



Planning & Zoning Board



ZON24-00498

Jennifer Merrill, Senior Planner

September 25, 2024



Request

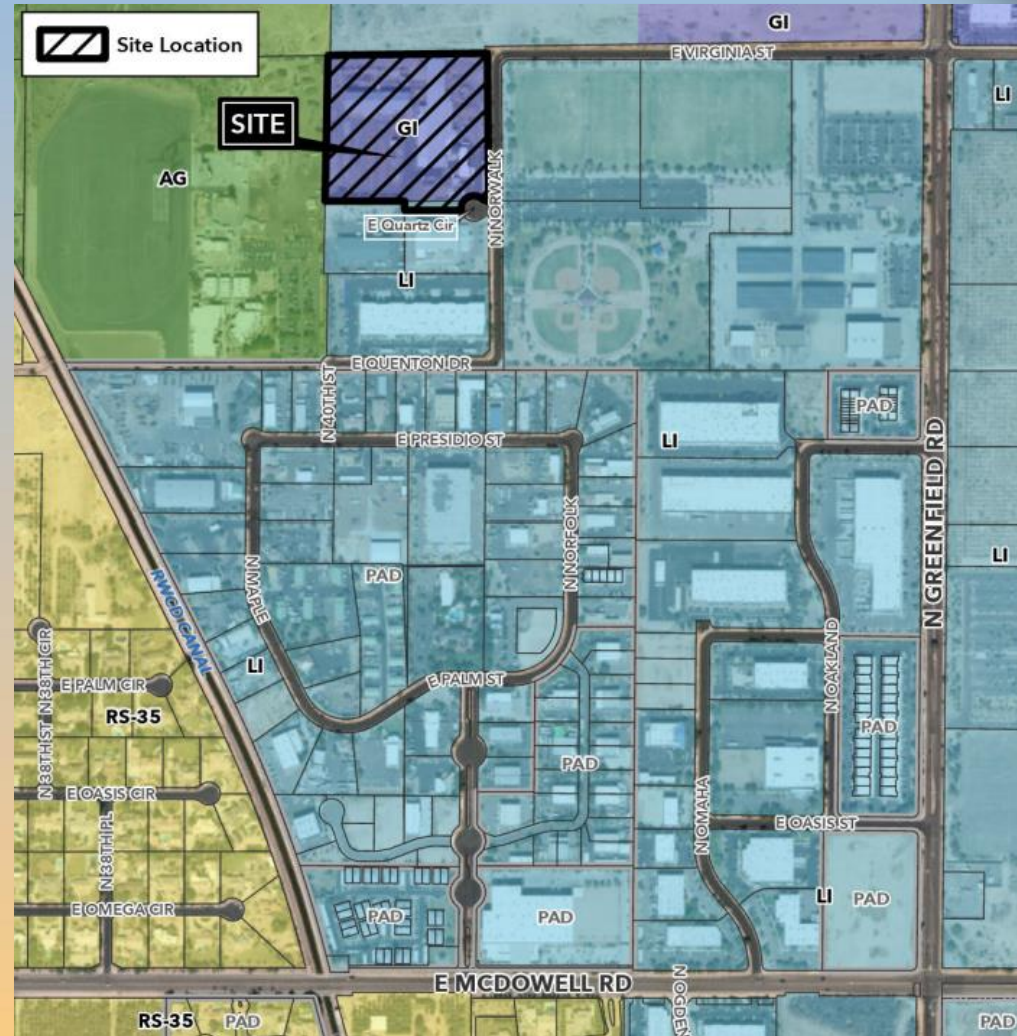
- Rezone from GI and LI to GI-PAD
- Major Site Plan Modification
- To allow an industrial development





Location

- North of McDowell Road
- West of Greenfield Road





General Plan

Employment

- Wide range of employment opportunities in high quality settings

Industrial Sub-Type

- Manufacturing, warehousing, and other industrial operations
- Larger lots
- Industrial, manufacturing, warehousing, outdoor storage





Zoning

- Rezone from LI and GI to GI-PAD
- Manufacturing, processing, assembly, research, wholesale, and storage





Site Photo

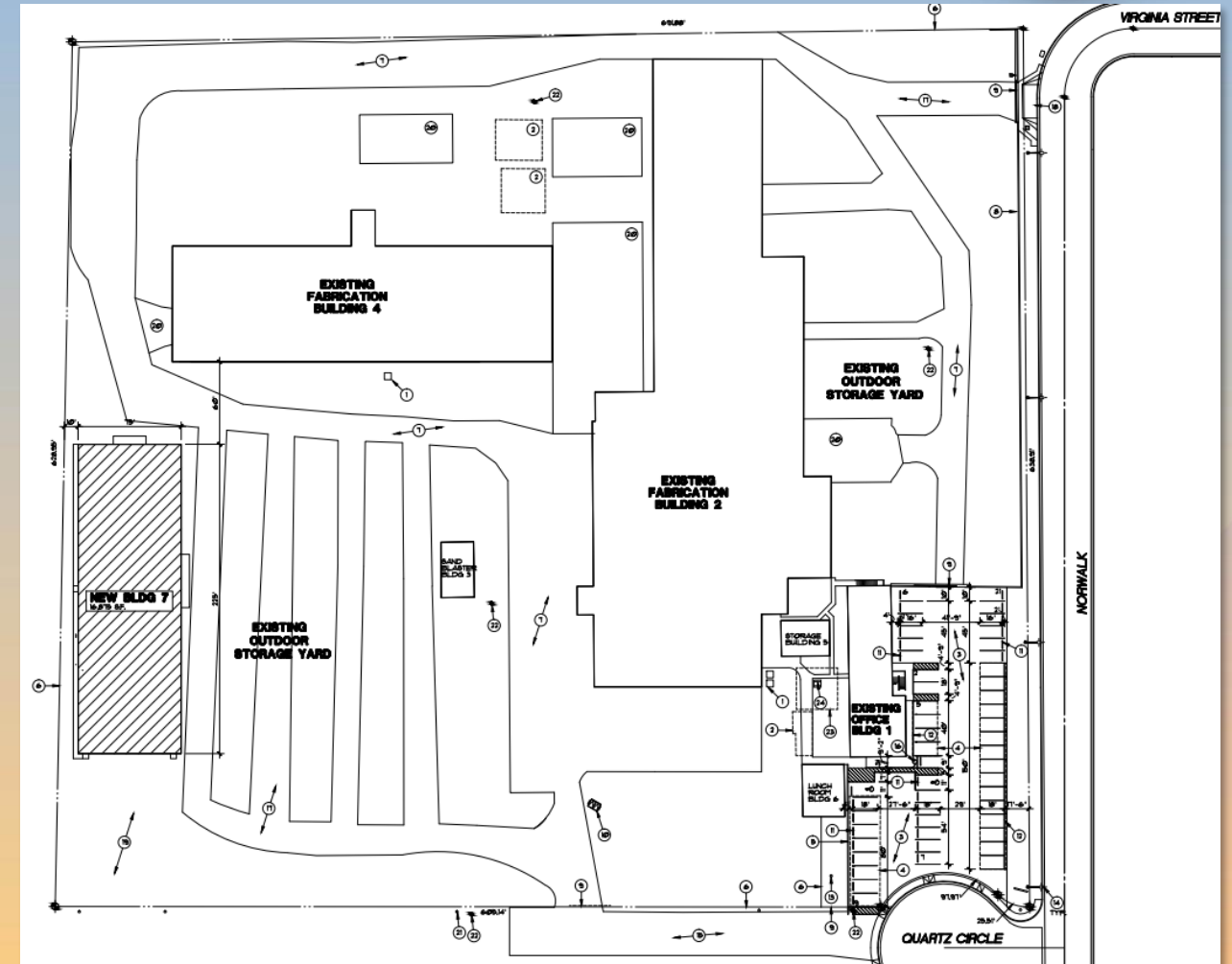


Looking west from
Norwalk



Site Plan

- 10.2 acres
- Existing fabrication and office buildings, outdoor storage, and vehicular circulation areas
- Main access from Quartz Cir.
- Existing 9-ft-tall decorative screen wall
- New 16,875-square-foot building





Planned Area Development

Development Standard

MZO Required

BIZ Proposed

Minimum Setback along Property Lines for Building and Parking Areas – MZO Table 11-7-3

*-Front and Street-Facing Side:
Industrial/Commercial Collector*

20 Feet

17'-6" to parking canopy existing and proposed

**From Quartz Cir.:
0-ft to parking spaces existing and proposed**

Minimum Setback along Property Lines for Building and Parking Areas – MZO Table 11-7-3

-Interior Side and Rear: Adjacent to AG, RS, RSL or RM Districts

1 foot of setback for each foot of building height with minimum 20-footsetback

10 feet



Planned Area Development

Development Standard

MZO Required

BIZ Proposed

Massing and Scale, Wall Articulation –
MZO Section 11-7-3(B)(2)(a)

Exterior building walls shall be subdivided and proportioned to human scale, using projections, overhangs and recesses in order to add architectural interest and variety and to avoid the effect of a single, massive wall with no relation to human size.

Exterior building walls do not require articulation

Massing and Scale, Roof Articulation –
MZO Section 11-7-3(B)(2)(c)(ii)

Flat roofs or facades with a horizontal eave, fascia, or parapet, in excess of 100 feet in length, must provide vertical modulation. The minimum vertical modulation is two (2) feet or one-tenth ($1/10$) multiplied by the wall height, not to exceed one-third ($1/3$) of the height of the supporting wall.

Roofs are not required to provide vertical modulation



Planned Area Development

Development Standard

Materials and Colors –
MZO Section 11-7-3(B)(5)(a), (b) and (c)

MZO Required

To reduce the apparent massing and scale of buildings, facades shall incorporate at least three (3) different and distinct materials, and
No more than fifty percent (50%) of the total façade may be covered with one (1) single material.
Buildings larger than 10,000 square feet shall be finished with more than one (1) color on all elevations that are visible from public streets.

BIZ Proposed

100% of building facades may be covered with one (1) material & color



Planned Area Development

Development Standard

MZO Required

BIZ Proposed

Fences and Freestanding Walls,
Maximum Height
MZO Section 11-30-4(B)(1)(a)

No fence or freestanding wall within or along the exterior boundary of the required front yard shall exceed a height of 3.5-feet.

No fence or freestanding wall within or along the exterior boundary of the required front yard adjacent to Norwalk shall exceed a height of 9 feet

Screening, Parking Areas –
MZO Section 11-30-9(H)

Parking areas and drive aisles shall be screened from street(s) with masonry wall, berm or combination of walls/berms and densely planted landscaping or "vertical wire trellis panels"

Parking areas and drive aisles do not require screening



Planned Area Development

Development Standard

MZO Required

BIZ Proposed

Screening, Common Property Lines –
MZO Section 11-30-9(I)(2)

Industrial uses must provide a 6-ft-tall solid screening wall of stucco, decorative block, or concrete panel

Industrial uses do not require a solid screen wall provided along south, west, or north property lines

Trash and Refuse Collection Areas –
MZO Section 11-30-12(C)(1), (2,) and (3)

Solid waste and recycling storage areas located outside or on the exterior of any building shall be screened to a minimum height of 6-feet.
 Enclosure material shall be solid masonry or concrete tilt- up with decorated exterior-surface finish compatible to the main structure(s).

Solid waste and recycling storage not required to be screened with an enclosure



Planned Area Development

Development Standard

MZO Required

BIZ Proposed

Required Parking Spaces by Use –
MZO Table 11-32-3.A

- Office areas (9,674 sq ft total)

- Industrial areas (53,020 sq ft total)

- Storage areas (42,596 sq ft total)

1 space per 375 square feet of gross floor area (25.8 spaces)

1 space per 600 square feet of gross floor area (88.4 spaces)

1 space per 900 square feet of gross floor area (47.3 spaces)

TOTAL REQUIRED: 162 SPACES

1 space per 2,106 square feet of gross floor area
TOTAL REQUIRED:
(50 SPACES)



Planned Area Development

Development Standard

MZO Required

BIZ Proposed

<p><u>Parking Area Design, Setback of Cross Drive Aisles</u> – <i>MZO Section 11-32-4(A)</i></p>	<p>Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 ft from the property line abutting the street.</p>	<p>Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back 0 ft from the property line abutting the street.</p>
<p><u>Bicycle Parking</u> – <i>MZO Section 11-32-8(A)</i></p>	<p>Provide at least 3 bicycle parking spaces or at least 1 bicycle space per 10 on-site vehicle parking spaces actually provided, whichever is greater.</p>	<p>Provide zero bicycle parking spaces</p>
<p><u>Interior Parking Lot Landscaping, Landscape Islands</u> – <i>MZO Section 11-33-4(B)</i></p>	<p>Parking lot landscape islands shall be installed at each end of a row of stalls and in between for maximum 8 contiguous parking spaces.</p>	<p>No parking lot landscape islands required to be installed at the end of each row of parking</p>



Planned Area Development

Development Standard	MZO Required	BIZ Proposed
<p><u>Foundation Base</u> – MZO Section 11-33-5(A)(1) & MZO Section 11-33-5(A)(2)</p> <p>-Exterior Walls with Public Entrance</p> <p>-Exterior Walls without a Public Entrance</p>	<p>A 15-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall.</p> <p>A minimum 10-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall adjacent to parking stalls.</p> <p>A minimum 5-foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall adjacent to drive aisles.</p>	<p>A 9'-2" foot wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall.</p> <p>A minimum 4-ft foot-wide foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall adjacent to parking stalls.</p> <p>No foundation base will be provided, measured from face of building to face of curb along the entire length of the exterior wall adjacent to drive aisles.</p>



Planned Area Development

Development Standard

MZO Required

BIZ Proposed

Landscape Area in Foundation Base –
MZO Section 11-33-5(B)

A minimum one (1) tree per 50 linear feet or less of exterior wall length of a building shall be provided.

Zero trees per 50 linear feet or less of exterior wall length provided

Retention Basins –
MZO Section 11-33-6

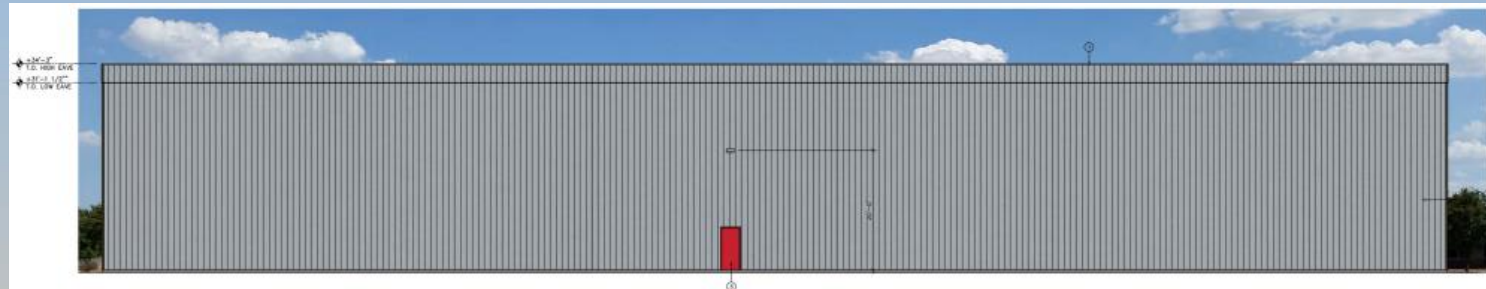
Retention basin layout shall be irregular in shape, contoured and designed as an integral part of the landscaping theme, and shall not take on the appearance of a ditch.

Landscaping shall be provided in all areas of the retention basin (slope, top, and bottom).

Retention basin layout shall be rectilinear in shape and shall contain no landscaping

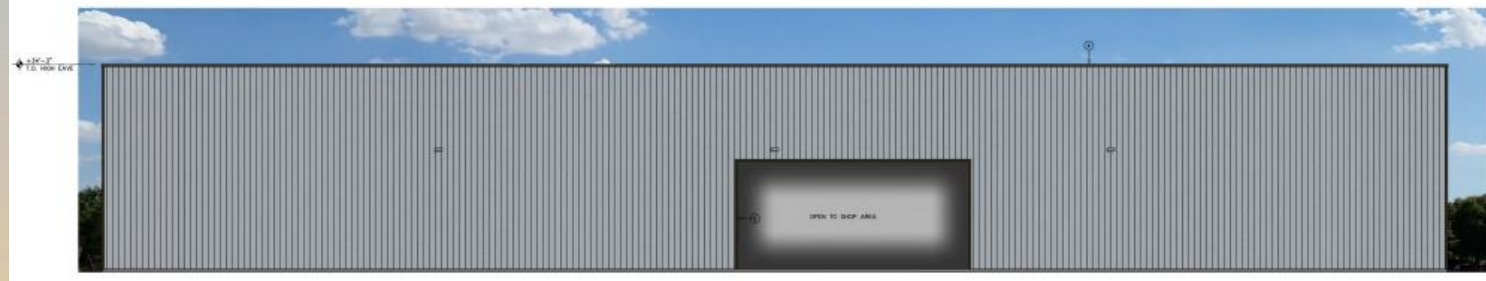


Elevations



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

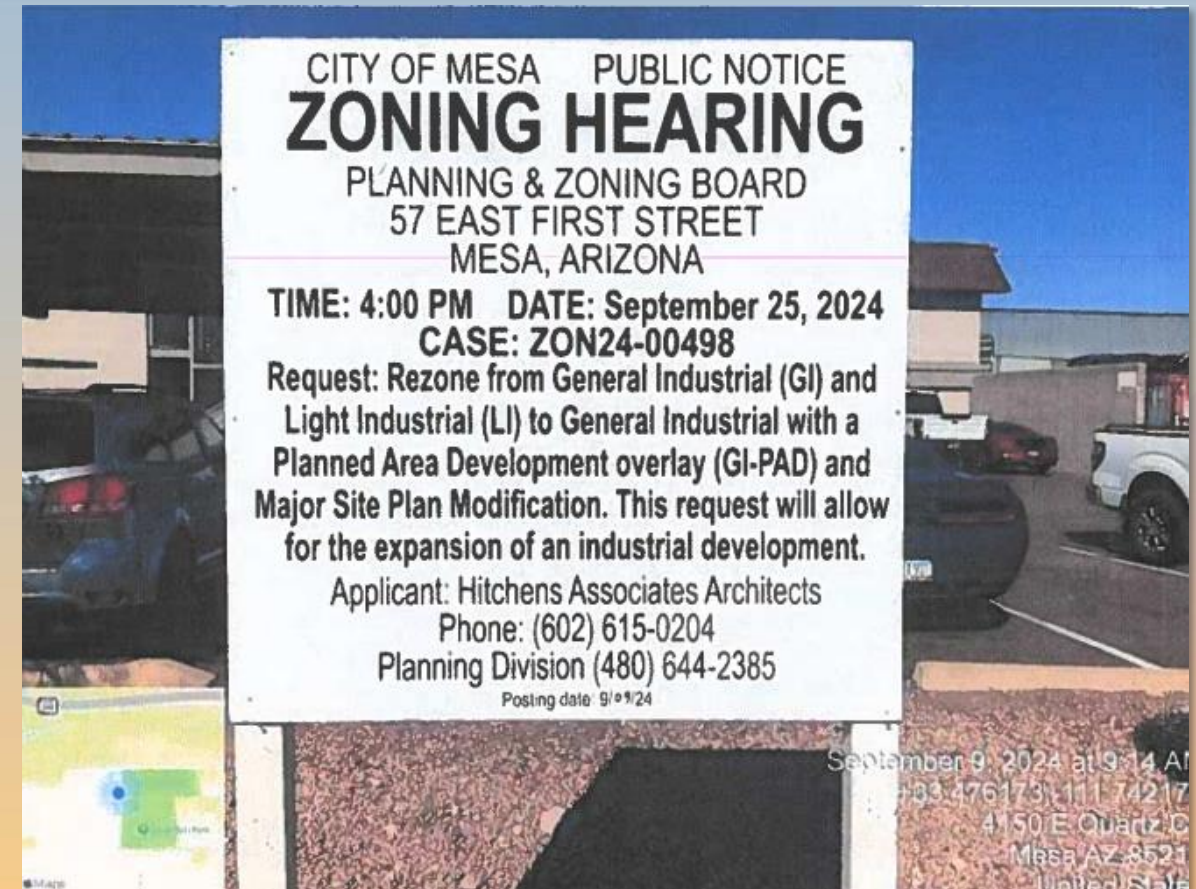
MATERIAL/COLOR SCHEDULE:

① METAL ROOF	ASP BRN AC-BASE COMPOSITE METAL SOUND COOL - SHINGLE FLX
② VERTICAL METAL SOUND	ASP BRN AC-BASE COMPOSITE METAL SOUND COOL - SHINGLE FLX
③ (NONE)	SHIMMER METAL SP. ROOF - POLY. RES.
④ METAL GAP FINISHING	COLOR: DARK BRN/BLK
⑤ METAL TRIM	COLOR: DARK BRN/BLK
⑥ S.S.	SHIMMER METAL SP. ROOF - POLY. RES.



Citizen Participation

- Notified property owners within 1,000', HOAs and registered neighborhoods
- Neighborhood meeting September 5, 2024
- No correspondence received by applicant or staff





Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Chapter 69 of the MZO for Site Plan Review
- ✓ Complies with Chapter 22 of the MZO for a PAD Overlay

Staff recommend Approval with Conditions



Planning & Zoning Board