

Price Manor, Phase II
2245 North Center Street
Proposed Single-Family Detached Community
Project Narrative

Submitted on behalf of:



Submitted by:

Sean B. Lake
Pew & Lake, PLC
1744 South Val Vista Drive, Suite 217
Mesa, AZ 85204

May 19, 2025

Introduction

Pew and Lake, PLC, on behalf of our client, Brighton Homes, is pleased to submit this project narrative for proposed residential development located on the east side of Center Street, at Lynwood Lane.

The 6.18-acre property is known as Lots 3-18 of Pasadena Estates subdivision. Pasadena Estates is a subdivision that was platted in 2007, and development started but was unmarketable at the approved density and therefore, development ceased. An aerial photo of the site is shown below with the parcel outlined in red.



Request

Our specific requests to the City of Mesa would be for the following:

1. Rezoning from RS-9-PAD to RSL-4.5 PAD; and
2. Preliminary Plat Approval.

Approval of these requests will allow for the development of a 41-lot, single family home community.

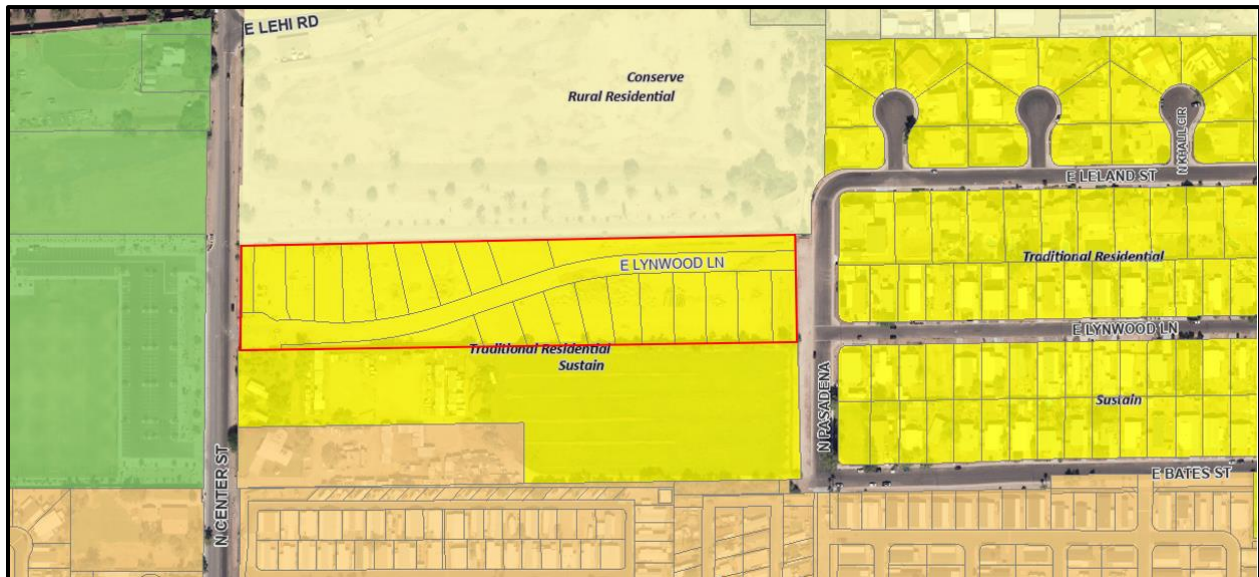
Existing Site Conditions and Relationship to Surrounding Properties

Currently the property is partially developed with grading done and some underground infrastructure and perimeter walls installed. As it became apparent that the market would not

support the development, the developer ceased developed and the property has remained in its current condition for years. The property is rectangular, and the topography is unremarkable.

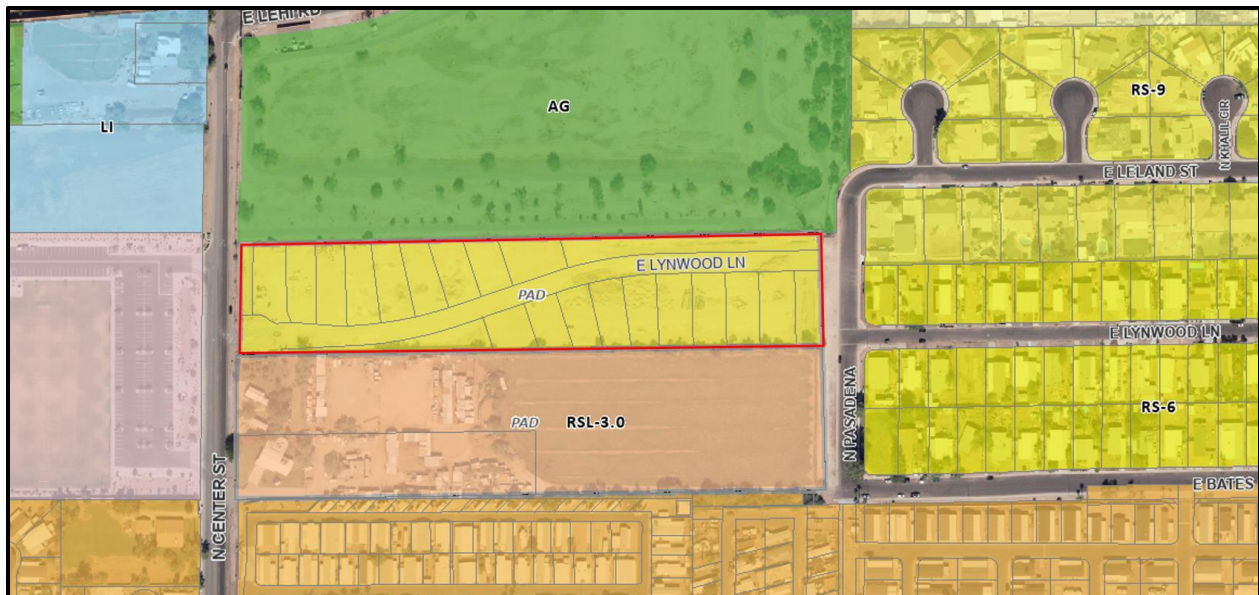
The property is designated under the City of Mesa 2050 General Plan as a *Traditional Residential* placetype, with a *Sustain* growth strategy

City of Mesa 2050 General Plan Map



The site is zoned RS-9, with a Planned Area Development (PAD) overlay.

City of Mesa Zoning Map



North of the site is a large, vacant piece of property owned by the Arizona Department of Transportation. To the south is Price Manor Phase I, which is currently in the development phase.

East of the site is a mobile home community, and to the west, across Center Street, is the Lehi Sports Park.

The table below further details the existing and adjacent land uses, zoning and General Plan designations.

Direction	General Plan Character Area	Existing Zoning	Existing Use
North	Rural Residential-Conserve	AG	SRP property (Lots 1 and 2 of Pasadena Estates)
East	Traditional Residential-Sustain	RS-6	Mobile Home Community
South	Traditional Residential-Sustain	RSL 3.0 PAD	Price Manor Phase I (under development)
West	Parks Open Space-Conserve	Public/Semi-Public (PS)	Lehi Sports Park
Project Site	Traditional Residential-Sustain	RS-9 PAD	ADOT laydown yard

Proposed Development

Price Manor Phase II will be exactly what the name implies—a second phase of Price Manor that was approved by the City in January of 2024. The proposed development features a gated entry and a single street that proceeds through the center of the subdivision. Homes and open space are on each side of the street. There will be pedestrian connectivity between both phases of Price Manor, and the amenity area developed in Phase I will be available to the residents in Phase II. A single HOA will be created for the entire Price Manor community.

The homesites are proposed as 45' wide and almost 97' deep, and the density of the project is 6.73 du/ac.

PAD Development Standards

As shown in the table on the next page, Price Manor II has been designed to meet almost all of the City's Development standards in the RSL 4.5 zoning district. The PAD is requested to allow for private, rather than public streets, and to also allow for an 8-foot wall surrounding the SRP property at the front of the subdivision.

Development Standard	RSL-4.5 Required	Price Manor II Proposed PAD
Area Standards:		
Minimum lot area MZO Section 11-5-3(A)(2)	4,000 s.f.	4,355
Minimum Interior Lot Width MZO 11-5-3(A)(2)	40'	45'
Minimum Corner Lot Width MZO 11-5-3(A)(2)	45'	50'
Minimum Lot Depth MZO 11-5-3(A)(2)	90'	96.79'
Maximum Height	30'	30'
Maximum Number of Stories	2	2
Minimum Yards:		
Front -Building Wall MZO Section 11-5-3(A)(2)	15'	15'
Front- Garage MZO Section 11-5-3(A)(2)	20'	20'
Front- Porch MZO Section 11-5-3(A)(2)	10'	10'
Minimum Interior Side	4.5'	5'
Minimum aggregate of 2 sides MZO Section 11-5-3(A)(2)	10'	10'
Street Side MZO Section 11-5-3(A)(2)	10'	10'
Rear Yard MZO Section 11-5-3(A)(2)	20'	20'
Minimum Usable Open Space per Unit 11-5-5(A)(5)	400 s.f.	1558'
Maximum Lot Coverage (% of Lot) MZO Section 11-5-3(A)(2)	70%	42%
Additional Standards:		
Garages	20'w x 22'd	20'w x 22'd
Fences and Walls 11-30-4	6-foot Maximum height	8-foot (around SRP site only)

Limitation on Paving of Front Yards 11-5-3(B)(5)	No greater than 50% of front yard	40.8%
Streets	Public Streets	Private Street

These two minor deviations are justified by the oversized lots, and the abundance of private open space in each of the lots. Brighton Homes is currently working with SRP to determine the ultimate configuration of the wall and landscaping in the public utility easement along the street frontage.

Architecture

As shown below and in the elevations provided in the pre-submittal materials, the homes within this community are proposed to be two-story, and feature traditional building styles—Spanish, Ranch and Prairie. There are two different floorplans. Consequently there are six possible elevation styles.



Conclusion

The proposed development will provide an additional single-family detached neighborhood within the City of Mesa and add a new housing type close to the desirable Lehi area. Price Manor Phase II is a well-conceived extension of Phase I and is consistent with the vision established by the City of Mesa 2050 General Plan. The applicant and property owner look forward to working with the City of Mesa to create this quality single-family home subdivision.

PRICE MANOR II - CENTER STREET

project consultants

owner:

BRIGHTON BROKERAGE & DEVELOPMENT, LLC
753 NORTH 39th CIRCLE
MESA, ARIZONA 85205
CONTACT: JAREN SWEENEY
PHONE: 602.679.3942
EMAIL: jaren@brightonhomesaz.com

civil engineering:

D&M ENGINEERING
1020 EAST GILBERT DRIVE, SUITE D
GILBERT, ARIZONA 850281
CONTACT: DURAN THOMPSON
PHONE: 480.350.9590
EMAIL: duran.thompson@dmengineer.com

landscape architecture:

DESIGN ETHIC, LLC
7525 EAST 6th AVENUE
SCOTTSDALE, ARIZONA 85251
PROJECT CONTACT: BRANDON PAUL
PHONE: 480.225.7077
EMAIL: bpaul@designethic.com

site data

GROSS AREA:6.67 AC. (290,638 S.F.)

PROPOSED LOTS:41
EXISTING ZONING:RS-9 PAD
PROPOSED ZONING:RSL-4.5 WITH PAD OVERLAY

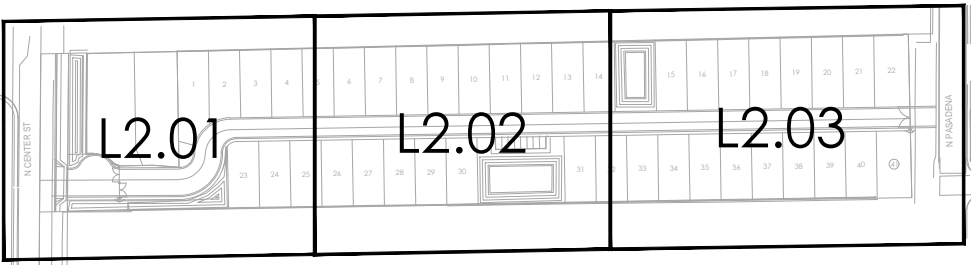
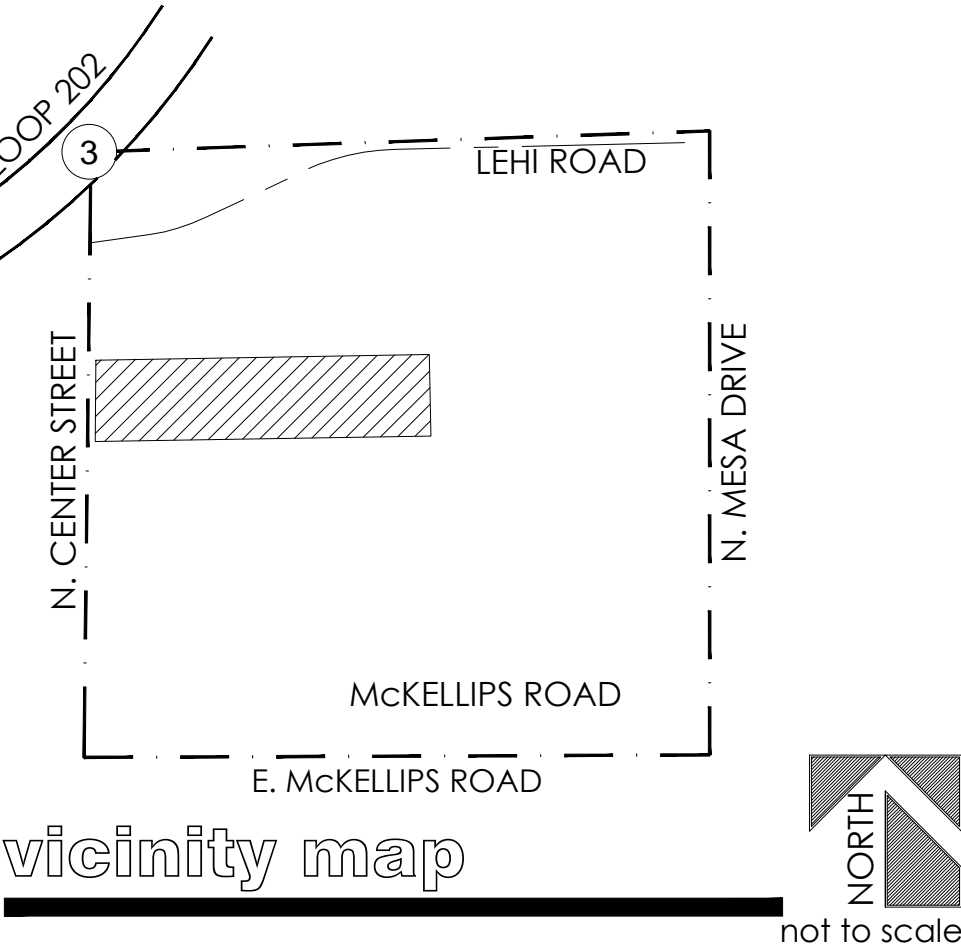
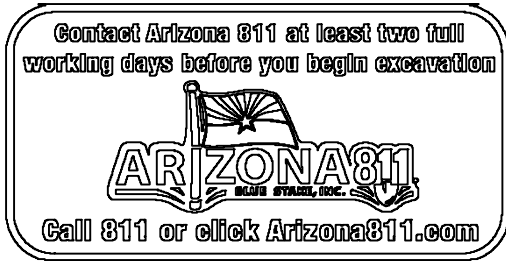
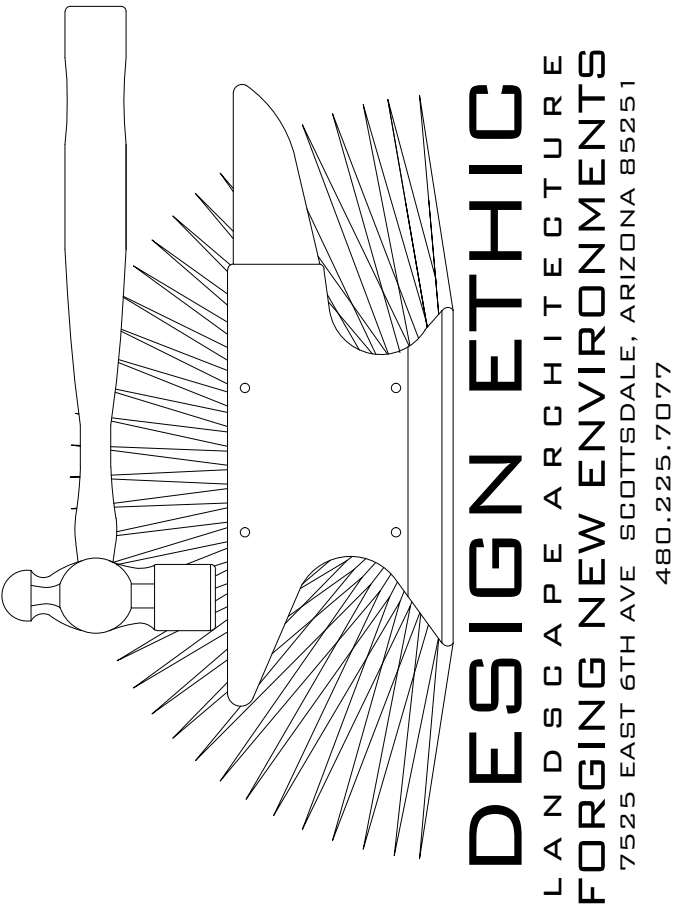
LANDSCAPE AREA PROVIDED:32,368 S.F.

sheet index

SHEET	TITLE
L0.01	COVER SHEET & NOTES
L1.01	ENTRY HARDSCAPE PLAN
L2.00	OVERALL PLANTING PLAN
L2.01 - L2.03	PLANTING PLAN
L4.01 - L4.03	WALL PLAN & DETAILS
L5.01 - L5.02	AMENITY PLAN & DETAILS

city of mesa notes

- ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY IS IN CONFORMANCE WITH THE LOW WATER USE PLANT LIST PROVIDED BY THE ARIZONA DEPT. OF WATER RESOURCES.
- ALL LANDSCAPING INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED BY OWNER/OR LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- TREE HEIGHTS & CALIPERS WILL COMPLY WITH "ARIZONA NURSERY ASSOCIATION SPECIFICATIONS" FOR THAT TYPE & SIZE OF TREE.
- ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'.
- ALL BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF OF THE BACKFLOW PREVENTER. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN.



key map



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

COVER SHEET & NOTES

PROJECT:

SHEET TITLE:

JOB NO:25-025

DATE:

DRAWN BY:B. PAUL

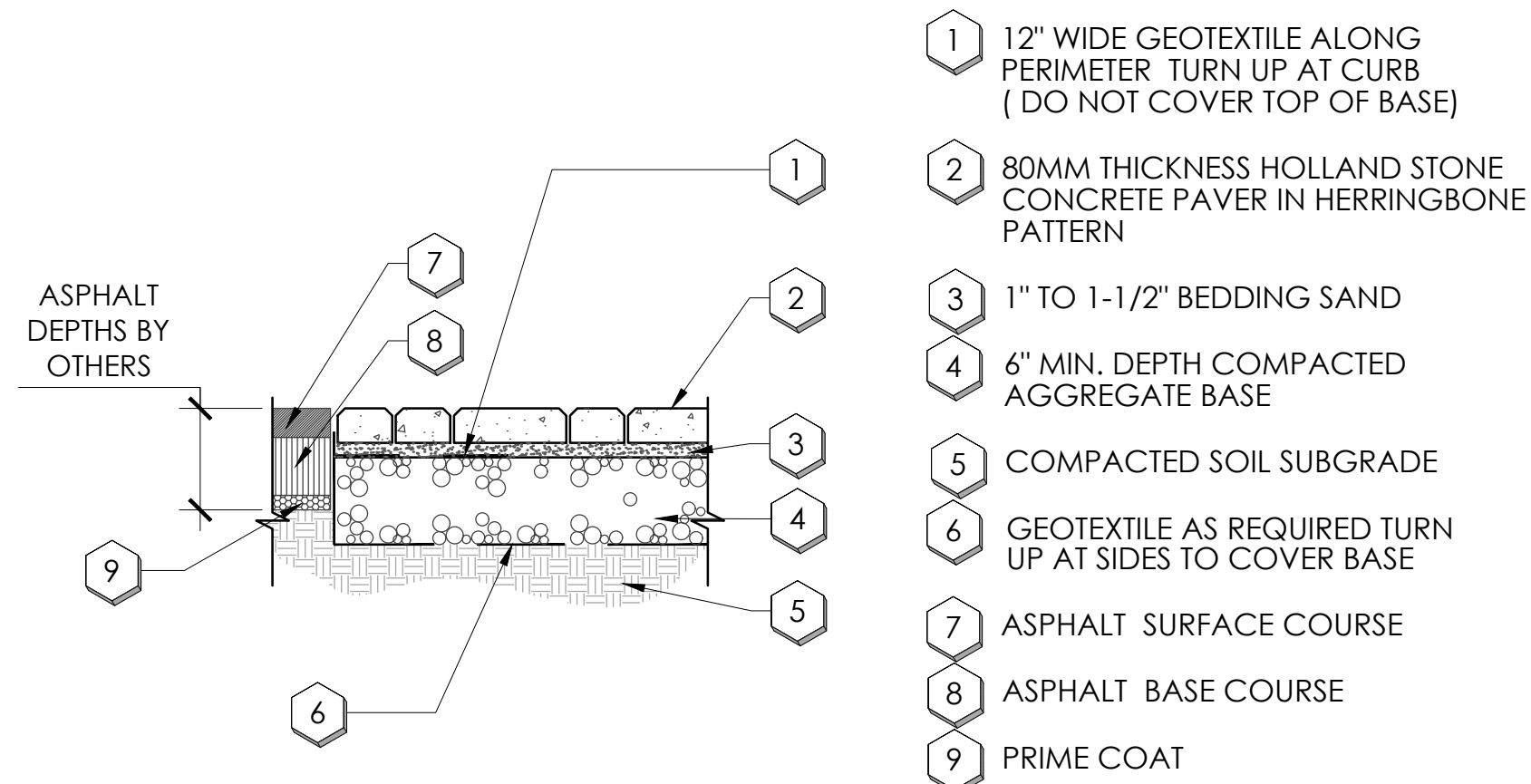
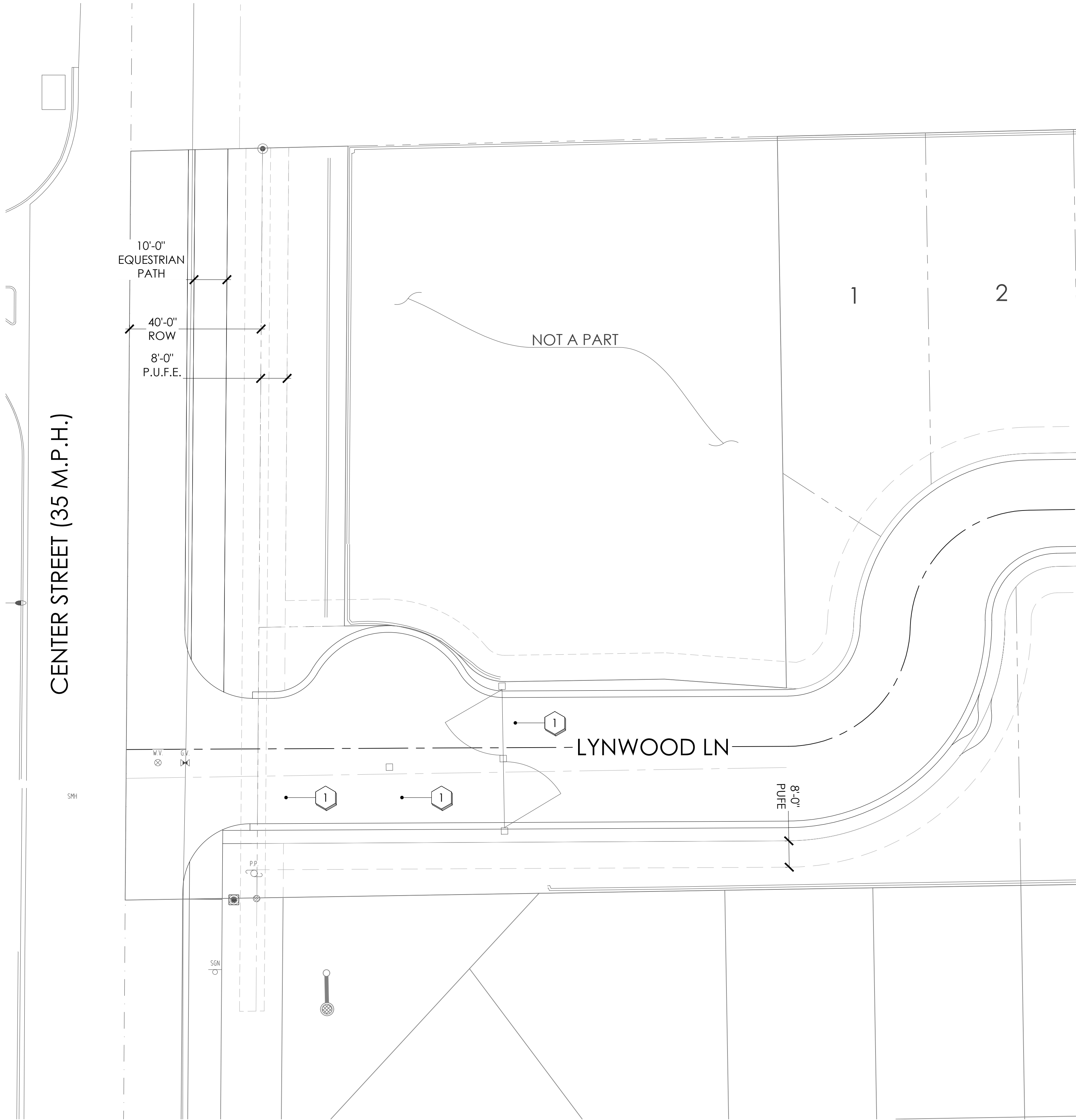
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REVISED:

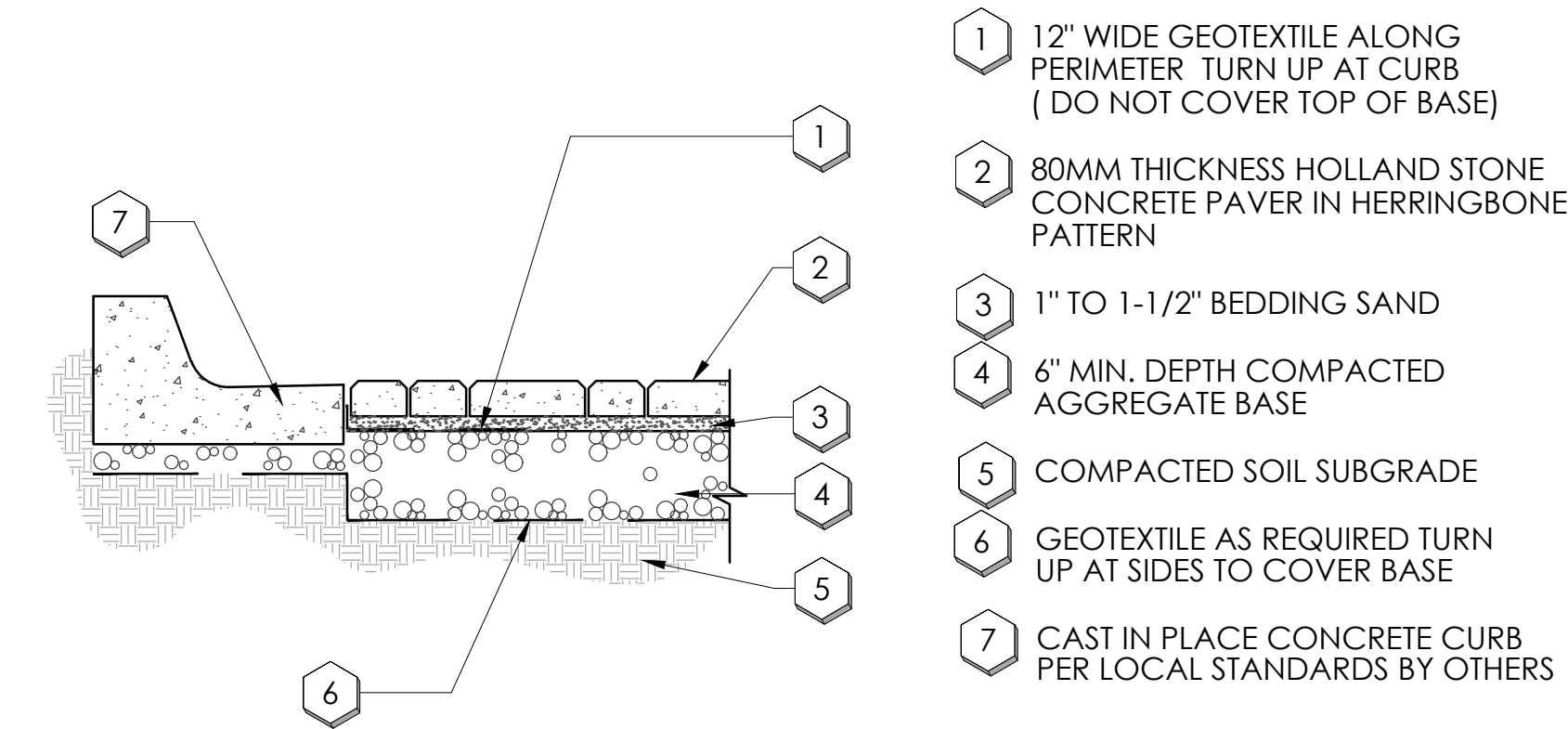
SHEET

L0.01

1 of 11



A CONCRETE PAVER ADJACENT TO ASPHALT
CONTRACTOR TO SUBMIT PAVER SAMPLES TO OWNERS REP FOR APPROVAL PRIOR TO INSTALLATION
SCALE: 1" = 1'-0"



B CONCRETE PAVER ADJACENT TO CONCRETE CURB
CONTRACTOR TO SUBMIT PAVER SAMPLES TO OWNERS REP FOR APPROVAL PRIOR TO INSTALLATION
SCALE: 1" = 1'-0"

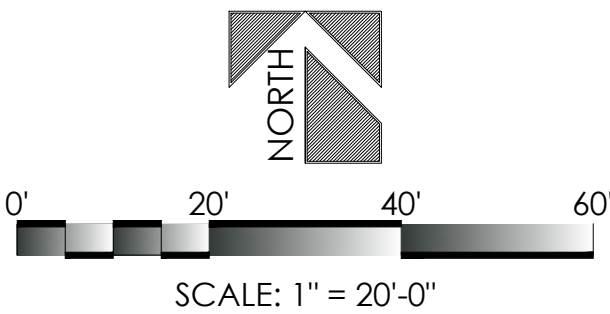
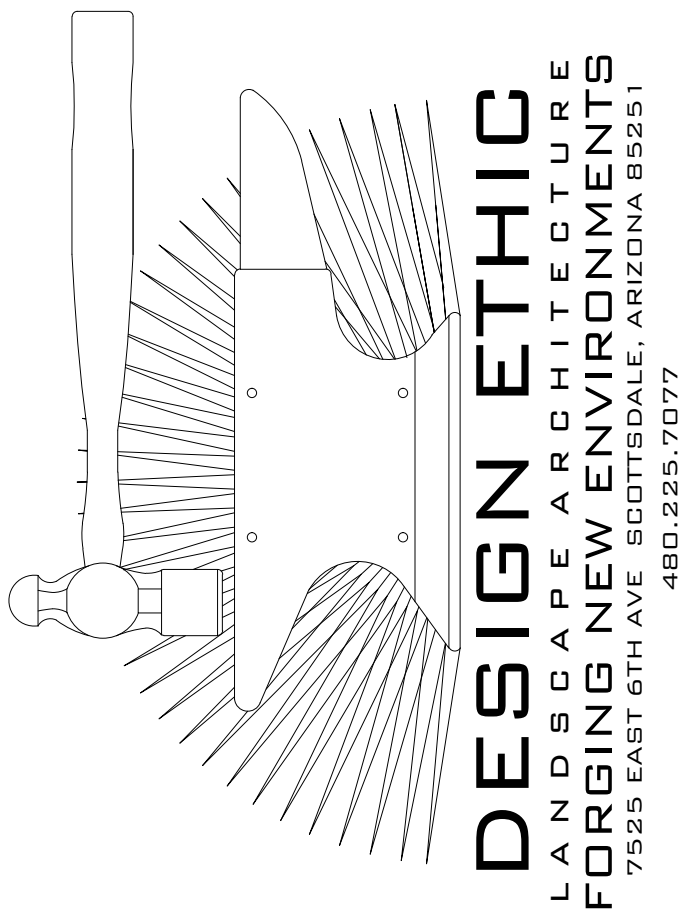


RIO BLEND

hardscape keynotes

- 1 BELGARD HOLLANDSTONE PAVERS (TYP.)
RIO BLEND
SEE DETAILS 'A' & 'B' ON THIS SHEET.
QTY: 1,704 S.F.

NOTE: PAVERS TO BE OUTSIDE RIGHT-OF-WAY



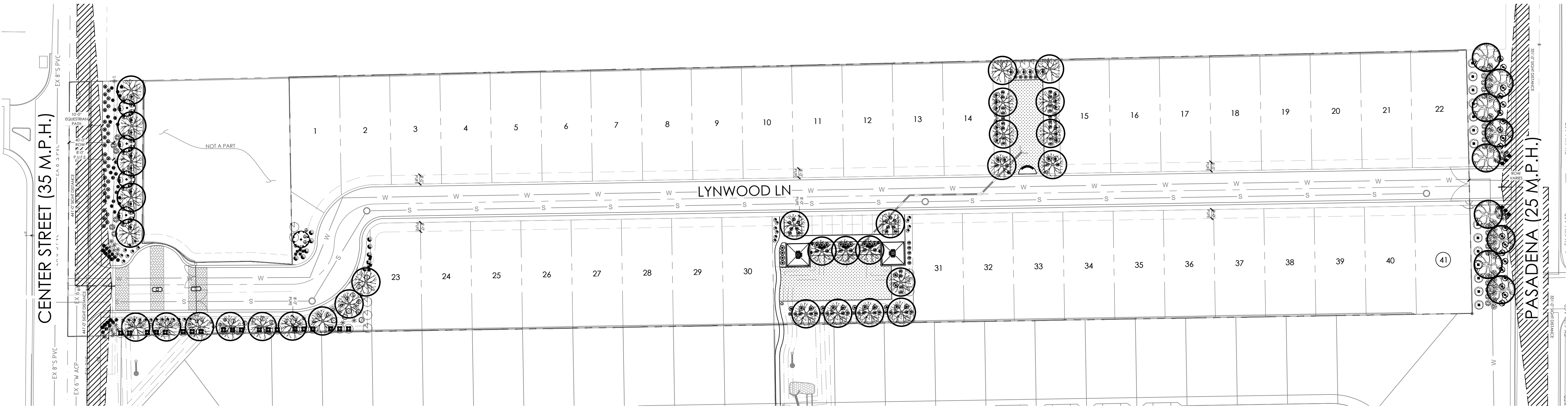
PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201
ENTRY HARDSCAPE PLAN

PROJECT:

SHEET TITLE:

JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:

SHEET
L1.01



city of mesa landscape data

ZONING: R1-9 PAD
NET SITE AREA: 6.67 AC (290,638 S.F.)

TOTAL R.O.W.: 9566 S.F.
TOTAL FRONTAGE: 383 L.F.
TOTAL ON-SITE LANDSCAPE: 26,496 S.F.
PERCENTAGE OF LANDSCAPE: 9.11 %

OVERALL:
TREES PROVIDED FOR ENTIRE SITE: 49 TREES
36" BOX TREES REQUIRED: 13 TREES
(25% OF TREES REQUIRED FOR ENTIRE SITE)
36" BOX TREES PROVIDED: 13 TREES

STREET FRONTAGE - 520 LINEAR FEET:
TREES REQUIRED: 16
(1 PER 25' OF STREET FRONTAGE - 383 / 25 = 16)
TREES PROVIDED: 21
24" BOX TREES REQUIRED: 12
(50% OF TREES REQUIRED)
24" BOX TREES PROVIDED: 17
36" BOX TREES REQUIRED: 4
(25% OF TREES REQUIRED)
36" BOX TREES PROVIDED: 4

SHRUBS REQUIRED: 96
(6 PER 25' OF STREET FRONTAGE)
SHRUBS PROVIDED: 159

city of mesa vegetation credit table

	CREDIT (S.F.)	QTY ON PLAN	TOTAL CREDIT (S.F.)
EVERGREEN TREE: (MIN. 25'-0" TALL AT MATURITY)	100	40	4,000
SHADE TREE: (MIN. 25'-0" TALL AT MATURITY)	50	9	450
LARGE SHRUB: (MIN. 8'-0" TALL AT MATURITY)	50	82	4,100
MEDIUM SHRUB: (4'-0" - 8'-0" TALL AT MATURITY)	25	146	3,650
SMALL SHRUB: (UNDER 4'-0" TALL AT MATURITY)	10	177	1,770
EVERGREEN GROUNDCOVER:	25	92	2,300
TOTAL VEGETATION CREDIT (S.F.)			16,270
TOTAL OPEN SPACE (S.F.)			26,399
VEGETATION COVERAGE (%)			61.6%

plant legend

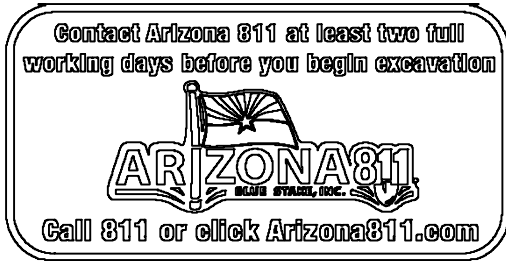
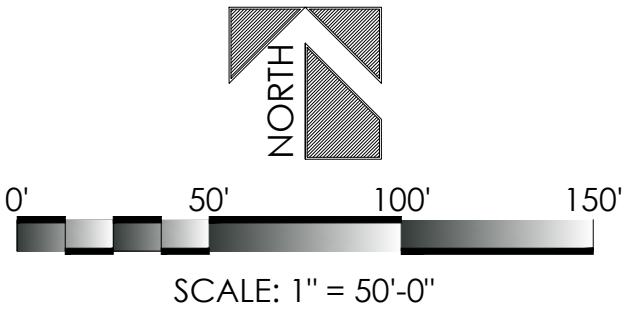
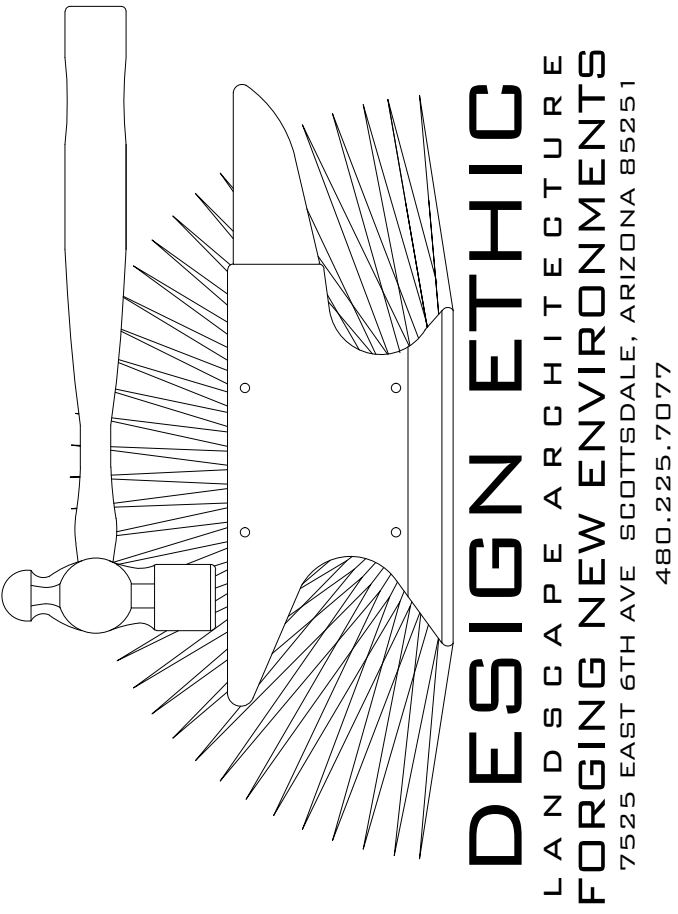
	botanical name common name	emitters	size	qty	comments	mature tree canopy
evergreen trees						
	ACACIA ANEURA MULGA	(5 @ 1.0 GPH)	24" BOX 36" BOX	6 2	6.0H., 2.0W., .75 CAL. 7.0H., 4.0W., 1.5 CAL. STAKE IN PLACE	8 TREES - 15' MATURE WIDTH 177 S.F. CANOPY 1,414 S.F. COVERAGE
	TIPUANA TIPU TIPU TREE	(6 @ 2.0 GPH)	24" BOX 36" BOX	25 7	7.0H., 3.0W., 1.0 CAL. 9.0H., 5.0W., 1.75 CAL. STAKE IN PLACE	32 TREES - 25' MATURE WIDTH 491 S.F. CANOPY 15,708 S.F. COVERAGE
shade trees						
	PROSOPIS CHILENSIS 'THORNLESS' THORNLESS CHILEAN MESQUITE	(5 @ 1.0 GPH)	24" BOX 36" BOX	5 4	5.0H., 6.0W., 1.25 CAL. 8.0H., 7.0W., 1.75 CAL. STAKE IN PLACE	9 TREES - 25' MATURE WIDTH 491 S.F. CANOPY 4,418 S.F. COVERAGE TOTAL CANOPY COVERAGE 20,126 S.F. 7.41% OF SITE
large shrubs						
	HESPERALOE FUNIFERA GIANT HESPERALOE	(1 @ 1.0 GPH)	5 GAL.	20		
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	(1 @ 1.0 GPH)	5 GAL.	14		
	TECOMA ALATA ORANGE JUBILEE	(1 @ 1.0 GPH)	5 GAL.	20		
	TECOMA STANS 'GOLD STAR' 'GOLD STAR' 'YELLOW BELLS'	(1 @ 1.0 GPH)	5 GAL.	28		
medium shrubs						
	BOUGAINVILLEA 'LA JOLLA' LA JOLLA BOUGAINVILLEA	(1 @ 1.0 GPH)	5 GAL.	12		
	DASYLIRION WHEELERI DESERT SPOON	(1 @ 1.0 GPH)	5 GAL.	26		
	HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA	(1 @ 1.0 GPH)	5 GAL.	15		
	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY' 'LYNN'S LEGACY' LEUCOPHYLLUM	(1 @ 1.0 GPH)	5 GAL.	54		
	RUELLIA PENINSULARIS BAJA RUELLIA	(1 @ 1.0 GPH)	5 GAL.	10		
	MUHLENBERGIA LINDHEIMERI AUTUMN GLOW	(1 @ 1.0 GPH)	5 GAL.	24		
	MUHLENBERGIA RIGENS DEER GRASS	(1 @ 1.0 GPH)	5 GAL.	5		

	botanical name common name	emitters	size	qty	comments
small shrubs					
	ASCLEPIAS SUBULATA DESERT MILKWEED	(1 @ 1.0 GPH)	5 GAL.	19	
	EREMOPHILA GLABRA SP. CARNOSA 'WINTER BLAZE' WINTER BLAZE EREMOPHILA	(1 @ 1.0 GPH)	5 GAL.	10	
	HESPERALOE PARVIFLORA RED YUCCA	(1 @ 1.0 GPH)	5 GAL.	12	
	MUHLENBERGIA CAPILLARIS 'PINK MUHLY' REGAL MIST	(1 @ 1.0 GPH)	5 GAL.	31	
	RUELLIA BRITTONIANA MEXICAN PETUNIA	(1 @ 1.0 GPH)	5 GAL.	70	
	YUCCA RUPICOLA TWISTED LEAF YUCCA	(1 @ 1.0 GPH)	5 GAL.	21	
	YUCCA PALLIDA PALE LEAF YUCCA	(1 @ 1.0 GPH)	5 GAL.	14	
evergreen groundcovers					
	EREMOPHILA GLABRA 'MINGENEW GOLD' OUTBACK SUNRISE EMU	(1 @ 1.0 GPH)	5 GAL.	20	
	LANTANA 'DALLAS RED' RED LANTANA	(1 @ 1.0 GPH)	1 GAL.	14	
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	(1 @ 1.0 GPH)	1 GAL.	31	
	SPHAGNETICOLA TRILOBATA YELLOW DOT	(1 @ 1.0 GPH)	1 GAL.	27	
inerts					
	DECOMPOSED GRANITE ROCK PROS - CARMEL		3/4" SCRND	26,399 S.F.	2" MINIMUM DEPTH IN ALL PLANTERS
	LIVE TURF MIDIRON SOD - HYBRID BERMUDA.			6,042 S.F.	
	CONCRETE HEADER EXTRUDED CONCRETE		4" x 6"	398 L.F.	

s.v.t. calculations

NORTH CENTER STREET
DESIGN SPEED: 40 MPH
THROUGH ROAD CROSS SECTION: 2 L.U.
REQUIRED SIGHT DISTANCE: 441'-0"

NORTH PASADENA
DESIGN SPEED: 30 MPH
THROUGH ROAD CROSS SECTION: 2 L.U.
REQUIRED SIGHT DISTANCE: 331'-0"



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

OVERALL PLANTING PLAN

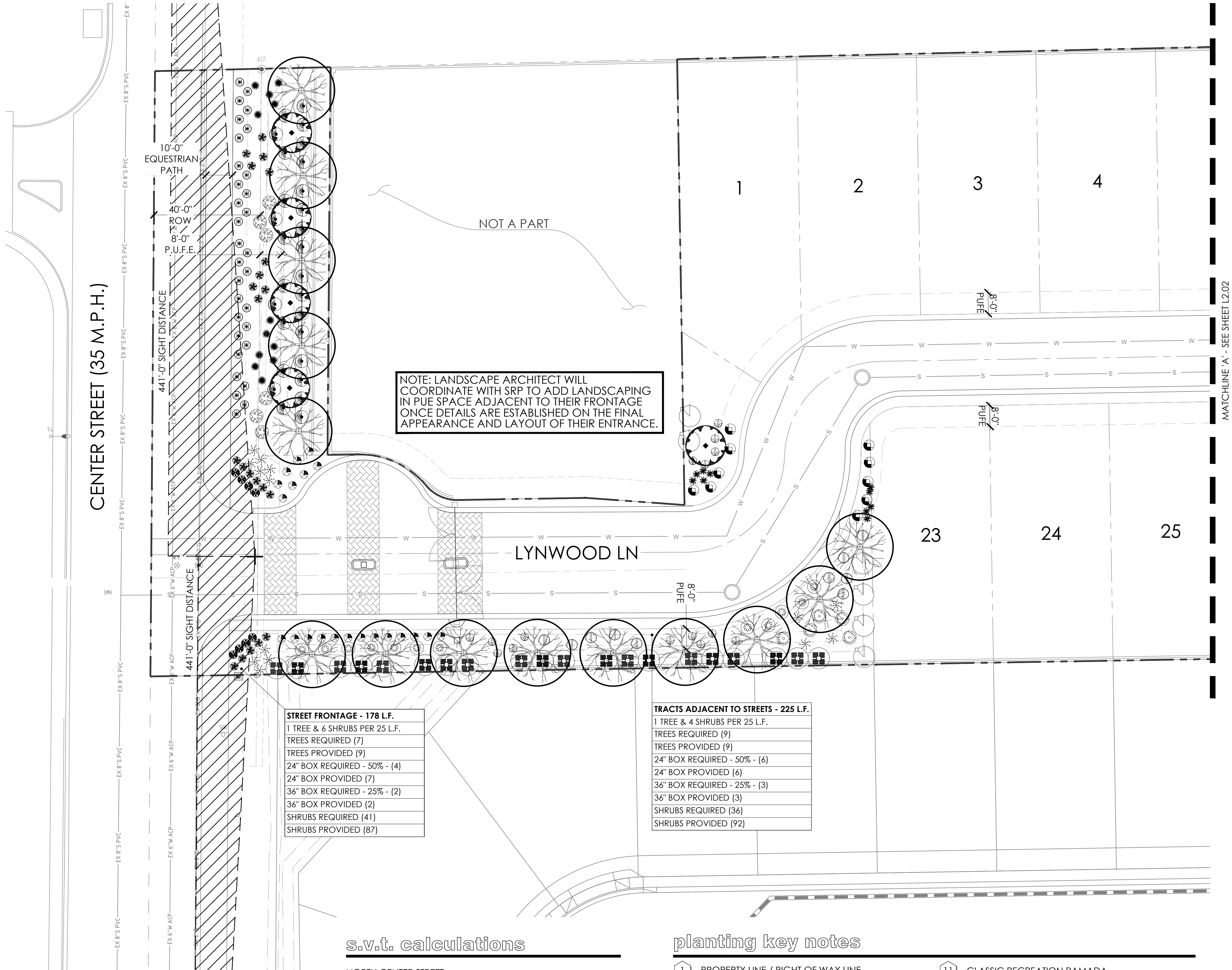
PROJECT:

SHEET TITLE:

JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:

SHEET

L2.00



plant legend

botanical name
common name

evergreen trees

- ACACIA ANEURA
MULGA
- TIPUANA TIPU
TIPU TREE

shade trees

- PROSOPIS CHILENSIS
'THORNLESS'
THORNLESS CHILEAN MESQUITE

large shrubs

- HESPERALOE FUNIFERA
GIANT HESPERALOE
- LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
GREEN CLOUD SAGE
- TECOMA ALATA
ORANGE JUBILEE
- TECOMA STANS 'GOLD STAR'
'GOLD STAR' YELLOW BELLS

medium shrubs

- BOUGAINVILLEA 'LA JOLLA'
LA JOLLA BOUGAINVILLEA
- DASYLIRION WHEELERI
DESERT SPOON
- HESPERALOE PARVIFLORA
'YELLOW'
YELLOW YUCCA
- LEUCOPHYLLUM LANGMANIAE
'LYNN'S LEGACY'
'LYNN'S LEGACY' LEUCOPHYLLUM
- RUPELLIA PENINSULARIS
BAJA RUPELLIA
- MUHLENBERGIA LINDHEIMERI
AUTUMN GLOW
- MUHLENBERGIA RIGENS
DEER GRASS

small shrubs

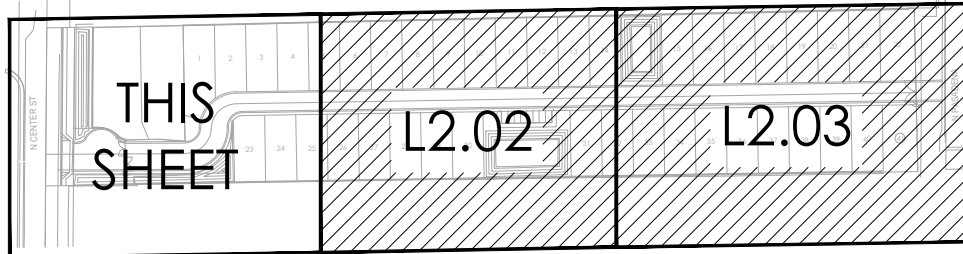
- ASCLEPIAS SUBULATA
DESERT MILKWEED
- EREMOPHILA GLABRA SP.
CARNOSA 'WINTER BLAZE'
WINTER BLAZE EREMOPHILA
- HESPERALOE PARVIFLORA
RED YUCCA
- MUHLENBERGIA CAPILLARIS
'PINK MUHLI'
REGAL MIST
- RUPELLIA BRITTONIANA
MEXICAN PETUNIA
- YUCCA RUPICOLA
TWISTED LEAF YUCCA
- YUCCA PALLIDA
PALE LEAF YUCCA

evergreen groundcovers

- EREMOPHILA GLABRA
'MINGENOW GOLD'
OUTBACK SUNRISE EMO
- LANTANA 'DALLAS RED'
RED LANTANA
- LANTANA 'NEW GOLD'
NEW GOLD LANTANA
- SPHAGNETICOLA TRILOBATA
YELLOW DOT

inerts

- DECOMPOSED GRANITE
ROCK PROS - CARMEL
- LIVE TURF
MIDIRON SOD - HYBRID BERMUDA.
- CONCRETE HEADER
EXTRUDED CONCRETE



key map

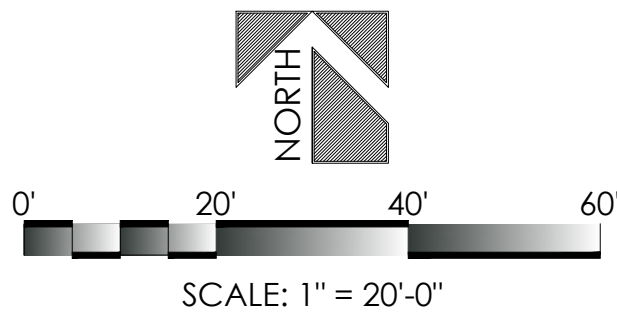
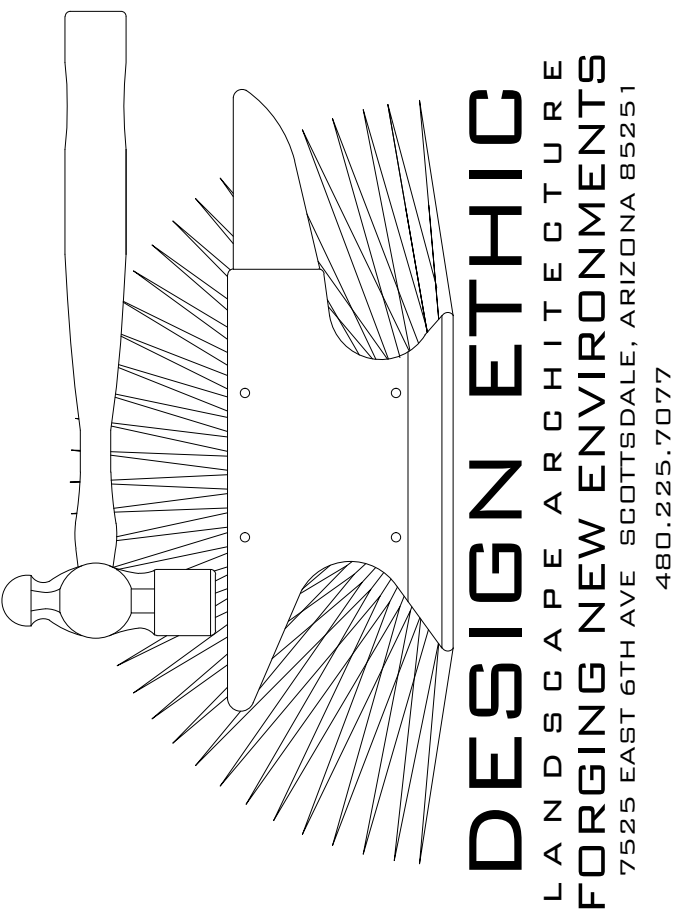


s.v.t. calculations

NORTH CENTER STREET	
DESIGN SPEED:	40 MPH
THROUGH ROAD CROSS SECTION:	2 L.U.
REQUIRED SIGHT DISTANCE:	441'-0"
NORTH PASADENA	
DESIGN SPEED:	30 MPH
THROUGH ROAD CROSS SECTION:	2 L.U.
REQUIRED SIGHT DISTANCE:	331'-0"

planting key notes

- PROPERTY LINE / RIGHT OF WAY LINE
 - DECOMPOSED GRANITE IN ALL PLANTING AREAS
 - SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
 - 4'-0" SIDEWALK. SEE CIVIL ENG. PLANS.
 - 10'-0" EQUESTRIAN PATH. SEE CIVIL ENG. PLANS.
 - CURB. SEE CIVIL ENG. PLANS.
 - EXISTING DRAINAGE CHANNEL.
 - STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
 - EXISTING 6'-0" CMU WALL TO REMAIN.
 - LIVE TURF MIDIRON SOD - HYBRID BERMUDA.
 - CLASSIC RECREATION RAMADA
SEE SHEET L5.02 - DETAIL 'A'
 - CONCRETE PAVERS
SEE SHEET L1.01 - DETAILS 'A' & 'B'
 - MAIN ENTRY GATES AND PILASTERS
SEE SHEET L4.02 - DETAIL 'A'
 - CRASH GATES AND PILASTERS
SEE SHEET L4.02 - DETAIL 'B'
 - WROUGHT IRON FENCE
SEE SHEET L4.03 - DETAIL 'E'
 - CMU SEAT WALL
SEE SHEET L5.02 - DETAIL 'F'
 - 4" CONCRETE HEADER
 - OVER HEAD ELECTRIC LINE (O.H.E.)
- NOTE: NOT ALL KEYNOTES USED ON THIS SHEET.



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

PLANTING PLAN

PROJECT:

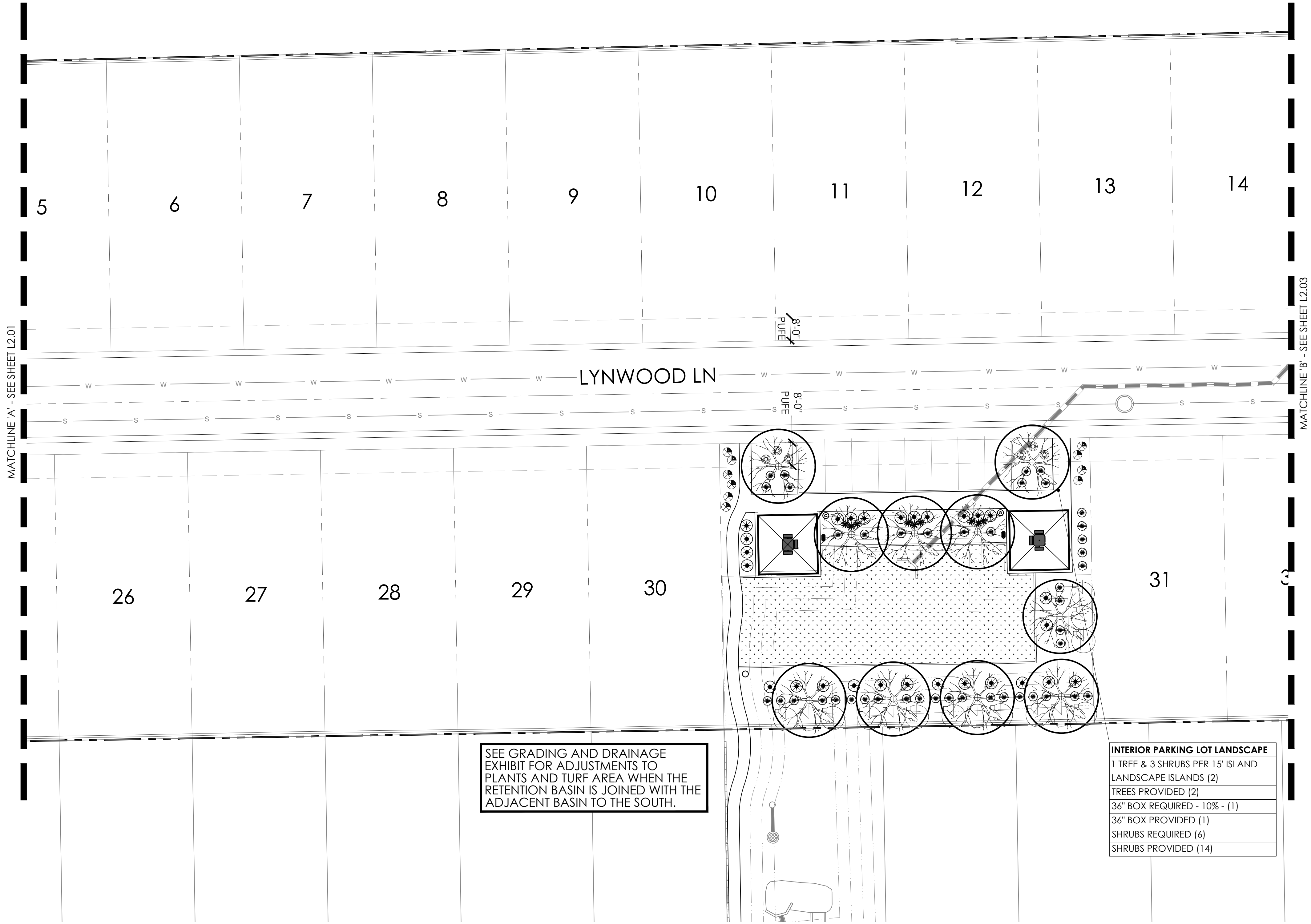
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SHEET

L2.01

4 of 11



planting key notes

- 1

PROPERTY LINE / RIGHT OF WAY LINE
- 2

DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3

SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4

4'-0" SIDEWALK. SEE CIVIL ENG. PLANS.
- 5

10'-0" EQUESTRIAN PATH. SEE CIVIL ENG. PLANS.
- 6

CURB. SEE CIVIL ENG. PLANS.
- 7

EXISTING DRAINAGE CHANNEL.
- 8

STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
- 9

EXISTING 6'-0" CMU WALL TO REMAIN.
- 10

LIVE TURF MIDIRON SOD - HYBRID BERMUDA.
- 11

CLASSIC RECREATION RAMADA
SEE SHEET L5.02 - DETAIL 'A'
- 12

CONCRETE PAVERS
SEE SHEET L1.01 - DETAILS 'A' & 'B'
- 13

MAIN ENTRY GATES AND PILASTERS
SEE SHEET L4.02 - DETAIL 'A'
- 14

CRASH GATES AND PILASTERS
SEE SHEET L4.02 - DETAIL 'B'
- 15

WROUGHT IRON FENCE
SEE SHEET L4.03 - DETAIL 'E'
- 16

CMU SEAT WALL
SEE SHEET L5.02 - DETAIL 'F'
- 17

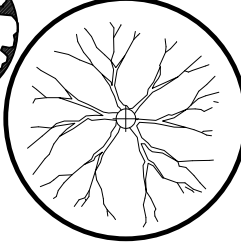

4" CONCRETE HEADER
- 18

OVER HEAD ELECTRIC LINE (O.H.E.)
- NOTE: NOT ALL KEYNOTES USED ON THIS SHEET.

plant legend

botanical name
common name





evergreen trees

- 
- ACACIA ANEURA
MULGA
- TIPUANA TIPU
TIPU TREE








shade trees

- 
- PROSOPIS CHILENSIS
'THORNLESS'
THORNLESS CHILEAN MESQUITE

large shrubs

- 
- HESPERALOE FUNIFERA
GIANT HESPERALOE
- LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
GREEN CLOUD SAGE
- TECOMA ALATA
ORANGE JUBILEE
- TECOMA STANS 'GOLD STAR'
'GOLD STAR' YELLOW BELLS





medium shrubs

- 
- BOUGAINVILLEA 'LA JOLLA'
LA JOLLA BOUGAINVILLEA
- DASYLIIRION WHEELERI
DESERT SPOON
- HESPERALOE PARVIFLORA
'YELLOW'
YELLOW YUCCA
- LEUCOPHYLLUM LANGMANIAE
'LYNN'S LEGACY'
'LYNN'S LEGACY' LEUCOPHYLLUM
- RUELLIA PENINSULARIS
BAJA RUELLIA
- MUHLENBERGIA LINDHEIMERI
AUTUMN GLOW
- MUHLENBERGIA RIGENS
DEER GRASS

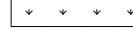
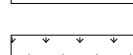
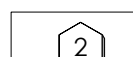
small shrubs

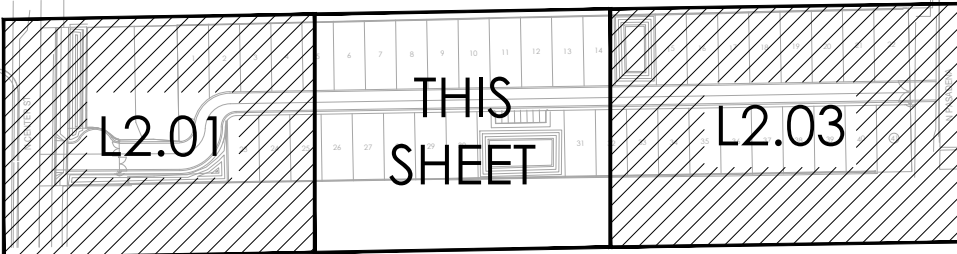
- 
- ASCLEPIAS SUBULATA
DESERT MILKWEED
- EREMOPHILA GLABRA SP.
CARNOSA 'WINTER BLAZE'
WINTER BLAZE EREMOPHILA
- HESPERALOE PARVIFLORA
RED YUCCA
- MUHLENBERGIA CAPILLARIS
'PINK MUHLY'
REGAL MIST
- RUELLIA BRITTONIANA
MEXICAN PETUNIA
- YUCCA RUPICOLA
TWISTED LEAF YUCCA
- YUCCA PALLIDA
PALE LEAF YUCCA

evergreen groundcovers

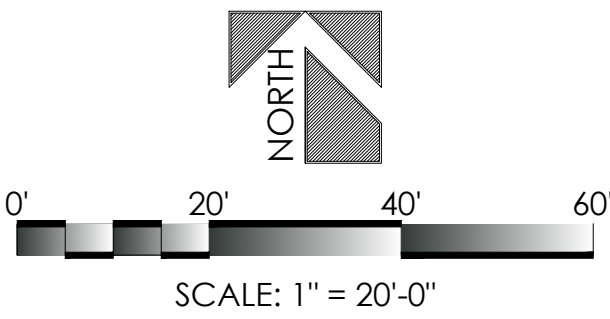
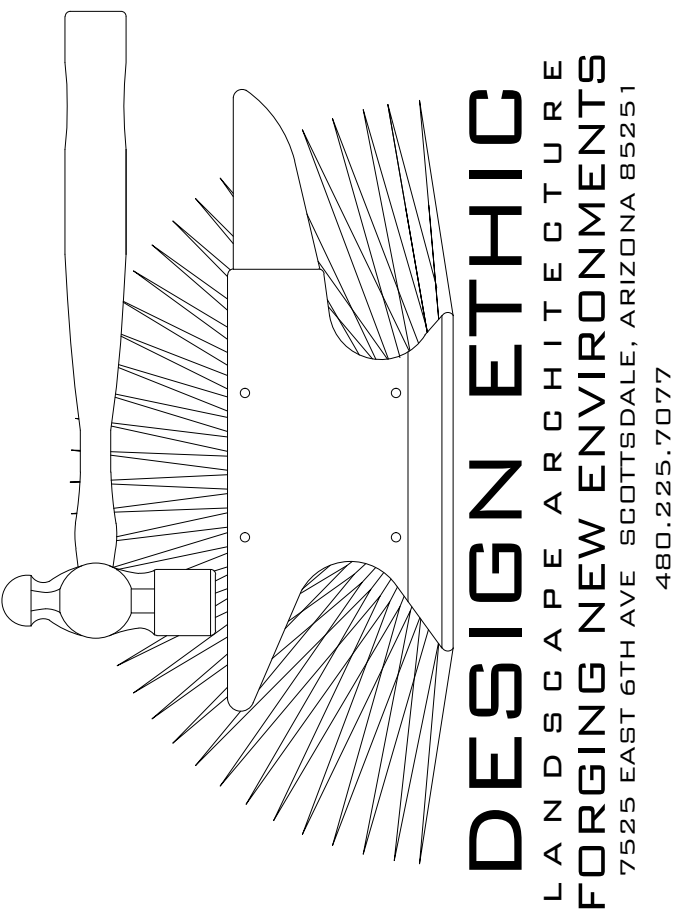
- 
- EREMOPHILA GLABRA
'MINGENEW GOLD'
OUTBACK SUNRISE ÉMU
- LANTANA 'DALLAS RED'
RED LANTANA
- LANTANA 'NEW GOLD'
NEW GOLD LANTANA
- SPHAGNETICOLA TRILOBATA
YELLOW DOT

inerts

- 
- DECOMPOSED GRANITE
ROCK PROS - CARMEL
- LIVE TURF
MIDIRON SOD - HYBRID BERMUDA.
- CONCRETE HEADER
EXTRUDED CONCRETE



key map



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

PLANTING PLAN

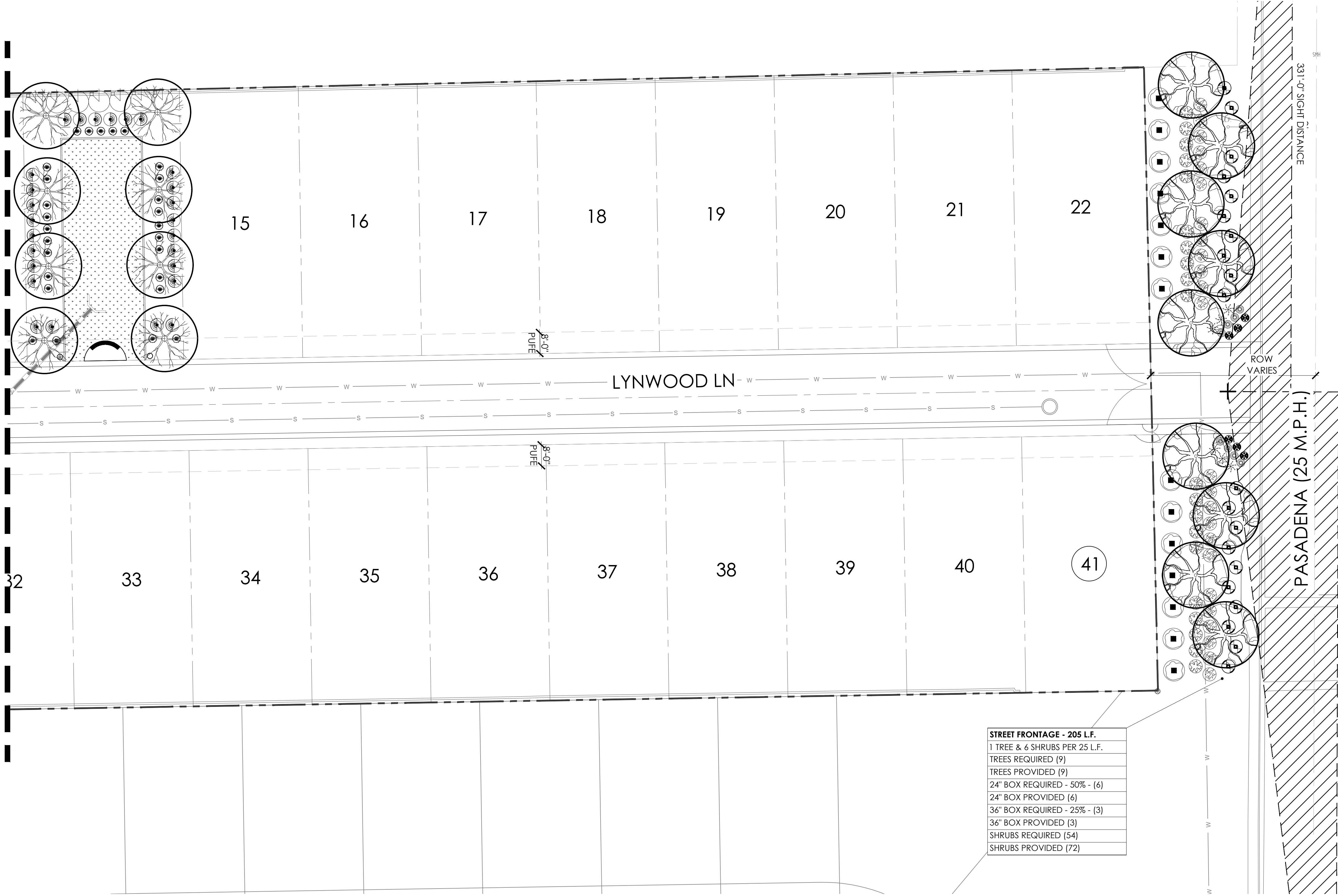
PROJECT:

SHEET TITLE:

JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:

SHEET
L2.02
5 of 11

MATCHLINE 'B' - SEE SHEET L2.02



plant legend

botanical name
common name

evergreen trees

- ACACIA ANEURA
MULGA
- TIPUANA TIPU
TIPU TREE

shade trees

- PROSOPIS CHILENSIS
'THORNLESS'
THORNLESS CHILEAN MESQUITE

large shrubs

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GIANT HESPERALOE
- LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
GREEN CLOUD SAGE
- TECOMA ALATA
ORANGE JUBILEE
- TECOMA STANS 'GOLD STAR'
'GOLD STAR' YELLOW BELLS

medium shrubs

- BOUGAINVILLEA 'LA JOLLA'
LA JOLLA BOUGAINVILLEA
- DASYLIRION WHEELERI
DESERT SPOON
- HESPERALOE PARVIFLORA
'YELLOW'
YELLOW YUCCA
- LEUCOPHYLLUM LANGMANIAE
'LYNN'S LEGACY'
'LYNN'S LEGACY' LEUCOPHYLLUM
- RUELLIA PENINSULARIS
BAJA RUELLIA
- MUHLENBERGIA LINDHEIMERI
AUTUMN GLOW
- MUHLENBERGIA RIGENS
DEER GRASS

small shrubs

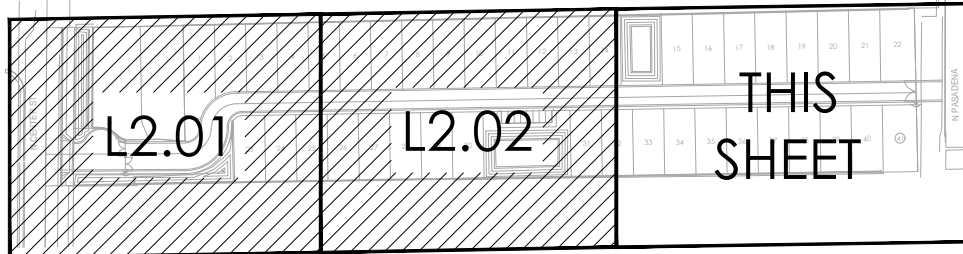
- ASCLEPIAS SUBULATA
DESERT MILKWEEED
- EREMOPHILA GLABRA SP.
CARNOSA 'WINTER BLAZE'
WINTER BLAZE EREMOPHILA
- HESPERALOE PARVIFLORA
RED YUCCA
- MUHLENBERGIA CAPILLARIS
'PINK MUHLY'
REGAL MIST
- RUELLIA BRITTONIANA
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- YUCCA RUPICOLA
TWISTED LEAF YUCCA
- YUCCA PALLIDA
PALE LEAF YUCCA

evergreen groundcovers

- EREMOPHILA GLABRA
'MINGENEW GOLD'
OUTBACK SUNRISE EMO
- LANTANA 'DALLAS RED'
RED LANTANA
- LANTANA 'NEW GOLD'
NEW GOLD LANTANA
- SPHAGNETICOLA TRILOBATA
YELLOW DOT

inerts

- DECOMPOSED GRANITE
ROCK PROS - CARMEL
- LIVE TURF
MIDIRON SOD - HYBRID BERMUDA.
- CONCRETE HEADER
EXTRUDED CONCRETE



key map



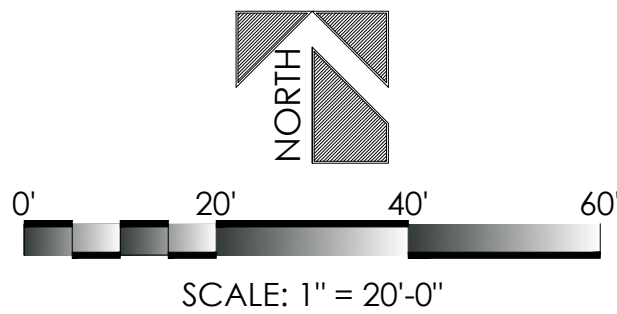
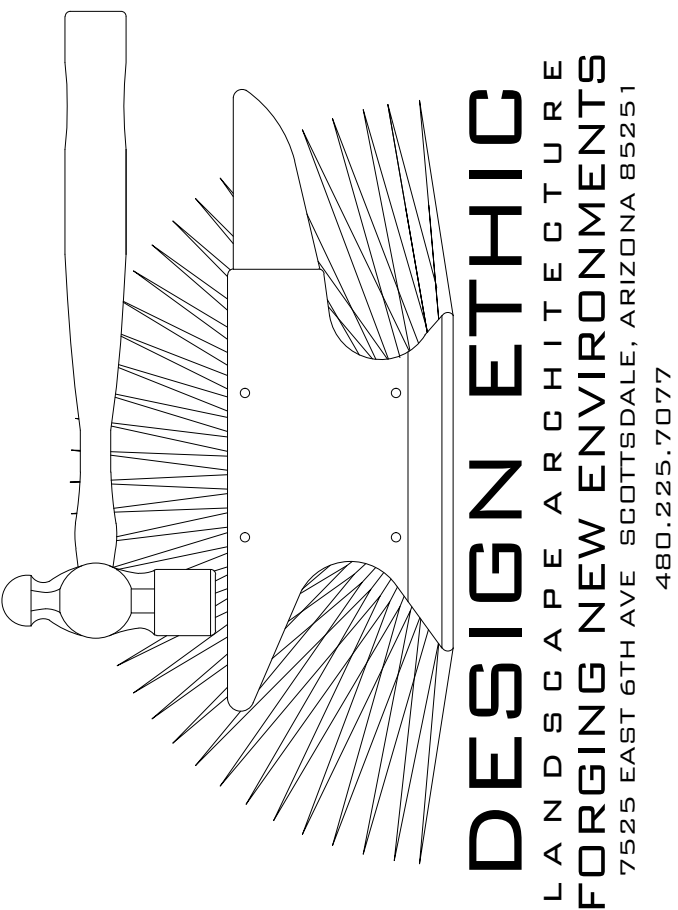
not to scale

s.v.t. calculations

NORTH CENTER STREET	
DESIGN SPEED:	40 MPH
THROUGH ROAD CROSS SECTION:	2 L.U.
REQUIRED SIGHT DISTANCE:	441'-0"
NORTH PASADENA	
DESIGN SPEED:	30 MPH
THROUGH ROAD CROSS SECTION:	2 L.U.
REQUIRED SIGHT DISTANCE:	331'-0"

planting key notes

- PROPERTY LINE / RIGHT OF WAY LINE
 - DECOMPOSED GRANITE IN ALL PLANTING AREAS
 - SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
 - 4'-0" SIDEWALK. SEE CIVIL ENG. PLANS.
 - 10'-0" EQUESTRIAN PATH. SEE CIVIL ENG. PLANS.
 - CURB. SEE CIVIL ENG. PLANS.
 - EXISTING DRAINAGE CHANNEL.
 - STORMWATER RETENTION. SEE CIVIL ENG. PLANS.
 - EXISTING 6'-0" CMU WALL TO REMAIN.
 - LIVE TURF MIDIRON SOD - HYBRID BERMUDA.
 - CLASSIC RECREATION RAMADA
SEE SHEET L5.02 - DETAIL 'A'
 - CONCRETE PAVERS
SEE SHEET L1.01 - DETAILS 'A' & 'B'
 - MAIN ENTRY GATES AND PILASTERS
SEE SHEET L4.02 - DETAIL 'A'
 - CRASH GATES AND PILASTERS
SEE SHEET L4.02 - DETAIL 'B'
 - WROUGHT IRON FENCE
SEE SHEET L4.03 - DETAIL 'E'
 - CMU SEAT WALL
SEE SHEET L5.02 - DETAIL 'F'
 - 4" CONCRETE HEADER
 - OVER HEAD ELECTRIC LINE (O.H.E.)
- NOTE: NOT ALL KEYNOTES USED ON THIS SHEET.



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

PLANTING PLAN

PROJECT:

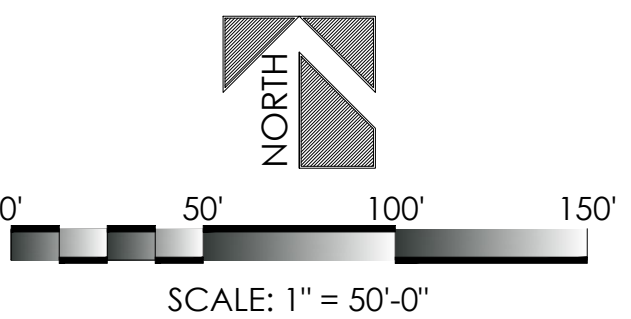
SHEET TITLE:

JOB NO:	25-025
DATE:	
DRAWN BY:	B. PAUL
SUBMITTED:	06.16.2025
REVISED:	

SHEET

L2.03

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PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

WALL PLAN

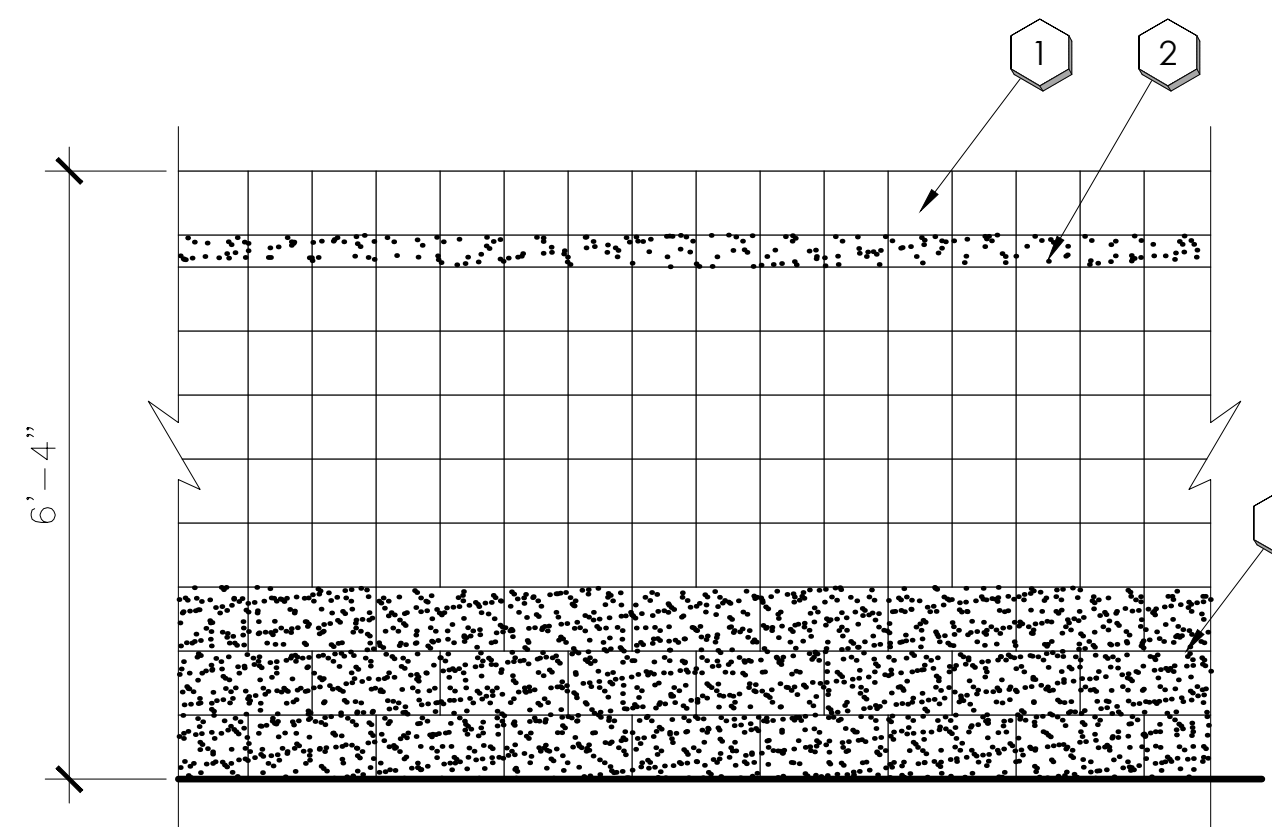
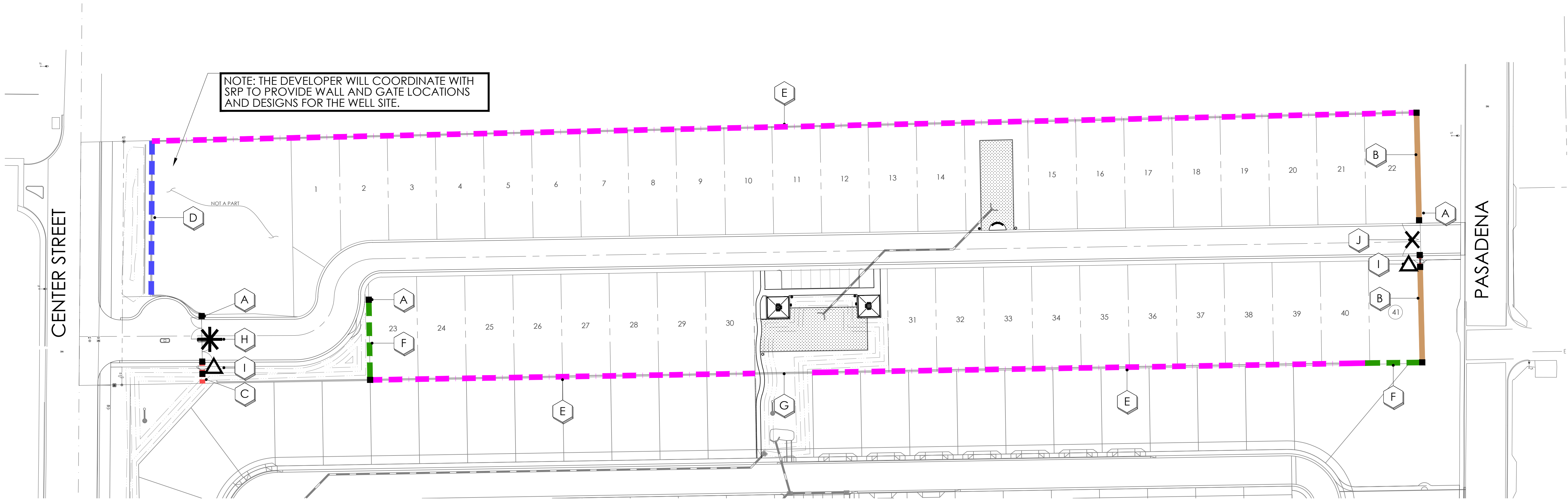
PROJECT:

JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:

SHEET TITLE:

SHEET
L4.01

7 of 11

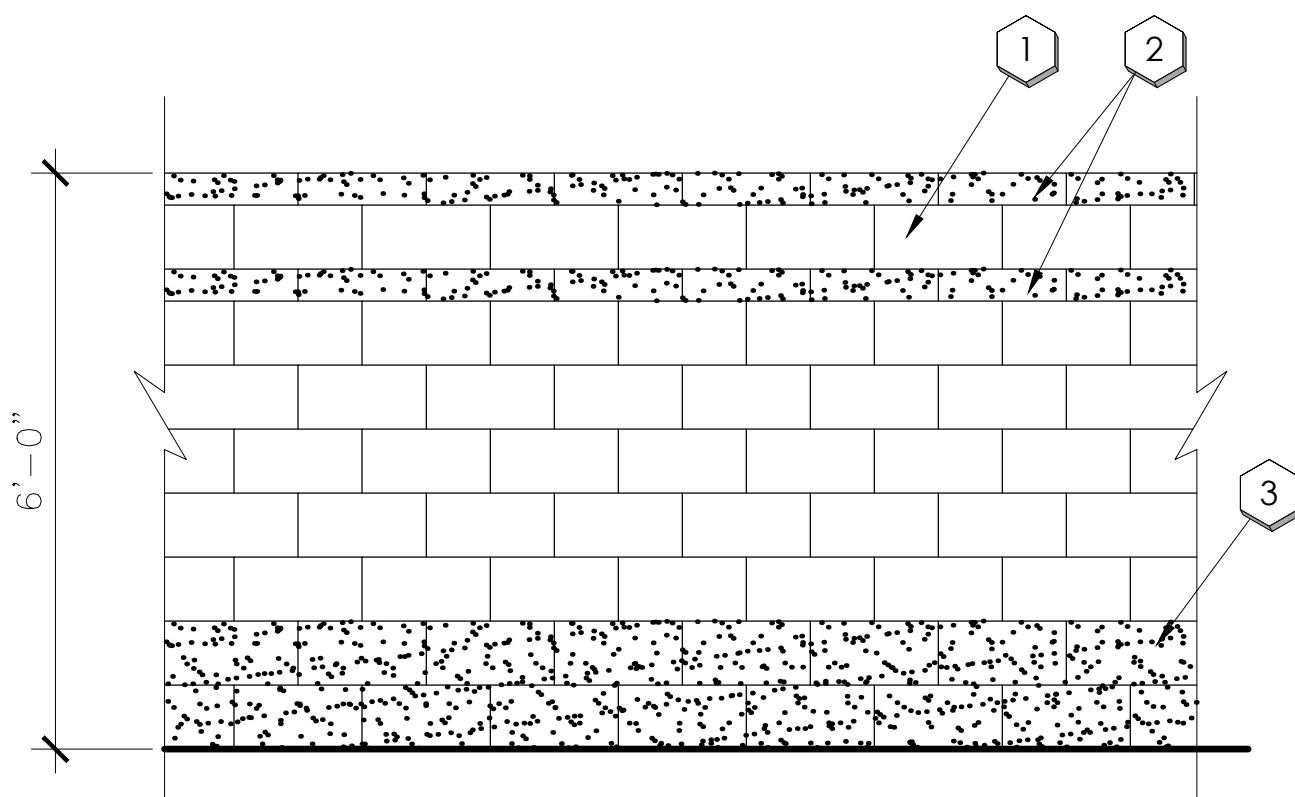


1 EXISTING 8" x 8" x 16" CMU WALL

SCALE: 1/2" = 1'-0"

key notes

- 1 8" x 8" x 16" STACKED, SCORED CMU WALL
COLOR: STANDARD GRAY.
- 2 4" x 8" x 16" STACKED, SCORED CMU WALL
COLOR: MEDIUM GRAY.
- 3 8" x 8" x 16" SPLITFACE CMU WALL
COLOR: MEDIUM GRAY.



2 EXISTING 8" x 8" x 16" CMU WALL

SCALE: 1/2" = 1'-0"

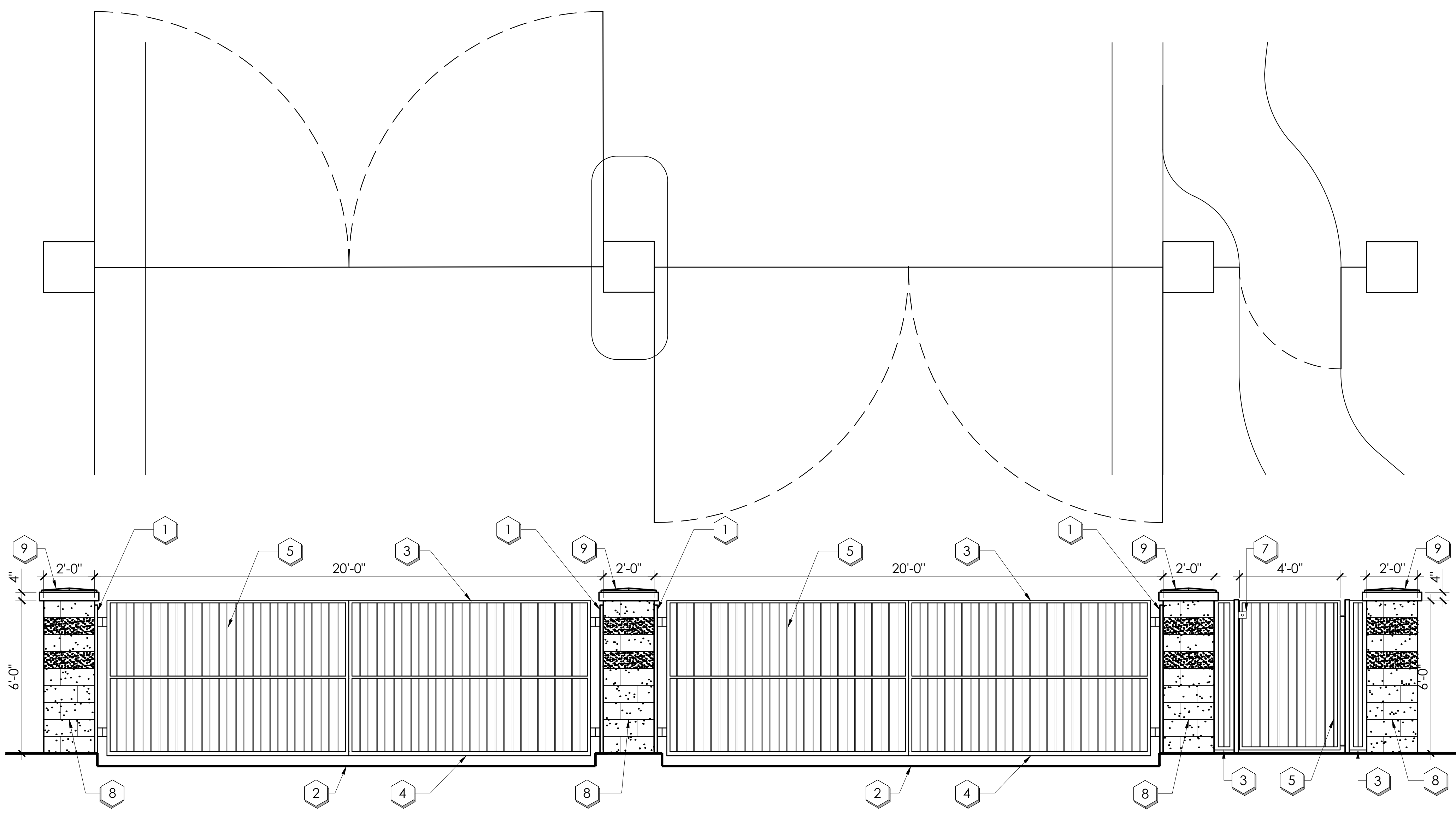
key notes

- 1 8" x 8" x 16" CMU WALL
COLOR: STANDARD GRAY.
- 2 4" x 8" x 16" CMU WALL
COLOR: MEDIUM GRAY.
- 3 8" x 8" x 16" CMU WALL
COLOR: MEDIUM GRAY.

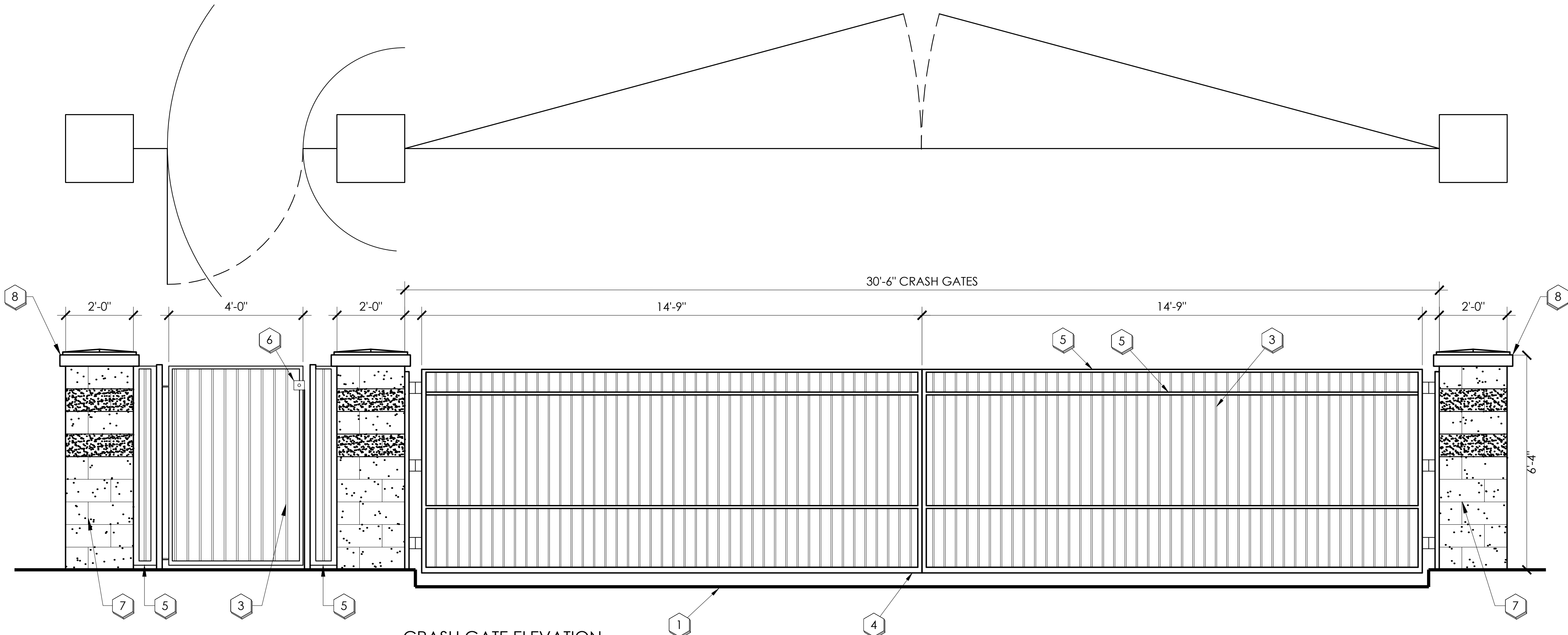
wall key notes

- A 2' x 2' CMU BLOCK COLUMN.
SEE SHEET L4.02 - DETAIL 'A'
11 TOTAL
- B 6' HIGH PERIMETER THEME WALL.
SEE SHEET L4.03 - DETAIL 'C'
264 L.F.
- C 6' HIGH WROUGHT IRON FENCE
SEE SHEET L4.03 - DETAIL 'E'
14 L.F.
- D EXISTING 6' HIGH THEME WALL TO REMAIN.
SEE THIS SHEET - DETAIL 1
FIELD VERIFY L.F.
- E EXISTING 6' HIGH CMU WALL TO REMAIN.
SEE THIS SHEET - DETAIL 2
FIELD VERIFY L.F.
- F SITE WALL 6' HIGH CMU 8" x 8" x 16"
SEE SHEET L4.03 - DETAIL 'F'
53 L.F.
- G EXISTING WALL TO BE REMOVED BETWEEN
OPEN SPACE AMENITIES AND FUTURE/ PROPOSED
RETENTION BASINS WILL BE COORDINATED.
- H PROPOSED MAIN ENTRY GATE LOCATION.
SEE SHEET L4.02 - DETAIL 'A'
CIVIL TO COORDINATE MEDIUM
FOR GATE PILASTER
- I PROPOSED PEDESTRIAN ENTRANCE.
SEE SHEET L4.02 - DETAIL 'A'
- J CRASH GATE CHARACTER. PERMIT BY OTHERS.
SHEET L4.02 SEE DETAIL 'B'

NOTE:
ALL WALLS NOT SHOWN ON THE PLAN
WILL BE STANDARD 6'-0" HIGH 4" x 8" x 16"
DOOLEY BLOCK WALLS WITH 'H' PILASTERS.



A MAIN ENTRY / EXIT GATE ELEVATION
NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
SCALE: 1/4" = 1'-0"



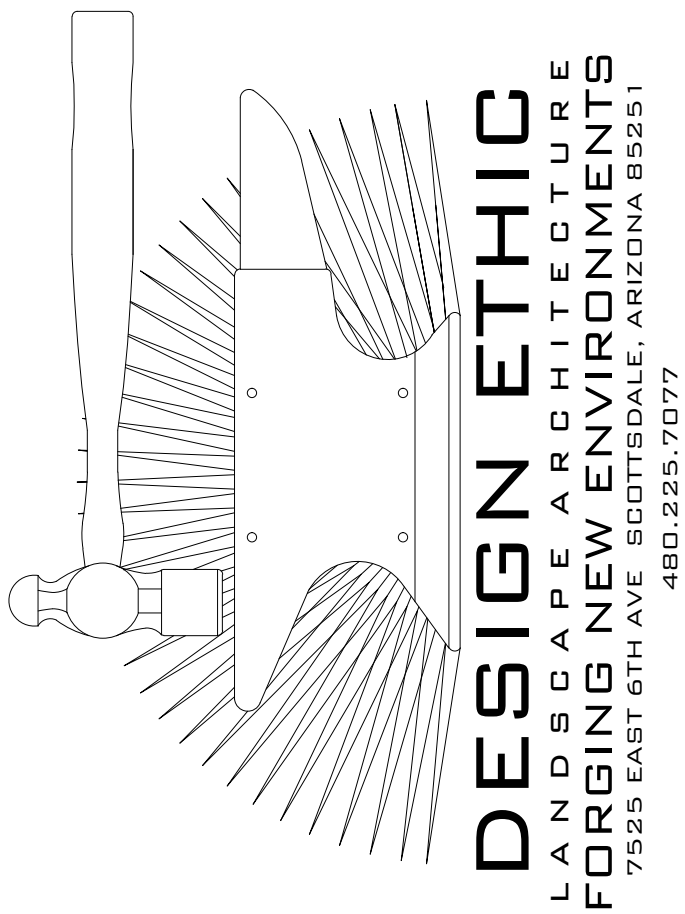
B CRASH GATE ELEVATION
NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
SCALE: 1/2" = 1'-0"

key notes

- 1 2" x 2" STEEL POSTS 14 GUAGE W/ CAST IRON FLAT CAP. SPACING 96" OR AS PER PLAN
- 2 FINISH GRADE
- 3 1" x 1" SQ. TUBULAR STEEL RAIL
- 4 2" x 2" SQ. TUBULAR STEEL RAIL
- 5 3/4" x 3/4" SQ. TUBULAR STEEL PICKETS AT 3-3/4" O.C. MAXIMUM SPACING
- 6 SPRING LOADED HINGES (TYP.)
- 7 SELF LOCKING LATCH
- 8 8" x 8" x 16", 2' x 2" SPLIT SCORED CMU BLOCK PILASTER SEE SHEET L4.03 - DETAIL 'D'
- 9 PREFABRICATED CONCRETE CAP, MATCH ESTABLISHED COMMUNITY THEME WALL TYPE.

key notes

- 1 FINISH GRADE
- 2 COMPACTED SUBGRADE
- 3 3/4" x 3/4" SQ. TUBULAR STEEL PICKETS AT 3-3/4" O.C. MAXIMUM SPACING
- 4 2" x 2" SQ. TUBULAR STEEL RAIL
- 5 1" x 1" SQ. TUBULAR STEEL RAIL
- 6 SELF LOCKING LATCH
- 7 8" x 8" x 16", 2' x 2" SPLIT SCORED CMU BLOCK PILASTER SEE SHEET L4.03 - DETAIL 'D'
- 8 PREFABRICATED CONCRETE CAP, MATCH ESTABLISHED COMMUNITY THEME WALL TYPE



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

WALL DETAILS

PROJECT:
JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:
SHEET TITLE:
SHEET

L4.02



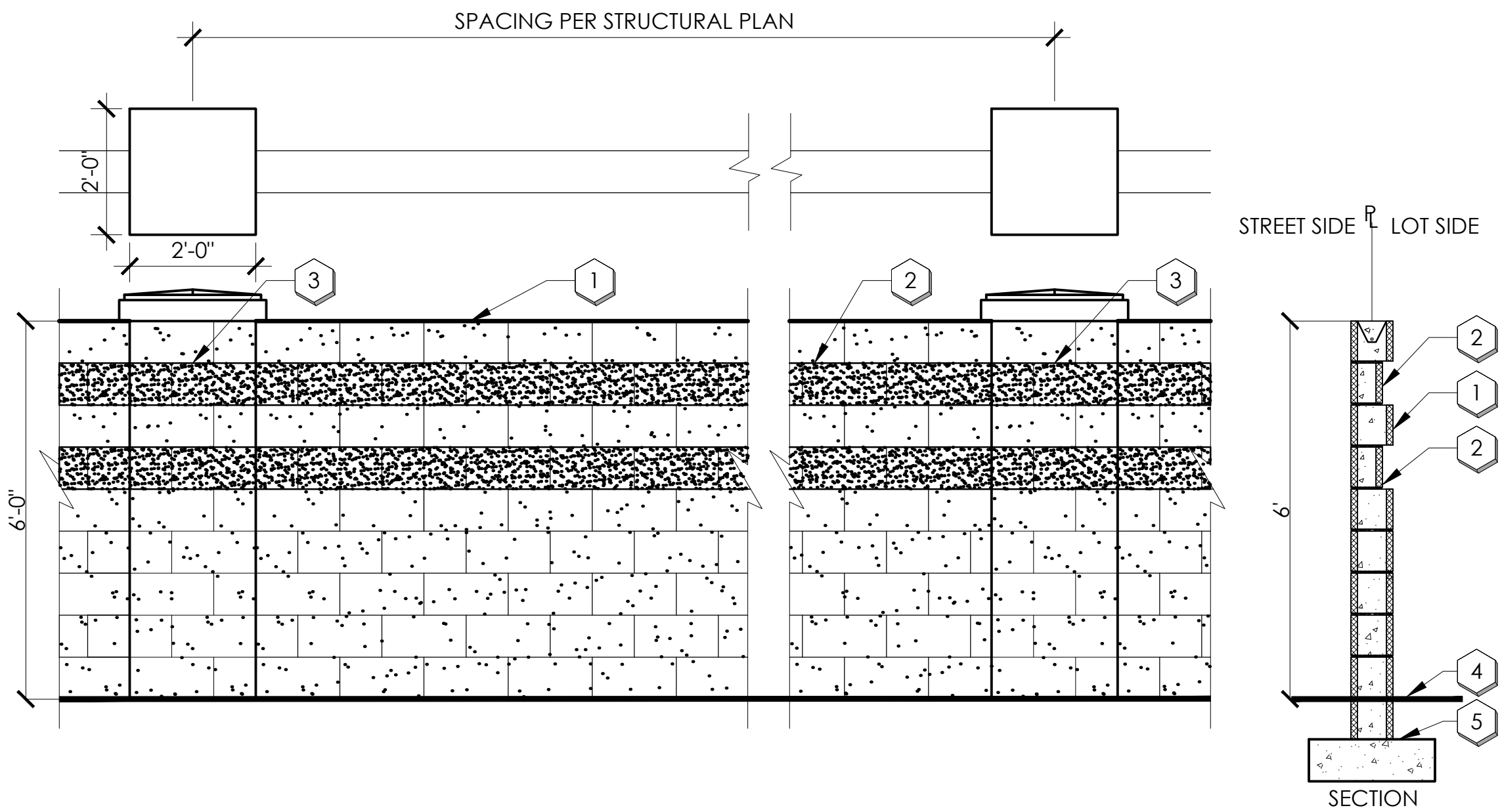
PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

WALL DETAILS

PROJECT:

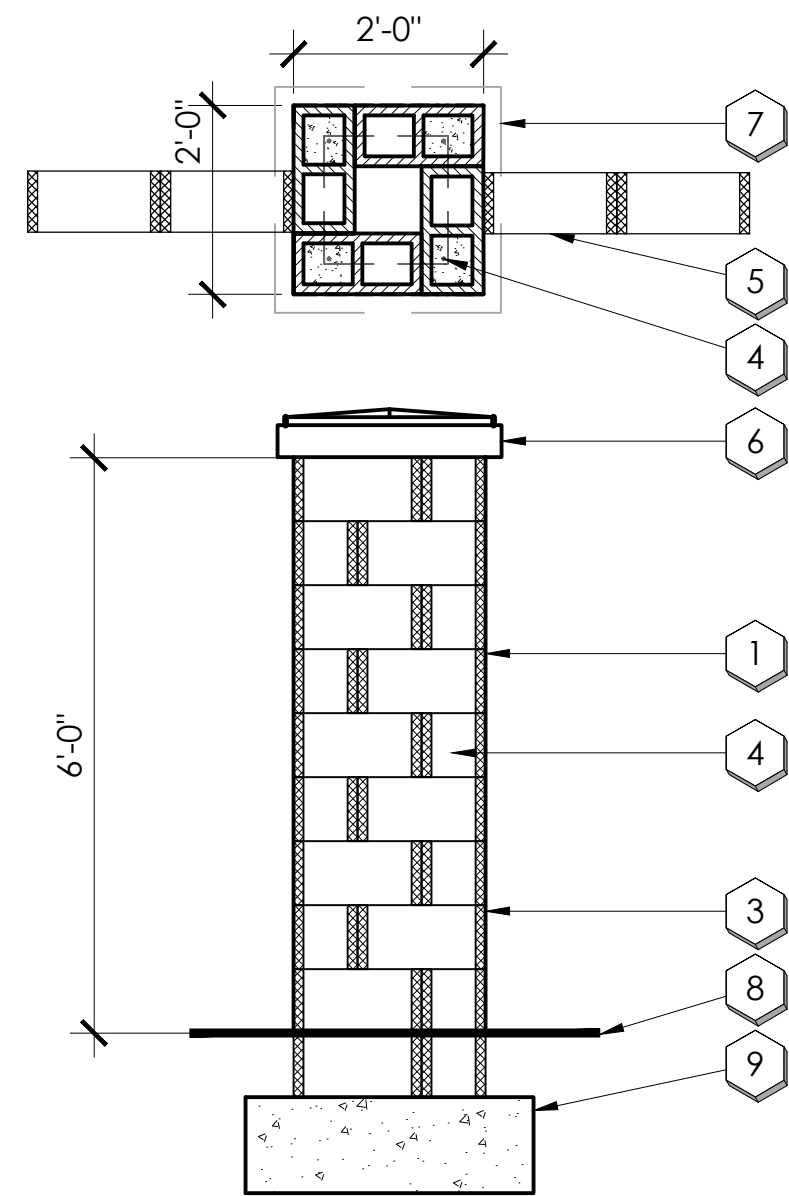
SHEET TITLE:

JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:



key notes

- 1 8" x 8" x 16" CMU BLOCK WALL
COLOR: STANDARD GRAY
- 2 6" x 8" x 16" SPLITFACE CMU BLOCK WALL
COLOR: STANDARD GRAY.
- 3 8" x 8" x 16" STACKED CMU COLUMN.
COLOR: STANDARD GRAY
- 4 FINISH GRADE
- 5 FINAL FOOTING TO BE DESIGNED
BY STRUCTURAL ENGINEER

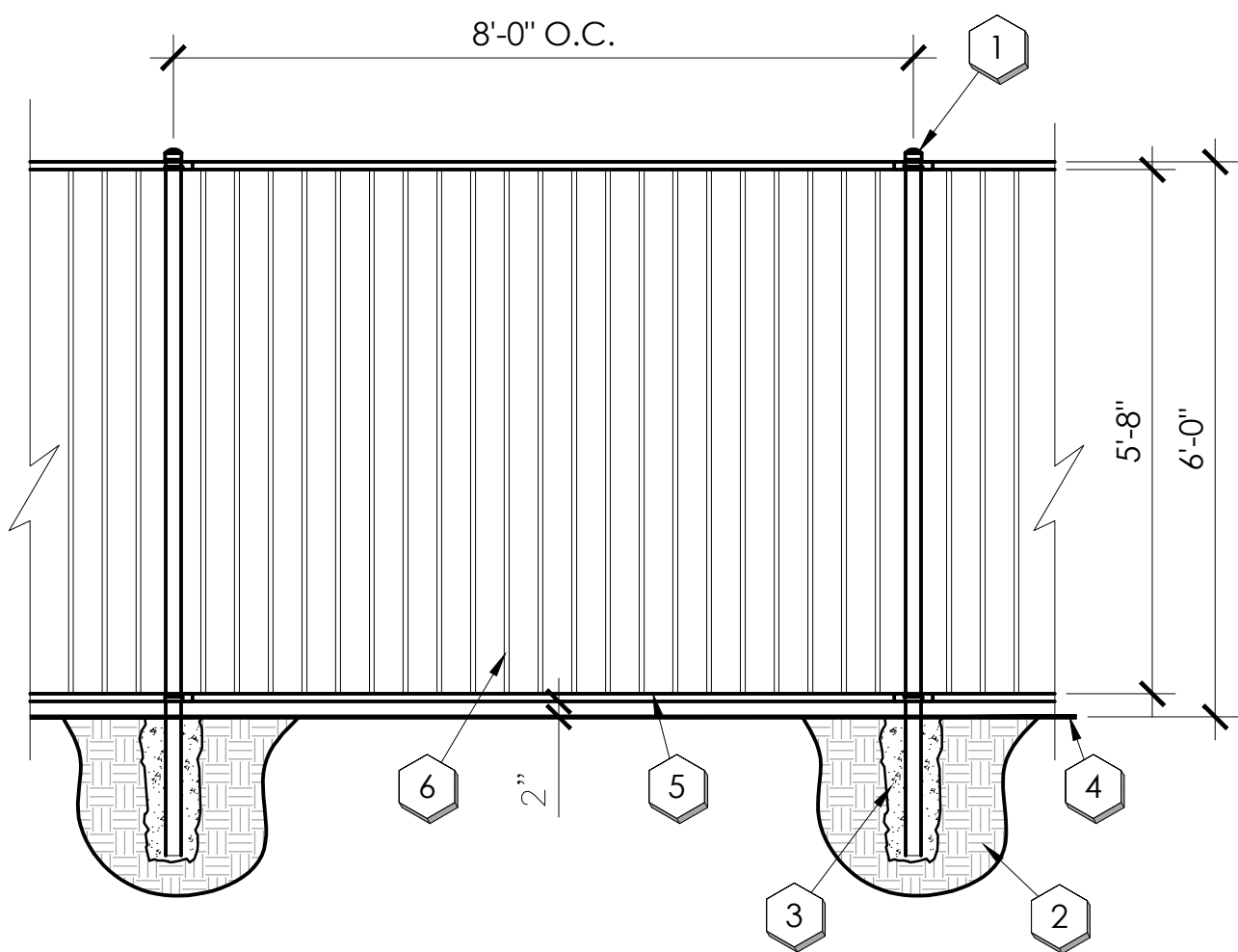


key notes

- 1 8" x 8" x 16" SPLIT SCORED CMU BLOCK
- 2 CMU BLOCK. GROUT SOLID ALL CELLS
WITH REBAR AND CELLS BELOW GRADE
- 3 HORIZONTAL JOINT REINFORCING AT 16" O.C.
- 4 #5 VERT. REBAR AT EACH CORNER CELL
(GROUT CELL SOLID)
- 5 CMU WALL. SEE THIS SHEET, DETAIL 'C'
- 6 MESA PRECAST PIER CAP JPYC-28 OR
APPROVED EQUAL. MUST MATCH EXISTING
PIER CAPS WITHIN THE COMMUNITY
- 7 OUTLINE OF CONC. CAP ABOVE.
- 8 FINISH GRADE
- 9 FINAL FOOTING TO BE DESIGNED
BY STRUCTURAL ENGINEER

C 6' THEME CMU WALL
NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
STRUCTURAL DETAILS PROVIDED BY OTHERS UNDER SEPARATE PERMIT.
SCALE: 1/2" = 1'-0"

D 8" x 8" x 16" WALL PILASTER
NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
SCALE: 1/2" = 1'-0"



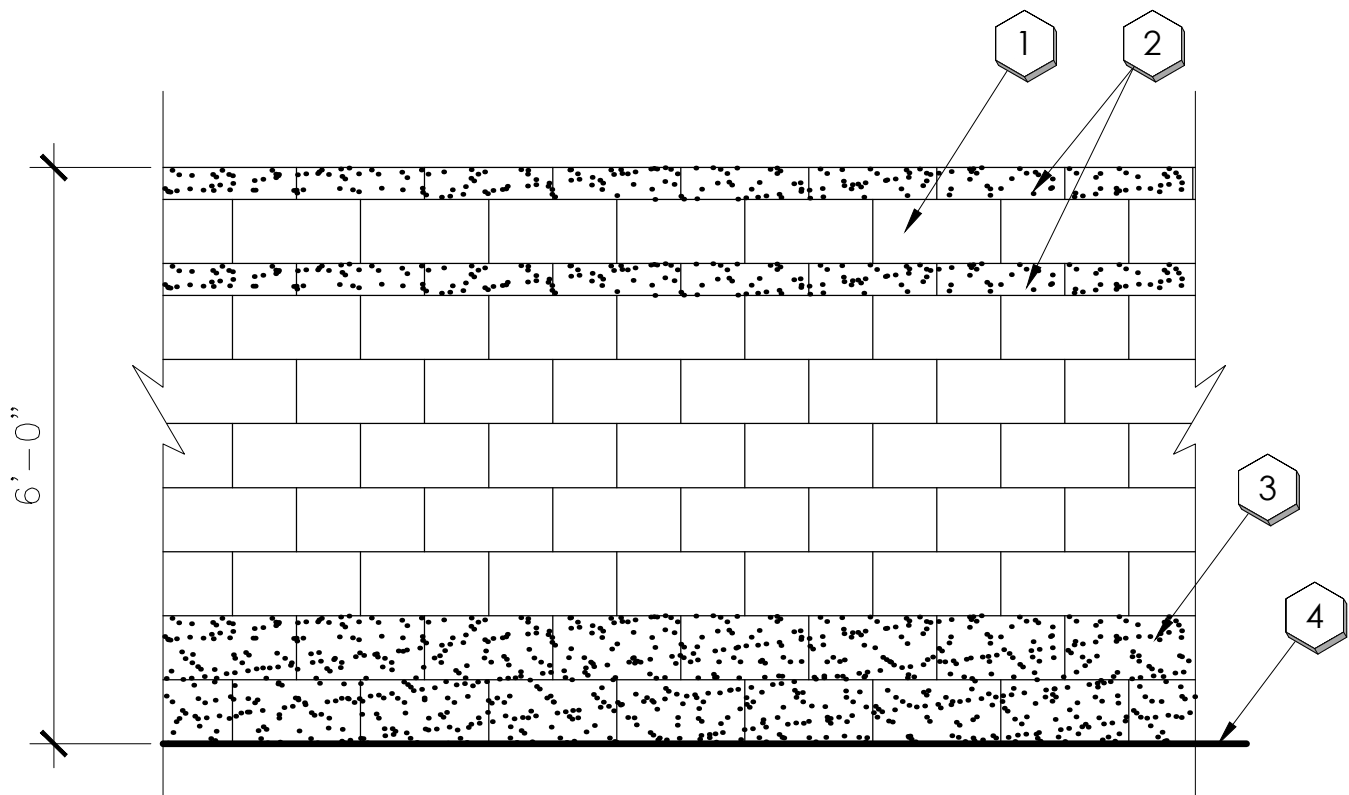
key notes

- 1 2" x 2" STEEL POSTS 14 GAUGE W/ CAST IRON
FLAT CAP. SPACING 96" OR AS PER PLAN
- 2 COMPACTED SUBGRADE
- 3 CONCRETE FOOTING 8" DIA. MIN. 18" DEPTH
- 4 FINISH GRADE
- 5 1" x 1" SQ. TUBULAR STEEL RAIL
- 6 3/4" x 3/4" SQ. TUBULAR STEEL PICKETS AT
3-3/4" O.C. MAXIMUM SPACING

NOTES:

- ALL METAL TO BE DEGREASED, PHOSPHATIZED
WITH RUST RETARDANT UNDERCOAT AND DIP
COATED WITH TWO COATS OF INDUSTRIAL
GRADE FLAT BLACK ENAMEL.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS
OF WROUGHT IRON FENCE, AND FOOTINGS TO
OWNER FOR APPROVAL.

E 6'-0" WROUGHT IRON FENCE
NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
SCALE: 1/2" = 1'-0"



key notes

- 1 8" x 8" x 16" CMU WALL
COLOR: STANDARD GRAY
- 2 4" x 8" x 16" CMU WALL
COLOR: MEDIUM GRAY.
- 3 8" x 8" x 16" CMU WALL
COLOR: MEDIUM GRAY.
- 4 FINISH GRADE

F 8" x 8" x 16" CMU WALL
NOTE: THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
SCALE: 1/2" = 1'-0"

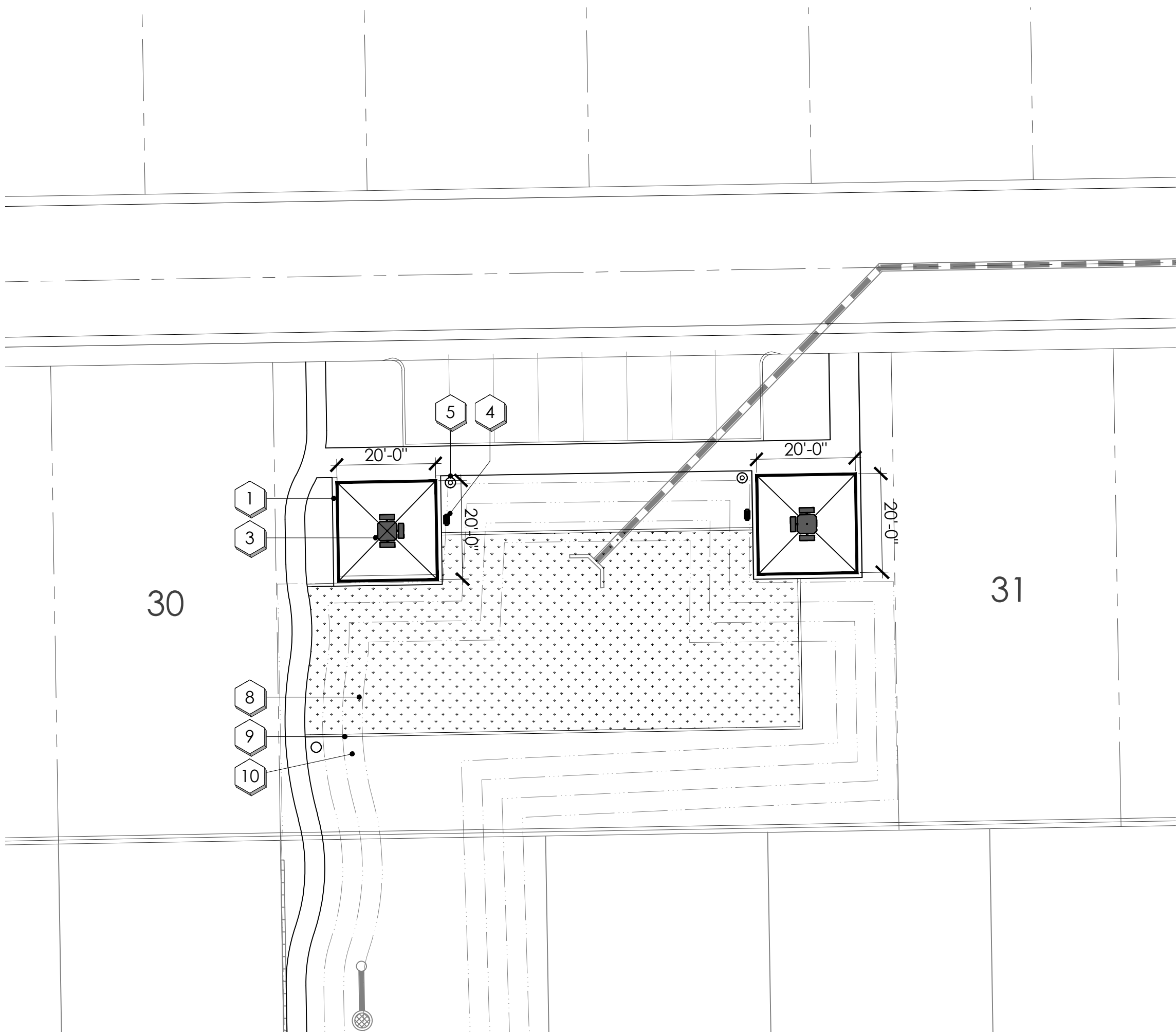


exhibit a - central amenity areas

SCALE: 1" = 20'-0"

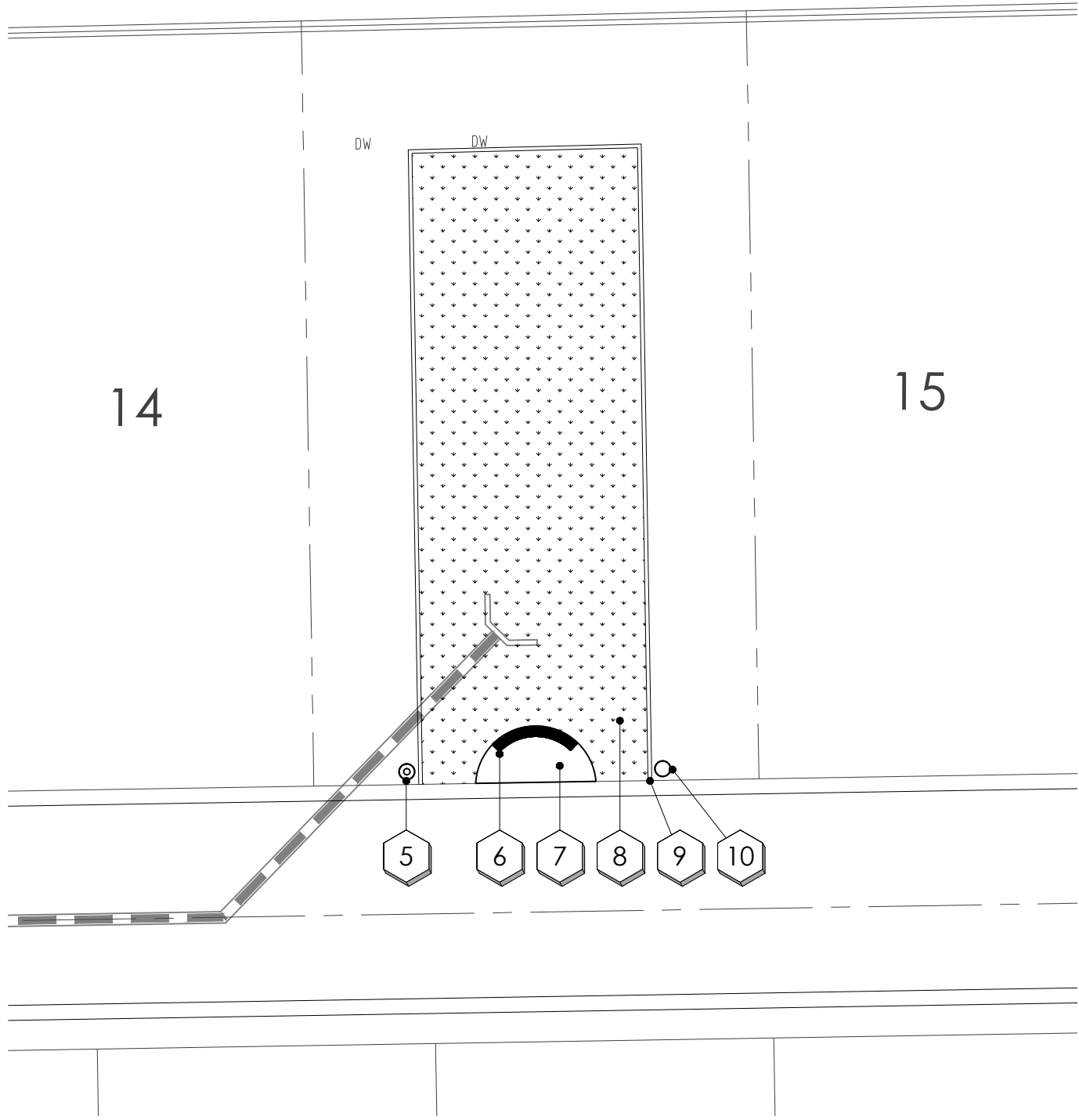
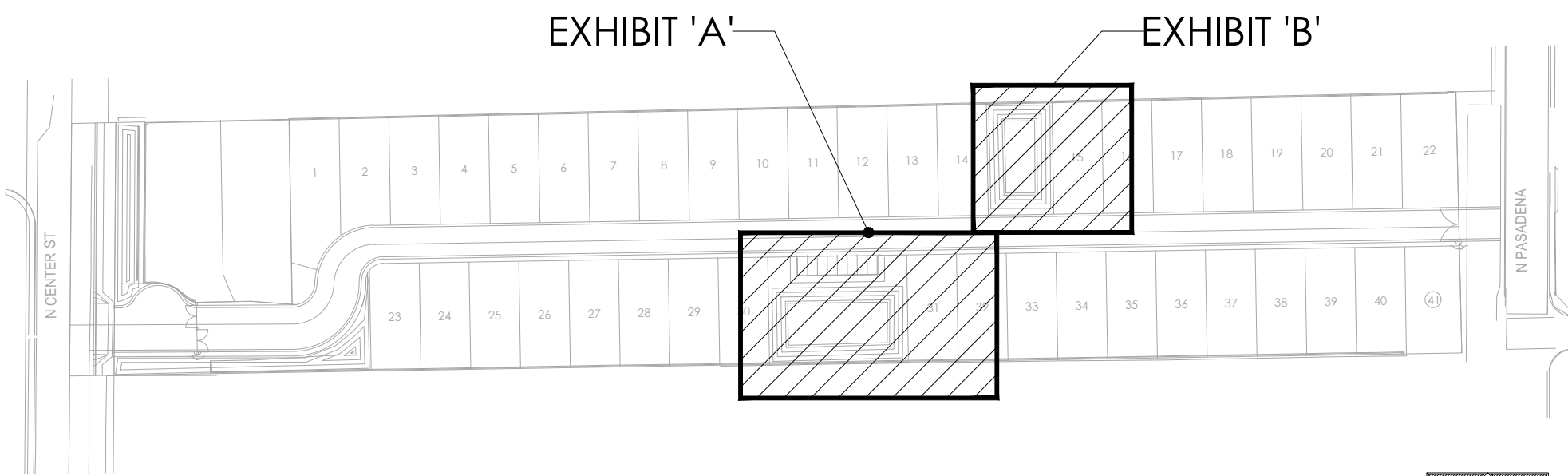


exhibit b - central amenity areas

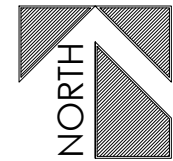
SCALE: 1" = 20'-0"

amenities key notes

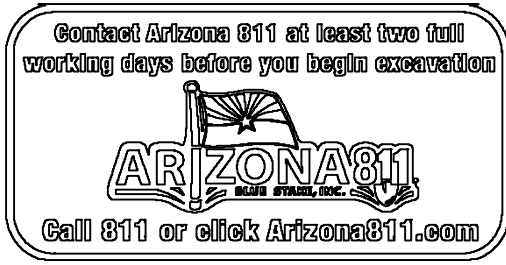
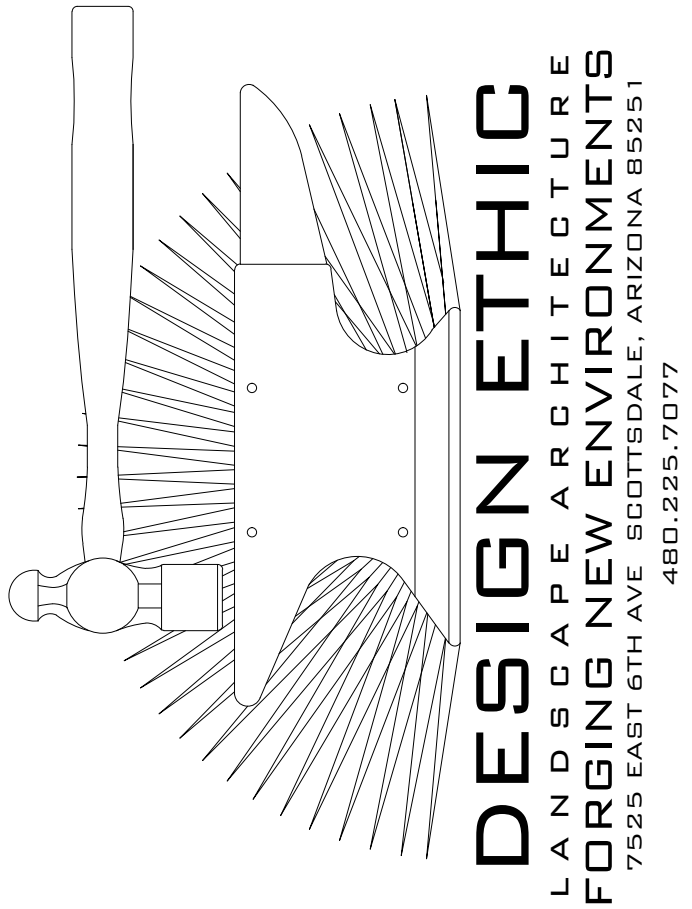
- 1 20' x 20' CLASSIC RECREATION ORLANDO RAMADA
SEE SHEET L5.01 - DETAIL 'A'
- 2 WABASH 6' IN-GROUND BENCH
SEE SHEET L5.02 - DETAIL 'B'
- 3 WABASH ADA ACCESSIBLE PICNIC TABLE
SEE SHEET L5.02 - DETAIL 'C'
- 4 KAY PARK PEDESTAL GRILL
SEE SHEET L5.02 - DETAIL 'D'
- 5 TRASH RECEPTACLE
SEE SHEET L5.02 - DETAIL 'E'
- 6 CMU SEAT WALL
SEE SHEET L5.02 - DETAIL 'F'
- 7 POURED-IN-PLACE CONCRETE
- 8 MIDIRON SOD TURF AREA
- 9 4" x 6" CONCRETE HEADER
- 10 DOG WASTE DEPOT "DOG WASTE STATION"
SEE SHEET L5.02 - DETAIL 'I'



key map



not to scale



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

AMENITY PLAN

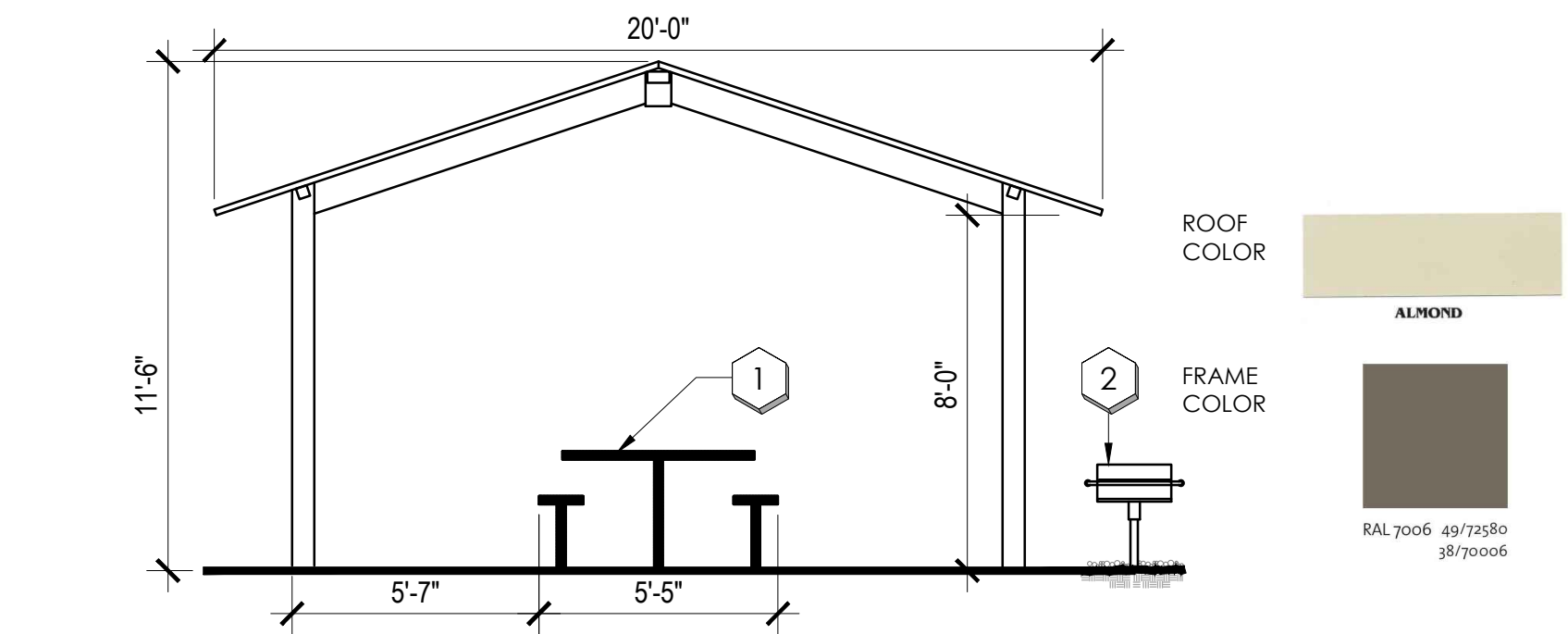
PROJECT:

SHEET TITLE:

JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:

SHEET
L5.01

10 of 11



key notes

- 1 PICNIC TABLE - SEE SHEET L5.02 DETAIL 'A'
2 KAY PARK BBQ - SEE DETAIL 'E' THIS SHEET

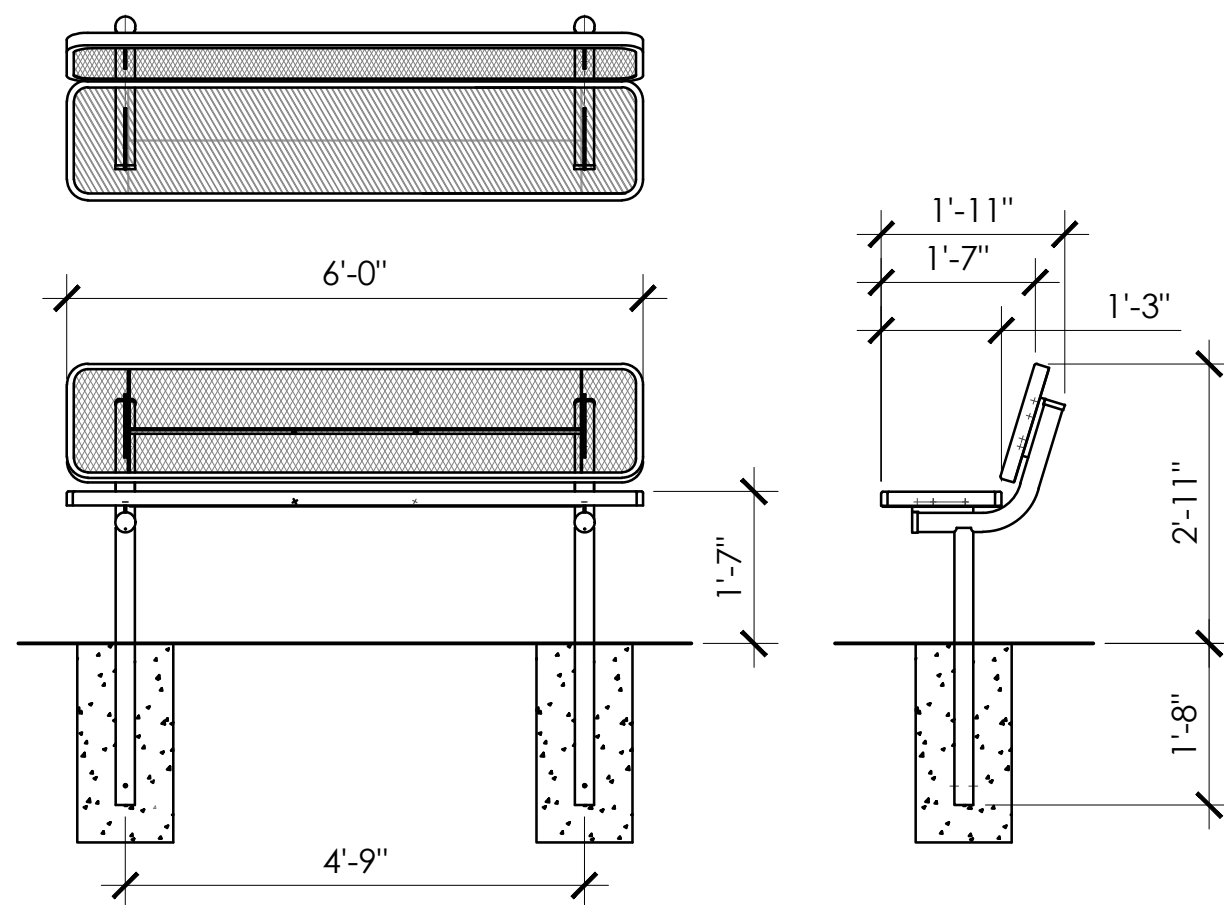
NOTES:

1. PREFABRICATED CLASSIC RECREATION (CRS), INC
16' x 16' ORLANDO MODEL. "ALMOND" ROOF, McELROY METAL.
2. "BEIGE GREY" FRAME, RAL COLOR 7006 - 49/ 72580 38/70006.
3. CONTRACTOR TO FOLLOW MANUFACTURER'S SPECS FOR INSTALLATION.

A PREFABRICATED CRS, INC. RAMADA: 20' x 20' ORLANDO MODEL

NOTE: RAMADAS REQUIRE A SEPARATE PERMIT.
INSTALL PER MANUFACTURER'S INSTRUCTIONS THE CONTRACTOR SHALL PROVIDE SHOP
DRAWINGS FOR ALL AMENITIES TO BE INSTALLED TO THE LANDSCAPE ARCHITECT FOR REVIEW
AND APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.

SCALE: 1/4" = 1'-0"

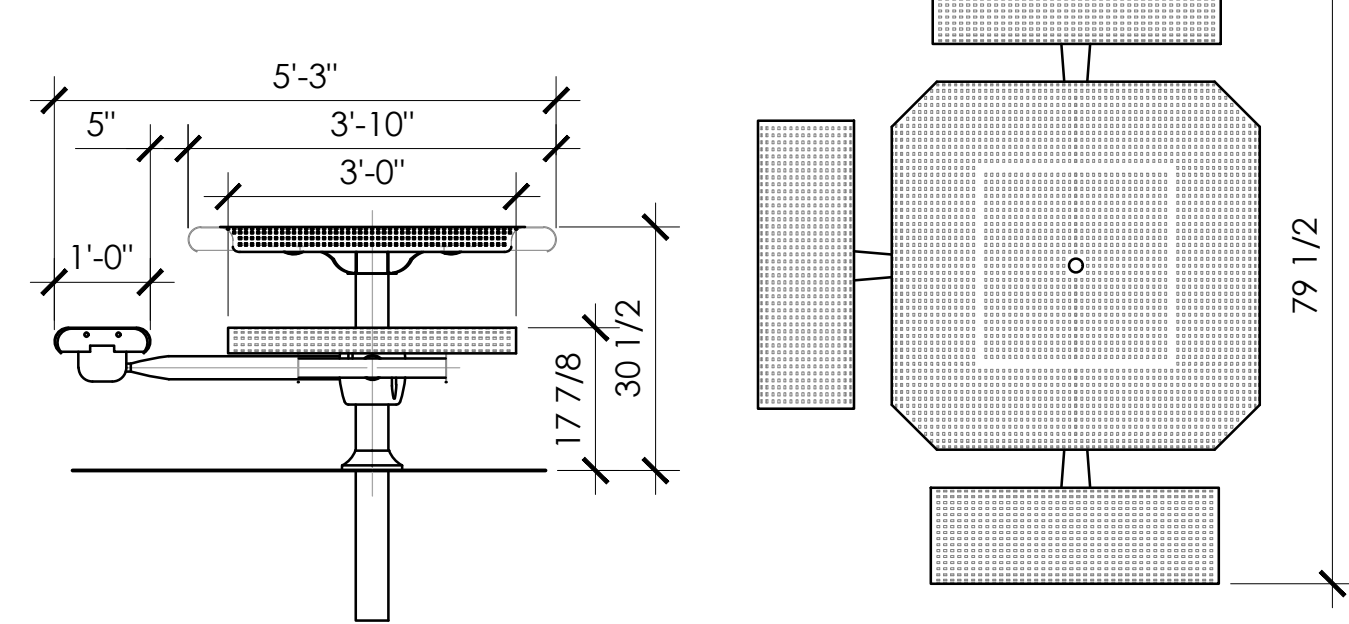


B WABASH SIGNATURE SERIES 6' PLAYER BENCHES - SG403D

NOTE: UNIT WILL BE IN-GROUND MOUNTED PER
MANUFACTURERS' RECOMMENDATIONS

SCALE: 1/2" = 1'-0"

NOTES:
1. INSTALL PER MANUFACTURER'S
SPECIFICATIONS.



C WABASH PORTAGE COLLECTION 46 ACCESSIBLE ADA #PODP611

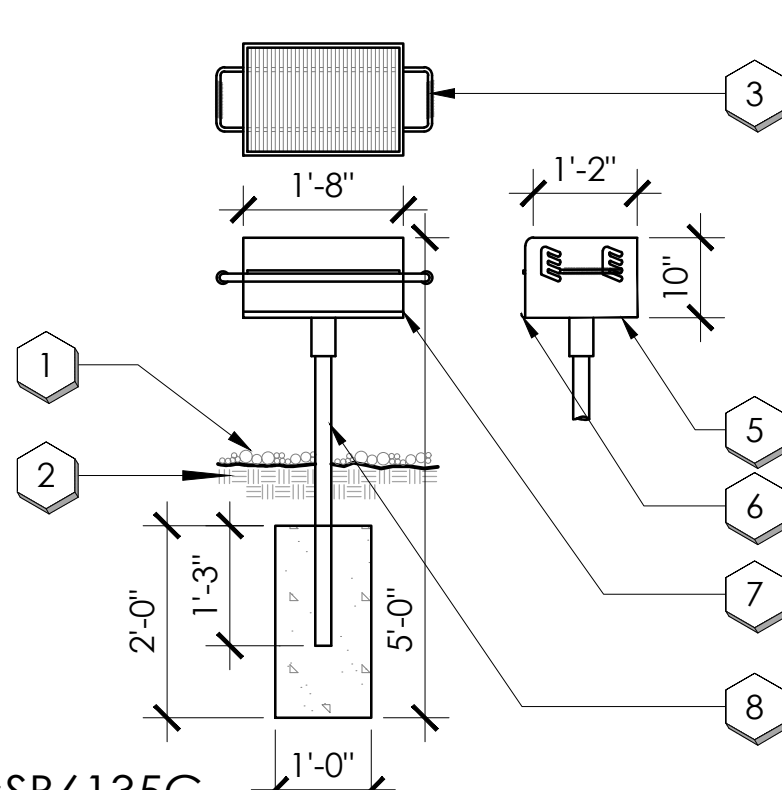
NOTE: UNIT WILL BE IN-GROUND MOUNTED PER
MANUFACTURERS' RECOMMENDATIONS

SCALE: 1/2" = 1'-0"

key notes

- 1 PIT RUN ROCK.
2 COMPACTED SUBGRADE.
3 SPRING HANDLE
4 5/8" ROD HANDLE
5 CONT. WELD
6 1" ASH LIP
7 ENTIRE UNIT 3/16" STEEL
8 3.5" O.D. GALV. TUBE

NOTE: UNIT WILL BE KAY PARK GRILL
#SB16-3.5 OR APPROVED EQUAL.



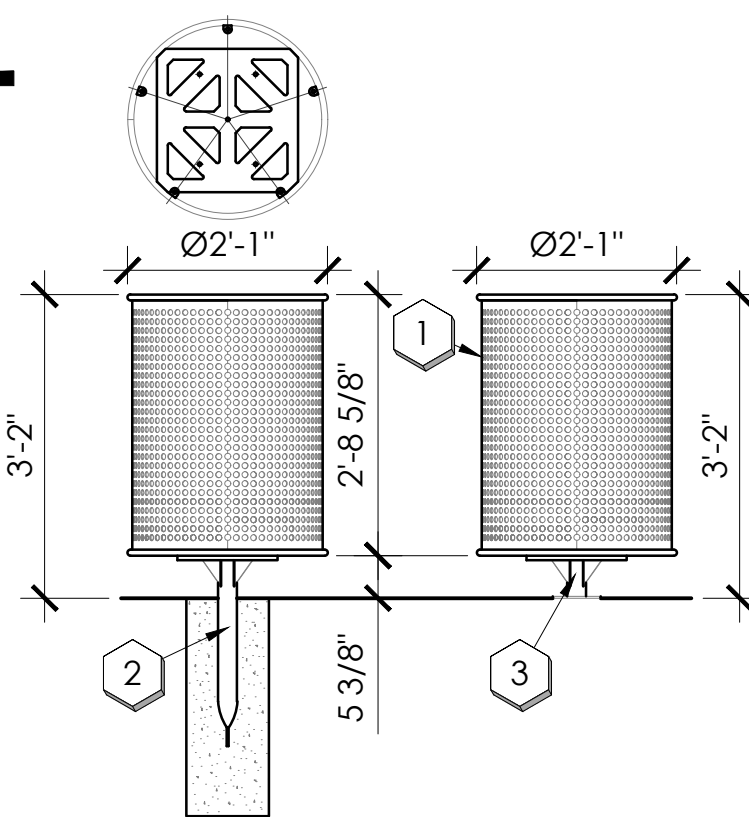
D KAY PARK PEDESTAL GRILL #SB6135G

NOTE: UNIT WILL BE IN-GROUND MOUNTED PER
MANUFACTURERS' RECOMMENDATIONS

SCALE: 1/2" = 1'-0"

key notes

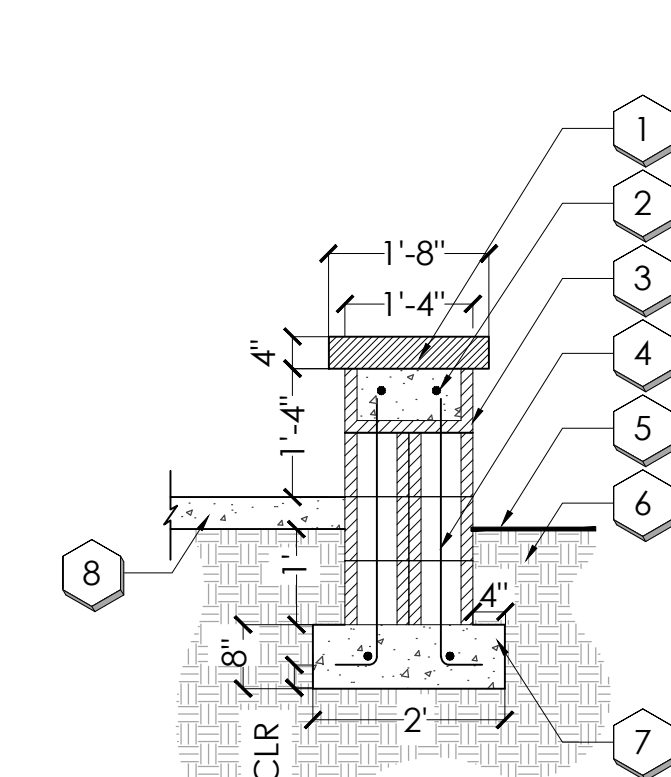
- 1 PLASTICOAT TRASH RECIPTICLE
2 POST IN CONCRETE FOOTING
3 SURFACE MOUNT POST



E LR300 TRASH RECEPTICLE

NOTE: UNIT WILL BE IN-GROUND MOUNTED PER
MANUFACTURERS' RECOMMENDATIONS

SCALE: 1/2" = 1'-0"



NOTES:
1. GROUT SOLID ALL CELLS
BELOW GRADE.
2. CONTRACTOR TO STEP FOOTING
WHERE APPROPRIATE.
3. OWNER TO SELECT
PAINT COLOR.

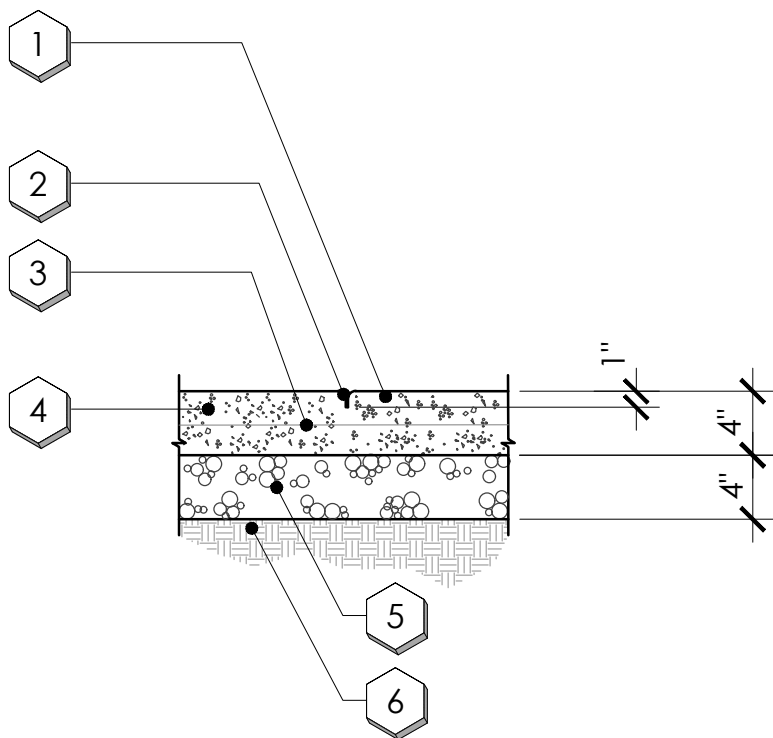
F CMU SEATWALL

SCALE: 1/2" = 1'-0"

key notes

- 1 TROWEL AND USE LIGHT
HAIR BROOM FINISH ON
ALL SIDEWALKS
2 1/2" RADIUS TOOL EDGE
3 6 x 6 10/10 WW MESH
4 3000 PSI TO BE TESTED
BY GEOTECH COMPANY
5 ABC
6 COMPACTED SUBGRADE

NOTE: CONTRACTION JOINTS
TO BE PLACED AT 10' O.C. MAX.

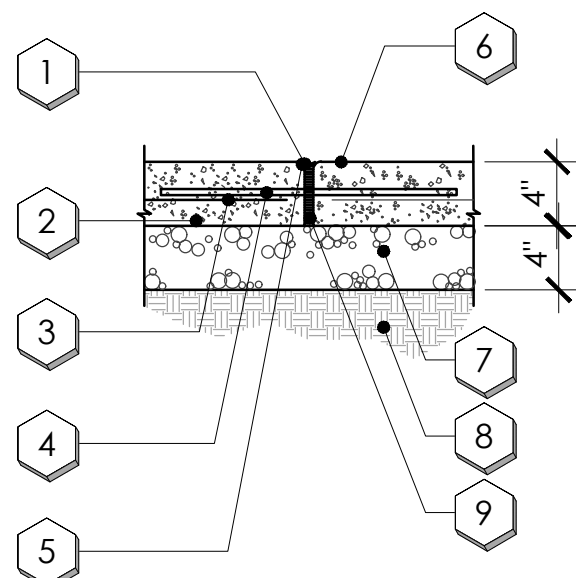


G CONTROL JOINT

SCALE: 1" = 1'-0"

key notes

- 1 JOINT FILLER
2 3000 PSI TO BE TESTED
BY GEOTECH COMPANY
3 6 x 6 10/10 WW MESH
4 NO. 4 x 24" LONG
SMOOTH ROD @ 36" O.C.
5 1/2" RADIUS TOOL EDGE
6 TROWEL AND USE LIGHT
HAIR BROOM FINISH ON
ALL SIDEWALKS
7 ABC
8 COMPACTED SUBGRADE
9 1/2" EXP. JOINT (MAX. 20' O.C.)



H EXPANSION JOINT

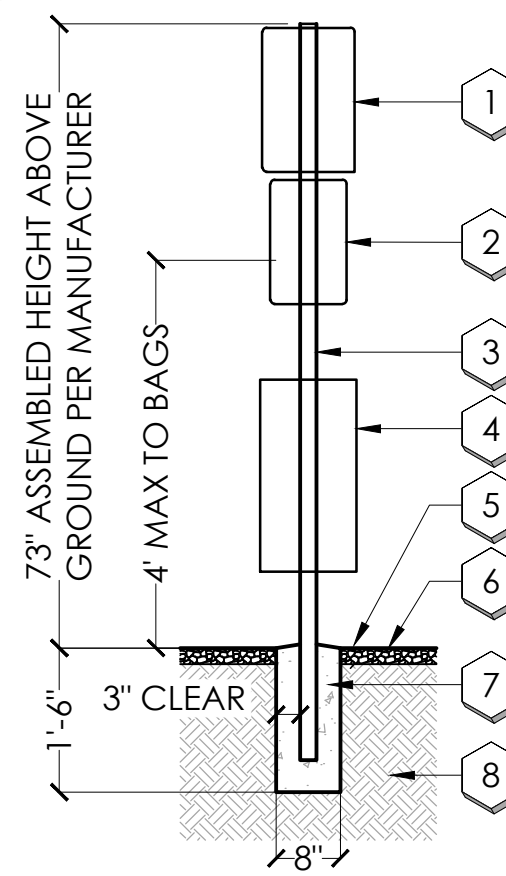
SCALE: 1" = 1'-0"

key notes

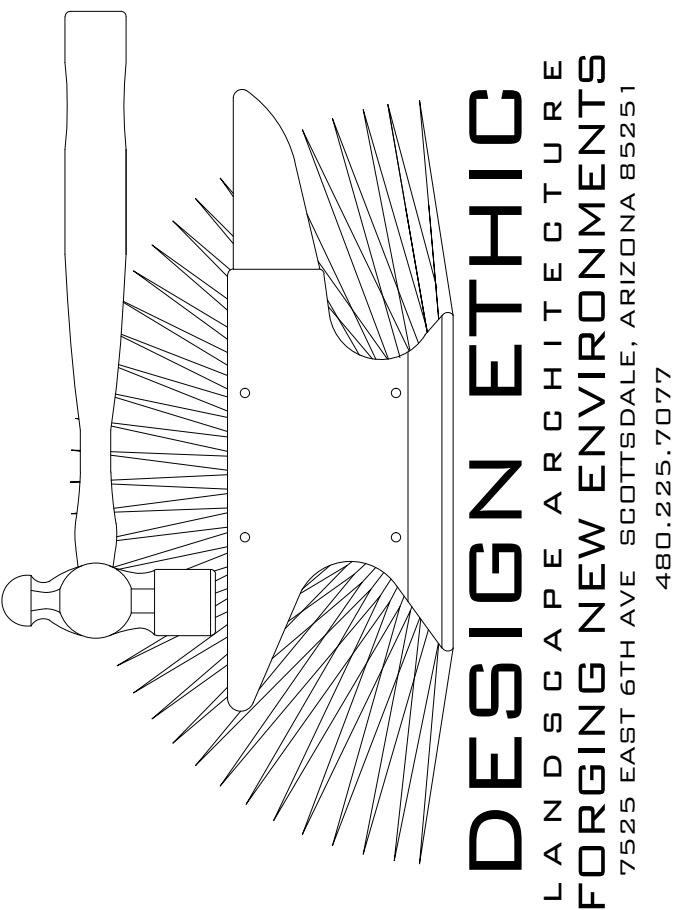
- 1 DOG WASTE STATION SIGN PER
MANUFACTURER
2 DOG WASTE BAGS PER
MANUFACTURER
3 POST PER MANUFACTURER
4 ROUND WASTE CAN WITH LID PER
MANUFACTURER
5 SLOPE CONCRETE FOOTER FOR DRAINAGE
6 ADJACENT LANDSCAPE REF. PLANS.
7 CONCRETE FOOTER
8 COMPACTED SUBGRADE TO 95%

I DOG WASTE STATION

NOTE: DOG WASTE STATION WITH ROLL BAG SYSTEM - DEPOT-006-B ORDER
THROUGH DOG WASTE DEPOT WWW.DOGWASTEDEPOT.COM (800) 678-1612



SCALE: 1/2" = 1'-0"



PRICE MANOR II
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

AMENITY DETAILS

PROJECT:

SHEET TITLE:

JOB NO: 25-025
DATE:
DRAWN BY: B. PAUL
SUBMITTED: 06.16.2025
REVISED:

SHEET
L5.02

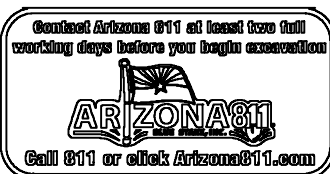
11 of 11

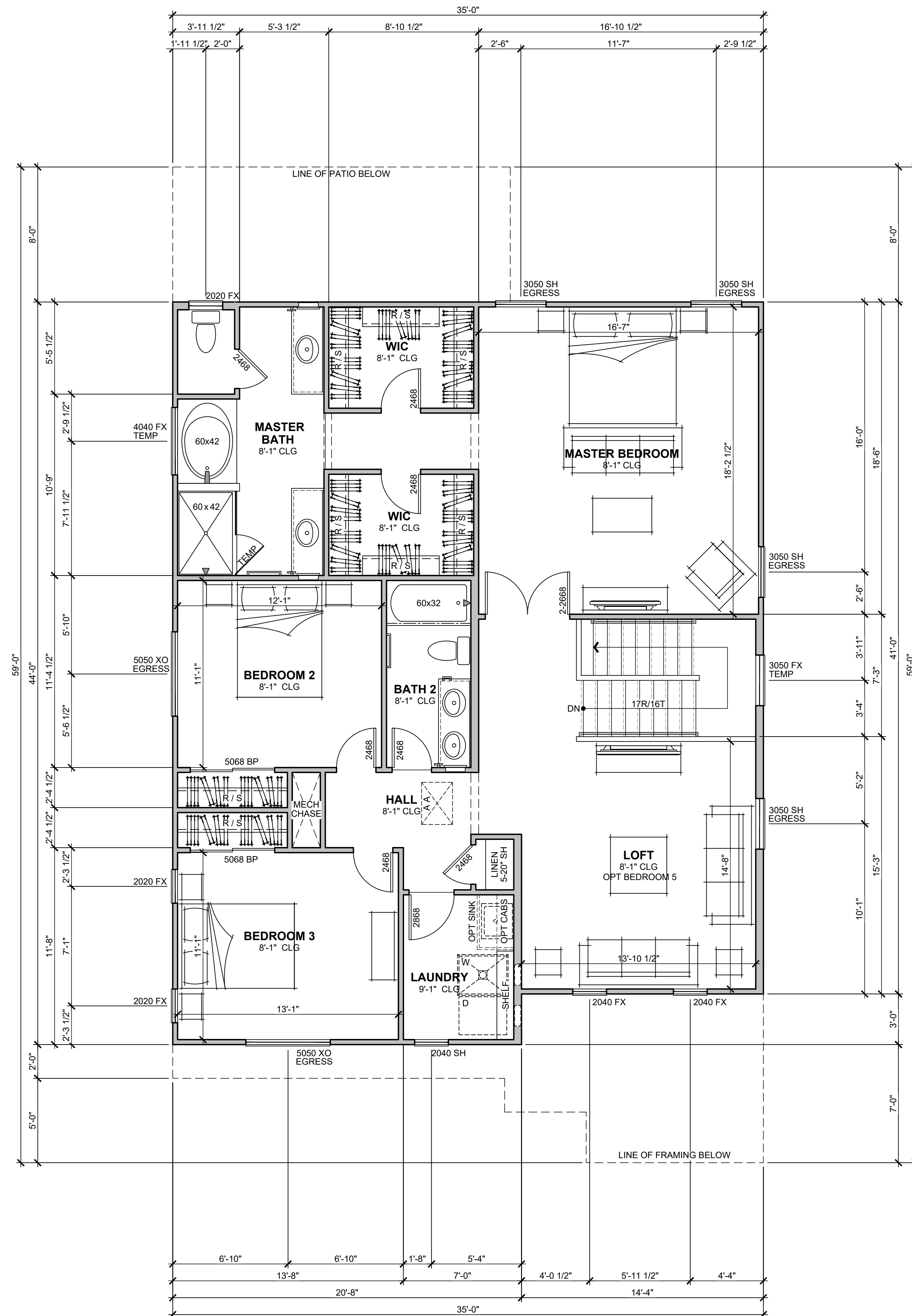
The site plan illustrates the layout of the Price Manor development. It features two main residential areas, Price Manor I and Price Manor II, separated by a central green space. Price Manor I is located in the lower right, while Price Manor II is in the upper right. A road, Salado St, runs along the bottom edge of the site. The plan includes numerous trees, represented by circular symbols with internal patterns, and paths that wind through the green spaces. A scale bar at the bottom right indicates a scale of 1" = 20'-0".



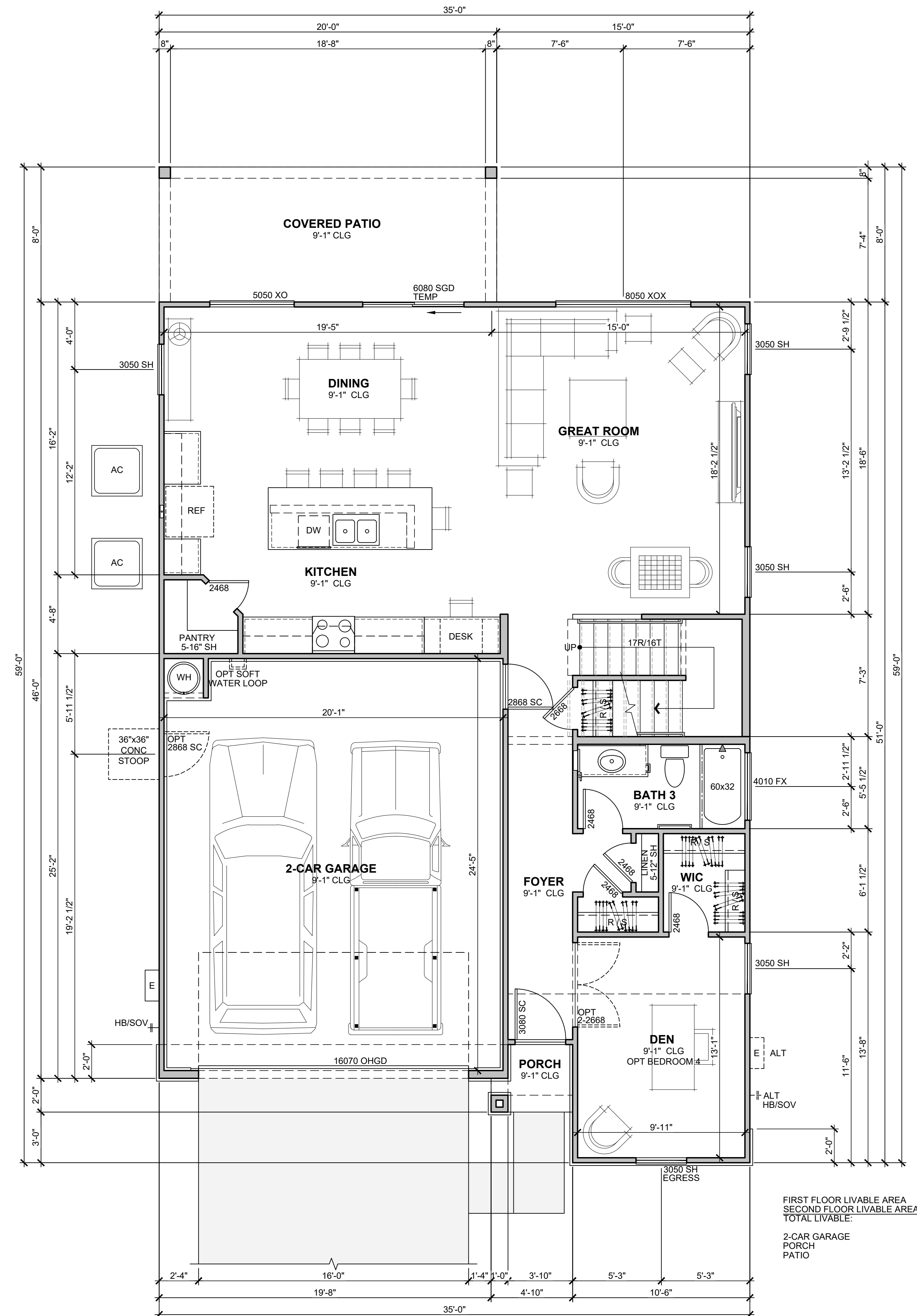
2245 NORTH CENTER STREET
MESA, ARIZONA 85201

JOB NO: 25-025
SUBMITTED: 06.16.25





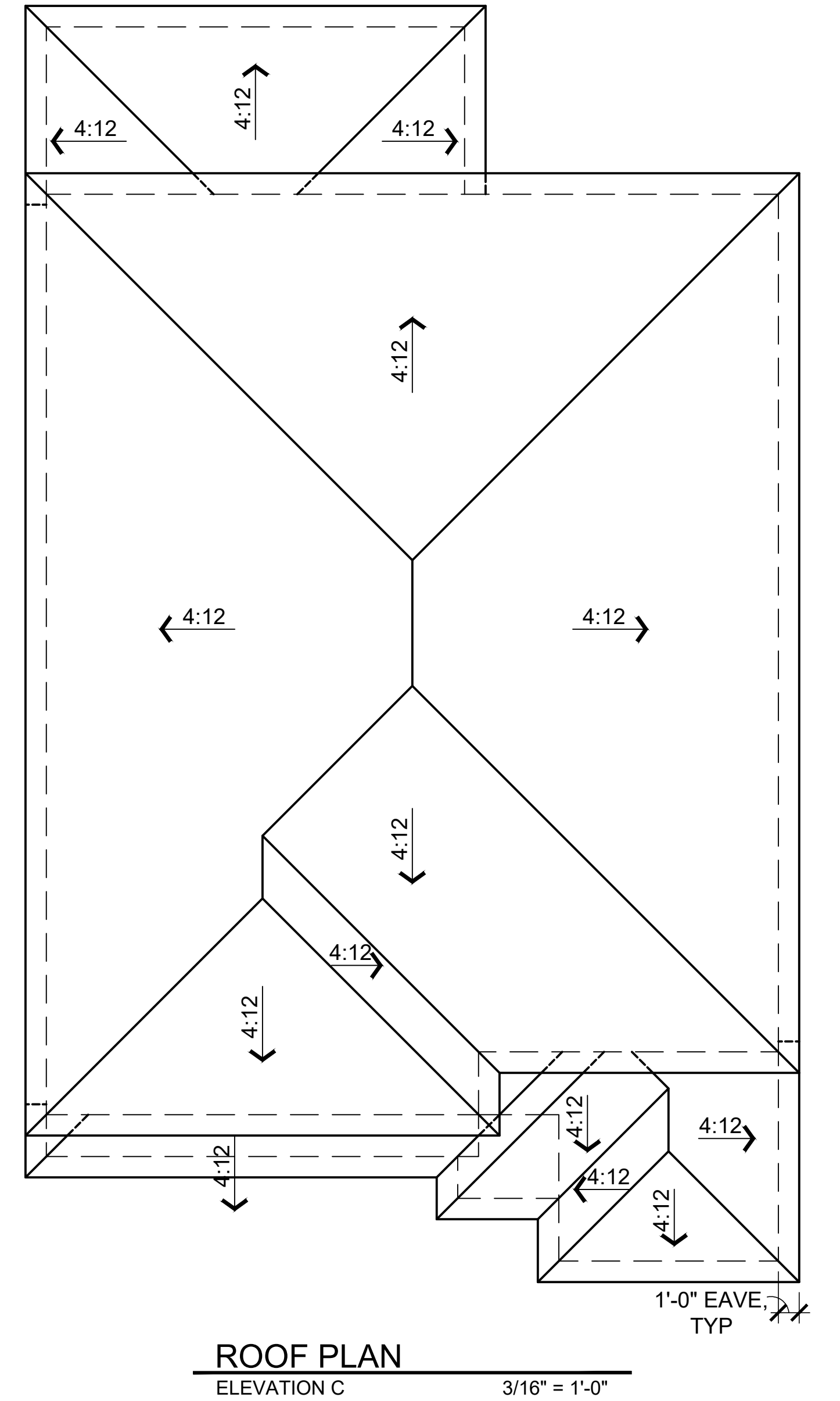
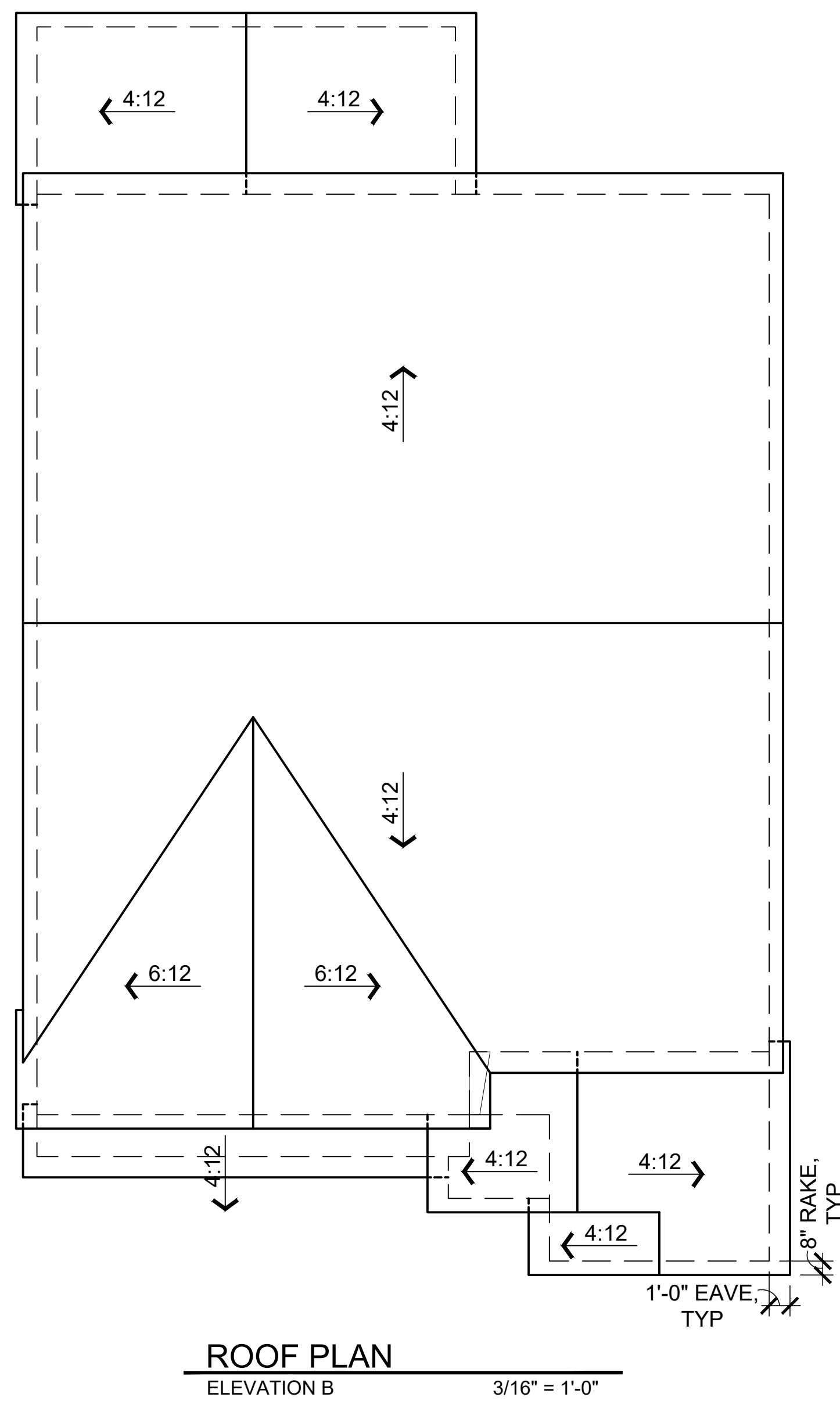
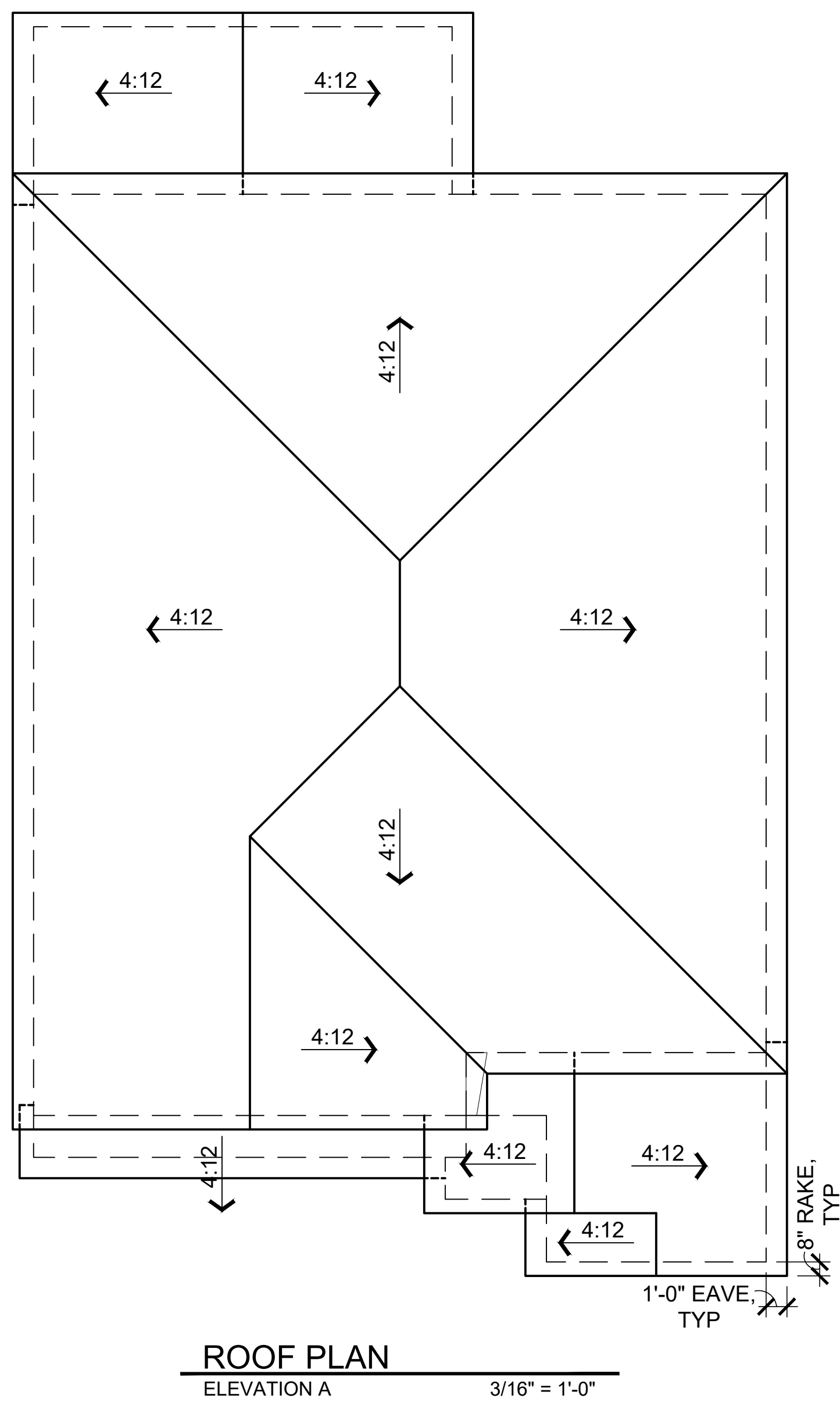
SECOND FLOOR PLAN

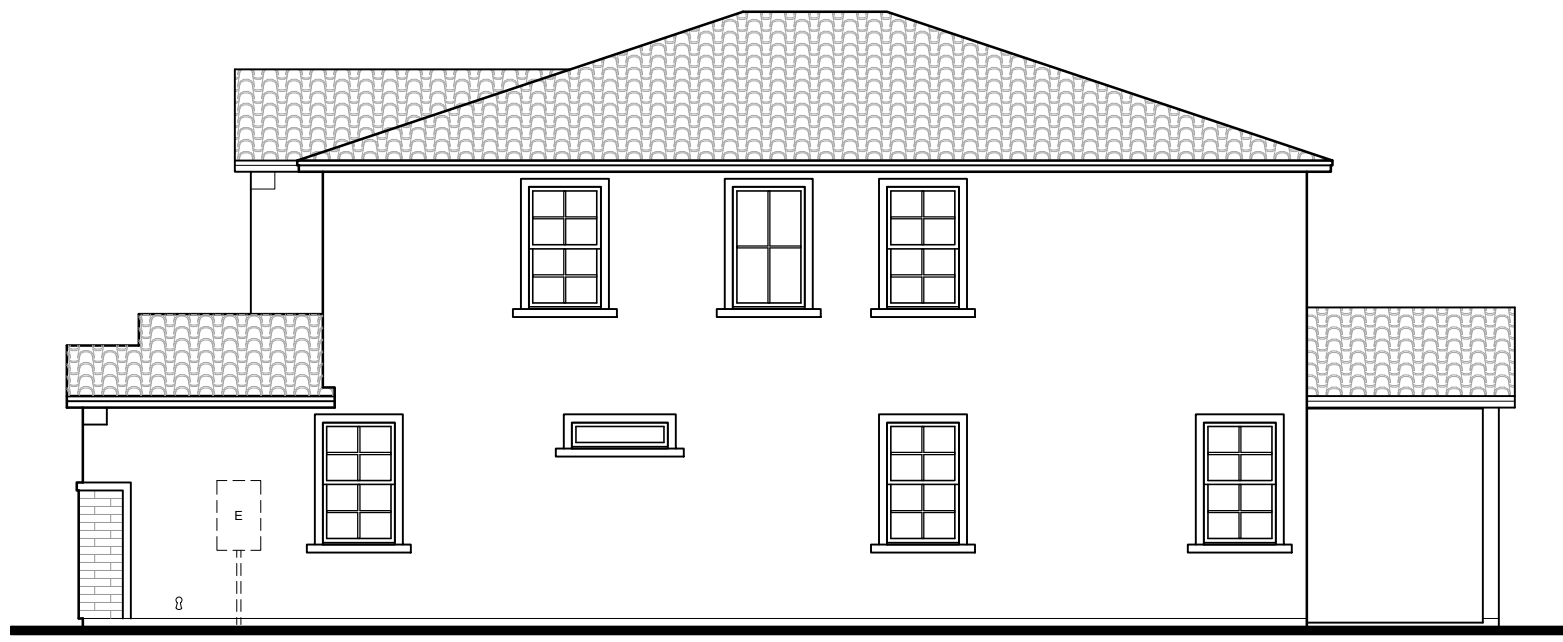
$$1/4" = 1'-0"$$


FIRST FLOOR PLAN

$$1/4" = 1'-0"$$

FIRST FLOOR LIVABLE AREA	1147 SF
<u>SECOND FLOOR LIVABLE AREA</u>	<u>1422 SF</u>
<u>TOTAL LIVABLE:</u>	<u>2569 SF</u>
2-CAR GARAGE	507 SF
PORCH	17 SF
PATIO	160 SF





RIGHT ELEVATION

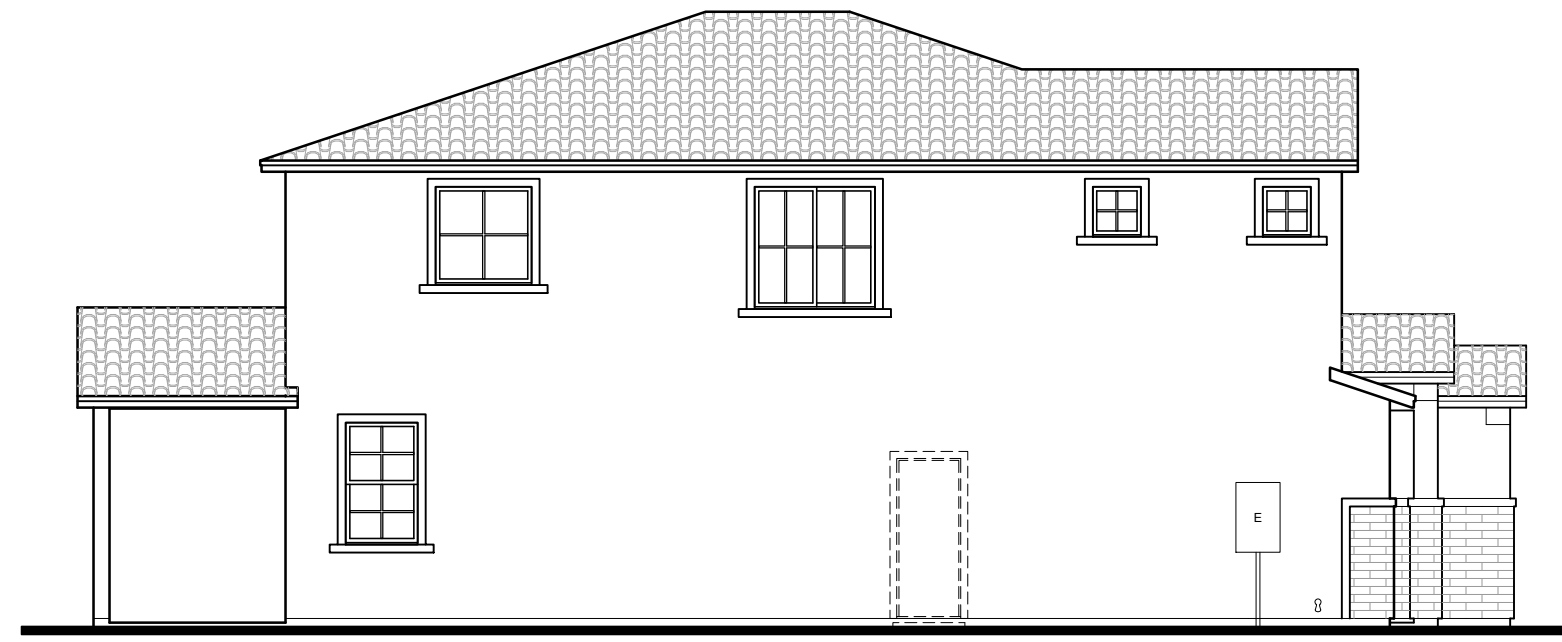
ELEVATION A
1/8" = 1'-0"
CORNER LOT ELEVATION PER SITE PLAN

CORNER LOT SIDE ELEVATION GLAZING CACLS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	TOTAL GLAZING AREA	PERCENTAGE OF GLAZING AT CORNER LOT
PLAN 2500 ELEVATION A	774 SQ. FT.	94 SQ. FT.	12%
PLAN 2500 ELEVATION B	927 SQ. FT.	94 SQ. FT.	10%
PLAN 2500 ELEVATION C	774 SQ. FT.	94 SQ. FT.	12%



REAR ELEVATION

ELEVATION A
1/8" = 1'-0"



LEFT ELEVATION

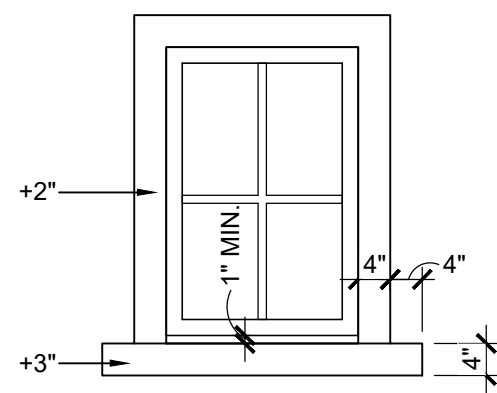
ELEVATION A
1/8" = 1'-0"

FRONT ELEVATION EXTERIOR ACCENT MATERIALS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	ACCENT MATERIAL AREA AT FRONT	PERCENTAGE OF ACCENT MATERIALS AT FRONT ELEVATION
PLAN 2500 ELEVATION A	460 SQ. FT.	74 SQ. FT.	16%
PLAN 2500 ELEVATION B	468 SQ. FT.	70 SQ. FT.	15%
PLAN 2500 ELEVATION C	391 SQ. FT.	74 SQ. FT.	19%



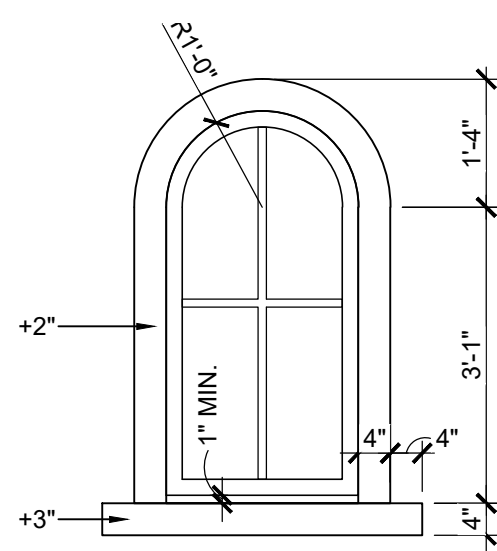
FRONT ELEVATION

ELEVATION A
1/4" = 1'-0"



TYP WINDOW TRIM

ELEVATION A
STUCCO TRIM AT SIDES AND REAR
1/2" = 1'-0"

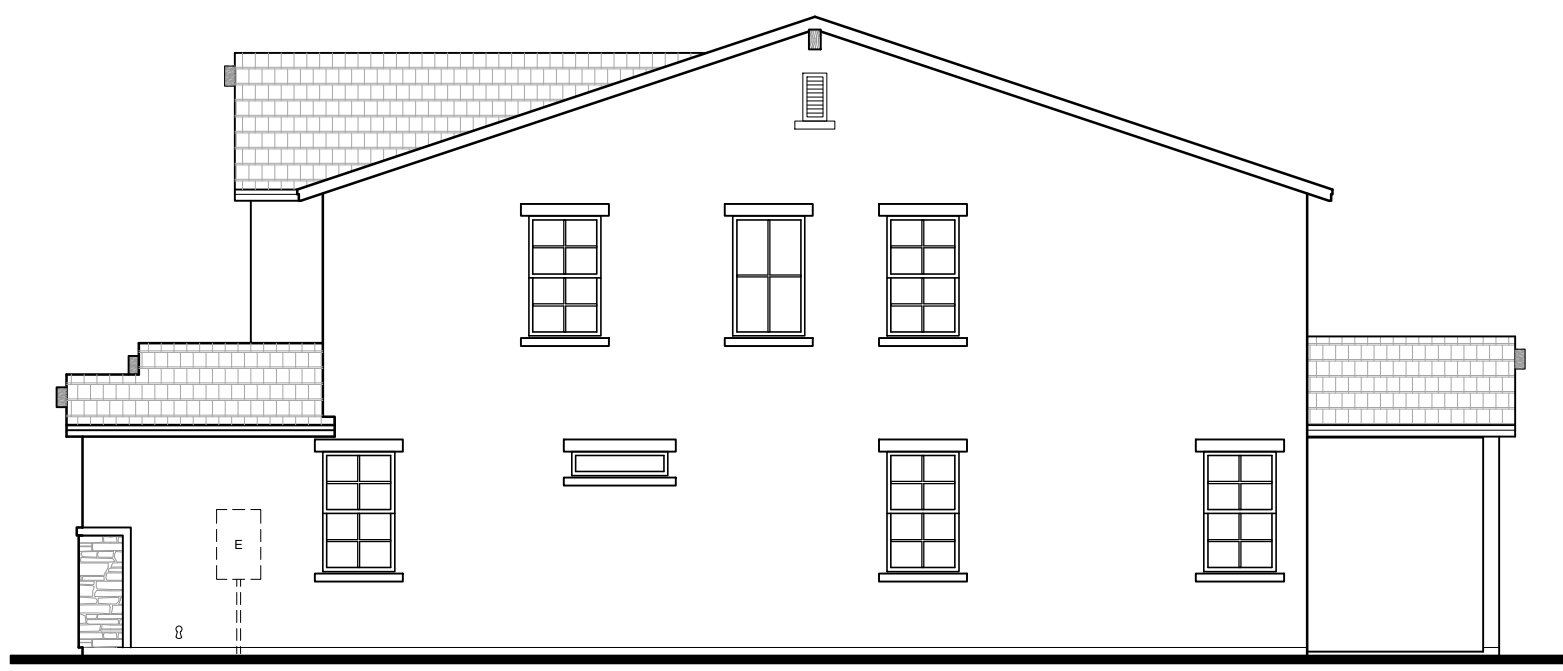


TYP WINDOW TRIM

ELEVATION A
TRIM AT FRONT WINDOW
1/2" = 1'-0"

PLAN 2500 | PRICE MANOR 2 | MESA, ARIZONA

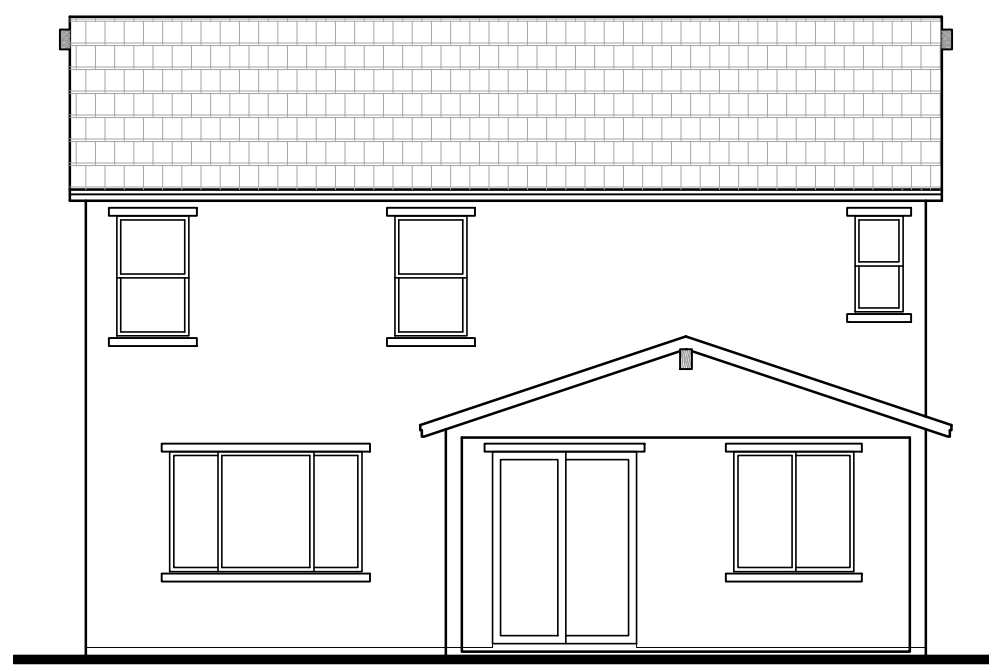
6-23-2025



RIGHT ELEVATION

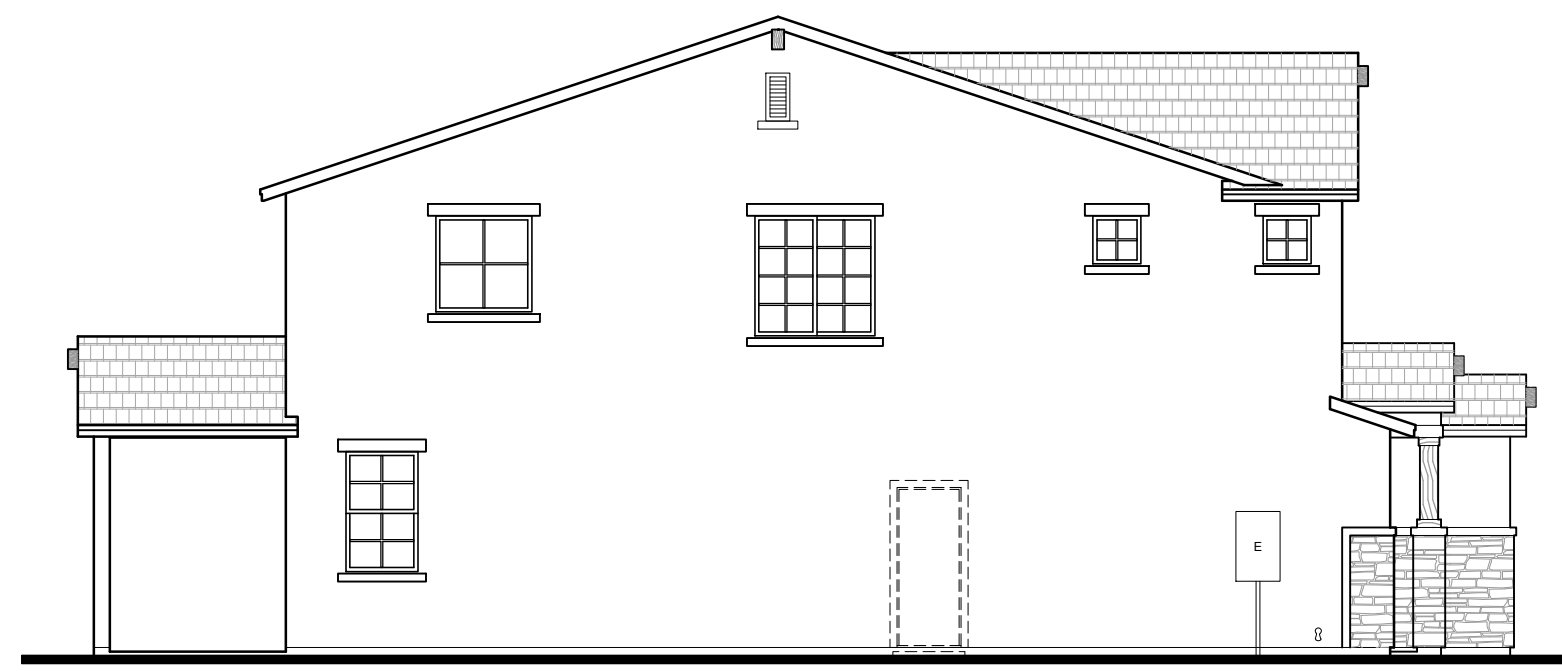
ELEVATION B
1/8" = 1'-0"
CORNER LOT ELEVATION PER SITE PLAN

CORNER LOT SIDE ELEVATION GLAZING CACLS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	TOTAL GLAZING AREA	PERCENTAGE OF GLAZING AT CORNER LOT
PLAN 2500 ELEVATION A	774 SQ. FT.	94 SQ. FT.	12%
PLAN 2500 ELEVATION B	927 SQ. FT.	94 SQ. FT.	10%
PLAN 2500 ELEVATION C	774 SQ. FT.	94 SQ. FT.	12%



REAR ELEVATION

ELEVATION B
1/8" = 1'-0"



LEFT ELEVATION

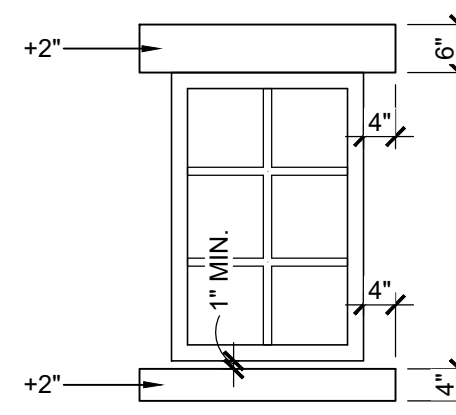
ELEVATION B
1/8" = 1'-0"

FRONT ELEVATION EXTERIOR ACCENT MATERIALS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	ACCENT MATERIAL AREA AT FRONT	PERCENTAGE OF ACCENT MATERIALS AT FRONT ELEVATION
PLAN 2500 ELEVATION A	460 SQ. FT.	74 SQ. FT.	16%
PLAN 2500 ELEVATION B	468 SQ. FT.	70 SQ. FT.	15%
PLAN 2500 ELEVATION C	391 SQ. FT.	74 SQ. FT.	19%



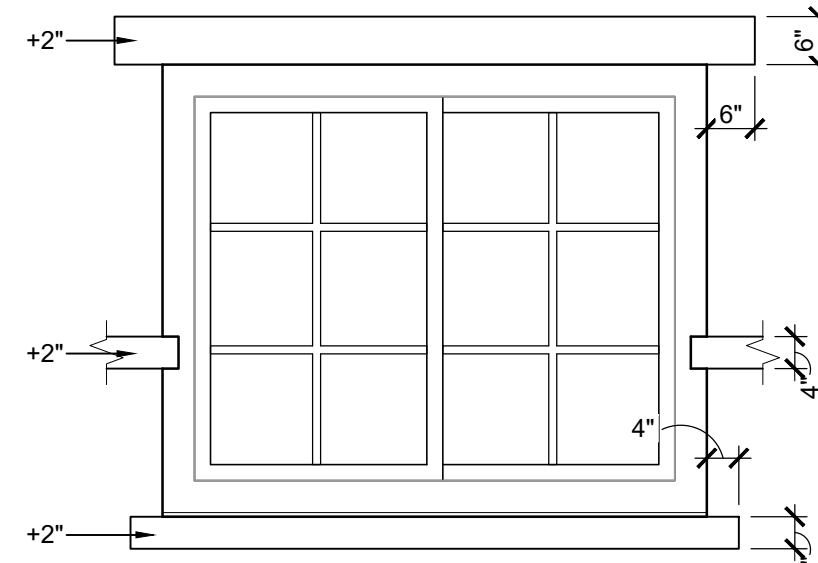
FRONT ELEVATION

ELEVATION B
1/4" = 1'-0"



TYP WINDOW TRIM

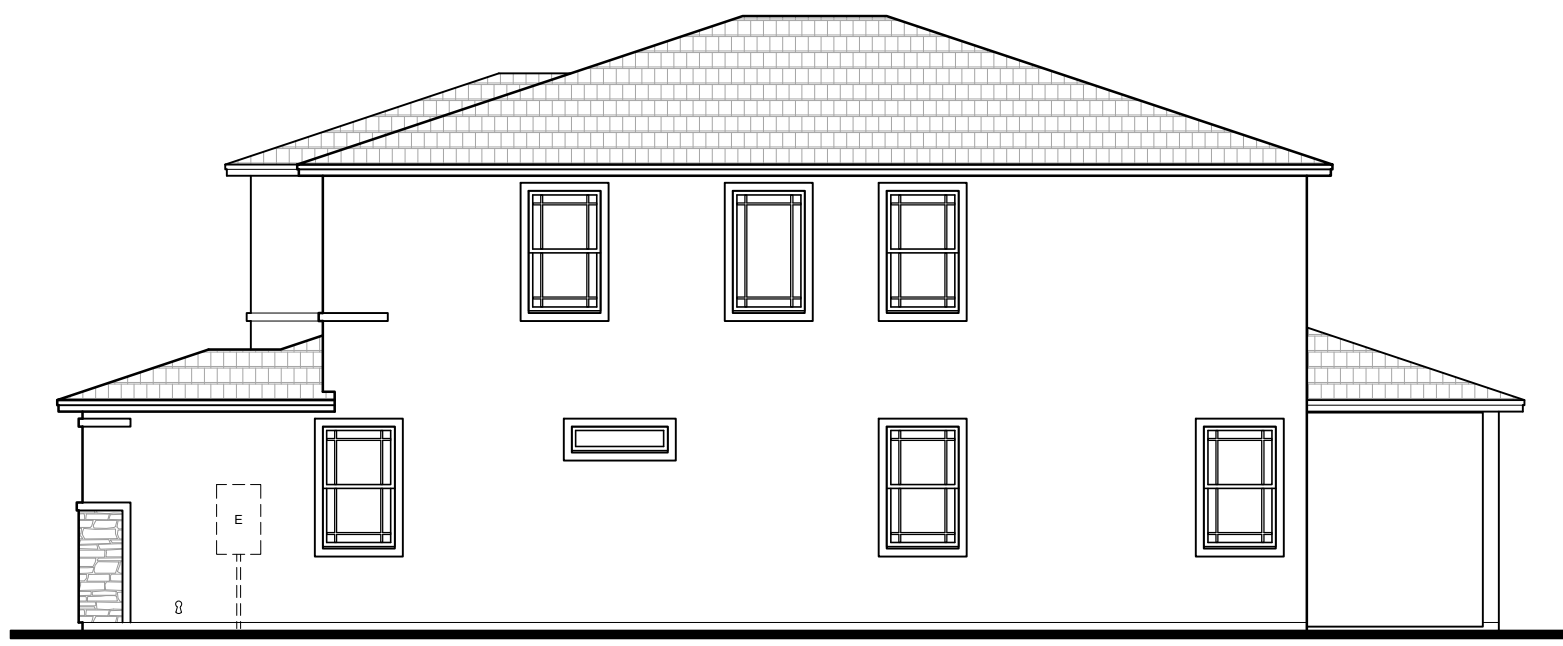
ELEVATION B
STUCCO TRIM AT SIDES AND REAR
1/2" = 1'-0"



TYP WINDOW TRIM

ELEVATION B
TRIM AT FRONT WINDOW
1/2" = 1'-0"

PLAN 2500 | PRICE MANOR 2 | MESA, ARIZONA



RIGHT ELEVATION

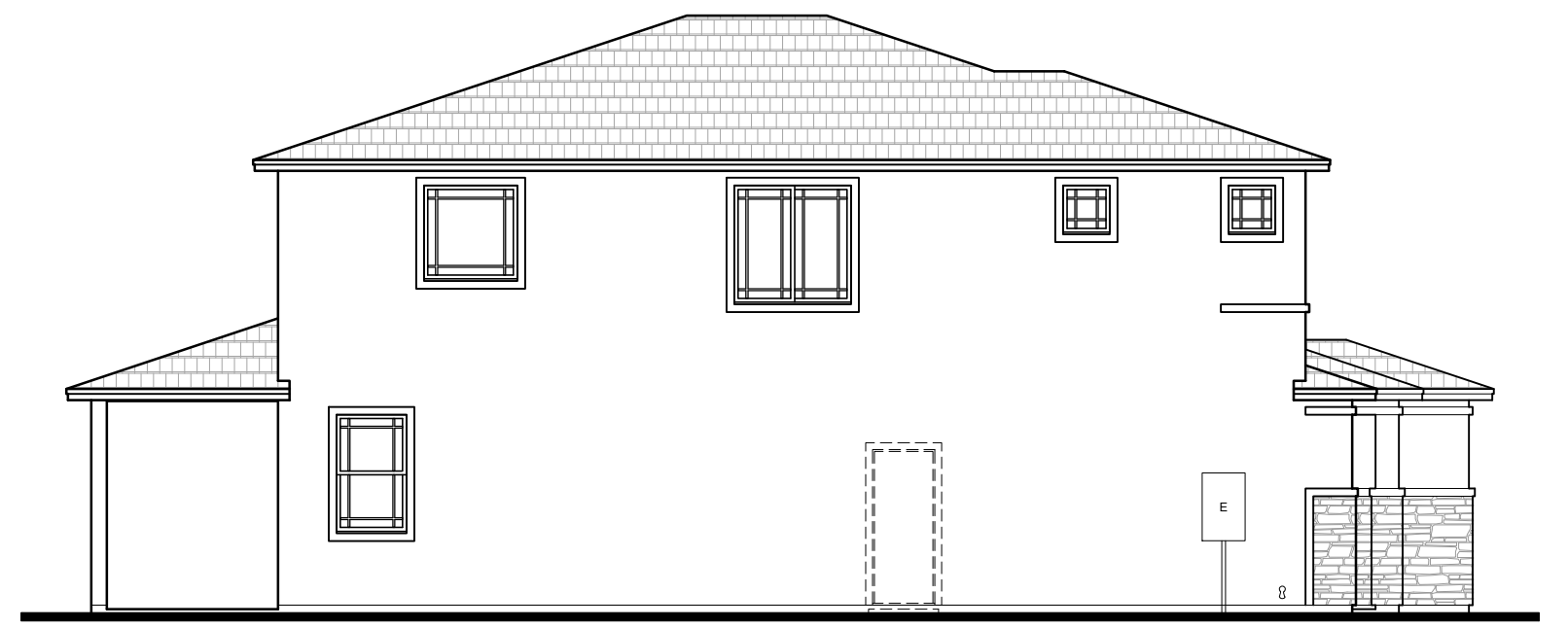
ELEVATION C
1/8" = 1'-0"
CORNER LOT ELEVATION PER SITE PLAN

CORNER LOT SIDE ELEVATION GLAZING CACLS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	TOTAL GLAZING AREA	PERCENTAGE OF GLAZING AT CORNER LOT
PLAN 2500 ELEVATION A	774 SQ. FT.	94 SQ. FT.	12%
PLAN 2500 ELEVATION B	927 SQ. FT.	94 SQ. FT.	10%
PLAN 2500 ELEVATION C	774 SQ. FT.	94 SQ. FT.	12%



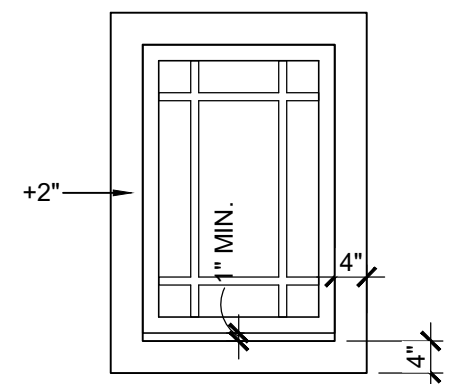
REAR ELEVATION

ELEVATION C
1/8" = 1'-0"



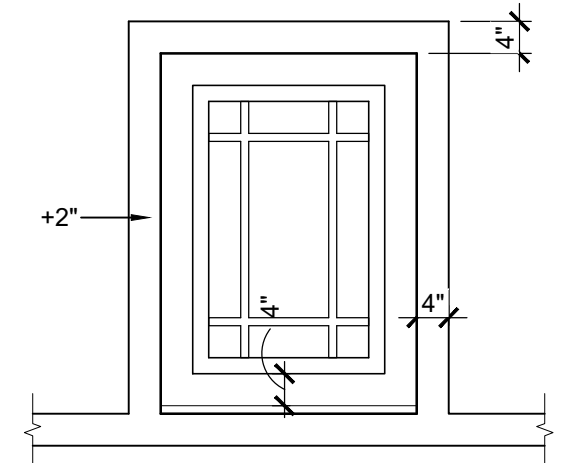
LEFT ELEVATION

ELEVATION C
1/8" = 1'-0"



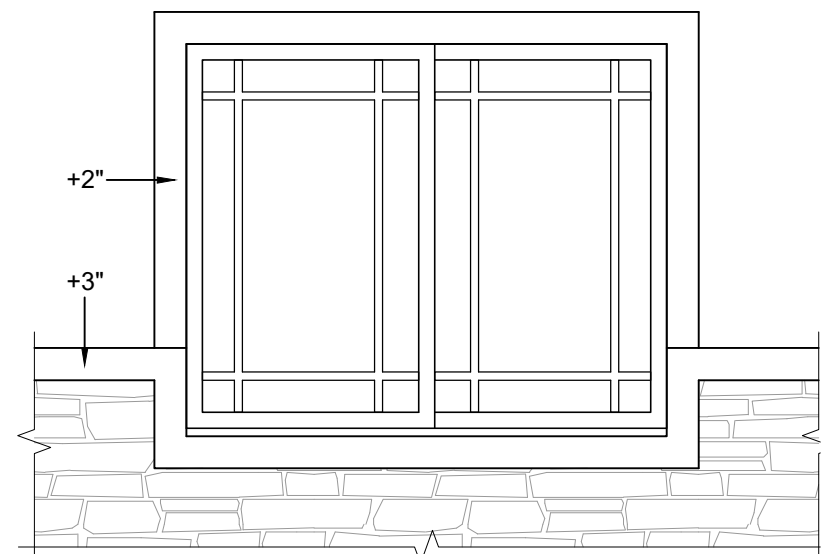
TYP WINDOW TRIM

ELEVATION C
1/2" = 1'-0"
STUCCO TRIM AT SIDES AND REAR



TYP WINDOW TRIM

ELEVATION C
1/2" = 1'-0"
STUCCO TRIM AT SIDES AND REAR



TYP WINDOW TRIM

ELEVATION C
1/2" = 1'-0"
TRIM AT FRONT WINDOW

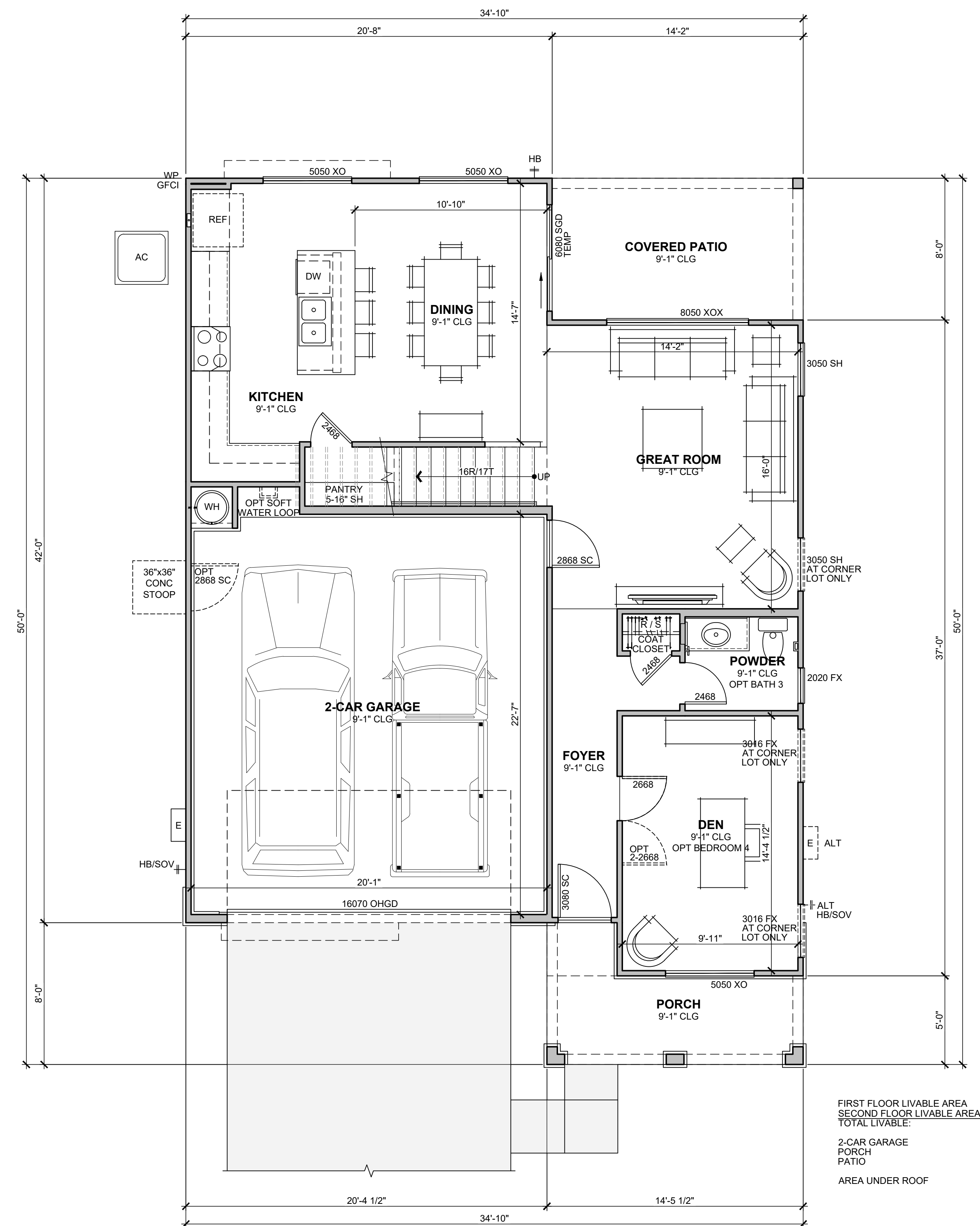
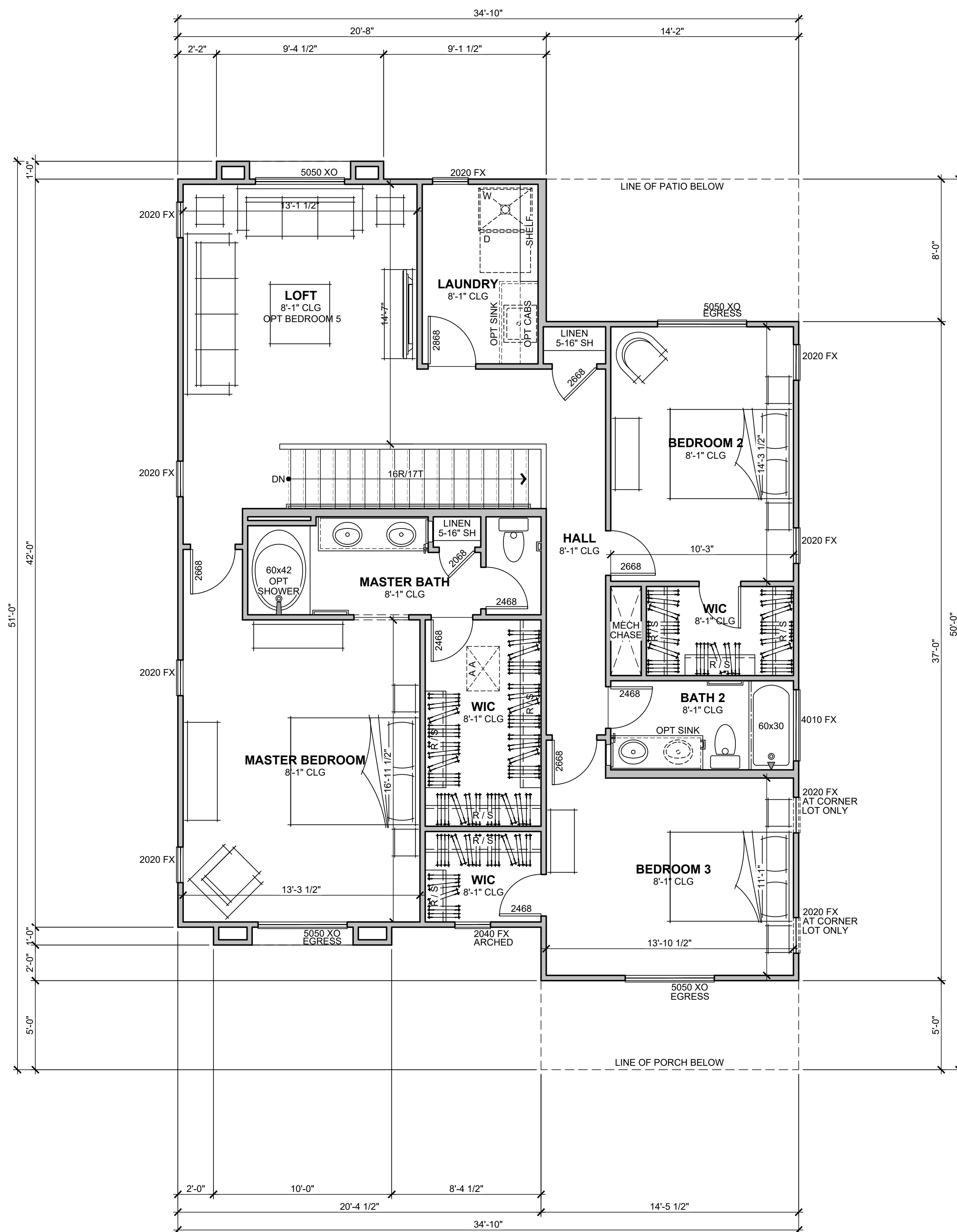
FRONT ELEVATION EXTERIOR ACCENT MATERIALS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	ACCENT MATERIAL AREA AT FRONT	PERCENTAGE OF ACCENT MATERIALS AT FRONT ELEVATION
PLAN 2500 ELEVATION A	460 SQ. FT.	74 SQ. FT.	16%
PLAN 2500 ELEVATION B	468 SQ. FT.	70 SQ. FT.	15%
PLAN 2500 ELEVATION C	391 SQ. FT.	74 SQ. FT.	19%



FRONT ELEVATION

ELEVATION C
1/4" = 1'-0"

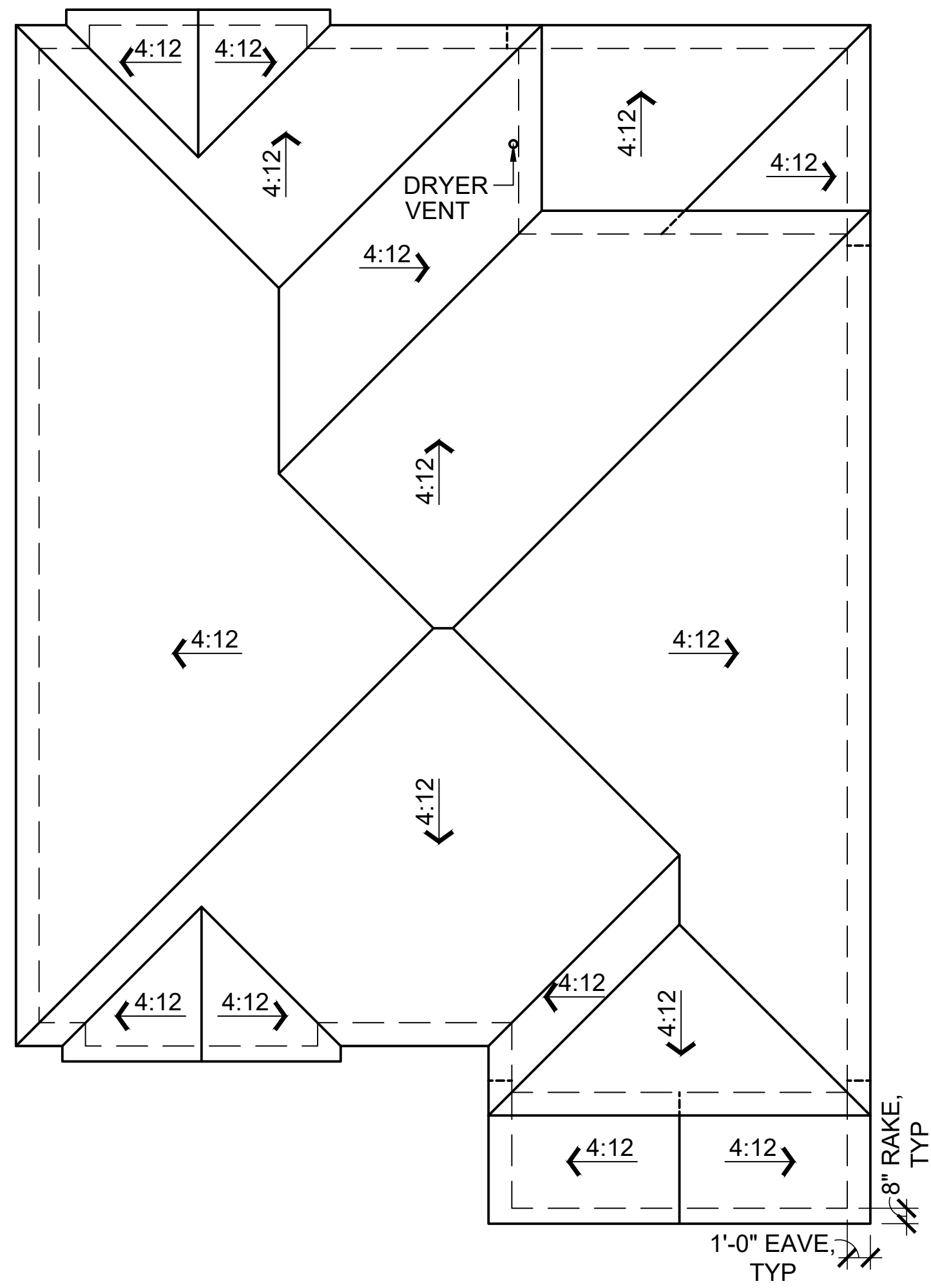
PLAN 2500 | PRICE MANOR 2 | MESA, ARIZONA



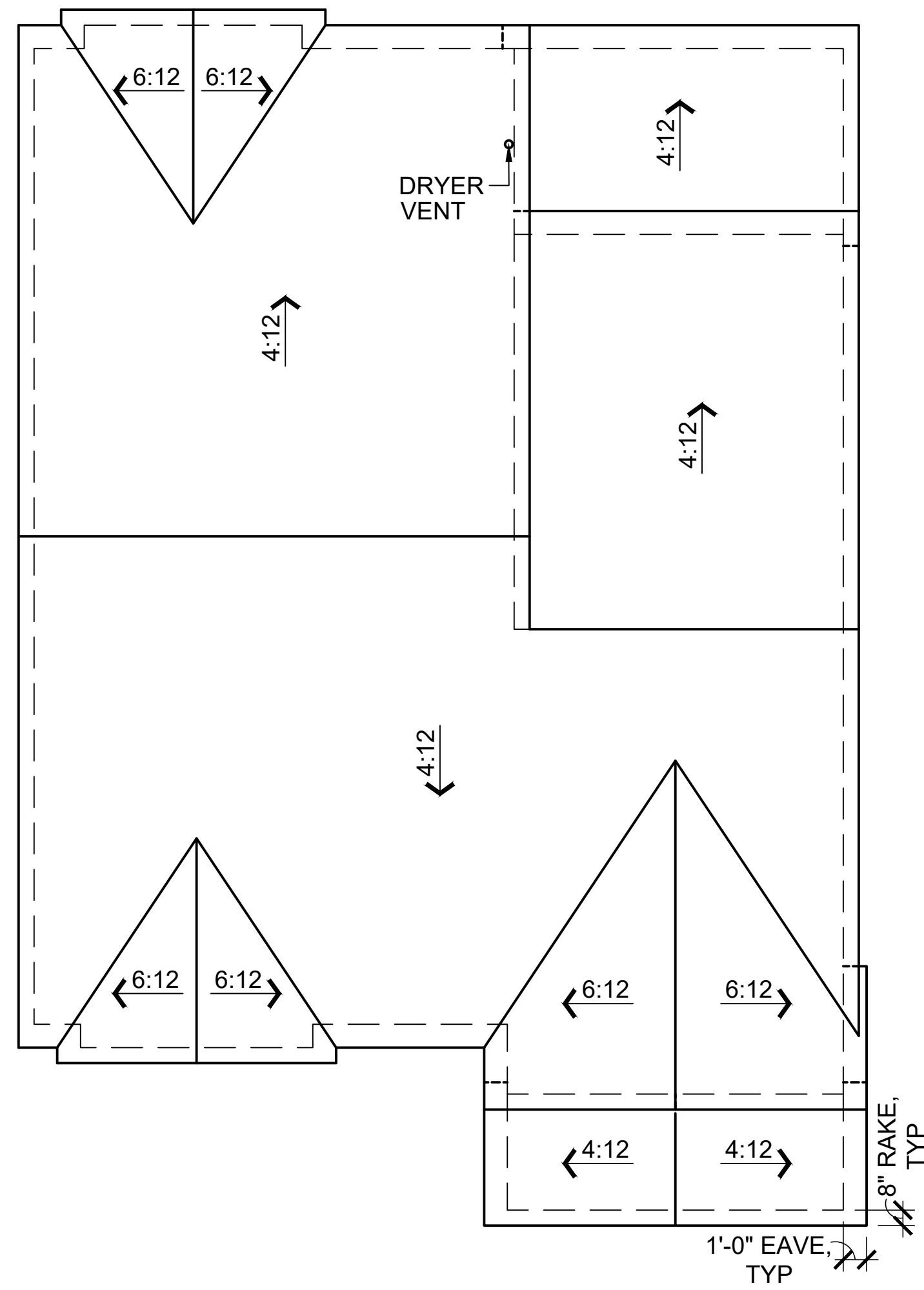
FIRST FLOOR LIVABLE AREA	902 SF
SECOND FLOOR LIVABLE AREA	1346 SF
TOTAL LIVABLE:	2248 SF
2-CAR GARAGE	479 SF
PORCH	84 SF
PATIO	113 SF
AREA UNDER ROOF	1578 SF

PLAN 2 | PRICE MANOR 2 | MESA, ARIZONA

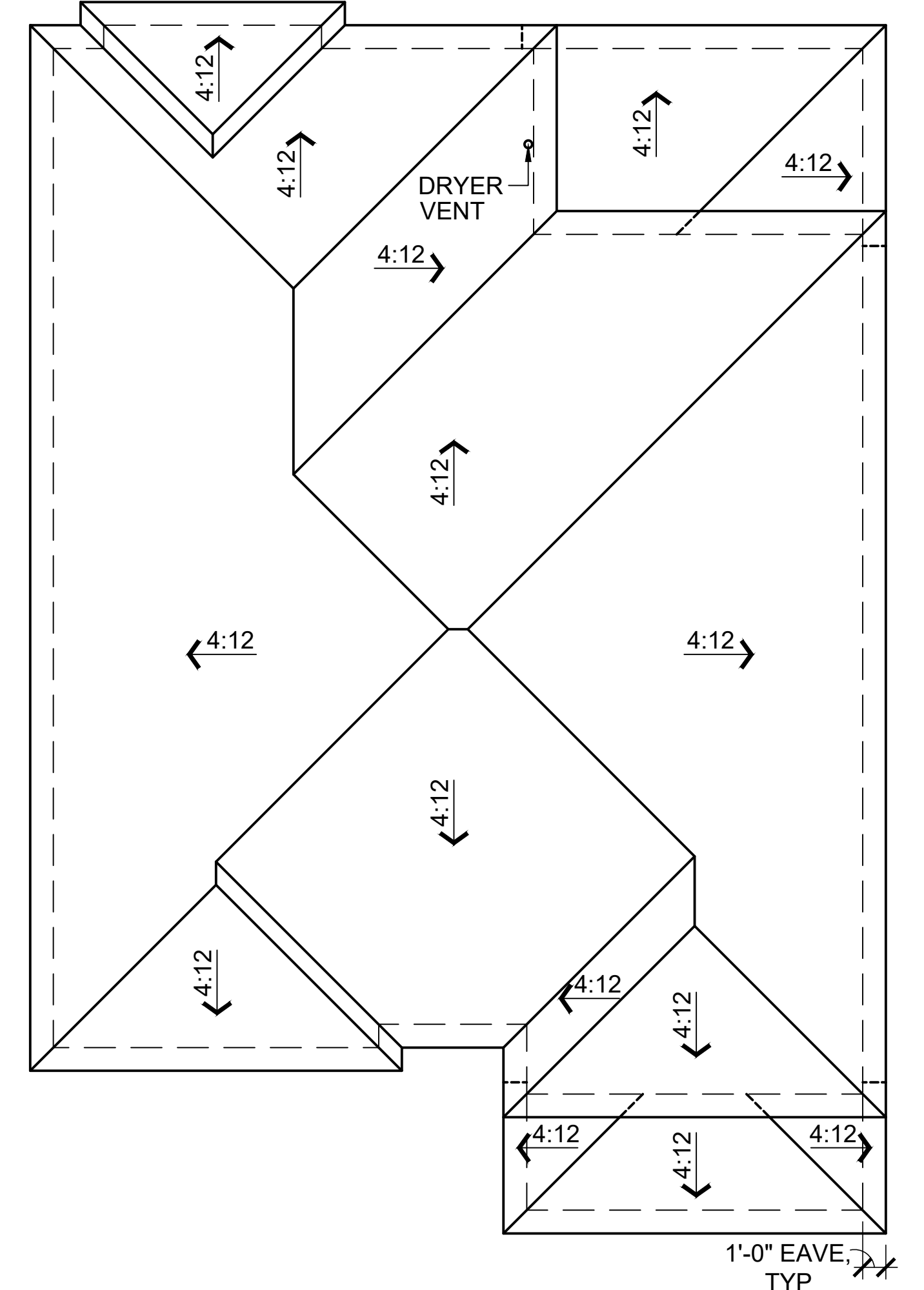
6-11-2025



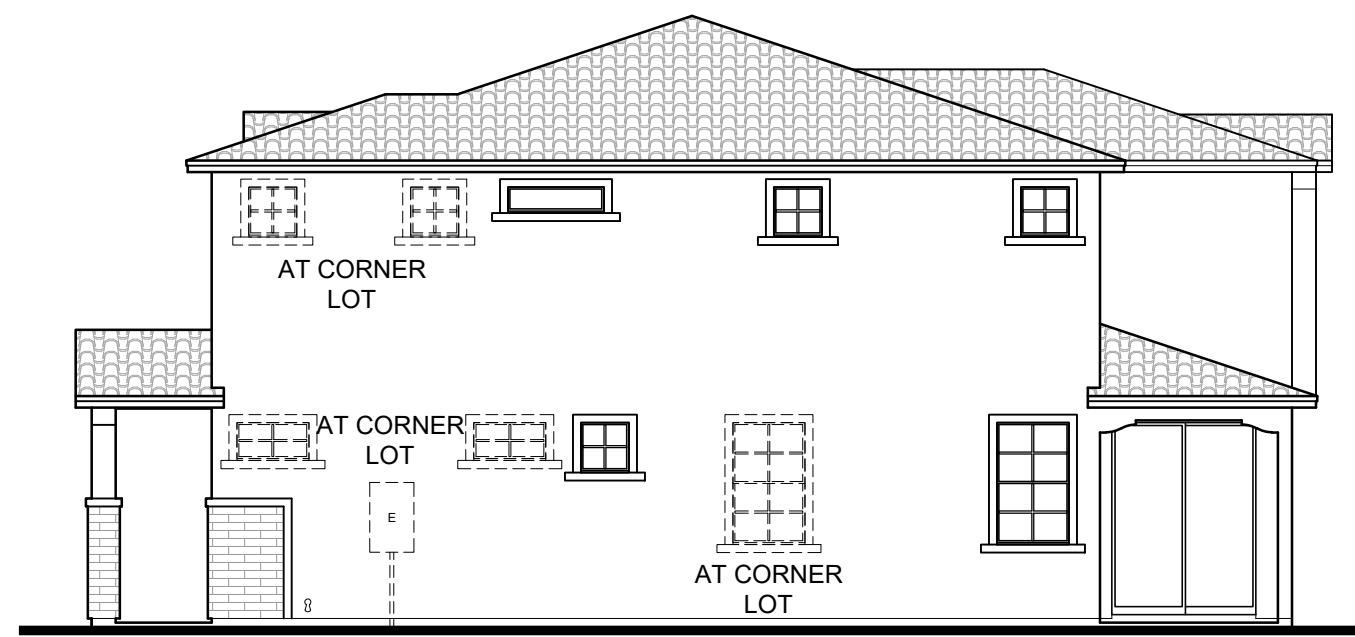
ROOF PLAN
ELEVATION A
3/16" = 1'-0"



ROOF PLAN
ELEVATION B
3/16" = 1'-0"



ROOF PLAN
ELEVATION C
3/16" = 1'-0"

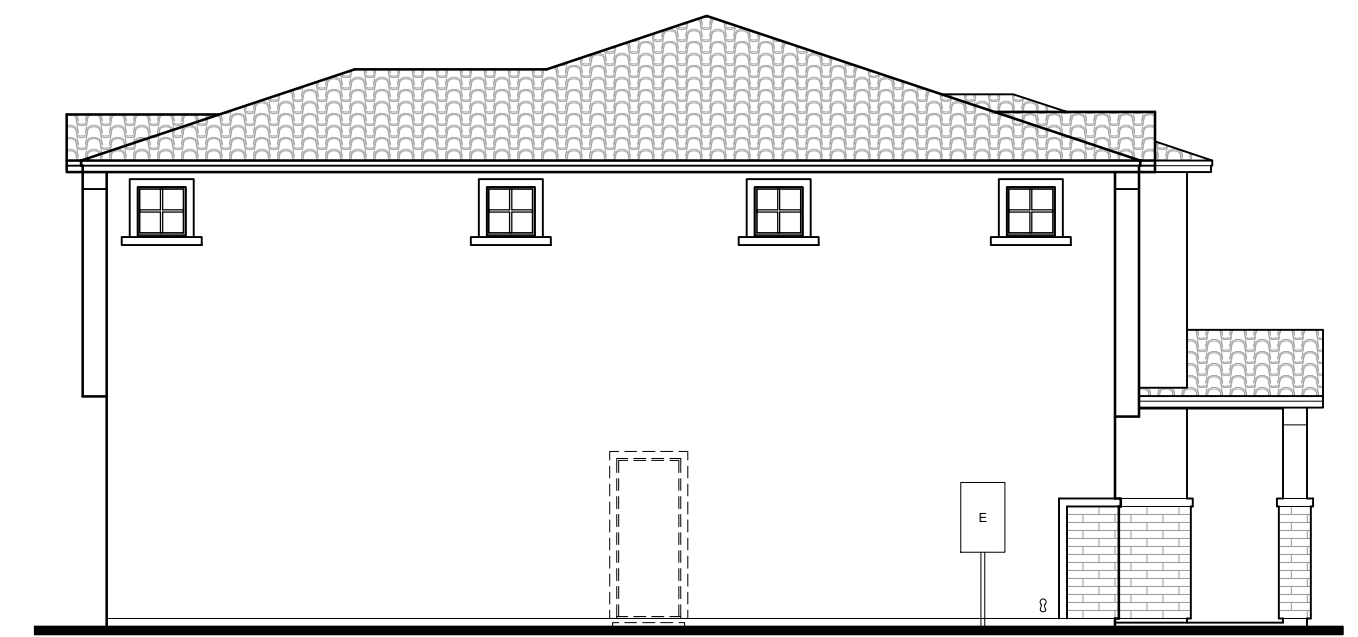


RIGHT ELEVATION
ELEVATION A 1/8" = 1'-0"
CORNER LOT ELEVATION PER SITE PLAN

CORNER LOT SIDE ELEVATION GLAZING CACLS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	TOTAL GLAZING AREA	PERCENTAGE OF GLAZING AT CORNER LOT
PLAN 2 ELEVATION A	716 SQ. FT.	111 SQ. FT.	16%
PLAN 2 ELEVATION B	865 SQ. FT.	111 SQ. FT.	13%
PLAN 2 ELEVATION C	716 SQ. FT.	111 SQ. FT.	16%

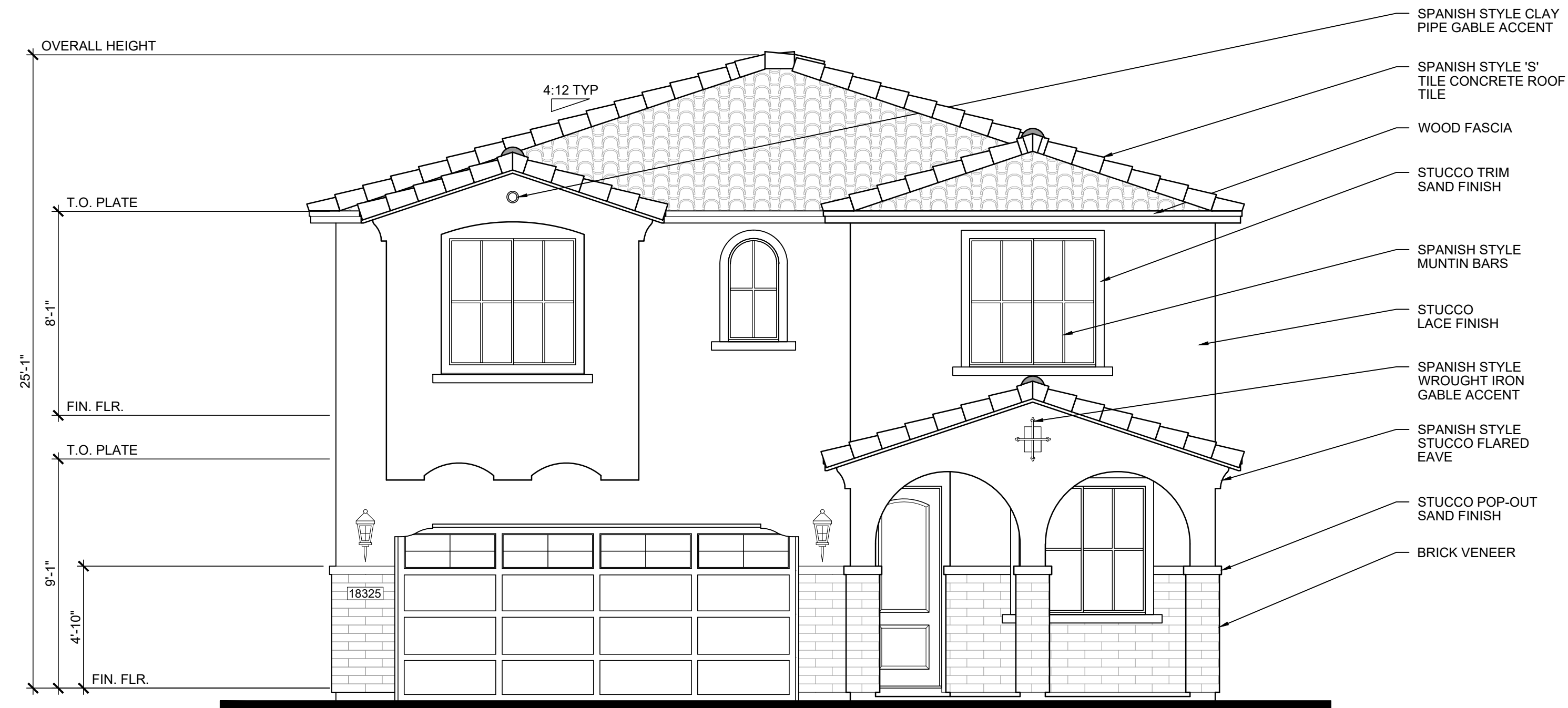


REAR ELEVATION
ELEVATION A 1/8" = 1'-0"

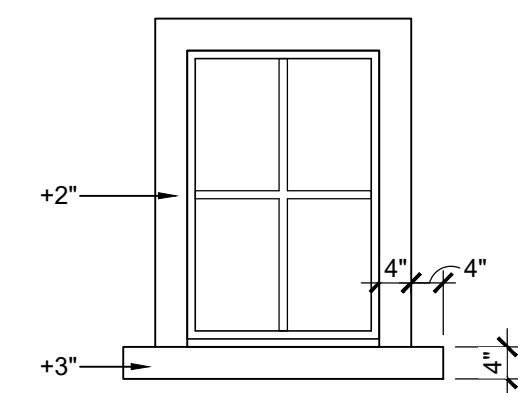


LEFT ELEVATION
ELEVATION A 1/8" = 1'-0"

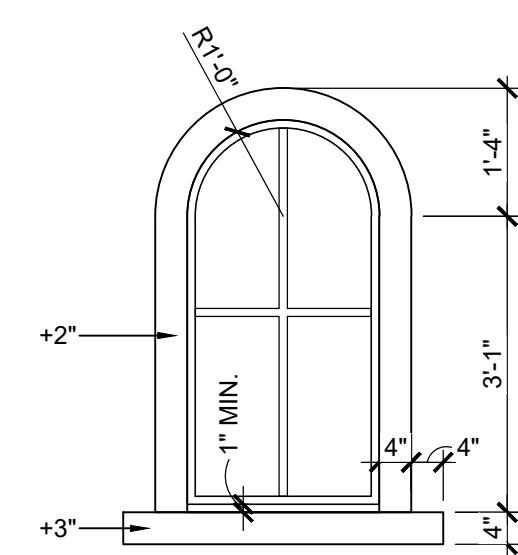
FRONT ELEVATION EXTERIOR ACCENT MATERIALS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	ACCENT MATERIAL AREA AT FRONT	PERCENTAGE OF ACCENT MATERIALS AT FRONT ELEVATION
PLAN 2 ELEVATION A	448 SQ. FT.	75 SQ. FT.	17%
PLAN 2 ELEVATION B	485 SQ. FT.	75 SQ. FT.	15%
PLAN 2 ELEVATION C	419 SQ. FT.	84 SQ. FT.	19%



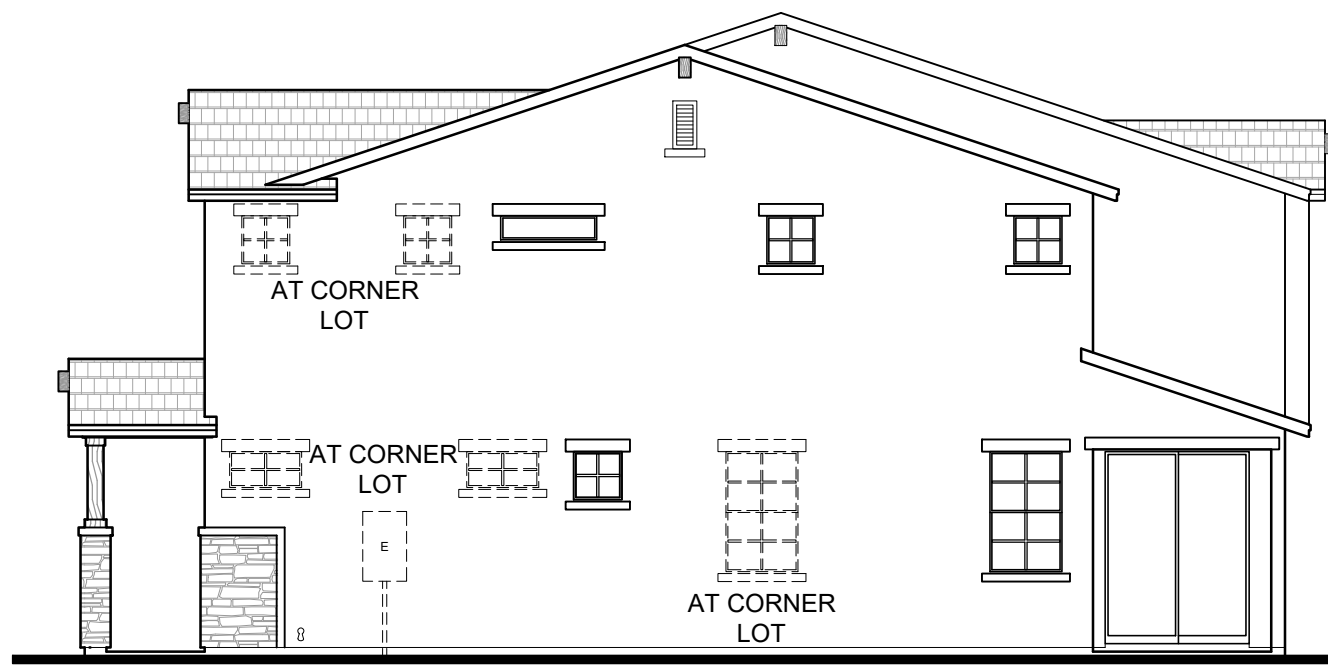
FRONT ELEVATION
ELEVATION A 1/4" = 1'-0"



TYP WINDOW TRIM
ELEVATION A 1/2" = 1'-0"
STUCCO TRIM AT SIDES AND REAR



TYP WINDOW TRIM
ELEVATION A 1/2" = 1'-0"
TRIM AT FRONT WINDOW



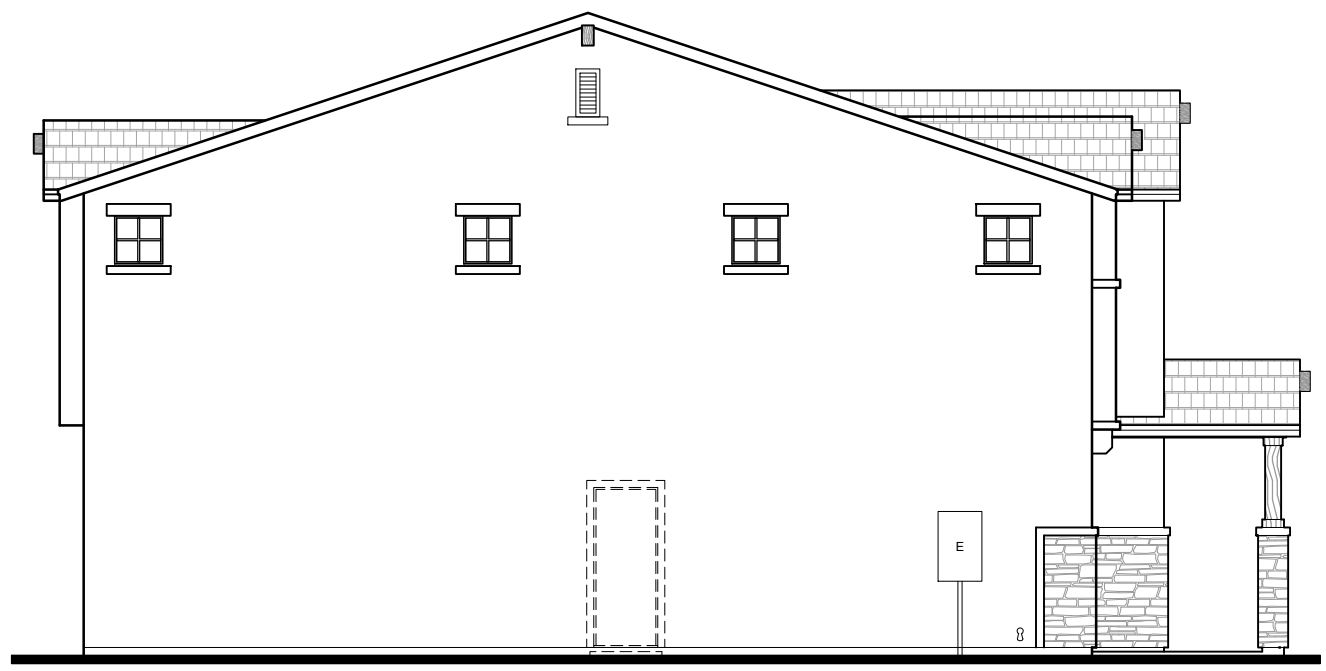
RIGHT ELEVATION
ELEVATION B 1/8" = 1'-0"
CORNER LOT ELEVATION PER SITE PLAN

CORNER LOT SIDE ELEVATION GLAZING CACLS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	TOTAL GLAZING AREA	PERCENTAGE OF GLAZING AT CORNER LOT
PLAN 2 ELEVATION A	716 SQ. FT.	111 SQ. FT.	16%
PLAN 2 ELEVATION B	865 SQ. FT.	111 SQ. FT.	13%
PLAN 2 ELEVATION C	716 SQ. FT.	111 SQ. FT.	16%

FRONT ELEVATION EXTERIOR ACCENT MATERIALS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	ACCENT MATERIAL AREA AT FRONT	PERCENTAGE OF ACCENT MATERIALS AT FRONT ELEVATION
PLAN 2 ELEVATION A	448 SQ. FT.	75 SQ. FT.	17%
PLAN 2 ELEVATION B	485 SQ. FT.	75 SQ. FT.	15%
PLAN 2 ELEVATION C	419 SQ. FT.	84 SQ. FT.	19%



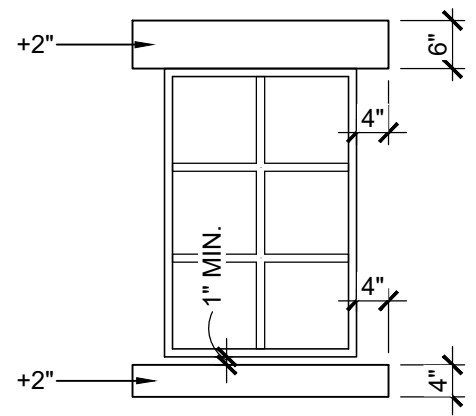
REAR ELEVATION
ELEVATION B 1/8" = 1'-0"



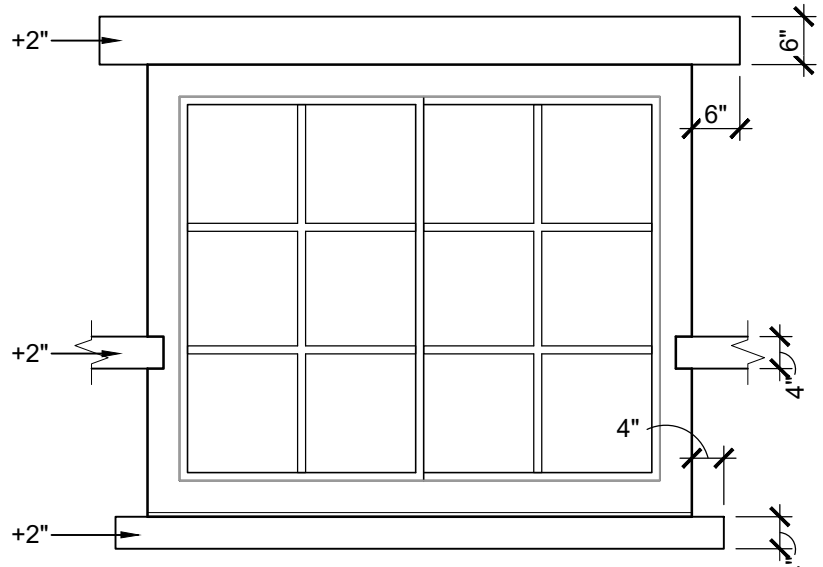
LEFT ELEVATION
ELEVATION B 1/8" = 1'-0"



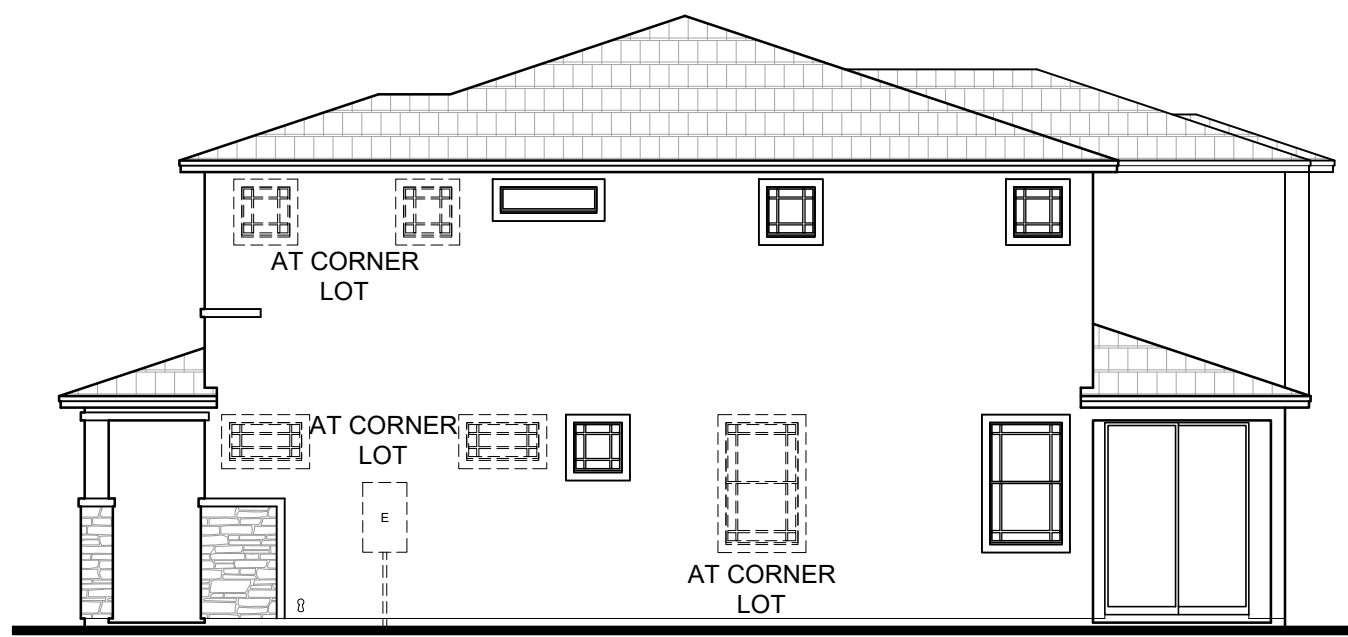
FRONT ELEVATION
ELEVATION B 1/4" = 1'-0"



TYP WINDOW TRIM
ELEVATION B 1/2" = 1'-0"
STUCCO TRIM AT SIDES AND REAR



TYP WINDOW TRIM
ELEVATION B 1/2" = 1'-0"
TRIM AT FRONT WINDOW



RIGHT ELEVATION

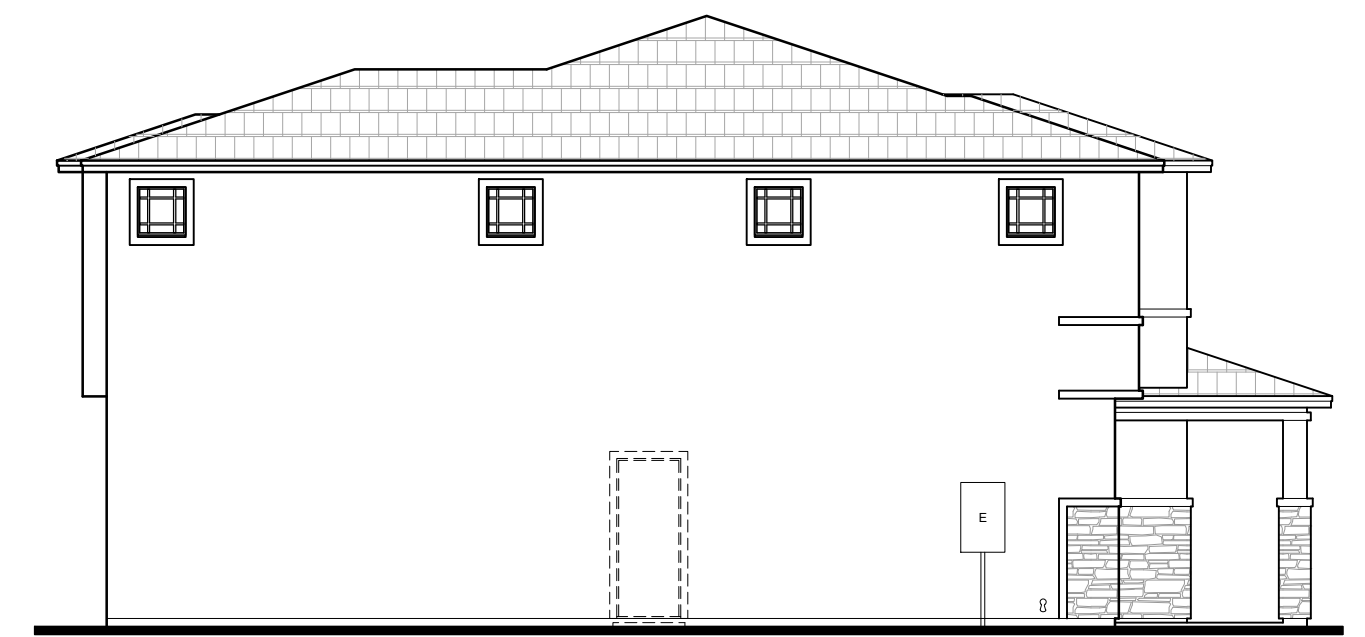
ELEVATION C
1/8" = 1'-0"
CORNER LOT ELEVATION PER SITE PLAN

CORNER LOT SIDE ELEVATION GLAZING CACLS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	TOTAL GLAZING AREA	PERCENTAGE OF GLAZING AT CORNER LOT
PLAN 2 ELEVATION A	716 SQ. FT.	111 SQ. FT.	16%
PLAN 2 ELEVATION B	865 SQ. FT.	111 SQ. FT.	13%
PLAN 2 ELEVATION C	716 SQ. FT.	111 SQ. FT.	16%



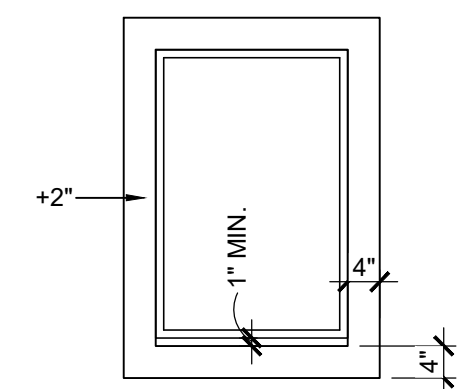
REAR ELEVATION

ELEVATION C
1/8" = 1'-0"



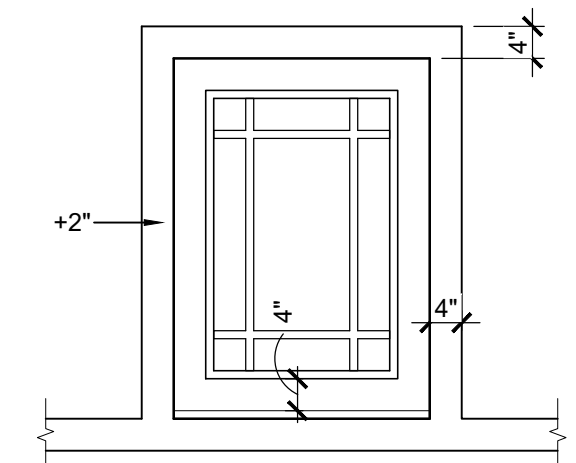
LEFT ELEVATION

ELEVATION C
1/8" = 1'-0"



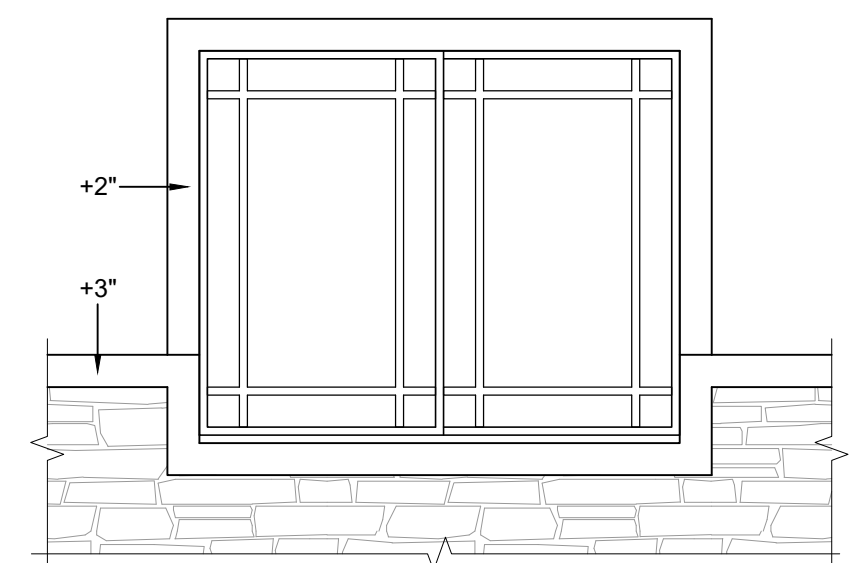
TYP WINDOW TRIM

ELEVATION C
1/2" = 1'-0"
STUCCO TRIM AT SIDES AND REAR



TYP WINDOW TRIM

ELEVATION C
1/2" = 1'-0"
STUCCO TRIM AT SIDES AND REAR



TYP WINDOW TRIM

ELEVATION C
1/2" = 1'-0"
TRIM AT FRONT WINDOW

FRONT ELEVATION EXTERIOR ACCENT MATERIALS			
PLAN NUMBER ELEVATION STYLE	TOTAL WALL AREA	ACCENT MATERIAL AREA AT FRONT	PERCENTAGE OF ACCENT MATERIALS AT FRONT ELEVATION
PLAN 2 ELEVATION A	448 SQ. FT.	75 SQ. FT.	17%
PLAN 2 ELEVATION B	485 SQ. FT.	75 SQ. FT.	15%
PLAN 2 ELEVATION C	419 SQ. FT.	84 SQ. FT.	19%



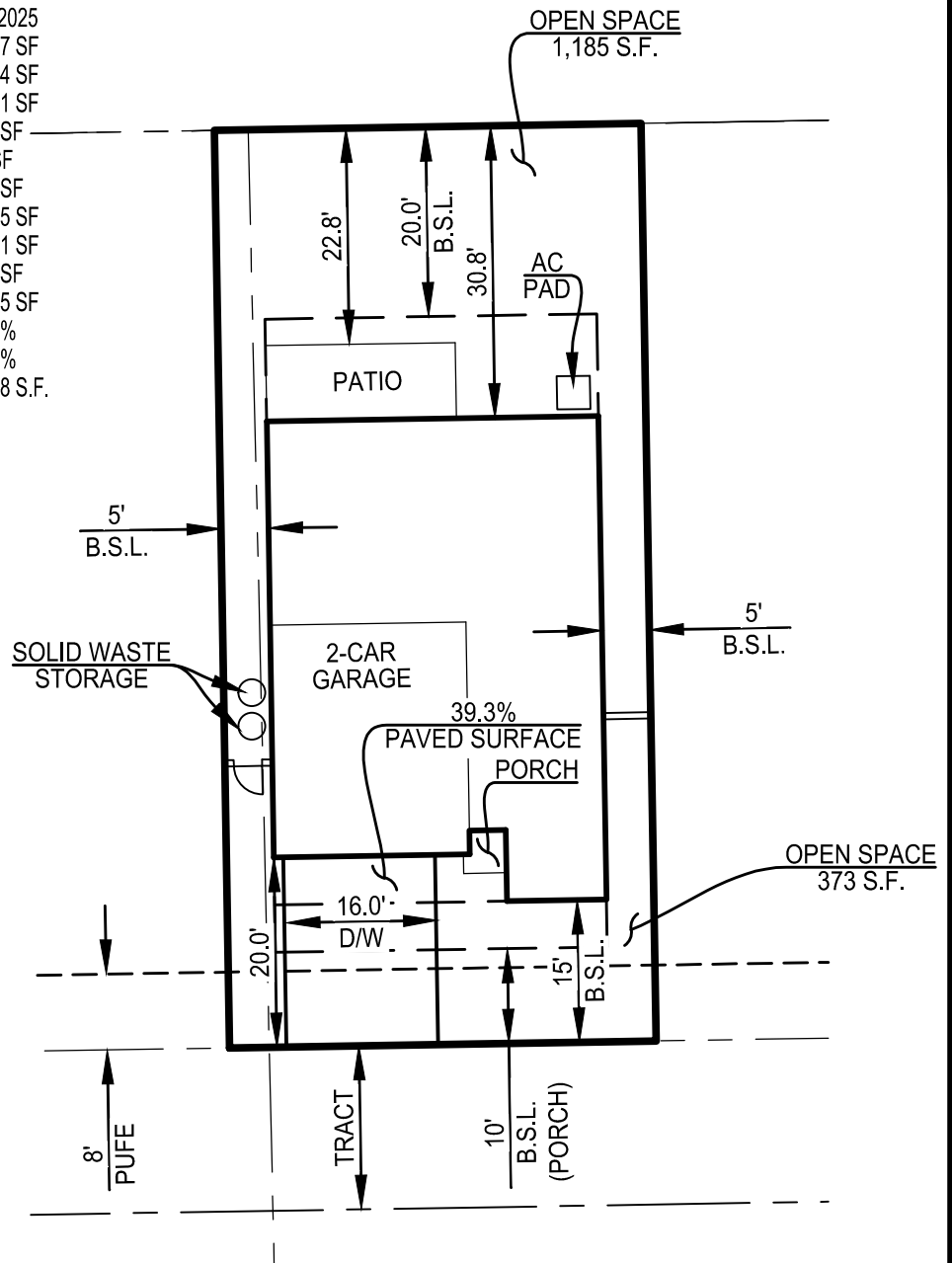
FRONT ELEVATION

ELEVATION C
1/4" = 1'-0"

PLAN 2 | PRICE MANOR 2 | MESA, ARIZONA

6-12-2025

ZONING DISTRICT: RSL-4.5-PAD
 DATE: 5-7-2025
 1ST FLOOR LIVABLE: 1,147 SF
 2ND FLOOR LIVABLE: 1,424 SF
 TOTAL LIVABLE: 2,571 SF
 2 CAR GARAGE: 507 SF
 PORCH: 17 SF
 COVERED PATIO: 160 SF
 TOTAL: 3,255 SF
 FOOTPRINT: 1,831 SF
 HARDSCAPE: 338 SF
 LOT AREA (MINIMUM): 4,355 SF
 LOT COVERAGE (FOOTPRINT): 42.0%
 LOT COVERAGE(TOTAL): 49.8%
 OPEN SPACE: 1,558 S.F.



LEGEND

	BOUNDARY
	BUILDING SETBACK
	EASEMENT AS NOTED
	B.S.L. BUILDING SETBACK LINE
	PUFE PUBLIC UTILITY AND FACILITY EASEMENT
	DW DRIVEWAY

SCALE: 1"=20'

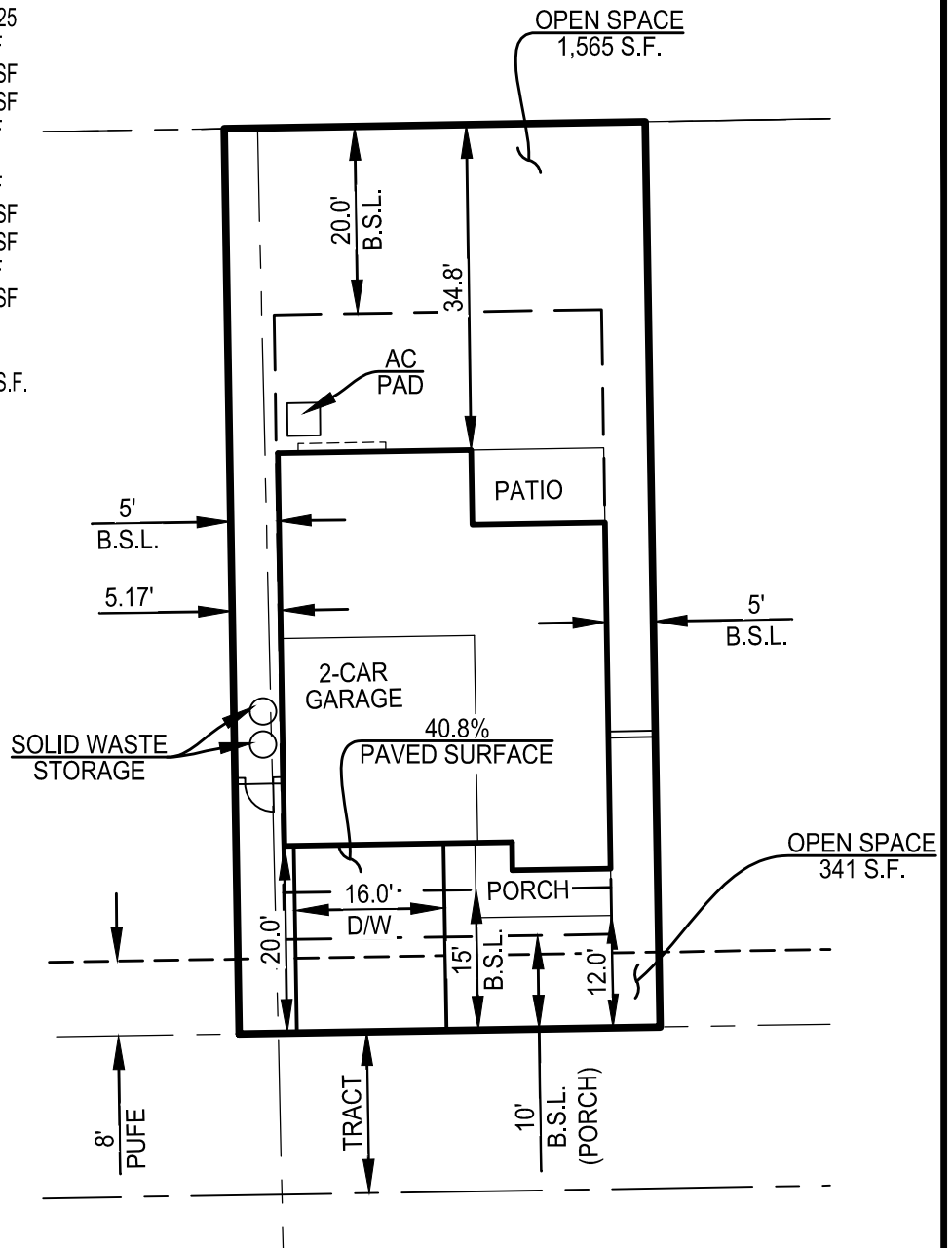
CLIENT/PROJECT
 PRICE MANOR II
 MESA, ARIZONA 85201
 TITLE
 TYPICAL LOT - 45' X 96.8'
 PLOT PLAN - PLAN 1

SHEET
1 OF 1



D & M ENGINEERING
 Duran Thompson, P.E.
 1020 East Gilbert Drive, Suite D
 Tempe, AZ 85281
 Ph: (480) 350-9590
 Fax: (480) 350-9486
 engineer@dmengineer.com

ZONING DISTRICT: RSL-4.5-PAD
 DATE: 5-7-2025
 1ST FLOOR LIVABLE: 902 SF
 2ND FLOOR LIVABLE: 1,346 SF
 TOTAL LIVABLE: 2,248 SF
 2 CAR GARAGE: 479 SF
 PORCH: 84 SF
 COVERED PATIO: 113 SF
 TOTAL: 2,924 SF
 FOOTPRINT: 1,578 SF
 HARDSCAPE: 338 SF
 LOT AREA (MINIMUM): 4,355 SF
 LOT COVERAGE (FOOTPRINT): 36.2%
 LOT COVERAGE(TOTAL): 44.0%
 OPEN SPACE: 1,824 S.F.



LEGEND

	BOUNDARY
	BUILDING SETBACK
	EASEMENT AS NOTED
	B.S.L. BUILDING SETBACK LINE
	PUFE PUBLIC UTILITY AND FACILITY EASEMENT
	DW DRIVEWAY

SCALE: 1"=20'

CLIENT/PROJECT
 PRICE MANOR II
 MESA, ARIZONA 85201
 TITLE
 TYPICAL LOT - 45' X 96.8'
 PLOT PLAN - PLAN 2

SHEET
1 OF 1



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 Ph: (480) 350-9590
 Fax: (480) 350-9486
 engineer@dmengineer.com



FRONT ELEVATION

ELEVATION A - SPANISH

1/4" = 1'-0"



FRONT ELEVATION

ELEVATION B - RANCH

1/4" = 1'-0"



FRONT ELEVATION

ELEVATION C - DESERT PRAIRIE

1/4" = 1'-0"



FRONT ELEVATION

ELEVATION A - SPANISH

1/4" = 1'-0"



FRONT ELEVATION

ELEVATION B - RANCH

1/4" = 1'-0"



FRONT ELEVATION

ELEVATION C - DESERT PRAIRIE

1/4" = 1'-0"

Price Manor II
Citizen Participation Plan
April 14, 2025

Purpose:

The purpose of the Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa for the following:

1. Rezone the property from RS-9 PAD to RSL-4.0 with a Planned Area Development (PAD) overlay.
2. Preliminary Plat approval.

By providing opportunities for citizen participation, the applicant will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposed development plans for this property.

Contact Information:

Those coordinating the Citizen Participation activities are as follows:

Sean B. Lake
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
Sean.lake@pewandlake.com

Vanessa MacDonald
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
vanessa.macdonald@pewandlake.com

Actions:

In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities for feedback from surrounding property owners:

1. The applicant will hold a neighborhood meeting for this project after the formal application has been submitted to the City.
2. The notification list for the neighborhood meeting will include all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts and HOA's within 1-mile of the property will also be notified using a list of registered neighborhoods and HOA's obtained from the City of Mesa.
3. An e-mail distribution list will be collected at the neighborhood meeting in an effort to have continued dialogue with those in attendance at the meeting concerning changes, if any, to the proposed development plans.

Schedule:

Pre-Application Conference- March 27, 2025

Formal Rezoning and Preliminary Plat Application: April 14, 2025

Follow-Up Submittals- As requested

Planning and Zoning Board Hearing- TBD

City Council Introduction- TBD

City Council Final Action- TBD

Price Manor, Phase II (ZON25-00304)
2245 North Center Street
Proposed Single-Family Detached Community
Citizen Participation Report

Submitted on behalf of:



Submitted by:

Sean B. Lake
Pew & Lake, PLC
1744 South Val Vista Drive, Suite 217
Mesa, AZ 85204

July 7, 2025

Price Manor II
Citizen Participation Plan
July 7, 2025

Purpose:

The purpose of the Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's request to the City of Mesa for the following:

1. Rezone the property from RS-9 PAD to RSL-4.5 with a Planned Area Development (PAD) overlay.
2. Preliminary Plat approval.

By providing opportunities for citizen participation, the applicant has ensured that those affected by this application have had an adequate opportunity to learn about and comment on the proposed development plans for this property.

Contact Information:

In addition to the developer, those individuals who coordinated the Citizen Participation activities are:

Sean B. Lake
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
Sean.lake@pewandlake.com

Vanessa MacDonald
Pew & Lake, PLC.
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480)461-4670 (office)
(480)461-4676 (fax)
vanessa.macdonald@pewandlake.com

Actions:

In order to provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities for feedback from surrounding property owners:

1. The applicant held a neighborhood meeting for this project on May 27, 2025. Approximately 20 neighbors attended the meeting, in addition to the development team and a member from the City's Planning staff. The summary of the neighborhood meeting is attached to this report as **Exhibit A**.
2. The notification list for the neighborhood meeting included all property owners within 1000' of the subject property. Additionally, registered neighborhood contacts and HOA's within 1-mile of the property were also notified using a list of registered neighborhoods and HOA's obtained from the City of Mesa. The notification letter and mailing list are attached to this report as **Exhibit B**.

3. An e-mail distribution list was collected at the neighborhood meeting in an effort to have continued dialogue with those in attendance at the meeting concerning changes, if any, to the proposed development plans. The sign-in Sheets are attached as **Exhibit C**.
4. The Developer, Mr. Jaren Sweeney, had personal interactions with a core group of about 10 neighbors. A list of neighbors is included as **Exhibit D**.
5. A letter of support has been provided to Mr. Sweeney and is provided as **Exhibit E**.

Development Schedule:

Pre-Application Conference- March 27, 2025

Formal Rezoning and Preliminary Plat Application: April 14, 2025

2nd Submittal- May 19, 2025

3rd Submittal- June 16, 2025

4th Submittal- July 7, 2025

Planning and Zoning Board Hearing- August 13, 2025

City Council Introduction- TBD

City Council Final Action- TBD

Attachments:

A: Summary of Neighborhood Meeting

B: Neighborhood Meeting Notification Letter and List

C: Neighborhood Meeting Sign-In Sheets

D: Neighbor Interactions

E: Letter of Support

Price Manor, Phase II (ZON25-00304)
2245 North Center Street
Proposed Single-Family Detached Community
Summary of Neighborhood Meeting

Submitted on behalf of:



Submitted by:

Sean B. Lake
Pew & Lake, PLC
1744 South Val Vista Drive, Suite 217
Mesa, AZ 85204
July 7, 2025

Brighton Homes- Price Manor II
2245 North Center Street Mesa, AZ
Summary of Neighborhood Meeting
Location: Mesa Public Library Main Branch; Board Room
64 East First Street, Mesa, AZ 85201
May 27, 2025

The meeting began at 6:00p.m. and lasted until 6:55 p.m. There were approximately 20 people in attendance.

Attendees from the development team included: Sean Lake and Vanessa MacDonald, Pew & Lake, PLC; Jaren Sweeney, Brighton Homes.

Speaking from a PowerPoint (Attached to this summary), Mr. Lake discussed the following concepts:

1. Aerial/Context map to provide context
2. Discussion of SRP parcel at entrance to project
3. Existing Zoning
4. Existing General Plan designation
5. Discussion of Lehi Sub-Area boundaries (project not in sub-area)
6. Requests to the City of Mesa
7. Site Details
8. Housing Product Details

After Mr. Lake completed the PowerPoint presentation, the neighbors asked questions and provided comments.

NOTE: This document is intended to be a summary of the general concepts discussed at the neighborhood meeting. It is not intended to be a verbatim account of the meeting, and although some of the attendees identified themselves by name, most of the individuals providing comment did not identify themselves and this summary therefore does not attempt to name specific individuals that made comments. Where multiple individuals addressed the same topic, they have been grouped together, and a single response is provided. This is done for brevity and to eliminate redundancies.

The questions and comments posed by attendees are shown below in bold text, with Mr. Lake's answers shown in italics.

1. Will this development have flood irrigation?

RESPONSE: No.

2. Will this project allow livestock?

RESPONSE: No.

3. This property is in the Lehi Heritage Neighborhood

RESPONSE: No. The property is just outside the boundaries of the Lehi Character Area, which was recently named a Heritage Neighborhood in the City of Mesa. The boundaries are the same for the sub-area and the Heritage Neighborhood.

- 4. Two years ago you used the R-9 zoning of this property to justify the project to the south. Now you're trying to change the R-9 zoning to something else. I think that you are pulling a bait-and-switch.**

RESPONSE: We still think that the buffering we discussed in the previous case still remains. The lots we are proposing on this site are larger than what was approved for Price Manor I. So, the farther you get from the Lehi area, the smaller the lots become.

- 5. I am concerned about traffic and kids getting hit by cars. Especially the traffic that will wind through our neighborhood as people go to Walmart. Traffic on Leland is going to be bad.**

RESPONSE:

- 6. We think this is win for our neighborhood. That empty lot has become a dumping ground, and living area for homeless people and drug users. This will clean that up.**

RESPONSE:

- 7. Comment from Mr. Sweeney: I know that you all don't love this, But I am trying to do a really great thing on this property and create a really nice neighborhood. The homes here will be as big as 2,500 s.f., and will probably start in the mid-\$500,000's,**
- 8. I would support you 100% if you made that gate (on Pasadena) an emergency only gate.**

RESPONSE: We are working with the City to determine the utility of the gate.

- 9. The gate is our #1 issue. Next is density and then lot sizes.**

RESPONSE: Thank you. We hear you loud and clear.

- 10. The seller's greed shouldn't be our problem.**

RESPONSE: We understand. But we are trying to mitigate impacts into your neighborhood in the design of this community on a very small parcel with development constraints.

- 11. Can you put a stipulation in the CC&R's that these won't be short term rentals?**

RESPONSE: Yes. We include a stipulation that any rentals must be for longer than six months.

12. Comment: I think that Mr. Sweeney is doing us a favor by developing this project and using up the vacant land. It currently is being used as a dumping ground, there are drug deals that take place there and other illegal activity.

13. Are you going to keep the equestrian trail along Center?

RESPONSE: There will be a gravel pathway along Center.

As the meeting began to break down into multiple side conversations, Mr. Lake summarized the comments that had been provided:

- We will work with the City to create a gate on Pasadena that will minimize traffic on that street while allowing for access by solid waste and emergency services.
- Some neighbors would like less density.
- Some neighbors are in support of the project since it will absorb vacant land that is being used for illicit purposes.

The meeting concluded at 6:55pm.

Attachment:

PowerPoint Presentation

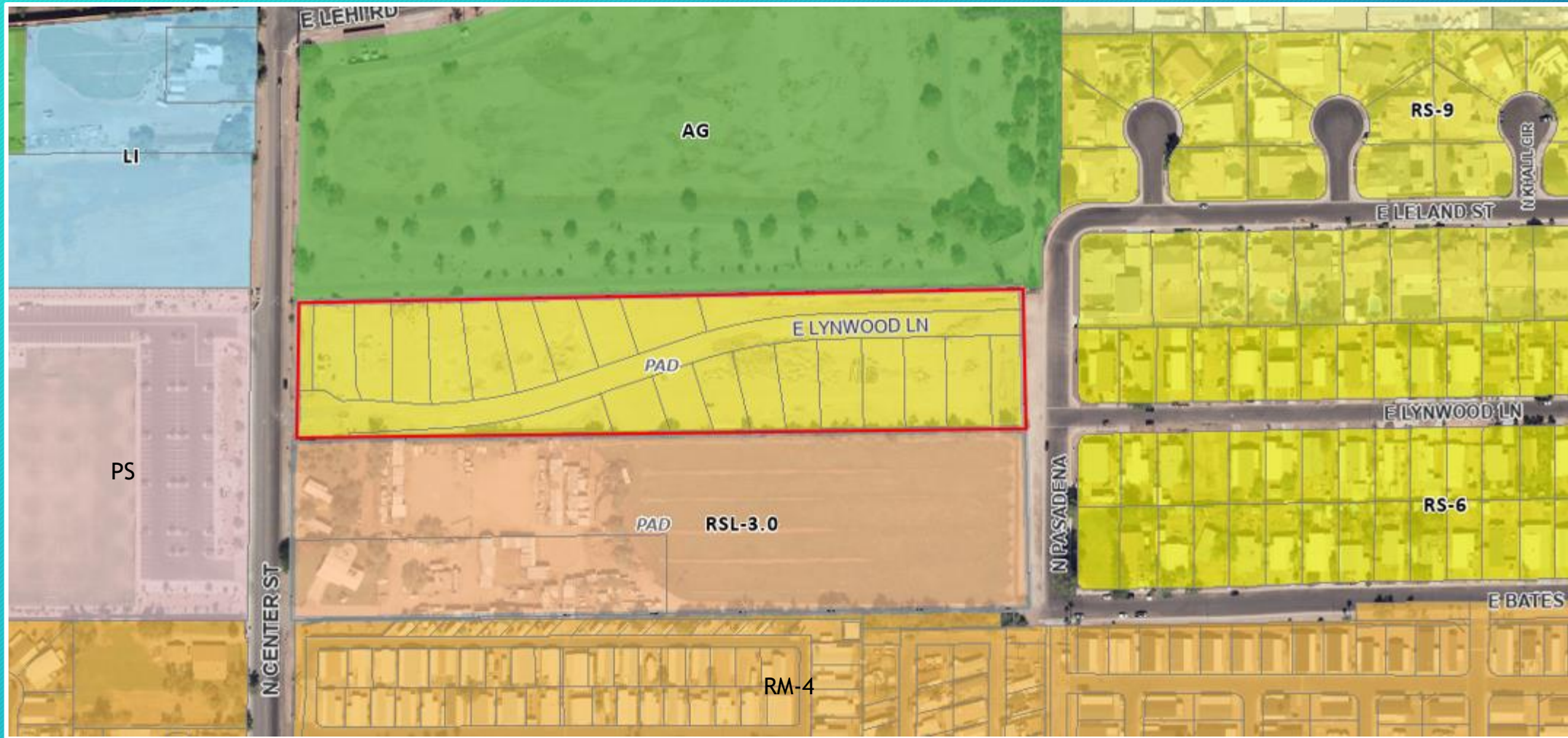


Price Manor, Phase II 2245 North Center Street

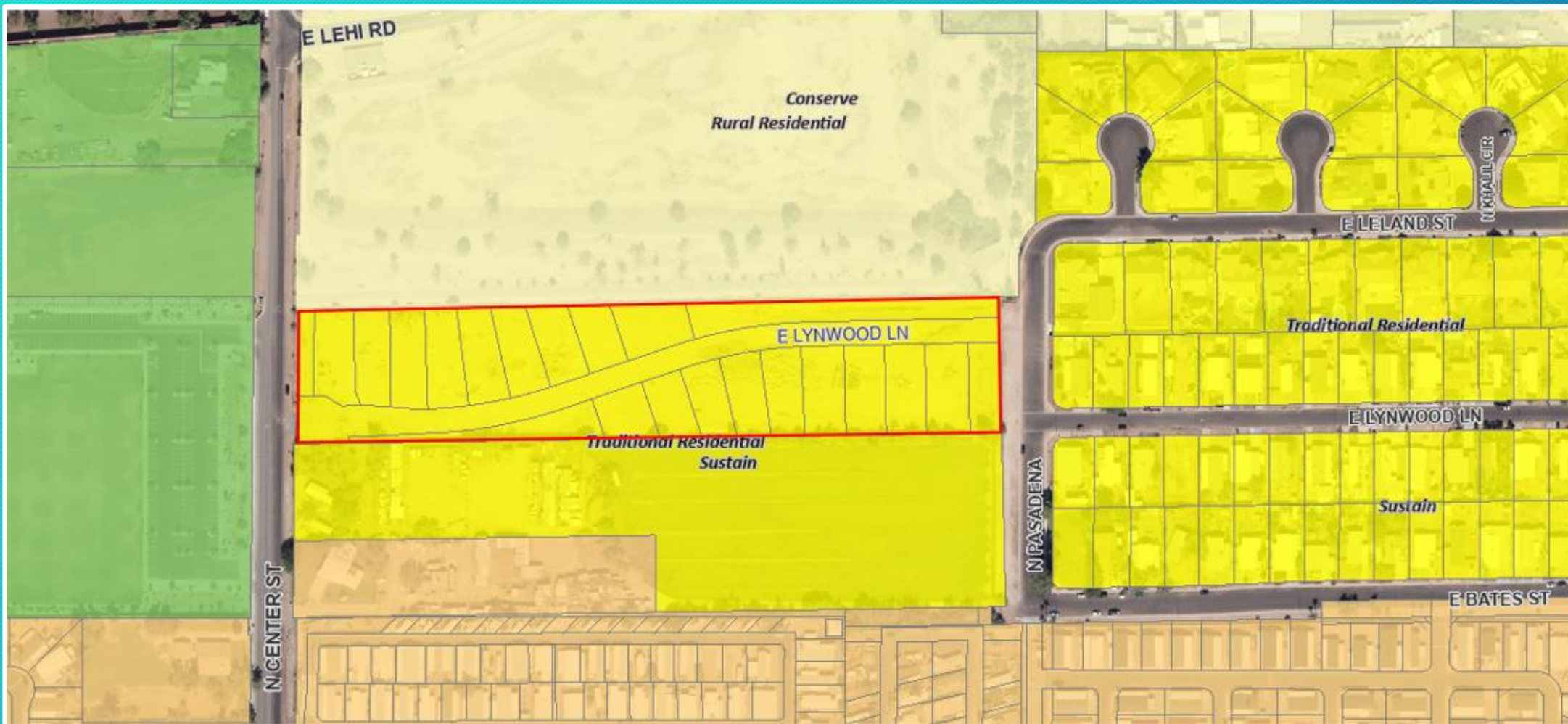


Neighborhood Meeting
6:00 p.m.; May 27, 2025
Mesa Public Library

Existing Zoning

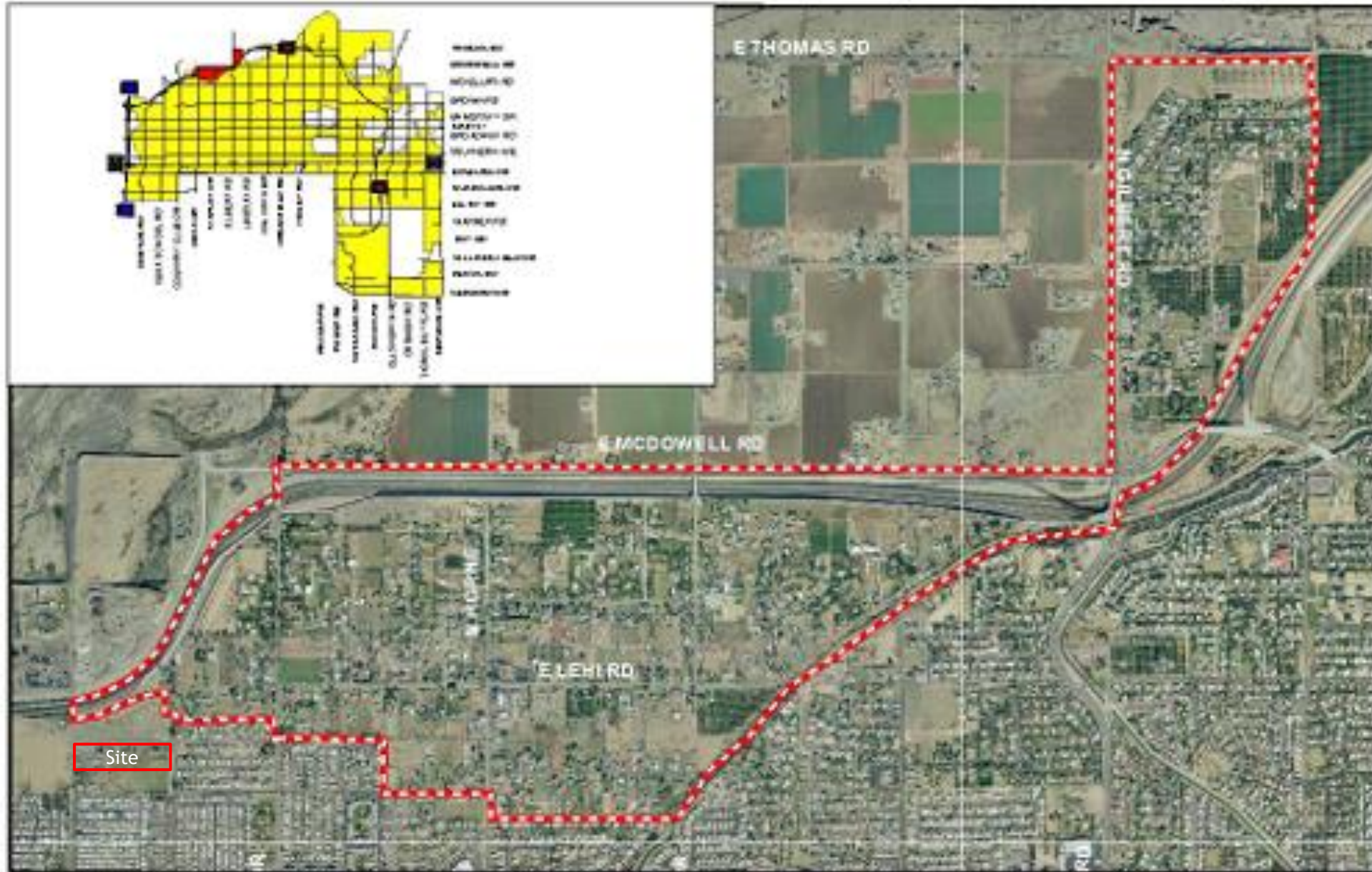


Existing General Plan



Lehi Sub-Area Plan

Adopted by Resolution 8655 on January 23, 2006



Lehi Sub-Area Plan

Our Request

1. Rezoning from RS-9-PAD to RSL-4.5 PAD; and
2. Preliminary Plat Approval.

Approval of these requests will allow for the development of a 41-lot, single family home community.

ENGINEER

D.A.W. ENGINEERING
 14715 GLENVIEW DRIVE
 1000 EAST GILBERT DRIVE
 SUITE D
 TEMPE, AZ 85281
 (480) 338-4038

APPLICANT

BRIDGEMAN BROKERAGE & DEVELOPMENT LLC
 750 N. 3RD AVE.
 MESA, AZ 85203
 CONTACT: JASON SWISNEY
 PHONE: (602) 674-8842

SITE DATA

APPROX. AREA: 6.18 ACRES (CENTERLINE)
 NET AREA: 5.89 ACRES (RIGHT OF WAY)
 PROPOSED LOTS: 41
 ZONING: R154 (R154 PUD)
 DENSITY: 12 UNITS PER ACRE
 DENSITY: 12 UNITS PER ACRE

LEGAL DESCRIPTION

PAGE 15
 LOTS 3 THROUGH 18 AND TRACTS "A" THROUGH "I" PASADENA
 ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE
 OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA
 RECORDED IN BOOK 107 OF MAPS, PAGE 14.

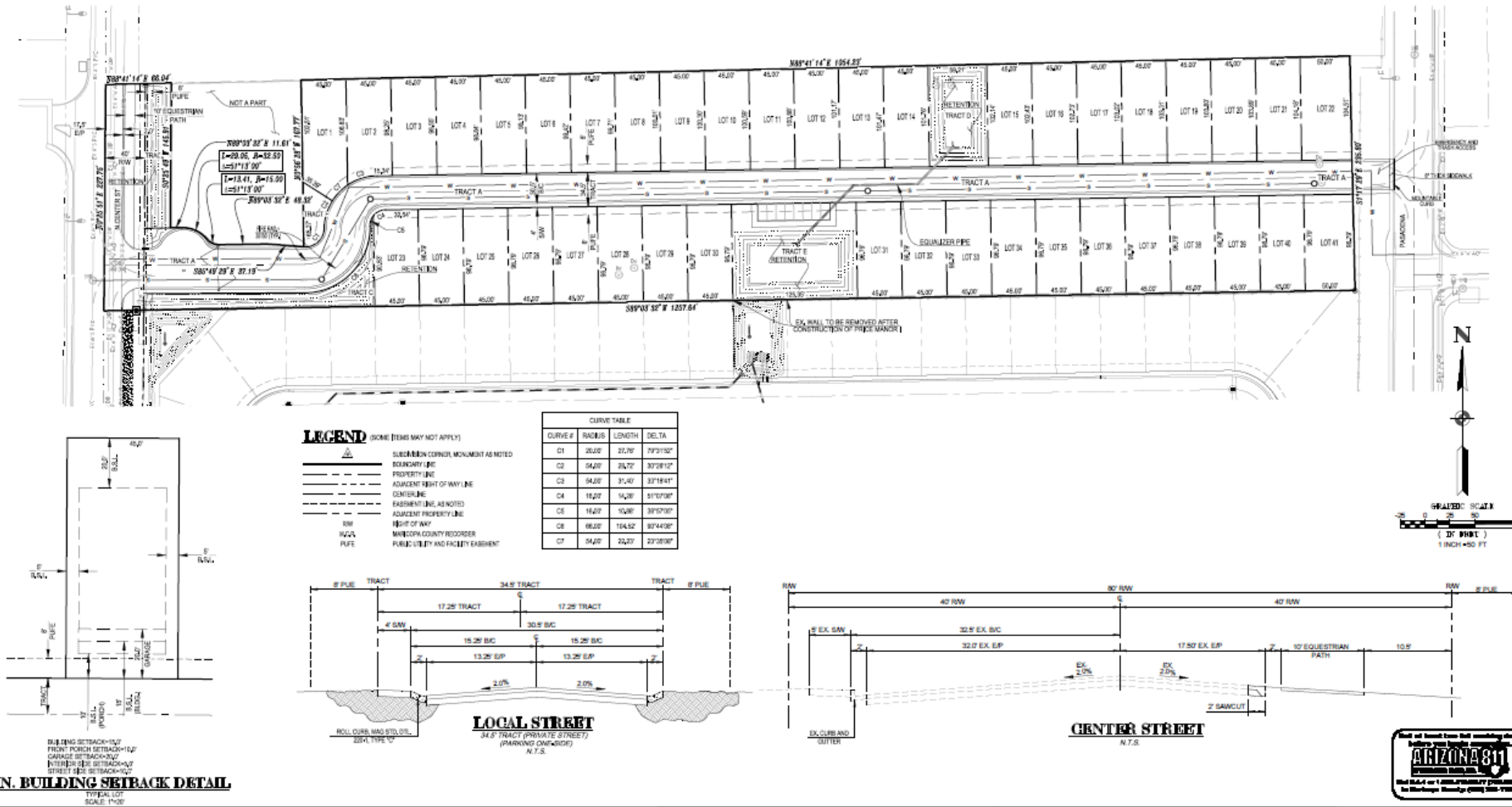
SITE PLAN FOR PRICE MANOR II

LOCATED IN A PORTION OF SECTION 3, TOWNSHIP 1 NORTH, RANGE 5 EAST
 OF THE GILA & SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP
 N.T.S.

NOTE: THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D.A.W. ENGINEERING. ANY UNAUTHORIZED REPRODUCTIONS, REVISIONS, ADDITIONS, OR ALTERATIONS OF THESE DRAWINGS IS STRICTLY PROHIBITED, AND WILL BE CONSIDERED TO BE IN VIOLATION OF ARIZONA STATE TECHNICAL BOARD, CODE 30-103 AND 30-145.



Proposed Site Plan

Site Details

- 6.18 acres
- Gated Community
- Entrance on Center St.
- Emergency exit **only** on Pasadena
- Shared Amenity area with Price Manor Phase I
- Typical Lot Size: 45 x 98



Questions?

Sean Lake or Vanessa MacDonald

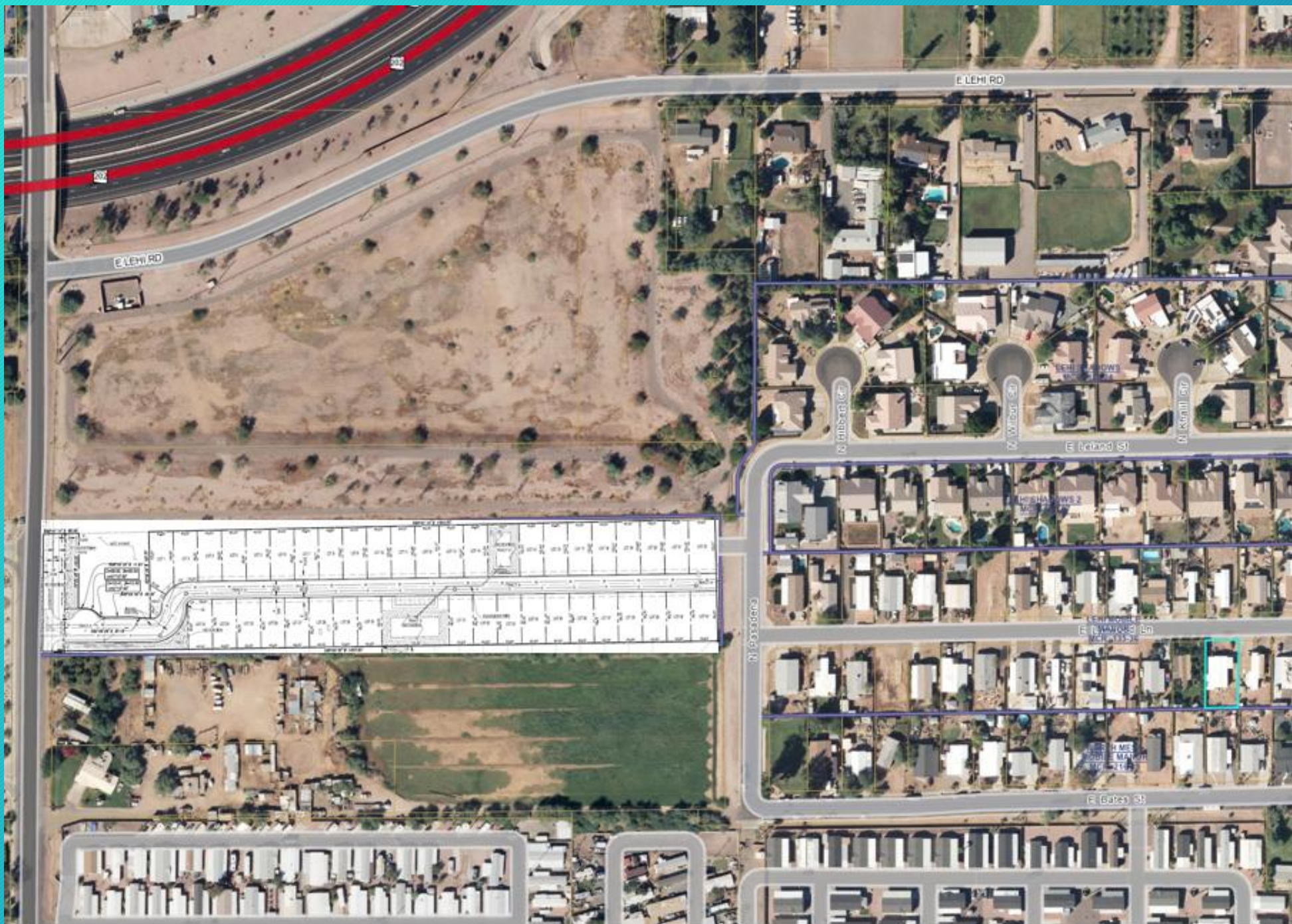
Pew & Lake, PLC

480-461-4670

sean.lake@pewandlake.com or vanessa.macdonald@pewandlake.com







Development Standards

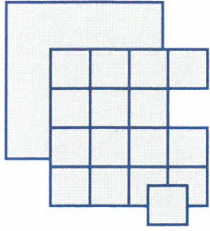
Development Standard	RSL-4.5 Required	Price Manor II Proposed PAD
Area Standards:		
Minimum lot area MZO Section 11-5-3(A)(2)	4,000 s.f.	4,355
Minimum Interior Lot Width MZO 11-5-3(A)(2)	40'	45'
Minimum Corner Lot Width MZO 11-5-3(A)(2)	45'	50'
Minimum Lot Depth MZO 11-5-3(A)(2)	90'	96.79'
Maximum Height	30'	30'
Maximum Number of Stories	2	2
Minimum Yards:		
Front -Building Wall MZO Section 11-5-3(A)(2)	15'	15'
Front- Garage MZO Section 11-5-3(A)(2)	20'	20'
Front- Porch MZO Section 11-5-3(A)(2)	10'	10'
Minimum Interior Side	4.5'	5'
Minimum aggregate of 2 sides MZO Section 11-5-3(A)(2)	10'	10'
Street Side MZO Section 11-5-3(A)(2)	10'	10'
Rear Yard MZO Section 11-5-3(A)(2)	20'	20'
Minimum Usable Open Space per Unit 11-5-5(A)(5)	400 s.f.	1558'
Maximum Lot Coverage (% of Lot) MZO Section 11-5-3(A)(2)	70%	42%
Additional Standards:		
Garages	20'w x 22'd	20'w x 22'd
Fences and Walls 11-30-4	6-foot Maximum height	8-foot (around SRP site only)
Limitation on Paving of Front Yards 11-5-3(B)(5)	No greater than 50% of front yard	40.8%
Streets	Public Streets	Private Street

Owner Name *	Address	City	State	Zip
301 LYNWOOD LLC	301 E LYNWOOD LN	MESA	AZ	85201
328 E BATES ST LLC	2545 E HERMOSA VISTA DR	MESA	AZ	85213
AHDOOT THOMAS	644 E LEHI RD	MESA	AZ	85203
AINSWORTH PATRICIA J	630 W MCLELLAN RD	MESA	AZ	85201
ALLIED CONCRETE & MATERIALS CO	3200 SAN FERNANDO RD	LOS ANGELES	CA	90065
ALVARADO JOSE JUAN	325 E LYNWOOD LN	MESA	AZ	85201
ANDRES MARIA DE JESUS RODRIGUEZ	235 E LELAND ST	MESA	AZ	85201
ARIAS BERTHA ALICIA ESPINOZA/ROMO LUCIANO ALBERTO PARRA	302 E LYNWOOD LN	MESA	AZ	85201
ARIZONA STATE OF DEPT OF TRANSPORTATION	205 S 17TH AVE	PHOENIX	AZ	00008-5007
ASCENT TEN LLC	943 N BROADWAY 101	LOS ANGELES	CA	90012
BAGLEY DERRIK B/JESSICA	234 E LEHI RD	MESA	AZ	85201
BEATTY RAYMOND WADE	238 E BATES ST	MESA	AZ	85201
BELTRAN MARTIN/TERESA	201 E LEHI DR	MESA	AZ	85201
BOYCHUK JASON CAMERON	2307 N WILBUR CIR	MESA	AZ	85201
BRIGHTON COMPANIES PRICE MANOR LLC	2254 E UNIVERSITY DR 16	MESA	AZ	85213
BROWN TIMOTHY A/SHAWN M	243 E LELAND ST	MESA	AZ	85201
CENTER STREET DIRT LLC	2405 N CENTER ST	MESA	AZ	85201
CLAVITTE STEVEN	253 E LYNWOOD LN	MESA	AZ	85201
CRAWFORD BRANDI S/SETH	212 E LYNWOOD LN	MESA	AZ	85201
DIAZ FAMILY LIVING TRUST	219 E LELAND ST	MESA	AZ	85201
DUBOIS AARON L/AMANDA T	309 E LELAND ST	MESA	AZ	85201
ELEVATION HOMES LLC	520 N STAPLEY DR UNIT 202	MESA	AZ	85203
ELLSWORTH MARK	246 E LEHI RD	MESA	AZ	85201
FENIMORE MARY A	2516 S 185TH DR	GOODYEAR	AZ	85338
FRANTZ RICHARD L/PAM	2315 N WILBUR CIR	MESA	AZ	85201
GAMEZ MANUEL A	308 E LYNWOOD LN	MESA	AZ	85201
GRAY ALLAN P/ROSE KENNETH	250 E BATES ST	MESA	AZ	85201
GUERRA LILIANA	235 E LYNWOOD LN	MESA	AZ	85201
GURROLA JOLENE MARIE	232 E BATES	MESA	AZ	85201
HALL JOYCE R TR	2308 N KHALIL CIR	MESA	AZ	85201
HANNA ROBERT A/CROSS SHERRY LOUISE	301 E LELAND ST	MESA	AZ	85201
HERRERA SEBASTIAN JOSE/JUAN MANUEL	236 E LYNWOOD LN	MESA	AZ	85201

HEYWOOD PAUL L/JANET	255 E LEHI RD	MESA	AZ	85201
HINDS SANDRA/YOUNG DAVID	259 E LELAND ST	MESA	AZ	85201
HIKSON FAMILY TRUST	2023 E QUINCE ST	MESA	AZ	85213
HUTCHINSON RANDY	2323 N WILBER CIR	MESA	AZ	85201
JAMES R AND CHERYL L SPICE LIVING TRUST	251 E LELAND ST	MESA	AZ	85201
JIMENEZ DIEGO	2316 N KHALIL CIR	MESA	AZ	85201
JOHNSON MIKE VERNON	2160 N CENTER ST	MESA	AZ	85201
JOHNSTON CONSTANCE	229 E LYNWOOD LN	MESA	AZ	85203
LACANNE CONSULTING LLC/SUNDIAL PARK LLC	2121 N CENTER ST	MESA	AZ	85201
LEAHY SCOTT A/MAI LYNN	244 E BATES ST	MESA	AZ	85201
LINNELL MARK J	248 E LYNWOOD LN	MESA	AZ	85201
LOW MARYANN M TR	5465 VALLEY VIEW RD	RANCHOS PALOS VERDES	CA	90274
LYONS RONALD M/ANN M	325 E LELAND ST	MESA	AZ	85201
MARX SIDNEY L/SHELLY	2312 N HIBBERT CIR	MESA	AZ	85201
MELLO TRUST	2309 N KHALIL CIR	MESA	AZ	85201
MENDOZA MARIA C	326 E LYNWOOD	MESA	AZ	85201
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
MESA CITY OF	PO BOX 1466	MESA	AZ	85211
MICHAEL E KOTWICA LIV TR/JACQUELINE J SMIL	2304 N HIBBERT CIR	MESA	AZ	85201
MONTOYA JULIO	310 E BATES ST	MESA	AZ	85201
MORALES NICOLAS	224 E LYNWOOD LN	MESA	AZ	85201
MOSER RHONDA JEAN	313 E LYNWOOD LN	MESA	AZ	85201
MOUGHLER GLYN T/JILL J	215 E LEHI RD	MESA	AZ	85201
MOUGHLER SEAN T	235 E LEHI RD	MESA	AZ	85201
MOWERY RON/KNOERR SHERRY	230 E LYNWOOD LN	MESA	AZ	85201
MYERS MICHAEL P/HEATHER J	311 E LEHI RD	MESA	AZ	85201
O&B PROPERTIES LLC	2514 N MESA DR	MESA	AZ	85201
PALM HARBOR ESTATES LLC	6501 E GREENWAY PKWY UNIT 103-402	SCOTTSDALE	AZ	85254
POBIEGIO SCOTT T/LINDSAY M	227 E LELAND	MESA	AZ	85201
QDEWS 316B LLC	PO BOX 12287	CHANDLER	AZ	85248
QDEWS 319L LLC	PO BOX 12287	CHANDLER	AZ	85248
QDEWS 322B LLC	PO BOX 12287	CHANDLER	AZ	85248
RALON JOSE B/GILDA ROCSANA SCHWENDENER	214 E BATES ST	MESA	AZ	85201

REEVES FAMILY TRUST	2305 N HIBBERT CIR	MESA	AZ	85201
RICE WARREN JR/MARGARET	256 E BATES ST	MESA	AZ	85204
RICO ALMA Y GARCIA/ESCALANTE JORGE U SALAZAR	625 W MCKELLIPS RD UNIT 71	MESA	AZ	85201
RIOS MARTHA E	2325 N KHALIL CIR	MESA	AZ	85201
RIVERA ARLENE	304 E BATES	MESA	AZ	85201
RODRIGUEZ MIGUEL S	241 E LYNWOOD LN	MESA	AZ	85201
ROGERS KAREN J	206 E LYNWOOD	MESA	AZ	85201
ROMERO DANY JACOBO		MESA	AZ	85204
RONNING MICHAEL L/DONNA TR	2317 N KHALIL CIR	MESA	AZ	85201
ROSS AND LINDA HEYWOOD FAMILY TRUST	225 E LEHI RD	MESA	AZ	85201
SALT RIVER PROJECT AGRICULTURAL IMPROVEMENT A	PO BOX 52025	PHOENIX	AZ	85072
SANCHEZ OSCAR HERRERA	220 E BATES ST	MESA	AZ	85201
SARLES RONALD/FIELD LILLIAN I	7756 E 3RD ST	SCOTTSDALE	AZ	85251
SHORT BODHI CHRISTOPHER	2320 N HIBBERT CIR	MESA	AZ	85201
SHUMWAY STEPHEN	2455 N PIONEER	MESA	AZ	85204
SLISKOVICH PROPERTIES	PO BOX 5900	MESA	AZ	85211
STAMO RODICA/DUMITRASCU MIHAI	317 E LELAND ST	MESA	AZ	85201
STEPHENS ANDY	226 E BATES	MESA	AZ	85201
STRATTON DAN/IRIS	856 E LEHI RD	MESA	AZ	85203
SURVIVORS TRUST	2313 N HIBBERT CIR	MESA	AZ	85201
THOMAS FAMILY TRUST	2332 N MESA DR	MESA	AZ	85201
VAN CLEVE TRAVIS/MARIE	2322 N WILBUR CIR	MESA	AZ	85201
VERNON JUDY M	260 E LYNWOOD LN	MESA	AZ	85201
VILLEGAS FELIX	218 E LYNWOOD LN	MESA	AZ	85201
WALLIN KURT D	2314 N WILBUR CIR	MESA	AZ	85201
WARNER RALPH	247 E LYNWOOD LN	MESA	AZ	85201
WILLIAMS STEVEN M/CECIL K	262 E BATES ST	MESA	AZ	85201
WILLIAMSON DAVID A	2321 N HIBBERT CIR	MESA	AZ	85201
WRIGHT WILLIAM R	161 E LEHI RD	MESA	AZ	85201
WYSNER CHRISTOPHER	307 E LYNWOOD LN	MESA	AZ	85201
YOUNG STEVE R/ANGELA DEE	2324 N KHALIL CIR	MESA	AZ	85201
ZUFELT LAWRENCE WADDELL	254 E LYNWOOD LN	MESA	AZ	85201

Councilmember Rich Adams	PO Box 1466	Mesa	AZ	85211
Alicia Martinez	PO Box 1466	Mesa	AZ	85211
City of Mesa Development Services Department	ATTN: Nana Appiah	Mesa	AZ	85211
City of Mesa Development Services Department	ATTN: Jennifer Merrill	Mesa	AZ	85211
City of Mesa	ATTN: Marc Hershberg	Mesa	AZ	85211



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

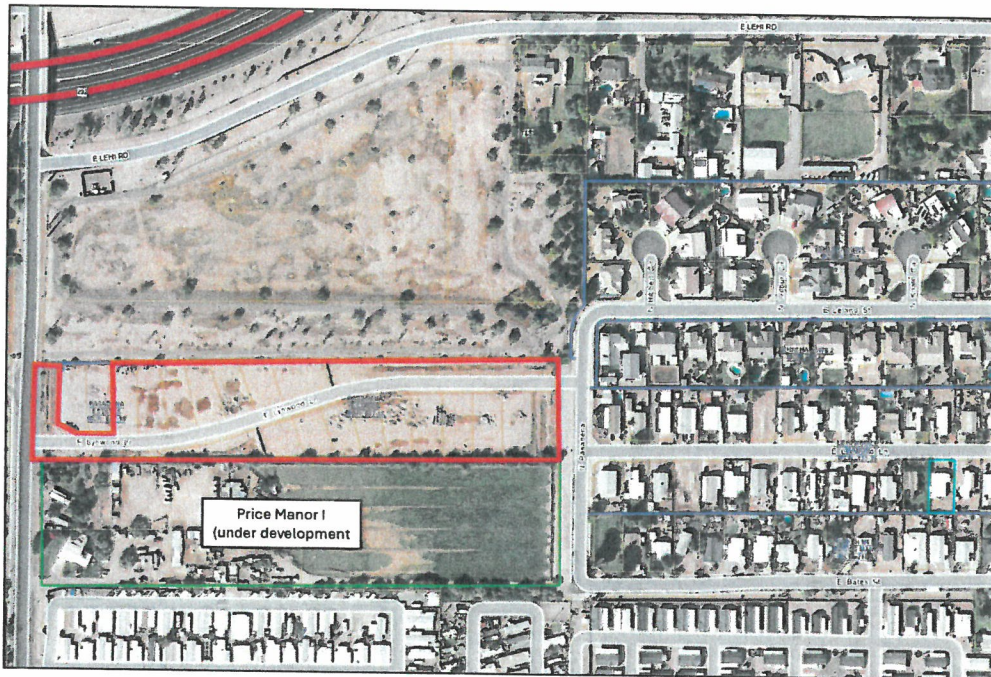
W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

May 9, 2025

NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor:

Together with our client, Brighton Homes, we are pleased to invite you to a neighborhood meeting regarding Price Manor Phase II, a proposed development on approximately six (6) acres of property on the east side of Center Street, across from the Lehi Sports Park, and immediately north of Price Manor I, a residential subdivision that was approved in January of 2024, and is currently under development. The approximate boundaries of the development site are shown below, outlined in red.



Our specific requests to the City of Mesa are for the following:

1. Rezoning of the property from RS-9 PAD to RSL-4.5 PAD, and
2. Preliminary Plat approval

Approval of these requests will allow for the development of a 41-lot, single-family residential community that will be connected to the first phase of Price Manor.

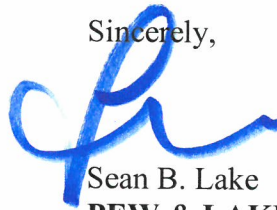
The neighborhood meeting has been scheduled as shown below, to provide property owners in the area with an opportunity to learn about the proposed development, ask questions and to provide input and comments on the proposed development.

The neighborhood meeting will be on the date, time and location shown below:

**May 27, 2025
6:00 PM
Mesa Main Library; Board Room
64 East First Street
Mesa, AZ 85201**

If you have any questions regarding this matter prior to the neighborhood meeting, you can contact me or Vanessa MacDonald in my office at 480-461-4670. The City of Mesa has assigned this case to Ms. Jennifer Merrill, Senior Planner, who may be reached at Jennifer.merrill@mesaaz.gov. Please let any of us know if you have questions or concerns regarding this proposed use. A summary of this neighborhood meeting will become part of the public record for this case and will be provided to the Planning & Zoning Board and City Council as part of the public record for this project.

Sincerely,



Sean B. Lake
PEW & LAKE, PLC

Neighborhood Meeting Sign-In Sheet

Applicant:

Pew & Lake on behalf of Brighton Homes

Property Location:

2245 North Center Street, Mesa, AZ

Date:

May 27, 2025

Meeting Location:

Mesa Public Library Main Branch; Board Room
64 East First Street, Mesa 85201

Time: 6:00 p.m.

Case: ZON25- 00304

Use QR Code Below to provide Comment Zoning Case:



#	NAME	ADDRESS	ZIP	Email	PHONE
1	Mike Kotwica	2304 N. Hibbert Circle	85201	None	480-244-8339
2	Dave Williamson	2321 N. Hibbert Cir	85201	tcnco-ceo@hmail.com	623 680 9419
3	DAVID & ALISON HIXSON	211 E LELAND ST	85201	211 E LELAND ST MESA 85201 AHIXSONAZ2@GMAIL.COM	602-574-2038
4	Kim WARDEN	424 E. LEHI	85203		
5	Marilyn Crosby	2566 N. Horne	85203	mcrosby@onestopre.com	480-415-5395
6	DAVID BEATY	2636 N. STAPLEY DR	85203	DLBEATY@MSN.COM	602-909-7715
7	Judy VERNON	240 E. LYWOOD LANE	85201	jvernon7@cox.net	480 980-4209
8	Walter Diaz	219 E Leland St.	85201	Diaz3807@yahoo.com	480-522-6727
9	Debbie Delp-Wright	161 E. Lehi Rd	8520	debbiedelp@cox.net	602 531 5713
10	Jim Brown	243 E. Leland St.	85201	hmb@eliteacsolutions.com	602-361-1366
11	Shawn Brown	243 E. Leland St.	85201	shawnb@eliteacsolutions.com	480-205-5508

Neighborhood Meeting Sign-In Sheet

Applicant:

Pew & Lake on behalf of Brighton Homes

Property Location:

2245 North Center Street, Mesa, AZ

Date:

May 27, 2025

Meeting Location:

Mesa Public Library Main Branch; Board Room
64 East First Street, Mesa 85201

Time: 6:00 p.m.

Case: ZON25- 00304

Use QR Code Below to provide Comment Zoning Case:



#	NAME	ADDRESS	ZIP	Email	PHONE
1	Tom Warren	2319 N. Poweroy Cir	85201	CTWRANCITS@GMAIL	480-459-9898
2	VONETA Warren	2319 N poweroy Cir	85201		
3					
4					
5					
6					
7					
8					
9					
10					
11					

Exhibit C
Price Manor II
Neighbor Interactions

[illegible]

To whom it may concern....

I am writing to you about a proposed development at the end of my street in Lehi Shadows. I have lived in Lehi Shadows which is just between Lehi and the Price property for 19 years. I am in support for the development. Adding a community like this to the area will give us more eyes and some additional light on crime that goes on in this area, which will hopefully help discourage it. Allowing some redevelopment in this area would also hopefully encourage other development to happen. We have these beautiful homes that back up to trailer that are often unkept to which the city does nothing about.

Ultimately we understand some of the concerns of our neighbors in Lehi but there really is a small area between the mobile homes and the Lehi area that allows for transition as the developer is already building in this area, it seems like a reasonable transition and we would much rather see this go in now than have something else like low income apartments etc. We've heard concerns about traffic but we believe the vast majority of the people will exit this community turning south on Center towards McKellips and then they will go to the freeway via Country Club or McKellips. There really is no reason for people to drive through Lehi, which is all 30 mph, to go anywhere. I love the feel of this area, but I think there is a way to keep in feeling rural and still help grow in the right direction. Thank you

Shannon Stapley
333 E Leland st Mesa AZ 85201

From: [Kim Van Riper](#)
To: [Jennifer Merrill](#)
Cc: [Michelle Mccroskey](#); [Marilyn Crosby](#)
Subject: Re price manor
Date: Tuesday, May 27, 2025 12:12:20 PM

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Hi Jennifer,

In anticipation of the meeting tonight I would like to reach out and convey some concerns with the proposed re zoning request.

I understand it is typical for city of Mesa to approve zonijy changes to increase density on developments. Please note that this development borders the Lehi Heritage overlay boundary on the north side and adjoinins the Lehi sub area boundary on the northeast corner.

In 2022, when Brighton homes was initially requesting a rezone from r-43 to rs-3 on the original Price ranch, the argument made by planning staff and Brighton that the current property (Rs-9) acted as an 'appropriate transition and step down from Lehi sub area rs -43.' This particular property zoning (rs-9) was used as justification for the higher density southward.

Imagine our surprise when we realized a request for rs-4.5 has been proposed by the very same gentleman.

This lot has been platted for years at what is an appropriate density transitioning from Lehi's rural neighborhood. Developments eastward and northeastward are currently at rs-9, with a development southeast at rs-6. Please understand the right to develop property as it was purchased is indeed a right, but asking that it be rezoned is a privilege that the City of Mesa must consider carefully.

The concerns with higher density surrounding Lehi is very serious matter and cannot be considered in the same manner as any other neighborhood in the city of Mesa. There are unique equestrian-pedestrian elements that require careful consideration.

700 horses in Lehi have the potential of utilizing center street for access to the river. 700 horses should give pause. Every week, horses utilize the road along Lehi and northward on Center.

Pass through traffic from developments increase possibilities of terrible accidents, and create more than just a liability; they create a likelihood of conflict with land use and a disproportionate increase in risk.

Children play on the street shoulders in Lehi, and livestock is exercised along the streets in Lehi daily; dogs, fowl, swine, alpaca, mules, horses etc. Purposefully increasing the load on Lehi rd constitutes a very real danger and should be addressed very carefully on part of Mesa planning.

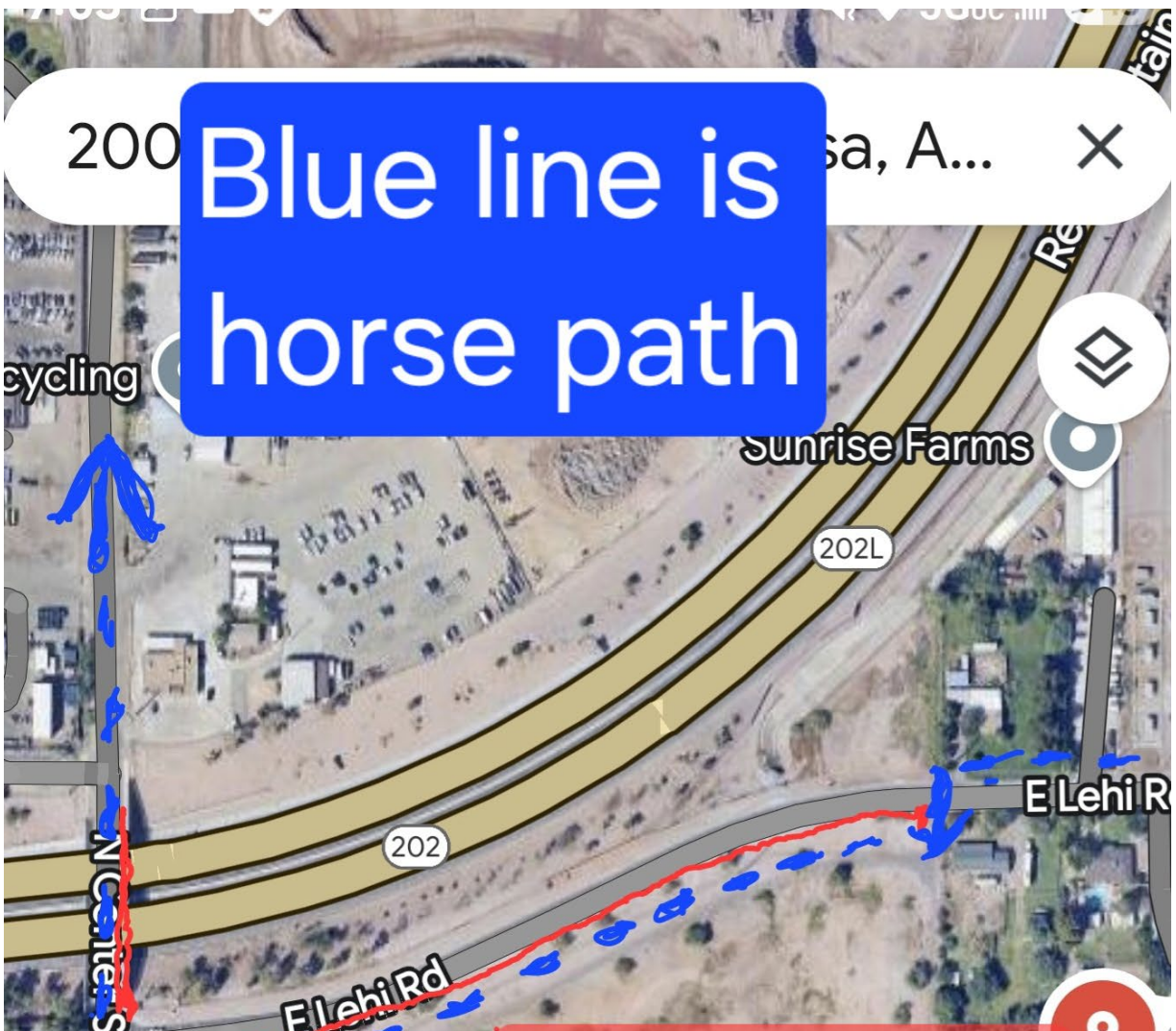
Walmart, on Horne, is more easily accessed through Lehi rd than along Mckellips and with an increase of over 100 additional homes along center it could create a very hazardous situation (64 homes being developed on the original Price Ranch and an additional 43 potential homes on price Manor). Wiyh the averqge number of cars per household in Arizona at 2, this could add an enormous amount of traffic to the area. Add to this soccer field traffic, industrial traffic

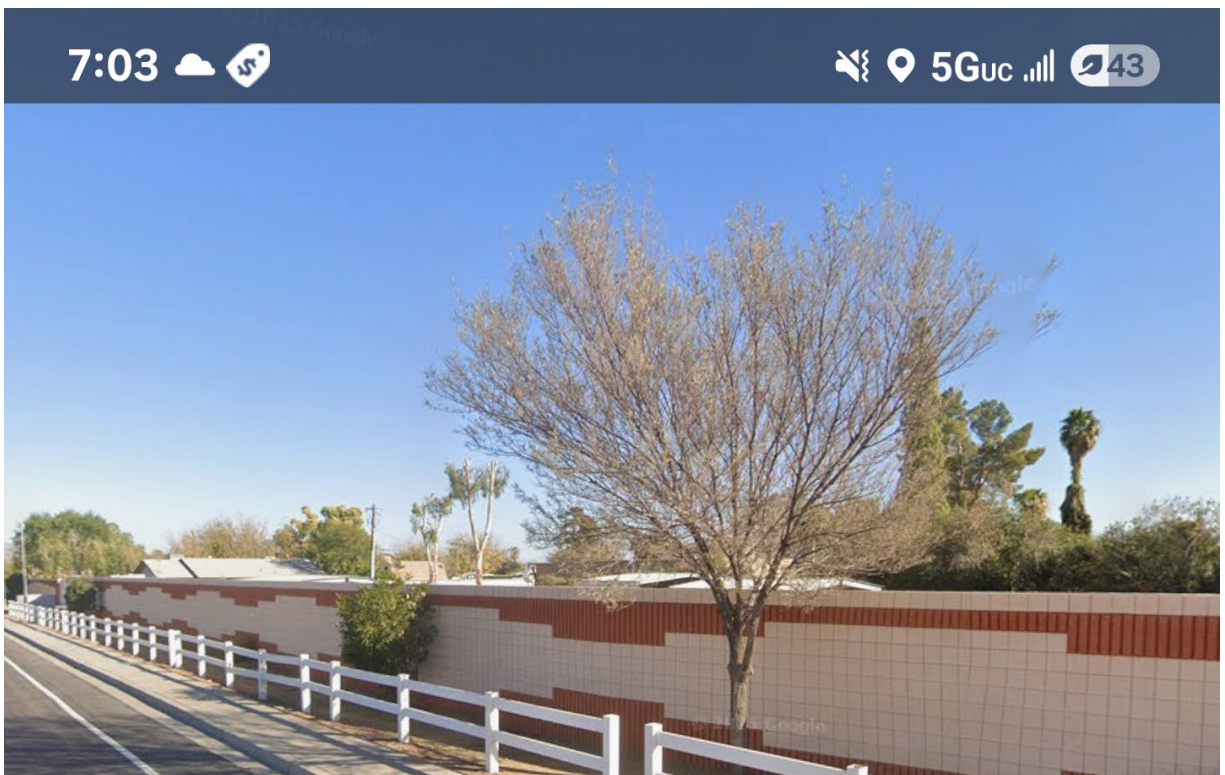
from north center street companies and the hazardous waste facility traffic and it may develop into a very dangerous situation that will be very costly to mitigate down the road (necessitating closure of Lehi rd at center and developing out old Lehi rd at country club for additional access for example, or dealing with increased pedestrian livestock deaths/lawsuits).

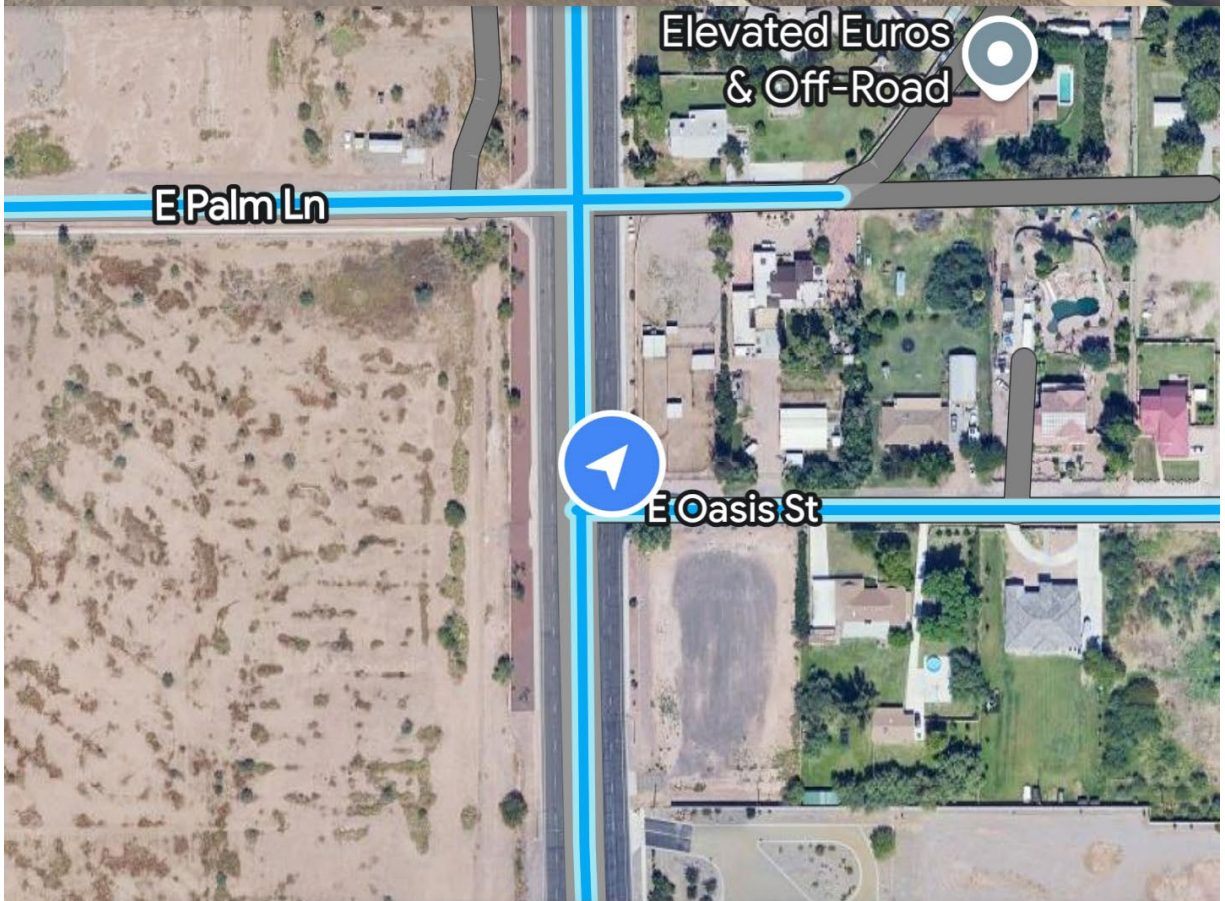
Additionally, a licensed horse boarding stable is located only 500 ft northeast, while just across the street less than 30 ft west, the Ainsworth property continues agricultural and livestock use. Conflict between land use is likely in terms of dust, odor and animal smell. Minimizing numbers for potential impact should be considered.

If the city is very much in favor of increasing density in any capacity I would suggest approaching the developer for several things to mitigate future issues that will arise, and perhaps curb the potential cost the city may incur down the road.

1. Have the developer install a horse rail along the north shoulder of the basin, similar to that installed by the city along gilbert road, and continue it northward across the freeway overpass. It was deemed appropriate as Gilbert road saw increases in traffic and is also an appropriate safety measure along Lehi rd. See the image below outlining the current horse path and the potential horse rail installation. second image is of the appropriate rail fence along Gilbert used to increase safety for equine traffic.







2998 Gilbert Rd

5 months ago · [See more dates](#) >



2. Alter the center street intersection in a way that increases safety of horse travel through. Raised crosswalk, horse crosswalk signs, adding signage or a formal crosswalk for equestrian-pedestrian traffic perhaps.



3. Ask the developer to include in the hoa documents a waiver of right to complain on nearby agricultural use of land, or a disclosure of nearby livestock activity as is seen in developments

being built under the runways at Mesa gateway for sound impact. This will help with land use conflict in the future. The adot basin northward has historically been used to graze cattle and was open at one point to Lehi riders and it is conceivable that this area will find use similarly in the future.

4. Require the developer to complete a formal TIS (traffic impact study) for Lehi rd that includes the 2023 price ranch development to better understand the real impact. Simply measuring traffic before and after offers no long view of impact.

5. Consider restricting traffic along Lehi rd to 'local traffic only.'

6. As the stretch of Lehi rd from center st to Mesa Dr has seen horse fatalities in the last 5 years and sees speeding regularly, consider installing speed bumps along that portion of the road in anticipation of higher vehicle use and frequency of speeding. Horses cross Lehi rd southward at the northeast corner of the basin. They cross Lehi rd again northward at center street. See first image for cross point.



While it is appreciated that the developer is planning to install single family homes, it is simply an enormous additional burden to ask the neighborhood of Lehi to carry with no concessions, especially with the unique equestrian-pedestrian element that alters typical risk situations.

Thank you and we are happy to submit formal requests on behalf of the Lehi area if need be. We ask that this process is very carefully considered as it moves forward and that you include the Lehi board in the process. Marilyn Crosby is board member president and can be reached

at mcrosby@onestopre.com.

Sincerely,
Kim Van Riper

From: [Jennifer Merrill](#)
To: [Alexis Wagner](#)
Cc: [Evan Balmer](#)
Subject: FW: Brighton Homes Development Case No. ZON25-00304
Date: Wednesday, August 13, 2025 12:04:52 PM

Hi Lexi,

I just received this email regarding ZON25-00304. How many copies should I print out for tonight's meeting?

Thank you,
Jennifer

From: Otto Shill <ottoshill3@gmail.com>
Sent: Wednesday, August 13, 2025 11:56 AM
To: Jennifer Merrill <jennifer.merrill@mesaaz.gov>
Subject: Fwd: Brighton Homes Development Case No. ZON25-00304

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Jennifer:

Please see my email below regarding Case No. ZON25-00304, which is scheduled to be heard this evening. Please call with any questions. My number is 602-6849228.

Otto Shill

Ott

----- Forwarded message -----

From: **Otto Shill** <ottoshill3@gmail.com>
Date: Wed, Aug 13, 2025 at 11:32 AM
Subject: Brighton Homes Development Case No. ZON25-00304
To: <evan.balmer@mesaaz.gov>, <commanager@mesaaz.gov>
Cc: <mayor@mesaaz.gov>, <district1@mesaaz.gov>, <info@lehicommunityaz.org>,

Marilyn Crosby <mcrosby@onestopre.com>, <sean.lake@pewandlake.com>

All:

This email will serve as my objection to the proposed increase in density with respect to the 6.18 acre property located on the east side of Center street, across from the Lehi Sports Park and immediately North of Price Manor I more specifically identified in the Notice of Public Hearing provided by Pew & Lake, PLC on July 28, 2025. I object to the increased density for two reasons:

First, the increased density is likely to have a negative impact on the Historic Lehi Community that is immediately adjacent to this project to the North and East. I expect that the increased density would both result in increased traffic and congestion, and tend to diminish property values of the owners of the larger residential lots in the Lehi Community area on the West end of Lehi Road, which includes property owned by my family.

Second, the change in density with respect to the subject parcel directly contravenes statements and commitments of the City of Mesa made in connection with the approval of the original development of the subject parcel. City staff and the then developer represented that while the Price Manor I property was already zoned for the density proposed and that no review of that zoning was required, a lower density on the subject parcel would provide a step-down buffer in density to the Lehi Community residents. The representation was that the proposed density of Price Manor I was consistent with the higher density of the trailer parks immediately adjacent to the South, and that the subject property would provide a decreased density to the North in deference to the need to protect the Lehi Community.

For the foregoing reasons, I respectfully request that you deny the rezoning application with respect to the above-referenced subject property. I have provided an abbreviated version of this objection in an online comment card for tonight's meeting.

Otto Shill

From: [Marilyn Crosby](#)
To: [Evan Balmer](#)
Subject: PZ25702 "Price Manor II"
Date: Tuesday, August 12, 2025 4:35:10 PM

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This letter constitutes a formal request by the Lehi Community Improvement Association Advisory Board to delay voting on pz25702 'Price Manor II'

We formally request correction of the 'Citizen Participation Plan' submitted by Brighton Homes to reflect accurate communication at the meeting, ask that a TIS be completed and documents of disclosure are provided for review.

We will outline our role thus far, the requests made, and further request actions that we believe are imperative to the preservation of both the Lehi Heritage neighborhood characteristics which are also supported by the 2025 general plan designation of the Lehi Sub area as a semi Rural community with a planning status listed as 'conserve'.

In regards to stakeholders status and ability to request further action on part of planning and zoning: the Lehi Sub area boundary is less than 400 ft from the nearest point of this development, with a horse boarding facility at 800 ft northward.

The Lehi Heritage Neighborhood boundary abuts the entire northern boundary of this development, sharing approximately 1200 linear feet and around 40% of the perimeter of the development.

The ingress egress of the development utilizes both Center street southward to McKellips and center street northward to Lehi Rd, and will surely result in increases in pass through traffic along Lehi Rd, acknowledged by Mr. Pew at the citizen participation meeting.

The 'Citizen Participation Report' filed with the city of Mesa Planning and zoning Department by Mr. Pew for the August 13 meeting has multiple omissions and incorrect answers to questions listed.

Question number 3 answer was recorded incorrectly. The Lehi Heritage Neighborhood boundaries are NOT the same as the Lehi Sub area boundaries and this development shares approx 1200 linear feet and 40% of its perimeter with the Lehi Heritage neighborhood boundaries. This was verified in the meeting by several board members. We request this is formally corrected and resubmitted prior to voting on this item.

In addition, the citizen participation report omitted several questions posed by Lehi Board

members at the meeting, including requests for a traffic impact study (TIS) and requests for disclosures regarding proximity to a rural area with high livestock and agricultural activities. Mr. Pew clearly indicated to several board members that a disclosure was something they are willing to do, yet have not produced documents allowing the Lehi Advisory board opportunity for review. Also discussed at the meeting, and omitted from the report were requests for considerations of speed control measures along Lehi rd near center such as a speed cushion, and rail riding fences to protect equine traffic which Mr. Pew indicated were already a required part of the development at the time.

Lehi board members have reached out multiple times and have received no substantive communication from Blanford or their legal representatives, nor have received documents with regards to disclosures for review.

Please also consider the already underway Price development directly south of the current development which did not complete a TIS study. These combined developments have the potential to bring over 100,000 vehicles per year through the Lehi Sub area and the a Lehi Heritage Neighborhood, and constitutes a very real need for further examination before proceeding with finalization.

We formally request voting on pz25702 is rescheduled until further review of disclosure documents can be completed, consideration of traffic impact is completed and correction of the citizen participation document is completed.

Thank you,
Marilyn Crosby, President
Lehi Community Improvement Association Advisory Board