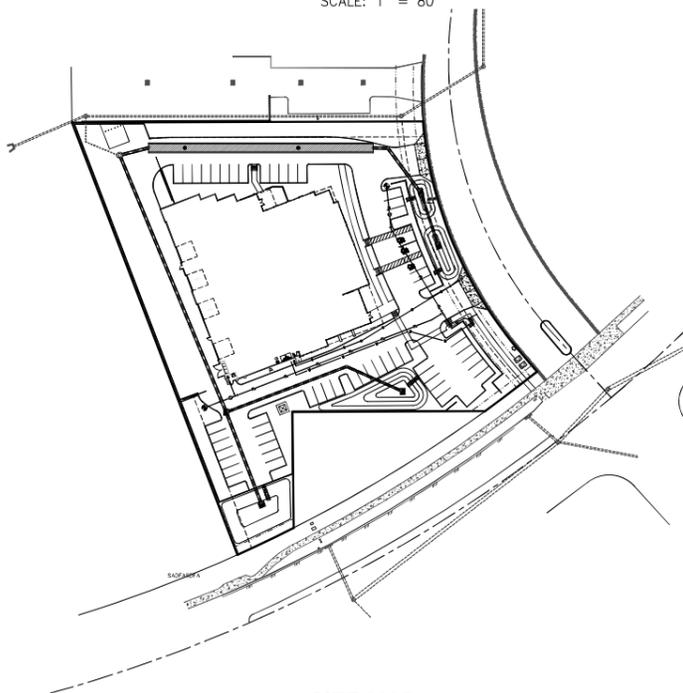
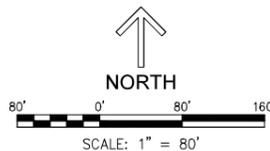


# PRELIMINARY GRADING COVER SHEET

## FOR BLUE SKY PEST CONTROL

5118 S. 71st STREET  
MESA, ARIZONA

SOUTHWEST QUARTER SECTION 19, T1S, R7E OF THE GILA AND SALT RIVER BASE AND MERIDIAN



SITE MAP

### SHEET INDEX

C0.01 1 OF 2 PRELIMINARY COVER SHEET  
C0.02 2 OF 2 PRELIMINARY G & D AND UTILITY PLAN

### LEGEND

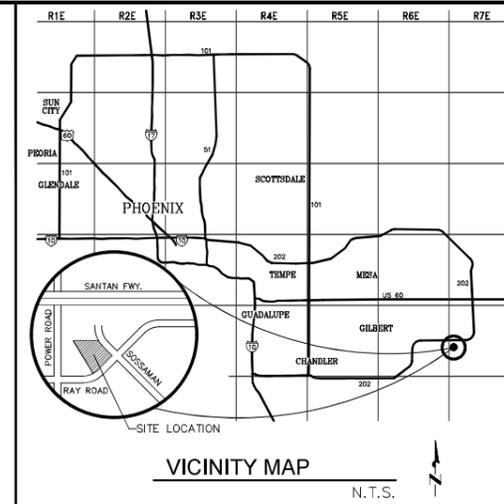
|  |                             |
|--|-----------------------------|
|  | MONUMENT LINE               |
|  | PROPERTY LINE               |
|  | EASEMENT LINE               |
|  | FIRE LINE                   |
|  | SEWER LINE                  |
|  | WATER LINE                  |
|  | EXISTING CONTOUR            |
|  | PROPOSED CONTOUR            |
|  | GRADE BREAK                 |
|  | EDGE OF PAVEMENT            |
|  | ELEC TRANSFORMER            |
|  | FLOW DIRECTION              |
|  | PRESSURE BACKFLOW PREVENTER |
|  | TEE                         |
|  | BEND                        |
|  | FIRE RISER                  |
|  | FIRE DEPARTMENT CONNECTION  |
|  | DUAL DRYWELL                |
|  | POWER POLE                  |
|  | STREET LIGHT                |
|  | FIRE HYDRANT                |
|  | STORM MANHOLE               |
|  | SANITARY MANHOLE            |
|  | WATER VALVE                 |
|  | WATER METER                 |
|  | TAPPING SLEEVE              |
|  | RIP-RAP                     |
|  | PAVEMENT                    |
|  | CONCRETE                    |
|  | VISIBILITY TRIANGLE         |

### ABBREVIATIONS

|        |                            |
|--------|----------------------------|
| AC     | ACRE                       |
| APN    | ASSESSOR PARCEL NUMBER     |
| APS    | ARIZONA PUBLIC SERVICE     |
| BC     | BACK OF CURB               |
| BOT    | BOTTOM                     |
| C      | CONCRETE                   |
| CO     | CURB OPENING               |
| C.O.B. | CITY OF BUCKEYE            |
| CF     | CUBIC FEET                 |
| DE     | DRAINAGE EASEMENT          |
| E      | EAST                       |
| EX     | EXISTING                   |
| EVp    | EQUALIZED VOLUME PROVIDED  |
| FDC    | FIRE DEPARTMENT CONNECTION |
| FFE    | FINISH FLOOR ELEVATION     |
| FG     | FINISHED GROUND            |
| FL     | FIRE LINE                  |
| G      | GUTTER                     |
| GR     | GRATE                      |
| HW     | HIGH WATER LEVEL           |
| IN     | INCH                       |
| INV    | INVERT                     |
| LF     | LINEAR FEET                |
| N      | NORTH                      |
| P      | PAVEMENT                   |
| PUE    | PUBLIC UTILITY EASEMENT    |
| R/W    | RIGHT OF WAY               |
| S      | SOUTH                      |
| SE     | SOUTH EAST                 |
| SF     | SQUARE FEET                |
| SW     | SIDEWALK                   |
| T      | TOWNSHIP                   |
| TC     | TOP OF BACK OF CURB        |
| TF     | TOP OF FOOTING             |
| TW     | TOP OF WALL                |
| TRW    | TOP OF RETAINING WALL      |
| VG     | VALLEY GUTTER              |
| V      | VOLUME                     |
| PRO V. | VOLUME PROVIDED            |
| REQ V. | VOLUME REQUIRED            |
| W      | WEST                       |
| WO     | WALL OPENING               |

### ENGINEER'S NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF LOCATIONS DIFFER FROM PLANS.
- "BLUE STAKE" LOCATES ONLY UTILITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND PUBLIC UTILITY EASEMENTS. CONTRACTOR SHALL PROVIDE OTHER MEANS OF ON-SITE UTILITY LOCATION.
- ALL QUANTITIES LISTED ON THESE PLANS ARE ESTIMATES ONLY. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BID ON THEIR ESTIMATE.
- THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS BASED ON INFORMATION PROVIDED TO THE ENGINEER BY THE UTILITY COMPANIES AND THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS AND STRUCTURES IN ADVANCE OF ANY CONSTRUCTION AND TO OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO SUCH.
- THE ENGINEER IS NOT RESPONSIBLE FOR ANY ESTIMATES, BIDS, CONSTRUCTION, OR OTHER ACTIONS OR DECISIONS MADE WHICH HAVE BEEN BASED ON PRELIMINARY OR UNAPPROVED PLANS.
- THE CONTRACTOR ON SITE SHALL CONFORM TO M.A.G. STANDARD SPECIFICATIONS AND DETAILS, UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COMPLY WITH A.D.A. REQUIREMENTS RELATING TO CONSTRUCTION AT ALL TIMES.
- ANY ALTERATIONS OR ADDITIONS TO THESE PLANS MUST BE APPROVED BY THE UNDERSIGNED REGISTERED PROFESSIONAL ENGINEER.
- CONTRACTOR SHALL PROVIDE DUST CONTROL FOR ALL UNPAVED AREAS DURING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THE GEOTECHNICAL REPORT FOR THIS PROJECT, INCLUDING ANY AND ALL ADDENDUMS AND SUPPLEMENTS ISSUED, AND FOLLOW ALL RECOMMENDATIONS THEREIN.



VICINITY MAP

### SITE AREA

GROSS AREA = 149,037 S.F. (3.42 AC)  
NET AREA = 103,830 S.F. (2.38 AC)

### APN:

304-30-052

### LEGAL DESCRIPTION

LOT 9, OF PARCEL "A" RE-PLAT FOR RAY ROAD COMMERCE CENTER NORTH, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1410 OF MAPS, PAGE 38.

### FLOOD INFO - FIRM DATA

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 04013C2760 L DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN SHADED ZONE X. SHADED ZONE X IS DESCRIBED AS: "0.2% ANNUAL CHANCE FLOOD HAZARD OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE."

### OFF-SITE DRAINAGE

THERE ARE NO OFF-SITE FLOWS AFFECTING THE SITE. ALL ON-SITE FLOWS WILL BE RETAINED ON-SITE.

### PROJECT SITE ZONING

THE SITE, BASED ON THE CITY OF MESA ZONING IS COMPLETELY 'LI', PAD, AOA-2 - LIGHT INDUSTRIAL, AND WILL REMAIN AS SUCH.

### RETENTION CALCULATIONS

ONSITE RETENTION IS REQUIRED AND PROVIDED FOR THE 100-YEAR, 2-HOUR STORM EVENT. THE ENTIRE PROPERTY IS DESIGNED TO CONVEY ALL FLOWS TO ABOVE GROUND BASINS AND AN UNDERGROUND RETENTION TANK.

### VOLUME REQUIRED:

$$V_{req} = P \cdot C \cdot A / 12$$

RAINFALL P=2.2 in.

SURFACE COEFFICIENT, C=0.84

WATERSHED AREA

PARCEL 9 A=103,830 SF V = 15,978.49 CF

71ST STREET A=8,812 SF V = 1,534.76 CF

TOTAL VOLUME req'd V = 17,513.25 CF

### VOLUME PROVIDED:

200 LF 8" CPCIP V = 10,956 CF

ABOVE GROUND BASINS: V = 6,834 CF

TOTAL VOLUME prov V = 17,690 CF

### ELEVATION BENCHMARK

BRASS TAG TOP OF CURB NE CURB RETURN RUBEN AND SIGNAL BUTTE  
1460.25 2012 COM NAVD 88 ELEVATION

### BASIS OF BEARING

EAST LINE OF SOUTHEAST OF QUARTER OF SECTION 14 TOWNSHIP 1 SOUTH RANGE 7 EAST BEARING SOUTH 00°38'01" EAST ACCORDING TO BOOK 1660 OF MAPS PAGE 14 MCR

### AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR

DATE

REGISTRATION NUMBER

### OWNER/DEVELOPER

AEI ARIZONA OZ FUND, LLC  
11180 SANTA MONICA BLVD, STE 200  
LOS ANGELES, CA 90025  
PHONE: 480-861-2672  
EMAIL: NWOLF@BLUESKYPEST.COM

### ARCHITECT

DALKE DESIGN GROUP, LLC  
2039 E. RICE DRIVE  
TEMPE, AZ 85283 PHONE:  
480-589-3793  
EMAIL: VINCE@DALKEDESIGNGROUP.COM



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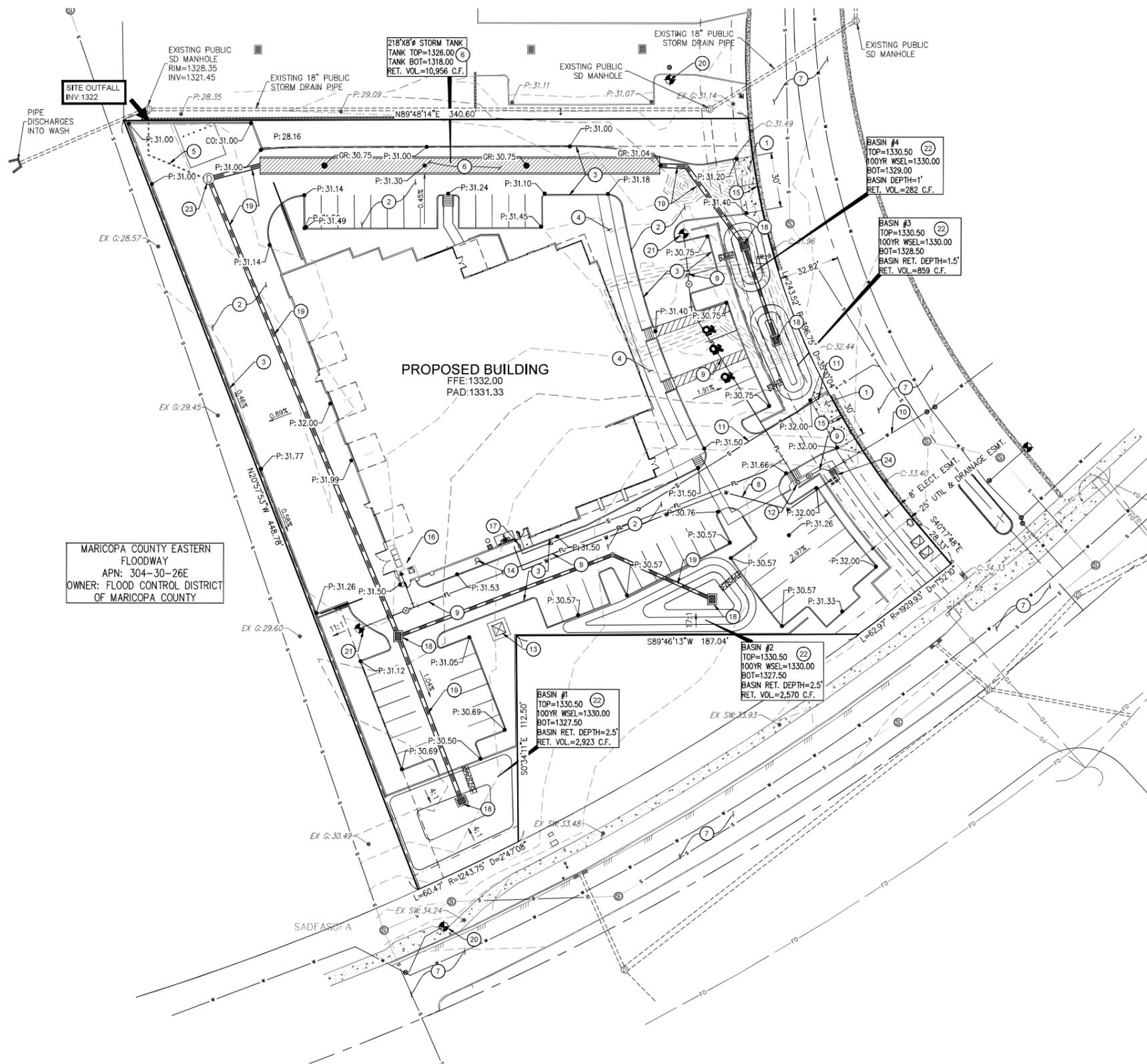
|             |             |
|-------------|-------------|
| DRAWN BY:   | MGO         |
| DESIGN BY:  | EM          |
| CHECKED BY: | MAG         |
| DATE:       | 11/17/25    |
| PROJECT #:  | 7025025     |
| PURPOSE:    | PRELIMINARY |



SHEET 01 OF 2

C0.01

G:\Current Projects\702502500 - Bluesky Pest Control\DWG\C0.02\_7025025\_02\_PFE\_G&D.dwg Mike Orton



- CONSTRUCTION NOTES**
1. NEW DRIVEWAY APRON PER C.O.M. DET. M-42
  2. NEW ASPHALT PAVEMENT
  3. NEW 6" CONCRETE CURB
  4. NEW CONCRETE SIDEWALK
  5. NEW H.D.P.E. STORM DRAIN FORCE LINE TO DISCHARGE INTO EXISTING STORM DRAIN SYSTEM CATCH BASIN AS SHOWN
  6. UNDERGROUND STORAGE SYSTEM - 218"x8" CIPCP
  7. EXISTING ASPHALT PAVEMENT
  8. NEW DOMESTIC WATER LINE
  9. NEW FIRE LINE
  10. INSTALL NEW WATER SERVICE AND LANDSCAPE SERVICE AT LOCATION SHOWN
  11. CONNECT NEW SEWER SERVICE LINE TO EXISTING SEWER SERVICE FROM STREET AT LOCATION SHOWN
  12. NEW FIRE LINE BACKFLOW DEVICE
  13. NEW ELECTRIC TRANSFORMER
  14. NEW FDC LOCATION
  15. NEW TO EXISTING CONCRETE PAVEMENT. MATCH EXISTING CONCRETE RIBBON CURB ELEVATIONS.
  16. FIRE SPRINKLER RISER ROOM.
  17. NEW TWO-WAY SEWER CLEANOUT
  18. NEW STORM DRAIN CATCH BASIN
  19. NEW STORM DRAIN PIPE
  20. EXISTING FIRE HYDRANT
  21. NEW FIRE HYDRANT
  22. NEW RETENTION BASIN W/4:1 SIDE SLOPES
  23. NEW STORM DRAIN MANHOLE WITH LIFT STATION
  24. NEW DOMESTIC & LANDSCAPE METERS AND BACKFLOW PREVENTORS.

**OWNER/DEVELOPER**  
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 TEMPE, AZ 85283  
 PHONE: 480-589-3793  
 EMAIL: VINCE@DALKEDESIGNGROUP.COM

**KAEKO ENGINEERING**  
 12409 W INDIAN SCHOOL ROAD  
 AVONDALE, ARIZONA 85392  
 PHONE: 623.536.1993

**PRELIMINARY G & D AND UTILITY PLAN**  
 FOR  
**BLUE SKY PEST CONTROL**  
 5118 S. 71st STREET  
 MESA, ARIZONA

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