINT RD VERONA WI 53593
218-16-212	MACDOUGALL JAMES/IRENE/COWAN KAY/MOE KAREN	145 N 74TH ST 125 MESA AZ 85207	BOX 105 DELACOUR AB CANADA T0M0TO
218-16-213	LEO EDWARD LAMERE AND CAROL A LAMERE REVOCABLE TRUST	145 N 74TH ST 126 MESA AZ 85207	344 CUSTER CT GREEN BAY WI 54301-1245
218-16-214	STOCK DENNIS A/RENEE A	145 N 74TH ST 127 MESA AZ 85207	420 THUMPER LODGE RD OTTERTAIL MN 56571
218-16-215	MALINA KENNETH H/DEBORAH S	145 N 74TH ST 128 MESA AZ 85207	272 MARGARITE RD MIDDLETOWN CT 06457
218-16-216	MARTINELLI MIFI MARLENE	145 N 74TH ST 129 MESA AZ 85207	10032 E SEISMIC AVE MESA AZ 85212
218-16-217	MILLER JENI R	145 N 74TH ST 130 MESA AZ 85207	PO BOX 1237 GAYLORD MI 49734-5237
218-16-218	FISHER CHARLES D/JUNEEN M	145 N 74TH ST 131 MESA AZ 85207	145 N 74TH ST 131 MESA AZ 85207
218-16-219	JOHNSON NATHAN	145 N 74TH ST 132 MESA AZ 85207	145 N 74TH ST 132 MESA AZ 85207
218-16-220	ERICKSON WILLARD S/LEORA M	145 N 74TH ST 133 MESA AZ 85207	300 BUFFALO HILLS LN UNIT 79 BRAINERD MN 56401
218-16-221	FERRY SANDRA M	145 N 74TH ST 134 MESA AZ 85207	145 N 74TH ST NO 134 MESA AZ 85207
218-16-222	PAUL PETER STEVEN	145 N 74TH ST 135 MESA AZ 85207	145 N 74TH ST UNIT 135 MESA AZ 85207
218-16-223	TVITO JEFF/BRENDA M	145 N 74TH ST 136 MESA AZ 85207	9532 E JAN AVE MESA AZ 85208
218-16-224	SALAZAR ROGER D JR	145 N 74TH ST 137 MESA AZ 85207	145 N 74TH ST UNIT 137 MESA AZ 85207
218-16-225	DAYLEY KYLE ALAN	145 N 74TH ST 138 MESA AZ 85207	145 N 74TH ST UNIT 138 MESA AZ 85207-8329
218-16-226	COON LOIS A/WALL SHIRLEY/WILLIAM W	145 N 74TH ST 139 MESA AZ 85207	145 N 74TH ST UNIT 139 MESA AZ 85207
218-16-227	GREEN TAMMY/ROBERT M	145 N 74TH ST 140 MESA AZ 85207	145 N 74TH ST UNIT 140 MESA AZ 85207
218-16-228	CAROL FAYE TORSSELL LIVING TRUST	145 N 74TH ST 141 MESA AZ 85207	18552 E WALNUT RD QUEEN CREEK AZ 85142
218-16-229	GREEN ROBERT M/TAMMY	145 N 74TH ST 142 MESA AZ 85207	7928 E HARMONY AVE MESA AZ 85209
218-16-230	NACARATO DANIEL J	145 N 74TH ST 143 MESA AZ 85207	145 N 74TH ST 143 MESA AZ 85207
218-16-231	RANDLER JOHN S	145 N 74TH ST 144 MESA AZ 85207	145 N 74TH ST 144 MESA AZ 85207
218-16-232	DIHEL RAY A/EDWINA A	145 N 74TH ST 145 MESA AZ 85207	3034 SUNRISE DR CROWN POINT IN 46307
218-16-233	AMI FAMILY TRUST	145 N 74TH ST 146 MESA AZ 85207	10922 E CALYPSO AVE MESA AZ 85208
218-16-234	THOMAS A ZENS TRUST/CAROLE J ZENS TRUST	145 N 74TH ST 147 MESA AZ 85207	2603 BODDINGTON LN NAPERVILLE IL 60564-9488
218-16-235	PETERSON CYNTHIA	145 N 74TH ST 148 MESA AZ 85207	145 N 74TH ST UNIT 148 MESA AZ 85207
218-16-236	BRUSTOWICZ EDWARD/MARIE	145 N 74TH ST 149 MESA AZ 85207	4 FAIRVIEW RD ROBBINSVILLE NJ 08691
218-16-237	SAMMUL ANDRES/DENISE A	145 N 74TH ST 150 MESA AZ 85207	2774 REID FARM RD ROCKFORD IL 61114
218-16-238	MARVIN A AND JANET E SCHRADER JOINT REV TRUST	145 N 74TH ST 151 MESA AZ 85207	1719 AUTUMNWOOD CT SHEBOYGAN WI 53081
218-16-239	COWAN KAY MARIE/MACDOUGALL IRENE MARIE	145 N 74TH ST 152 MESA AZ 85207	222 COVEWOOD CLOSE NE CALGARY AB CANADA T3X5A1
218-16-240	BYRON BEVERLY ALICE	145 N 74TH ST 153 MESA AZ 85207	145 N 74TH ST MESA AZ 85207
218-16-241	CARROTHERS ETHAN P	145 N 74TH ST 154 MESA AZ 85207	145 N 74TH ST UNIT 154 MESA AZ 85207
218-16-242	RODRIGUEZ RICARDO MERCADO	145 N 74TH ST 155 MESA AZ 85207	145 N 74TH ST UNIT 155 MESA AZ 85207
218-16-243	NEFF DAVID JOSEPH/NANCY J	145 N 74TH ST 156 MESA AZ 85207	145 N 74TH ST UNIT 156 MESA AZ 85207
218-16-244	LOCKERY WAYNE N	145 N 74TH ST 201 MESA AZ 85207	79 SILVER CREEK BOULEVARD NW AIRDRIE AB CANADA T4B2P7
218-16-245	MOFFATT FAMILY TRUST	145 N 74TH ST 202 MESA AZ 85207	933 N MADELINE CT GILBERT AZ 85234
218-16-246	HENSON RICK A	145 N 74TH ST 203 MESA AZ 85207	145 N 74TH ST 203 MESA AZ 85207
218-16-247	MOFFATT ASHLEY	145 N 74TH ST 204 MESA AZ 85207	2503 LEISURE WORLD MESA AZ 85206
218-16-248	A & F FAMILY TRUST	145 N 74TH ST 205 MESA AZ 85207	145 N 74TH ST UNIT 205 MESA AZ 85207
218-16-249	LINES FAMILY LIVING TRUST	145 N 74TH ST 206 MESA AZ 85207	145 N 74TH ST UNIT 206 MESA AZ 85207
218-16-250	DAMASCO CHRISTINA	145 N 74TH ST 207 MESA AZ 85207	145 N 74TH ST UNIT 207 MESA AZ 85207
218-16-251	HAWORTH JACK B	145 N 74TH ST 208 MESA AZ 85207	145 N 74TH ST UNIT 208 MESA AZ 85207
218-16-252	MARTINEZ JOHN G	145 N 74TH ST 209 MESA AZ 85207	145 N 74TH ST UNIT 209 MESA AZ 85207
218-16-253	BRUST JOHN A/JOYCE S	145 N 74TH ST 210 MESA AZ 85207	4555 W 1200 S UNION HILLS IN 46382
218-16-254	BRUST JOHN A/JOYCE S	145 N 74TH ST 211 MESA AZ 85207	4555 WST 1200 SOUTH UNION MILLS IN 46832
218-16-255	MACLEOD KEN	145 N 74TH ST 212 MESA AZ 85207	11671 HYLAND DR DELTA BC CANADA V4E2Z9
218-16-256	HUNTER MARCIA KAY	145 N 74TH ST 213 MESA AZ 85207	1442 NW 131ST ST CLIVE IA 50325
218-16-257	SCALZOTTO TONIA MARIE/GIANCARLO	145 N 74TH ST 214 MESA AZ 85207	2416 E 139TH PL THORNTON CO 80602
218-16-258	GARDNER FAMILY TRUST	145 N 74TH ST 215 MESA AZ 85207	16224 W HILLTOP LN HAYWARD WI 54843
218-16-259	PRESTON DUSTIN	145 N 74TH ST 216 MESA AZ 85207	8101 E ENSENADA ST MESA AZ 85207
218-16-260	STE MARIE STEVE/JANET	145 N 74TH ST 217 MESA AZ 85207	11309 JOHNSON AVE S BLOOMINGTON MN 55437
218-16-261	SNYDER M LEE/SUSAN W	145 N 74TH ST 218 MESA AZ 85207	1049 PARK WEST DR GLENWOOD CO 81601
218-16-262	SNYDER TOM/SHARON	145 N 74TH ST 219 MESA AZ 85207	1314 N 3RD ST ABERDEEN SD 57401
218-16-263	ESPOSITO RICHARD M/NANCY L	145 N 74TH ST 220 MESA AZ 85207	8622 VERDE DR BYRON IL 61010
218-16-264	LORENZEN RONALD W/ PATRICIA A	145 N 74TH ST 221 MESA AZ 85207	12 S GOSSE BLVD PRINCETON IL 61356
218-16-265	APOSTOLAKIS ASIMOUЛА/RUTA TERRY	145 N 74TH ST 222 MESA AZ 85207	78 COLERAINE CRES WINNIPEG MB CANADA R3P1W1

218-16-266	CLAUSEN DOUGLAS T	145 N 74TH ST 223 MESA AZ 85207	8808 E MAIN ST MESA AZ 85207
218-16-267	WEINER DAVID	145 N 74TH ST 224 MESA AZ 85207	145 N 74TH ST UNIT 224 MESA AZ 85207
218-16-268	LUCAS COLLEEN M	145 N 74TH ST 225 MESA AZ 85207	145 N 74TH ST NO 225 MESA AZ 85208
218-16-269	PREST JOHN PETER STANLEY/JULIE P	145 N 74TH ST 226 MESA AZ 85207	145 N 74TH ST UNIT 226 MESA AZ 85207
218-16-270	BENJAMINSON DIANE	145 N 74TH ST 227 MESA AZ 85207	145 N 74TH ST UNIT 227 MESA AZ 85207
218-16-271	PHILPOTT BRIAN H/LINDA G	145 N 74TH ST 228 MESA AZ 85207	PO BOX 1017 GIMLI MB CANADA ROC1B0
218-16-272	EARLY HOLLY	145 N 74TH ST 229 MESA AZ 85207	145 N 74TH ST UNIT 229 MESA AZ 85207-8331
218-16-273	GRAYBILL WAYNE J/DIANE C	145 N 74TH ST 230 MESA AZ 85207	145 N 74TH ST UNIT 230 MESA AZ 85207
218-16-274	ALLDREDGE JASON T	145 N 74TH ST 231 MESA AZ 85207	145 N 74TH ST UNIT 231 MESA AZ 85207-8331
218-16-275	WISE JOSE A/LINDA M TR	145 N 74TH ST 232 MESA AZ 85207	1649 E 8TH ST MESA AZ 85203
218-16-276	LEONARD J ZOFRE REVOCABLE LIVING TRUST	145 N 74TH ST 233 MESA AZ 85207	145 N 74TH ST UNIT 233 MESA AZ 85207
218-16-277	GELLERT PATRICIA/DENNIS	145 N 74TH ST 234 MESA AZ 85207	7 MINOT DR REGINA SK CANADA S4X1B5
218-16-278	BEARS KIRSTEN RANAЕ	145 N 74TH ST 235 MESA AZ 85207	145 N 74TH ST UNIT 235 MESA AZ 85207
218-16-279	RAMIREZ JULIO A	145 N 74TH ST 236 MESA AZ 85207	145 N 74TH ST UNIT 236 MESA AZ 85207-8331
218-16-280	WYBLE ROCKY/STELLA	145 N 74TH ST 237 MESA AZ 85207	6444 E RUSSELL ST MESA AZ 85215
218-16-281	PETERS DAVID/LAVERNE	145 N 74TH ST 238 MESA AZ 85207	7715-173A STREET EDMONTON AB CANADA T5T0G2
218-16-282	RAMIREZ ALINA ELENA RODRIGUEZ/PENAS RAFAEL ANDRES GONZALEZ DE LAS	145 N 74TH ST 239 MESA AZ 85207	145 N 74TH ST UNIT 239 MESA AZ 85207
218-16-283	CLAUSEN DOUGLAS T	145 N 74TH ST 240 MESA AZ 85207	8808 E MAIN ST MESA AZ 85207
218-16-284	PAYNE TIMOTHY P/LESLIE M	145 N 74TH ST 241 MESA AZ 85207	7735 SEVERY AVE CASCADE CO 80809
218-16-285	BROWN MORGAN ELIZABETH	145 N 74TH ST 242 MESA AZ 85207	145 N 74TH ST UNIT 242 MESA AZ 85207
218-16-286	KERBY BRADLEY S	145 N 74TH ST 243 MESA AZ 85207	145 N 74TH ST UNIT 243 MESA AZ 85207
218-16-287	RODRIGUEZ RICARDO MERCADO	145 N 74TH ST 244 MESA AZ 85207	506 W UNIVERSITY DR MESA AZ 85201
218-16-288	MOUNTAIN QUAIL INVESTMENTS LLC	145 N 74TH ST 245 MESA AZ 85207	3307 E JAEGER CIR MESA AZ 85213
218-16-289	FIGUEROA PEDRO Z/BERTHA C/JUAN PABLO	145 N 74TH ST 246 MESA AZ 85207	145 N 74TH ST UNIT 246 MESA AZ 85207
218-16-290	RODGERS GARNET	145 N 74TH ST 247 MESA AZ 85207	3122 PHANEUF CRESENT REGINA SK CANADA S4V1T7
218-16-291	GHARRAS OUIDAD/MOSSADAK TAWFIQ	145 N 74TH ST 248 MESA AZ 85207	145 N 74TH ST UNIT 248 MESA AZ 85207
218-16-292	JONES LEWIS KENNETH	145 N 74TH ST 249 MESA AZ 85207	2316-8561 8A AVE SW CALGARY AB CANADA T3H 0V5
218-16-293	REID CRAIG W	145 N 74TH ST 250 MESA AZ 85207	48 AERO DR NEPEAN ON CANADA K2H5E4
218-16-294	RODGERS GREG/MILLISA	145 N 74TH ST 251 MESA AZ 85207	3033 ARGYLE RD REGINA SK CANADA S4S2B3
218-16-295	BOWMAN TAMMY JONES	145 N 74TH ST 252 MESA AZ 85207	145 N 74TH ST UNIT 252 MESA AZ 85207-7441
218-16-296	MARTINEZ JONATHAN D/LETICIA	145 N 74TH ST 253 MESA AZ 85207	145 N 74TH ST UNIT 253 MESA AZ 85207
218-16-297	NOVOTNY SCOTT	145 N 74TH ST 254 MESA AZ 85207	145 N 74TH ST 254 MESA AZ 85207
218-16-298	ROSITANO PETER J/NILDA R	145 N 74TH ST 255 MESA AZ 85207	4173 S RIM RD GILBERT AZ 85297
218-16-299	FRIEDLANDER MARLENE T TR	145 N 74TH ST 256 MESA AZ 85207	5423 CRESTDALE DR ROCKFORD IL 61114
218-16-300A	FORESTDALE INVESTMENTS LLC	7440 E MAIN ST MESA AZ 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-300B	KJ LAND COMPANY LLC	7420 E MAIN ST MESA AZ 85207	7420 E MAIN STREET MESA AZ 85207
218-16-301A	FORESTDALE INVESTMENTS LLC	7464 E MAIN ST MESA AZ 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-301B	FORESTDALE INVESTMENTS LLC	7536 E MAIN ST MESA AZ 85207	4885 S 900 EAST STE 104 SALT LAKE CITY UT 84117
218-16-301C	SV PLAZA LLC	339 N 75TH ST MESA AZ 85207	3725 E COLUMBINE DR PHOENIX AZ 85032
218-16-303	TIERRA ANTIGUA APARTMENTS LLC		8900 E BAHIA DR STE 105 SCOTTSDALE AZ 85260
218-16-417	WU JIAN-LUNG/LIN CHIA-EN		2044 W LONGHORN DR CHANDLER AZ 85286
218-16-418	HUMMERT JENNIFER		7531 E BILLINGS ST UNIT 102 MESA AZ 85207
218-16-419	SANCHEZ BRIANDA		7531 E BILLINGS ST UNIT 103 MESA AZ 85207
218-16-420	CAVAZOS BRETTON D/JAMIE M		2867 E LA JOYA DR SALT LAKE CITY UT 84124
218-16-421	TOSCANO ELSA		7531 E BILLINGS ST UNIT 105 MESA AZ 85207
218-16-422	8540 INVESTMENTS LLC		2733 N POWER RD STE 102-183 MESA AZ 85215
218-16-423	VASQUEZ RUBEN/SALCEDO KEVIN		7531 E BILLINGS ST UNIT 107 MESA AZ 85207
218-16-424	HORSTMAN GARY LEON/FLORENCE ELAINE		7531 E BILLINGS ST UNIT 108 MESA AZ 85207
218-16-425	REYNOSO LUIS ENRIQUE		7531 E BILLINGS ST UNIT 109 MESA AZ 85207
218-16-426	OTIS ANDREW JACOB		7531 E BILLINGS ST UNIT 110 MESA AZ 85207
218-16-427	MCKINSTRY JONATHAN		10 ALIENTA LN RANCHO MISSION VIEJO CA 92694
218-16-428	GALOVAN JEFFREY L		7531 E BILLINGS ST UNIT 112 MESA AZ 85207
218-16-429	YOUNG DEAN ARTHUR/CAROL		803 E MELODY DR GILBERT AZ 85234
218-16-430	SHEN LIEN		908 N CHOLLA ST CHANDLER AZ 85224
218-16-431	CARONE KELLY/KATHRYN		3057 HAYDEN RIDGE WAY RIVERTON UT 84065
218-16-432	CLARDY KATARINA		7531 E BILLINGS ST UNIT 116 MESA AZ 85207
218-16-433	DWORAKOWSKI LUKASZ		7531 E BILLINGS ST UNIT 117 MESA AZ 85207
218-16-434	TABAK GOLALEH		3 TREE TOPS LN UNIT 101 HUNTSVILLE P1H0B8 ON CANADA 85207
218-16-435	SZESZEL RACHEL		7531 E BILLINGS ST UNIT 119 MESA AZ 85207
218-16-436	KNIGHT YASMIN M		7531 E BILLINGS ST UNIT 120 MESA AZ 85207
218-16-437	ANDRA SARAH/BRANDON R		566 W AUTUMN HILLS BLVD LEHI UT 84043
218-16-438	PINEAU CHRISTOPHER		7531 E BILLINGS ST UNIT 122 MESA AZ 85207
218-16-439	CUMMINS BRENDAN MATTHEW/MICHAEL GLEN		7531 E BILLINGS ST UNIT 123 MESA AZ 85207
218-16-440	PERRY NINA MARIA		7531 E BILLINGS ST UNIT 124 MESA AZ 85207
218-16-441	BORGE DANIELL/HALLSTED MITCHELL		7531 E BILLINGS ST UNIT 125 MESA AZ 85207
218-16-442	HEBTING CHELSEA/LISA DAWN		7531 E BILLINGS ST UNIT 126 MESA AZ 85207
218-16-443	CHILESKI FAMILY TRUST		PO BOX 727 CEDAR RIDGE CA 95924
218-16-444	JORDAN DANIELLE		7531 E BILLINGS ST UNIT 128 MESA AZ 85207
218-16-445	HOWARD MELISSA L		7531 E BILLINGS ST UNIT 129 MESA AZ 85207
218-16-446	LEAVITT PROPERTIES LLC		723 N ORANGE CIR MESA AZ 85201
218-16-447	WILLIAMS JORDAN LEE		7531 E BILLINGS ST UNIT 131 MESA AZ 85207
218-16-448	CORRELL JACOB THOMAS		7531 E BILLINGS ST UNIT 132 MESA AZ 85207
218-16-449	CHILESKI FAMILY TRUST		PO BOX 727 CEDAR RIDGE CA 95924
218-16-450	KUEHN STACEY KIM		7531 E BILLINGS ST UNIT 134 MESA AZ 85207
218-16-451	BENNETT LEIGH		1080 E 800 N OREM UT 84097
218-16-452	BENNETT WILLIAM BRYSON		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-453	COMISH JOSEPH/HEYDY		7531 E BILLINGS ST UNIT 137 MESA AZ 85207
218-16-454	L&D GARRETT ARIZONA LLC		670 EAST 650 NORTH AMERICAN FORK UT 84003
218-16-455	L&D GARRET ARIZONA LLC		670 EAST 650 NORTH AMERICAN FORK UT 84003
218-16-456	CARONE KELLY/KATHRYN		3057 HAYDEN RIDGE WAY RIVERTON UT 84065
218-16-457	STEVENSON HEIDI		7531 E BILLINGS ST UNIT 141 MESA AZ 85207
218-16-458	SEDILLO JUSTIN/HERNANDEZ YVETTE		7531 E BILLINGS ST UNIT 142 MESA AZ 85207
218-16-459	REIS CYNDI		7531 E BILLINGS ST UNIT 143 MESA AZ 85207
218-16-460	GOBBELL ERIC/MUGGY JESSIKA		7531 E BILLINGS ST UNIT 144 MESA AZ 85207
218-16-461	GBM FUTURE I LLC		3943 S WHITE DR CHANDLER AZ 85286
218-16-462	FOX DENNIS L		2727 N TERRACE CIR MESA AZ 85102
218-16-463	CLAYBURGH ZACHERY REES		7531 E BILLINGS ST UNIT 147 MESA AZ 85207
218-16-464	APACHE CREEK REALTY LLC		342 FIRE THORN IDAHO FALLS ID 83404-4954
218-16-465	HILLS ERIN		14014 SANTA FE CT BAKERSFIELD CA 93314
218-16-466	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-467	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-468	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-469	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-470	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-16-471	ASPIRE AT SUN VALLEY HOMEOWNERS ASSOCIATION INC		4360 E BROWN RD STE 108 MESA AZ 85205
218-17-030	SUN VALLEY PLAZA HOLDINGS INC	7336 E MAIN ST MESA AZ 85207	4343 E CAMELBACK RD STE 210 PHOENIX AZ 85018
218-17-031A	SUN VALLEY PLAZA HOLDINGS INC	7340 E MAIN ST MESA AZ 85207	4343 E CAMELBACK RD STE 210 PHOENIX AZ 85018
218-17-031B	CAVANAUGH JOHN J/GLADYS S TR	7350 E MAIN ST MESA AZ 85207	10000 N 31ST AVE STE D301 PHOENIX AZ 85051

218-17-033	AZTEC-PREMIER LLC	164 N 74TH ST MESA AZ 85207	1 BEACON ST FL 14 BOSTON MA 02108
218-18-001E	RICHARD E & RAMONA L PACKARD LIVING TRUST	7433 E MAIN ST MESA AZ 85207	1812 N LINDSAY RD MESA AZ 85213
218-18-001F	CLUFF CHAD E/BRIGGS BRITTANY A/LACADOR LLC	7435 E MAIN ST MESA AZ 85207	2511 E UNIVERSITY DR MESA AZ 85203
218-18-001J	YANG CHIN SEIN/MARY FONG		13731 FM 1097 RD W WILLIS TX 77318
218-18-001K	YANG CHIN SEIN/MARY FONG		13731 FM 1097 RD W WILLIS TX 77318
218-18-001L	RICHARD E & RAMONA L PACKARD LIVING TRUST		1812 N LINDSAY RD MESA AZ 85213
218-18-001M	TRMC RETAIL LLC	7405 E MAIN ST MESA AZ 85207	539 S MAIN ST FINDLAY OH 45323
218-18-009	KAHLHAMER BRAD R	7450 E ABILENE AVE MESA AZ 85208	6 RIVINGTON ST FLOOR 3 NEW YORK CITY NY 10002
218-18-010	MANSFIELD BEVERLY JEAN TR	7456 E ABILENE AVE MESA AZ 85208	7456 E ABILENE AVE MESA AZ 85208
218-18-011	WAKEFIELD FAMILY LIVING TRUST	7462 E ABILENE AVE MESA AZ 85208	7462 E ABILENE AVE MESA AZ 85208
218-18-012	SCHREINER SUSAN M	7502 E ABILENE AVE MESA AZ 85208	3540 W 8TH ST WINONA MN 55987
218-18-013	NOREM TERRY	7508 E ABILENE AVE MESA AZ 85208	7508 E ABILENE AVE MESA AZ 85208
218-18-014	ANDERSON DENNIS W/JOY L	7514 E ABILENE AVE MESA AZ 85208	1735 MARSH AVE MT UNION IA 52644
218-18-015	THOMAS AND HEIDI SCHOKNECHT TRUST	7520 E ABILENE AVE MESA AZ 85208	W 316 S 313 CHRISTOPHER WY DELAFIELD WI 53018
218-18-016	KOVAC BONNIE JEAN TR	7526 E ABILENE AVE MESA AZ 85208	7526 E ABILENE AVE MESA AZ 85208
218-18-017	HILL PEGGY LEE	7532 E ABILENE AVE MESA AZ 85208	7532 E ABILENE AVE MESA AZ 85208
218-18-018	GORDON J POOLE FAMILY TRUST	7538 E ABILENE AVE MESA AZ 85208	4809 RIVERVIEW DR HUBERTUS WI 53033
218-18-019	JOHNSON JOY E	7544 E ABILENE AVE MESA AZ 85208	7544 E ABILENE AVE MESA AZ 85208
218-18-020	DAWSON JAMES D/TINA M	7550 E ABILENE AVE MESA AZ 85208	1701 N SUNDIAL MESA AZ 85205
218-18-021	ESTEY MICHAEL F	7556 E ABILENE AVE MESA AZ 85208	7556 E ABILENE AVE MESA AZ 85208
218-18-284A	MESA EAST HOMEOWNERS ASSOCIATION		PO BOX 1467 MESA AZ 85201
218-23-001A	MOORE FRANK B & SHIRLEY A		7605 E AKRON ST MESA AZ 85207
218-23-001B	HULON STONEY B/JOAN M		7605 E AKRON ST MESA AZ 85207
218-23-002	MELTON COLLEEN M	7613 E AKRON ST MESA AZ 85207	7613 E AKRON ST MESA AZ 85207
218-23-003	PAUL BRIAN M/DAUCH JAMIE L M	7621 E AKRON ST MESA AZ 85207	7621 E AKRON ST MESA AZ 85207
218-23-004	VENEGAS MARTIN	7629 E AKRON ST MESA AZ 85207	7629 E AKRON ST MESA AZ 85207
218-23-005	WALCOM JERRYSUE	7637 E AKRON ST MESA AZ 85207	7637 E AKRON ST MESA AZ 85207
218-23-006	FLETCHER KELLY J	7638 E AKRON ST MESA AZ 85207	8301 E McDOWELL RD MESA AZ 85207
218-23-007	MENARD JOHN S/LEIGH-ANN	7630 E AKRON ST MESA AZ 85207	7630 E AKRON ST MESA AZ 85207
218-23-008	DIANNE CAROLE PATERSON LIVING TRUST	7622 E AKRON ST MESA AZ 85207	7245 E FAIRVIEW AVE MESA AZ 85208-2732
218-23-009	DICKERMAN FAMILY LIVING TRUST	7614 E AKRON ST MESA AZ 85207	7614 E AKRON ST MESA AZ 85207
218-23-010	TUFFLY FREDERICK M SR	7606 E AKRON ST MESA AZ 85207	7606 E AKRON ST MESA AZ 85207
218-23-012F	FREDRICKSON LIVING TRUST	7602 E MAIN ST MESA AZ 85207	2102 N HILL MESA AZ 85203
218-23-013	CHAPMAN CRAIG/DIANE S	7701 E AKRON ST MESA AZ 85207	7701 E AKRON MESA AZ 85207
218-23-014	HERNANDEZ JOSE A PASOS	7713 E AKRON ST MESA AZ 85207	7713 E AKRON ST MESA AZ 85207
218-23-015	VELASQUEZ DAVID P	7725 E AKRON ST MESA AZ 85207	7725 E AKRON MESA AZ 85207
218-23-020	MINASSIAN SYLVA S/MANSUR MANSUR/ANMAR M	7726 E AKRON ST MESA AZ 85207	7726 E AKRON ST MESA AZ 85207
218-23-021	BUSCH ROBERT J/J/DAVID M	7714 E AKRON ST MESA AZ 85207	7714 E AKRON ST MESA AZ 85207
218-23-022	WILHELM CARROLL SPENCE/CHRISTINE	7702 E AKRON ST MESA AZ 85207	7702 E AKRON ST MESA AZ 85207-8441
218-23-023	CAMBER MARIE FURMAN REVOCABLE TRUST/TIPHANI MARIE HINSHAW REVOCABLE TRUST ET AL	7744 E MAIN ST MESA AZ 85207	PO BOX 12072 CASA GRANDE AZ 85130
218-23-024	PEATON LOUISE B/JUDY S	7601 E ALBANY ST MESA AZ 85207	7601 E ALBANY ST MESA AZ 85207
218-23-025	BE HAPPY THERE IS ANYTHING LEFT TRUST	7613 E ALBANY ST MESA AZ 85207	7613 E ALBANY ST MESA AZ 85207
218-23-026	WAITE CARLA	7623 E ALBANY ST MESA AZ 85207	7623 E ALBANY ST MESA AZ 85207
218-23-027	DITTIUS JAMES D/PATRICIA M	7635 E ALBANY ST MESA AZ 85207	7635 E ALBANY ST MESA AZ 85207
218-23-028	HUSTON SCOTT/HERLINDA	7647 E ALBANY ST MESA AZ 85207	7647 E ALBANY ST MESA AZ 85207
218-23-029	HALES DON G/CHERYL	7640 E ALBANY ST MESA AZ 85207	7640 E ALBANY ST MESA AZ 85207
218-23-030	FLORES MARIA JOSE/LUIS ANGEL	7630 E ALBANY ST MESA AZ 85207	7630 E ALBANY ST MESA AZ 85207
218-23-031	BRADY KIMBERLY JO	7624 E ALBANY ST MESA AZ 85207	7624 E ALBANY ST MESA AZ 85207
218-23-032	HANSEN DALE R/CYRENA M	7612 E ALBANY ST MESA AZ 85207	7612 E ALBANY ST MESA AZ 85207
218-23-033	LUSANIA VINCENT	7602 E ALBANY ST MESA AZ 85207	7602 E ALBANY ST MESA AZ 85207
218-24-036	BESSEL MARJORIE/WYANT SCOTT	229 N 76TH PL MESA AZ 85207	4091 N LIMEBELL ST BUCKEYE AZ 85396
218-24-037	JERDE PAMELA J	225 N 76TH PL MESA AZ 85207	18052 S AVENIDA ARMONIOSA SAHUARITA AZ 85629
218-24-038	SOWLE AMANDA	221 N 76TH PL MESA AZ 85207	3851 BELMONT WAY PLEASANTON CA 94588
218-24-039	PROGRESS RESIDENTIAL BORROWER 11 LLC	217 N 76TH PL MESA AZ 85207	PO BOX 4090 SCOTTSDALE AZ 85261
218-24-040	GRAY FRANCIS E/DOREEN K	213 N 76TH PL MESA AZ 85207	213 N 76TH PL MESA AZ 85207
218-24-041	NEZHAD SHAHRAM AHMADI/TABATABAI SHADI	209 N 76TH PL MESA AZ 85207	209 N 76TH PL MESA AZ 85207
218-24-042	MIRELES OSCAR/MIRIAM M	220 N 76TH PL MESA AZ 85207	220 N 76TH PL MESA AZ 85207
218-24-043	KENDRICK HEN TSUN ZEN TRUST	216 N 76TH PL MESA AZ 85207	2386 CRABTREE DR CENTENNIAL CO 80121
218-24-044	NAVA MADELINE P	212 N 76TH PL MESA AZ 85207	212 N 76TH PL MESA AZ 85207
218-24-045	CARY TYLER K/LYNDA A	208 N 76TH PL MESA AZ 85207	208 N 76TH PL MESA AZ 85207
218-24-046	WIDMER KIM	7642 E BOSTON ST MESA AZ 85207	7642 E BOSTON ST MESA AZ 85207
218-24-047	HARRINGTON PATRICK JAMES	7636 E BOSTON ST MESA AZ 85207	7636 E BOSTON ST MESA AZ 85207
218-24-048	IH6 PROPERTY PHOENIX LP	7630 E BOSTON ST MESA AZ 85207	8665 E HARTFORD DR STE 200 SCOTTSDALE AZ 85255
218-24-049	MUHS SARAH ELIZABETH	205 N SEYMOUR MESA AZ 85207	205 N SEYMOUR MESA AZ 85207
218-24-050	REVOCABLE LIVING TRUST OF ROMEO T BARON	209 N SEYMOUR MESA AZ 85207	209 N SEYMOUR MESA AZ 85207-7520
218-24-051	MONKS CONNER/SAMANTHA	7623 E BARSTOW ST MESA AZ 85207	7623 E BARSTOW ST MESA AZ 85207
218-24-052	PROGRESS RESIDENTIAL BORROWER 14 LLC	7629 E BARSTOW ST MESA AZ 85207	PO BOX 4090 SCOTTSDALE AZ 85261
218-24-053	RAMIREZ DANAH C/LAUGESEN JOSHUA L	7635 E BARSTOW ST MESA AZ 85207	7635 E BARSTOW ST MESA AZ 85207
218-24-054	RODRIGUEZ JULIO	7641 E BARSTOW ST MESA AZ 85207	7641 E BARSTOW ST MESA AZ 85207-7522
218-24-055	ROSENARKER ERIC/SARAH	7647 E BARSTOW ST MESA AZ 85207	7647 E BARSTOW ST MESA AZ 85207
218-24-056	HOPKINS LOLETA M	7658 E BARSTOW ST MESA AZ 85207	7658 E BARSTOW ST MESA AZ 85207
218-24-057	LEWANDOWSKI CONRAD/JANET	7652 E BARSTOW ST MESA AZ 85207	9534-88 AVE NW EDMONTON AB CANADA T6C1M7
218-24-058	RONALD L AND NANCY J FINROCK REV LIV TRUST	7640 E BARSTOW ST MESA AZ 85207	9623 E GARY ST MESA AZ 85207
218-24-059	CHARLES A POWELL AND FUMI ISLEY-POWELL REVOCABLE LIVIN TRUST	7634 E BARSTOW ST MESA AZ 85207	7634 E BARSTOW ST MESA AZ 85207
218-24-060	JAMES ROBERT W JR	7628 E BARSTOW ST MESA AZ 85207	7628 E BARSTOW ST MESA AZ 85207-7523
218-24-061	ROHNER REGHAN/AUSTIN	7622 E BARSTOW ST MESA AZ 85207	7622 E BARSTOW ST MESA AZ 85207
218-24-062	VANAPRASERT MONTRE	7621 E BOISE ST MESA AZ 85207	7621 E BOISE ST MESA AZ 85207
218-24-063	IHS PROPERTY PHOENIX L P	7627 E BOISE ST MESA AZ 85207	1325 N FIESTA BLVD SUITE 103 GILBERT AZ 85233
218-24-064	BRYANT ASHLEY R	7633 E BOISE ST MESA AZ 85207	7633 E BOISE ST MESA AZ 85207
218-24-065	HAYCOCK TIFFANY WINONA/DALLIN SHAWN	7639 E BOISE ST MESA AZ 85207	7639 E BOISE ST MESA AZ 85207
218-24-066	ORTEGA OSCAR O JR/ZAVDY CHAPARRO	7651 E BOISE ST MESA AZ 85207	7651 E BOISE STREET MESA AZ 85207
218-24-067	PATTERSON JOSELINE/GLORIA CHRISTOPHER	7657 E BOISE ST MESA AZ 85207	7657 E BOISE ST MESA AZ 85207
218-24-074	ENDERS KYLE C/MCCONNELL CORTNI M	7636 E BOISE ST MESA AZ 85207	7636 E BOISE ST MESA AZ 85207
218-24-075	ISLAS MARIA TRINIDAD R	7630 E BOISE ST MESA AZ 85207	7630 E BOISE ST MESA AZ 85207
218-24-076	SHELTON PROPERTIES INC	7624 E BOISE ST MESA AZ 85207	3212 N CANYON WASH CIR MESA AZ 85207
218-24-095	J2D HOLDINGS LLC	250 N SEYMOUR MESA AZ 85207	3644 N SONORAN HILLS MESA AZ 85207-6803
218-24-096	HADLEY 69TH PLACE LLC	246 N SEYMOUR MESA AZ 85207	140 N CENTER ST MESA AZ USA 85201
218-24-097	INFESTO ERIK GENE/MARJORIE K TR	242 N SEYMOUR MESA AZ 85207	242 N SEYMOUR MESA AZ 85207
218-24-098	SEMMENS TANYA J	238 N SEYMOUR MESA AZ 85207	238 N SEYMOUR ST MESA AZ 85207
218-24-099	UEDA TSUTOMU TOMMY/CAMPBELL CAROL LYNN	234 N SEYMOUR MESA AZ 85207	234 N SEYMOUR MESA AZ 85207
218-24-100	NEEDHAM SHARON	230 N SEYMOUR MESA AZ 85207	230 N SEYMOUR MESA AZ 85207
218-24-101	IHS PROPERTY PHOENIX L P	226 N SEYMOUR MESA AZ 85207	1325 N FIESTA BLVD SUITE 103 GILBERT AZ 85233
218-24-102	AMADI CAREY C	222 N SEYMOUR MESA AZ 85207	222 N SEYMOUR ST MESA AZ 85207
218-24-103	DAX CAROLINA I	218 N SEYMOUR MESA AZ 85207	218 N SEYMOUR MESA AZ 85207-7519
218-24-104	HOESMAN SHANE	214 N SEYMOUR MESA AZ 85207	214 N SEYMOUR RD MESA AZ 85207
218-24-105	BEACH DAVID J/ROXANNA	210 N SEYMOUR MESA AZ 85207	210 E SEYMOUR ST MESA AZ 85207
218-24-106	AMBERLY LANE COMMUNITY ASSOCIATION INC	208 N SEYMOUR MESA AZ 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-24-108	AMBERLY LANE COMMUNITY ASSOCIATION INC	208 N SEYMOUR MESA AZ 85207	450 N DOBSON RD STE 201 MESA AZ 85201

218-24-109	AMBERLY LANE COMMUNITY ASSOCIATION INC	208 N SEYMOUR MESA 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-24-110	AMBERLY LANE COMMUNITY ASSOCIATION INC	7648 E BARSTOW ST MESA 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-24-111	AMBERLY LANE COMMUNITY ASSOCIATION INC		450 N DOBSON RD STE 201 MESA AZ 85201
218-24-116	AMBERLY LANE COMMUNITY ASSOCIATION INC		450 N DOBSON RD STE 201 MESA AZ 85201
218-24-154	DAVID AND MARTHA LANDREY LIVING TRUST	7734 E AUBURN ST MESA 85207	7734 E AUBURN ST MESA AZ 85207
218-24-155	MOUL DALE S/KRISTINE A	7728 E AUBURN ST MESA 85207	7728 E AUBURN ST MESA AZ 85207
218-24-156	SIMON WESTREICH RONNIE	7722 E AUBURN ST MESA 85207	7722 E AUBURN ST MESA AZ 85207
218-24-157	TRAUTMAN ALBERT C/DENISE D	7721 E ALBANY ST MESA 85207	300 BESTPLACE RD HELENA MT 59602
218-24-158	GRAYBILL LIVING TRUST	7727 E ALBANY ST MESA 85207	7727 E ALBANY ST 42 MESA AZ 85207
218-24-169	PRICE KEITH/NEIL	7726 E ALBANY ST MESA 85207	3150 E SAN ANGELO GILBERT AZ 85234
218-24-170	SARIS MICHAEL/AMBER	7720 E ALBANY ST MESA 85207	7720 E ALBANY ST MESA AZ 85207
218-24-171	RICHELDERFEI DLYNN M	7719 E BOSTON ST MESA 85207	7719 E BOSTON ST MESA AZ 85207
218-24-231	CECINA HOMEOWNERS ASSOCIATION	7718 E BOSTON ST MESA 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-24-233	CECINA HOMEOWNERS ASSOCIATION	7601 E MAIN ST MESA 85207	450 N DOBSON RD STE 201 MESA AZ 85201
218-35-001B	GRIZZLYS DISCOUNT FLOORING LLC	7807 E MAIN ST CC76 MESA 85207	580 W VIA DE PALMAS SAN TAN VALLEY AZ 85140
218-35-001D	LEGACY PIII AGAVE VILLAGE LLC	7631 E MAIN ST MESA 85207	1630 W GUADALUPE RD GILBERT AZ 85233
218-35-001M	CRE MAIN STREET LLC	7715 E MAIN ST MESA 85207	2311 HARRIMAN LN NO 8 REDONDO BEACH CA 90278
218-35-001Q	PEP BOYS MANNY MOE & JACK		3111 W ALLEGHENY AVE PHILADELPHIA PA 19132

TAB 3

From: [david](#)
To: [Alex Hayes](#)
Subject: Re: Sossaman Townhomes Meeting Link
Date: Tuesday, November 30, 2021 6:45:21 PM

Hi Alex -

Unfortunately my schedule has changed and I am unable to attend the 6PM meeting today. I serve on the HOA Board of Amberly Lane, the gated community N/E of the proposed Sossaman Townhomes project. My interest is simply curiosity. The consensus from our board is favorable to the proposed development as the current undeveloped property attracts squatters.

Thanks for reaching out,

David Beach.

On 2021-11-30 07:54, Alex Hayes <hayes@withey.com> wrote:

Hi David,

Hope all is well on your end.

Touching base to see if you'd like to find a time to connect today to discuss the Sossaman Townhomes. We only have one other response to tonight's meeting so I'd be happy to connect directly if that's preferable. Otherwise, we can see you at 6pm!

Thanks,

Alex

Alex Hayes

Withey Morris PLC

2525 E Arizona Biltmore Circle #A-212

Phoenix, AZ 85016

Direct: (602) 346-4636

From: david <david@karpos.org>
Sent: Thursday, November 18, 2021 4:35 PM
To: Alex Hayes <hayes@withey.com>
Subject: Sossaman Townhomes Meeting Link

Hi -

Per your letter, I am requesting a virtual meeting link to the 'Sossaman Townhomes' meeting.

Thank you,

David Beach.

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

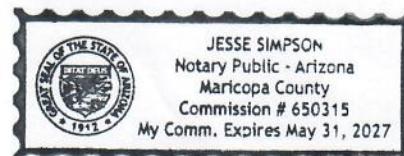
Date: 03/22/24

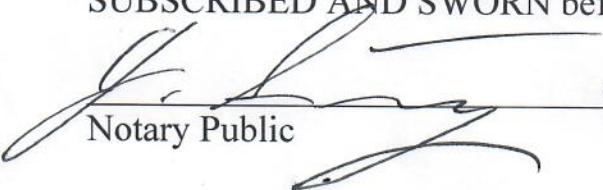
I, Patrick Anspaugh, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON21-00874, on N of NWC Sossoman Rd & Main St.. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5"
BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.**

Applicant's/Representative's signature: Patrick Anspaugh

SUBSCRIBED AND SWORN before me on 03/22/24




Notary Public

*commission
exp: 5/31/27*

CITY OF MESA
PUBLIC NOTICE

ZONING HEARING

PLANNING & ZONING BOARD

57 EAST FIRST STREET

MESA, ARIZONA

TIME: 4:00 P.M. DATE: April 10, 2024

CASE: ZON21-00874

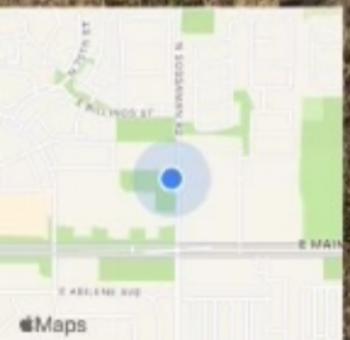
Request: Rezone from Limited Commercial (LC) to Multiple Residence-2 with a Planned Area Development Overlay (RM-2-PAD) and Site Plan Review. This request will allow for a multiple residence development.

APPLICANT: Alex Hayes

PHONE: 602-230-0600

Planning Division 480-644-2385

Posting date: 3/22/2024



March 22, 2024 at 7:31 AM
150 N Sossaman Rd
Mesa AZ 85207

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 3e

I am in favor of this item

I am opposed to this item

I wish to speak

I do not wish to speak

Comments: Parking will be an issue and they will end up parking in front of my house

Name: Colleen M Melton

Address: 7613 E Akron St Zip 85207

Phone: 480-363-3797

PLANNING AND ZONING MEETING

Comment Card

(Please fill out and return to staff at the front of Chambers)

- Please avoid repeating issues which have already been discussed
- Please observe time limits imposed by Chairperson.

I am present regarding agenda item # 3e

I am in favor of this item

I am opposed to this item

I wish to speak

I do not wish to speak

Comments: Parking, congestion, intrusion
on Existing Neighborhoods.

Name: Brian Paul

Address: 7621 E Akron St Zip 85207

Phone: 304-816-6873