

Business Depot Suites

Small Commercial Business-Office Use
NEC Southern Ave. and Oakland St.

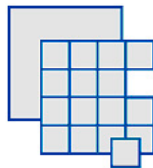
Project Narrative



Submitted by:

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I. Introduction

Pew & Lake, PLC, on behalf of Cardon Hiatt Companies, is pleased to submit this narrative and related exhibits in support of a Rezoning and Site Plan review for 1.4± acres of property at 1145 S. Oakland, located at the northeast corner of Southern Avenue and Oakland. The property is shown below, in red, and is also known as Maricopa County Assessor parcel number 140-48-116.



Specifically, this request is to rezone the Property from NC-PAD to LC-PAD-BIZ and Site Plan Review to allow for an innovative small business development that is known as *Business Depot Suites*. The proposed development is located within an existing approved commercial center. The original PAD is very broadly written and defers to the zoning ordinance with regards to signage, landscaping and building design. Nevertheless, our proposed development is consistent with the original PAD and also conforms to the *Greenfield Court Design Guidelines*, which requires separate review and approval by the Greenfield Court Property Owner’s association. The BIZ development tool is requested to provide for a few minor modifications to the LC development standards.

This request contains special BIZ standards that will bring about a high-quality use with innovative design that will enhance the Southern Avenue corridor.

A concept new to the area, *Business Depot Suites* responds to modern economic trends in Mesa’s office market, small business market, and in neighborhoods. This project merges two compatible uses into the same development – office and commercial services – and will provide a location for small business owners, many of whom may live in the area, to locate their growing businesses

somewhere outside of their homes and neighborhoods.

LC zoning allows the following four commercial uses that are proposed in this project: business office, retail (online), business services, and maintenance and repair services. Tenant spaces within the development may be for sale or lease to small business owners seeking to operate their businesses with individual offices. Each tenant space in this project is over 1,200 square feet. As discussed in this application, the Business Depot Suites will function as a commercial site. Each tenant space here will be individually metered for electric, plumbing for individual restrooms, and cable connections. It is worth noting, and emphasizing, that this project will not be marketed or open to the general public for storage needs but will serve individual commercial businesses. The project is not designed to look or function like a mini-storage, so it will not attract users for that use but rather for small business services.

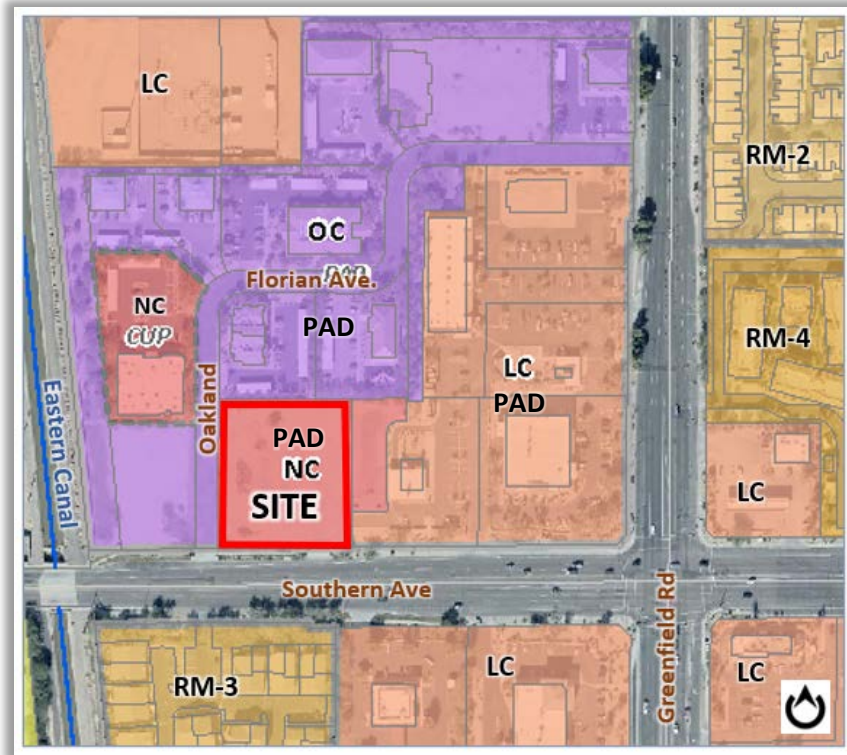
II. Existing General Plan Designation and Zoning Classification

According to the City of Mesa General Plan, the Property is located in the Neighborhood Village Character Area and in NC zoning (see figures below).

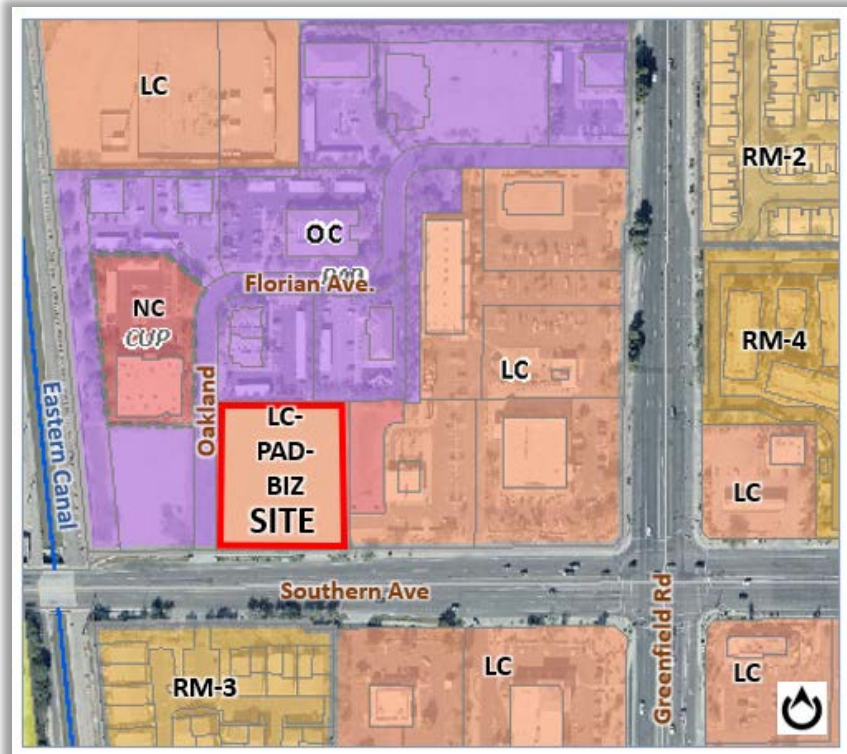
General Plan Land Use Map



Existing Zoning Map



Proposed Zoning Map



III. Existing Site Conditions and Relationship to Surrounding Properties

The 1.4-acre property is located on the north side of Southern Avenue west of Greenfield Road and is situated between a commercial center and an office development. Across Southern Avenue there is a multi-family development. Abutting the property’s northern boundary is an office building and parking field. A private street known as Oakland borders the western boundary, across which there is a vacant parcel. Oakland Street is owned and maintained by a private business association.

Adjoining the property’s eastern boundary is a vacant drainage tract. There is a frozen custard shop, credit union, and other retail/commercial businesses in the immediate vicinity. Due to the number of properties owned by various individuals and entities in the area, there is no single, prevalent design style. Some nearby buildings have flat roofs, while others have sloped roofs. Many have fresh design qualities but generally there is a muted color palette of neutral tones. This proposed development is compatible with the surrounding land uses. The table below summarizes the land use designations and context of the surrounding properties.

Existing and Surrounding Land Uses

Direction	General Plan Character Area	Existing Zoning	Existing Use
North	Neighborhood Village	OC	Office, Parking
East	Neighborhood Village	LC, NC	Drainage, Retail
South	Neighborhood Village	RM-3	Multi-Family Residential
West	Neighborhood Village	OC	Vacant
Project Site	Neighborhood Village	NC	Vacant

IV. Background and Concept Overview

Business Depot Suites is designed to serve the needs of small businesses. There is a significant gap in the current business environment for small business owners who may be operating out of their homes and are growing too big for their home-based operations but are not large enough to support a purchase or lease of a large building or property. This type of business owner generally needs a small commercial space of around 1,200 - 1,400 square feet. Many of these business owners also prefer a secure place to locate their offices and the base of their operations. They need adequate and secure space for an office, inventory for their business, and limited vehicular parking.

This market seems to have been overlooked, which is why the City seems to have a proliferation of small business owners, running businesses out of their homes, including parking their business vehicles in the driveway and on neighborhood streets. This can often cause distress to the neighborhood as well as distress to the small business when their vehicles are vandalized or stolen in an unsecured environment. These proposed business suites with day-to-day operations

that occur inside an enclosed building, will provide a place for small businesses to locate while they operate and grow, providing a steppingstone to a more traditional commercial site.

It is worth emphasizing that this type of operation is very different than a mini-storage facility, and should not be confused with one. Storage facilities do not allow for multiple offices and their daily operations. Moreover, storage units do not have access to plumbing or utilities that are necessary for small business offices. This commercial use should also not be considered as a contractor's yard. This proposed business does not provide outdoor storage, nor does it provide space for manufacturing. As designed, *Business Depot Suites* is not a mini-storage facility or a contractor's yard and instead will serve the needs of individual commercial businesses.

Given the commercial and office nature of the project, *Business Depot Suites* is ideally located at a commercial corner and in between existing commercial and office developments.

Differences between this Business Use and a Mini-Storage

As previously noted, this proposed development is a commercial business use, not a mini-storage. The comparison table on the next page demonstrates the functional differences between a mini-storage facility and *Business Depot Suites*.

Mini-storage vs. Business Depot Suites

Topic	Mini-storage Use	Proposed Small Business Use
Utilities	No individual utility connections: water, sewer, electric, telecom; no individual accounts	Each unit has utility connections available: water, sewer, electric, telecom; individual utility accounts
Public office entry	Front office for leasing and public entrance	No front office for public, business access only
Individual offices	No room for offices	Offices encouraged, each space allows for offices ground floor or upper floor.
Individual Bathrooms	No individual bathrooms	Individual bathrooms allowed for each unit
Location of Businesses	People run their businesses <u>offsite</u> .	People run their businesses <u>onsite</u> .
Marketing	Marketed to public for storage	Marketed to businesses for running their businesses
Cost	Price points are low for storage only.	Price points are higher for business occupancy and utility connections, too high for storage .
Ceilings	Single-story, low ceiling height	Two-story mezzanine option, taller ceiling height
Individual Access	Low, roll-up door access only	Standard pedestrian door & taller roll-up door
Density of Spaces	Hundreds of storage units on a site	Approximately 14 tenant spaces proposed
Stacking	Double stacked rows of units	Single rows of units
Office Loft	No loft option.	Loft options available.
Dimensions	Storage unit sizes according to one of the largest national storage companies in the East Valley are min. 25 sq.ft. to 200 sq.ft.	Minimum size of tenant spaces are 1,300 sq.ft.
Property Size	4 acre average size	1.4 acres proposed
Residence	Manager’s residential quarters	No residential quarters.
Project Design		
Exterior Elevations	Elevations have a storage appearance: mini office/house in front, predominantly perimeter wall, stucco with roll-up doors	Elevations have a hybrid office-business look. No storage leasing office or storage units on arterial frontage. Similar materials recently approved for medical office on Brown Road. Perimeter wall does not dominate but is hidden in back.
	Storage units visible	Storage units not visible, instead elevations with walls and windows like retail-commercial
Materials	Fewer exterior materials are typical, emphasis on CMU, metal, and roll-up doors.	Multiple exterior materials: stucco, brick veneer, metal shade structures, and vertical panels, which is designed more like an office-commercial use.

Windows	No exterior windows typically	Regular pattern of windows and window appearance on exterior elevations like a commercial-office use.
Colors	Neon, bold, bright accent colors	Neutral colors like the surrounding offices and commercial; accent colors are tasteful and more sophisticated and balanced.
Massing	Typically 1 story outdoor or compact 3 story indoor	This is retail-LC commercial with an enhanced appearance, like a commercial-business use, not a mini-storage look. People driving by will not automatically associate this with a mini-storage use because of the building massing and appearance.
Parking	Parking in front, storage in back. No parking spaces in front of each unit	Parking area is open like commercial parking, not screened behind mini-storage units.
Parking drive aisles	Parking aisles are narrow and confined.	Parking drive aisle is wide, designed for safe turning and maneuvering to enter and exit the site.
Parking Ratio	Parking ratio: Minimum 6 spaces required regardless of number of units, for example 6 spaces for a comparably sized 21,000 SF facility would be 1 space per 3,500 square feet.	More standard parking ratio requiring 27 spaces for approximately 14 tenant spaces plus indoor parking options. Approximately 2 exterior spaces per unit with no public parking required.
Signage	"Storage" is in the signage	"Business Depot Suites" is in the signage.

To summarize, the unit size and density, target market, layout, appearance, price and other factors clearly differentiate *Business Depot Suites* from a mini-storage facility.

Permitted Land Uses

All land uses permitted and regulated under the Mesa Zoning Ordinance’s Limited Commercial (LC) zoning district as of the date of the adoption of this zoning ordinance, are permitted within the proposed development, with the exception of mini-storage, as outlined below.

The table on the next page provides a list of the types of commercial uses anticipated within this project.

The primary uses in this request are already allowed in the LC district under business office, maintenance and repair services, business services, retail, and other business uses in LC zoning. In fact, these same four core uses are permitted in the existing NC zoning, demonstrating the inconsequential nature of this requested zone change.

As part of this request, the uses listed below and uses of a similar type and intensity are included in the list of uses permitted in this document. It is important to note that this list is not exhaustive,

as there may be uses in the future that have not been anticipated by this request or the Mesa Zoning Ordinance.

Examples of Envisioned Uses Permitted in Business Dept Suites

Business Type	Permitted Uses in LC Zoning
Pool Maintenance and Repair	Office, maintenance and repair services, business services
Handy man	Office, maintenance and repair services, business services
Plumber	Office, maintenance and repair services, business services
Event Planner	Office, business services
E-Commerce / online sales	Office, retail
Electrician	Office, maintenance and repair services, business services
Painter	Office, maintenance and repair services, business services
Water softener/filter service co.	Office, maintenance and repair services, business services
Landscape services	Office, maintenance and repair services, business services
Roof repair and installation	Office, maintenance and repair services, business services
Drywall installation and repair	Office, maintenance and repair services, business services
HVAC service	Office, maintenance and repair services, business services
Flooring installation	Office, maintenance and repair services, business services
Computer IT	Office, maintenance and repair services, business services
Mobile window tint installation	Office, maintenance and repair services, business services
Furniture staging	Office, business services
Locksmith	Office, maintenance and repair services, business services
Office equipment leasing	office, business services (defined as equipment leasing and other)
Appliance repair	Office, maintenance and repair services, business services
Fitness machine repair	Office, maintenance and repair services, business services
Garage door repair	Office, maintenance and repair services, business services
Cleaning service	Office, maintenance and repair services, business services
Security service	Office, maintenance and repair services, business services
Pest control service	Office, business services
Electric scooter online sales	Office, retail
Garage floor repair and installation	Office, maintenance and repair services, business services
Trim carpentry	Office, maintenance and repair services, business services
Mobile bumper and dent repairs	Office, maintenance and repair services, business services

Prohibited Uses

A mini-storage facility is not allowed in this development and no tenant or future owner will be permitted to convert a space into a mini-storage facility open to the public.

Like any office, services, or commercial use, the project may have parking and indoor storage of merchandise and inventory as typically allowed incidental to the primary commercial use.

The previously described uses are compatible with the existing commercial center and previously approved PAD (Z00-75). It is important to note that, after the development of this parcel, there will be only one remaining vacant property within the Greenfield Court PAD. The original approval states that the intended use for this parcel includes “multi-use office,” “neighborhood commercial and limited commercial,” “residential service businesses,” and other uses found within the LC district. The above table includes offices, residential services and others uses permitted by right in LC zoning.

V. Project Description

There are three buildings proposed on the site, two that are approximately 5,500 square feet, and one that is just over 10,800. This represents a building coverage of 35%, which is less than the allowed building coverage and massing for LC zoning. According to the conceptual floorplans and elevations, the buildings are 28-feet tall, with internal space that can be outfitted as mezzanine/loft spaces. For architectural interest, the buildings are designed with popouts, awnings, a variety of colors and materials, and vertical and horizontal relief. Upgraded glass roll-up doors and metal awnings and accents provide upgraded elements. Floorplans and building sections provided in the application materials show layout options with offices and restrooms on the ground floor or upstairs mezzanine/loft offices and restrooms. Entries to each business space are internal to the site and include both a roll-up door and a pedestrian doorway.

Building Layout and Design

Consistent with the City’s Quality Design Standards, the project has an open feel and retail-commercial style character. The site layout is in a courtyard configuration, with parking spaces internal to the site, and the buildings pushed out to the south, east, and west property lines. Perimeter landscaping will buffer the site to the adjacent streets. As shown on the elevations provided in the submittal, the buildings are of a scale that is compatible with the surrounding one and two-story building heights.

Selective use of colors and materials and variations in the roof line break up the exterior planes and create an aesthetically pleasing appearance that merges the look and feel of office and business uses. Materials are proposed including smooth and split face CMU, stucco, and painted metal panels that combine to create a creative and high-quality project. The color scheme and materials are harmonious with the tones of the surrounding offices and commercial uses.

Site Access and Parking

One point of vehicular access is proposed on Oakland Street, with a secondary egress point on the eastern boundary of the site. Interior to the site are drive aisles and parking spaces that serve each of the tenant spaces. There is a refuse enclosure on the eastern portion of the development that will comply with the dimensional and back-up distance requirements of the City Code.

Open Space/Landscaping

The proposed development will provide landscaping along all property boundaries. A block wall already exists on the northern and eastern boundary creating an expectation for a walled off boundary. The property owner will work with adjacent property owners to provide an 8-foot boundary wall on the north and east boundaries. The larger landscape setback is located along Southern Avenue, which will be code compliant and provide a generous selection of trees and other plant material. The proposed vegetation will help screen the buildings and provide a visually pleasing palette. Plant varieties will include drought-tolerant plant material with varieties and arrangements that are harmonious with the adjacent commercial center. Landscaping internal to the site will be provided in the form of landscape islands. The landscaping has been designed to provide landscape buffers on the perimeter of the property to provide a pleasant streetscape along Southern and Oakland.

VI. General Plan Compliance

Business Depot Suites will have a positive impact on the surrounding area and on the City as a whole. The proposed commercial land use is consistent with the Mesa 2040 General Plan. The General Plan supports development solutions that facilitate business growth, entrepreneurship, and that protect the character of residential neighborhoods. This proposal accomplishes these objectives and offers benefits to the City, as follows:

- *Business Depot Suites* creates space for small businesses to thrive outside of residential subdivisions, thereby promoting economic growth and preserving the character of neighborhoods. Jobs are proposed proximate to the surrounding neighborhoods, which increases stability of the neighborhoods and of small businesses that would otherwise have to locate elsewhere. New commercial development will enhance the local economy by activating a bypassed parcel with a commercial services use that will generate new tax receipts and City fees for construction, which revenues will contribute to public initiatives. (General Plan, pp. 1-5, 1-9, 3-7, 5-15)
- The General Plan seeks to promote flexibility to respond to changing market demands. In conformance with this policy, the proposal includes a unique business use that addresses a market demand that has surfaced in recent years. The scale and quality design of the project balances the needs of the neighborhood (General Plan, p. 15-1).
- The Neighborhood Village Character Area lists the proposed office, neighborhood services, and business service uses as primary uses in the neighborhood village category. Tenant types include services of homes and businesses in proximity to the project site.

- In the General Plan, infill developments are encouraged that support neighborhoods as is the case in this proposal.

Providing commercial spaces for what are currently home occupations can relieve the pressure on surrounding neighborhoods. Many neighborhoods in the City have residents who are small business owners who are currently operating a business out of their home, often with commercial vehicles crowding small, residential streets. These owners need a space that is small enough for their small business and small employee count, but not so large or costly that it poses a disincentive to relocating their business. (General Plan, pp. 1-3, 7-17, and 16-5).

- One of the reasons this Property remains vacant is its small size and mid-block location. Also, the site lacks a creative kind of use that fits the unique demands and economic conditions of the area. This proposal addresses the unique location by proposing a use that is the right proximity to the intersection. It is the appropriate intensity for an arterial frontage with transitions to other sites to the north. The dual street frontages benefit the site by offering an option to enter the site offset from the neighborhood to the south, and it takes traffic off Southern Avenue. (General Plan, p. 9-7)
- The proposed buildings comply with the general form and guidelines in the General Plan because they are below the 3-story general limitation at the proposed 30± feet maximum height. Also, the 38% building coverage is well below the minimum threshold. Project design will implement the City's Quality Design Guidelines as applicable to this development (General Plan, pp. 7-17, 15-1).
- Preliminary exterior elevations and perimeter landscaping incorporate an enduring and quality architectural design. Building elevations incorporate durable materials, colors and materials that provide for aesthetic interest. Site landscaping will help buffer the project and provide a softer transition to the built-environment and contributing to a sense of place (General Plan, p. 7-17).

VII. Compliance with Zoning and BIZ Regulations

LC Zoning

The purpose of this application is to request LC-BIZ zoning. The LC zoning district contemplates indoor commercial uses that cover a broad range of types and sizes – from small neighborhood centers to large regional centers. LC zoning also supports projects that are designed with special development standards that fit into the surrounding context. The mixing of commercial and office uses to serve business are envisioned in the Mesa Zoning Ordinance (“Zoning Ordinance”) in Section 11-6-1.A-B.

Business Depot Suites meets these objectives by providing indoor business office, maintenance and repair services, business services, retail, commercial uses that are allowed in the LC zoning. LC zoning is consistent with the adjacent LC zoning for properties fronting the arterial streets, and creates a uniform application of zoning designations at this intersection. The small site size and surrounding streets, retention, and compliant building sizes provide a compatible land use

with respect to the surrounding context.

Bonus Intensity Zone (BIZ) Overlay

The purpose of the Bonus Intensity Zone (BIZ) Overlay District is to provide for variations from development standards to encourage unique, innovative developments of superior quality. To receive approval of a BIZ overlay, it must be demonstrated that the resulting development will further the goals and objectives of the General Plan, Specific Plans, and Council policies and will provide significant social or economic benefits to the City. This overlay district applies more frequently to individual projects which may consist of one or more buildings. Moreover, the purposes of this district are to:

- A. Encourage unique, innovative development of superior quality that utilizes sustainable development practices and promotes pedestrian activity.
- B. Allow for the establishment of unique land use regulations and development standards to achieve goals of the General Plan for the area.
- C. Promote development patterns that encourage conservation of natural resources and provide opportunities for renewable energy production.

The proposed Business Depot Suites is a development that meets the purpose of the BIZ overlay district. It is a unique and innovative development of superior architectural quality. As discussed in the previous section, this project complies with the General Plan Land Use designation of Neighborhood Village.

Business Depot Suites complies with the city policies and objectives by incorporating the following:

- A creative solution to an unmet need in today's unique economy that has occurred after the Zoning Ordinance was adopted;
- High quality architectural design, site design create a unique and more sustainable alternative to conventional development and comparable projects;
- Well designed and integrated buildings that are proportionate to the Property size;
- Pedestrian connections to the public pathways and nearby commercial uses;
- Consistency with the surrounding land use fabric;
- Common ownership of the property to ensure sustainable property owner's professional management that oversees site maintenance.

As is typical when using a BIZ overlay, this overlay uses the underlying LC zoning district and except as previously noted, permits the same uses as shown in Section 11-6-2 of the City of Mesa Zoning Ordinance.

Development Standards

The BIZ requested in this application is designed to establish the project’s quality design and to encourage a creative use on a challenging by-passed lot that will implement the General Plan objectives and purposes of Zoning Ordinance. The development standards for this BIZ overlay are the same as those provided in the underlying LC Zoning District, with the exception of a few modifications shown in **bold and red text** in the right column of the table below.

BIZ Development Standards

Standard	Zoning Ordinance LC	Provided
Building Setbacks (ft.)		
Front (south) Southern	15	15
Side, (west) Oakland Street	20	15
Side (east), non-residential	15	10
Rear (north), non-residential	15	10
Corner Building Setback (ft.)	25	25
Landscape Setbacks (ft.)		
Front (south) Southern	15	15
Side, (west) Oakland Street	15	15
Side (east), non-residential	15	10
Rear (north), non-residential	15	10
Foundation base landscaping	Internal and external	Yes Sides, rear, <u>not at roll-up doors</u>
Trash enclosure allowed in setback	No	Yes, on eastern boundary.
Parking Standard	1 space / 375	1 space / 404
Parking Setback Sec. (11-32-4(A))	50-feet from property line abutting street	15'-5"

Justification for Modifications

As outlined in Section 11-21-3 of the Zoning Ordinance, modifications from development standards may be approved for projects that 1) demonstrate superior, quality designs and 2) meet certain site selection criteria. Projects that demonstrate energy efficiency or that meet environmental performance standards may also be considered.

As will be discussed in the next section of this narrative, the proposed development demonstrates superior, quality design. This site is also appropriate for a BIZ overlay district given that it is a bypassed parcel within the Greenfield Court development. As previously noted, there are currently only two parcels within Greenfield Court that are vacant and undeveloped. The development of this economically distressed parcel will complete the pattern of development between Greenfield and Oakland and contribute aesthetically to the surrounding area.

Additionally, this parcel is within 335-feet of an existing bus shelter on the north side of Southern Avenue. In addition to being in proximity to transportation options, it is also adjacent to existing utilities and community services.

Other factors that merit approval of a BIZ Overlay include:

- The proposed use is compatible in size, type, and design with the surrounding land uses, as discussed previously in this narrative. Because the site is small, the proposed tasteful design makes the project suitable with respect to surrounding properties and will not pose any unreasonable effects.
- Vacant land is located to the west, across Oakland Street. On the eastern boundary of the property is retention basin that serves the larger Greenfield Court area. This creates more buffering than what is required from the adjacent commercial buildings.
- The building coverage of 35% and large building separations exceed the LC standards and contribute to an open feel in this development. Exterior materials exceed the minimum required materials and for this kind of commercial use.
- The onsite landscaping, including perimeter landscaping, foundation base landscaping (where appropriate), landscape setbacks, and parking landscaping are strategically designed to address the building areas and parking visible from the street.
- A 15-foot landscape buffer is proposed on Oakland Street. The separation of the street and proposed landscaped areas in the right-of-way creates adequate buffers that meet the minimum requirement. Per code, the applicant is responsible for maintenance of right-of-way landscape areas just as any property in the City for the perimeter buffer. 10-foot setbacks for both building and landscaping are requested along the northern and eastern boundaries. There will be an abundance of landscaping in both of these areas, and the wall height will be increased to 8-feet to provide additional buffering from neighboring properties.

VIII. Alternative Compliance with Commercial Design Standards

Section 11-6-3-(B)-7 of the City of Mesa Zoning Ordinance allows applicants to seek alternative compliance with Site Planning and Design Standards when strict compliance is impractical, or where maximum achievement may only be accomplished through alternative compliance. This project requires alternative compliance with the requirements set forth in Sections 11-6-3 (B) (5) (C) and (D). These sections require buildings: 1) to incorporate three (3) different and distinct materials, and 2) specifies that no more than 50% of the total façade may be covered with one (1) single material.

While it is true that the elevations may be broken down into two basic categories of materials: stucco and CMU, there are a variety of colors, treatments and textures that combine to provide a visually interesting building with a variety of colors and textures, which is the overall goal of the requirement. It is widely accepted that the addition of colors, textures and materials to an

elevation improves the architectural appeal of the structure and exceeds the design objectives in the City’s Zoning Ordinance. It is important to note that when considered separately, none of these materials exceed the 50% limit on a single material. Shown below is a chart that demonstrates the twelve (12) variations of materials and colors that are used in the buildings:

Material	Colors				
Stucco	Egret			Iron Gate	
CMU-Standard/solid	Egret	Mindful Grey	Rockwood Sash Green	Iron Gate	Peppercorn
CMU-Split Faced	Peppercorn			Iron Gate	
CMU-Integral Color	Pebble Beach				
Metal Panels and Awnings	Everglade			Iron Gate	

IX. Compliance with Greenfield Court Design Guidelines

The site design and architectural design complies with the existing *Greenfield Court Design Guidelines* in the following ways:

- Development Concept:** “Unlike the traditional center concept of a single architectural theme and material palette, the goal of Greenfield Court is to encourage and integrate a variety of architectural expressions and materials appropriate to our region. These varying styles will be unified by some common elements of site and landscaping throughout the project development.”

Response: Business Depot Suites has been designed to complement, but not duplicate, the other buildings within Greenfield Court. Each of the buildings is single-story, and the colors and materials are muted and have been selected to blend in with the surrounding structures and uses.

- Unifying Elements:**

Response: Business Depot Suites includes each of the following unifying elements required in the Greenfield Court Design Guidelines.

- ✓ *Driveways: Each driveway is required to have a stamped concrete driveway apron.*
- ✓ *Screen Walls: Three-feet screen walls along the private roadway.*
- ✓ *Property Line Bollards: Shown at the northwest corner of the property.*
- ✓ *Signs: Will comply with the requirements outlined in Article 5 of the City of Mesa Zoning Ordinance relating to signage.*
- ✓ *Landscaping: Includes the theme date palm at the Southern/Oakland intersection, and specifies trees and shrubs from the landscape palette found in the design*

guidelines.

- **Design Review: Requires approval by the Greenfield Court Property Owner's Association**

Response: The developer will receive approval from the property owners association as required.

X. Conclusion

This request for *Business Depot Suites* presents an exciting opportunity to provide an innovative solution that will help facilitate small business growth. The proposed commercial business use fills a gap not currently available for small business owners that need a secure and functional location to operate, and that is right-sized for their growing businesses. Located on an ideal site between commercial and office developments with buffers in between, this land use bridges these different uses with a new kind of small commercial business development. *Business Depot Suites* implements the vision and policies of the General Plan and will create benefits for the City and surrounding community. The applicant looks forward to continued work with City staff to bring this quality project to fruition in the City of Mesa.



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



TREE SCHEDULE (SITE)

TREES	BOTANICAL / COMMON NAME	CONT	QTY	COVERAGE TYPE	CREDIT (S.F.)
	Ulmus Parvifolia / Evergreen Elm	15 Gal	17	Shade Tree / 50 S.F.	800
	Ulmus Parvifolia / Evergreen Elm	24" Box	33	Shade Tree / 50 S.F.	1600
	Phoenix Dactylifera / Date Palm	42" Box	2	Columnar Tree / 25 S.F.	50
	Prosopis Alba Colorado / Thornless Mesquite	24" Box	10	Evergreen > 25' Tall / 100 S.F.	1000
	Prosopis Alba Colorado / Thornless Mesquite	36" Box	21	Evergreen > 25' Tall / 100 S.F.	1900
TOTALS:			83		5350

PLANT SCHEDULE (SITE)

SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	COVERAGE TYPE	CREDIT (S.F.)
	Hesperaloe Parviflora / Red Yucca	1-Gal	29	Small Shrub / 10 S.F.	290
	Lantana Camara 'Gold Mound' / Gold Mound Lantana	1-Gal	46	Small Shrub / 10 S.F.	460
	Bougainvillea 'Barbara Karst' / Barbara Karst Bougainvillea	5-Gal	26	Small Shrub / 10 S.F.	260
	Agave Vitmoriana / Octopus Agave	5-Gal	10	Small Shrub / 10 S.F.	100
	Leucophyllum Frutescens / Green Cloud Sage	5-Gal	31	Small Shrub / 10 S.F.	310
	Ruellia Penninsularis / Baja Ruellia	5-Gal	37	Small Shrub / 10 S.F.	370
TOTALS:			179		1790

TREE SCHEDULE (SOUTHERN R.O.W.)

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Ulmus Parvifolia / Evergreen Elm	15 Gal	2
	Ulmus Parvifolia / Evergreen Elm	24" Box	5
	Prosopis Alba Colorado / Thornless Mesquite	36" Box	3
TOTALS:			10

PLANT SCHEDULE (SOUTHERN R.O.W.)

SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
	Hesperaloe Parviflora / Red Yucca	1-Gal	7
	Lantana Camara 'Gold Mound' / Gold Mound Lantana	1-Gal	22
	Leucophyllum Frutescens / Green Cloud Sage	5-Gal	20
	Ruellia Penninsularis / Baja Ruellia	5-Gal	8
TOTALS:			57

SITE LANDSCAPING CALCS:
 SITE OPENSACE = 13,165 SF.
 REQUIRED LANDSCAPE COVERAGE: 13,165 SF / 2 = 6,583 SF.
 TREE COVERAGE PROPOSED: 5,350 SF. (52% = 24" BOX; 25% = 36" BOX)
 PLANT COVERAGE PROPOSED: 1,790 SF.

5,350 SF + 1,790 SF = 7,140 SF COVERAGE PROPOSED
 7,140 SF COVERAGE PROPOSED EXCEEDS THE 6,583 SF REQUIRED.

SOUTHERN R.O.W. LANDSCAPING CALCS:
 LINEAR FRONTAGE ALONG SOUTHERN AVENUE = 237 FT.
 REQUIRED QUANTITY OF TREES: (237/25)' = 9.5
 REQUIRED QUANTITY OF PLANTS: (237/25)' = 9.5

PROPOSED QUANTITY OF TREES = 10 (50% = 24" BOX, 30% = 36" BOX)
 PROPOSED QUANTITY OF PLANTS = 57

SIDEWALK SHADING CALCS:
 APPLIES TO SIDEWALK ALONG SOUTHERN AVE. SIDEWALK AREA = 1298 SF.
 1/2 OF 1298 SF = 650 S.F.

PROPOSED:
 • FIVE (5) TREES WITH 100 S.F. SHADING
 • FIVE (5) TREES WITH 50 S.F. SHADING
 (5 * 100) + (5 * 50) = 750 S.F. OF PROPOSED SHADING EXCEEDS THE 650 S.F. REQUIREMENT

DECOMPOSED GRANITE:
 SHALL BE PLACED TO A DEPTH OF 3" MINIMUM LOCATED AS SHOWN ON THE LANDSCAPE PLAN.

SHALL BE THE COLOR AS SPECIFIED, FREE OF CLUMPS WHICH CANNOT BE BROKEN WITH ONE SHOVEL BLOW. FREE OF FOREIGN SUBSTANCES AND MEETING THE FOLLOWING REQUIREMENTS:
 • 100% PASSING A 2" SIEVE;
 • 85-100% PASSING A 3/4" SIEVE; AND
 • 5% TO 20% PASSING A NO. 4 SIEVE.

ONE COLOR SHALL BE USED FOR THE ENTIRE WORK, AND SHALL BE OBTAINED FROM ONLY ONE SOURCE.

LANDSCAPE PLAN LEGEND

- CONCRETE SIDEWALK / SLAB ON GRADE
- CONCRETE DRIVEWAY - STAMPED
- ASPHALT PAVED PARKING
- DECOMPOSED GRANITE
- SITE VISIBILITY TRIANGLE (SVT)

Case B1 - Left Turn Maneuver from STOP

Through Road Cross-Section	Required Sight Distance (SD)			
	2 LU*	3 LU*	4LD**	6LD**
Through Road Width	34', 40', 48'	46', 48'	68', 72'	88', 94'
Time gap (t _L)	7.5"	8.0"	8.5"	9.0"
Design Speed				
30 mph	331	353	375	397
35 mph	386	412	437	463
40 mph	441	470	500	529
45 mph	496	529	562	595
50 mph	551	588	625	662



PROJECT: BUSINESS DEPOT SUITES

1145 S. OAKLAND MESA, AZ 85206

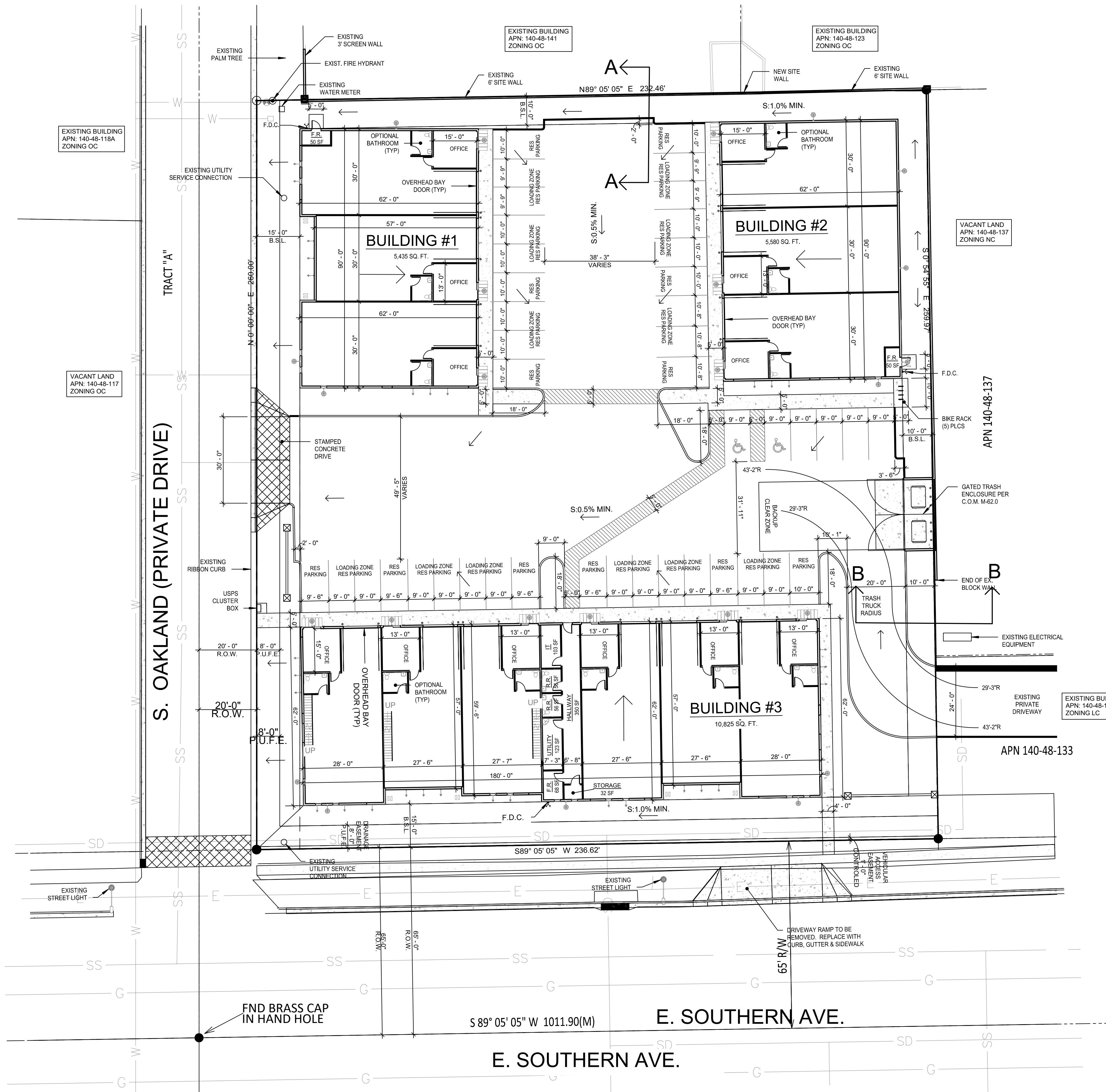
PROJECT NO 2008

REVISION	DATE

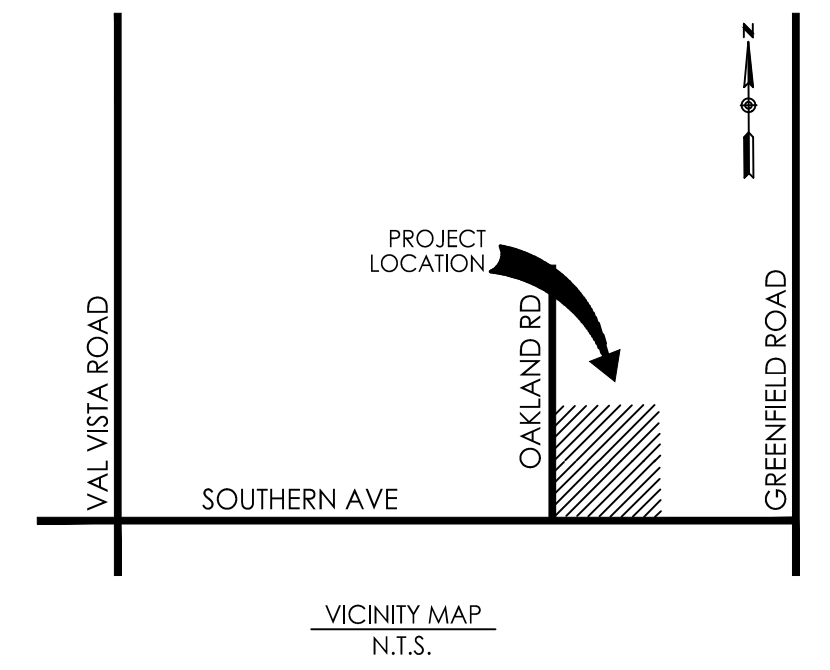
PROJECT OWNER:
LAVIGNA INVESTMENT CORPORATION
 1223 S. CLEARVIEW AVE, #103
 MESA, AZ 85209
 PHONE: 480.222.5800

SHEET: © 2023
LANDSCAPE PLAN

NOT FOR CONSTRUCTION
L-1



PER THE APPROVED FINAL DRAINAGE REPORT FOR THE GREENFIELD OFFICE COURT (ON FILE WITH CITY OF MESA), THE ONSITE STORM WATER RUNOFF FOR LOT #1 WILL BE CONVEYED VIA SURFACE ROUTING TO THE EXISTING RETENTION BASIN TO THE WEST OF THIS PROJECT, WITHIN THE GREENFIELD OFFICE COURT COMMON OPEN SPACE AREA.



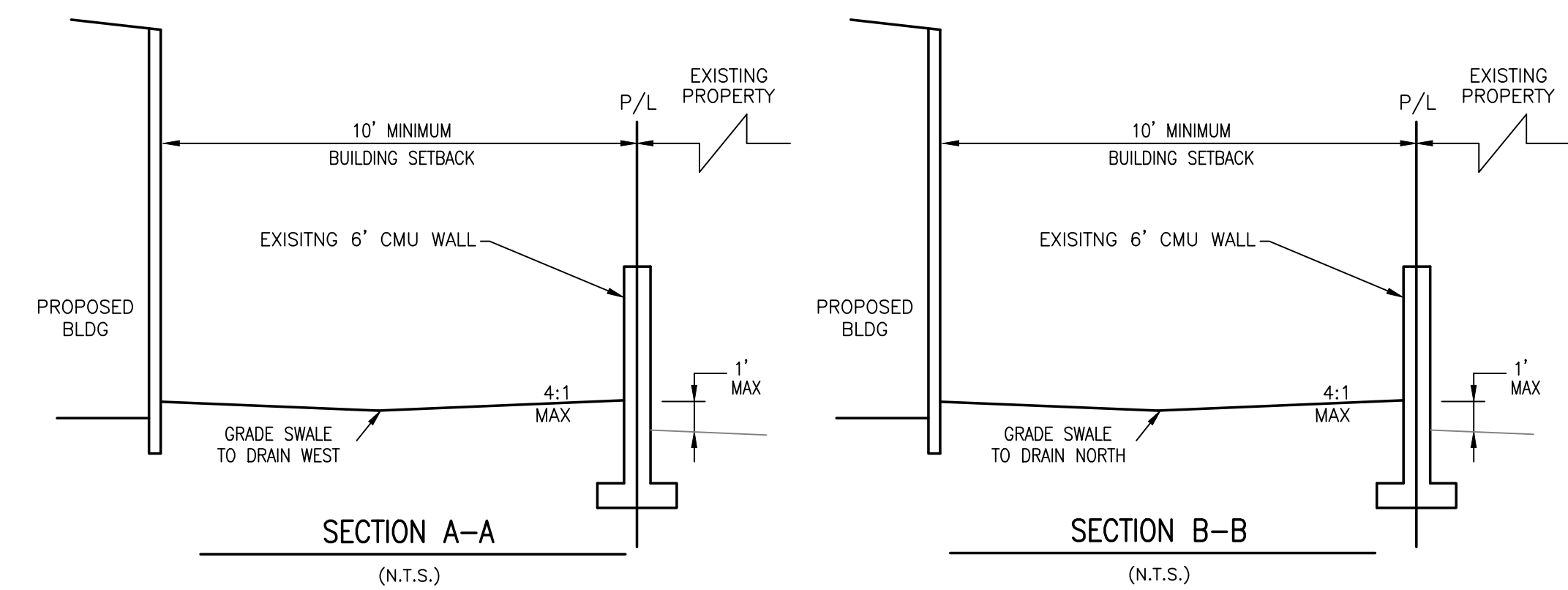
OWNER
LAVIGNA INVESTMENT CORPORATION
1223 S. CLEARVIEW AVE #103
MESA, ARIZONA 85209
PH: 480.222.5800

ENGINEER
VINEYARD GROUP, LLC
1223 S. CLEARVIEW AVE, #103
MESA, ARIZONA 85209
CAMERON MACDONALD, PE
PH: 480.720.4030

SITE DATA
APN: 140-48-116
TOTAL NET AREA: 60,972 square feet
CURRENT ZONING: NC
PROPOSED ZONING: LC

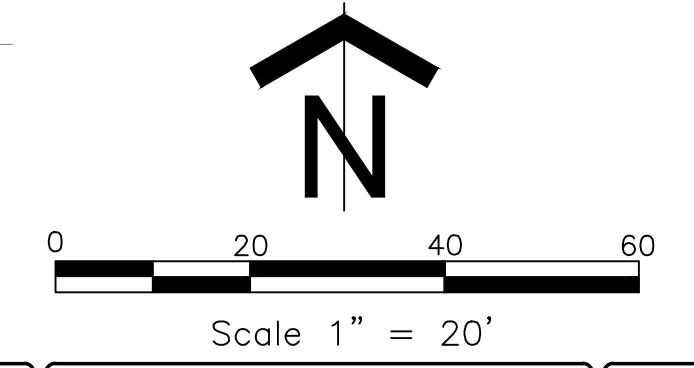
GENERAL PROJECT NOTES:

1. ALL EXISTING OVERHEAD UTILITIES SHALL BE RELOCATED PER CITY OF MESA AND UTILITY COMPANY'S REQUIREMENTS.
2. ALL SITE WORK SHALL ADHERE TO CITY OF MESA ENGINEERING AND DESIGN STANDARDS SECTIONS 604.3, 705.4 & 705.5.
3. ALL OFFSITE PAVEMENT CUTS SHALL ADHERE TO APPROVED CITY CODE IN TITLE 9, CHAPTER 1.
4. DETAILED PARKING, STRIPING AND SIGNAGE PLAN AND NO PARKING SIGNS PER COM STD. DET. M-62.08 "NO PARKING" LIMITS WILL BE PROVIDED WITH CONSTRUCTION PLAN SUBMITTAL.
5. PHOTOMETRICS SHALL BE PROVIDED WITH CONSTRUCTION PLAN SUBMITTAL.



LEGEND

- LOT LINE
- EASEMENT/SETBACK LINE
- WATERLINE
- ← SEWERLINE (W/FLOW DIRECTION)
- ▬ STORM DRAIN AND HEADWALL
- ⊗ FIRE HYDRANT
- SEWER MANHOLE



Project: **PRELIMINARY GRADING & DRAINAGE PLAN**
1145 S. OAKLAND STREET
MESA, ARIZONA

REVISIONS:

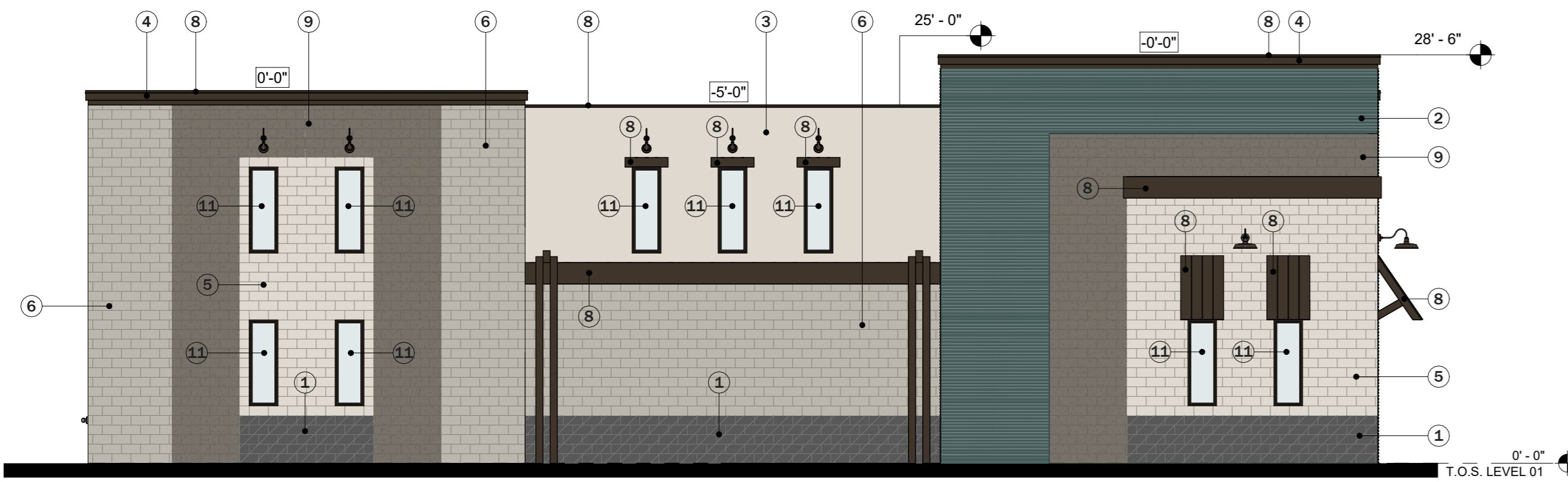
VINEYARD GROUP

1223 S. Clearview Ave.
Mesa, Arizona 85209
Phone: 480.720.4030

PROJECT NO.
2018-08

SHEET NO.
1 of 2

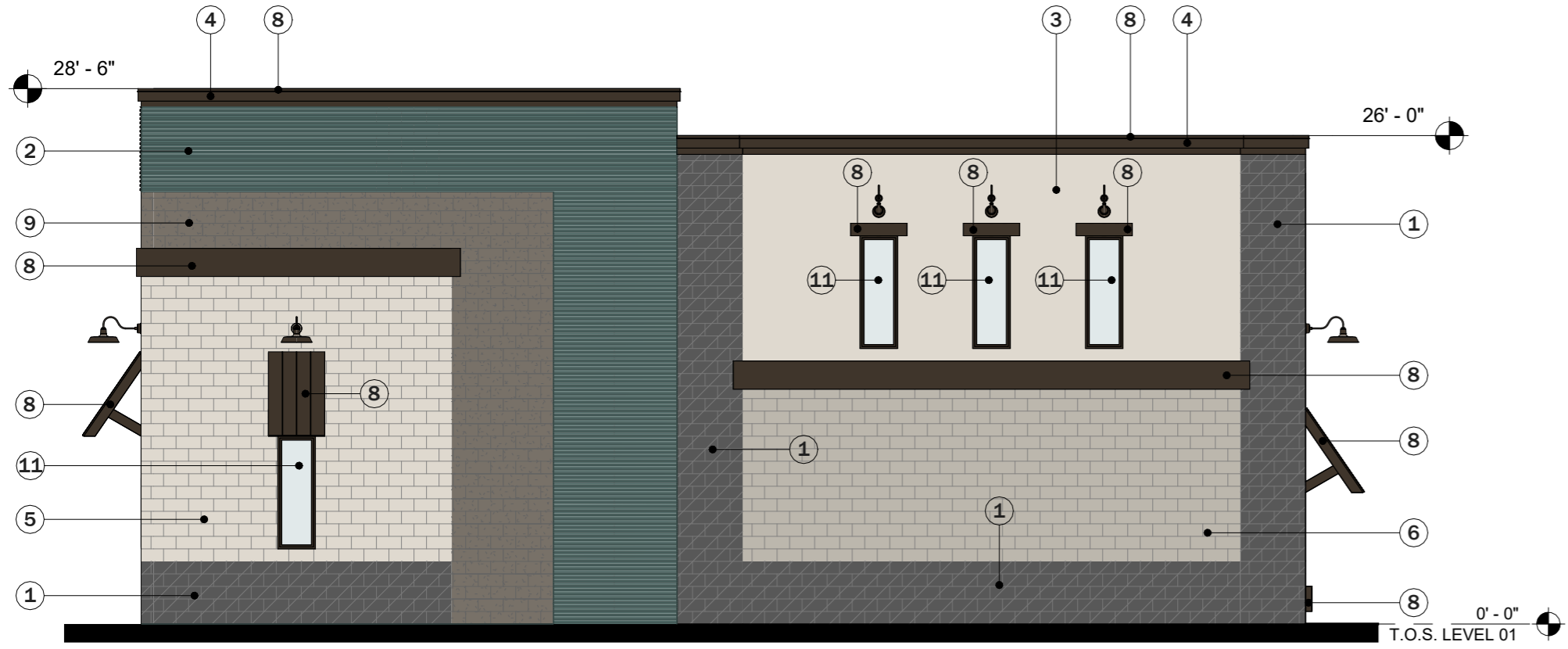
EXP. DATE: 06/30/2022



FACADE CALCS - BLDG 1, WEST

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	179 SF	7.5%
2	METAL WALL PANEL, PBD, MT1	312 SF	13.1%
3	STUCCO, ACRYLIC, ST1	271 SF	11.3%
4	STUCCO, ACRYLIC, ST2	50 SF	2.1%
5	STANDARD CMU, MU2	334 SF	14.0%
6	STANDARD CMU, MU3	539 SF	22.6%
8	METAL AWNING / ACCENT, PT1	146 SF	6.1%
9	STANDARD CMU, MU5	448 SF	18.8%
11	GLAZING, MT2, GL1	108 SF	4.5%
Grand total		2388 SF	

1 BLDG #1 - WEST



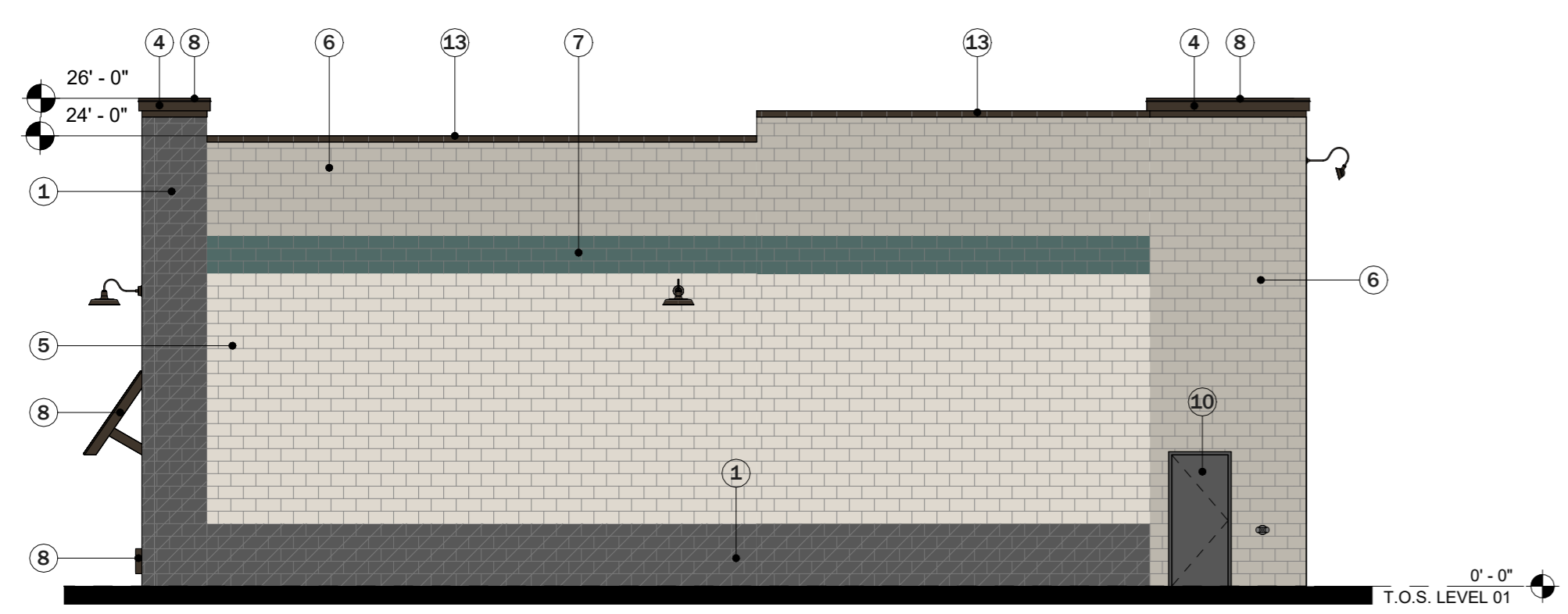
FACADE CALCS - BLDG 1, SOUTH

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	317 SF	18.8%
2	METAL WALL PANEL, PBD, MT1	280 SF	16.7%
3	STUCCO, ACRYLIC, ST1	250 SF	14.8%
4	STUCCO, ACRYLIC, ST2	51 SF	3.0%
5	STANDARD CMU, MU2	225 SF	13.3%
6	STANDARD CMU, MU3	243 SF	14.4%
8	METAL AWNING / ACCENT, PT1	97 SF	5.8%
9	STANDARD CMU, MU5	173 SF	10.3%
11	GLAZING, MT2, GL1	48 SF	2.9%
Grand total		1684 SF	

EXTERIOR MATERIAL KEY

- | | | |
|-----------------------------------------------------------------------------------|----------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| ① PAINTED: (MU1)
CMU STANDARD 8"x8"x16"
SPLIT-FACE
PEPPERCORN
SW 7674 | ⑦ PAINTED: (MU4)
CMU STANDARD 8"x8"x16"
ROCKWOOD SASH GREEN
SW 2810 | ⑬ PAINTED: (MU7)
CMU SOLID 8"x4"x16"
IRON GATE
SW 2926 |
| ② PREFINISHED: (MT1)
CORRIGATED METAL PBD PANEL
EVERGLADE | ⑧ PAINTED: (PT1)
METAL SURFACE
IRON GATE
SW 2926 | ⑭ PAINTED: (MU8)
CMU 8"x8"x8"
PEPPERCORN
SW 7674 |
| ③ PAINTED: (ST1)
ACRYLIC STUCCO ON FRAMED
3" POPOUT
EGRET
SW 7570 | ⑨ INTEGRAL COLOR: (MU5)
CMU STANDARD 8"x8"x16"
GROUND-FACE
PEBBLE BEACH | ⑮ PAINTED: (MU9)
CMU 8"x8"x8"
SPLIT-FACE
PEPPERCORN
SW 7674 |
| ④ PAINTED: (ST2)
ACRYLIC STUCCO CROWN MOLDING
IRON GATE
SW 2926 | ⑩ PAINTED: (PT2)
METALIC DOOR W/ FRAME
PEPPERCORN
SW 7674 | |
| ⑤ PAINTED: (MU2)
CMU STANDARD 8"x8"x16"
EGRET
SW 7570 | ⑪ PREFINISHED: (MT2, GL1)
STOREFRONT, BAY DOORS, WINDOWS
BRONZE | |
| ⑥ PAINTED: (MU3)
CMU STANDARD 8"x8"x16"
MINDFUL GRAY
SW 7016 | ⑫ PAINTED: (MU6)
CMU SOLID 8"x4"x16"
SPLIT-FACE
IRON GATE
SW 2926 | |

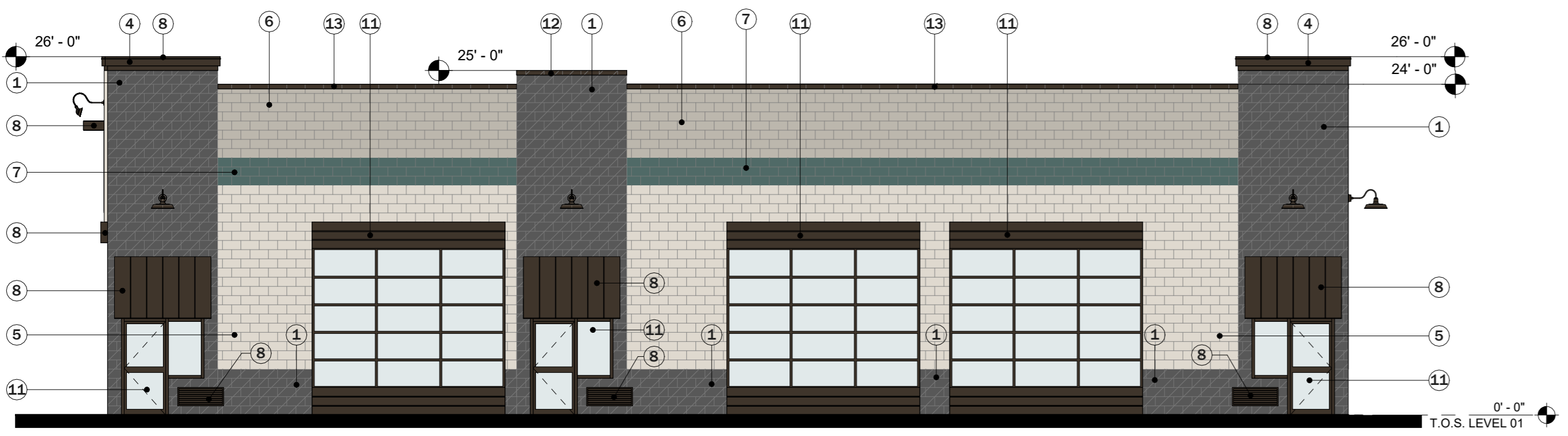
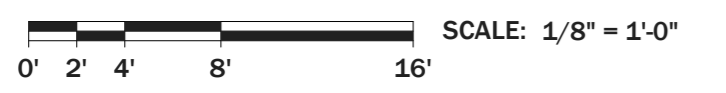
2 BLDG #1 - SOUTH



FACADE CALCS - BLDG 1, NORTH

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	254 SF	16.5%
4	STUCCO, ACRYLIC, ST2	10 SF	0.7%
5	STANDARD CMU, MU2	669 SF	43.5%
6	STANDARD CMU, MU3	463 SF	30.1%
7	STANDARD CMU, MU4	100 SF	6.5%
8	METAL AWNING / ACCENT, PT1	2 SF	0.1%
10	METAL DOOR, PT2	24 SF	1.6%
13	STANDARD CMU, MU7	17 SF	1.1%
Grand total		1540 SF	

3 BLDG #1 - NORTH

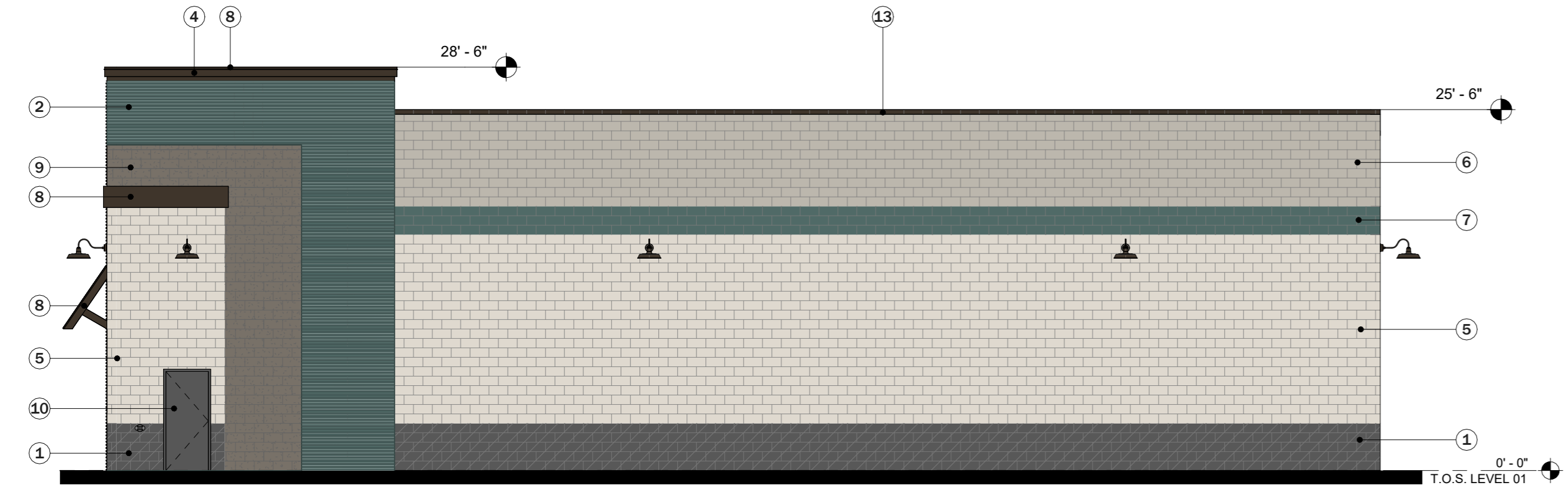


FACADE CALCS - BLDG 1, EAST

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	464 SF	21.1%
4	STUCCO, ACRYLIC, ST2	14 SF	0.6%
5	STANDARD CMU, MU2	432 SF	19.6%
6	STANDARD CMU, MU3	330 SF	15.0%
7	STANDARD CMU, MU4	132 SF	6.0%
8	METAL AWNING / ACCENT, PT1	111 SF	5.0%
11	GLAZING, MT2, GL1	693 SF	31.5%
12	CMU, SPLIT-FACE, MU6	3 SF	0.1%
13	STANDARD CMU, MU7	22 SF	1.0%
Grand total		2201 SF	

4 BLDG #1 - EAST

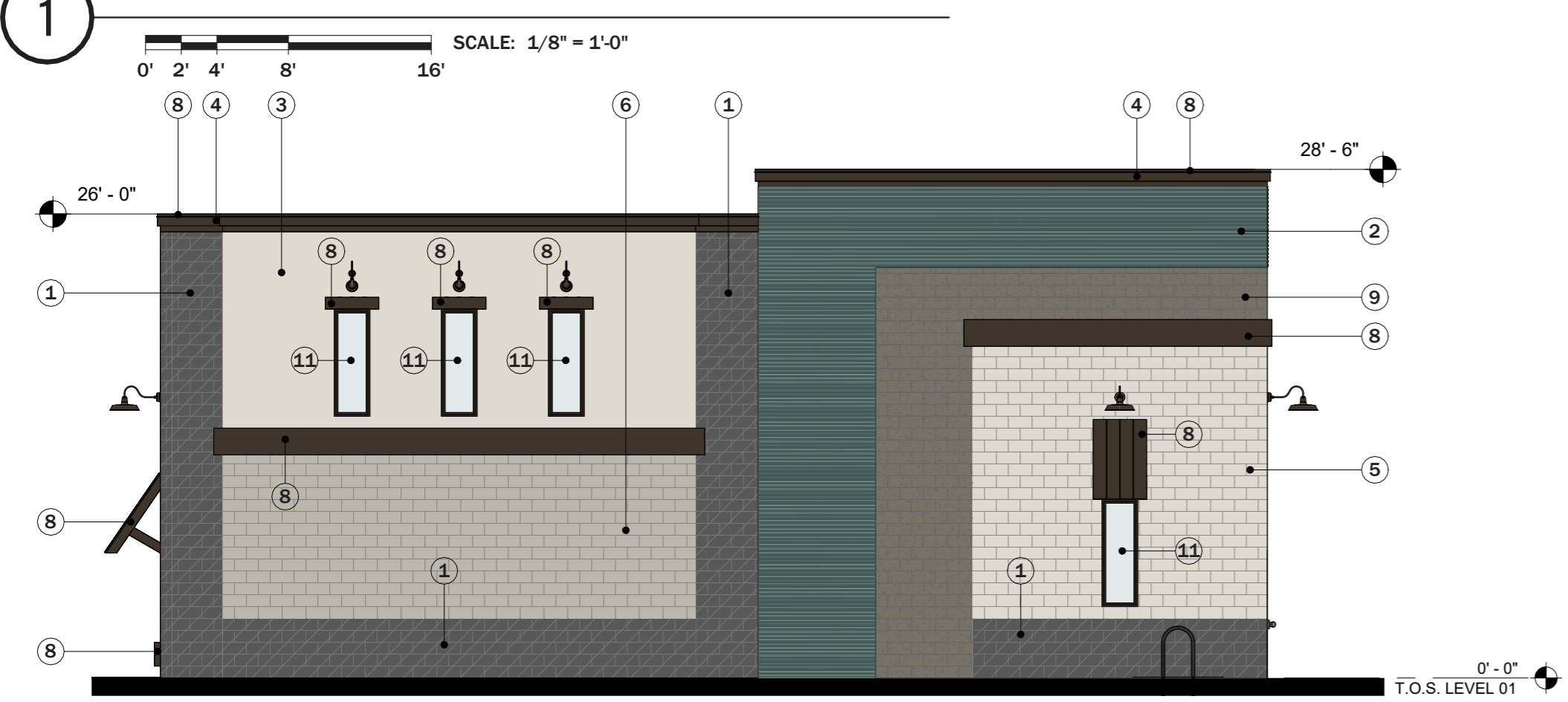




FACADE CALCS - BLDG 2, EAST

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	249 SF	10.6%
2	METAL WALL PANEL, PBD, MT1	244 SF	10.3%
4	STUCCO, ACRYLIC, ST2	17 SF	0.7%
5	STANDARD CMU, MU2	1043 SF	44.3%
6	STANDARD CMU, MU3	453 SF	19.2%
7	STANDARD CMU, MU4	139 SF	5.9%
8	METAL AWNING / ACCENT, PT1	17 SF	0.7%
9	STANDARD CMU, MU5	149 SF	6.3%
10	METAL DOOR, PT2	24 SF	1.0%
13	STANDARD CMU, MU7	23 SF	1.0%
Grand total		2357 SF	

1 BLDG #2 - EAST



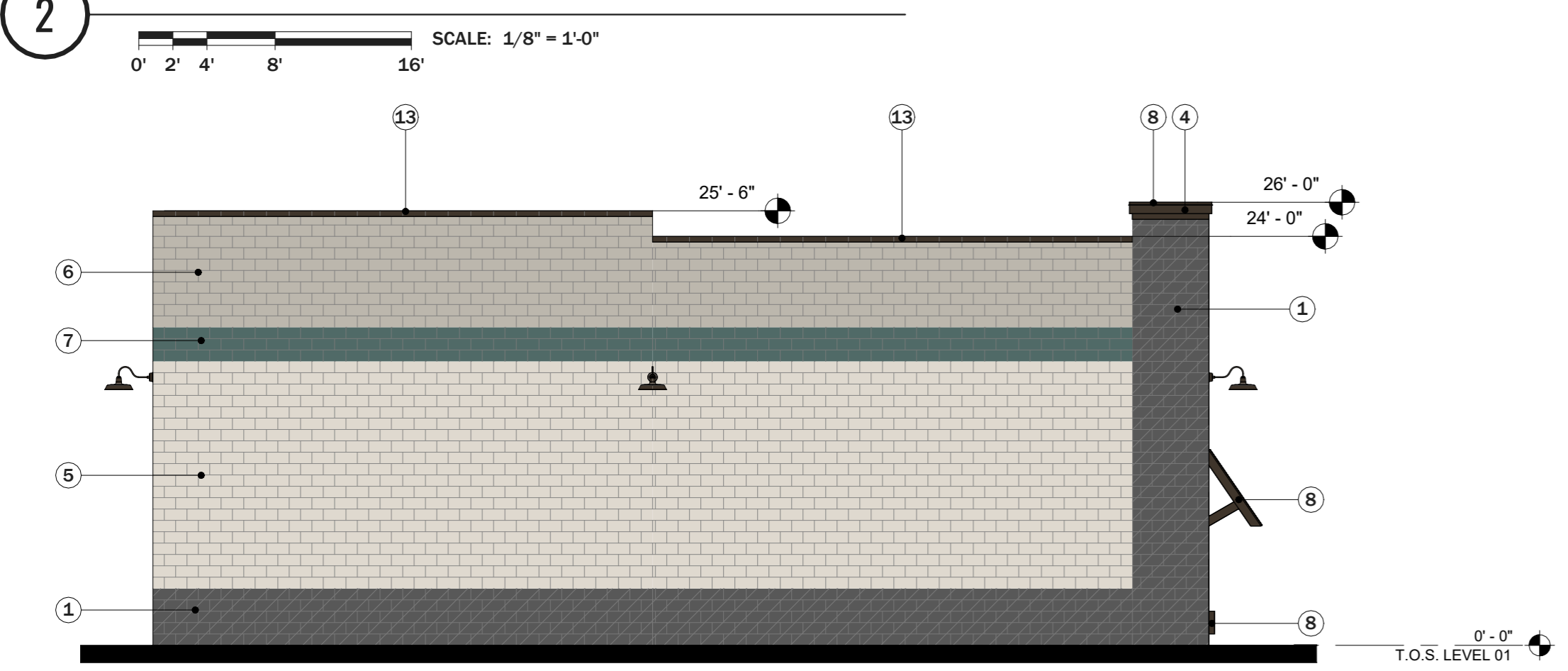
FACADE CALCS - BLDG 2, SOUTH

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	317 SF	18.8%
2	METAL WALL PANEL, PBD, MT1	281 SF	16.7%
3	STUCCO, ACRYLIC, ST1	249 SF	14.8%
4	STUCCO, ACRYLIC, ST2	51 SF	3.0%
5	STANDARD CMU, MU2	226 SF	13.4%
6	STANDARD CMU, MU3	243 SF	14.4%
8	METAL AWNING / ACCENT, PT1	97 SF	5.8%
9	STANDARD CMU, MU5	172 SF	10.2%
11	GLAZING, MT2, GL1	48 SF	2.8%
Grand total		1684 SF	

EXTERIOR MATERIAL KEY

- | | | |
|-----------------------------------------------------------------------------------|----------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| ① PAINTED: (MU1)
CMU STANDARD 8"x8"x16"
SPLIT-FACE
PEPPERCORN
SW 7674 | ⑦ PAINTED: (MU4)
CMU STANDARD 8"x8"x16"
ROCKWOOD SASH GREEN
SW 2810 | ⑬ PAINTED: (MU7)
CMU SOLID 8"x4"x16"
IRON GATE
SW 2926 |
| ② PREFINISHED: (MT1)
CORRIGATED METAL PBD PANEL
EVERGLADE | ⑧ PAINTED: (PT1)
METAL SURFACE
IRON GATE
SW 2926 | ⑭ PAINTED: (MU8)
CMU 8"x8"x8"
PEPPERCORN
SW 7674 |
| ③ PAINTED: (ST1)
ACRYLIC STUCCO ON FRAMED
3" POPOUT
EGRET
SW 7570 | ⑨ INTEGRAL COLOR: (MU5)
CMU STANDARD 8"x8"x16"
GROUND-FACE
PEBBLE BEACH | ⑮ PAINTED: (MU9)
CMU 8"x8"x8"
SPLIT-FACE
PEPPERCORN
SW 7674 |
| ④ PAINTED: (ST2)
ACRYLIC STUCCO CROWN MOLDING
IRON GATE
SW 2926 | ⑩ PAINTED: (PT2)
METALIC DOOR W/ FRAME
PEPPERCORN
SW 7674 | |
| ⑤ PAINTED: (MU2)
CMU STANDARD 8"x8"x16"
EGRET
SW 7570 | ⑪ PREFINISHED: (MT2, GL1)
STOREFRONT, BAY DOORS, WINDOWS
BRONZE | |
| ⑥ PAINTED: (MU3)
CMU STANDARD 8"x8"x16"
MINDFUL GRAY
SW 7016 | ⑫ PAINTED: (MU6)
CMU SOLID 8"x4"x16"
SPLIT-FACE
IRON GATE
SW 2926 | |

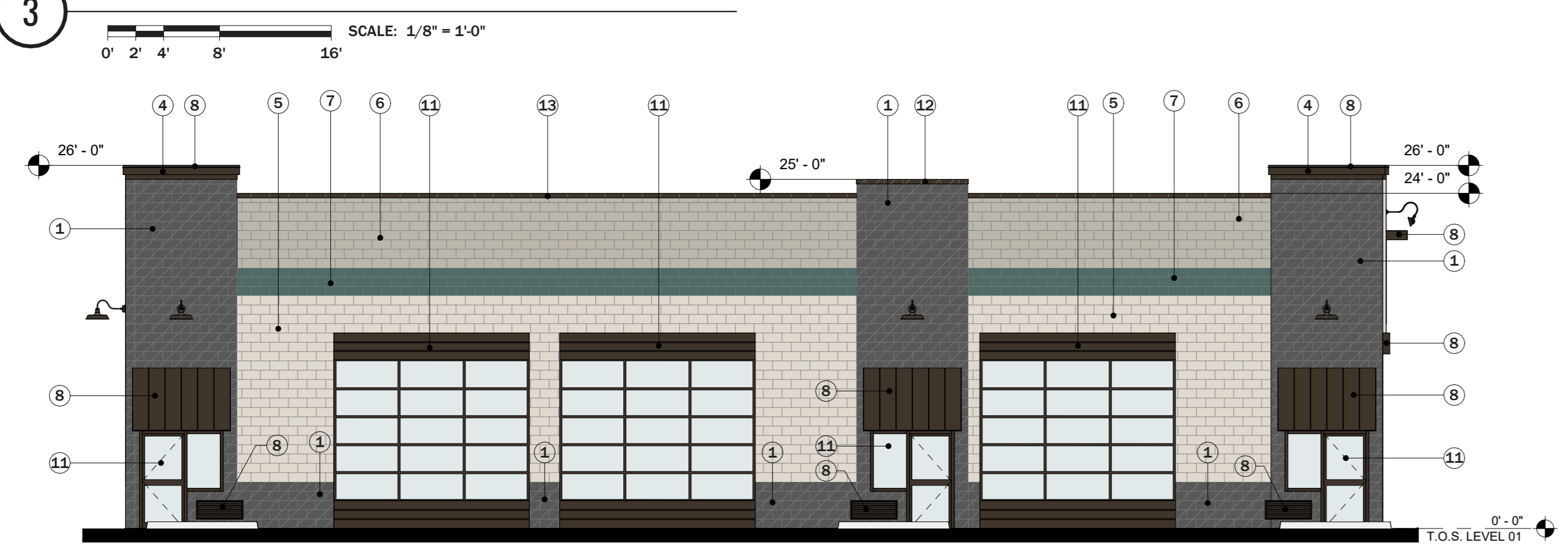
2 BLDG #2 - SOUTH



FACADE CALCS - BLDG 2, NORTH

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	304 SF	19.7%
4	STUCCO, ACRYLIC, ST2	4 SF	0.3%
5	STANDARD CMU, MU2	767 SF	49.7%
6	STANDARD CMU, MU3	332 SF	21.5%
7	STANDARD CMU, MU4	115 SF	7.5%
8	METAL AWNING / ACCENT, PT1	1 SF	0.1%
13	STANDARD CMU, MU7	19 SF	1.2%
Grand total		1541 SF	

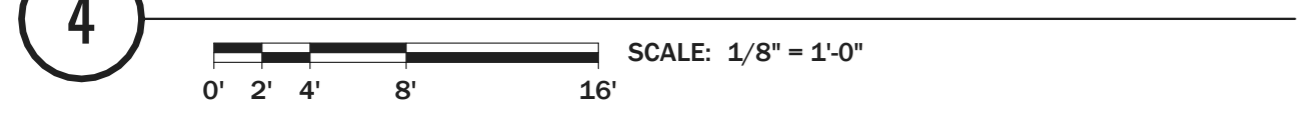
3 BLDG #2 - NORTH

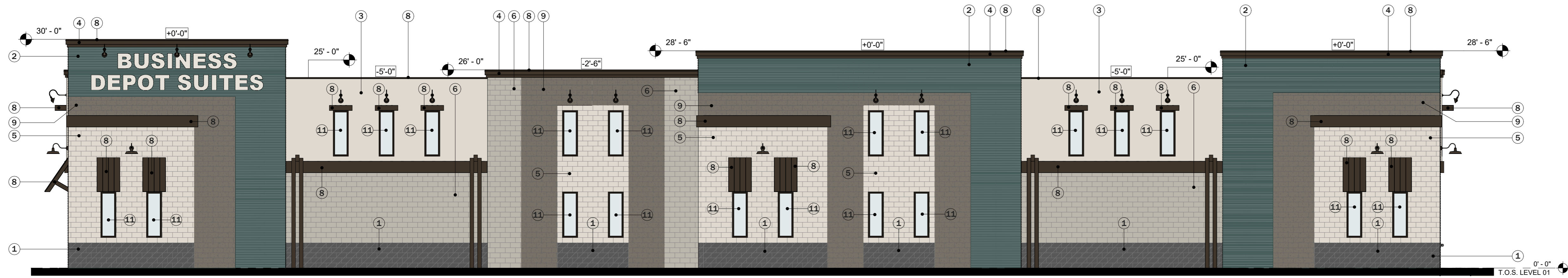


FACADE CALCS - BLDG 2, WEST

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	464 SF	21.1%
4	STUCCO, ACRYLIC, ST2	14 SF	0.6%
5	STANDARD CMU, MU2	432 SF	19.6%
6	STANDARD CMU, MU3	330 SF	15.0%
7	STANDARD CMU, MU4	132 SF	6.0%
8	METAL AWNING / ACCENT, PT1	111 SF	5.0%
11	GLAZING, MT2, GL1	694 SF	31.5%
12	CMU, SPLIT-FACE, MU6	3 SF	0.1%
13	STANDARD CMU, MU7	22 SF	1.0%
Grand total		2201 SF	

4 BLDG #2 - WEST

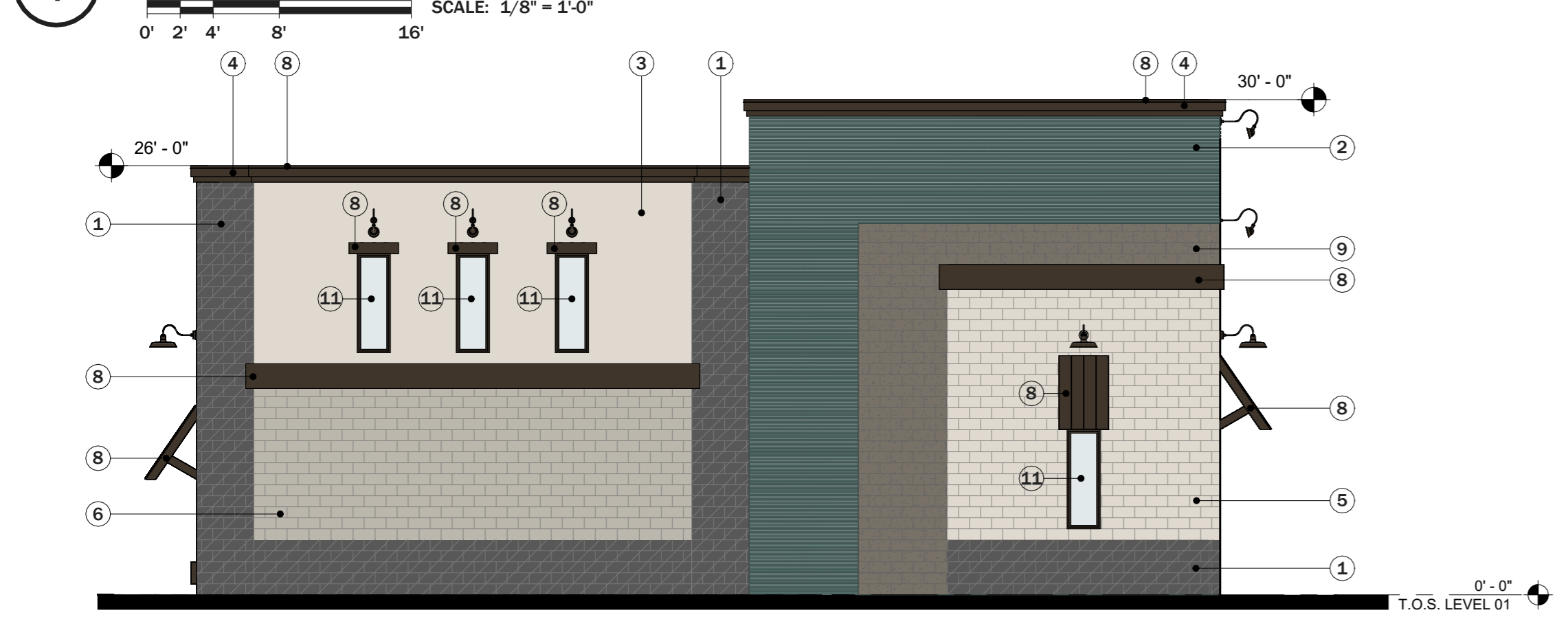




COVERAGE CALCS - BLDG 3, SOUTH

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	392 SF	8.0%
2	METAL WALL PANEL, PBD, MT1	955 SF	19.4%
3	STUCCO, ACRYLIC, ST1	487 SF	9.9%
4	STUCCO, ACRYLIC, ST2	107 SF	2.2%
5	STANDARD CMU, MU2	844 SF	17.2%
6	STANDARD CMU, MU3	692 SF	14.1%
8	METAL AWNING / ACCENT, PT1	335 SF	6.8%
9	STANDARD CMU, MU5	870 SF	17.7%
11	GLAZING, MT2, GL1	240 SF	4.9%
Grand total		4923 SF	

1 BLDG #3 - SOUTH



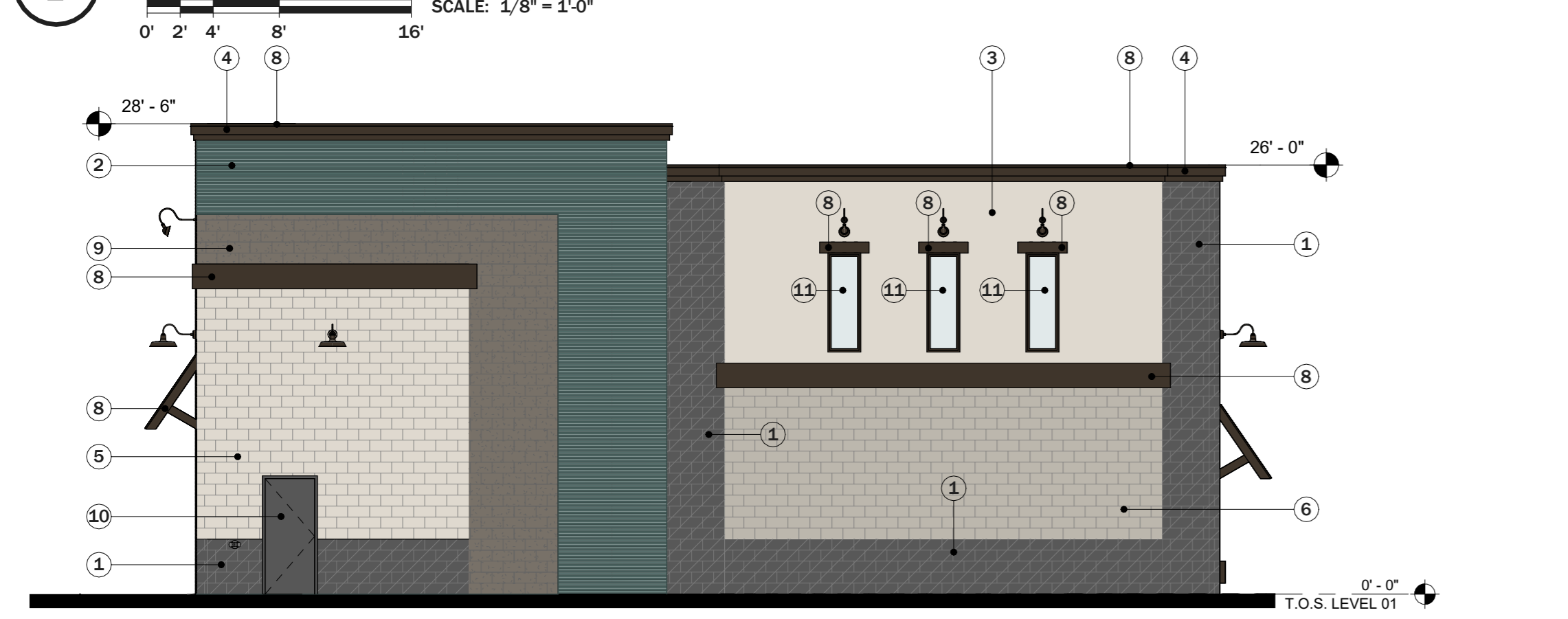
COVERAGE CALCS - BLDG 3, WEST

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	317 SF	18.3%
2	METAL WALL PANEL, PBD, MT1	333 SF	19.3%
4	STUCCO, ACRYLIC, ST2	52 SF	3.0%
5	STANDARD CMU, MU2	474 SF	27.5%
6	STANDARD CMU, MU3	243 SF	14.1%
8	METAL AWNING / ACCENT, PT1	97 SF	5.6%
9	STANDARD CMU, MU5	162 SF	9.4%
11	GLAZING, MT2, GL1	48 SF	2.8%
Grand total		1728 SF	

EXTERIOR MATERIAL KEY

- | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>① PAINTED: (MU1)
CMU STANDARD 8"x8"x16"
SPLIT-FACE
PEPPERCORN
SW 7674</p> <p>② PREFINISHED: (MT1)
CORRIGATED METAL PBD PANEL
EVERGLADE</p> <p>③ PAINTED: (ST1)
ACRYLIC STUCCO ON FRAMED
3" POPOUT
EGRET
SW 7570</p> <p>④ PAINTED: (ST2)
ACRYLIC STUCCO CROWN MOLDING
IRON GATE
SW 2926</p> <p>⑤ PAINTED: (MU2)
CMU STANDARD 8"x8"x16"
EGRET
SW 7570</p> <p>⑥ PAINTED: (MU3)
CMU STANDARD 8"x8"x16"
MINDFUL GRAY
SW 7016</p> | <p>⑦ PAINTED: (MU4)
CMU STANDARD 8"x8"x16"
ROCKWOOD SASH GREEN
SW 2810</p> <p>⑧ PAINTED: (PT1)
METAL SURFACE
IRON GATE
SW 2926</p> <p>⑨ INTEGRAL COLOR: (MU5)
CMU STANDARD 8"x8"x16"
GROUND-FACE
PEBBLE BEACH</p> <p>⑩ PAINTED: (PT2)
METALIC DOOR W/ FRAME
PEPPERCORN
SW 7674</p> <p>⑪ PREFINISHED: (MT2, GL1)
STOREFRONT, BAY DOORS, WINDOWS
BRONZE</p> <p>⑫ PAINTED: (MU6)
CMU SOLID 8"x4"x16"
SPLIT-FACE
IRON GATE
SW 2926</p> | <p>⑬ PAINTED: (MU7)
CMU SOLID 8"x4"x16"
IRON GATE
SW 2926</p> <p>⑭ PAINTED: (MU8)
CMU 8"x8"x8"
PEPPERCORN
SW 7674</p> <p>⑮ PAINTED: (MU9)
CMU 8"x8"x8"
SPLIT-FACE
PEPPERCORN
SW 7674</p> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

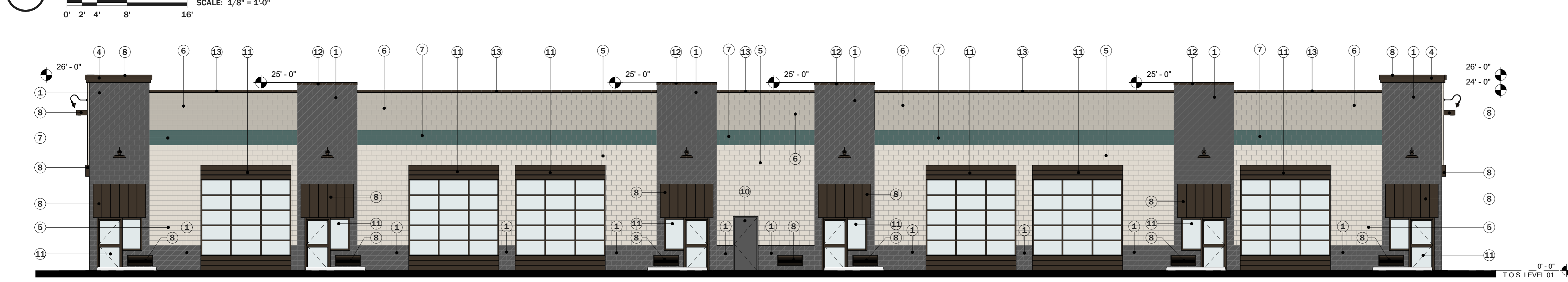
2 BLDG #3 - WEST



COVERAGE CALCS - BLDG 3, EAST

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	306 SF	18.2%
2	METAL WALL PANEL, PBD, MT1	280 SF	16.6%
4	STUCCO, ACRYLIC, ST2	52 SF	3.1%
5	STANDARD CMU, MU2	487 SF	28.9%
6	STANDARD CMU, MU3	243 SF	14.4%
8	METAL AWNING / ACCENT, PT1	84 SF	5.0%
9	STANDARD CMU, MU5	173 SF	10.3%
10	METAL DOOR, PT2	24 SF	1.4%
11	GLAZING, MT2, GL1	36 SF	2.1%
Grand total		1685 SF	

3 BLDG #3 - EAST



COVERAGE CALCS - BLDG 3, NORTH

ID	MATERIAL	AREA	PERCENT
1	CMU, SPLIT-FACE, MU1	948 SF	21.6%
4	STUCCO, ACRYLIC, ST2	14 SF	0.3%
5	STANDARD CMU, MU2	979 SF	22.3%
6	STANDARD CMU, MU3	660 SF	15.1%
7	STANDARD CMU, MU4	264 SF	6.0%
8	METAL AWNING / ACCENT, PT1	223 SF	5.1%
10	METAL DOOR, PT2	24 SF	0.5%
11	GLAZING, MT2, GL1	1219 SF	27.8%
12	CMU, SPLIT-FACE, MU6	11 SF	0.2%
13	STANDARD CMU, MU7	44 SF	1.0%
Grand total		4385 SF	

4 BLDG #3 - NORTH





1 BLDG 3 SOUTH ELEVATION
NOT TO SCALE



2 BLDG 3 WEST ELEVATION
NOT TO SCALE



3 BLDG 3 EAST ELEVATION
NOT TO SCALE



4 BLDG 3 NORTH ELEVATION
NOT TO SCALE



PROJECT:
**BUSINESS
DEPOT SUITES**

1145 S. OAKLAND, MESA,
AZ 85206

PROJECT NO. 2008
REVISION DATE

REVISION	DATE

PROJECT OWNER:
**LAVIGNA
INVESTMENT
CORPORATION**
1223 S. CLEARVIEW AVE, #103
MESA, AZ 85209
PHONE: 480.222.5800

SHEET: © 2023
**RENDERED
VIEWS**

**NOT FOR
CONSTRUCTION**
L-22



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**BUSINESS
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1145 S. OAKLAND, MESA,
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**RENDERED
VIEWS**

**NOT FOR
CONSTRUCTION**
L-23



1 **BLDG 1 WEST ELEVATION**
NOT TO SCALE



2 **BLDG 1 SOUTH ELEVATION**
NOT TO SCALE



3 **BLDG 2 SOUTH ELEVATION**
NOT TO SCALE



1 BLDG 3 ISO - SE
NOT TO SCALE



2 BLDG 3 ISO - SW
NOT TO SCALE



3 BLDG 1 ISO - SE
NOT TO SCALE



4 BLDG 2 ISO - NW
NOT TO SCALE



5 BLDG 2 ISO - SW
NOT TO SCALE



REVISION	DATE

Citizen Participation Plan
Business Depot Suites
NEC Southern Ave. and Oakland St.

Purpose:

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts made and efforts to be made by the applicant to inform citizens and property owners in the vicinity concerning the applicant’s requests to the City of Mesa for a Rezoning and Site Plan Review for Business Depot Suites. These requests are for the proposed development on the approximately 1.4 acres located on at 1145 S. Oakland, which is the northeast corner of Southern Avenue and Oakland west of Greenfield Road in Mesa. (The “Property”).

By providing opportunities for citizen participation, the applicant has ensured and will ensure that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan. The applicant has provided neighborhood notice for a neighborhood meetings and will also provide notice of future public hearings. The citizen participation and outreach format proposed are consistent with the City’s notice with updated guidelines for the Citizen Participation and Neighborhood Outreach process for rezoning and site plan review cases. These guidelines permit alternative methods such as zoom, telephonic platforms, and video conferencing options, or similar methods, which is proposed in this Citizen Participation Plan.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Sean B. Lake
Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
Sean.Lake@pewandlake.com

D.J. Stapley
Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
djstapley@pewandlake.com

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. A contact list has been developed for citizens and agencies in this area including:
 - a. Interested neighbors – focused on 1000+ feet from parent parcel, but may include more;
 - b. Registered neighborhood associations within 1 mile of the subject property and Homeowners Associations within 1/2 mile of the project. The City noted there are no such listed for this property (see attached email from City).
2. On April 25, 2022, an online neighborhood meeting was held by the applicant to provide the opportunity for members of the public to discuss the proposed project. It was held using Zoom’s online meeting technology, which complies with City policies. A summary is attached to this document.
 - Neighborhood Meeting results: Two nearby property owners who reside in the condominium community to the south attended the neighborhood meeting. Overall, after discussing the proposed application, these neighbors expressed that the proposed use would be helpful to HOAs. They believed this proposed business use would provide a safe place for small businesses to locate. After reviewing the plans, they liked that the access was further north on Oakland and said the project design has a nice appearance.
 - Phone Call from neighbor: Before the neighborhood meeting, a property owner of one of the homes two blocks to the north called the applicant and said she was concerned about balcony views to her residential property from the two-story building at the Uncle Bear Grill and Tap on Greenfield Road, which has an upper level office. The applicant responded that this property will not have views to her property and no upper level balconies. This site is located much further away and behind other buildings from her property. This property owner did not attend the neighborhood meeting.
3. The notification list for the neighborhood meeting included the above-referenced contact list of all property owners within 1000+ ft. of the subject property, HOAs within ½ mile, and neighborhood associations within 1 mile (The HOAs and registered neighborhood contact lists provided by the City of Mesa). A copy of the notification letter for the neighborhood meeting will be submitted to the City. The contact list is attached to this Plan.
4. The notice letter and information provided on the neighborhood meeting presentation listed the options for contacting the applicant by phone or by the online neighborhood meeting to ask questions, comment on the request, and receive feedback from the applicant. This procedure allowed the surrounding neighbors to view the project details and contact the applicant regarding the project.
5. Those who provided contact information to the applicant will be added to the public hearing notification list.

6. Presentations will be made to groups of citizens or neighborhood associations upon request.
7. For public hearing notice, applicant will comply with City requirements, which requires posting a minimum of one (1) 4' x 4' sign(s) on the property. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Tentative Schedule:

Pre-Submittal	January 11, 2022
Formal Submittal to City	May 31, 2022
<i>Follow-Up Submittal Estimated</i>	<i>July 5, 2022</i>
<i>Planning & Zoning Public Hearing</i>	<i>August 24, 2022</i>

Attached Exhibits:

- 1) Notification map of surrounding property owners within 1,000 ft. of the Property
- 2) List of property owners within 1,000 ft. of the Property (based on the Maricopa County Assessor Records).
- 3) Neighborhood Meeting Summary

Neighborhood Meeting Summary
Business Depot Suites
NEC Southern Avenue & Oakland Street

April 25, 2022 at 6:00 pm

Online Zoom Neighborhood Meeting
www.zoom.us

The neighborhood meeting began at 6:00 pm. In attendance for the applicant were Broc Hiatt and Travis Hansen from Cardon Hiatt Companies and Sean Lake and D.J. Stapley from Pew & Lake, PLC. Mr. and Mrs. Pupilava joined at approximately 6:07 pm. Overall, after discussing the proposed application, these neighbors expressed that the proposed use would be helpful to HOAs by providing a safe place for small businesses to locate, and the project design has a nice appearance. The meeting ended at approximately 6:40 pm. The format for the meeting was a formal presentation, followed by a question-answer session using Zoom's technology. Mr. Lake made introductions and gave a brief presentation supported by PowerPoint slides (see attached), summarized as follows:

- Explanation of the meeting format and question-and-answer session
- Project location, surrounding properties
- General Plan and Zoning maps
- The purpose is to request a rezoning to allow for a commercial business-office location. Currently, there is a big need for a place for small businesses to locate where people currently operate out of their homes and are seeking a place to securely park their truck and items they install. The kinds of businesses are like pool companies or water softener installers who want a safer location to run their businesses.
- Described the proposed development. Proposed is a nice building design with a quality appearance fronting on Southern Avenue with perimeter landscaping and nice materials. Two buildings are proposed with space in between. Cars wanting to access the site will turn off of Southern, north onto Oakland, and then into the gated access drive at the north property access.
- Shared contact information.

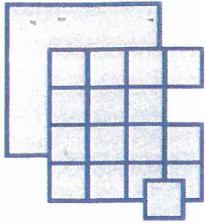
During and after the presentation, Mr. Lake allowed for questions and answers, summarized as follows:

1. When is the projected date for this for completion?
 - A. The process takes approximately 4-5 months for city approval. Then, the applicant will proceed through permitting, which takes 6-8 months to draw up all the plans, documents and reports. Then construction takes about 8 months. So it will be about 1.5 to 2 years before people will be driving in and using it.

2. Did you purchase the property? A. Yes. The applicant owns the property.
3. How close is this site from Tesoro's back entry on Southern?
A. Southern Avenue is about 150 feet wide, then Tesoro will have about 20 feet of landscaping, plus similar amount on the other side, so this will have about a 200 foot separation to the Tesoro Condominium community. Cars will enter further north where the entry is further away.
4. Mr. Puplava described traffic near the property and noted that the City recently installed a traffic light on the canal and upgraded a traffic signal at the intersection.
5. A. Acknowledged. Discussion occurred regarding how this project is accessed from Oakland. This is a low intensity use compared to a fast food use or retail use. This is currently zoned for commercial and will provide less traffic than other kinds of commercial uses - much less than a restaurant.
6. The neighbors felt like the commercial quadrant is designed pretty nice.
A. Mr. Lake acknowledged this comment.
7. Use: Will this be an industrial use and a plain warehouse building?
A. No, there is no outdoor storage, no outdoor contractors yard, not a heavy industrial-manufacturer. This is focused on commercial uses, neighborhood services in the LC district.

Images were shown showing the building design. This will not be a standard retail-commercial center like typical ones where customers to come to the site. It will be limited to employees and owners of the businesses. This is more like a commercial business, not industrial, like a service guy or pool company or water softener installer wanting to store their truck and water softener here instead of his garage at home.

9. This kind of building looks nice.
A. This is designed to have quality look on the street.
10. Will this have a salon?
A. This will not have drive-up retail-commercial. Traffic will be much less as well.
11. One of the attendee stated that this proposal in a sense made him want to start a business.
A. Mr. Lake noted this comment.
12. The proposed use can assist HOAs who do not allow those kind of businesses which is not permitted within HOA rules, but people often run them anyway and others report it to the HOA boards as we have done.
A. Discussion continued regarding how this proposal will help HOAs and provide options for neighborhoods and small businesses needing a place to operate.
13. What is the square footage of the tenant spaces? Can people combine units?
A. People can combine units. The units are about 1,000 to 1,500 sq. ft. with dimensions of about 20 ft. x 56 ft.
14. Will these be leased or purchased?
A. These will be leased out like a commercial center.



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

April 14, 2022

NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor:

Together with our client, Cardon Hiatt Companies, we are pleased to invite you to a virtual neighborhood meeting regarding a proposed commercial development on the approximately 1.4-acre vacant property located at 1145 S. Oakland, which is west of the northwest corner of Southern Avenue and Greenfield Road. The specific requests to allow for the development are the following: (1) Rezoning from NC PAD to LC PAD; (2) Site Plan Review; and (3) Conditional Use Permit to allow for a commercial development.

This letter has been sent to nearby property owners to discuss this proposal and receive comments and feedback that will inform the development process. A copy of the preliminary site plan and conceptual elevations are enclosed with this letter.

A **neighborhood meeting** will be held electronically via Zoom, a free online meeting service, as follows:

<p>Date: April 25, 2022 Time: 6:00 p.m. (Arizona Time) Website: www.zoom.us Meeting ID: 819 0649 4558 Password: 100</p>

If you wish to participate in the online meeting, before the meeting begins, please connect, and if asked, fill-in your contact information. Zoom will provide a link or email to enter the meeting by phone or device at the above time. If you have any questions, please contact either me or DJ Stapley by email at djstapley@pewandlake.com or sean.lake@pewandlake.com or by phone at 480-461-4670.

At this time, no public hearing before the City of Mesa has been scheduled. When any meeting date is known, the property will be properly noticed, and anyone who reaches out to us and provides their contact information will also be notified. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request.

Sincerely,

Sean B. Lake
PEW & LAKE, PLC

BUSINESS DEPOT SUITES

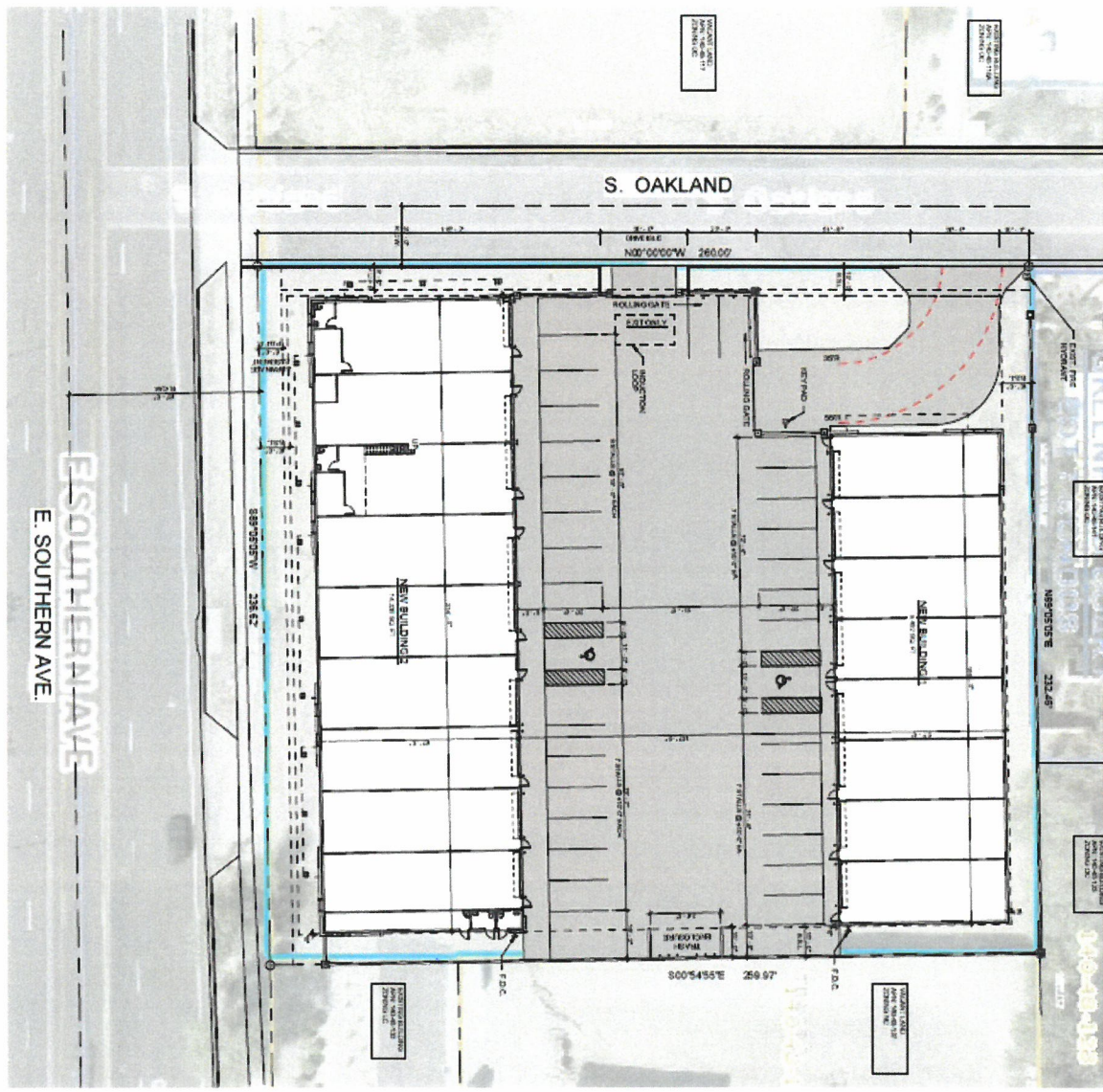
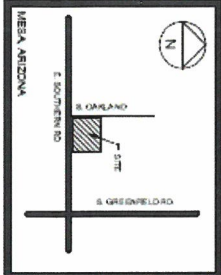
NEW FACILITY FOR
1145 S. OAKLAND, MESA, AZ 85206

BLDG. DATA

OWNER	TRI MOUNTAIN INVESTMENTS LLC
BUILDING ADDRESS	1145 S. OAKLAND, MESA, AZ 85206
TITLE NUMBER	0001220005
BUILDING CODES	2018 B.C. 2018 B.C. 2018 I.F.C. 2018 I.F.C. 2018 I.F.C. 2018 I.F.C. 2018 I.F.C. 2018 I.F.C.
OCCUPANCY GROUP	S-1
CONCRETE TYPE	124, A, F, E, S
ZONING	MC
USE	INDUSTRIAL
NET FLOOR AREA	1,450,000 SF
BUILDING AREA	1,450,000 SF
TOTAL	23,890,000 SF

PARKING CALCULATION:
 NEW BUILDING REQUIREMENTS:
 AVAILABLE SPACES: 1,450,000 SF / 100 SF PER SPACE = 14,500 SPACES
 TOTAL REQUIRED SPACES:
 PROJECT TOTAL SPACES: 14,500 SPACES

VICINITY MAP



SHEET
A-1
OF

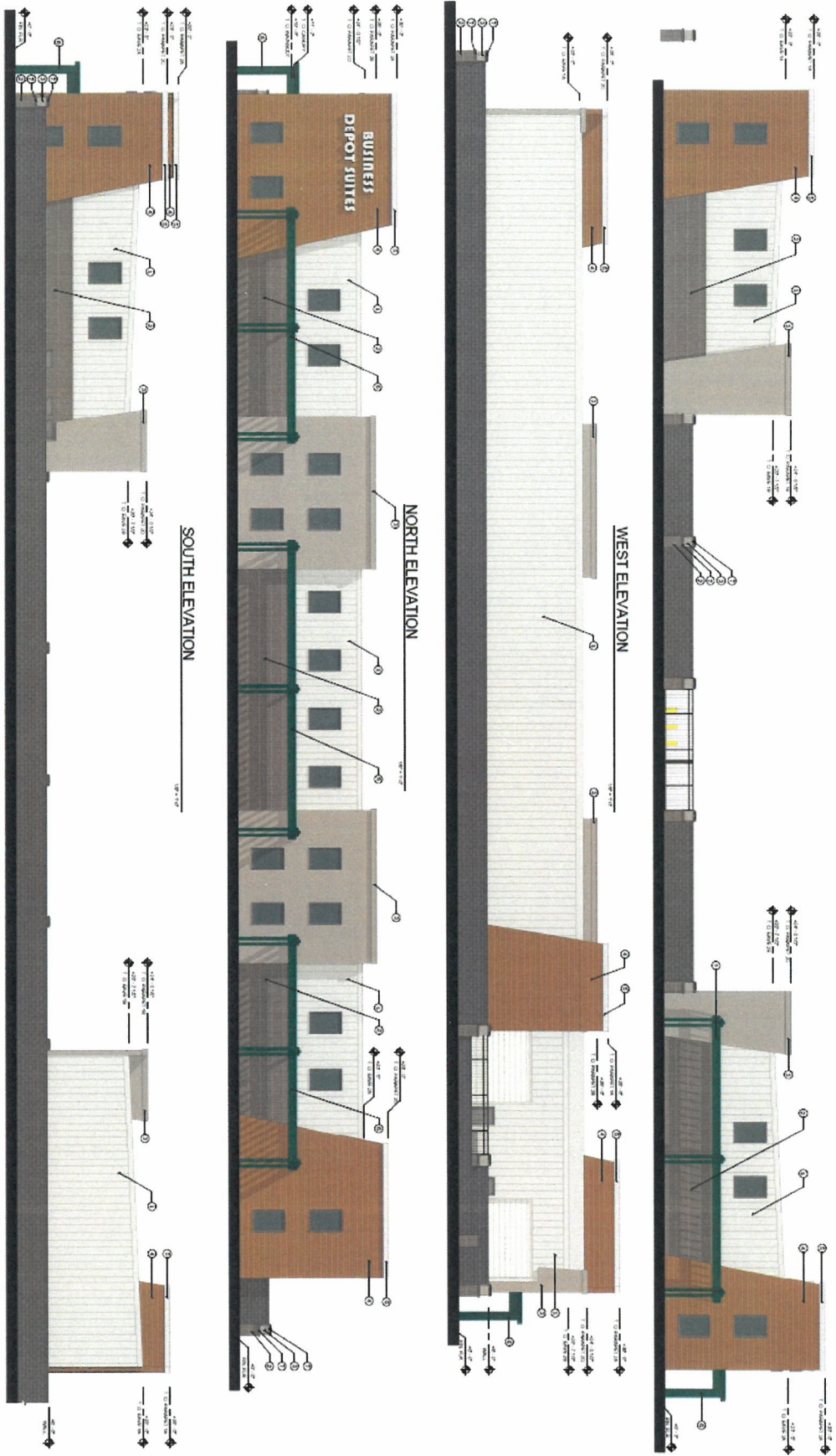
PROGRESS PRINT
NOT FOR CONSTRUCTION

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100	REVISED	01/15/2026

VINEYARD GROUP
 223 S. CLEARVIEW AVE, #103
 MESA, ARIZONA 85208
 PHONE: 480.720.4000

A NEW FACILITY
 FOR
BUSINESS DEPOT SUITES
 1145 S. OAKLAND, MESA, AZ 85206

Sample Conceptual Elevations



A NEW FACILITY FOR
BUSINESS DEPOT SUITES
 1145 S. OAKLAND, MESA, AZ 85206

VINEYARD GROUP
 1228 S. CLEARVIEW AVE. #103
 MESA, ARIZONA 85209
 PHONE: 480-750-4880

DATE	BY	DESCRIPTION

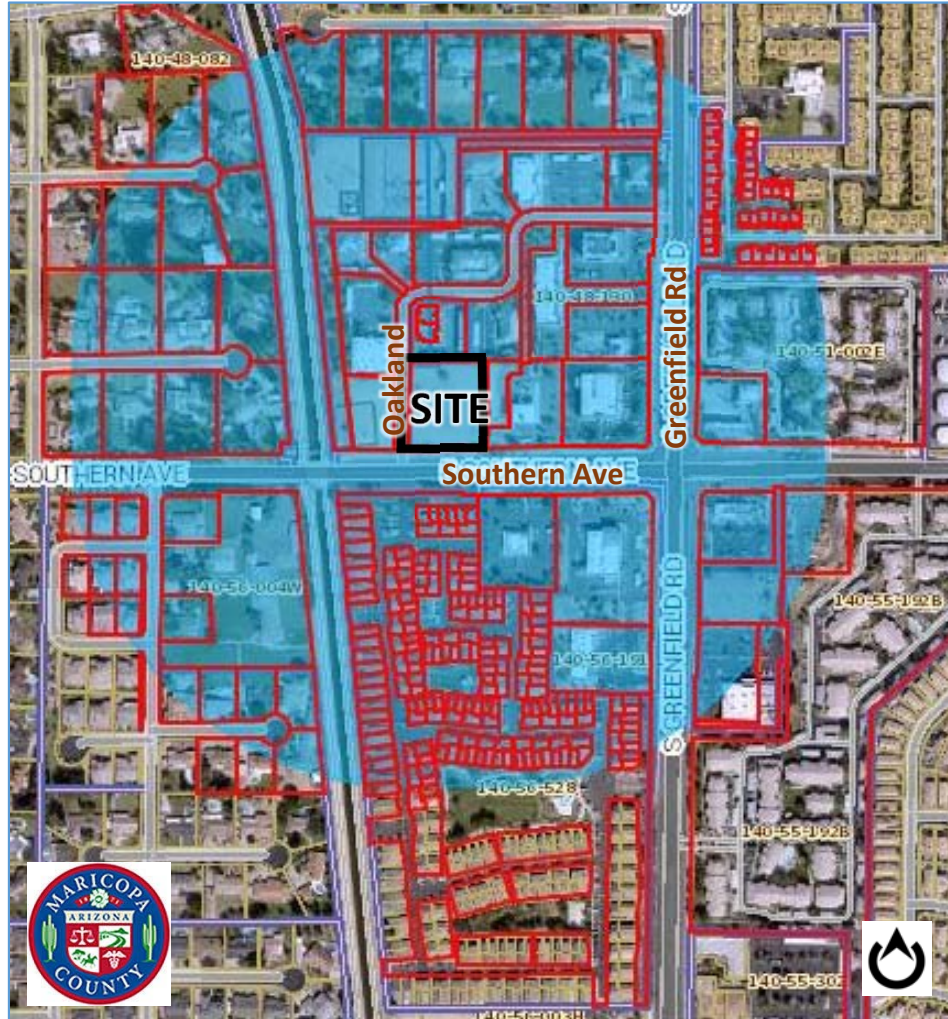
SITE ELEVATIONS

PROJECT: **A-10**

DATE: 11/11/2011

BY: [Signature]

Property Owners, 1,000+ Feet
Business Depot Suites
APN 141-27-009D



Property Owners, 1,000+ Feet

Business Depot Suites

1350 GREENFIELD NO 1070 LLC
4669 E KELLY DR
GILBERT, AZ 85236

6119 PAJARO LANE LLC
450 W SOUTHERN AVE SUITE 1
TEMPE, AZ 85282

ACHMAN MATTHEW ROBERT
JR/LAUREN
1350 S GREENFIELD RD UNIT 1040
MESA, AZ 85206

AFFRONTI JOHN C/GAYLE A
2028 E FREEPORT LN
GILBERT, AZ 85234

AISLE 16 LLC
1590 W ALGONQUIN RD PMB 149
HOFFMAN ESTATES, IL 60192

ALLEN ERIN ANSLEY
1350 S GREENFIELD RD UNIT 2015
MESA, AZ 85206

ANDERSEN PATRICIA LIMA
1350 S GREENFIELD RD UNIT 1116
MESA, AZ 85206

ARBUTUS HOLDINGS LLC
2882 OLYMPIC RD
QUALICUM BEACH, BC V9K 2L8

ARCHLAND PROPERTY I LLC
5055 N 12TH ST STE 200
PHOENIX, AZ 85014

ARDEN ROB/TAMARA
1350 S GREENFIELD RD UNIT 2035
MESA, AZ 85206

ARIZONA AUTISM UNITED INC
5025 E WASHINGTON ST STE 212
PHOENIX, AZ 85034

ARMSTRONG AKEEL
1350 S GREENFIELD RD UNIT 2053
MESA, AZ 85206

ARNOLD FREDERICK E
PO BOX 124
MIDLAND, MI 48640

ATHLETIC INSTITUTE OF MEDICINE
LTD
4011 E LELAND ST
MESA, AZ 85215

AULT JENNIFER
1350 S GREENFIELD RD NO 1009
MESA, AZ 85206

AUSTIN TAMMIE
P O BOX 9236
SURPRISE, AZ 85374

AZG HOMEFIELD LLC
1129 S OAKLAND STE 101
MESA, AZ 85206

BABSON FAMILY TRUST
34 N COBBLESTONE ST
GILBERT, AZ 85234

BACKES ALICIA
1350 S GREENFIELD RD UNIT 1064
MESA, AZ 85206

BADY KEITH LAMAR
1350 S GREENFIELD RD 1078
MESA, AZ 85206

BAKER ANTHONY C
1350 S GREENFIELD RD UNIT 1021
MESA, AZ 85206

BALDENEGRO SUZANNE S/LUIS
1350 S GREENFIELD RD UNIT 1068
MESA, AZ 85206-3494

BANUELOS-BIEBRICH LORENA
PO BOX 6551
MESA, AZ 85216

BARNES WILLIAM L/JANYNE A
20530 66TH AVE E
SPANAWAY, WA 98387

BARONE FAMILY LIVING TRUST
1021 S GREENFIELD RD UNIT 1013
MESA, AZ 85206

BARTON BATTISTI TRUST
4221 E EMELITA AVE
MESA, AZ 85206

BASKIN SOLOMONT REVOCABLE
TRUST ETAL
7131 E RANCHO VISTA DR UNIT 3011
SCOTTSDALE, AZ 85251

BEADLE GAY L
1350 S GREENFIELD RD UNIT 1099
MESA, AZ 85206

BELCARA LLC
6001 E UNIVERSITY DR
MESA, AZ 85205

BENYSHEK NICHOLAS
1350 S GREENFIELD RD UNIT 2003
MESA, AZ 85206

BIEHL PAUL/KENNETH
1350 S GREENFIELD RD UNIT 2105
MESA, AZ 85206

BOSEN TONYA R
1350 S GREENFIELD RD NO 2051
MESA, AZ 85206

BRICE SIDNEY L
1350 S GREENFIELD RD
MESA, AZ 85206

BRIGHAM JAN
1021 S GREENFIELD RD UNIT 1217
MESA, AZ 85206

BRISTOL TODD J FAMILY LIVING
TRUST
4163 E GLADE CIR
MESA, AZ 85206

BROADBENT PORTER/MARK
1350 S GREENFIELD RD UNIT 2101
MESA, AZ 85206

BROTEMARKLE JAMIE
1255 S NORFOLK
MESA, AZ 85206

BS TRUST
4135 E FAIRVIEW CIR
MESA, AZ 85206

BULLOCK KRISTIN A
1350 S GREENFIELD RD NO 1067
MESA, AZ 85206

BURTON CHERYL
PO BOX 995
SCOTTSDALE, AZ 85252

CALL GARRISON T/KADILYNN L
299 S 900 WEST
CEDAR CITY, UT 84720

CAMPILLO ANA
1350 S GREENFIELD RD UNIT 1081
MESA, AZ 85206

CARPENTER WADE/SUE
45-175 HOLLOWAY DR
TOBIANO, BC V1S0B2

CARR ELAINE DEBRA
16448 N 61ST AVE
GLENDALE, AZ 85306-1122

CARRILLO LAURA A
1350 S GREENFIELD RD UNIT 1034
MESA, AZ 85206-3492

CELAYA NORMA J/RICHARD A
1021 S GREENFIELD RD UNIT 1018
MESA, AZ 85206

CHIOU RUEYIN/HORNG TIMOTHY
1350 S GREENFIELD RD UNIT 1017
MESA, AZ 85206-3488

CLARK LISA
1350 S GREENFIELD RD UNIT 1056
MESA, AZ 85206

CLAY CAROLYN
1021 S GREENFIELD RD UNIT 1201
MESA, AZ 85206-2671

CLAY JASON/PANIAGUA SUSANNA
1350 S GREENFIELD RD UNIT 1100
MESA, AZ 85206

CLFM INVESTMENTS LLC
4262 E FLORIAN AVE
MESA, AZ 85206

CONDY GREGORY
PETER/KATHLEEN ONEIL
1350 S GREENFIELD RD UNIT 1025
MESA, AZ 85206

COOK SAMANTHA/JAMES R
1350 S GREENFIELD RD UNIT 1003
MESA, AZ 85206

COOPER WINNIE LOUISE
4158 E FLOWER CIR
MESA, AZ 85206

COPELAND MEKESHA/NATHAN
1350 S GREENFIELD RD UNIT 2041
MESA, AZ 85206

CYNTHIA E DODD LIVING TRUST
1021 S GREENFIELD RD UNIT 1014
MESA, AZ 85206

DAGRAS PAULINE D
1021 S GREENFIELD RD UNIT 1006
MESA, AZ 85206

DARGER JOSEPH
4126 E GABLE AVE
MESA, AZ 85206

DAVIS KOLTON T
1350 S GREENFIELD RD UNIT 2047
MESA, AZ 85206

DAYZIE JUSTIN VINCE
1350 S GREENFIELD RD UNIT 1097
MESA, AZ 85206

DBNCH CIRCLE LLC
558 SACRAMENTO ST - 4TH FLOOR
SAN FRANCISCO, CA 94111

DE LA RIVA ENRIQUE/MARIA S
4265 E EMELITA AVE
MESA, AZ 85204

DELILLO MICHELLE N
1350 S GREENFIELD RD UNIT 1071
MESA, AZ 85206

DENNIS DORCAS T/PEOPLES
RAYMOND C JR
1350 S GREENFIELD RD UNIT 1084
MESA, AZ 85206

DESERT SCHOOLS FEDERAL CREDIT
UNION
PO BOX 2945
PHOENIX, AZ 85062

DON AND GLENNA BIGELOW LIVING
TRUST
4327 E EMELITA AVE
MESA, AZ 85206

DORSEY TARA
1350 S GREENFIELD RD UNIT 2059
MESA, AZ 85206

DOUGLAS K ELLSWORTH FAMILY
REV LIV TRUST
1215 S NORFOLK
MESA, AZ 85206

EISEMAN CHRISTOPHER P/KARI A
1350 S GREENFIELD RD UNIT 1063
MESA, AZ 85206-3494

EP 6 LLC
5830 E MCKELLIPS RD UNIT 107
MESA, AZ 85215-2786

EPI TRADITIONS APARTMENTS LLC
1370 BREA BLVD SUITE 216
FULLERTON, CA 92835

EQUITABLE RENTALS LLC
1135 N RECKER RD # 102
MESA, AZ 85205

ESTELLE ROITBLAT LIVING TRUST
1940 LAGUNA DEL CAMPO
TEMPLETON, CA 93465

EVA RAE GRIMSHAW-HEFNER
FAMILY REVOCABLE LIVING TRUST
2657 E SANTA ROSA DR
GILBERT, AZ 85234

FALK JAN PETER MORGAN/RODRICKS
LIANNE ESTHER
PO BOX 1426
DUBAI,

FALK JAN PETER MORGAN/RODRICKS
LIANNE ESTHER
1350 S GREENFIELD RD NO 1083
MESA, AZ 85206

FELTON BREANNE J
1350 S GREENFIELD RD UNIT 1041
MESA, AZ 85206-3493

FIERKE LEANN V
120 INDIAN WOOD LN
INDIAN HEAD PARK, IL 60525

FOLEY MARC
1350 S GREENFIELD RD UNIT 1039
MESA, AZ 85206

FORT RITA
1021 S GREENFIELD RD UNIT 1001
MESA, AZ 85206

FOWLER JOSHUA J/MANDY A
4110 EAST FLOWER CIR
MESA, AZ 85206

FRANK AND MARSHA JEFFERIES
FAMILY TRUST
107 HIGHWOOD AVE
HENDERSON, NV 89002

FRAZIER CYNTHIA L
1350 S GREENFIELD RD UNIT 1055
MESA, AZ 85206

FREDIE GARDNER LIVING TRUST
1350 S GREENFIELD RD UNIT 1085
MESA, AZ 85206-3495

GARCIA JESSICA LYNN/SAMANTHA
RENEE
1350 S GREENFIELD RD UNIT 1013
MESA, AZ 85206

GARVEY DIANE E
1021 S GREENFIELD RD UNIT 1009
MESA, AZ 85206

GERLOCK STEPHEN F JR/JENNY C
1350 S GREENFIELD RD UNIT 1066
MESA, AZ 85206

GETTLER FAMILY LIVING TRUST
4251 E EMELITA AVE
MESA, AZ 85206

GIBSON KRISTY ELLEN
1350 S GREENFIELD RD UNIT 1101
MESA, AZ 85206

GILLASPIE HEATHER/PAUL
1350 S GREENFIELD RD UNIT 2077
MESA, AZ 85206

GLENN LYN A/JOHN E
4134 E GABLE AVE
MESA, AZ 85206

GOHSMAN AMANDA MARIE
1350 S GREENFIELD RD UNIT 1086
MESA, AZ 85206-3495

GOWENS SHANNON M
1350 S GREENFIELD RD UNIT 1117
MESA, AZ 85206

GOYNE PHILLIP/MINERVA
1021 S GREENFIELD RD UNIT 1219
MESA, AZ 85206

GRANT GUNNELL FAMILY TRUST
ETAL
C/O GEVAN RUDD
MESA, AZ 85206

GREENFIELD HQ LLC
1122 S GREENFIELD RD
MESA, AZ 85206

GREENFIELD OFFICE COURT
PROPERTY OWNERS ASSOC
1223 S CLEARVIEW AVE # 105
MESA, AZ 85209

GREENFIELD ROAD APARTMENT
PNRS TIC I LLC ETAL
12100 WILSHIRE BLVD SUITE 250
LOS ANGELES, CA 90025-7117

GRIFFIN JOHN
1350 S GREENFIELD RD UNIT 1019
MESA, AZ 85206

GROVES ROBERT JAMES
4107 E FAIRVIEW CIR
MESA, AZ 85206

GUTIERREZ ARTEMIZA VEGA
1350 S GREENFIELD RD UNIT 2007
MESA, AZ 85206

HALL LIVING TRUST
550 W BASELINE RD STE 102-292
MESA, AZ 85210

HALSEY CHARLOTTE A TR
1021 S GREENFIELD RD NO 1005
MESA, AZ 85206

HARDY ENTERPRISES LLC
1302 E PALOMINO DR
TEMPE, AZ 85284

HARMON RICHARD BORDEN
III/STACIE
4118 E GABLE AVE
MESA, AZ 85206

HAYEK JUSTIN/LUKAWESKY
STEPHANIE
4297 ATLEE AVE
BURNABY, BC V5G 3R7

HENRY LEE KRIZE AND DONNA
AILEEN KRIZE TRUST
4117 E GABLE AVE
MESA, AZ 85206

HERRERA PAULINE T
1350 S GREENFIELD RD UNIT 2043
MESA, AZ 85206-3556

HESSON JOSHUA
1350 S GREENFIELD RD UNIT 1060
MESA, AZ 85206

HITE THOMAS S/CAROL L
4143 E GLADE CIR
MESA, AZ 85206

HODGMAN HEATHER L
1350 S GREENFIELD RD UNIT 2099
MESA, AZ 85206

HRABE DUSTEN
101 AIRPORT RD
CHAMBERLAIN, SD 57325

HUBER GLEN/SANDRA
1021 S GREENFIELD RD NO 1011
MESA, AZ 85206

HUERCA MICHELLE NOHEMI
2637 N CHAMPION AVE
TEMPE, AZ 85281

HUNTRESS CARROLL/FLOR
4120 E FAIRVIEW CIR
MESA, AZ 85206

JAMIESON JANE/ROBERT L
JR/SHANNON R
4132 E GLADE CIR
MESA, AZ 85206

JANICE WATT REVOCABLE LIVING
TRUST
1021 S GREENFIELD RD UNIT 1211
MESA, AZ 85206

JAY AND PATRICIA JONES FAMILY
TRUST
1255 S NORFOLK
MESA, AZ 85206

JIM JERED
1350 S GREENFIELD RD UNIT 1002
MESA, AZ 85206

JORDAN DESTYN J/TONIQUE F
1350 S GREENFIELD RD UNIT 1089
MESA, AZ 85206

JORGENS STEVE
1350 S GREENFIELD RD 2049
MESA, AZ 85206

KAMAL JOSEPH III/JULIE MARIE TR
1350 S GREENFIELD RD NO 1095
MESA, AZ 85206

KEISER JULIE A
1350 S GREENFIELD RD UNIT 1057
MESA, AZ 85206-3493

KELLEY ROSALIND L
1 KIMBERLY LN
MORRISONVILLE, NY 12962

KELLY EMILY
1350 S GREENFIELD RD UNIT 1108
MESA, AZ 85206

KELLY JANICE
1350 S GREENFIELD RD UNIT 2005
MESA, AZ 85206

KELLY JANICE
4540 EMERALD DR
COLORADO SPRINGS, CO 80918

KELLY JANICE/RANDAL M
4540 EMERALD DR
COLORADO SPRINGS, CO 80918

KELLY RANDAL MICHAEL
4540 EMERALD DR
COLORADO SPRINGS, CO 80918

KILLIAN COMPANY
4445 E HOLMES AVE NO 102
MESA, AZ 85206

KLASEEN ETHAN
1350 S GREENFIELD RD UNIT 2009
MESA, AZ 85206

KNOCK KIRK/MARTHA
4144 E GLADE CIR
MESA, AZ 85206

KSL HOLDINGS LLC
PO BOX 1652
HIGLEY, AZ 85236

KUZDAS ADRIAN C/MAUREEN E TR
4115 E FLOWER CIR
MESA, AZ 85206

LAGERMAN SHERILYN
1350 S GREENFIELD RD UNIT 1065
MESA, AZ 85206

LAU SCOTT/JINETTE
2439 14TH ST
EAU CLAIRE, WI 54703

LAWLESS HEATHER
1350 S GREENFIELD RD UNIT 1124
MESA, AZ 85206

LEAWOOD HOMEOWNERS
ASSOCIATION
450 N DOBSON RD STE 201
MESA, AZ 85201

LEE FAMILY TRUST
1800 CALLE SUENOS
GLENDALE, CA 91208

LEPINO AMANDA ELIZABETH
1350 S GREENFIELD RD UNIT 1051
MESA, AZ 85206-3493

LEVIN WILLIAM R
1350 S GREENFIELD RD UNIT 2083
MESA, AZ 85206

LEWIS KAITLYN JOY
1350 S GREENFIELD RD UNIT 2011
MESA, AZ 85206

LINDA P DUAH REVOCABLE TRUST
1021 S GREENFIELD RD UNIT 1010
MESA, AZ 85206-2654

LINDBERG DOUGLAS/ROBIN
3070 SUMMERSET ST
GILBERT, AZ 85296

LOHMAN FAMILY LIVING TRUST
2003 E FREEPORT LN
GILBERT, AZ 85234

LONG STACI
1350 S GREENFIELD RD UNIT 1035
MESA, AZ 85206

LUNDY LINDA
1021 S GREENFIELD RD UNIT 1214
MESA, AZ 85206-2672

MACNEILLE CLARENCE T/LISA M
4159 E FLOWER CIR
MESA, AZ 85206

MAIN KYLE DOUGLAS
1350 S GREENFIELD RD UNIT 2039
MESA, AZ 85206

MALIK HANNAH
1350 S GREENFIELD RD UNIT 1012
MESA, AZ 85206

MANNING EDWIN D JR/LOURDES A
BEHIND VILLA LEIDA SUBDIVISION
YATI LILO AN, 6002

MARC COMMUNITY RESOURCES INC
924 N COUNTRY CLUB DR
MESA, AZ 85201

MARTIN CHARLES C
1350 S GREENFIELD RD UNIT 1092
MESA, AZ 85206

MARTINEZ SALVADOR DANIEL
1350 S GREENFIELD RD NO 1048
MESA, AZ 85206

MATHIESEN WARREN LEE/RENEE
LYNN
4313 E EMELITA
MESA, AZ 85206

MAYO JOSEPH/CRISTY
4132 E GARNETT AVE
MESA, AZ 85206

MAYRA CHRISTOPHER/SELICIA
1350 S GREENFIELD RD UNIT 1022
MESA, AZ 85206

MCBRIDE AMY
1350 S GREENFIELD RD UNIT 1106
MESA, AZ 85206

MCGILL MARIAN JANIS
1350 S GREENFIELD RD NO 2027
MESA, AZ 85206

MCSWEENEY ETHAN
1350 S GREENFIELD RD UNIT 2045
MESA, AZ 85206

MERCURE JENNA L
1021 S GREENFIELD RD UNIT 1003
MESA, AZ 85206

MERNAUGH LAWRENCE L/LIINDA L
305 S VAL VISTA DR UNIT 248
MESA, AZ 85204

MILES JOSHUA/HEATHER
4123 E FAIRVIEW CIR
MESA, AZ 85206

MILLER KERRY L/JULIE A
4128 E FLOWER CIR
MESA, AZ 85206

MILTON EVON
1350 S GREENFIELD RD NO 1073
MESA, AZ 85206

MONICA WESOLOWSKI TRUST
1350 S GREENFIELD RD UNIT 1047
MESA, AZ 85206

MOORE DANNY
15926 DAWSON CREEK DR
MONUMENT, CO 80132

MORRIS HALL PROPERTIES LLC
3300 N CENTRAL AVE STE 900
PHOENIX, AZ 85012-2506

MORRISON REBECCA
1350 S GREENFIELD RD UNIT 1005
MESA, AZ 85206

MORTENSEN REYNOLD/MARY
4134 E FAIRVIEW CIR
MESA, AZ 85206

MOUNTAIN AMERICA FEDERAL
CREDIT UNION INC
7181 S CAMPUS VIEW DR
WEST JORDAN, UT 84084

MULLER JUDITH A
1021 S GREENFIELD RD UNIT 1015
MESA, AZ 85206-2655

NEAL SHIRLEY C
1021 S GREENFIELD RD NO 1002
MESA, AZ 85206

NELSON FAMILY TRUST
1102 S GREENFIELD RD
MESA, AZ 85206

NGUYEN THAO
1350 S GREENFIELD RD NO 1069
MESA, AZ 85206

NORTHRUP AUSTIN
1350 S GREENFIELD RD UNIT 2127
MESA, AZ 85206-3558

NORTHSTRUM CHRIS
1350 S GREENFIELD RD 1076
MESA, AZ 85206

NORTON R DARRELL/TRACEY
2074 LAMBERT DR
COURTENAY, BC V9N9C9

OLSON COZANNE B
1350 S GREENFIELD RD UNIT 2057
MESA, AZ 85206

ONESIMO C VIGIL AND RACHEL M
VIGIL REV TRUST
6509 JADE DR NW
ALBUQUERQUE, NM 87120-3284

ORTIZ REYNA
1350 S GREENFIELD RD UNIT 1072
MESA, AZ 85206-3494

PARTON WENDOLYN/BOUCHER
LESLIE
2251 N 32ND ST LOT 32
MESA, AZ 85213

PATTERSON CRISTIAN R/D EVE
PO BOX 602
SAINT JOHNS, AZ 85936

PAULSON ARIANA JOVI
1350 S GREENFIELD RD UNIT 1104
MESA, AZ 85206-3496

PEREZ NILSA A BOSQUE
1350 S GREENFIELD RD UNIT 2019
MESA, AZ 85206

PETERS RONALD EDWARD/SUZANNE
ELAINE
4156 E GLADE CIR
MESA, AZ 85206

PETERSEN GARY L/KATHY A
TRUSTEES
4146 E FAIRVIEW CR
MESA, AZ 85206

PETERSON ERIN MARIE
1350 S GREENFIELD RD UNIT 1096
MESA, AZ 85206

PICKETT DELINA
1350 E GREENFIELD RD UNIT 1011
MESA, AZ 85206

PIERSON HEATHER
1350 S GREENFIELD RD NO 2093
MESA, AZ 85206

POULIN DONNA M
1021 S GREENFIELD RD UNIT 1200
MESA, AZ 85206

PRIME SPACE LLC
6191 S PEBBLE BEACH DR
CHANDLER, AZ 85249

RADZIK DANIEL/ANN S
PO BOX 12544
TEMPE, AZ 85284

RAFFAELLI JAIME/DENNIS
1350 S GREENFIELD RD UNIT 1010
MESA, AZ 85206

RANDALL AND JULIE DAVIS LIVING
TRUST
1021 S GREENFIELD RD UNIT 1016
MESA, AZ 85206

RAPAI ANDREW CHARLES/MELINDA
ANN
74 SPRINGWOOD DR SW
CALGARY, AB T2W0K5

RATTNER TRACY LYNN
1350 S GREENFIELD RD UNIT 1016
MESA, AZ 85206

REBIDEAUX ANDRE LEVI
1350 S GREENFIELD RD UNIT 1103
MESA, AZ 85206-3496

RED MOUNTAIN GAMING LLC
4338 E FLORIAN AVE
MESA, AZ 85206

REED ERIN L
1350 S GREENFIELD RD NO 2067
MESA, AZ 85206

REICHMAN GERALD A & SHARON A
4147 E FAIRVIEW CIR
MESA, AZ 85206

REINHARDT ELISABETH J TR
1021 S GREENFIELD RD UNIT 1017
MESA, AZ 85206

RENE MICHAEL SWEET LIVING
TRUST
1350 S GREENFIELD RD UNIT 2001
MESA, AZ 85206

RICE JOHN/WOODS-RICE LAQUICIA
2212 FAIRFIELD ST
SAN DIEGO, CA 92110

RIMS FAMILY TRUST
4274 S ROCK ST
GILBERT, AZ 85297

ROMANKO DAVID/WALKER
DEBORAH
6207 43RD AVE
CAMROSE, AB T4V2V7

ROMETTI MARK/LAURI
2602 13TH ST
EAU CLAIRE, WI 54703

RONALD S PUPLAVA AND DOLORES
A PUPLAVA TRUST
1350 S GREENFIELD RD UNIT 2071
MESA, AZ 85206

ROSEMARY GIANGUZZO
REVOCABLE LIVING TRUST
1021 S GREENFIELD RD UNIT 1210
MESA, AZ 85206

ROY H HAUG AND JOAN M HAUG
REVOCABLE TRUST
1021 S GREENFIELD RD UNIT 1216
MESA, AZ 85206

RUSSELL ALLAN/MARGARET
6 DUFFERIN STREET
ALBERTA,

RYYTH RYAN
1350 S GREENFIELD RD NO 1052
MESA, AZ 85206

SALT RIVER PROJECT AG IMP &
POWER DIST
PO BOX 52025
PHOENIX, AZ 85072

SANTA CRUZ MIRIAN
CUESTA/RICARDO
20978 E LARK DR
QUEEN CREEK, AZ 85142

SCHLOSSER MATT A
1350 S GREENFIELD RD UNIT 1102
MESA, AZ 85206

SCHRAMM SHERRY L TR
4339 E EMELITA AVE
MESA, AZ 85206

SCHUSTER SARAH
1350 S GREENFIELD RD UNIT 1087
MESA, AZ 85206

SCP 2003D 4 LLC
ONE CVS DR
WOONSOCKET, RI 2895

SHAW ERIKA N
1350 S GREENFIELD RD UNIT 1093
MESA, AZ 85206-3495

SLAGOWSKI AMBERA
1350 S GREENFIELD RD NO 1125
MESA, AZ 85206

SMITH FAMILY TRUST
25623 S VAL VISTA DR
GILBERT, AZ 85298

SNYDER DOROTHY M TR
1021 S GREENFIELD RD 1215
MESA, AZ 85206

SOCZKA LAURI A
691 N CORDOBA AVE
CHANDLER, AZ 85226

SOLDANO VICTOR/MARGARET
VILLAROSA
P O BOX 11
OAKLAND, NJ 7436

SOLOMONT MARC/BASKIN-
SOLOMONT ALEXIS TR/ETAL
7131 E RANCHO VISTA DR UNIT 3011
SCOTTSDALE, AZ 85251

SORENSEN DENIS S/CLARISSA J TR
4075 W CENTENNIAL
CEDAR HILLS, UT 84062

SOUTH GREENFIELD 1350 LLC
4011 E LELAND ST
MESA, AZ 85215-2329

STABLEY ALEX/DONALD/JAMIE
1350 S GREENFIELD RD UNIT 1127
MESA, AZ 85206

STAFFORD DAVID E/KATHLEEN M
4145 E FLOWER CIRCLE
MESA, AZ 85206

STEINHAEUER MICHAEL
1021 S GREENFIELD RD UNIT 1199
MESA, AZ 85206

STEPHENS RODERIC MONTEL
1350 S GREENFIELD RD UNIT 1007
MESA, AZ 85206

STOTLER SHERRY/KRISSY/KASSEY
2531 E ENROSE ST
MESA, AZ 85213

SURVIVORS TRUST
3521 E SILO DR
GILBERT, AZ 85296

SWFC SOUTHERN LLC
6940 E RED BIRD RD
SCOTTSDALE, AZ 85266

SY AARON
1350 S GREENFIELD RD UNIT 2013
MESA, AZ 85206

TARDIF TIMOTHY
1350 S GREENFIELD RD UNIT 2023
MESA, AZ 85206

TAYLOR ADRIANA MARIE
1350 S GREENFIELD RD UNIT 1061
MESA, AZ 85206

TEN MOUNTAIN INVESTMENTS LLC
1223 S CLEARVIEW AVE SUITE 103
MESA, AZ 85209

TESORO AT GREENFIELD 1033 LLC
1350 S GREENFIELD RD UNIT 1033
MESA, AZ 85206

TESORO AT GREENFIELD 1118 LLC
PO BOX 3284
SCOTTSDALE, AZ 85271

TESORO AT GREENFIELD
CONDOMINIUM ASSOCIATION
7255 E HAMPTON AVE 101
MESA, AZ 85209

THOMAS BRENDAN R/VON ESSE
VERA A
1350 S GREENFIELD RD UNIT 2065
MESA, AZ 85206-3557

THORNHILL GYLE G/DEBRA K
4144 E FLOWER CIR
MESA, AZ 85206

TO ANH KHANH
1350 S GREENFIELD RD 1080
MESA, AZ 85206

TONG PHUONG HUU/NGUYEN DIEP
TRUC
19810 E APRICOT LN
QUEEN CREEK, AZ 85142

TOVEY HEATHER N/MCPEAK KEVIN
1350 S GREENFIELD RD UNIT 1023
MESA, AZ 85206

TRANCOSO ESTEFANIA
1350 S GREENFIELD RD UNIT 2021
MESA, AZ 85206

TRIPS LLC
4241 E EDGEWOOD AVE
MESA, AZ 85206

TRULSON CURTIS/LESLEY
PO BOX 116
ROSS, ND 58776

TURNBULL ROY/ERIKA
4155 E GLADE CIR
MESA, AZ 85206

TURNER FAMILY LIVING TRUST
1350 S GREENFIELD RD UNIT 1107
MESA, AZ 85206

UFFELMAN BRIANA/CROWE JENSEN
1350 S GREENFIELD RD UNIT 1004
MESA, AZ 85206

VACTOR TRENT/CANDIDA
1350 S GREENFIELD RD UNIT 1082
MESA, AZ 85206-3495

VASQUEZ MATTHEW
1350 S GREENFIELD RD UNIT 1008
MESA, AZ 85206

VAUGHN KARLEE
1350 S GREENFIELD RD UNIT 1020
MESA, AZ 85206-3488

VOMERO ASHLEY E
1350 S GREENFIELD RD UNIT 1045
MESA, AZ 85206

WALKER FAMILY TRUST
4129 E FLOWER CIR
MESA, AZ 85206

WATTS JOHN/KING BILLIE-JO
136 BOURQUE BAY
FORT MURRAY, AB T9K1V2

WELLS RICK/ALICIA
4125 E GABLE AVE
MESA, AZ 85206

WELTY RONALD JR/JULIE
1109 N GRANITE ST
GILBERT, AZ 85234

WICKERSHEIM DWIGHT N/VIRGINIA
M
4121 E EMELITA CIR
MESA, AZ 85206

WILLIAM C AND SHARON J
FRIEDRICH REV TRUST
2015 PAULIS DR
FARIBAULT, MN 55021

WILLIAM R BURGESS LIVING
TRUST/BURGESS KELLY
1350 S GREENFIELD RD UNIT 1024
MESA, AZ 85206

WONG KENT/YI-XUAN
1350 S GREENFIELD RD NO 1111
MESA, AZ 85206

WONG KENT/YI-XUAN
1350 S GREENFIELD RD NO 1112
MESA, AZ 85206

WONG KENT/YI-XUAN
1350 S GREENFIELD RD NO 1113
MESA, AZ 85206

WONG KENT/YI-XUAN
1350 S GREENFIELD RD 1114
MESA, AZ 85206

XCR PROPERTY MANAGEMENT LLC
1909 E RAY RD STE 9-116
CHANDLER, AZ 85225

YEE GUM CHEE/HOU YI CHI
1350 S GREENFIELD RD NO 1115
MESA, AZ 85206

YENTES KRISTI LYNN
1350 S GREENFIELD RD UNIT 1079
MESA, AZ 85206

HOAs and Neighborhood Associations List

Business Depot Suites

GREENFIELD GLEN OWNERS
ASSOCIATION
1021 S. GREENFIELD RD #1081
MESA, AZ 85206

HUNTER'S GLEN HOMEOWNERS'
ASSOCIATION
4135 S. POWER RD., #122
MESA, AZ 85212

STONEBRIDGE GARDENS, INC.
VISION COMMUNITY MANAGEMENT
16625 S DESERT FOOTHILLS PKWAY
PHOENIX, AZ 85048

STONEBRIDGE GARDENS, INC.
VISION COMMUNITY MANAGEMENT
16625 S DESERT FOOTHILLS PKWAY
PHOENIX, AZ 85048

SUMMER MESA PROPERTY OWNERS
ASSOCIATION, INC.
4107 E FAIRVIEW CR
MESA, AZ 85206

SUMMER MESA PROPERTY OWNERS
ASSOCIATION, INC.
4107 E FAIRVIEW CR
MESA, AZ 85206

SUMMER MESA PROPERTY OWNERS
ASSOCIATION, INC.
4107 E FAIRVIEW CR
MESA, AZ 85206

SUNLAND VILLAGE COMMUNITY
ASSOCIATION
4601 E. Dolphin Ave.,
MESA, AZ 85206

SUNLAND VILLAGE COMMUNITY
ASSOCIATION
4601 E. Dolphin Ave.,
MESA, AZ 85206

SUNLAND VILLAGE COMMUNITY
ASSOCIATION
4601 E. Dolphin Ave.,
MESA, AZ 85206

VISTA VILLAGES UNIT TWO
HOMEOWNERS ASSOCIATION
C/O BROWN COMMUNITY MANAGEMENT
7255 EAST HAMPTON AVE SUITE 101,
MESA, AZ 85209

WINDSOR SHADOWS OWNERS
ASSOCIATION
16625 S DESERT FOOTHILLS PKWY,
PHOENIX, AZ 85048

WINDSOR SHADOWS OWNERS
ASSOCIATION
16625 S DESERT FOOTHILLS PKWY,
PHOENIX, AZ 85048

WINDSOR SHADOWS OWNERS
ASSOCIATION
16625 S DESERT FOOTHILLS PKWY,
PHOENIX, AZ 85048

Source: City of Mesa, 2022

YOUNG KRYSTAL ANN
1350 S GREENFIELD RD NO 2055
MESA, AZ 85206

ZIMMER WILLIAM A/LINDA W
4239 E EMELITA AVE
MESA, AZ 85206

ZINS MARY C/STEVEN
1350 S GREENFIELD RD UNIT 1088
MESA, AZ 85206-3495

**Business Depot Suites
Citizen Participation Report
September 11, 2023
NEC Southern Ave. and Oakland St.**

Purpose:

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the applicant to inform citizens and property owners in the vicinity concerning the applicant's requests to the City of Mesa for a Rezoning and Site Plan Review for Business Depot Suites. These requests are for the proposed development of the approximately 1.4 acres located on at 1145 S. Oakland, which is the northeast corner of Southern Avenue and Oakland west of Greenfield Road in Mesa. (The "Property").

By providing opportunities for citizen participation, the applicant has ensured that those affected by this application have had an adequate opportunity to learn about and comment on the proposed plan. The applicant has provided neighborhood notice for a neighborhood meeting and also provided notice of public hearings in conformance with the City of Mesa Zoning Ordinance. The citizen participation and outreach for this project has been consistent with the City's notice with updated guidelines for the Citizen Participation and Neighborhood Outreach process for rezoning and site plan review cases. These guidelines permit alternative methods such as zoom, telephonic platforms, and video conferencing options, or similar methods, which is proposed in this Citizen Participation Plan.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Sean B. Lake

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
Sean.Lake@pewandlake.com

Vanessa MacDonald

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
vanessa.macdonald@pewandlake.com

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts that members of the community have relating to the proposed development:

1. A contact list was developed for citizens and agencies in this area including:
 - a. Interested neighbors – within a 1000-foot radius of the subject property;
 - b. Registered neighborhood associations within 1 mile of the subject property and Homeowners Associations within 1/2 mile of the project. The City noted there are no such listed for this property (see attached email from City).

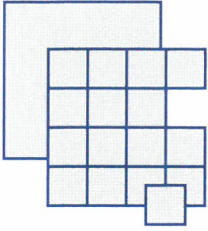
2. On April 25, 2022, an online neighborhood meeting was held by the applicant to provide the opportunity for members of the public to discuss the proposed project. It was held using Zoom’s online meeting technology, which complies with City policies.
 - Neighborhood Meeting results: Two nearby property owners who reside in the condominium community to the south attended the neighborhood meeting. Overall, after discussing the proposed application, these neighbors expressed that the proposed use would be helpful to the neighborhood. They believed this proposed business use would provide a safe place for small businesses to relocate. After reviewing the plans, they liked that the primary access was on Oakland and said the project design has a nice appearance.
 - Phone Call from neighbor: Before the neighborhood meeting, a property owner of one of the homes two blocks to the north called the applicant and said she was concerned about balcony views to her residential property from the two-story building at the Uncle Bear Grill and Tap on Greenfield Road, which has an upper level office. The applicant responded that this property will not have views to her property and there are no upper-level balconies. This site is located much further away and behind other buildings from her property. This property owner did not attend the neighborhood meeting.

3. For the Planning & Zoning Board and Design Review public hearings, the applicant will comply with City requirements, which requires posting one (1) 4’ x 4’ sign on the property and delivering notice of public hearings to the City of Mesa for mailing on September 12, 2023. The mailing list for the notices will include all property owners within 1000 feet of the development site. A notarized affidavit of sign posting, with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Project Schedule:

Pre-Submittal	January 11, 2022
Formal Submittal to City	<i>April 18, 2022</i>
<i>2nd Submittal</i>	<i>December 19, 2022</i>

<i>3rd Submittal</i>	<i>May 17, 2023</i>
<i>4th Submittal</i>	<i>June 27, 2023</i>
<i>5th Submittal</i>	<i>September 6, 2023</i>
<i>Planning & Zoning Public Hearing</i>	<i>September 27, 2023</i>
<i>Design Review Board</i>	<i>October 10, 2023</i>



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

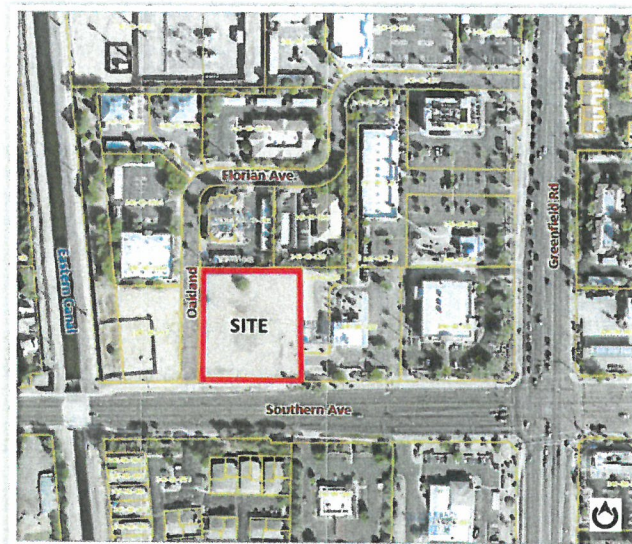
W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

September 12, 2023

NOTICE OF PUBLIC HEARING

Dear Neighbor,

Pew & Lake, PLC, on behalf of Cardon Hiatt Companies, has applied for **Rezoning** and **Site Plan** approval for the 1.4-acre property located at the northeast corner of Oakland and Southern Avenue. The property is shown below and is also known as Maricopa County Assessor parcel number 140-48-116.



We are requesting a rezone from Neighborhood Commercial, with a Planned Area Development (PAD) overlay, to Limited Commercial, with PAD overlay, and a Bonus Intensity Zone overlay (LC-PAD-BIZ). These requests, if approved, will allow for the development of *Business Depot Suites*, an innovative small business development that will provide a location for small business owners, many of whom may live in the immediate area, to relocate their growing home-based businesses. The case number assigned to this project is ZON22-00610.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan, landscape plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me or Vanessa MacDonald at 480-461-4670 or e-mail one of us at sean.lake@pewandlake.com or vanessa.macdonald@pewandlake.com.

This rezoning application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on September 27, 2023, in the City Council Chambers located at 57 East First Street.

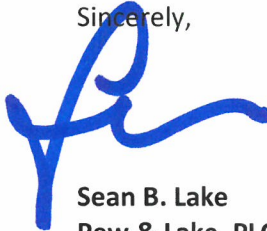
The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at Mesa11.com/live or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **825 0808 5605** and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **825 0808 5605** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Sean Pesek of their Planning Division staff. He can be reached at 480-644-6716 or sean.pesek@mesaaz.gov, should you have any questions regarding the public hearing process. If you have recently sold this property, please forward this correspondence to the new owner.

Sincerely,



Sean B. Lake
Pew & Lake, PLC

Attachments

Scan QR Code to provide comment:





BUSINESS DEPOT SUITES
 1000 S OAKLAND
 MEA, AZ 85006
 PROJECT NO. 2006
 REVISIONS



LAVIGNA INVESTMENT CORPORATION
 1000 S OAKLAND
 MEA, AZ 85006
 PHONE: 480.232.8990

LANDSCAPE PLAN

CONSTRUCTION PLAN

TREE SCHEDULE (SITE)

SIZE	QUANTITY	CONTRACT ITEM	DETAIL
18" DBH	17	Shaded Tree 18" DBH	200
24" DBH	11	Shaded Tree 24" DBH	1900
42" DBH	3	Shaded Tree 42" DBH	93
24" DBH	19	Evergreen 24" DBH 18" H	1900
36" DBH	21	Evergreen 36" DBH 18" H	1900
18"	10		5300

PLANT SCHEDULE (SITE)

SIZE	QUANTITY	CONTRACT ITEM	DETAIL
18" DBH	39	Shaded Tree 18" DBH	200
24" DBH	40	Shaded Tree 24" DBH	400
42" DBH	3	Shaded Tree 42" DBH	300
24" DBH	19	Shaded Tree 24" DBH	1900
36" DBH	21	Shaded Tree 36" DBH	1900
18"	138		1700

TREE SCHEDULE (SOUTHERN R.O.W.)

SIZE	QUANTITY	CONTRACT ITEM	DETAIL
18" DBH	7	Shaded Tree 18" DBH	100
24" DBH	5	Shaded Tree 24" DBH	500
36" DBH	3	Shaded Tree 36" DBH	300
18"	3		300

PLANT SCHEDULE (SOUTHERN R.O.W.)

SIZE	QUANTITY	CONTRACT ITEM	DETAIL
18" DBH	7	Shaded Tree 18" DBH	100
24" DBH	5	Shaded Tree 24" DBH	500
36" DBH	3	Shaded Tree 36" DBH	300
18"	3		300

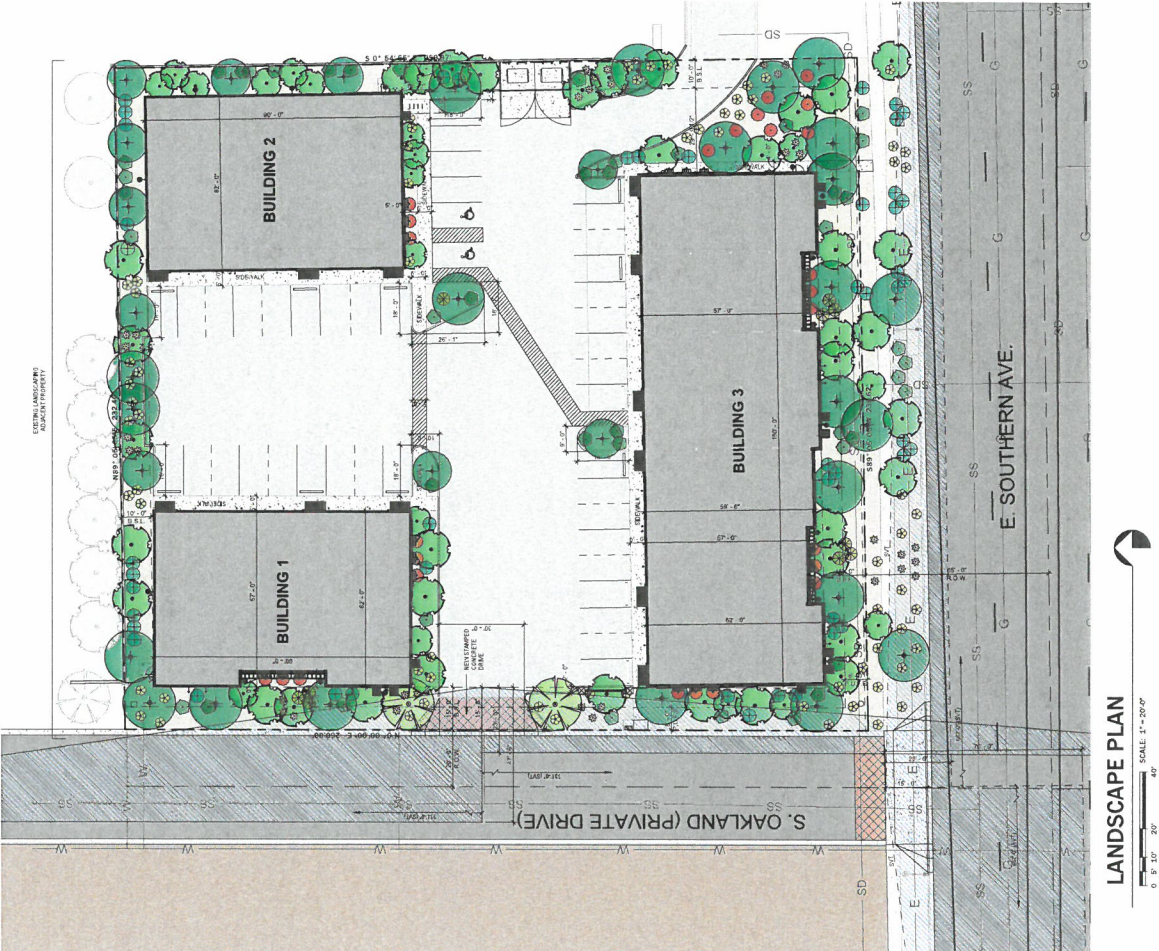
GENERAL NOTES:
 ALL PLANTINGS TO BE DONE BY 10:00 AM ON 09/28/16.
 PLANTINGS TO BE DONE BY 10:00 AM ON 09/28/16.
 PLANTINGS TO BE DONE BY 10:00 AM ON 09/28/16.

LANDSCAPE PLAN LEGEND

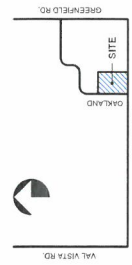
- CONCRETE SIDEWALK / SLAB ON GRADE
- CONCRETE DRIVEWAY - STAMPED
- ASPHALT PAVED PARKING
- DECOMPOSED GRANITE
- SITE VISIBILITY TRIANGLE (SMT)

Case B1 - Left Turn Manoeuvre from STOP

Through Road	3.0LUP	3.1LUP	5.0LUP	7.0LUP
Construction	13'	15'	20'	25'
Operational	10'	12'	15'	20'
Channel Easement	10'	12'	15'	20'
10' Right-of-Way	10'	12'	15'	20'
15' Right-of-Way	15'	18'	20'	25'
20' Right-of-Way	20'	25'	30'	35'
30' Right-of-Way	30'	35'	40'	45'
40' Right-of-Way	40'	45'	50'	55'
50' Right-of-Way	50'	55'	60'	65'
60' Right-of-Way	60'	65'	70'	75'
75' Right-of-Way	75'	80'	85'	90'
85' Right-of-Way	85'	90'	95'	100'
100' Right-of-Way	100'	105'	110'	115'



LANDSCAPE PLAN
 SCALE: 1" = 20'-0"
 0 5' 10' 20' 40'



OWNER
 LAVIGNA INVESTMENT CORPORATION
 1223 S. CLEARVIEW AVE #103
 MESA, ARIZONA 85209
 PH: 480.222.5994

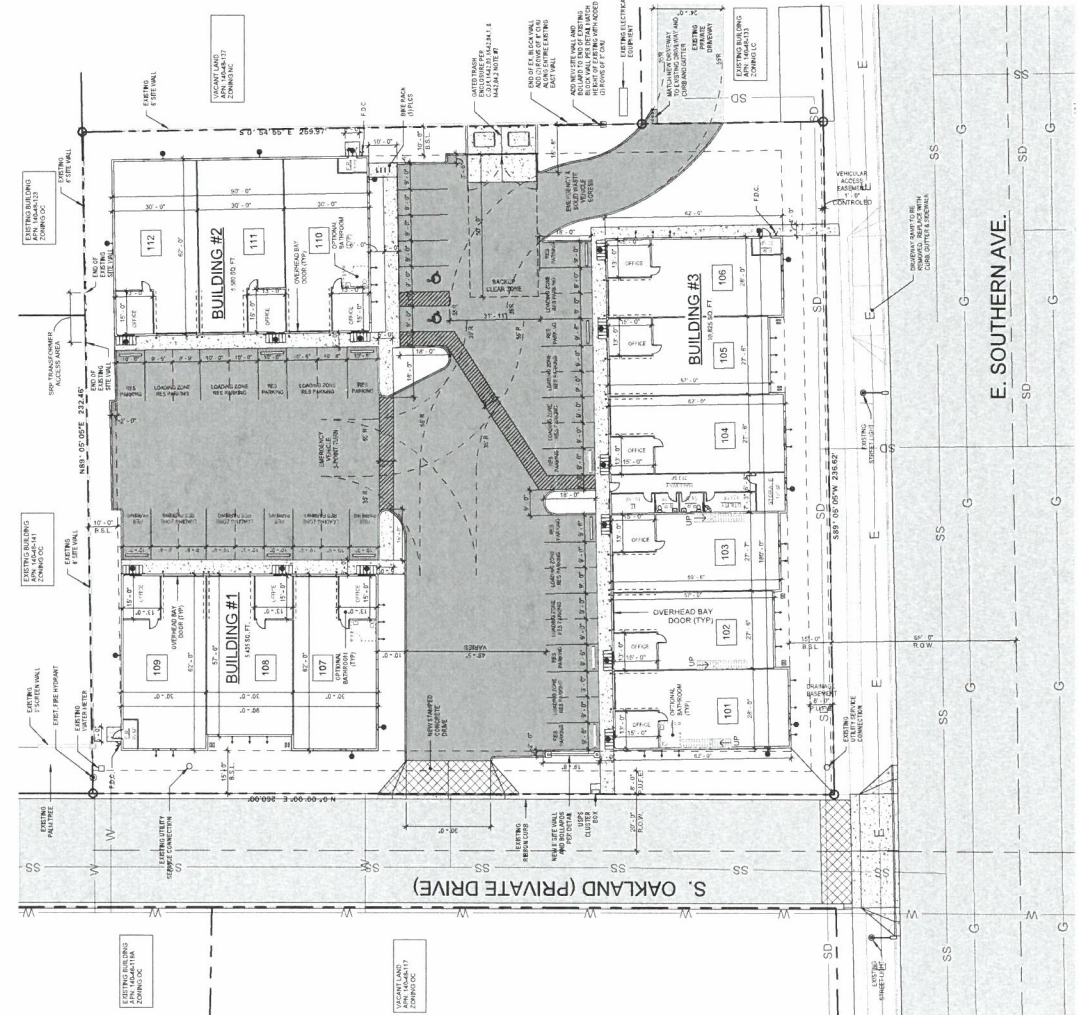
ENGINEER
 WILSON BRADSHAW, LLC
 1223 S. CLEARVIEW AVE #103
 MESA, ARIZONA 85209
 CAMERON MACDONALD, PE
 PH: 480.720.4030

SITE DATA
 APN: 140-46-116
 TOTAL NET AREA: 60,972 SQ. FT.
 TOTAL LOT AREA: 27,190 SQ. FT.
 CURRENT ZONING: NC
 PROPOSED ZONING: LC

PARKING

OPEN PARKING / ADA	6
RESERVED PARKING	12
LOADING ZONE / RESERVED PARKING	24
INTERIOR PARKING	12
TOTAL SPACES REQUIRED (PER 375 SQ. FT.)	59
PROVIDED SPACES	59
PARKING RATIO PROVIDED:	1 SPACE / 404 SF

- GENERAL PROJECT NOTES**
1. ALL EXISTING OVERHEAD UTILITIES SHALL BE RELOCATED PER CITY OF MESA AND UTILITY COMPANY'S REQUIREMENTS.
 2. ALL SITE WORK SHALL ADHERE TO CITY OF MESA SPECIFICATIONS AND DESIGN STANDARDS SECTIONS 99.03, 105.4 & 105.5.
 3. ALL OFFSITE PAVEMENT CUTS SHALL ADHERE TO APPROVED CITY CODE IN TITLE 9, CHAPTER 1.
 4. DETAILED PARKING, STRIPING AND SIGNAGE SHALL BE PROVIDED PER CITY OF MESA SPEC. M-52.08. NO PARKING LIMITS WILL BE PROVIDED WITH CONSTRUCTION PLAN SUBMITTAL.





1 BLDG 3 SOUTH ELEVATION- VIEW FROM SOUTHERN
NOT TO SCALE



2 BLDG 3 WEST ELEVATION- VIEW FROM OAKLAND
NOT TO SCALE



3 BLDG 3 EAST ELEVATION
NOT TO SCALE



4 BLDG 3 NORTH ELEVATION
NOT TO SCALE


APPLIED VIRTUAL TECHNOLOGY
 480.200.7078
 9540 E. AVON CIRCLE
 MESA, AZ 85209

PROJECT: BUSINESS DEPOT SUITES
 DATE: 01/27/2023
 PROJECT NO: 20818
 REVISION: 01/27/2023

THE S. OAKLAND MESA
 AZ 85208

LAVIGNA INVESTMENT CORPORATION
 3223 S. CLEARVIEW AVE UNIT 100
 MESA, AZ 85209
 TEL: 480.200.6900

RENDERED VIEWS
NOT FOR CONSTRUCTION
L-22



BLDG 1 WEST ELEVATION- VIEW FROM OAKLAND

NOT TO SCALE

1



BLDG 1 SOUTH ELEVATION

NOT TO SCALE

2



BLDG 2 SOUTH ELEVATION

NOT TO SCALE

3



1 BLDG 3 ISO - SE
NOT TO SCALE



2 BLDG 3 ISO - SW
NOT TO SCALE



3 BLDG 1 ISO - SE
NOT TO SCALE



4 BLDG 2 ISO - NW
NOT TO SCALE



5 BLDG 2 ISO - SW
NOT TO SCALE

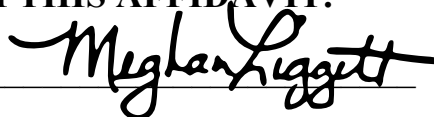
City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

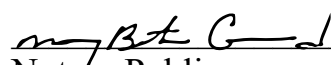
Date:

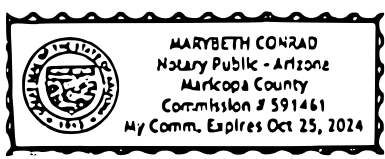
I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # , on . The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: 

SUBSCRIBED AND SWORN before me on


Notary Public



CITY OF MESA
PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: September 27, 2023
CASE: ZON22-00610

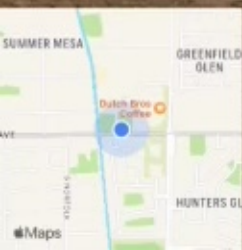
Request: Rezone from Neighborhood Commercial with a Planned Area Development overlay (NC-PAD) to Limited Commercial with a Planned Area Development and Bonus Intensity Zone overlay (LC-PAD-BIZ) and Site Plan Review. This request will allow for a commercial development.

APPLICANT: Sean Lake

PHONE: 480-461-4670

Planning Division 480-644-2385

Posting date: 9/8/2023



Sep 08, 2023 05:54AM
4302 E Southern Ave
Maricopa County

CITY OF MESA
Real Estate Services
P. O. Box 1466
Mesa, AZ 85211-1466

**CONSENT TO CONDITIONS & WAIVER OF LAND USE LAW CLAIMS
("Consent & Waiver")**

The undersigned is the owner(s) ("Owner") of the parcel of land described in Exhibit 1 hereto (the "Property"). Owner has applied for and seeks the City's approval for a Rezone from Neighborhood Commercial with a Planned Area Development overlay (NC-PAD) to Limited Commercial with a Planned Area Development and Bonus Intensity Zone overlay (LC-PAD-BIZ) and Site Plan Review. This request will allow for a commercial development in case No. #ZON22-00610 (the "Land Use Application").

Owner agrees and consents to all the conditions and stipulations approved as part of or in connection with the Land Use Application. Owner waives any claim under Arizona Revised Statutes § 12-1134, including any right to compensation for reduction to the fair market value of the Property, that may now or in the future exist as a result of, or that arises out of, the approval or application of the Land Use Application or any stipulations and/or conditions of approval to the Land Use Application.

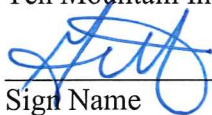
Owner represents and warrants to being the owner of fee title to the Property or to being a person who has legal authority to bind all fee title owners of the Property to this Consent & Waiver. The terms of this Consent & Waiver shall run with the land and shall be binding upon all subsequent landowners. Owner consents to the recordation of this Consent & Waiver.

If Owner withdraws the application for the Land Use Application prior to final action by the City, Owner is released from this Consent and Waiver.

Dated this 6 day of September, 2023.

OWNER:

Grif C. Hiatt
Manager
Ten Mountain Investments, LLC



Sign Name

STATE OF ARIZONA)
) ss.
County of Maricopa)

On this 16th day of September, 20 23, before me, the undersigned Notary Public, personally appeared Grif C. Hiatt, who acknowledged that this document was executed for the purposes therein contained.



Notary Public

My Commission Expires:

