

PROJECT DATA

DEVELOPER: EXCOLO DEVELOPMENT
6628 E. BASELINE RD, SUITE 102
MESA, AZ 85206
ATTN: ROB STEPHAN

ARCHITECT: BMA ARCHITECTURE
2915 E. BASELINE RD, SUITE 120
GILBERT, AZ 85234
ATTN: BRIAN M. ANDERSEN, AIA

SITE DATA

ADDRESS: 6912 E. GUADALUPE RD.
MESA, AZ 85212

APN NUMBER: 304-05-982A

SITE AREA: APPROX GROSS 5.05 ACRES (219,864 SF)
APPROX NET 5.05 ACRES (219,864 SF)

CURRENT ZONING: LC-PAD

PROPOSED ZONING: LC-PAD-CUP

PROPOSED USE: MULTI-FAMILY APARTMENTS

BUILDING HEIGHT

CURRENT: 35'-0" MAX
PROPOSED: 38'-0" MAX

LOT COVERAGE: 174,732/219,864 = 79.5%

DENSITY

ALLOWED: 120 UNITS/5.05 ACRESS = 23.8 DU/AC
PROVIDED:

| GROSS UNIT MIX | | | | |
|----------------|--------------|------------|------------|-------------------------------|
| UNIT TYPE | NO. BEDROOMS | # OF UNITS | % OF UNITS | PATIO/BALCONY [OPEN SPACE] |
| A1 | 1-BEDROOM | 24 UNITS | 20.0 % | 90 SF |
| B1 | 2-BEDROOM | 72 UNITS | 60.0 % | 118 SF |
| C1 | 3-BEDROOM | 24 UNITS | 20.0 % | 220 SF |
| TOTAL | | 120 UNITS | 100 % | |

| BUILDING TYPE: | BUILDING FOOTPRINT AREA | NET BUILDING AREA | QTY. | GROSS BUILDING AREA | USE | SPRINKLER TYPE | CONST TYPE |
|-------------------|-------------------------------|-------------------------|------|---------------------------|------|-------------------|---------------|
| BUILDING 1 | 10,157 | 29,536 | 2 | 29,536 | R2 | NFPA 13R | VA |
| BUILDING 2 | 13,298 | 38,590 | 2 | 38,590 | R2 | NFPA 13R | VA |
| LEASING/CLUBHOUSE | 4,053 | 4,053 | 1 | 4,053 | B/A2 | NFPA 13 | VB |

GROSS AREA: 5 137,652±

| GROSS PARKING REQUIRED | # UNITS | SPACES REQUIRED |
|------------------------|-------------|-----------------|
| | 120 X 2.1 = | 252 P.S. |

| PROVIDED: | |
|-------------|--|
| OPEN | = 126 P.S. (INCLUDING 18 EV PARKING SPOTS) |
| COVERED | = 122 P.S. |
| ADA OPEN | = 2 P.S. |
| ADA COVERED | = 2 P.S. |

PROVIDED TOTAL: 252 P.S. (INCLUDING 18 EV PARKING SPOTS)

| BICYCLE PARKING | |
|-----------------|---|
| REQUIRED | = 26 REQUIRED (252 TOTAL PARKING SPACES/10 = 25.2) |
| PROVIDED | = 40 BICYCLE PARKING SPACES (20 RACKS @ 2 BIKES/RACK) |

LOT COVERAGE (BREAKDOWN):

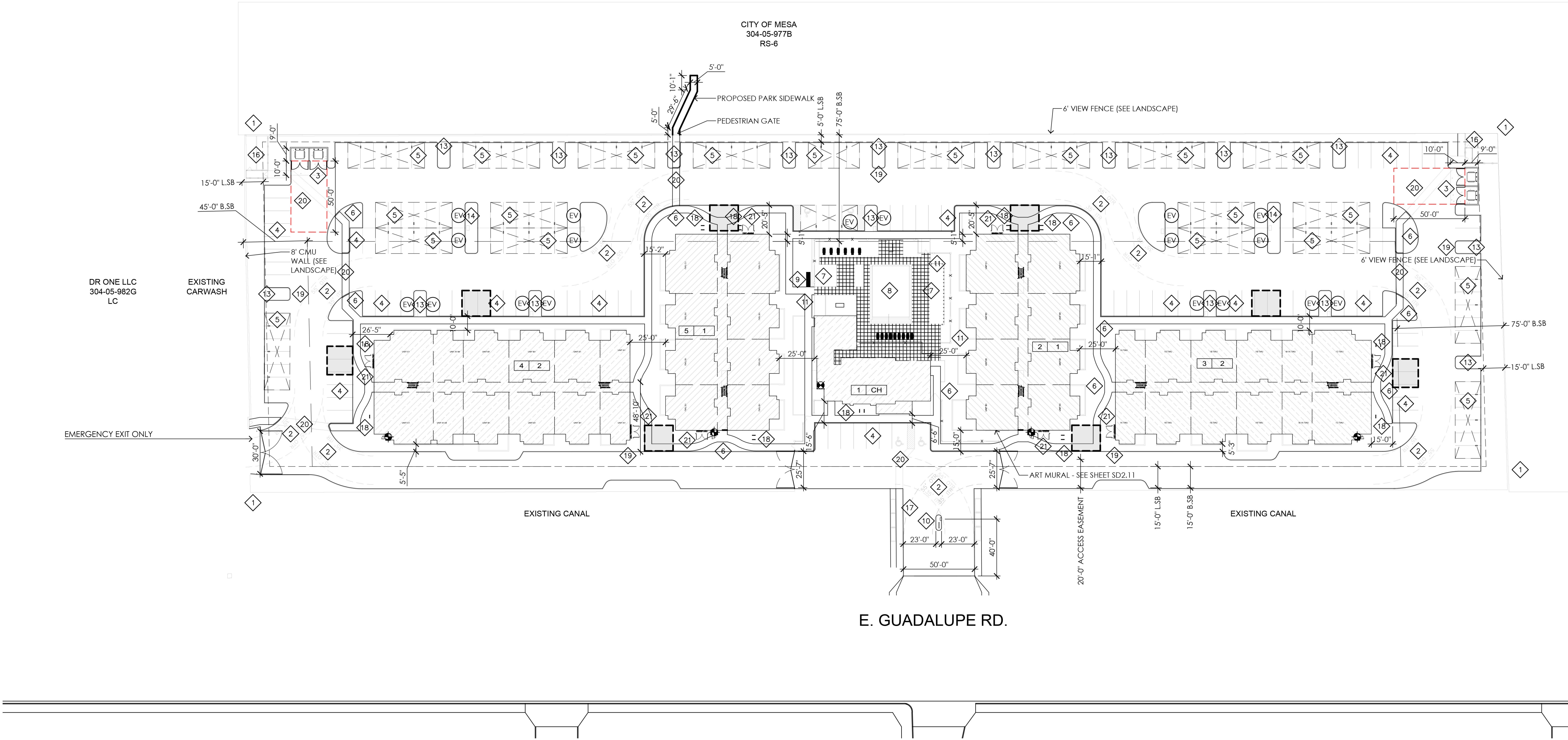
PARKING, COVERED PARKING, AND DRIVING AISLES: 106,786 SF
CLUBHOUSE: 4,053 SF
BUILDING TYPE 1: 10,157 SF x 2 = 20,314 SF
BUILDING TYPE 2: 13,298 SF x 2 = 26,596 SF
TRASH ENCLOSURES: 632 SF
SIDEWALKS: 10,001 SF
AMMENITY AREA: 5,467 SF
DOG WALKS: 1,012 SF

TOTAL: 174,861 SF / 219,864 SF = 79.5%

OUTDOOR LIVING AREA:

TOTAL COMMON OPEN SPACE = 10,532 SF/120 UNITS = 88 SF COMMON OPEN SPACE/UNIT

1-BEDROOM UNITS (UNIT A1): 90 SF PRIVATE OPEN SPACE + 88 SF COMMON OPEN SPACE = 178 SF OPEN SPACE/UNIT
2-BEDROOM UNITS (UNIT B1): 118 SF PRIVATE OPEN SPACE + 88 SF COMMON OPEN SPACE = 206 SF OPEN SPACE/UNIT
3-BEDROOM UNITS (UNIT C1): 220 SF PRIVATE OPEN SPACE + 88 SF COMMON OPEN SPACE = 308 SF OPEN SPACE/UNIT



E. GUADALUPE RD.

SITE PLAN

SCALE: 1" = 40'-0"

SITE KEY NOTES

- 1 PROPERTY LINE

2 FIRE TRUCK TURNING RADIUS (PER CITY OF MESA DETAIL 503.2.4) TYPICAL WHERE SHOWN

3 REFUSE ENCLOSURE

4 PARKING SPACE 9'X18', TYPICAL

5 COVERED PARKING STRUCTURE WHERE INDICATED
- 6 NEW PEDESTRIAN WALKWAY (5'-0" TYPICAL)

7 AMENITY AREA

8 POOL AREA (POOL UNDER SEPARATE PERMIT)

9 GAS BBQ AT AMENITY AREA

10 KEYPAD ACCESS CONTROLLER AND KNOX EMERGENCY ACCESS OVERRIDE PER MESA FIRE PREVENTION DIVISION REGULATIONS FOR AUTOMATIC GATES.
- 11 POOL ENCLOSURE WALL AND GATE (SEE LANDSCAPE PLANS FOR MORE INFORMATION)

12 LANDSCAPE FENCE AND GATE (SEE LANDSCAPE PLANS FOR MORE INFORMATION)

13 LANDSCAPE ISLAND (SINGLE ROW), 9'-0"W x 18'-0"L, TYPICAL

14 LANDSCAPE ISLAND (DOUBLE ROW), 9'-0"W x 36'-0"L, TYPICAL

15 5'-0" WIDE PEDESTRIAN SIDEWALK, TYPICAL
- 16 DOG WALK

17 5'-0" WIDE SIDEWALK ALONG CULVERT TO GUADALUPE ROAD

18 BICYCLE RACKS (NOTE: 2 BIKES PER RACK) - PLEASE SEE LANDSCAPE SHEET L1.51 DETAIL 5 FOR BIKE RACK DETAILS.

19 FIRE HYDRANTS

20 CROSSWALK - PLEASE SEE LANDSCAPE SHEET L1.51 DETAIL 6 FOR CROSSWALK DETAIL.
- 21 ELECTRICAL PANEL METAL SCREEN GATE

SITE PLAN LEGEND

- BUILDING NUMBER

1 CH BUILDING TYPE

BUILDING TYPE 1 - 3 STORY

BUILDING TYPE 2 - 3 STORY

CLUBHOUSE

EV CHARGING STATION (CHARGEPOINT CT4000) - SEE SHEET SD4.20 FOR DETAILS
- 20'-0 WIDE UN-OBSTRUCTED FIRE AERIAL APPARATUS STAGING AREA

FIRE RISER NFPA 13R

FIRE RISER NFPA 13

FIRE HYDRANT

EV PARKING SPOT



PROPOSED NEW MULTI-FAMILY PROJECT FOR:
EXCOLO DEVELOPMENT
PARK NORTH
6912 E. GUADALUPE RD
MESA, AZ

dwg name:

dwg no:

date: 01-23-2025

job no: 2024.02

log no:

SITE PLAN
SD1.10

PROJECT DATA

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| ARCHITECT: | BMA ARCHITECTURE 2915 E. BASELINE RD, SUITE 120 GILBERT, AZ 85234 ATTN: BRIAN M. ANDERSEN, AIA |
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| PROPOSED USE: | MULTI-FAMILY APARTMENTS |
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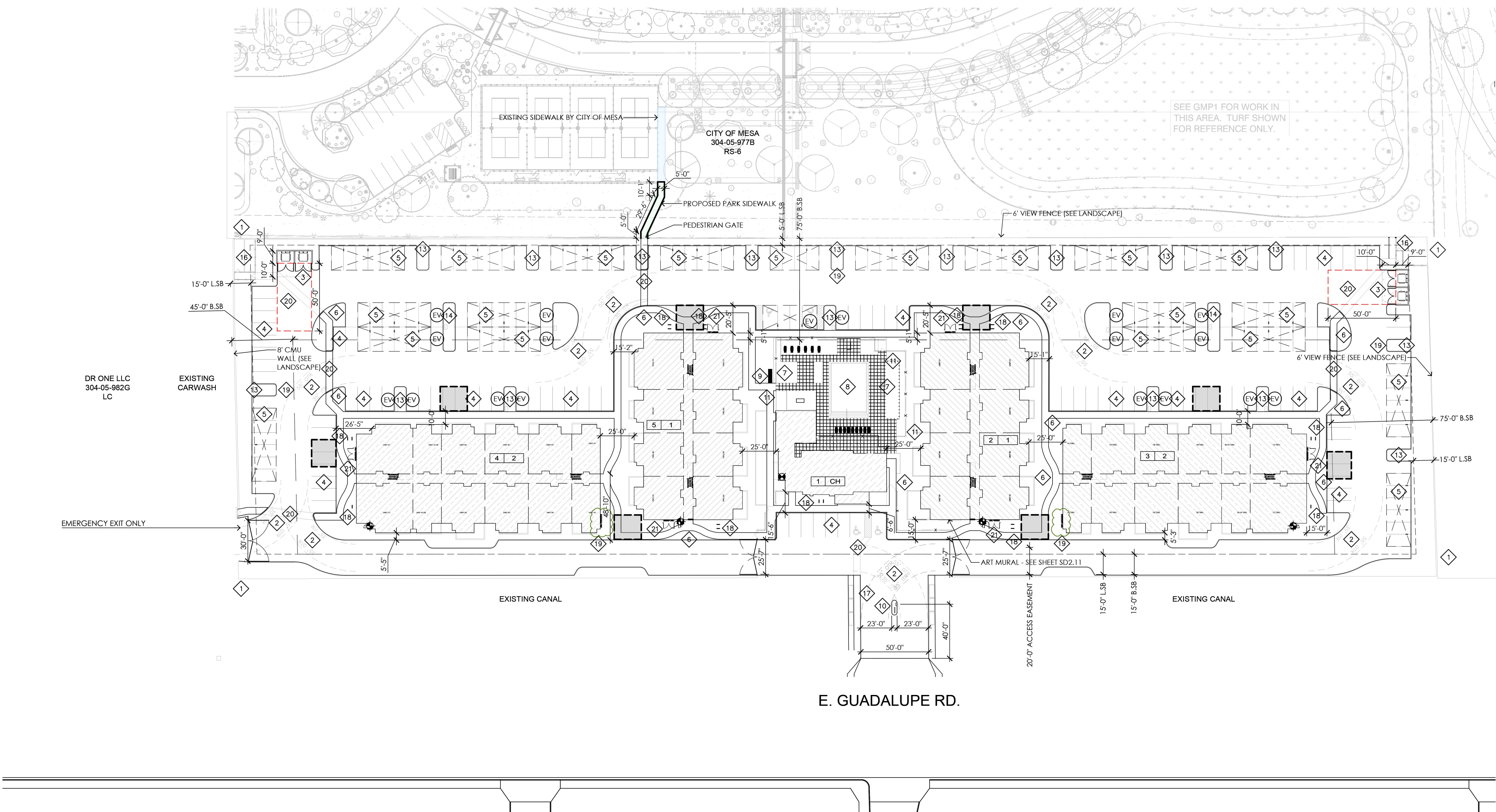
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E. GUADALUPE RD.

SITE PLAN

SCALE: 1" = 40'-0"

SITE KEY NOTES

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PROPERTY LINE
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FIRE HYDRANTS
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ELECTRICAL PANEL METAL SCREEN GATE

SITE PLAN LEGEND

- 1 CH

BUILDING NUMBER
- 1 CH

BUILDING TYPE
- 1 CH

BUILDING TYPE 1 - 3 STORY
- 1 CH

BUILDING TYPE 2 - 3 STORY
- 1 CH

CLUBHOUSE
- 1 CH

EV CHARGING STATION (CHARGEPOINT CT4000) - SEE SHEET SD4.20 FOR DETAILS
- 1 CH

20'-0 WIDE UN-OBSTRUCTED FIRE AERIAL APPARATUS STAGING AREA
- 1 CH

FIRE RISER NFPA 13R
- 1 CH

FIRE RISER NFPA 13
- 1 CH

FIRE HYDRANT
- 1 CH

EV PARKING SPOT

E. BASELINE RD.

E. MONTEREY AVE.

E. GUADALUPE RD.



PROPOSED NEW MULTI-FAMILY PROJECT FOR:
EXCOLO DEVELOPMENT
PARK NORTH
6912 E. GUADALUPE RD
MESA, AZ

dwg name: PARK ACCESS IMPROVEMENT
PLAN

dwg no: SD1.11

date: 01-23-2025

job no: 2024.02

log no: