

# Major Site Plan Amendment at Medina Station

SEC of Southern Avenue & Signal Butte Road



Submitted by:

**SimonCRE Buddy, LLC**

Eric Hurley, Development Project Manager

6900 E. 2nd Street

Scottsdale, AZ 85251

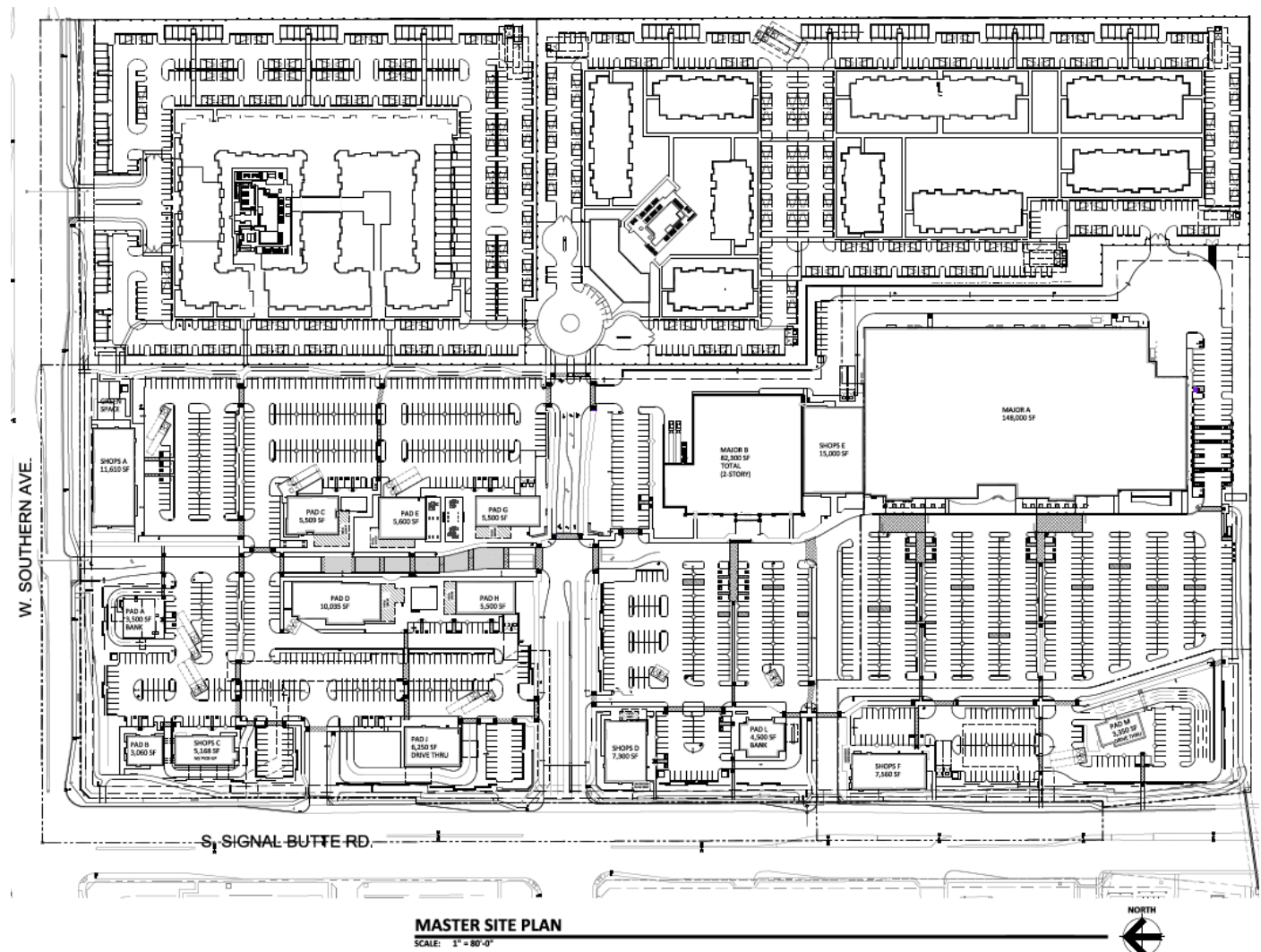
Phone: (480) 566-8662



# Introduction and Request

SimonCRE Buddy, LLC is pleased to submit this narrative and supporting documents for the Major Site Plan Amendment of Medina Station, a planned mixed-use regional destination spanning approximately 65 acres at the southeast corner of Southern Avenue and Signal Butte Road in Mesa, Arizona.

The subject property, identified as APN 220-82-018 on the Maricopa County Assessor's Map, requires Major Site Plan approval due to the proposed modifications exceeding the threshold for a Minor Amendment. These updates, detailed in the accompanying site plan and illustrative graphic, reflect thoughtful enhancements to the development while maintaining its original vision and intent.



## Medina Station Background

Medina Station is a planned mixed-use development in East Mesa, situated at the southeast corner of Southern Avenue and Signal Butte Road. Spanning approximately 65 acres, the project is designed to integrate commercial, dining, and residential components to serve as a regional destination.

**Retail and Dining** – The development will feature around 302,000 square feet of commercial space, anchored with a 148,000 square foot Target. Medina Station will mark the fifth Target location in Mesa and the first since 2004. The commercial space will also include additional major retailers, multiple shops, and a unique restaurant row filled with higher end, sit down restaurants. Medina Station will create a diverse shopping and dining experience.

**Residential** – Approximately 25 acres are allocated for residential use, with plans to construct about 651 multifamily housing units, offering modern living spaces to accommodate the growing population in East Mesa.

**Design and Amenities** – Medina Station will feature a modern desert architectural style, prioritizing walkability and seamless connectivity between its commercial and residential areas. The master plan includes a walking and jogging path linking the multifamily developments, encouraging an active lifestyle. Additionally, the design incorporates gathering spaces with lush landscaping and an art program to enhance community engagement.

**Development Timeline** – With the Mesa City Council's approval of the rezoning request on January 27, 2025, construction on the commercial portion is expected to begin as early as March 2025.

## Details of the Major Site Plan Changes at Medina Station

The proposed major site plan modifications for the Medina Station project are a direct reflection of our commitment to creating a cohesive and well-integrated development. The removal of a previously planned Pad K has allowed us to enhance parking availability on-site, improving accessibility for visitors and alleviating potential traffic congestion. Additionally, we have reoriented an access point near the removed Pad K to optimize traffic flow, designating it as a right-in-only entrance for improved circulation.

With the addition of a major tenant, we have adjusted the design and square footages of several shop buildings to better accommodate the updated site plan. Below is a detailed list of the changes made since the previous site plan approval:

- Major B - previously approved at **50,000 SF** is now **82,300 SF**
- Shops A - previously approved at **11,550 SF** is now **11,610 SF**
- Pad A - previously approved at **3,600 SF** is now **3,500 SF**
- Pad B - previously approved at **3,600 SF** is now **3,060 SF**
- Shops C - previously approved at **5,105 SF** is now **5,168 SF**
- Pad C - previously approved at **5,500 SF** is now **5,509 SF**
- Shops D - previously approved at **7,000 SF** is now **7,300 SF**
- Shops F - previously approved at **7,500 SF** is now **7,560 SF**

With the changes to the site plan, we have adjusted the design and square footages of several shop buildings to align with both city requirements and the tenant's operational needs. Lastly, this site plan

amendment incorporates all changes made since the last site plan approval, including the revised multi-use path configuration and updated landscaping elements that now fully comply with the city's latest requirements.

## Corrections Addressed:

The following table provides a detailed response to the city's design review comments. Each comment is addressed with corresponding revisions, clarifications, or explanations to demonstrate compliance with the Medina Station Design Guidelines and city requirements.

City Comment:	Action Taken:
<b>1ST SUBMITTAL COMMENTS:</b>	
Proposed Project: This request is for a Major Site Plan Modification for a group commercial center.	Acknowledged.
Please include the Council Coordinator in all public outreach and legal public notifications	Acknowledged.
The General Plan placetype for the site is currently Regional Center. The proposed development is consistent with the intent of the Mesa 2050 General Plan.	Acknowledged.
The subject site is currently zoned Limited Commercial with a Planned Area Development overlay (LC-PAD). The proposed site plan and uses are consistent with MZO Table 11-6-2. Any future land uses shall be required to meet MZO Table 11-6-2.	Acknowledged.
Per MZO Section 11-69-7, the proposed modifications to the approved site plan are classified as a Major Modification. Major Site Plan Modifications are required to be reviewed by the Planning and Zoning Board and approved by City Council.	Acknowledged.
Revise the parking calculations per MZO Table 11-32-3.	Revised as required.
Per the Quality Development Design Guidelines, design parking and circulation to minimize	Revised as required.



conflicts between pedestrians and vehicles. The existing site plan direct vehicles to the primary cross access and protects the pedestrian realm. The submitted revised site plan creates confusion for vehicles and breaks up the primary pedestrian pathway unnecessarily. Please enclose this access drive.	
Confirm consistency between master site plan and enlarged site plans.	Confirmed.
Now that complete patios and flex spaces are provided, please provide details for flex spaces demonstrating compliance with Section 4.3.1 of the DGs.	Revised as required.
Staff is unable to review the submitted landscape plans due to the file type or size. Please condense and flatten any AutoCAD comments and resubmit.	Black and white landscape plans, with a reduced file size have been included.
Future review of elevations will be required to be reviewed under the Medina Station Design Guidelines and the MZO for administrative Design Review approval. Refer to DRB25-00100 to DRB25-00104 for review of the elevations. Provide outdoor dining area barrier details with next DRB submittals.	Acknowledged.
As part of the revised Citizen Participation Process, Staff has uploaded a list of property owners within 1000 feet as well as registered neighborhoods and HOAs to notify. Please use this list for the citizen participation process. Staff is supportive of the Citizen Participation Plan. Please notify Staff and the Council Coordinator of the neighborhood meeting when scheduled.	Acknowledged.
An addressing plan has been uploaded to the Record. Please refer to this plan for future addressing and submittals.	Acknowledged.
1st Submittal: Economic Development is supportive of this site plan amendment and appreciates the applicant's efforts to create a cohesive and well-integrated mixed-use project	Acknowledged.

Show enclosure or compactor placement for Major A and Major B.	Trash compactors are provided and indicated on enlarged site plans
Missing enclosure for Pad L	Revised.
Alternative pavement required.	Revised.
31 required	Revised.
14 spaces required	Revised.
20 spaces required	Revised.
21 required	Revised.
35 spaces required	Revised.
31 (spaces required)	Revised.
85 (spaces required)	Revised.
Staff is unable to determine as no specific outdoor dining area is provided.	Revised.
80 (spaces required)	Revised.
3350 shown below.	Revised.
45 (spaces required)	Revised.
<p>1. Confirm whether the new drive lane between Shops D and (Pad K) will be designated as one-way traffic. Dimension the drive lane width between Shops D and (Pad K) as it does not appear to be wide enough for two-way traffic where it intersects the E Hampton Ave driveway. This drive aisle should be right in only and configured in a manner to only allow right turn in.</p> <p>2. Ensure the site plan shows the corrected and most current shared-use paths along Signal Butte Rd and Southern Ave.</p> <p>3. Ensure the remainder of the project adheres to the previously approved Zoning case – ZON23-00691.</p> <p>4. Please see Traffic Impact Study for review comments.</p>	Revised.

<p>Applicant needs to acknowledge all Water Resource comments. These comments may not reflect any existing development agreement(s) associated with the property. Water report is not reflecting the new SF areas mentioned in the amendment narrative. It increases Water Demand. Will need to resubmit Water Will Serve request for adjusted demands. Provide updated water report for review and re-approval of new water demands. Applicant will also need re-submit the Sustainable Water Service Application and Multiple and Large Meter (MLM) permit application.</p>	<p>Revised.</p>
<p>Applicant needs to acknowledge all Water Resource comments. These comments may not reflect any existing development agreement(s) associated with the property. Provide updated Sewer report for review and re-approval of new sewer demands. New building SF areas mentioned in the amendment narrative may not have been reflected in current sewer report. It increases Sewer Demand. Will need to resubmit Water Will Serve request for adjusted demands.</p>	<p>Revised.</p>
<p>Required notes to be placed on construction Documents: CONSTRUCTION NOTES. Place the following code required construction, alteration, and demolition notes on the construction documents:</p> <p>a. "Comply with all provisions and requirements of Mesa Building Code (MBC) Chapter 33 - Safeguards During Construction, Mesa Fire Code (MFC) Chapter 33 - Fire Safety During Construction and Demolition, and NFPA 241 for items not specifically addressed by MFC Chapter 33." "Fire apparatus access roads are essential during construction to allow emergency response to the site for both fire and medical emergencies. Access roads shall be in place prior to the start of vertical construction. It is important to develop access roads at an early stage of construction to allow for fire department access to the site in the case of fire or injury."</p>	<p>Acknowledged.</p>

b. "Required fire apparatus access road during construction or demolition shall comply with Mesa Fire and Medical Department standard detail FPD 3310.1. The access road shall be a minimum of 20 feet wide of all-weather driving surface, graded to drain standing water and engineered to bear the imposed loads of fire apparatus (78,000 lbs. / 24,000 lbs. front axle, 54,000 lbs. rear axle) when roads are wet. The access road shall extend to within 200 feet of any combustible materials and/or any location on the jobsite where any person(s) shall be working for a minimum of four (4) continuous hours in any day. A clearly visible sign marked "Fire Department Access", in red letters, shall be provided at the entry to the access road. All open trenches shall have steel plates capable of maintaining the integrity of the access road design when these trenches cross an access road. These access roads may be temporary or permanent. This policy applies only during construction and/or demolition. Permanent access per the MFC shall be in place prior to any final inspection or certificate of occupancy."

c. "Water supply for fire protection. An approved water supply for construction site shall meet the requirements of MFC Appendix Chapters B and C. The minimum fire flow requirement when contractor or developer brings combustible materials on site is 1,500 gpm at 20 psi. At least one fire hydrant shall be within 500 feet of any combustible material and capable of delivering the minimum fire flow requirement. This hydrant or hydrants may be either temporary or permanent as the project schedule permits. In addition, there are times when hydrants and valves must be closed temporarily for repair work or construction of the water system. The developer/contractor is responsible for ensuring that the water supply is always available. When the work is complete, developer/contractor shall make sure that the fire hydrants are active, and the valves are open."

Master site plan shows 3,500 SF	Revised.
Remove old multi-use path locations.	Revised.
15' FB required.	Revised.
Per the DGs, outdoor eating areas in the Restaurant Galley shall be no less than 1,000 SF	Provided.
Provide patio area dimensions and square footages.	Provided.
Confirm building complies with fire apparatus maximum depth of 30 feet for buildings over 30 feet tall.	As previously stated and agreed. The Dimension can be provided as indicated as long as 41' is provided at the rear of the building.
Minimum 8-foot clear sidewalk required. It appears the patio encroaches. Please provide dimensions.	Canopy overhangs into 8'-0". Patio does not encroach
What is this?	Landscape Area.
Staff has concerns with the access drive. Please address how one way to be identified on the site.	Pavement markings and signage will be provided for control of one way access drive.
<b>PRE-SUBMITTAL COMMENTS:</b>	
Provide a completely dimensioned site plan with the formal submittal.	Dimensioned site plan included.
Provide a revised landscape plan matching the revised site plan with the formal submittal.	Revised landscape plan that matched the amended site plan included.
Provide dimensions from the building to the commercial boundary and to the residential building.	Dimensions have been included.
Provide foundation base dimensions.	Dimensions have been included.
Staff recommends closing this driveway to comply with previous site plan and reduce circulation changes.	This has been corrected to only be a right-in.
Provide median landscape medians.	Landscape plans updated.

Provide a detailed utility plan and basis of design water report (later stages of planning/permitting). A project-specific Water Master Plan is required for large developments or projects involving significant extensions of the public water system. A hydraulic model analysis shall be included that demonstrates sufficient water capacities within the planned system under all flow conditions for all phases of development.	Master water report is being revised and an updated sustainable water form & MLM permit will be submitted
Please provide an updated TIS report that incorporates the latest site plan modifications. The introduction of a new drive lane between Shops D and (Pad K) must be evaluated in the TIS.	TIS has been included.
Confirm whether the new drive lane between Shops D and (Pad K) will be designated as one-way traffic. Dimension the drive lane width between Shops D and (Pad K) as it does not appear to be wide enough for two-way traffic where it intersects the E Hampton Ave driveway.	This has been corrected to only be a right-in.
Ensure the site plan shows the corrected and most current shared-use paths along Signal Butte Rd and Southern Ave.	Site plan shows the new multi-use path configuration.

## Conclusion

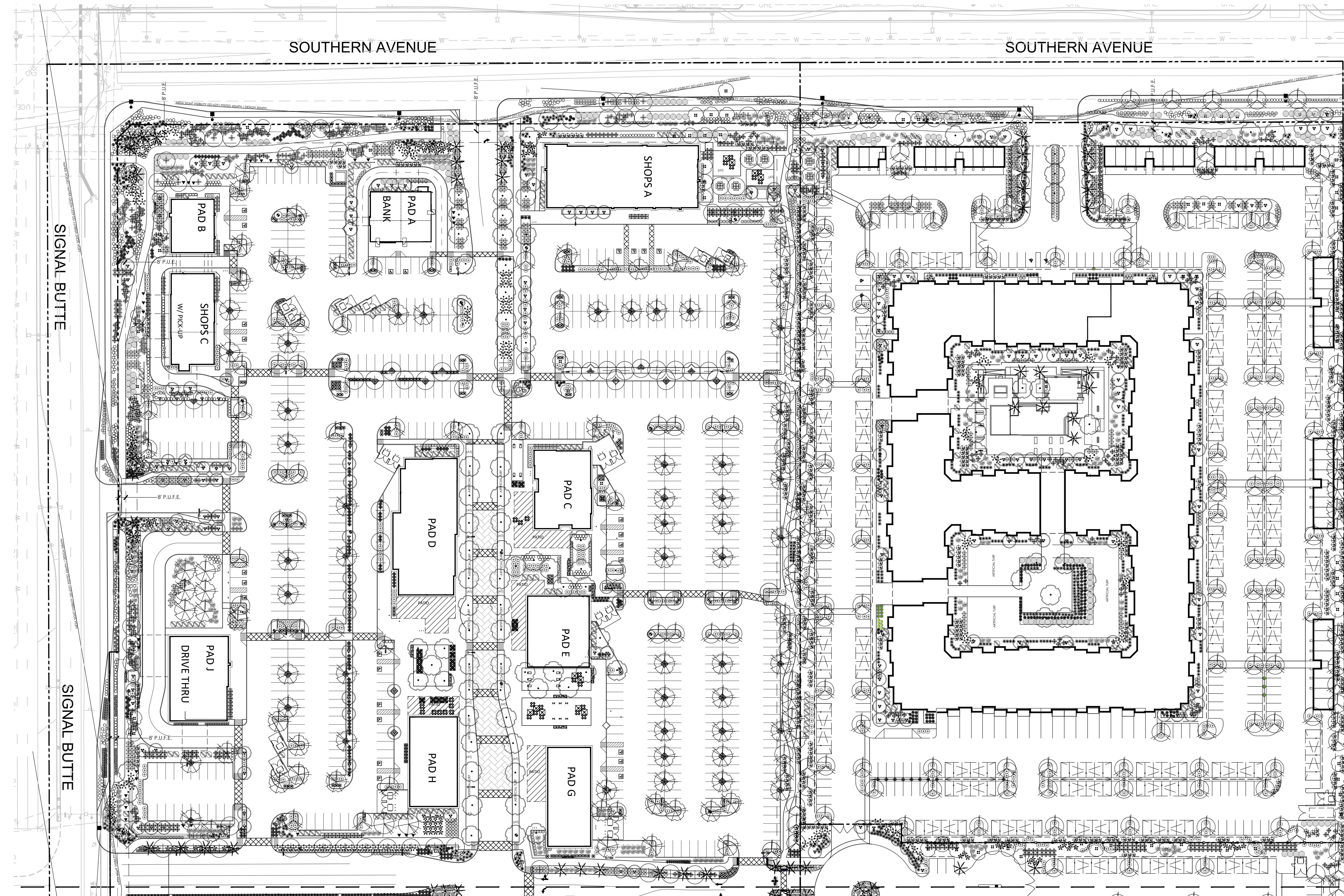
In summary, the proposed site plan modifications for Medina Station reflect our ongoing commitment to thoughtful planning, enhanced accessibility, and compliance with city requirements. By optimizing parking, improving traffic circulation, and integrating updated multi-use path and landscaping elements, this amendment ensures that Medina Station remains a dynamic and well-designed development.

These changes not only enhance the overall functionality of the site but also contribute to a more seamless and enjoyable experience for visitors, tenants, and the surrounding community. We appreciate the City's consideration of these updates and look forward to continuing our collaboration to bring this vision to fruition.

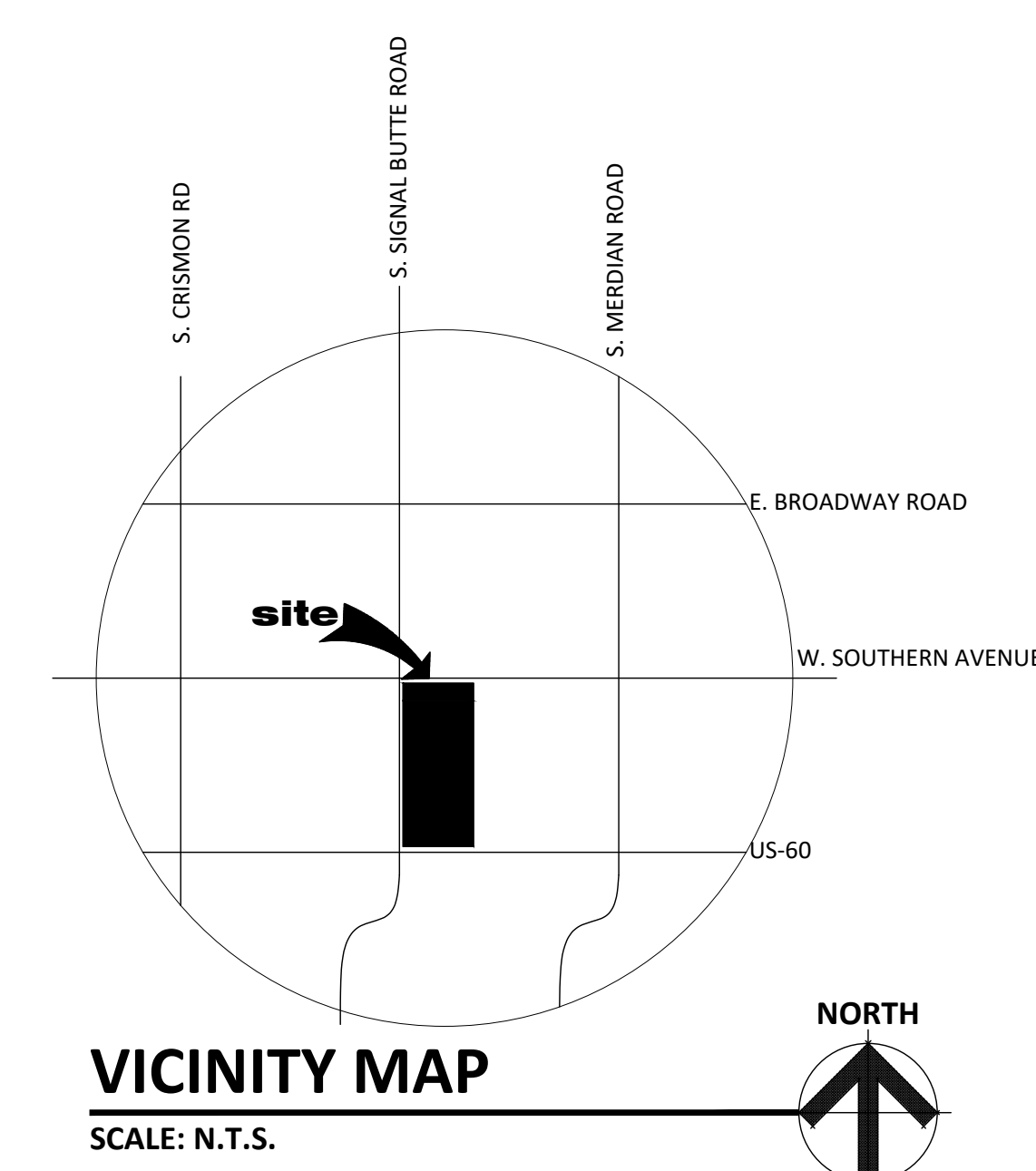




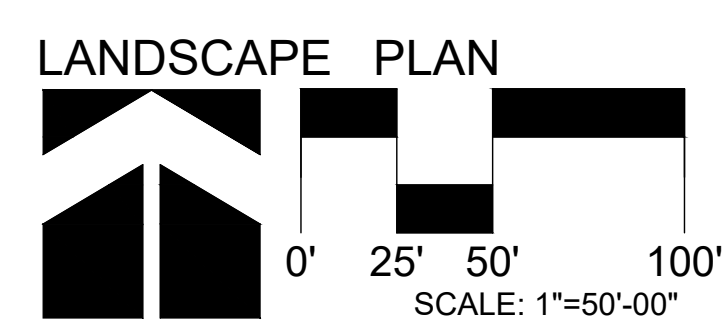




LANDSCAPE LEGEND		ACCENTS
TREES		
PROSOPIS HYBRID 'PHOENIX' PHOENIX THORNLESS MESQUITE 24" BOX	⊕	RUSELLIA EQUISTIFORMIS CORAL FOUNTAIN 5 GALLON
PISTACIA X RED PUSHPISTACHE 36" BOX	⊕	HERPESALOE PARVIFLORA RED YUCCA 5 GALLON
PROSOPIS 'PHOENIX' PHOENIX THORNLESS MESQUITE 36" BOX	⊗	HERPESALOE PERPA BRAKE LIGHT RED YUCCA 5 GALLON
QUERCUS VIRGINIANA LIVE OAK 36" BOX (MATCHING HI-CANOPY)	⊕	MUHLBERGIA CAPILLARIS PINK MUHLDEER GRASS 5 GALLON (QTY. XXX)
QUERCUS VIRGINIANA LIVE OAK 24" BOX (MATCHING HI-CANOPY)	⊕	YUCCA RECURVIFOLIA SOFT LEAF YUCCA 5 GALLON
PHOENIX DACTYLIFERA DATE PALM (MATCHING) 20 T.F. DIAMOND CUT, STRAIGHT, NO AERIAL ROOTS SHOWING.	⊕	ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS 10" ROUND (MATCHING)
ACACIA ANEURA MULCA (SRP/APS APPROVED) 24" BOX (MATCHING)	⊕	AGAVE DESMETIANA SMOOTH AGAVE 5 GALLON
CAESALPINIA CACALACO SMOOTHIE CASCALOTE 24" BOX (MATCHING)	⊕	DASYLIRION LONGISSIMA TOOTHLESS DESERT SPOON 5 GALLON
FRAXINUS VELUTINA 'FAN-TEX' FAN-TEX ASH 24" BOX (MATCHING)	⊕	HERPESALOE PERPA 'STOPLIGHTS' STOP LIGHTS RED YUCCA 1 GALLON
LARGE SHRUBS		PACHYCREUS MARGINATUS MEXICAN FENCE POST 3-STALK GROUPING (2.5', 2', 1' TALL)
TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON		GROUND COVER
HERPESALOE FUNIFERA LITTLE GIANT (CIVANO) 15 GALLON		LANTANA X 'NEW GOLD' 'NEW GOLD' 1 GALLON
CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON		LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON
MEDIUM SHRUBS		EREMOPHILA GLABRA 'MINGENW GOLD' 5 GALLON
EREMOPHILA MACULATA VALENTINE EMU BUSH 5 GALLON		ROSEMARINUS PROSTRATA TRAILING ROSMARY 5 GALLON
LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' 5 GALLON		INERT MATERIALS
VINES		1/2" SCREENED ROCK PROS CARMEL DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS
TECOMA STANS YELLOW BELLS 5 GALLON		3"-8" COBBLE (ROCK PROS CARMEL) DECOMPOSED GRANITE 8" DEPTH IN ALL LANDSCAPE AREAS
		CBL
		3X3X3" SURFACE SELECT GRANITE BOULDER (BURY 1/3) MINIMUM 2000lbs EACH
		ARTIFICIAL TURF 'OWNERS SELECTION INSTALL PER MANUFACTURER



T.J. McQUEEN & ASSOCIATES, INC.  
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MEDINA STATION  
SEC OF S. SIGNAL BUTTE AND W. SOUTHERN AVENUE  
MESA, ARIZONA  
DATE: 05.12.25 (PRELIMINARY)

La.01  
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MATCH LINE SEE SHEET La.01

SIGNAL BUTTE

SIGNAL BUTTE

MATCH LINE SEE SHEET La.03

LANDSCAPE LEGEND

TREES

- PROSOPIS HYBRID 'PHOENIX'  
-PHOENIX THORNLESS MESQUITE  
24" BOX
- PISTACIA X  
RED PUSH PISTACHE  
36" BOX
- PROSOPIS 'PHOENIX'  
PHOENIX THORNLESS MESQUITE  
36" BOX
- QUERCUS VIRGINIANA  
LIVE OAK  
36" BOX (MATCHING HI-CANOPY)
- QUERCUS VIRGINIANA  
LIVE OAK  
24" BOX (MATCHING HI-CANOPY)
- PHOENIX DACTYLIFERA  
DATE PALM (MATCHING)  
20" T.F. DIAMOND CUT, STRAIGHT,  
NO AERIAL ROOTS SHOWING.
- ACACIA ANEURA  
MULGA (SRP/APS APPROVED)  
24" BOX (MATCHING)
- CAESALPINIA CACALACO  
'SMOOTHIE' CASCALOTE  
24" BOX (MATCHING)
- FRAXINUS VELUTINA 'FAN-TEX'  
FAN-TEX ASH  
24" BOX (MATCHING)
- LARGE SHRUBS
- TECOMA 'ORANGE JUBILEE'  
'ORANGE JUBILEE'  
5 GALLON
- HESPERALOE FUNIFERA  
LITTLE GIANT (CIVANO)  
15 GALLON
- CAESALPINIA MEXICANA  
MEXICAN BIRD OF PARADISE  
5 GALLON
- MEDIUM SHRUBS
- EREMOPHILA MACULATA  
VALENTINE EMU BUSH  
5 GALLON
- LEUCOPHYLLUM LANGMANIAE  
'LYNN'S LEGACY'  
5 GALLON
- VINES
- TECOMA STANS  
YELLOW BELLS  
5 GALLON

ACCENTS

- RUSELLIA EQUITIFORMIS  
CORAL FOUNTAIN  
5 GALLON
- HESPERALOE PARVIFLORA  
RED YUCCA  
5 GALLON
- HESPERALOE PERPA  
BRAKE LIGHT RED YUCCA  
5 GALLON
- MUHLENBERGIA CAPILLARIS  
PINK MUHLYDEER GRASS  
5 GALLON (QTY. XXX)
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5 GALLON
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5 GALLON
- DASYLIRION LONGISSIMA  
TOOTHLESS DESERT SPOON  
5 GALLON
- HESPERALOE PERPA 'STOPLIGHTS'  
STOP LIGHTS RED YUCCA  
1 GALLON
- PACHYCREUS MARGINATUS  
MEXICAN FENCE POST  
3-STALK GROUPING (2.5', 2', 1' TALL)
- GROUND COVER
- LANTANA X 'NEW GOLD'  
'NEW GOLD'  
1 GALLON
- LANTANA MONTEVIDENSIS  
TRAILING PURPLE  
1 GALLON
- EREMOPHILA GLABRA  
'MINGENOW GOLD'  
5 GALLON
- ROSEMARINUS PROSTRATA  
TRAILING ROSMARY  
5 GALLON
- INERT MATERIALS
- 1/2" SCREENED ROCK PROS CARMEL  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS
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VISIBILITY TRIANGLE INFO:

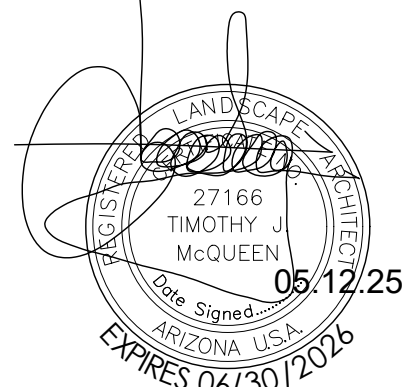
VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET  
ACCESS GUIDELINES.  
STREET SPEED: 45 MPH  
STREET CROSS SECTION 4LD  
FIGURE 2.3 (50MPH DESIGN SPEED) SD=625'

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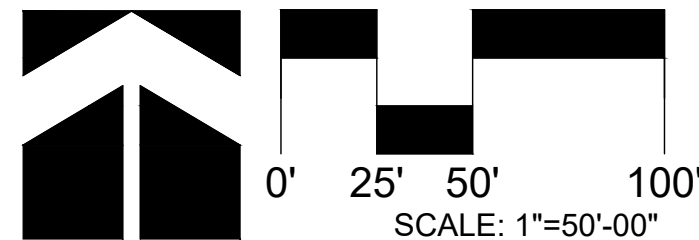
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LANDSCAPE PLAN



MEDINA STATION  
SEC OF S. SIGNAL BUTTE AND W. SOUTHERN AVENUE  
MESA, ARIZONA  
DATE: 05.12.25 (PRELIMINARY)

La.02

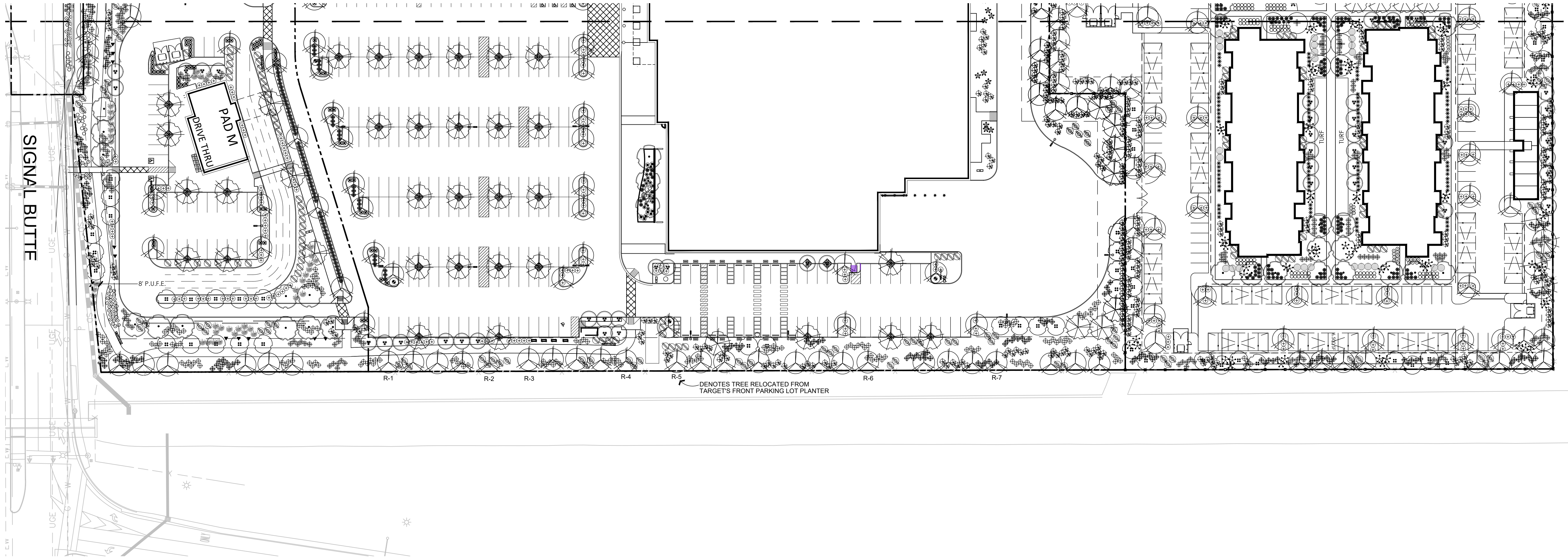
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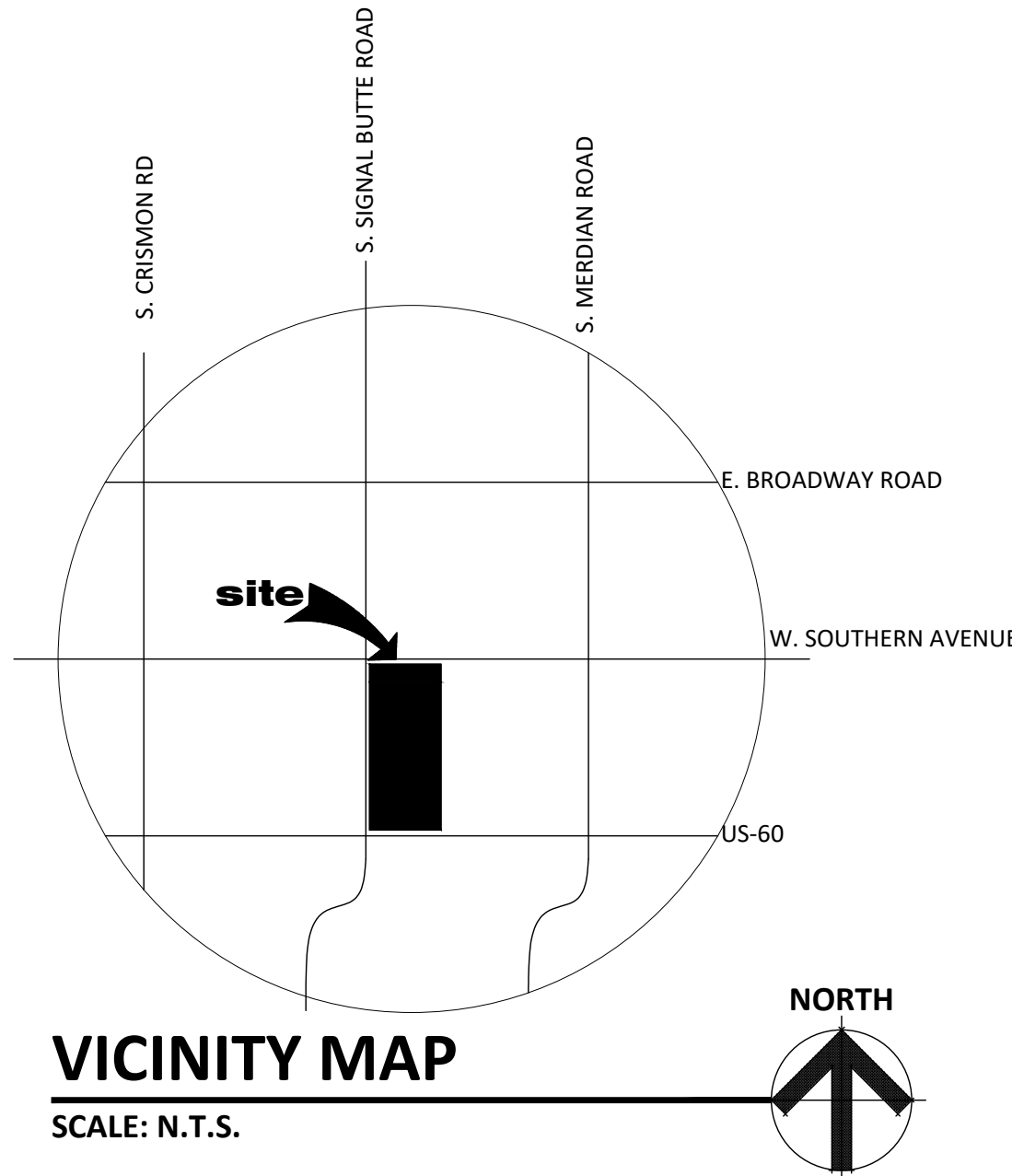


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	ARTIFICIAL TURF OWNER'S SELECTION INSTALL PER MANUFACTURER

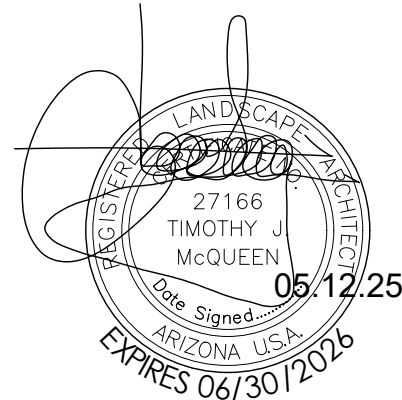


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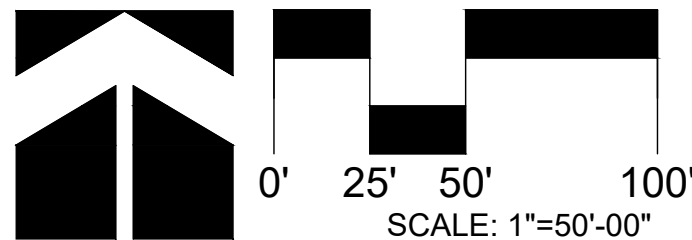
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

10446 N. 74th Street, Suite 150  
Scottsdale, Arizona 85258  
P: (602) 266-0320

EMAIL: timmcqueen@tjmla.net



LANDSCAPE PLAN



MEDINA STATION

SEC OF S. SIGNAL BUTTE AND W. SOUTHERN AVENUE

MESA, ARIZONA

DATE: 05.12.25 (PRELIMINARY)

La.03

RKAA#24082.50

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LANDSCAPE CALCULATIONS: RETAIL PORTION

SIGNAL BUTTE RD. (WEST)  
PROPERTY LINE (PLANTABLE)= 1,971'

TREES REQUIRED

8-36" BOX  
71-24" BOX

TREES PROVIDED

11-36" BOX  
71-24" BOX

SHRUBS REQUIRED

474-5 GALLON

SHRUBS PROVIDED

1010-5 GALLON

SOUTHERN AVE. (NORTH)  
PROPERTY LINE = 716'

TREES REQUIRED

3-36" BOX  
26-24" BOX

TREES PROVIDED

12-36" BOX  
42-24" BOX

SHRUBS REQUIRED

174-5 GALLON

SHRUBS PROVIDED

342-5 GALLON

SOUTH PROPERTY LINE  
PROPERTY LINE = 923'

TREES REQUIRED

0-36" BOX  
28-24" BOX

TREES PROVIDED

0-36" BOX  
43-24" BOX

SHRUBS REQUIRED

93-5 GALLON

SHRUBS PROVIDED

289-5 GALLON

EAST PROPERTY LINE  
PROPERTY LINE = 2,175'

TREES REQUIRED

0-36" BOX  
66-24" BOX

TREES PROVIDED

0-36" BOX  
102-24" BOX

SHRUBS REQUIRED

218-5 GALLON

SHRUBS PROVIDED

417-5 GALLON

PARKING LOT  
PARKING STALLS = 1,463

TREES REQUIRED (183 TREES)

19-36" BOX  
166-24" BOX

TREES PROVIDED (221 TREES)

40-36" BOX  
181-24" BOX

SHRUBS REQUIRED (549 SHRUBS)

549-5 GALLON

SHRUBS PROVIDED (599 SHRUBS)

599-5 GALLON

LANDSCAPE COVERAGE  
LANDSCAPE AREA = 309,406 SQ.FT.

LIVING COVERAGE REQUIRED (50%)

154,703 SQ.FT.

LIVING COVERAGE PROVIDED (58%)

179,455 SQ.FT.

SIDEWALK SHADING  
SIDEWALK AREA = 26,758 SQ.FT.

SHADING REQUIRED (50%)

13,379 SQ.FT.

SHADING PROVIDED (74.8%)

20,041 SQ.FT.

FOUNDATION BASE CALCULATIONS: RETAIL PORTION

MAJOR A FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	545'-0"	180'	33%	(190') 34.8%
SIDE	474'-0"	119'	25%	(187') 39%

MAJOR B FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	250'-0"	82'-0"	33%	(98') 39%
SIDE	287'-0"	72'-0"	25%	(207') 72%

SHOPS A FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	161'-0"	53'-0"	33%	(55')34%
SIDE	142'-0"	33'-0"	25%	(133')93%

SHOPS C FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	96'-0"	32'-0"	33%	(34')35%
SIDE	92'-0"	23'-0"	25%	(33')36%

SHOPS D FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	96'-0"	32'-0"	33%	(57')59%
SIDE	132'-0"	33'-0"	25%	(81')61%

SHOPS E FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	103' - 0"	34'-0"	33%	(60') 58%
SIDE	N/A	N/A	25%	N/A

SHOPS F FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	125'-0"	41'-0"	33%	(65') 52%
SIDE	120'-0"	30'-0"	25%	(91') 76%

PAD A FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	66'-0"	22'-0"	33%	(23') 34%
SIDE	109'-0"	27'-0"	25%	(108') 99%

PAD B FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	68'-0"	22'-0"	33%	(27') 40%
SIDE	92'-0"	23'-0"	25%	(50') 54%

PAD C FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	82'-0"	27'-0"	33%	(39') 47%
SIDE	120'-0"	30'-0"	25%	(38') 32%

PAD D FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	169'-0"	56'-0"	33%	(57') 34%
SIDE	123'-0"	31'-0"	25%	(47') 38%

PAD E FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	76'-0"	25'-0"	33%	(26') 34%
SIDE	132'-0"	33'-0"	25%	(80') 60%

PAD G FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	75'-0"	25'-0"	33%	(27') 36%
SIDE	113'-0"	28'-0"	25%	(79') 70%

PAD H FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	91'-0"	30'-0"	33%	(33) 36%
SIDE	102'-0"	26'-0"	25%	(54) 53%

PAD J FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	91'-0"	30'-0"	33%	(33) 36%
SIDE	61'-0"	15'-0"	25%	(132) 100%

PAD K FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	61'-0"	20'-0"	33%	(64') 100%
SIDE	83'-0"	21'-0"	25%	(92') 100%

PAD L FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	79'-0"	26'-0"	33%	(27) 34%
SIDE	129'-0"	32'-0"	25%	(95) 74%

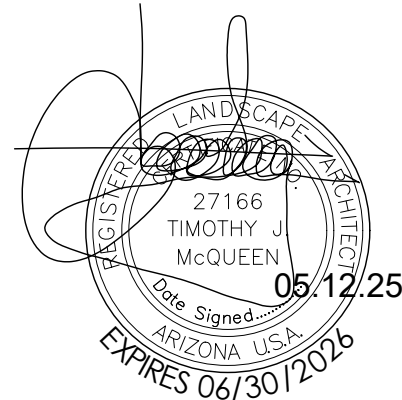
PAD M FOUNDATION BASE				
LOCATION	WALL LENGTH	LANDSCAPE DIST. (REQ)	PERCENT REQUIRED	LANDSCAPE DIST. (PROV)
FRONT	72'-0"	24'-0"	33%	(27) 38%
SIDE	90'-0"	23'-0"	25%	(45) 50%

T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

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EMAIL: timmcqueen@tjmla.net



MEDINA STATION  
SEC OF S. SIGNAL BUTTE AND W. SOUTHERN AVENUE  
MESA, ARIZONA  
DATE: 05.12.25 (PRELIMINARY)

La.04

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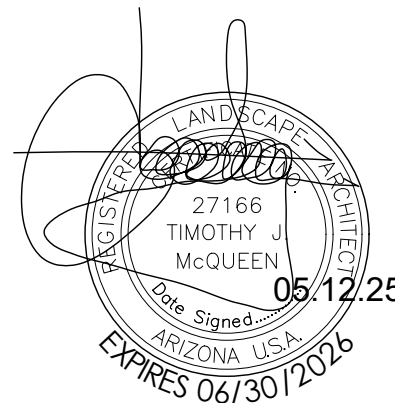


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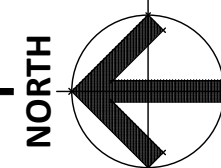
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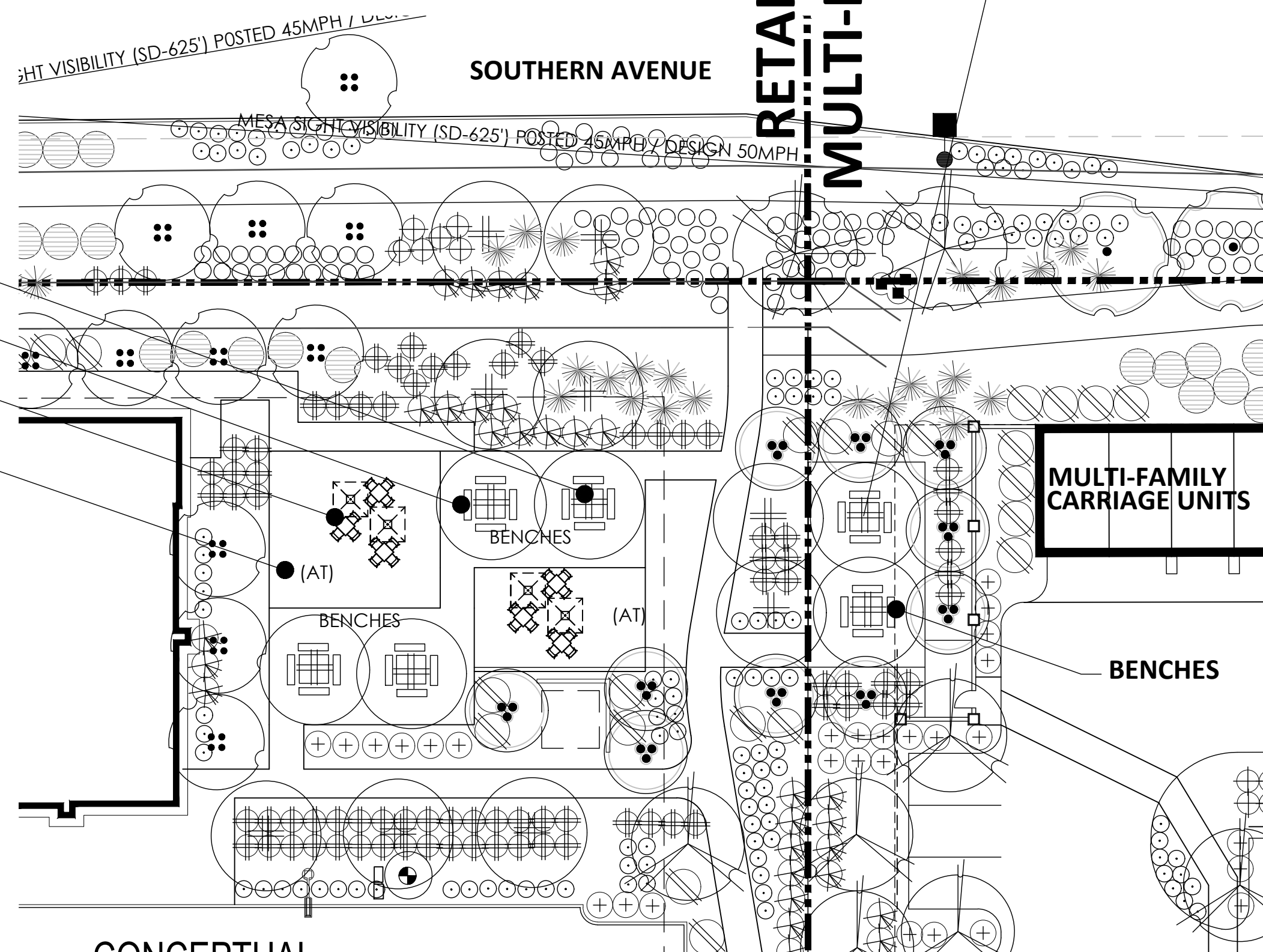
EMAIL: timmcqueen@tjmla.net



CONCEPTUAL  
AMENITY AREA BLOW-UP  
SCALE: 1"=20'-00"



GRADE LEVEL PLANTER  
BENCHES  
PEDESTRIAN GATHERING AREA  
ARTIFICIAL TURF



MEDINA STATION  
SEC OF S. SIGNAL BUTTE AND W. SOUTHERN AVENUE  
MESA, ARIZONA  
DATE: 05.12.25 (PRELIMINARY)

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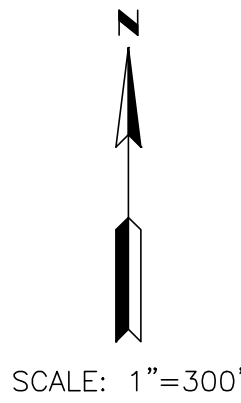
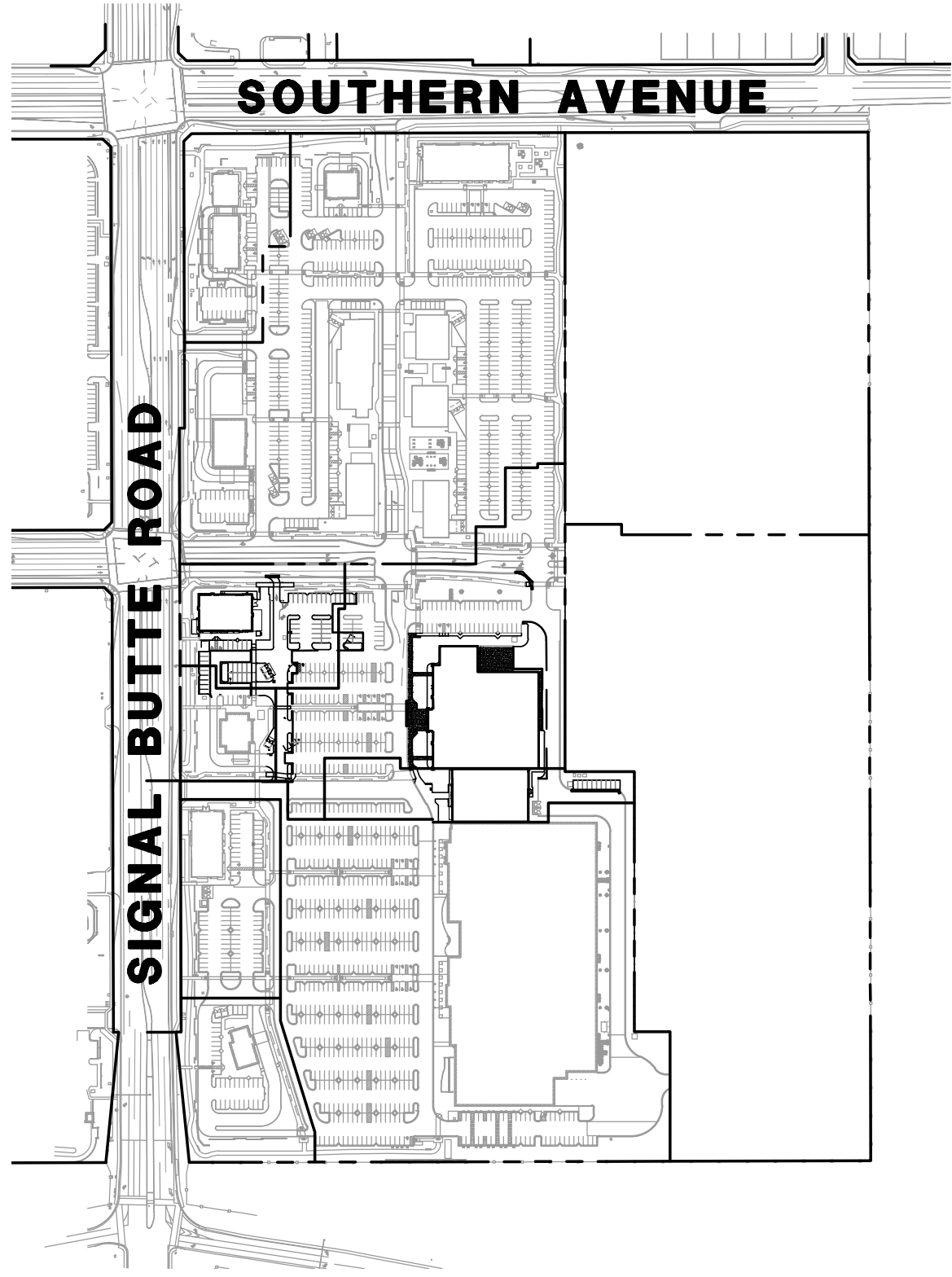
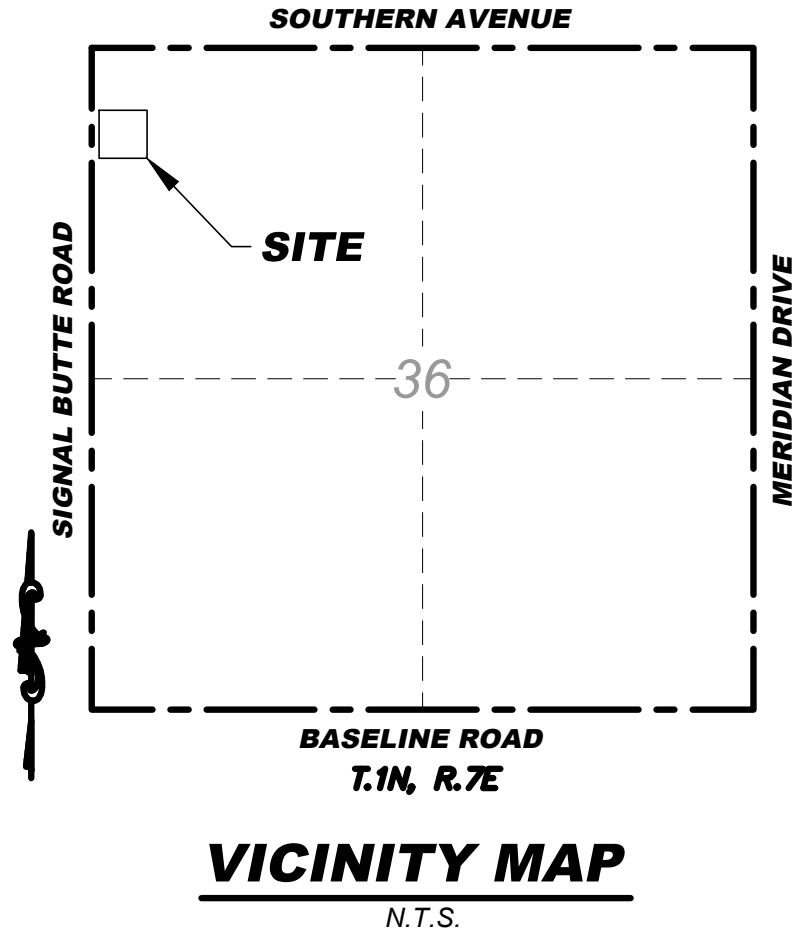
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PRELIMINARY IMPROVEMENT PLAN FOR  
MEDINA STATION

1325 S SIGNAL BUTTE ROAD MESA, ARIZONA  
A PORTION NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 7 EAST OF THE  
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



LEGEND

- EXISTING RIGHT-OF-WAY
- EXISTING PROPERTY LINE
- ROADWAY CENTERLINE
- EXISTING EASEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- NEW CONTOUR
- EXISTING CONCRETE
- EXISTING RIP RAP
- EXISTING WALL
- NEW ASPHALT
- NEW CONCRETE
- NEW WALL
- EXISTING CURB
- EXISTING PAINT STRIPE
- NEW CURB
- NEW PAINT STRIPE
- EXISTING STORM DRAIN PIPE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE SERVICE
- NEW STORM DRAIN PIPE
- NEW SEWER LINE
- NEW WATER LINE
- NEW FIRE SERVICE
- EXISTING SEWER MANHOLE
- EXISTING SEWER CLEANOUT
- EXISTING WATER STUB
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING BACKFLOW PREVENTER
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING SITE LIGHT
- NEW SEWER CLEANOUT
- NEW WATER VALVE
- NEW FIRE CONNECTION
- NEW SITE LIGHT
- SURVEY MONUMENT AS NOTED
- SPOT ELEV. (EXIST. GRADE)
- SPOT ELEV. (NEW GRADE)
- PAVEMENT (ASPHALT)
- CONCRETE
- GUTTER
- TOP OF CURB
- GRADE BREAK
- FINISHED FLOOR ELEVATION
- PUBLIC UTILITY EASEMENT

PROJECT INFORMATION

PROJECT DESCRIPTION:  
THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE PARCEL WITH NEW  
COMMERCIAL BUILDINGS WITHIN THE PAD SITES SET ASIDE AS PART OF THE PHASE 1  
MEDINA STATION CONSTRUCTION PROJECT WITH ALL REQUIRED GRADING & DRAINAGE,  
UTILITY AND PAVING IMPROVEMENTS.

ADDRESS:  
1325 S SIGNAL BUTTE ROAD  
MESA, ARIZONA 85209

APN: 220-82-018G

ZONING: PAD

TOTAL AREA: 1,568,012 SF (35.996 AC)  
DISTURBED AREA: 52,144 SF (1.208 AC)

SURVEY NOTES

- ELEVATION AND HORIZONTAL BOUNDARY CONTROL DATE IS PER THE MEDINA  
STATION IMPROVEMENT PLANS PREPARED BY BOWMAN AND DATED 10-07-2024.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF SIGNAL  
BUTTE ROAD, ALSO BEING THE WEST LINE OF THE NORTHWEST QUARTER OF  
SECTION 36, USING A BEARING OF NORTH 00°09'53" WEST, PER 'MARICOPA  
COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY' BOOK 932 OF MAPS,  
PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE CITY OF MESA NAIL WITH  
BRASS TAG ON THE TOP OF CURB AT THE NORTH ANGLE POINT AT THE  
NORTHEAST CORNER OF SIGNAL BUTTE ROAD AND SOUTHERN AVENUE HAVING AN  
ELEVATION OF 1545.54, NAVD88.

BENCHMARK

THE BENCHMARK USED FOR THIS PROJECT IS THE CITY OF MESA NAIL WITH BRASS  
TAG ON THE TOP OF CURB AT THE NORTH ANGLE POINT AT THE NORTHEAST  
CORNER OF SIGNAL BUTTE ROAD AND SOUTHERN AVENUE HAVING AN ELEVATION OF  
1545.54, NAVD88.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA,  
STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:  
A PORTION OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH,  
RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA  
COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 36, MONUMENTED  
WITH AN ALUMINUM CAP FLUSH STAMPED "L.S. 39325", WHICH BEARS NORTH  
89°52'04" EAST, A DISTANCE OF 2,652.68 FEET FROM THE NORTHWEST CORNER OF  
SAID SECTION 36, MONUMENTED WITH A BRASS CAP IN HANDHOLE;  
THENCE ALONG THE NORTH LINE OF SAID SECTION 36, SOUTH 89°52'04" WEST, A  
DISTANCE OF 1,264.46 FEET TO A POINT ON A LINE, SAID LINE BEING THE  
NORTHERLY PROLONGATION OF THAT LINE REFERENCED AS "NEW R/W 1988" AS  
SHOWN ON THE UNRECORDED RIGHT OF WAY PLANS FOR THE SUPERSTITION  
FREEWAY FILED AS MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION DIN #34476,  
SAID POINT BEING THE POINT OF BEGINNING;  
THENCE ALONG LAST SAID LINE AND SAID "NEW R/W 1988" LINE, SOUTH 00°08'32"  
EAST, A DISTANCE OF 2,038.51 FEET TO A POINT ON A LINE 600.00 FEET NORTH  
OF AND PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID  
SECTION 36, SAID POINT BEING MONUMENTED WITH AN ARIZONA DEPARTMENT OF  
TRANSPORTATION BRASS CAP IN CONCRETE;  
THENCE ALONG SAID PARALLEL LINE, SOUTH 89°52'02" WEST, A DISTANCE OF  
1,307.34 FEET;  
THENCE NORTH 05°53'39" WEST, A DISTANCE OF 251.30 FEET;  
THENCE SOUTH 89°50'07" WEST, A DISTANCE OF 55.00 FEET TO A POINT ON THE  
WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 36;  
THENCE ALONG SAID WEST LINE, NORTH 00°09'53" WEST, A DISTANCE OF 1,788.52  
FEET TO THE SAID NORTHWEST CORNER OF SAID SECTION 36;  
THENCE ALONG THE NORTH LINE OF SAID SECTION 36, NORTH 89°52'04" EAST, A  
DISTANCE OF 1,388.22 FEET TO THE POINT OF BEGINNING.

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE  
RATE MAP PANEL NUMBER 04013C2315L, DATED OCTOBER 16, 2013 THE PARCEL IS  
LOCATED IN THE ZONE X (SHADED) AREA, WHICH IS DEFINED AS AREAS OF 0.2%  
ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE  
DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE  
MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

DRAINAGE STATEMENT

- SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA
- OFFSITE FLOWS DO NOT AFFECT THIS SITE
- RETENTION PROVIDED IS 100-YR, 2-HR VIA AN UNDERGROUND RETENTION  
SYSTEMS INSTALLED FOR MEDINA STATION BY BOWMAN, DATED 01-31-2025.  
SYSTEM DISCHARGES VIA GRAVITY FLOW TO MAIN STORMDRAIN IN SIGNAL BUTTE  
ROAD.
- EXTREME STORM OUTFALLS THE SITE AT THE WEST DRIVEWAY ACCESS TO  
SIGNAL BUTTE ROAD AT THE ELEVATION OF 1540.00.
- FREE FROM INUNDATION FROM THE 100-YR, 2-HR STORM EVENT.

OWNER/DEVELOPER

SIMONCRE UTE, LLC  
6900 E 2ND STREET  
SCOTTSDALE, ARIZONA 85029  
PH: 480-745-1956  
ATTN: ERIC HURLEY

CIVIL ENGINEER

RICK  
2401 WEST PEORIA AVENUE, #130  
PHOENIX, ARIZONA 85029  
PH: 602-957-3350  
ATTN: JEFF HUNT, PE

ARCHITECT

RKAA ARCHITECT  
2233 E. THOMAS ROAD  
PHOENIX, ARIZONA 85016  
PH: 602-995-3900  
ATTN: TYLER CARR

UTILITIES

WATER: CITY OF MESA  
SEWER: CITY OF MESA  
ELECTRIC: SALT RIVER PROJECT  
GAS: SOUTHWEST GAS  
TELEPHONE: CENTURYLINK  
CABLE: COX COMMUNICATIONS

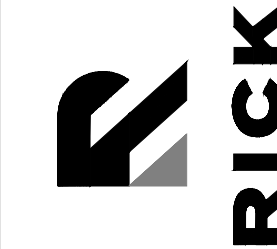
SHEET INDEX

- COVER SHEET
- OVERALL SHEET
4. GRADING & DRAINAGE PLAN
- ONSITE UTILITY PLAN



2401 W PEORIA AVE, SUITE 130  
PHOENIX, AZ 85029

602-957-3350  
rickengineering.com



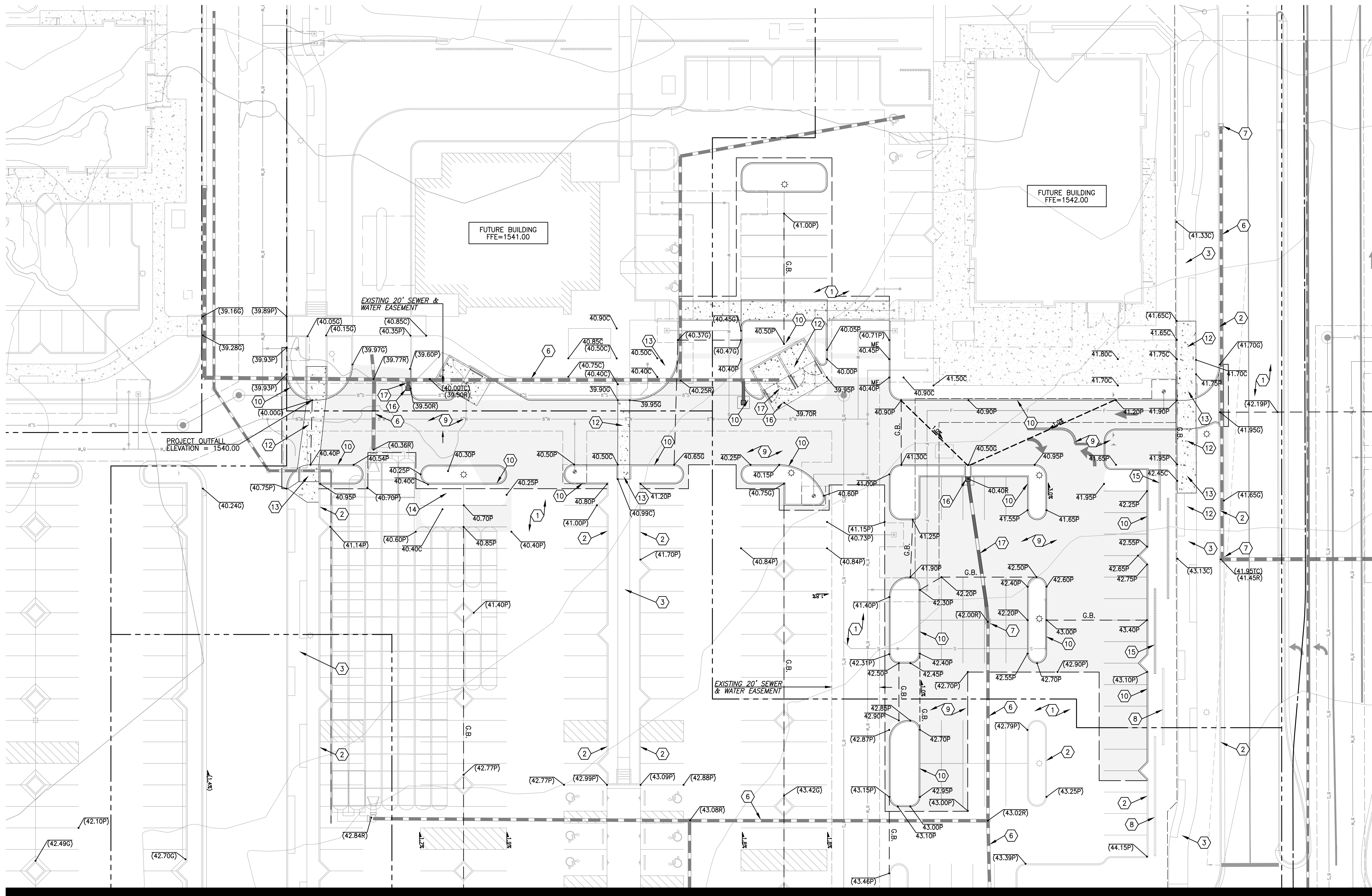
PRELIMINARY IMPROVEMENT PLAN PREPARED FOR:  
MEDINA STATION  
1325 S SIGNAL BUTTE ROAD  
MESA, ARIZONA 85209  
CITY OF MESA

COVER



DRAWING NO.  
C1  
SHEET NO. 1 OF 6

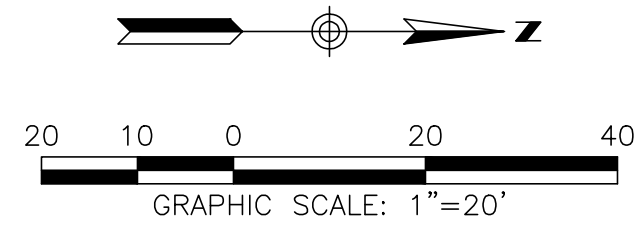




MATCH LINE – SEE SHEET 4

**KEYNOTES**

- |   |   |
|---|---|
| 1 EXISTING ASPHALT TO REMAIN.             | 10 NEW CONCRETE VERTICAL CURB.            |
| 2 EXISTING CURB TO REMAIN.                | 11 NEW CONCRETE VERTICAL CURB AND GUTTER. |
| 3 EXISTING CONCRETE SIDEWALK TO REMAIN.   | 12 NEW CONCRETE SIDEWALK.                 |
| 4 EXISTING DECORATIVE PAVERS TO REMAIN.   | 13 NEW ACCESSIBLE ACCESS RAMP.            |
| 5 EXISTING CURB OPENING TO REMAIN.        | 14 NEW TRASH ENCLOSURE.                   |
| 6 EXISTING STORM DRAIN PIPE TO REMAIN.    | 15 NEW MASONRY SCREEN WALL.               |
| 7 EXISTING STORM DRAIN INLET TO REMAIN.   | 16 NEW STORM DRAIN INLET.                 |
| 8 EXISTING MASONRY SCREEN WALL TO REMAIN. | 17 NEW STORM DRAIN PIPE.                  |
| 9 NEW ASPHALT PAVEMENT.                   | 18 NEW CONCRETE VALLEY GUTTER.            |



PRELIMINARY IMPROVEMENT PLAN PREPARED FOR:

**MEDINA STATION**

1325 S SIGNAL BUTTE ROAD  
MESA, ARIZONA 85209  
CITY OF MESA

**GRADING & DRAINAGE PLAN**



DRAWING NO.  
**GD1**  
SHEET NO. 3 OF 6



**RICK**

602-957-3350  
rickengineering.com

2401 W PEORIA AVE, SUITE 130  
PHOENIX, AZ 85029

SEAL:



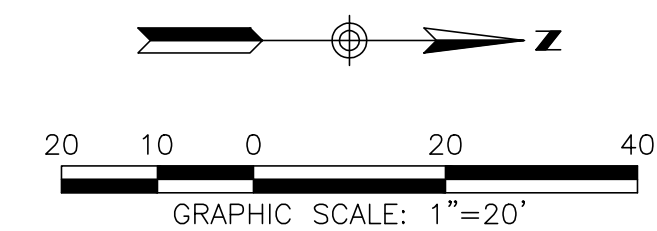
NO.	BY	DATE	REVISION

PROJECT NO: 7328  
DATE: 05/12/2024  
DRAWN/DESIGNED BY: JH  
CHECKED BY: CN



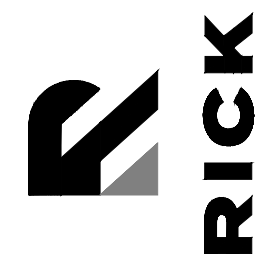
This is a detailed site plan for a proposed building. The plan shows the building's footprint, which is labeled "PROPOSED BUILDING FFE=1545.00". It also indicates the location of a "FUTURE BUILDING FFE=1545.00" and a "NEW LOADING DOCK". The plan includes numerous elevation points, such as (43.88TC), (43.88P), (43.88G), (43.88R), (43.88C), (43.88S), (43.88D), (43.88E), (43.88F), (43.88H), (43.88I), (43.88J), (43.88K), (43.88L), (43.88M), (43.88N), (43.88O), (43.88P), (43.88Q), (43.88R), (43.88S), (43.88T), (43.88U), (43.88V), (43.88W), (43.88X), (43.88Y), (43.88Z), (43.88AA), (43.88AB), (43.88AC), (43.88AD), (43.88AE), (43.88AF), (43.88AG), (43.88AH), (43.88AI), (43.88AJ), (43.88AK), (43.88AL), (43.88AM), (43.88AN), (43.88AO), (43.88AP), (43.88AQ), (43.88AR), (43.88AS), (43.88AT), (43.88AU), (43.88AV), (43.88AW), (43.88AX), (43.88AY), (43.88AZ), (43.88BA), (43.88BB), (43.88BC), (43.88BD), (43.88BE), (43.88BF), (43.88BG), (43.88BH), (43.88BI), (43.88BJ), (43.88BK), (43.88BL), (43.88BM), (43.88BN), (43.88BO), (43.88BP), (43.88BQ), (43.88BR), (43.88BS), (43.88BT), (43.88BU), (43.88BV), (43.88BW), (43.88BX), (43.88BY), (43.88BZ), (43.88CA), (43.88CB), (43.88CC), (43.88CD), (43.88CE), (43.88CF), (43.88CG), (43.88CH), 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1	EXISTING ASPHALT TO REMAIN.	10	NEW CONCRETE VERTICAL CURB.
2	EXISTING CURB TO REMAIN.	11	NEW CONCRETE VERTICAL CURB AND GUTTER
3	EXISTING CONCRETE SIDEWALK TO REMAIN.	12	NEW CONCRETE SIDEWALK.
4	EXISTING DECORATIVE PAVERS TO REMAIN.	13	NEW ACCESSIBLE ACCESS RAMP.
5	EXISTING CURB OPENING TO REMAIN.	14	NEW TRASH ENCLOSURE.
6	EXISTING STORM DRAIN PIPE TO REMAIN.	15	NEW MASONRY SCREEN WALL.
7	EXISTING STORM DRAIN INLET TO REMAIN.	16	NEW STORM DRAIN INLET.
8	EXISTING MASONRY SCREEN WALL TO REMAIN.	17	NEW STORM DRAIN PIPE.
9	NEW ASPHALT PAVEMENT.	18	NEW CONCRETE VALLEY GUTTER.



**2401 W PEORIA AVE, SUITE 130  
PHOENIX, AZ 85029**

**602-957-3350**  
**rickengineering.com**



IMPROVEMENT PLAN PREPARED FOR:  
**MEDINA STATION**  
1325 S SIGNAL BUTTE ROAD  
MESA, ARIZONA 85209  
CITY OF MESA

**GRADING & DRAINAGE PLAN**

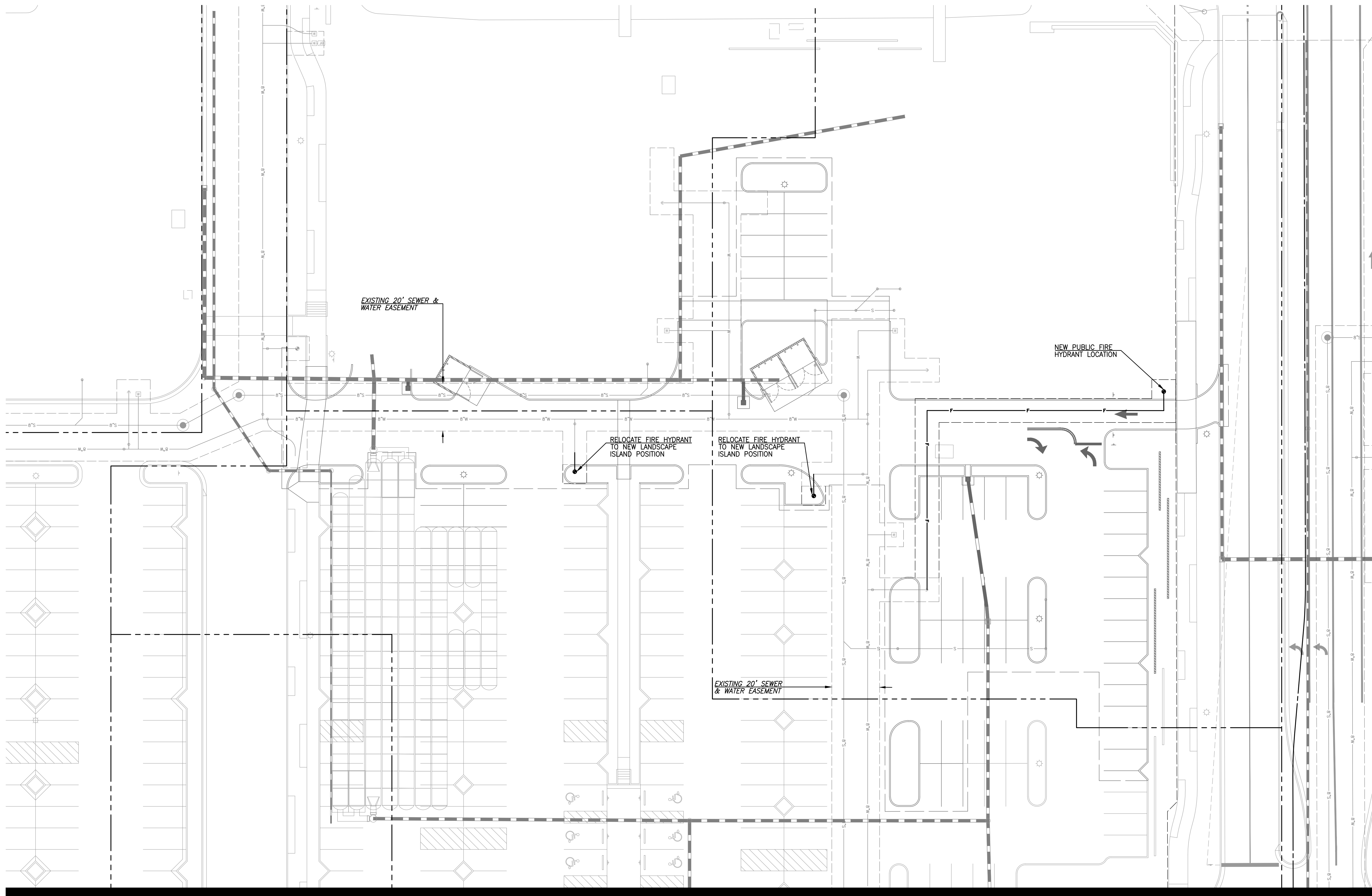
Contact Arizona 811 at least two full working days before you begin excavation



Call 811 or click [Arizona811.com](http://Arizona811.com)

DRAWING NO.  
**GD2**  
SHEET NO. 4 OF 6

**PRELIMINARY NOT FOR CONSTRUCTION OR RECORDING**



MATCH LINE – SEE SHEET 6

**PRIVATE WATER KEYNOTES**

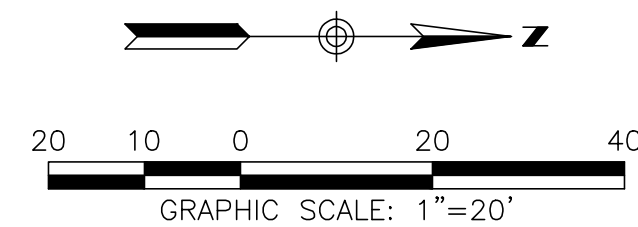
- 1 EXISTING 2" WATER SERVICE. INSTALL NEW 2" METER AND CONNECTION FOR DOMESTIC WATER SERVICE.
- 2 NEW 1-1/2" DOMESTIC WATER LINE.
- 3 NEW DOMESTIC BACKFLOW PREVENTER.

**PRIVATE FIRE LINE KEYNOTES**

- 1 CONNECT TO EXISTING 8" WATER FOR FIRE SERVICE.
- 2 NEW 6" DIP FIRE LINE.
- 3 NEW FDC LOCATION.

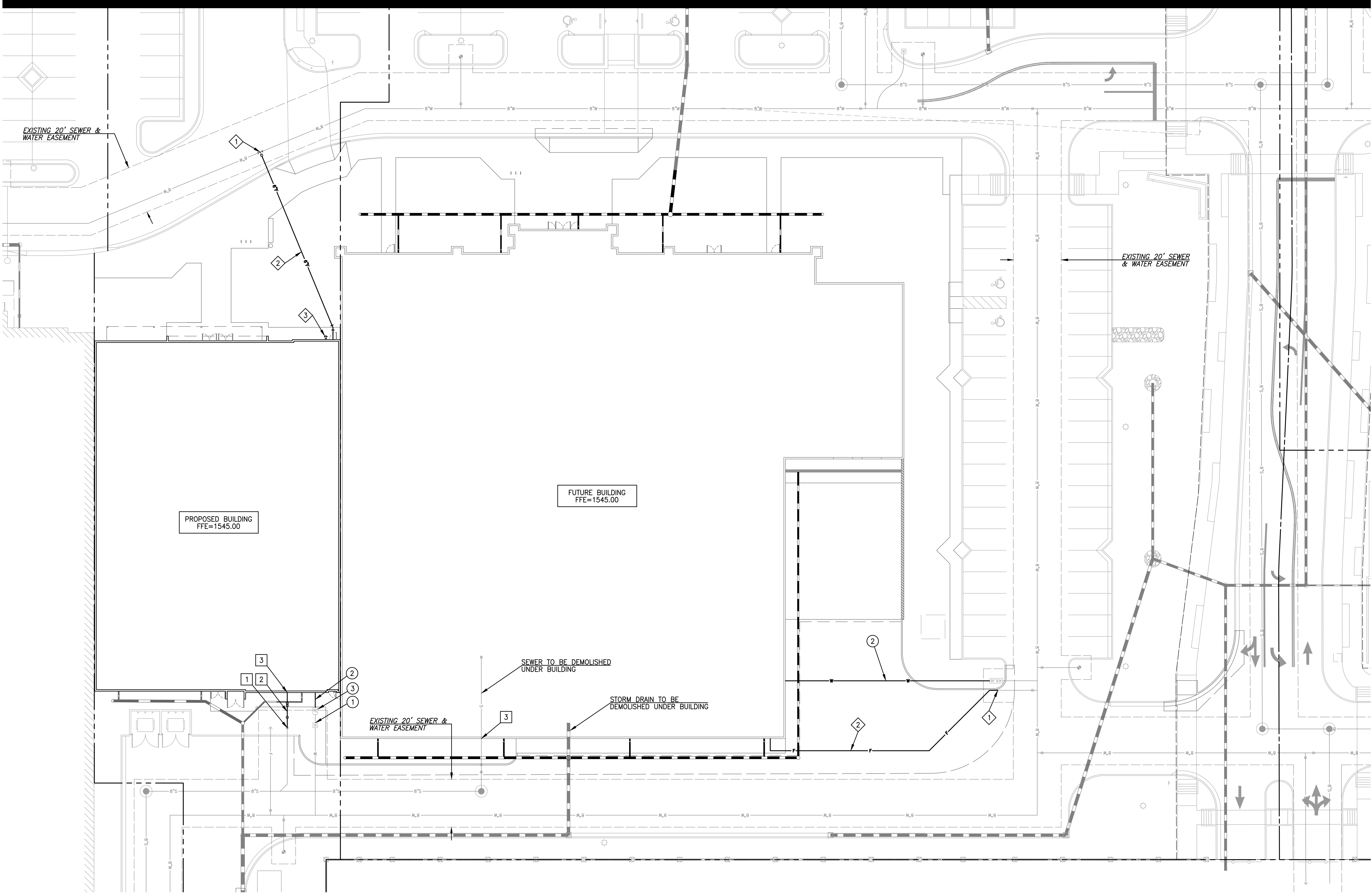
**PRIVATE SEWER KEYNOTES**

- 1 CONNECT TO EXISTING 6" PVC SEWER MAIN.
- 2 NEW 6" PVC SDR-35 SEWER LINE.
- 3 CONNECT TO BUILDING SANITARY SEWER.



PRELIMINARY IMPROVEMENT PLAN PREPARED FOR:		DRAWING NO.	
MEDINA STATION		UT1	
1325 S SIGNAL BUTTE ROAD		SHEET NO. 5 OF 6	
MESA, ARIZONA 85209			
CITY OF MESA			
PROJECT NO:		7328	
DATE:		05/12/2024	
DRAWN/DESIGNED BY:		CN	
CHECKED BY:		JH	
602-957-3350		2401 W PEORIA AVE, SUITE 130	
rickengineering.com		PHOENIX, AZ 85029	
SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO			
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER			
RICK			
REGISTERED PROFESSIONAL ENGINEER			
53640			
JEFFREY P. HUNT			
ARIZONA U.S.A.			
SEAL:			

MATCH LINE – SEE SHEET 5



**PRIVATE WATER KEYNOTES**

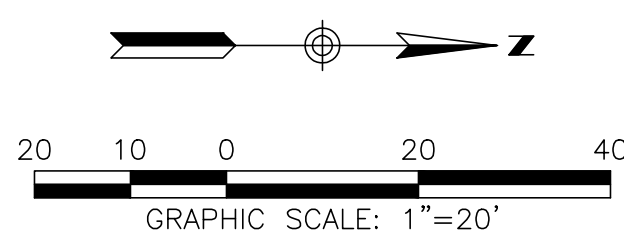
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PRELIMINARY IMPROVEMENT PLAN PREPARED FOR:

**MEDINA STATION**

1325 S SIGNAL BUTTE ROAD  
MESA, ARIZONA 85209  
CITY OF MESA

PROJECT NO: 7328  
DATE: 05/12/2024

DRAWN/DESIGNED BY: JH  
CHECKED BY: CN

602-957-3350  
rickengineering.com

**RICK**

SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO  
SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER

2401 W PEORIA AVE, SUITE 130  
PHOENIX, AZ 85029

53640  
JEFFREY P. HUNT  
REGISTERED PROFESSIONAL ENGINEER  
ARIZONA U.S.A.

ONSITE UTILITY PLAN

UT2

SHEET NO. 6 OF 6



**MEDINA STATION**  
**SEC Southern Avenue & Signal Butte Road**  
**Citizen Participation Plan for the Site Plan Amendment**  
**Case # ZON-00208**

May 12, 2025

**Purpose:** The intent of this plan is to ensure inclusive and transparent communication about our request to amend the approved site plan for the Medina Station development. As directed by the City, the same outreach methods, findings, and feedback used during the previously submitted Citizen Participation Plan for the Medina Station Freeway Monument (Cases ZON-00876 & PMT24-17533) were applied here, as the stakeholders and area of impact are substantially the same.

**Contact:** Those coordinating the Citizen Participation activities are as follows:

Natalya Upshur, Development Associate  
SimonCRE Buddy, LLC  
6900 E. 2nd Street  
Scottsdale, AZ 85251  
Direct: 602.301.6590  
Natalya.upshur@simoncre.com

**Action Plan:** In order to provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to for feedback from surrounding property owners:

1. A neighborhood meeting was held with nearby property owners, residents, and community stakeholders to present the proposed site plan amendment and gather feedback.
2. Notices were sent to all property owners within a 1,000-foot radius of the site, as well as registered neighborhood contacts within a one-mile radius, per City of Mesa outreach requirements. Contact lists were obtained through the City of Mesa Neighborhood Outreach Division.
3. Attendees were encouraged to provide contact information to continue dialogue and receive updates about the project.
4. A presentation was delivered at the neighborhood meeting explaining the amendment in detail and its relationship to the broader development vision for Medina Station.

**Schedule:**

Pre-Application Submittal: January 30, 2025

First Official Submittal: March 13, 2025

Submittal of Citizen Participation Report and Notification Materials: May 12, 2025

Planning and Zoning Board Hearing: May 28, 2025

**MEDINA STATION**  
**SEC Southern Avenue & Signal Butte Road**  
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**Case # ZON-00208**

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Planning and Zoning Board Hearing: May 28, 2025



Dear Neighbor,

We have applied for the Site Plan Amendment for the property located at 1361 S Signal Butte Rd, Mesa, AZ 85209. This request is for development of Medina Station. The case number assigned to this project is ZON25-00208.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at (480)-745-2631 or e-mail me at brett.budde@simoncre.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on May 28th, 2025 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Cassidy Welch of their Planning Division staff. She can be reached at 480-644-2591 or (Cassidy.welch@mesaaz.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

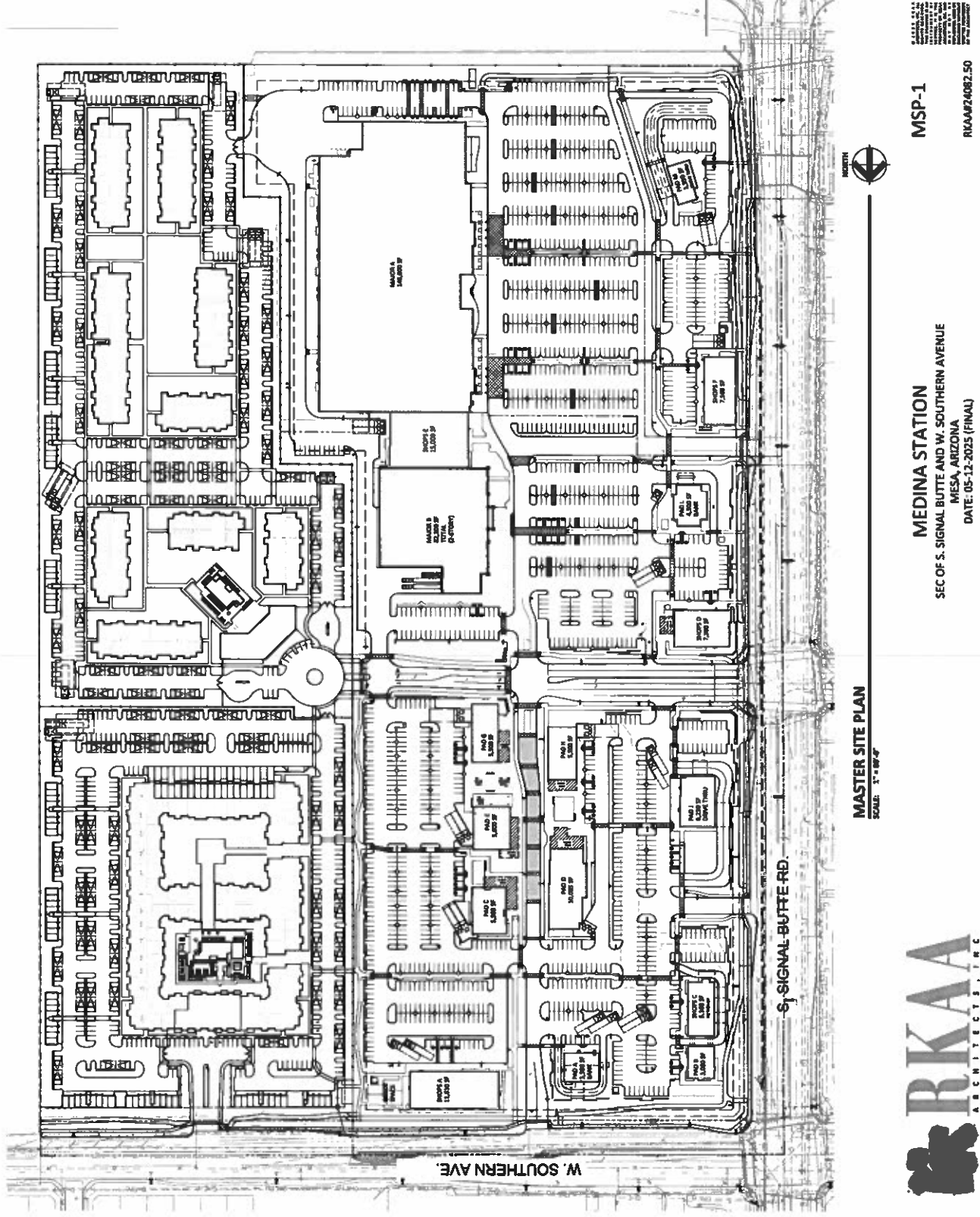
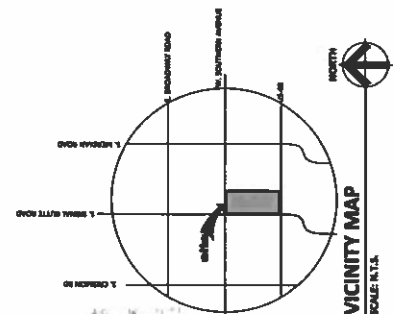
Sincerely,

Brett Budde  
Development Associate  
SimonCRE  
(480)-745-2631  
Brett.budde@simoncre.com



# SITE DATA

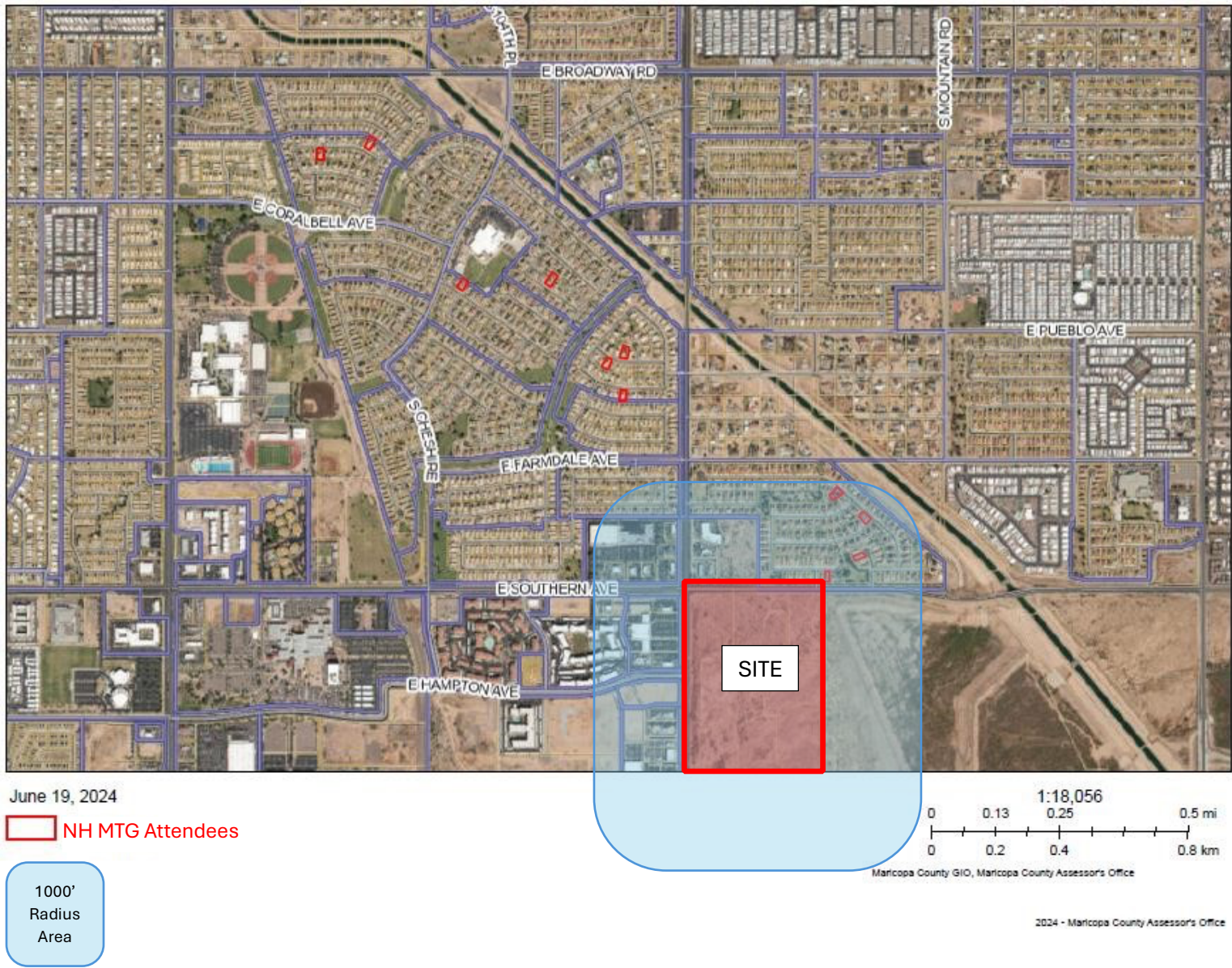
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Medina Station December 5, 2024 Neighborhood Meeting Attendee Location Map

NH MTG Attendee Location Map



MAUPIN LI' 10025 E FENIMORE RD MESA AZ USA 85207  
RIGGS RUS' 1012 S GRENOBLE MESA AZ USA 85209  
RICHEY RO' 1018 S GRENOBLE MESA AZ USA 85208  
MILLS JUST 1029 S DEL RANCHO MESA AZ USA 85208  
BALOGH BE' 1035 S DEL RANCHO MESA AZ USA 85208  
AARON MC 1039 S GRENOBLE MESA AZ USA 85208  
JOHNSON I' 1041 S DEL RANCHO MESA AZ USA 85208  
ROSS CON' 1045 S GRENOBLE MESA AZ USA 85208  
WIRTZ RAC 1051 S GRENOBLE MESA AZ USA 85208  
VALENCIA ' 1054 E BENBOW ST COVINA CA USA 91724  
MITCHELL J 1057 S GRENOBLE DR MESA AZ USA 85212  
LORENZO F 1058 S 109TH PL MESA AZ USA 85208  
MENDOZA 1063 S GRENOBLE MESA AZ USA 85208  
THOMPSON 1064 S 109TH PL MESA AZ USA 85208  
OSTERMAN 10713 E FLORIAN AVE MESA AZ USA 85208  
ARCHIE AN 10719 E FLORIAN AVE MESA AZ USA 85208  
CASILLAS R 10725 E FLORIAN AVE MESA AZ USA 85208  
EDENFIELD 10731 E FLORIAN AVE MESA AZ USA 85208  
SCHWIEKAI 10737 E FLORIAN AVE MESA AZ USA 85208  
KAMP TRA' 10743 E FLORIAN AVE MESA AZ USA 85208  
CHILDS DIA 10744 E FLORIAN AVE MESA AZ USA 85208  
WEYENBER 10749 E FLORIAN AVE MESA AZ USA 85208  
NICKERSON 10805 E FLORIAN AVE MESA AZ USA 85208  
BRUTON W 10813 E FLORIAN AVE MESA AZ USA 85208  
BURRAGE F 10819 E FLORIAN AVE MESA AZ USA 85208  
ESTRIDGE E 10822 E FLORIAN AVE MESA AZ USA 85208  
D & T HOLT 10826 E RENATA CIR MESA AZ USA 85212  
REZA ELIEZ 10827 E FLORIAN AVE MESA AZ USA 85208  
ALVARADO 10828 E FLORIAN AVE MESA AZ USA 85208  
GRITZ TRA' 10833 E FLORIAN AVE MESA AZ USA 85208  
ROSS WILLI 10834 E FLORIAN AVE MESA AZ USA 85208  
PAUL JANE' 10841 E FLORIAN AVE MESA AZ USA 85208  
YOUKHAN# 10842 E FLORIAN AVE MESA AZ USA 85208  
ALLEN JOSE 10847 E FLORIAN AVE MESA AZ USA 85208  
DOUSETTE 10848 E FLORIAN AVE MESA AZ USA 85208  
BRADBURN 10853 E FLORIAN AVE MESA AZ USA 85208  
SKIDMORE 10856 E FLORIAN AVE MESA AZ USA 85208  
MICHAELS . 10864 E FLORIAN AVE MESA AZ USA 85208  
MARTINEZ 10865 E FLOVIAN AVE MESA AZ USA 85208  
THACH HEI 10918 E FLORIAN AVE MESA AZ USA 85208  
LIHOU-KEL' 10923 E FLOWER AVE MESA AZ USA 85208  
RICE FAMIL 10924 E FLOWER AVE MESA AZ USA 85208  
SANCHEZ JI 10925 E FLORIAN AVE MESA AZ USA 85208  
COLON LUI 10926 E FLORIAN AVE MESA AZ USA 85208  
LOCASCIO J 10931 E FLOSSMOOR AVE MESA AZ USA 85208  
BROWN KII 10931 E FLOWER AVE MESA AZ USA 85208  
JENSEN KRI 10932 E FLOSSMOOR AVE MESA AZ USA 85208



JONAS DAV 10932 E FLOWER AVE MESA AZ USA 85208  
GROCKE M 10933 E FLORIAN AVE MESA AZ USA 85208  
REGNELL JE 10934 E FLORIAN AVE MESA AZ USA 85208  
CASSMAN I 10937 E FLOSSMOOR AVE MESA AZ USA 85208  
LAULETTA I 10939 E FLOWER AVE MESA AZ USA 85208  
HOFFMAN I 10941 E FLORIAN AVE MESA AZ USA 85208  
RIGGS DAV 10942 E FLORIAN AVE MESA AZ USA 85208  
JENKINS VA 10944 E FLOSSMOOR AVE MESA AZ USA 85220  
SHAREEF S 10947 E FLOWER MESA AZ USA 85208  
TALTENO V 10948 E FLOWER AVE MESA AZ USA 85208  
LEATHER JA 10949 E FLOSSMOOR AVE MESA AZ USA 85208  
ABDEH SAN 10950 E FLORIAN AVE MESA AZ USA 85208  
PETILLO LA 10950 E FLOSSMOOR AVE MESA AZ USA 85208  
SALMON JC 10956 E FLOSSMOOR AVE MESA AZ USA 85208  
WHEELER M 10956 E FLOWER AVE MESA AZ USA 85208  
HANSEN ST 10957 E FLORIAN AVE MESA AZ USA 85208  
MATHER JC 10958 E FLORIAN AVE MESA AZ USA 85208  
SOLIS CECIL 10961 E FLOSSMOOR AVE MESA AZ USA 85208  
MAU DAVI 10962 E FLOSSMOOR AVE MESA AZ USA 85208  
KELLEY PAT 10963 E FLOWER ST MESA AZ USA 85208  
DEL ROSAR 10964 E FLOWER AVE MESA AZ USA 85208  
BLAIR JON 10965 E FLORIAN AVE MESA AZ USA 85208  
HERNANDE 10966 E FLORIAN AVE MESA AZ USA 85208  
1502 SIGN 10971 COVENTRY PL NORTH TUSTIN CA USA 92705  
ROSS JOHN 11002 E FLOSSMOR MESA AZ USA 85208  
RUBALCAV. 11003 E FLOWER AVE MESA AZ USA 85208  
SARNICKI D 11004 E FLOWER AVE MESA AZ USA 85208  
MORENO R 11005 E FLORIAN AVE MESA AZ USA 85208  
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XAYSALEUM 11008 E FLOSSMOOR CIR MESA AZ USA 85208  
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KELLY LIVIN 11020 E FLOWER AVE MESA AZ USA 85208  
PHILLIPS JA 11023 E FLORIAN AVE MESA AZ USA 85208  
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ZARATE JAV 11027 E FLOWER AVE MESA AZ USA 85208  
TODD DAVI 11028 E FLOWER AVE MESA AZ USA 85208  
RYAN JOHN 11029 E FLORIAN AVE MESA AZ USA 85208  
NANNI WIL 11030 E FLORIAN AVE MESA AZ USA 85210  
ZARAGOZA 11033 E FLOWER AVE MESA AZ USA 85208  
ROBERTS T. 11035 E FLORIAN AVE MESA AZ USA 85208  
CLARKSON 11036 E FLOWER AVE MESA AZ USA 85208  
BIDDLE DO 11038 E FLORIAN AVE MESA AZ USA 85208  
CHARLES H 1104 S 109TH PL MESA AZ USA 85208  
COOPER LL 11041 E FLORIAN AVE MESA AZ USA 85208

GRACE AAF 11044 E FLOWER AVE MESA AZ USA 85208  
MICHELETT 11045 E FLOWER AVE MESA AZ USA 85208  
HULL RICH/ 1105 S GRENOBLE ST MESA AZ USA 85208  
PEW HAYD 11052 E FLOWER AVE MESA AZ USA 85208  
ATHERSTOI 11057 E FLOWER AVE MESA AZ USA 85208  
JAMES M C 11060 E FLOWER AVE MESA AZ USA 85208  
KOWALSKI 11063 E FLOWER AVE MESA AZ USA 85208  
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DELEON SY 11105 E FLOSSMOOR AVE MESA AZ USA 85220  
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KINDLE SCC 11123 E FLOSSMOOR AVE MESA AZ USA 85208  
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GOODRICH 11162 E FLOSSMOOR CIR MESA AZ USA 85208  
SUPERSTITI 11167 E JIMSON LOCO LN SCOTTSDALE AZ USA 85262  
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ADAMS M/ 1122 S 109TH PL MESA AZ USA 85208  
SHEPHARD 1123 S GRENOBLE MESA AZ USA 85208  
ANGEL CAS 1127 S 111TH CIR MESA AZ USA 85208  
AGUAYO M 1128 S 111TH CIR MESA AZ USA 85208  
TORRES M/ 1129 S GRENOBLE MESA AZ USA 85208  
NIICHEL LIV 1135 S GRENOBLE MESA AZ USA 852087520  
KULAK JENI 1136 S 111TH CIR MESA AZ USA 85208  
WALLACE K 1138 S GRENOBLE MESA AZ USA 85208  
PAZ DON/L 1139 S 111TH CIR MESA AZ USA 85208  
DELPRETE I 1141 S GRENOBLE MESA AZ USA 85208  
CALEN JEB 1146 S GRENOBLE MESA AZ USA 85208  
SIMMONS . 1147 S GRENOBLE ST MESA AZ USA 85208  
BARRON S/ 1150 S 111TH CIR MESA AZ USA 85220  
ELLSWORTI 1155 S POWER RD MESA AZ USA 85206  
ELLSWORTI 1155 S POWER RD MESA AZ USA 85206  
MG INVEST 12017 N 62ND PL SCOTTSDALE AZ USA 85254  
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MG INVEST 12017 N 62ND PL SCOTTSDALE AZ USA 85254  
MG INVEST 12017 N 62ND PL SCOTTSDALE AZ USA 85254  
ANTHONY , 12220 FORSYTHE DR AUSTIN TX USA 78759  
LUMINA M 1224 S SIGNAL BUTTE RD MESA AZ USA 85209  
WAL-MART 1301 SE 10TH ST BENTONVILLE AR USA 72716  
PORCHIA A 1336 VILLAGE GREEN DR JEFFERSON HILLS PA USA 15025  
VIP FUND I 1380 LEAD HILL BLVD STE 260 ROSEVILLE CA USA 95661

CHEUNG M 14236 W BANFF LN SURPRISE AZ USA 85379  
RUSSON BF 1457 OLD PHILADELPHIA RD ABERDEEN MD USA 21001  
PEAK SOUT 14841 N DALLAS PKWY STE 735 DALLAS TX USA 75254  
SPHINX RE/ 15 W 6TH ST STE 2400 TULSA OK USA 74119-5417  
BELA FLOR 1635 N GREENFIELD RD STE 115 MESA AZ USA 85205  
BELA FLOR 1635 N GREENFIELD RD STE 115 MESA AZ USA 85205  
BELA FLOR 1635 N GREENFIELD RD STE 115 MESA AZ USA 85205  
BELA FLOR 1635 N GREENFIELD RD STE 115 MESA AZ USA 85205  
SIGNAL BU 1635 N GREENFIELD RD STE 115 MESA AZ USA 85205-4010  
2018-2 IH E 1717 MAIN ST 2000 DALLAS TX USA 75201  
EQUITY TRI 1740 N ACACIA MESA AZ USA 85213  
MEADE FAI 1801 E LEXINGTON AVE GILBERT AZ USA 85234  
SPHINX RE/ 19230 FLINT ST SPRING HILL KS USA 66083  
SPHINX RE/ 19230 FLINT ST SPRING HILL KS USA 66083  
PAPA LOCA 2152 S VINEYARD 116 MESA AZ USA 85210  
DAVIS GEO 224 E SPUR AVE GILBERT AZ USA 85296  
ARP 2014-123975 PARK SORRENTO 300 CALABASAS CA USA 91302  
AMH 2014- 23975 PARK SORRENTO STE 300 CALABASAS CA USA 91302  
AMH 2014 23975 PARK SORRENTO STE 300 CALABASAS CA USA 91302  
SIGNAL BU 2415 E CAMELBACK RD 900 PHOENIX AZ USA 85016  
ELLSWORTI 2424 RIDGE RD ROCKWALL TX USA 75087  
SOUTH NA 2432 E MADRID AVE SPRINGFIELD MO USA 65804  
CASA DE JJI 2465 S FINCH ST CHANDLER AZ USA 85248  
DRH ENERC 301 COMMERCE ST 500 FORT WORTH TX USA 76102  
ALASKA US 4000 CREDIT UNION DR ANCHORAGE AK USA 99503  
ANTHEM I/ 4000 MACARTHUR BLVD STE 600 NEWPORT BEACH CA USA 92660  
KEIL SONOI 4131 N 36TH ST PHOENIX AZ USA 85018  
BTR SCATTI 5001 PLAZA ON THE LK STE 200 AUSTIN TX USA 78746  
ICM SFR LP 58 S RIVER DR STE 150 TEMPE AZ USA 85288  
STAR 2022- 591 W PUTNAM AVE GREENWICH CT USA 06830  
ARIZONA R 633 E RAY RD 122 GILBERT AZ USA 85296  
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PARKWOOI 633 E RAY RD STE 122 GILBERT AZ USA 85296  
GRENOBLE 677 E SUN VALLEY FARMS LN SAN TAN VALLEY AZ USA 85140  
MYP MESA 6900 E CAMELBACK RD 902 SCOTTSDALE AZ USA 85251

HEINLE FAI 7136 E PERALTA CIR MESA AZ USA 85212  
RS XII PHOI 717 N HARWOOD ST STE 2800 DALLAS TX USA 75201  
THE ONE A 7979 E PRINCESS DR STE 17 SCOTTSDALE AZ USA 85255  
SSH EH HO 8400 E CRESCENT PKWY STE 160 GREENWOOD VILLAGE CO USA 80111  
FLOSSMOC 8448 E TETON CIR MESA AZ USA 85207  
2018-1 1H 8665 E HARTFORD DR STE 200 SCOTTSDALE AZ USA 85255  
SIGNAL BU 901 WABASH AVE STE 300 TERRE HAUTE IN USA 47807  
GIANG NG 9436 E JACOB AVE MESA AZ USA 85209  
MORAN RE 959 E PARK AVE GILBERT AZ USA 85234  
CONNIE L S DEL MAR CA USA 92014  
CLEAVES H KESHENA WI USA 54135  
SWFC SOU PO BOX 19 WATERVILLE VALLEY NH USA 03215  
STROMSTA PO BOX 2276 OCEAN SHORES WA USA 98569  
KPCP LLC PO BOX 27647 SCOTTSDALE AZ USA 85255  
OLYMPUS I PO BOX 4090 SCOTTSDALE AZ USA 85261  
PROGRESS PO BOX 4090 SCOTTSDALE AZ USA 85261  
PROGRESS PO BOX 4090 SCOTTSDALE AZ USA 85261  
PROGRESS PO BOX 4090 SCOTTSDALE AZ USA 85261  
WARREN N PO BOX 51028 MESA AZ USA 85208  
CIRCLE K ST PO BOX 52085 PHOENIX AZ USA 850722085  
AMERICA F PO BOX 9199 OGDEN UT USA 84409

**MEDINA STATION**  
**SEC Southern Avenue & Signal Butte Road**  
**Citizen Participation Plan for the Freeway Monument Landmark**  
**Case # ZON-00876 & PMT24-17533**

December 10, 2024

**Purpose:** The purpose of this Citizen Participation Plan is to provide City of Mesa staff with the information regarding the efforts made by the Application to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa for Medina Station - Case Numbers ZON-00876 & PMT24-17533. By providing opportunities for citizen participation, the applicant ensured that those affected by this application will have an adequate opportunity to learn about and comment on the proposed monument sign.

**Contact:** Those coordinating the Citizen Participation activities are as follows:

Natalya Upshur, Development Associate  
SimonCRE Buddy, LLC  
6900 E. 2nd Street  
Scottsdale, AZ 85251  
Direct: 602.301.6590  
Natalya.upshur@simoncre.com

James Rogers, Account Executive  
Davis Signs & Graphics  
3640 E. Washington St.  
Phoenix, AZ 85034  
Office: 480-945-0196  
Cell: 602-582-3450  
james@davis-signs.com

**Action Plan:** In order to provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to for feedback from surrounding property owners:

1. One neighborhood meeting held with property owners, citizens and interested parties to discuss the proposed project. The notification list for the neighborhood meeting included: 1) all property owners within 1000' of the subject property. Additionally, registered neighborhood contracts within 1-mile of the property were also notified (the registered neighborhood contacts list were obtained from the City of Mesa Neighborhood Outreach Division).
2. An email distribution list was collected at the neighborhood meeting in an effort to have continued dialogue with those in attendance at the meeting concerning changes, if any, to the proposed project.
3. Presentation was made to attendees in order to provide further clarification on the Freeway Monument Landmark and it's purpose in relation to the development.

**Schedule:**

Application Submittal - 10/12/2024

First neighborhood meeting - 12/05/2024

Submittal of Citizen Participation Report and Notification materials - 12/10/2024

Planning and Zoning Board Hearing - 12/10/2024

# Medina Station Freeway Monument Landmark

## Neighborhood Meeting Summary

PMT24-17533 & DRB24-01010

**December 5, 2024 at 6:00 pm**

**Residence Inn – Lost Dutchman/ Meeting Room  
10243 E Hampton Ave, Mesa, AZ 85209**

**Facilitators:** Eric Hurley - SimonCRE Project Manager, Kyle Duane - SimonCRE Sr. Development Associate, Natalya Upshur - SimonCRE Development Associate, James Rogers - Davis Signs & Graphics Project Manager

**Attendees:** 2 Community members, Rina Grocke & Jaden Lara

The meeting began around 6:05pm with Eric Hurley making the introduction of development team members in attendance. Approximately 2 neighbors attended with a sign-in sheet being provided for neighbors and attached to this summary.

Eric Hurley used a PowerPoint presentation to explain the site location and general plan designation, overall master plan, pedestrian & vehicular circulation plans, the zoning schedule and opportunity to participate in the public process. Specific information about different elements of the mixed-use project and the proposed plans were then present. The meeting had an open question and answer format addressing neighbor comments throughout the meeting.

A simplified summary of key discussion points from the meeting as follows:

### 1. Overview of the Project:

- The Freeway Monument Landmark (FML) will serve as a key feature for the Medina Development near US-60 in Mesa, AZ.
- SimonCRE's experience in similar projects, including Prasada's restaurant row, was highlighted.
- Development aims to be lively, walkable, and filled with unique amenities like art installations, murals, and live music.

### 2. Development Details:

- Location involves previously state-owned land, purchased in 2021, pending annexation into Mesa.
- Roadway improvements will accompany site development.
- Multifamily and retail elements will include shaded jogging trails and outdoor seating areas designed for comfort during summers.

3. **Freeway Monument Landmark (FML) Design:**
  - The proposed sign will be 47 feet tall, meeting Mesa's standards, and prominently placed along US-60.
  - Renderings were shared to showcase the design, emphasizing artistic features.
4. **Tenant and Retailer Plans:**
  - Notable retailers like Target have committed to the site. Other potential tenants include restaurants like Cooper's Hawk, Cold Beers & Cheeseburgers, and O.H.S.O. Brewery.
  - Plans include outdoor patios, sitting areas with games, and vibrant retail experiences to attract high-end tenants and customers.
5. **Timeline and Next Steps:**
  - The project is in the PAD (Planned Area Development) review phase with the City of Mesa.
  - Pending approval, construction is planned to begin ASAP, with a projected Q3 2025 completion and a Target opening in July 2026.
6. **Traffic and Infrastructure Improvements:**
  - Road expansions will include three lanes on both the north and south sides near Signal Butte Road.
  - Additional traffic signals and restriping are planned for better traffic flow.
7. **Art and Aesthetic Enhancements:**
  - Art installations, murals, and benches will make the site a destination.
  - Signage will maintain uniformity in design, avoiding bright corporate logos to align with Mesa's artistic vision.

Below is a summary of the comments and questions expressed at the neighborhood meeting with consolidated answers provided by the representatives:

## **Q&A Session**

### **Q: Are the leases finalized for tenants?**

- **Eric:** Several are close to being signed. Target is confirmed, ensuring strict design standards for the site.

### **Q: Will there be a splash pad area?**

- **Eric:** No splash pad, but there will be an outdoor seating area with games to create a welcoming atmosphere.

### **Q: What is the estimated timeline for the project?**

- **Eric:** Horizontal construction is anticipated to begin in early 2025, following PAD approval and a 30-day waiting period. Target plans to open in July 2026.

**Q: Will the development include additional lanes and traffic signals?**

- **Eric:** Yes, road expansions and additional signals are part of the infrastructure plan, with adjustments required by the City of Mesa.

**Q: Will the sign be visible from a distance?**

- **Kyle:** The sign is designed to be visible along the US-60 but will adhere to height standards set by the City of Mesa.

**Q: How many residential complexes will there be?**

- **Eric:** Two high-end residential complexes with amenities like indoor pickleball courts and work-from-home-friendly spaces.

**Q: What kind of art installations can we expect?**

- **James:** Expect murals and artistic features in line with other successful Mesa developments, such as Gallery Park.

**Q: What additional tenants are being considered?**

- **Eric:** Discussions include tenants, major retailers and other popular restaurants, but details depend on finalized leases.

**Q: How can we stay updated on the project?**

- **Eric:** Reach out to me or Natalya, and check with the City of Mesa for public updates once designs and leases are finalized.

The meeting concluded around 6:35pm with a focus on the development's artistic and community-friendly vision, ensuring that residents and visitors alike will have a unique, vibrant experience. Additional questions were encouraged to be sent via email for further clarification.



# Neighborhood Meeting Sign-In Sheet

**Applicant:**  
Simon CRE, Davis Signs & Graphics

**Property Location:**  
Medina Station: SEC Southern and Signal Butte Road

**Date:**  
December 5<sup>th</sup>, 2024

**Meeting Location:**  
Residence Inn – Lost Dutchman/ Meeting Room  
10243 E. Hampton Ave  
Mesa, AZ 85209

**Time:**  
6:00pm

**Case:**  
PMT24-17533

#	NAME	ADDRESS	ZIP	EMAIL	PHONE
1	Rina Grocke	10923 E Floman Ave	85208	grocke34@gmail	628-332-8847
2	Jaden Lara			jadenlara@icloud	425 919 4052
3					
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# Medina Station

Freeway Monument Landmark Neighborhood Meeting

December 2024





DEVELOPER

**SIMON**CRE

Eric Hurley, Project Manager  
Kyle Duane, Sr. Development Associate  
Natalya Upshur, Development Associate



CONSULTANT



James Rogers, Project Manager





## RETAIL DEVELOPMENT

# WE ARE **SIMON**CRE

⇒ A FULL-SERVICE COMMERCIAL REAL ESTATE DEVELOPMENT AND ACQUISITION COMPANY BASED IN SCOTTSDALE, AZ.







# ⇒ VISION

To create a lasting impact for our team, clients, and the communities we serve through responsible development.

# ⇒ MISSION

We deliver superior developments on time and under budget, while holding ourselves to the highest standards. We embody an entrepreneurial spirit in creating real estate solutions that are innovative, flexible, and effective, while building lasting relationships along the way.

AT OUR CORE



**BE FIRST.**  
BE FAST. PERSIST.



**DO MORE.**  
BE MORE.



**BE DIRECT.**  
SHOW RESPECT.



**BE FLEXIBLE.**  
EMBRACE CHANGE.



**BE INSPIRED.**  
BE PROUD.



**SAY IT.**  
OWN IT.



**DREAM UP.**  
TEAM UP.



**BE HELPFUL.**  
BUILD TRUST.



# MAJOR RETAILERS & NATIONAL CLIENTS



NORDSTROM  
rack



BREWERY + DISTILLERY



BLUE  
Sushi Sake Grill



High Tide  
SEAFOOD BAR & GRILL



Lou Malnati's  
PIZZERIA



COOPER'S HAWK  
WINERY & RESTAURANTS



BARRIO QUEEN  
COMIDA A TODA MADRE



Portillo's  
HOT DOGS · BEEF · BURGERS · SALADS



SHAKE SHACK



SPROUTS  
FARMERS MARKET



HomeGoods



HOBBY  
LOBBY



TJ·maxx



FIREBIRDS  
WOOD FIRED GRILL



DICK'S  
SPORTING GOODS



Total Wine  
SPIRITS · BEER & MORE



Marshalls



MOD



OSTERIA  
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TO NAME A FEW

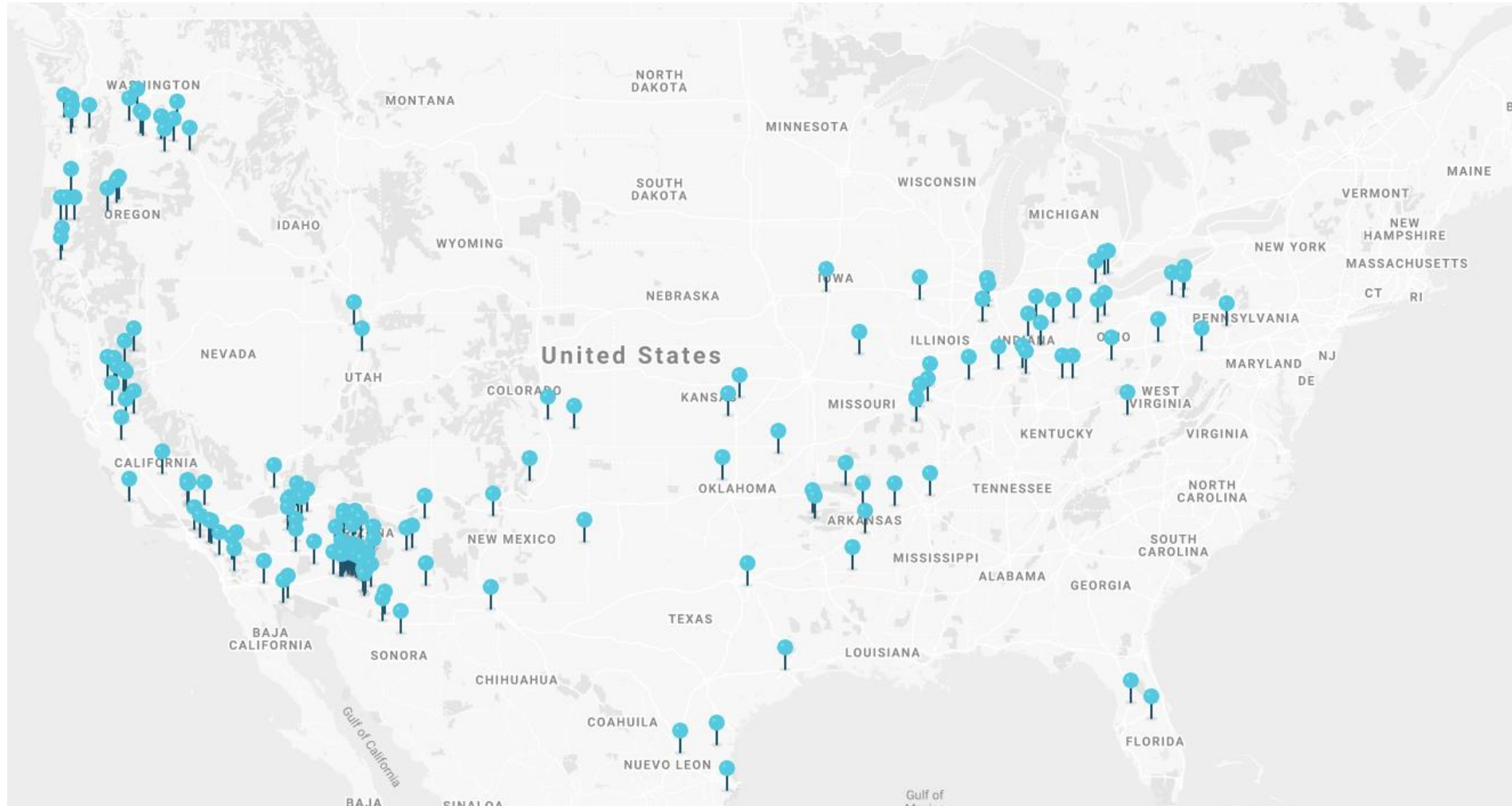
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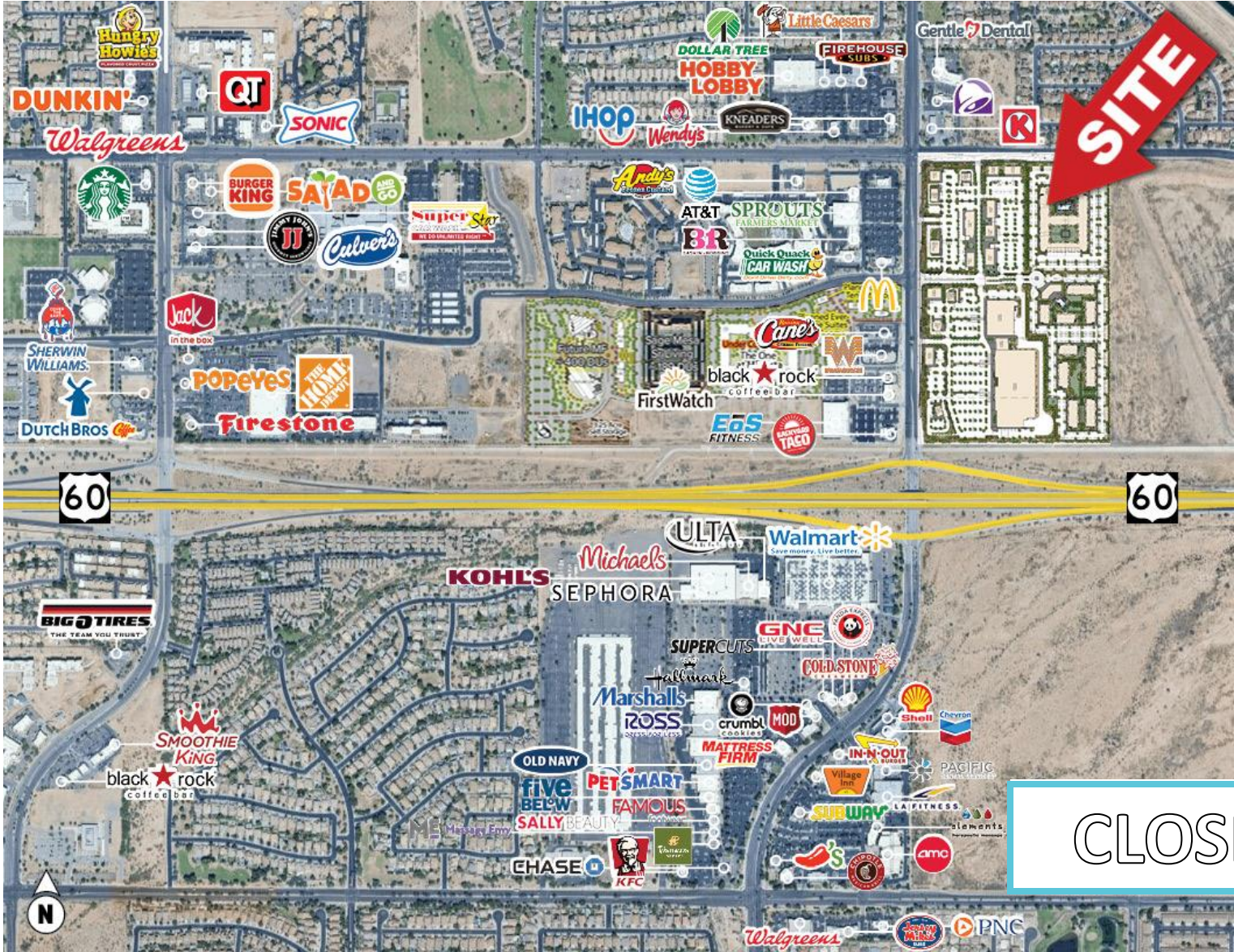
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**YEARS**





MEDINA STATION  
MESA, AZ

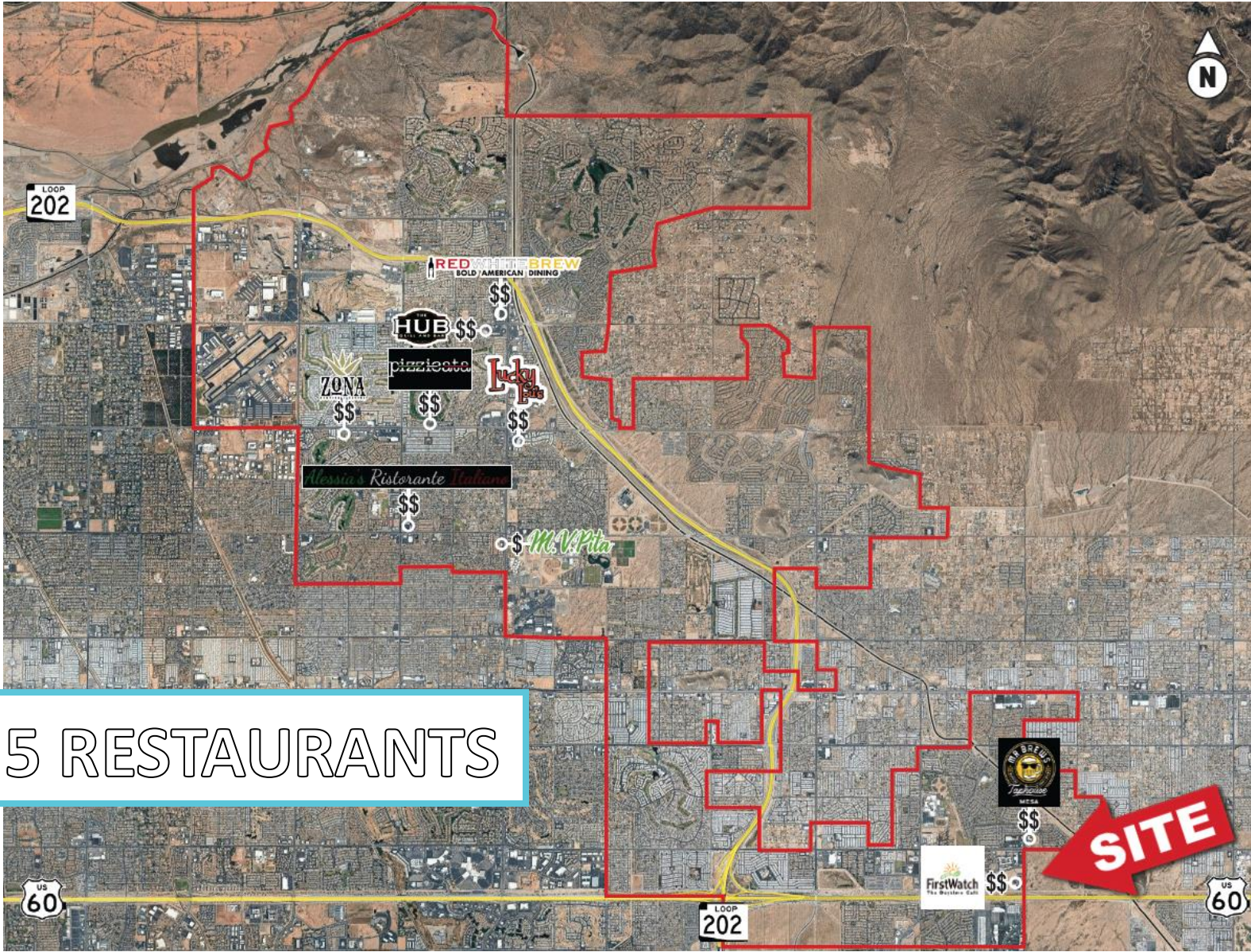


CLOSE AERIAL









DISTRICT 5 RESTAURANTS





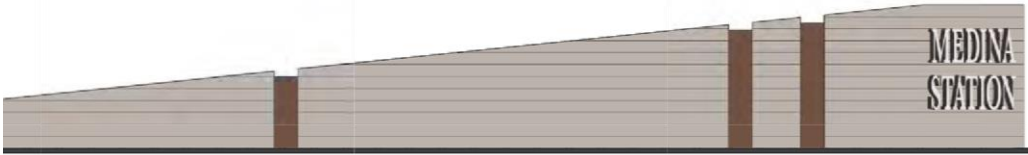
# OUR VISION







# OUR VISION







SITE PLAN

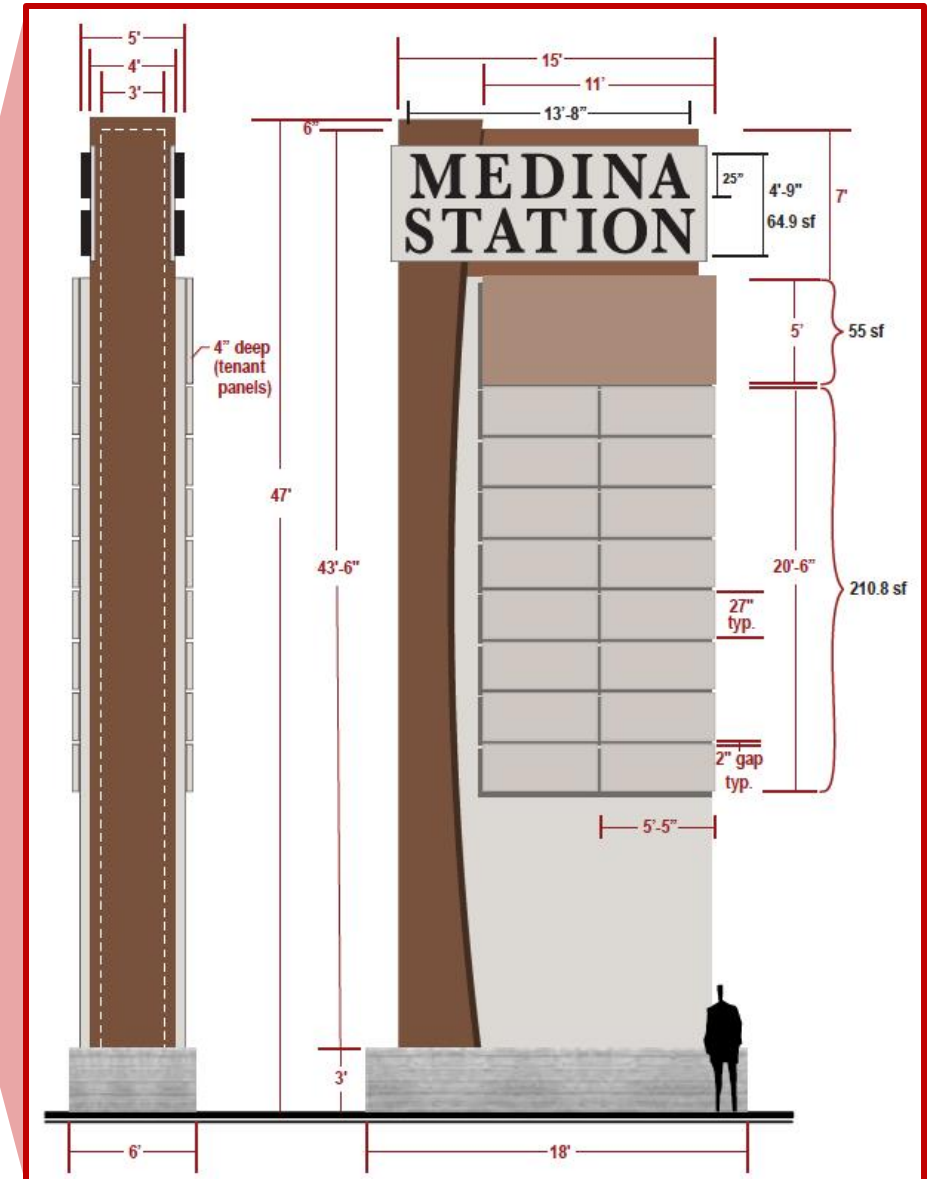




## Requests to the City of Mesa

# Freeway Monument Landmark

- **Dimensions:** 47' x 18' at 330.7 sf
- **Placement:** The sign will be positioned south of the lot to optimize visibility from the US-60 Freeway, ensuring clear directional signage for the commercial components of Medina Station
- **Design Features:** Double faced Pylon display featuring white acrylic pan channel letters illuminated via white LED







Signage Benefits & Features

Freeway Monument Landmark

Eco-Friendly Lighting

Equipped with **Hanley White LEDs**, the sign provides energy-efficient lighting that minimizes operational costs while maintaining high brightness levels.

Modern Design and Durability

The sign features **push-thru acrylic tenant faces** with **white LED illumination**, ensuring excellent visibility day and night. Durable materials, including an aluminum cabinet and routed aluminum panels, are used for longevity.

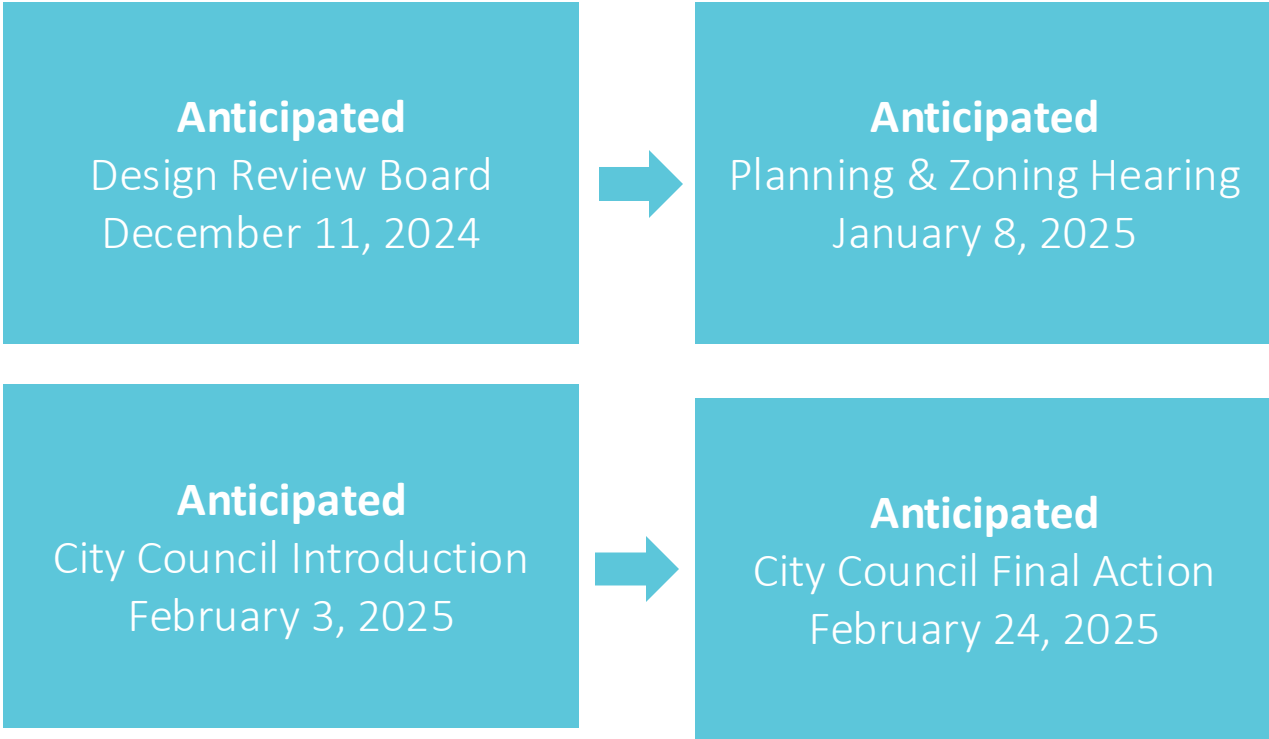
Strategic Placement

Positioned prominently near the freeway, the sign serves as a landmark for Medina Station, driving traffic to the development and enhancing tenant success.





# Anticipated Schedule & Next Steps







Comments or Questions?



Natalya Upshur  
Development Associate

**Natalya.Upshur@gmail.com**  
**(480)-566-8955**