



Design Review Board



DRB25-00470

Mint Dispensary



Request

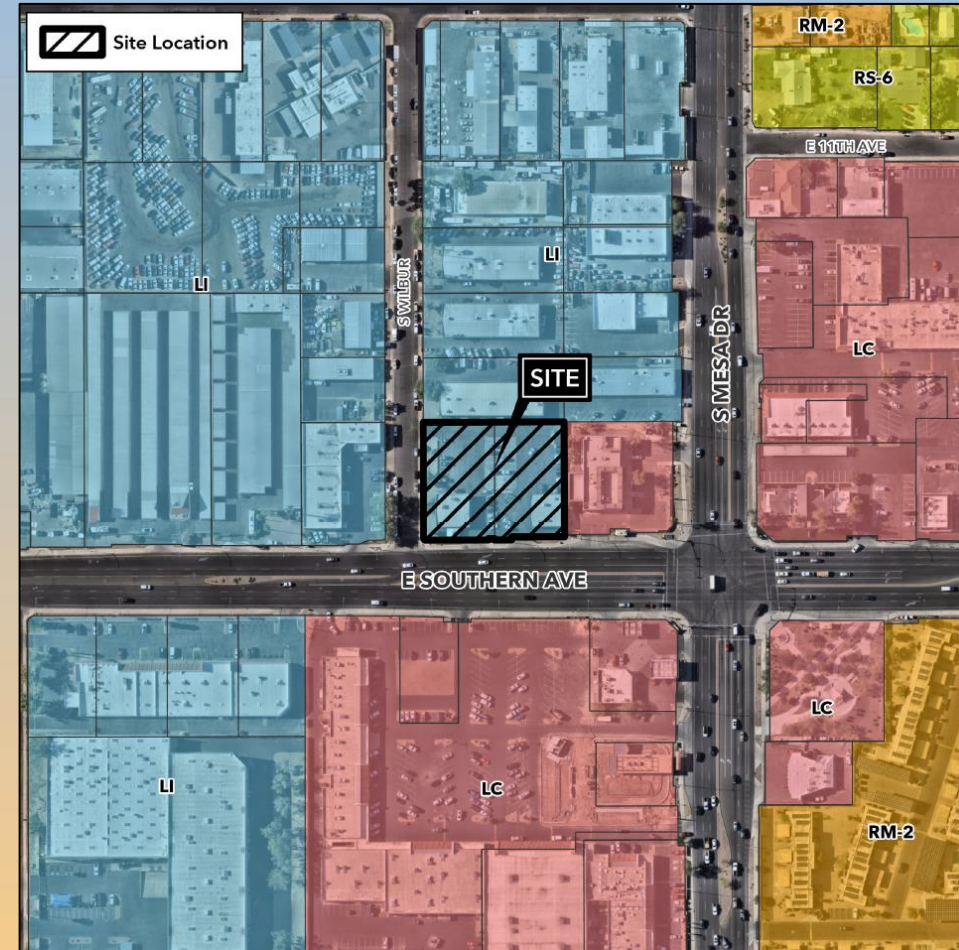
- Design Review of a 2,588 square foot addition to allow for the expansion of a marijuana dispensary





Location

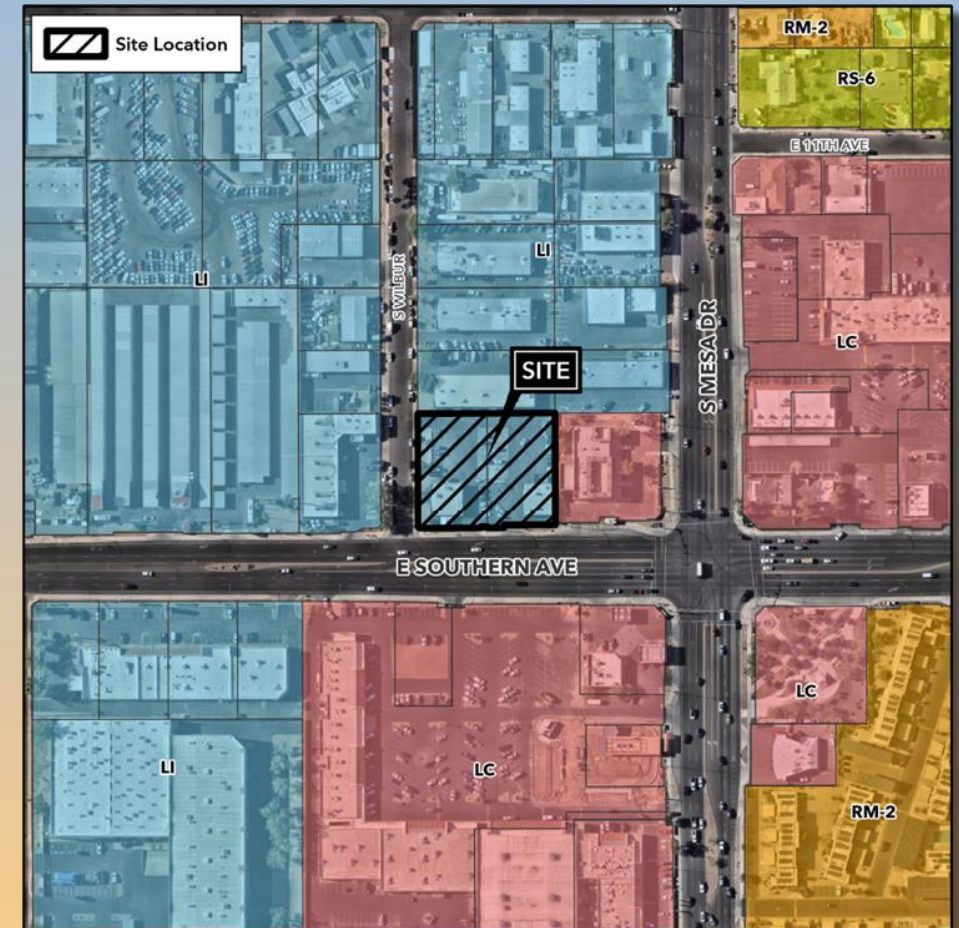
- 330 East Southern Avenue
- North side of Southern Avenue
- East of Mesa Drive





Zoning

- Light Industrial (LI) District
- A marijuana dispensary use is permitted, subject to compliance with Section 11-31-34 of the MZO.





Site Photo

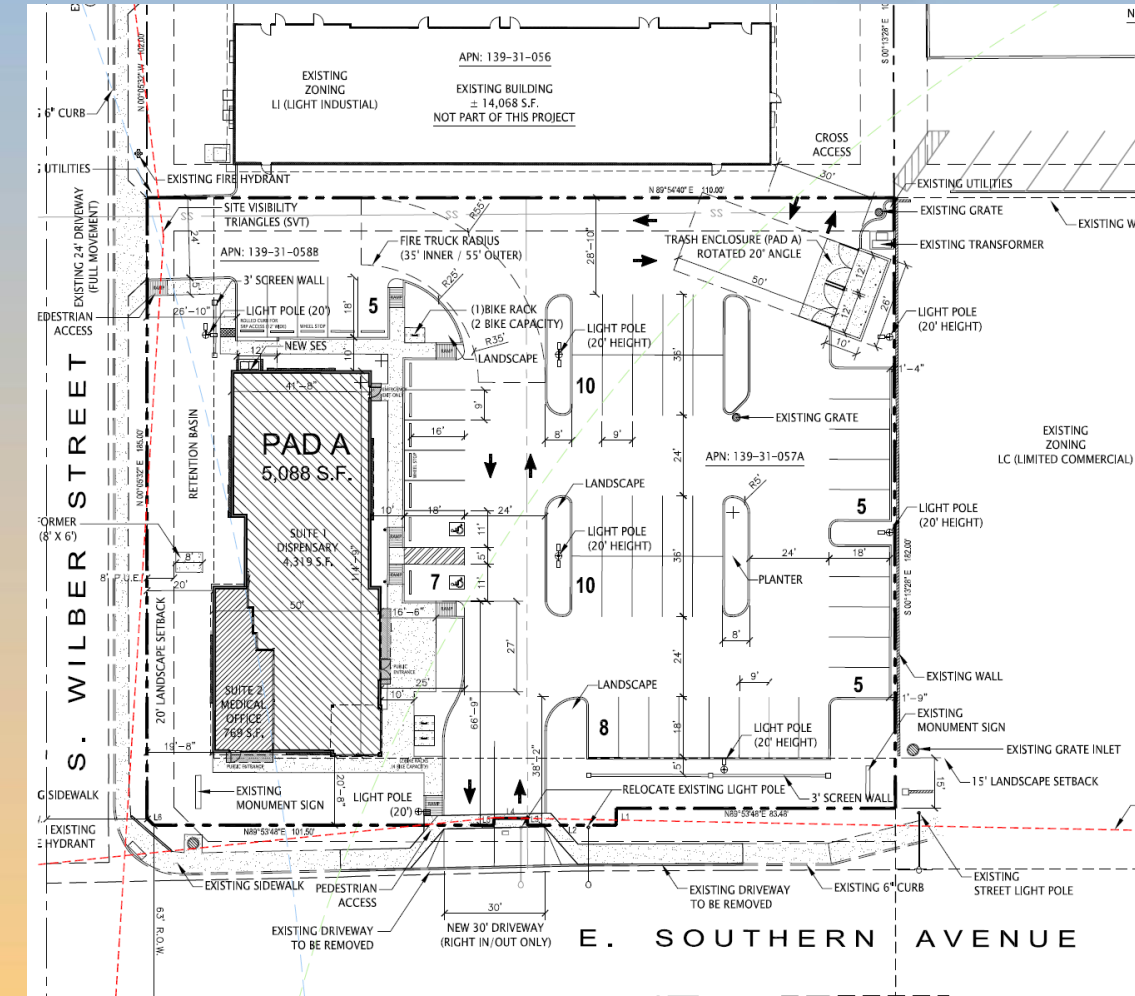


Looking north from Southern Avenue



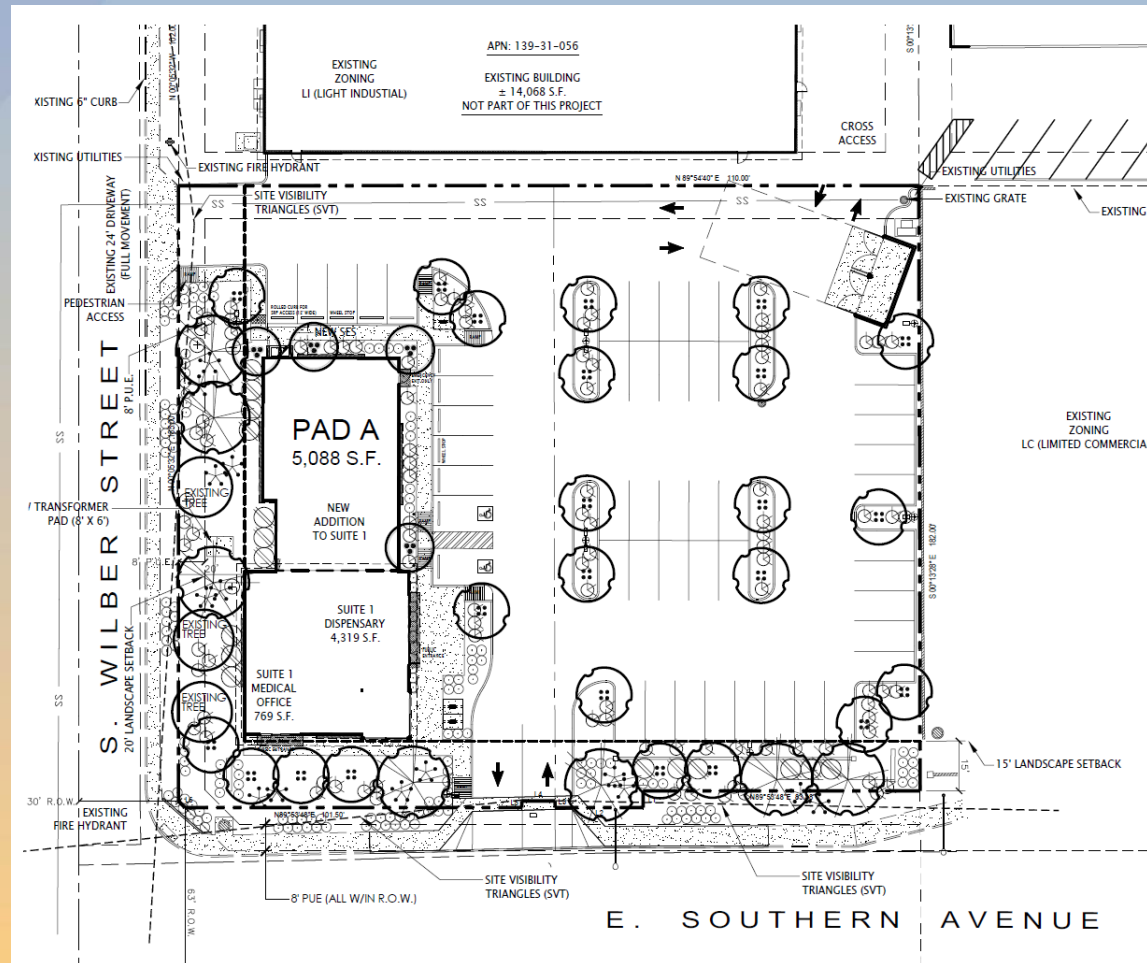
Site Plan

- Raze existing 2,500 SF building on the east side of project site
- 2,500 SF building on west side of project site to remain
- 2,588 SF addition to north side of the west building
- 2 building suites: a 769 SF medical office and 4,319 SF marijuana dispensary
- One access from Southern Avenue and one access from Wilbur
- 16 parking spaces required, 50 parking spaces provided, requires approval of an AUP to exceed 125% of required number of parking spaces





Landscape Plan



EXISTING LANDSCAPE LEGEND	
	EXISTING TREE PROTECT FROM CONSTRUCTION (3) SHADE: 300 x 3 TREES = 900 SQ.FT OF SHADE
	EXISTING SHRUB PROTECT FROM CONSTRUCTION (4)
PROPOSED LANDSCAPE LEGEND	
	PISTACHE X 'RED-PUSH' RED PUSH PISTACHE 36" BOX (7) SHADE: 306 x 7 TREES = 2,142 SQ.FT OF SHADE
	QUERCUS VIRGINIANA LIVE OAK 36" BOX (28) SHADE: 276 x 28 TREES = 6,728 SQ.FT OF SHADE
	CAESALPINIA CACALOCO CASCALOTE 36" BOX (4) SHADE: 211 x 4 TREES = 844 SQ.FT OF SHADE
	TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON (16)
	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE 5 GALLON (100)
	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON (14)
	LANTANA MONTEVIDENSIS 'GOLD MOUND' 5 GALLON (100)
1/2" MINUS MADISON GOLD DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS	



Elevations



FACADE MATERIAL CALCULATIONS							
ID #	MATERIAL	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION	
		AREA	PERCENT	AREA	PERCENT	AREA	PERCENT
1	STUCCO SA 1691 'OYSTER'	512 S.F.	22%	241 S.F.	10%	0 S.F.	0%
2	STUCCO SA 6256 'COPPER MOUNTAIN'	14 S.F.	1%	81 S.F.	3%	35 S.F.	4%
3	STUCCO SA 1021 'DORIAN GRAY'	0 S.F.	0%	1226 S.F.	13%	378 S.F.	45%
4	STEEL PANELS HOSKING 6" V-GROOVE 'GOLDEN HARP'	255 S.F.	10%	425 S.F.	17%	260 S.F.	48%
5	METAL PANELS A-1000 D/5V PANELS 'BRUSH'	158 S.F.	14%	201 S.F.	8%	0 S.F.	0%
6	CIVIL SHOOTING BLOCK SA 6256 'COPPER MOUNTAIN'	0 S.F.	0%	0 S.F.	0%	0 S.F.	0%
7	STOREFRONT WINDOW / DOOR	495 S.F.	45%	780 S.F.	24%	0 S.F.	0%
TOTALS		1400 S.F.	100%	2518 S.F.	100%	711 S.F.	100%



Elevations



FACADE MATERIAL CALCULATIONS									
ID #	MATERIAL	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION	
		AREA	PERCENT	AREA	PERCENT	AREA	PERCENT	AREA	PERCENT
1	STUCCO SN 1651 "OYSTER"	912 S.F.	22%	244 S.F.	10%	0 S.F.	0%	646 S.F.	51%
2	STUCCO SN 6356 "COPPER MOUNTAIN"	14 S.F.	1%	81 S.F.	3%	35 S.F.	4%	45 S.F.	2%
3	STUCCO SN 1021 "DORIAN GRAY"	0 S.F.	0%	326 S.F.	13%	376 S.F.	45%	376 S.F.	17%
4	STEEL PANELS MOSSAIC 6" V-GROOVE "SOUTHWEST MAPLE"	280 S.F.	18%	425 S.F.	97%	350 S.F.	45%	856 S.F.	55%
5	METAL PANELS ALUMINUM DIBLY PANELS "BRUSHED"	186 S.F.	14%	201 S.F.	8%	0 S.F.	0%	271 S.F.	12%
6	CMU SMOOTH BLOCK SN 6356 "COPPER MOUNTAIN"	0 S.F.	0%	0 S.F.	0%	0 S.F.	0%	0 S.F.	0%
7	STOREFRONT PANDORA / DOOR	688 S.F.	48%	750 S.F.	24%	0 S.F.	0%	0 S.F.	0%
	TOTALS	1,400 S.F.	100%	2,516 S.F.	100%	741 S.F.	100%	2,226 S.F.	100%



Site Rendering



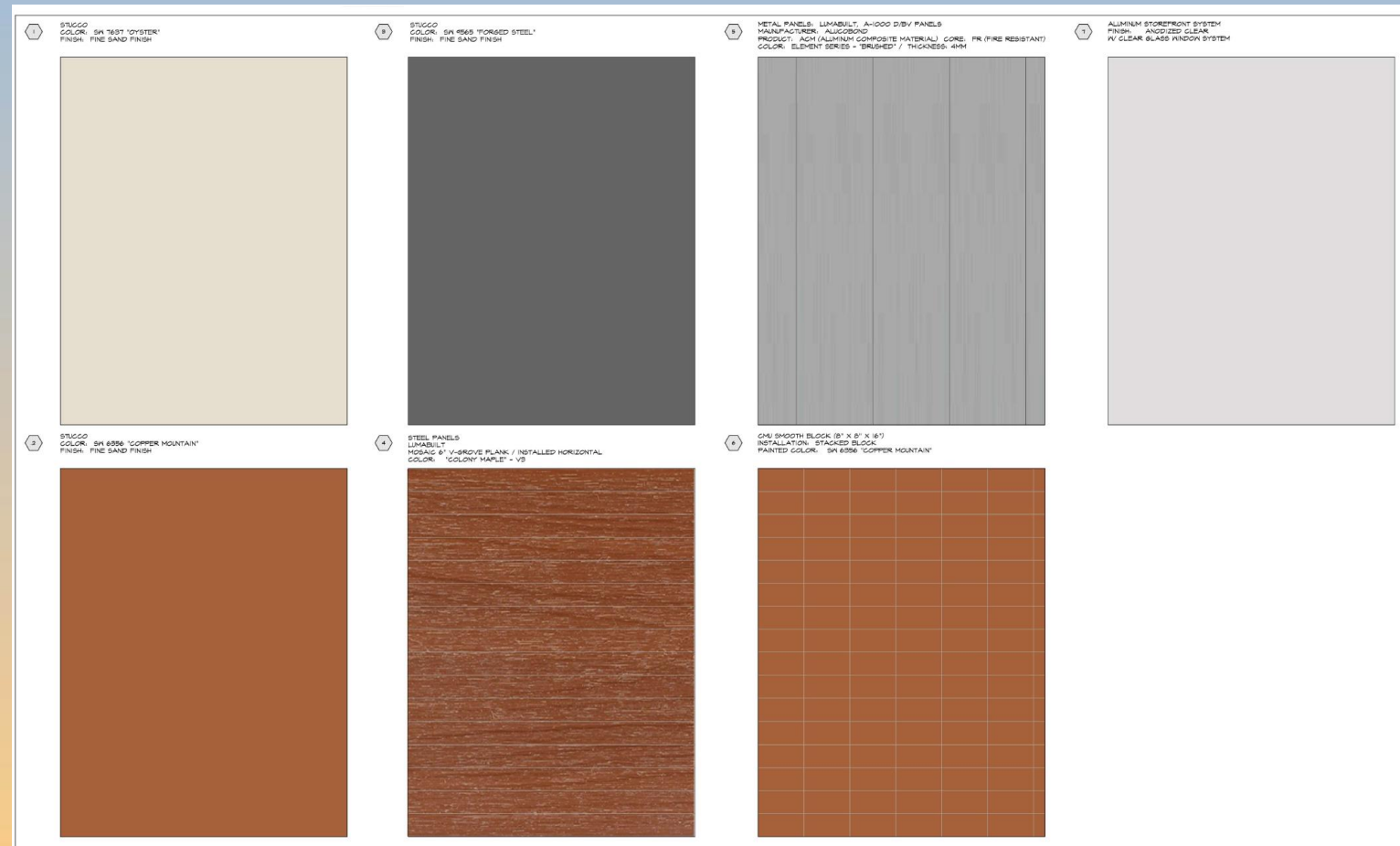


Site Rendering





Color and Material Board





Alternative Compliance

- ✓ Roof Articulation. Minimum vertical modulation is 2 feet or $\frac{1}{10}$ multiplied by the wall height, not to exceed $\frac{1}{3}$ the height of the supporting wall
- ✓ Materials. Facades shall incorporate at least 3 different materials
- ✓ Materials. No more than 50% of the façade may be covered with one single material



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations & landscape design
- ✓ Alternative compliance requests

Staff welcomes any feedback



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