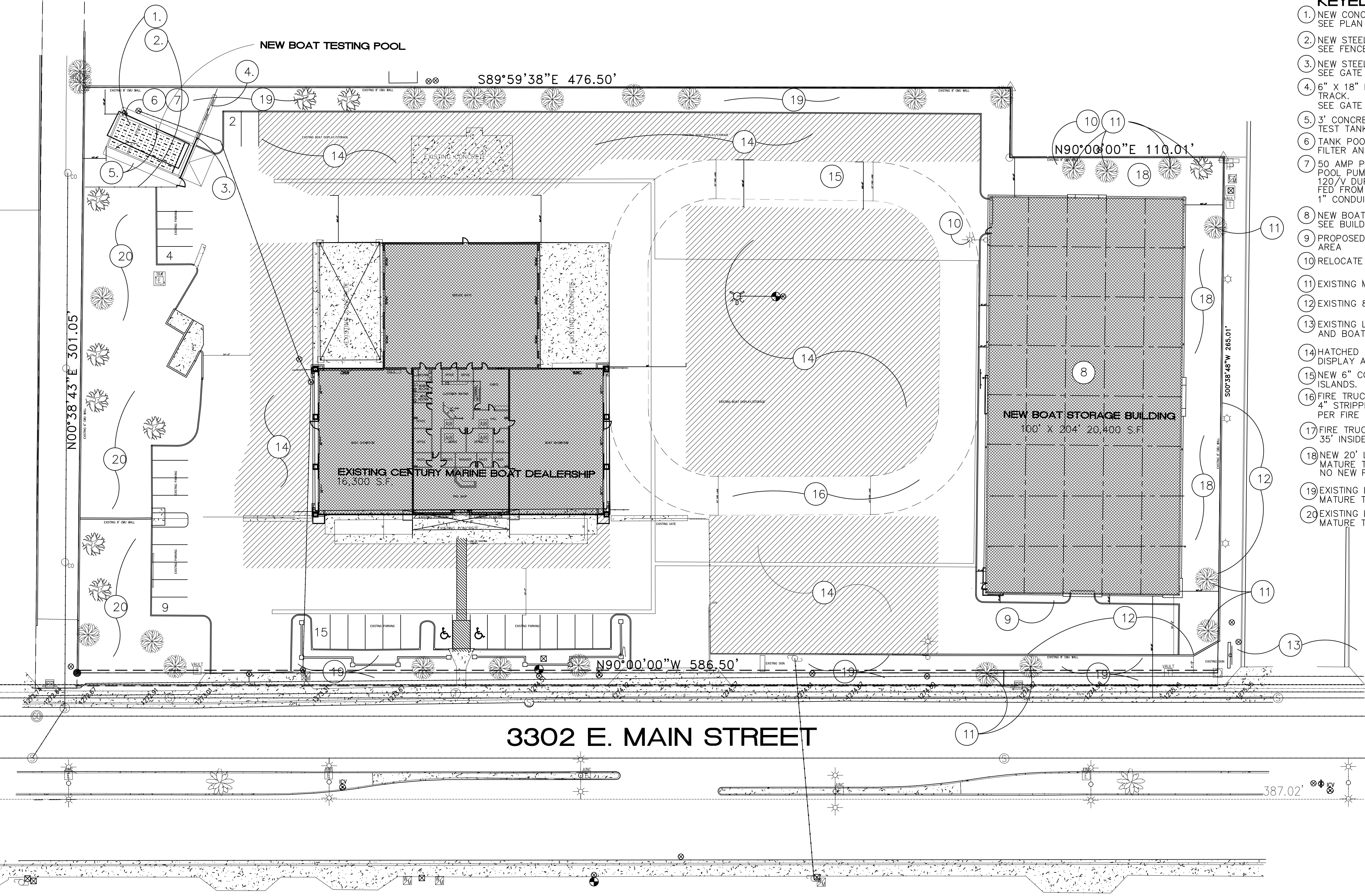




KEYED NOTES:

1. NEW CONCRETE WET TEST TANK AND RAMP. SEE PLAN SHEET A-1.
2. NEW STEEL FENCE. SEE FENCE DETAILS SHEET A-0
3. NEW STEEL ROLLING GATE. SEE GATE DETAILS SHEET A-0
4. 6" X 18" ROLLING GATE CONCRETE GUIDE TRACK. SEE GATE DETAILS SHEET A-0
5. 3" CONCRETE WALK ALONG BOTH SIDES OF TEST TANK.
6. TANK POOL EQUIPMENT INCLUDING PUMP, FILTER AND CHLORINE INSERT COMPARTMENT.
7. 50 AMP PANEL W/ 20 AMP BREAKER FOR POOL PUMP AND 20 AMP BREAKER FOR 120V/1 DUPLEX OUTLET. FED FROM BUILDING SE'S WITH UNDERGROUND 1" CONDUIT.
8. NEW BOAT STORAGE BUILDING. SEE BUILDING DRAWINGS
9. PROPOSED 5' BUILDING FOUNDATION LANDSCAPE AREA
10. RELOCATE EXISTING POLE LIGHT AS SHOWN
11. EXISTING MATURE TREES (60' +) TO REMAIN
12. EXISTING 8' BLOCK WALL TO REMAIN
13. EXISTING LANDSCAPED ACCESS DRIVE. AND BOAT STORAGE AREAS
14. HATCHED AREAS INDICATE EXISTING PAVED BOAT DISPLAY AND BOAT STORAGE AREAS
15. NEW 6" CONCRETE CURB LANDSCAPED PARKING ISLANDS.
16. FIRE TRUCK ACCESS LANE--PAINTED CROSS 4" STRIPPING "NO PARKING FIRE LANE" PER FIRE DEPARTMENT REQUIREMENTS.
17. FIRE TRUCK TURNING RADIUS--55' OUTSIDE 35' INSIDE
18. NEW 20' LANDSCAPED SETBACK WITH EXISTING MATURE TREES AND PLANT MATERIAL TO REMAIN. NO NEW PLANTS TO BE ADDED.
19. EXISTING LANDSCAPED AREA TO REMAIN. MATURE TREES AND PLANT MATERIAL TO REMAIN
20. EXISTING LANDSCAPED DRAINAGE AREA. MATURE TREES AND PLANT MATERIAL TO REMAIN

PROJECT INFORMATION

OWNER: CENTURY MARINE
MESA, ARIZONA 85213

PROJECT LOCATION:
3302 E. MAIN STREET
MESA, ARIZONA 85213

PROJECT DESCRIPTION:
SUBSTANTIAL CONFORMANCE IMPROVEMENT PERMIT S.C.I.P. TO ADD THE FOLLOWING:
1. ADD A BOAT TESTING POOL
2. ADD A NEW 100' X 204' BOAT STORAGE BLDG.

EXISTING SITE NON-CONFORMITIES:
(SEE PROJECT NARRATIVE FOR JUSTIFICATION)

SITE SETBACKS REQUIRED:
NORTH ADJACENT RM ZONING - 20'
WEST ADJACENT GC ZONING - 15'
SOUTH ADJACENT MAIN STREET-15'
EAST ADJACENT RM ZONING - 20'

SITE SETBACKS PROPOSED:
NORTH ADJACENT RM ZONING - 10'
WEST ADJACENT GC ZONING - 15'
SOUTH ADJACENT MAIN STREET-15'
EAST ADJACENT RM ZONING - 20'

PARKING REQUIRED:
EXISTING BUILDING:
16,300 S.F. @ 375 S.F. = 44 SPACES

NEW BOAT STORAGE BUILDING:
20,400 S.F. @ 375 S.F. = 55 SPACES

TOTAL REQUIRED = 99 SPACES

PARKING PROPOSED = 30 SPACES

LANDSCAPING REQUIRED:
ALL SETBACKS PLUS 10% OF NET SITE AREA.

PROPOSED LANDSCAPING:
ALL EXISTING PERIMETER LANDSCAPING TO REMAIN WITH PLANTS, TREES, GROUND COVER, AND IRRIGATION SYSTEMS.
NEW 20' SETBACKS ADJACENT THE NEW STORAGE BUILDING AND RM ZONED PROPERTY WILL MAINTAIN EXISTING PLANT MATERIAL. NO ADDITIONAL PLANTS TO BE ADDED.

5' FOUNDATION LANDSCAPING WILL BE ADDED ALONG THE WEST AND SOUTH BASE OF THE NEW STORAGE BUILDING IN COMPLIANCE WITH CURRENT REQUIREMENTS.

LANDSCAPING REQUIRED:
ALL SETBACKS PLUS 10% OF NET SITE AREA.

PROPOSED LANDSCAPING:
ALL EXISTING PERIMETER LANDSCAPING TO REMAIN WITH PLANTS, TREES, GROUND COVER, AND IRRIGATION SYSTEMS.
NEW 20' SETBACKS ADJACENT THE NEW STORAGE BUILDING AND RM ZONED PROPERTY WILL MAINTAIN EXISTING PLANT MATERIAL. NO ADDITIONAL PLANTS TO BE ADDED.

5' FOUNDATION LANDSCAPING WILL BE ADDED ALONG THE WEST AND SOUTH BASE OF THE NEW STORAGE BUILDING IN COMPLIANCE WITH CURRENT REQUIREMENTS.

THE BALANCE OF EXISTING SITE LANDSCAPING WILL REMAIN AS-IS WITH NO ADDITIONAL PLANTS;
EXISTING BUILDING BASE LANDSCAPE--600 S.F.
NEW STORAGE BUILDING BASE --1,500 S.F.
EXISTING SITE NOT IN SETBACKS -- 7,835 S.F.
TOTAL SITE LANDSCAPING--9,935 S.F.
TOTAL SITE AREA=172,596 S.F.=5.7% LANDSCAPED

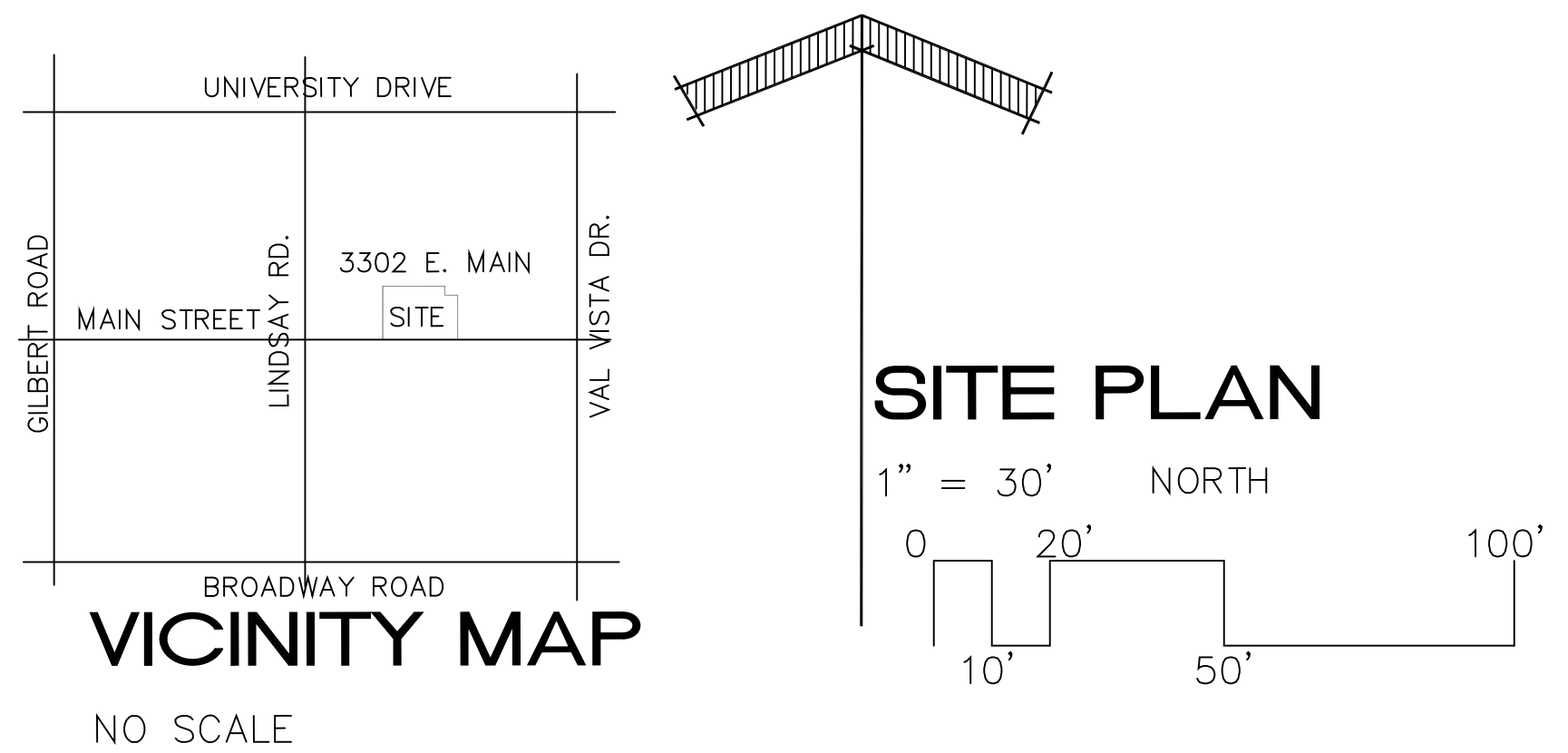
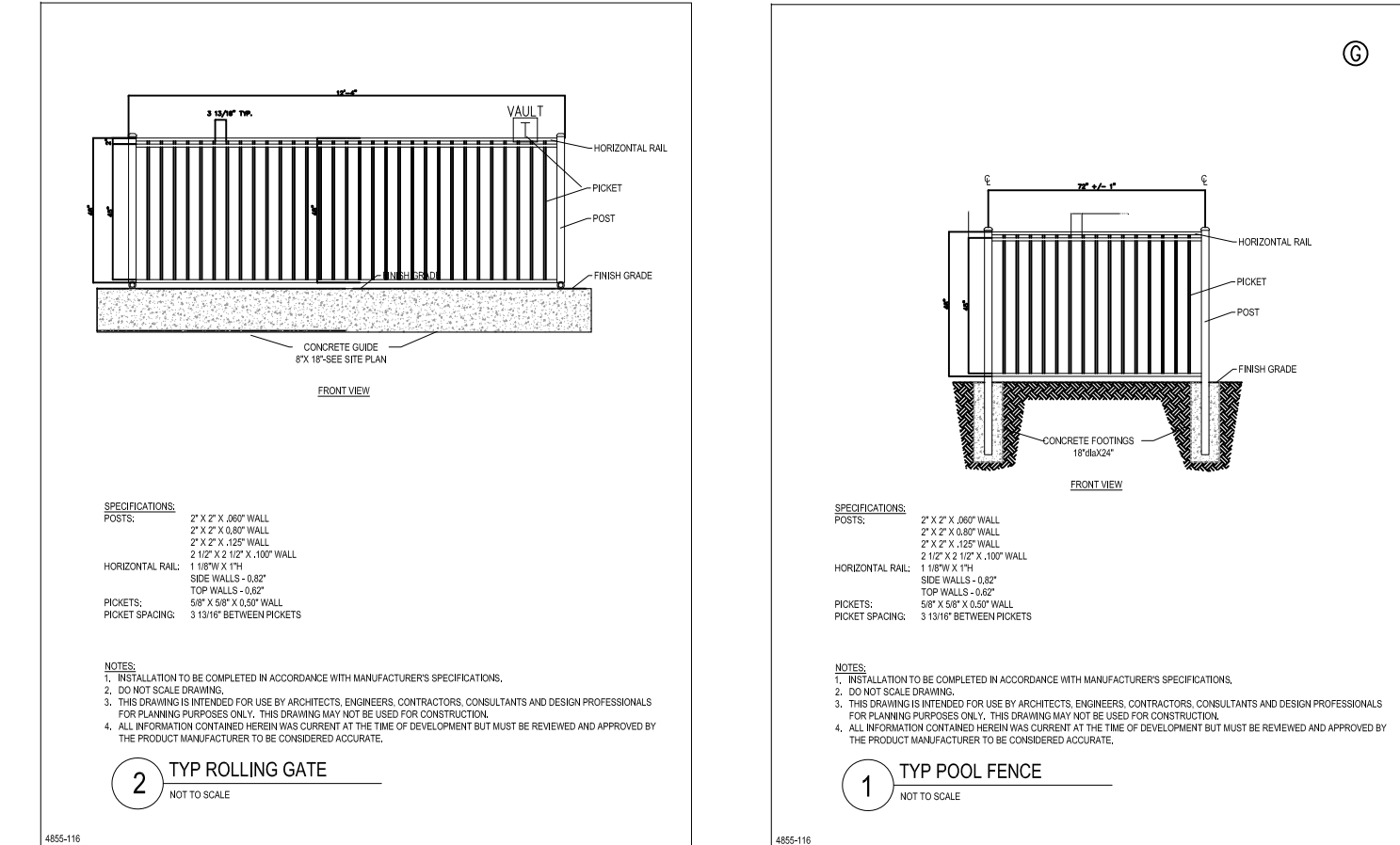
BOAT TESTING POOL.
(SEE PROJECT NARRATIVE)

THE EXISTING BOAT TESTING POOL IS LOCATED 12'-6" FROM THE NORTH PROPERTY AND 12'-6" FROM THE WEST PROPERTY IN THE REQUIRED SETBACKS.

THE OWNER IS REQUESTING APPROVAL OF THIS OUTDOOR WORK FACILITY AND WILL COMPLY WITH THE FOLLOWING STIPULATIONS:
1. PROCESS APPROVAL OF A BUILDING PERMIT.
2. PROVIDE SOUND TESTING STUDY RESULTS.

SITE DRAINAGE.

THE EXISTING SITE DRAINS INTO THE RETENTION AREA ALONG THE WEST PROPERTY LINE WHERE SURFACE DRAINAGE IS CHANNELED INTO THE STORM DRAINAGE SYSTEM IN MAIN STREET. THE PROPOSED NEW BUILDING WILL MAINTAIN THE EXISTING DRAINAGE AND DOES NOT ADD ANY ADDITIONAL DRAINAGE FLOW.



CENTURY MARINE
3302 EAST MAIN STREET MESA, ARIZONA

PROJ. NO. 4/01/26
DATE: 4/01/26
DRAWN BY: FEW
REVISIONS: 4/01/26
5/5/26

CENTURY MARINE
TEST TANK

WOODS ASSOCIATES
ARCHITECTS, LLC
3319 E. McDOWELL RD.
MESA, ARIZONA 85213
(480) 962-7672

CENTURY MARINE
NEW BOAT STORAGE BUILDING
3302 EAST MAIN STREET MESA, ARIZONA

expires 12/31/2027
CERTIFIED ARCHITECT
JAMES J. WOODS
ARCHITECT
JAMES J. WOODS
ARCHITECT
JAMES J. WOODS
ARCHITECT

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