

Sienna Ridge

*A Single-Family Home and Townhome Community
Rezone/Site Plan Narrative*



Request for a Rezoning to RM-2 PAD with Site Plan on Approximately 3.7 Acres

Generally located east of the Loop 202 Freeway, at the NWC and SWC of E. Aspen Avenue and South 90th Street

SUBMITTED TO:
City of Mesa Planning Division

PREPARED BY:
Iplan Consulting

Prepared: February 2023
Revised: August 2023

Sienna Ridge Townhomes

PROJECT TEAM

Land Use Entitlements/Applicant:

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Mesa, AZ 85215
Contact: Jason Harrington
Phone: (480) 250-0116

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PURPOSE OF REQUEST

Iplan Consulting presents to the City of Mesa a request for rezoning and site plan review pertaining to approximately 3.7 acres of land generally located east of the Loop 202 freeway, south of Main Street. It is more specifically bound on its east side by S. 90th Street and has ease of access to three nearby arterials: Main Street, Broadway Road, and Ellsworth Road. The property is designated “Neighborhoods” in the City’s 2040 General Plan, zoned RS-43, and has APN# 218-41-278D.

The site plan included in this request shows a thoughtfully designed, townhome community with upscale resort style amenities on an underutilized remnant ADOT parcel adjacent to a mobile home subdivision, the freeway, and single-family homes to the south. The proposed density of approximately 9.8 units per acre falls in the acceptable range of the RM-2 rezoning category and is consistent with the County equivalent zoning to the east which is zoned with a more intense multi-family district.

EXISTING AND PROPOSED LAND USES

The project has the Loop 202 freeway to its west and north. Along the east side of 90th Street are a series of manufactured homes located within unincorporated Maricopa County that are zoned R-5 in the County which is a “Multiple Family Residence District” per their zoning ordinance. The County R-5 zoning district allows buildings up to 40’ in height, all commercial uses allowed in the C-1 zoning district, and up to 43 dwelling units per acre. This R-5 zoned property is developed with a mobile home subdivision, as shown in this current Google street view:



Along the south boundary of the project, there is an existing neighborhood of site-built homes zoned RS-6 PAD along the south side of a drainage channel that will separate them from the proposed townhomes. These homes back to the subject site and are as shown as follows:



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A more direct view of the drainage channel, which extends under 90th Street, along with the ADOT freeway noise attenuation wall in the background is shown as follows:



The below zoning map shows the context of the site (indicated with a red star) in the context of surrounding zoning and land uses:



Existing Site Conditions

The approximately 3.7 acre site (3.36 net) is currently vacant and is a remnant property that ADOT sold after the Loop 202 was completed. The triangular shape of the property causes significant constraints for development as a standard lot single-family development as it would not layout efficiently or be financially viable. The acreage features excellent collector street access to nearby arterials and the Loop 202 freeway.

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Mesa 2040 General Plan and the “Missing Middle Housing” Solution

The property is located within the General Plan’s “Neighborhoods” land use designation which allows for a broad range of residential density and housing types. Specifically, it notes this focus: “a neighborhood can contain a wide variety of housing options”. Further, the land use designation notes the RM-2 zoning category as a “primary” zoning district in the Neighborhood Character type, which allows for the proposed detached single-family homes and attached townhomes. Our proposed density is approximately 8.6 units per net acre and therefore in the range of generally anticipated densities for the RM-2 zoning district. The site’s unique adjacency to the Loop 202 Freeway and tall noise attenuation wall, drainage channel separation from the homes to the south, and 90th Street to the east buffers the homes and townhomes from adjacent land uses well. Please note that Table 7-4 of the General Plan, called “General Intensity 2040” indicates that the City anticipates this area will develop with a mid-intensity range due to its proximity to key transportation corridors and existing variety of somewhat denser housing types including neighborhoods of manufactured housing which tend to be denser than larger lot site-built residential developments.

The City’s General Plan specifically notes the need for “middle housing” throughout the City. This is best captured on page 4-12 of the General Plan: “The Missing Middle Housing”. The most salient points of this section are captured below as a reference when considering our project:

“Most residential development focuses on single-residence development at or below four units per acre or multi-residence development over 12 units per acre. In the middle is a housing type that is often overlooked that is important for young families and other middle-income workers...Key elements to ensuring neighborhoods provide this type of housing in a quality way in the future include:

- **Evaluating and updating zoning code and subdivision requirements to ensure there are no hindrances to this type of housing.**
- **Ensuring that housing in this range includes associated amenities such as parks and open space, and that it is located in areas that have close access to a variety of transportation modes.**
- **Integration of these housing types into the larger neighborhood framework**
- **Ensuring the integration of a mix of housing options in each area of the city”**

The need for this type of housing continues elsewhere in the General Plan, as mentioned in multiple sections about changing population demographics and their related housing needs. This reoccurring theme is referred to starting in the Executive Summary, and further through Chapter 3: A Vision for the Future (Changing Demographics) which specifically notes the need for “smaller house sizes and development patterns”. This continues in the same chapter in “Urban Design/Place-Making” where “plans for redevelopment should focus as much on urban design and the creation of quality places”. The quality and appearance of the proposed Sienna Ridge project arguably will infuse this specific neighborhood with an enhancement to its overall attractiveness and street appeal. 3D street view exhibits have been prepared to show how the project will enhance the neighborhood, regardless of the looser concern expressed by staff at pre-app that the project is marginally denser than the housing to the east and south. The homes proposed along 90th Street are single-family detached residences and purposefully oriented to 90th Street with sidewalks and courtyards allowing their most attractive façades to face the neighborhood rather than backing the homes to 90th Street with just a wall and landscaping which would have a dulling impact on the neighborhood.

Chapter 4: Creating and Maintaining a Variety of Great Neighborhoods features a land use exhibit on Page 4-1 that exemplifies what we are attempting to achieve in our integration into the existing urban fabric around us. This land use exhibit shows different housing types, appropriately buffered, in the same neighborhood. The propensity of some cities to press the same housing density across all neighborhoods suppresses the very

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tenets of the Mesa 2040 General Plan. Further, on page 4-2, the General Plan notes that suburban neighborhoods where less housing diversity exists, a more traditional, mixed-housing form should develop over time. In the case of Sienna Ridge, we are proposing a hybrid of detached single-family homes on 90th Street with attached townhomes appropriately buffered in the center of the parcel. In the context of a mobile home park, a freeway, and standard lot single-family housing development to our south, we find our project blends in exceptionally well with providing the desired housing diversity of a traditional neighborhood.

RM-2 PAD ZONING

This project exceeds all of the typical development standards required in the R-2 zoning district, except for the setbacks between buildings. In this respect, the 10' proposed separation between the individual single-family homes is proposed at 10' which is similar to the typical 5'/5' single-family small lot districts found in communities rather than 30' which is typically a development standard intended for large, multi-family apartment-style buildings. The larger townhome buildings exceed 30' of separation as intended in R-2. This is important to understand as the 10' separation where proposed does not make the project appear more dense or compact, rather it is a unique need of this project to allow it to look more like a single-family home project rather than a multi-family apartment project. Landscape standards also exceed City requirements, per the City of Mesa Landscape Calculations table provided on the "Preliminary Landscape Plan". The street scene for the project along 90th Street shows the need for the 10' separation between single-family homes:



The RM-2 PAD zoning development standards are shown below, and modified in **BOLD** where the deviation through the PAD is requested:

Development Standard	Allowed/Required	Proposed
Maximum Density	15 DU/acre	8.6 DU/net acre
Minimum Lot Area/Unit	2904 SF	5,558 SF (161,172 SF/29 units)
Maximum Building Height	30'	30'
Maximum Lot Coverage	70%	<50%
Min. Yard -Freeway	30'	30'
Min. Yard - 90 th Street	25'	25'
Min. Yard – to RS-6 PAD on S.	25'	35'
Setbacks – Interior	0'	0' (between townhomes)
Setbacks – Between Buildings	30'	10' (between single-family homes)
Parking Req'd – 2.1 spaces per unit	61	58 garage spaces (2 car garage per unit), + 19 open guest parking spaces = 77 TTL
Landscape Shade Coverage Area	50% of landscape area	60%
Private Open Space – Detached Units	400 SF per unit	740 SF per unit
Private Open Space – Attached Units	100 SF per Unit	233 SF per Unit
Landscape Setback to Loop 202	15'	0' (for select parking stalls and s/w)

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The single-family homes and townhomes have specifically been designed in the spirit of Chapter 3 of the City's Quality Development Design Guidelines related to Multiple Residence site design. The livable spaces of the units are oriented to 90th Street to provide a streetscape that respects the similar orientation of the existing residences on the west side of the street. Direct sidewalk access is provided to the street allowing future residents to leave their front doors and simply walk to the street and enjoy the neighborhood.

Two-car garages are provided for each unit and are rear loaded on the units with alley-style access as typically desired by the City. Nineteen additional guest parking spaces have been provided throughout the site and exceed the City's required minimum of 61 parking spaces for the project.

Common area amenities include a clubhouse with accessible parking, swimming pool, shade ramada, tot lot, and BBQ area for residents to congregate and socialize together. This is an exceptional amenity package for a project with only 33 units. This area is centrally located within the project which will provide ease of access for all residents. Landscape coverage for overall landscape areas, as well as specifically provided for pathways and parking areas, exceeds the minimum requirements of the zoning ordinance. Area calculations, including tree and shrub counts, are provided on the landscape plan in the calculations table.

A perspective rendering of the amenity area is provided as follows:



Private area open space has been provided for the single-family detached units in the amount of 744 SF each which covers the front courtyard and second floor balconies. This is nearly double the minimum requirement of 400 SF per unit. For the townhome units, more than double the minimum 100 SF per unit has been provided, with each unit offering 233 SF. These areas are well-depicted in the perspective rendering above where the low courtyard wall and partial louver shade cover indicates the area calculated for this requirement.

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SUMMARY

The proposed RM-2 PAD zoning on this site conforms with the Neighborhood Character of the area in the City's General Plan and is considered a primary zoning district for consideration. The site's unique shape, context, and excellent accessibility make it a desirable opportunity for new single-family homes and townhomes that will introduce "middle housing" diversity into the existing neighborhood with a high quality of design and exceptional amenities for its future residents. The proposed site plan conforms with and exceeds the City's Quality Development Design Guidelines for Multiple Residences.

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This drawing is an instrument of service and the property of Harrington Planning + Design and shall be restricted to the original site for which it was prepared and publication therefore is expressly limited to such use.

CITY OF MESA LANDSCAPE CALCULATIONS

	REQUIRED	PROVIDED
PERIMETER LANDSCAPE PER 11-33-3 MESA Z/O PUBLIC RESIDENTIAL STREET - U DESIGNATE 1 TREE 4 SHRUBS PER 25 FEET OF STREET FRONTAGE 25% OF TREES SHALL BE 36" OR LARGER 50% OF TREES SHALL BE 24" BOX	25.2 TREES / 100.8 SHRUBS	90TH STREET: 630' 27 TREES PROVIDED 195 SHRUBS PROVIDED
SHADE COVERAGE AREA FOR PEDESTRIAN WALKWAYS PER 11-6-3 MESA Z/O - 50% OF 5'+ PEDESTRIAN WALKWAYS TO HAVE SHADE COVERAGE	3,140 S.F. / 2 = 1,567 S.F. OF SHADE COVERAGE REQUIRED	9 X 130 S.F. = 1,170 SF OF SHADE 11 X 60 S.F. = 660 SF OF SHADE COVERAGE PROVIDED
SHADE COVERAGE AREA	50% OF LS AREA	60% COVERAGE
INTERIOR PARKING LANDSCAPE PER 11-33-4 MESA Z/O: 1 TREE / 6 SHRUBS FOR EVERY 8 PARKING SPACES	19 SPACES 2.3 TREES / 14 SHRUBS	6 TREES / 42 SHRUBS PROVIDED
FOUNDATION LANDSCAPE PER 11-33-5 MESA Z/O* 1 TREE / 50 L.F. BUILDING FACE 10% OF TREES SHALL BE 36" BOX OR LARGER	43.4 TREES 36" BOX OR LARGER = 4.34 TREES	2,170 FT BUILDING EDGE = 43 TREES 48 TREES PROVIDED WITHIN 30'-0" OF EXTERIOR WALL 36" BOX TREES = 8 TREE
PRIVATE OPEN SPACE PER 11-59-7 MESA Z/O MIN 400 S.F. OF OPEN SPACE PER UNIT	11 UNITS X 400 S.F. = 4,400 S.F.	740 S.F. PROVIDED FOR EACH UNIT, 8,140 S.F. PROVIDED
PRIVATE OPEN SPACE PER 11-59-9 MESA Z/O MIN 100 S.F. OF OPEN SPACE PER UNIT	18 UNITS X 100 S.F. = 1,800 S.F.	233 S.F. PROVIDED FOR EACH UNIT, 2,330 S.F. TOTAL

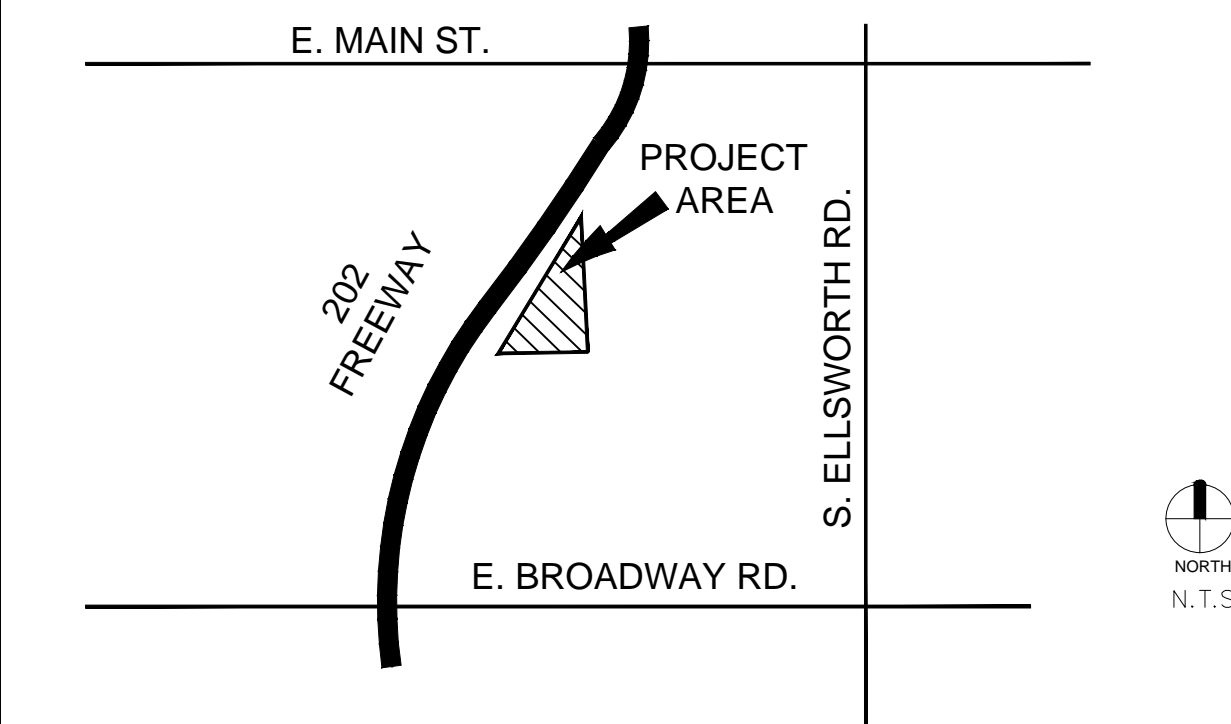
DEVELOPER CONTACT

IPLAN CONSULTING
3317 S. HIGLEY ROAD
GILBERT, AZ 85297
JASON SANKS
(602) 326-0581
JASON@IPLANCONSULTING.COM

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
4711 E. FALCON DRIVE, SUITE 222
MESA, AZ 85215
Tel: 480-250-0116
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

VICINITY MAP



PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Acacia salicina Willow Leaf Acacia Caliper Size: 2.0"	36" Box	*ADWR	23
Chitalpa tashkentensis Chitalpa Caliper Size: 1.5"	24" Box	*ADWR	34
Acacia aneura Mulga Caliper Size: 1.5"	24" Box	*ADWR	27
GROUNDCOVERS			QTY
Lantana montevidensis Trailing Lantana 'gold'	5 Gallon can full	*ADWR	223
SHRUBS / ACCENTS			QTY
Aloe x 'Blue Elf' Blue Elf Aloe	5 Gallon can full	*ADWR	46
Leucophyllum frutescens Texas Sage	5 Gallon can full	*ADWR	76
Russelia equisetiformis Coral Fountain	5 Gallon can full	*ADWR	133
Muhlenbergia rigida 'Nashville' Nashville Muhly Grass	5 Gallon can full	*ADWR	130
LANDSCAPE MATERIALS			QTY
Decomposed Granite. 1/2" screened "Painted Desert", 2" deep in planting areas per plan.			64,720 S.F.

*ADWR = Arizona Department of Water Resources
Approved Low-Water Use Plant

PRELIMINARY
NOV 2022 CONSTRUCTION



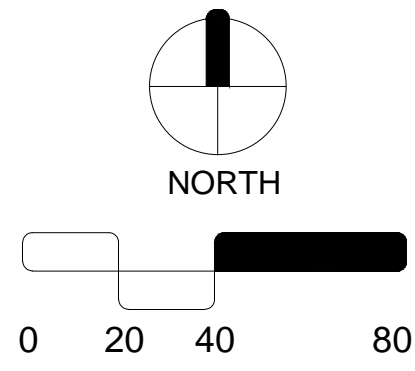
SIENNA RIDGE MULTI-FAMILY

90th Street and the 202 Freeway
Mesa, Arizona 85208

REV.	COMMENT	DATE
	Preliminary Re-submittal	06.10.23
	Preliminary Re-submittal	05.17.23
	Preliminary Submittal	02.08.23
	ISSUE	

LANDSCAPE PACKAGE

July 10, 2023
DRAWN BY: BZS
CHECK BY: JEH
PROJ. NO.: 2022-065
CASE NO.: TBD



PRELIMINARY LANDSCAPE PLAN

L1.1
1 of 1

ARIZONA BLUESTAKE CENTER
CALL TWO WORKING DAYS BEFORE YOU DIG
1.800.782.5348

SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS

A PART OF THE SOUTHEAST QUARTER OF SECTION 21 T1N, R7E, G.&S.R.B.M., MARICOPA COUNTY, ARIZONA

SCALE: N/A	BENCHMARK: NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB, SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD (MAIN STREET) AND ELLSWORTH ROAD. ELEVATION = 1530.02 FEET (CITY OF MESA NAVD 88 DATUM)
ONE INCH AT FULL SCALE	

CITY OF MESA GENERAL NOTES

- ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SEPARATE RIGHT-OF-WAY PERMITS ARE REQUIRED FOR ALL PUBLIC UTILITIES, PUBLIC STREET IMPROVEMENTS, AND RIGHT-OF-WAY LANDSCAPING. FOR INFORMATION REGARDING AVAILABILITY AND COST OF RIGHT-OF-WAY PERMITS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT (480) 644-4273 OR AT [HTTP://WWW.MESA.AZ.GOV/DEVSUSTAIN/CONSTRUCTIONPERMITS.ASPX](http://www.mesaaz.gov/devsustain/constructionpermits.aspx). THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED UNLESS OTHERWISE NOTED. CONTRACTORS MUST HOLD THE APPROPRIATE CLASS OF LICENSE AND SHALL HAVE ON FILE WITH THE PERMIT SERVICES SECTION PROOF OF INSURANCE COVERAGE. PERMITS BECOME INVALID AND MUST BE UPDATED IF WORK HAS NOT BEGUN WITHIN NINETY (90) DAYS. PERMITS ALSO BECOME INVALID IF THE CONTRACTOR'S INSURANCE LAPSES OR IS VOIDED.
- TWENTY-FOUR (24) HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK, CONSTRUCTION OR INSTALLATIONS ASSOCIATED WITH THIS PERMIT, THE PERMITTED SHALL NOTIFY CITY OF MESA ENGINEERING DEPARTMENT AT 644-2251 OF INTENT TO BEGIN AND REQUEST/SCHEDULE PRELIMINARY FIELD REVIEW AT THE PROJECT SITE WITH THE CITY OF MESA ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR (CITY INSPECTOR). FAILURE TO PROVIDE PROPER INSPECTION NOTIFICATION AS PRESCRIBED ABOVE SHALL RESULT IN THIS PERMIT BECOMING INVALID AND WORK BEING STOPPED.
- CONTRACTOR'S SHALL COMPLY WITH THE REQUIREMENTS TO OBTAIN THE NECESSARY RIGHT-OF-WAY PERMITS AND SHALL COMPLY WITH THE RIGHT-OF-WAY PERMIT CONDITIONS AS FOUND ON THE BACK OF THE PERMIT FORM.
- THE CITY OF MESA PARKS & RECREATION DIVISION IS NOT REPRESENTED BY BLUE STAKE. WHEN THE CONTRACTOR EXCAVATES NEAR OR ADJACENT TO A CITY PARK, THE CONTRACTOR SHALL CONTACT THE PARKS & RECREATION ADMINISTRATION SECTION AT (480) 644-2354 TO REQUEST ASSISTANCE IN LOCATING ALL THEIR UNDERGROUND FACILITIES.
- THE CONTRACTOR SHALL OBTAIN AN EARTH-MOVING PERMIT FROM THE MARICOPA COUNTY ENVIRONMENTAL SERVICES DEPARTMENT AND SHALL COMPLY WITH ITS REQUIREMENTS FOR DUST CONTROL.
- THE ENGINEER HEREBY CERTIFIES AS EVIDENCED BY A PROFESSIONAL SEAL & SIGNATURE, THAT ALL AFFECTED UTILITY COMPANIES BOTH PUBLIC AND PRIVATE HAVE BEEN CONTACTED AND ALL EXISTING AND/OR PROPOSED UTILITY LINES AND OTHER RELATED INFORMATION HAVE BEEN TRANSFERRED ONTO THESE PLANS. THE ENGINEER OR ARCHITECT ALSO HEREBY CERTIFIES THAT ALL EXISTING AND/OR PROPOSED PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN CORRECTLY PLOTTED/SHOWN.
- THE ENGINEER, OR LAND SURVEYOR OF RECORD SHALL CERTIFY UPON COMPLETION OF CONSTRUCTION THAT ALL PUBLIC IMPROVEMENTS (WATER AND SEWER UTILITIES, STORM SEWER, CONCRETE, PAVING, STREET LIGHTS, ETC.) HAVE BEEN INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE APPROVED PLANS. ANY CHANGES SHALL BE REFLECTED ON "AS-BUILT" DRAWINGS PROVIDED BY THE ENGINEER TO THE CITY'S ENGINEERING DEPARTMENT.
- THE REGISTERED ENGINEER OR LAND SURVEYOR SHALL CERTIFY THAT THE MINIMUM HORIZONTAL AND VERTICAL SEPARATIONS BETWEEN UTILITIES WITHIN PUBLIC RIGHT-OF-WAY AND EASEMENTS HAVE BEEN MAINTAINED AS REQUIRED BY LAW OR POLICY.
- THE DEVELOPER SHALL PROVIDE ALL CONSTRUCTION STAKING FOR THE PROJECT.
- THE DEVELOPER OR THE ENGINEER IS RESPONSIBLE FOR ARRANGING FOR THE RELOCATION OR REMOVAL OF ALL UTILITIES OR FACILITIES THAT ARE IN CONFLICT WITH THE PROPOSED PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES, POWER POLES, IRRIGATION DRY-UPS, RESETS REMOVALS BY OTHERS, ETC.
- THE CONTRACTORS SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATION AND AVOID DAMAGE TO SAME. CALL 263-1100 FOR BLUE STAKE TWO WORKING DAYS PRIOR TO DIGGING. CALL SALT RIVER PROJECT FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT (602) 273-8888.
- WHEN GAS MAINS AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT (480) 644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING PRIOR TO BACKFILLING OF THE TRENCH.
- CONTRACTORS SHALL COMPLY WITH THE PROVISIONS FOR TRAFFIC CONTROL AND BARRICADING PER THE CURRENT CITY OF MESA TRAFFIC BARRICADE MANUAL.
- IF A FIRE HYDRANT IS NEEDED TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR SHALL OBTAIN A FIRE HYDRANT METER FROM PERMIT SERVICES AND PAY ALL APPLICABLE FEES AND CHARGES.
- IF DURING THE CONSTRUCTION OF A PUBLIC FACILITY, THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITH A REQUEST OF THE CITY INSPECTOR, AND IT IS NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY SHALL BE JUSTIFIED IN BILLING THE CONTRACTOR. EACH INCIDENT REQUIRING WORK BY CITY FORCES SHALL BE COVERED BY A SEPARATE BILLING AT THE CURRENT APPLICABLE RATES.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. UNLESS OTHERWISE APPROVED BY THE CITY, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES AND SYSTEMS AS A RESULT OF CONTRACTOR'S ACTIVITIES SHALL BE BORNE BY THE CONTRACTOR.

CITY OF MESA STORM WATER DRAINAGE & RETENTION NOTES

THE FOLLOWING NOTE(S) ARE REQUIRED WHENEVER A PRIVATE LAND DEVELOPMENT PROJECT IS REQUIRED TO PROVIDE RETENTION OF STORM WATER. THESE NOTES ARE IN ADDITION TO THE GENERAL REQUIREMENTS NOTES.

- THE ENGINEER, OR LAND SURVEYOR SHALL CERTIFY THAT THE REQUIRED STORM WATER RETENTION HAS BEEN PROVIDED. THE CERTIFICATION SHALL ALSO INDICATE THE ACTUAL VOLUME PROVIDED. SUCH CERTIFICATION SHALL BE PROVIDED TO THE DEVELOPMENT SERVICES DEPARTMENT WHEN THE RETENTION AREA IS TO REMAIN PRIVATE PROPERTY AND TO THE ENGINEERING DEPARTMENT WHEN THE RETENTION AREA IS TO BECOME CITY OF MESA PROPERTY.
- ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN WATER IN A 36HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL-SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL. IN ACCORDANCE WITH ARIZONA REVISED STATUTES, DRYWELLS ARE REQUIRED TO BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). IT IS THE OWNER'S RESPONSIBILITY TO REGISTER ALL DRYWELLS. AN AQUIFER PROTECTION PERMIT MAY BE REQUIRED BY ADEQ FOR DRYWELLS DEEMED TO BE HAZARDOUS TO GROUNDWATER.

ENGINEER'S GENERAL NOTES

- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY MUST CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION AS AMENDED BY THESE PLANS AND THE LATEST VERSION OF THE CITY OF MESA SUPPLEMENTAL STANDARD SPECIFICATIONS AND DETAILS. IF THERE IS A CONFLICT, THESE PLANS AND THEN THE JURISDICTION'S SUPPLEMENTS SHALL GOVERN.
- UNLESS SPECIFICALLY NOTED ON THESE PLANS OR OTHERWISE REQUIRED BY THE CITY OF MESA, ONSITE WORK FOR COMMERCIAL PROJECTS SHALL CONFORM TO THE LATEST VERSION OF THE INTERNATIONAL BUILDING CODE (IBC) AND INTERNATIONAL PLUMBING CODE (IPC) AS APPLICABLE.
- UNLESS SPECIFICALLY NOTED ON THESE PLANS OR OTHERWISE REQUIRED BY THE CITY OF MESA, ONSITE WORK FOR RESIDENTIAL PROJECTS SHALL CONFORM TO THE LATEST INTERNATIONAL RESIDENTIAL CODE (IRC) AS APPLICABLE.
- ANY WORK PERFORMED WITHOUT APPROVAL OF THE CITY OF MESA OR AFFECTED UTILITY COMPANY AND/OR ALL WORK AND MATERIAL NOT IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

PROPERTY OWNER

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OAK BROOK, IL 60522
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EMAIL: Jason@iplanconsulting.com

ENGINEER

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PHONE: 480.330.0803
EMAIL: joelwatson@watsoncivilengineering.com

SURVEYOR

LAND SURVEY SERVICES PLC
20651 W. PASADENA AVE
BUCKEYE, AZ 85396-1255
PHONE: 602-703-7010

DATE OF FIELD SURVEY

AUGUST 2020

LEGAL DESCRIPTION

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION TWENTY-ONE (21), TOWNSHIP ONE (1) NORTH, RANGE SEVEN (7) EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 21, ALSO KNOWN AS THE CENTER OF SAID SECTION 21; THENCE NORTH 89° 56' 58" EAST, 165.82 FEET, ALONG THE EAST-WEST CENTER SECTION LINE OF SAID SECTION 21, TO THE NORTHEAST CORNER OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21, SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89° 56' 58" EAST 1159.31 FEET, ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 21 TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE SOUTH 00° 03' 03" WEST, 1320.20 FEET, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21, TO THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE SOUTH 89° 56' 44" WEST, 1325.18 FEET ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21, TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE NORTH 00° 03' 44" EAST, 660.18 FEET, ALONG THE NORTH-SOUTH CENTER SECTION LINE OF SAID SECTION 21, TO THE SOUTHWEST CORNER OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE NORTH 89° 56' 51" EAST, 165.63 FEET, TO THE SOUTHEAST CORNER OF THE WEST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 21; THENCE NORTH 00° 03' 39" EAST, 660.14 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARING

THE BASIS OF BEARINGS SHOWN HEREON IS THE EAST-WEST MID-SECTION LINE OF SECTION 21, T1N, R7E, BEING NORTH 89° 58' 48" EAST AS TAKEN FROM ADOT RESULTS OF SURVEY IN BOOK 513 OF MAPS, PAGE 16.

PROTECTION OF EXISTING UTILITIES

- CONTRACTOR SHALL COMPLETE AN ARIZONA 811 TICKET AND OR CALL THE BLUE STAKE CENTER 602-263-1100, TWO WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
- EXISTING UTILITIES AND IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED IN PLACE. ANY DAMAGES TO EXISTING UTILITIES AND FACILITIES WHETHER THEY ARE SHOWN ON THE PLANS OR NOT, WILL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACTING ENTITY. REFER TO MAG STANDARD SPECIFICATION SECTION 601.
- CONTRACTOR SHALL ENSURE THAT ALL UTILITIES ARE MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL REVIEW THE SCOPE OF WORK ON THE PLANS AND NOTIFY THE ENGINEER IMMEDIATELY CONCERNING POSSIBLE CONFLICTS WITH EXISTING UTILITIES.
- LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES WITHIN THE AREA OF WORK PRIOR TO THE START OF GROUND DISTURBING ACTIVITIES.

PROJECT DESCRIPTION

GRADING AND DRAINAGE PLAN FOR A NEW MULTI FAMILY DEVELOPMENT.

SHEET INDEX

- C1 PRELIMINARY COVER SHEET AND NOTES
- C2 PRELIMINARY GRADING AND DRAINAGE PLAN
- C3 PRELIMINARY FIRE, WATER AND SEWER PLAN
- C4 SECTIONS

SITE INFORMATION

APN: 218-41-278D
ZONING: RS-43
ADDRESS: N/A
TOTAL AREA: 166,804 SF SQUARE FEET (±3.8293 ACRES)
TOTAL DISTURBED AREA: 153,751 S.F. (3.52 ACRES)

EARTHWORK

RAW CUT = 1,581 C.Y.
RAW FILL = 4,339 C.Y.

NET EXPORT = 2,821 C.Y.

FLOODPLAIN DESIGNATION

CURRENT FLOOD ZONE IS "ZONE X" (AREA OF 0.2% ANNUAL CHANCE FLOOD); AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WIDTH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD); PER FIRM MAP NO. 04013C2295L, DATED OCTOBER 16, 2013.

BENCHMARK

NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB, SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD (MAIN STREET) AND ELLSWORTH ROAD.

ELEVATION = 1530.02 FEET (CITY OF MESA NAVD 88 DATUM)

TEMPORARY BENCHMARK

PROJECT B.M.: BRASS CAP FLUSH AT THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY, CENTERLINE OF 90TH STREET.

ELEVATION = 1505.48 FEET

OUTDOOR LIGHTING NOTE

OUTDOOR LIGHTING SHIELDING SHALL CONFORM WITH MARICOPA COUNTY ZONING ORDINANCE ARTICLE 1112.4.2.

FINISH FLOOR CERTIFICATION

FINISHED FLOORS ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

STANDARDS

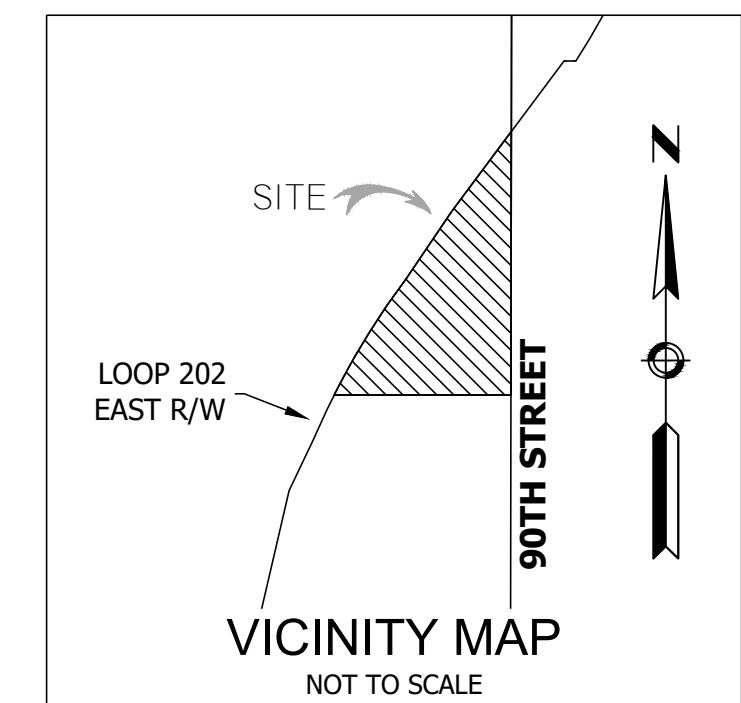
- MAG STANDARD SPECIFICATIONS AND DETAILS, 2020 EDITION.

GENERAL SURVEY NOTES

- THIS SURVEY IS BASED UPON A TITLE COMMITMENT PREPARED BY GRAND CANYON TITLE AGENCY, ORDER NO. 75000156-075-SC4-LER, AMENDMENT NO. 3 DATED MARCH 1, 2022.
- THE SURVEYOR HAS RELIED ON SAID TITLE COMMITMENT TO DISCLOSE ALL MATTERS OF RECORD AFFECTING THE SUBJECT PROPERTY. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER MATTERS THAT MAY AFFECT THE PROPERTY.
- THIS PROPERTY IS ZONED RS-43 BY THE CITY OF MESA.
- THERE ARE NO BUILDINGS ON THIS PROPERTY.

ABBREVIATIONS

AC	ASPHALT CONCRETE, ACRE
ACP	ASPHALT CONCRETE PAVEMENT
APN	ASSESSOR'S PARCEL NUMBER
BCHH	BRASS CAP IN HANDHOLE
BFE	BASE FLOOD ELEVATION
BLDG	BUILDING
BOC	BACK OF CURB
BOW	FINISHED GROUND AT BASE OF WALL
BSL	BUILDING SETBACK LINE
BTM	BOTTOM (ELEVATION)
C/L	CENTERLINE
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE BLOCK
CONT	CONTINUOUS
COR	CORNER
D/W	DRIVEWAY
DKT	DOCKET
E	EAST, EASTING
EL, ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GROUND
FH	FIRE HYDRANT
FND	FOUND
FOC	FACE OF CURB
FT ³	CUBIC FEET
G	GUTTER
GB	GRADE BREAK
HP	HIGH POINT
HW	HIGH WATER
HWSE	HIGH WATER SURFACE ELEVATION
INV	INVERT
LP	LOW POINT, LIQUID PROPANE
LSE	LANDSCAPE EASEMENT
MAS	MASONRY
N	NORTH, NORTHING
NIC	NOT IN CONTRACT (NOT A PART OF THE WORK)
NTS	NOT TO SCALE
OC	ON CENTER
P	PAVEMENT
PCC	PORTLAND CEMENT CONCRETE
P/L	PROPERTY LINE
PCR	PINAL COUNTY RECORDER
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS, RANGE
R/W, ROW	RIGHT OF WAY
RJ	RESTRAINED JOINT
S	SLOPE, SOUTH
SF	SQUARE FEET
SS	SANITARY SEWER
SW, S/W	SIDEWALK, SWALE
T	TELEPHONE, TOWNSHIP
TBM	TEMPORARY BENCHMARK
TCE	TEMPORARY CONSTRUCTION EASEMENT
TDE	TEMPORARY DRAINAGE EASEMENT
TEMP	TEMPORARY
TF	TOP OF FOOTING
TRW	TOP OF RETAINING WALL
TW	TOP OF WALL
TYP	TYPICAL
VC&G	VERTICAL CURB AND GUTTER
V _p	VOLUME PROVIDED
V _r	VOLUME REQUIRED
VNAE	VEHICLE NON-ACCESS EASEMENT
W	WATER, WEST
WSE	WATER SURFACE ELEVATION
WWM	WELDED WIRE MESH



EXISTING LEGEND

△	SECTION CORNER
●	BRASS CAP
•	MONUMENT AS NOTED
○	A.D.O.T. ALUMINUM CAP
⊙	SANITARY SEWER MANHOLE
—	SIGN
①	SCHEDULE B ITEM NO.
(C)	CALCULATED
(M)	MEASURED
(R)	RECORDED
— / — / —	SOUND BARRIER WALL
— - - - -	PROPERTY LINE
— - - - -	EASEMENT LINE
— OE —	OVERHEAD ELECTRIC
— S —	SANITARY SEWER LINE
— W —	WATER LINE
— T —	COMMUNICATION LINE

PROPOSED LEGEND

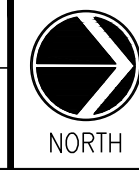
— — — — —	LIMITS OF GRADING
— 1510 —	MAJOR CONTOUR
— 1509 —	MINOR CONTOUR
— — — — —	SWALE
— W —	WATERLINE
— S —	SEWERLINE
⊙	WATER METER
⊙	SEWER MANHOLE
●	SEWER CLEANOUT
2.3%	GRADE DIRECTION
3:1	SLOPE DIRECTION

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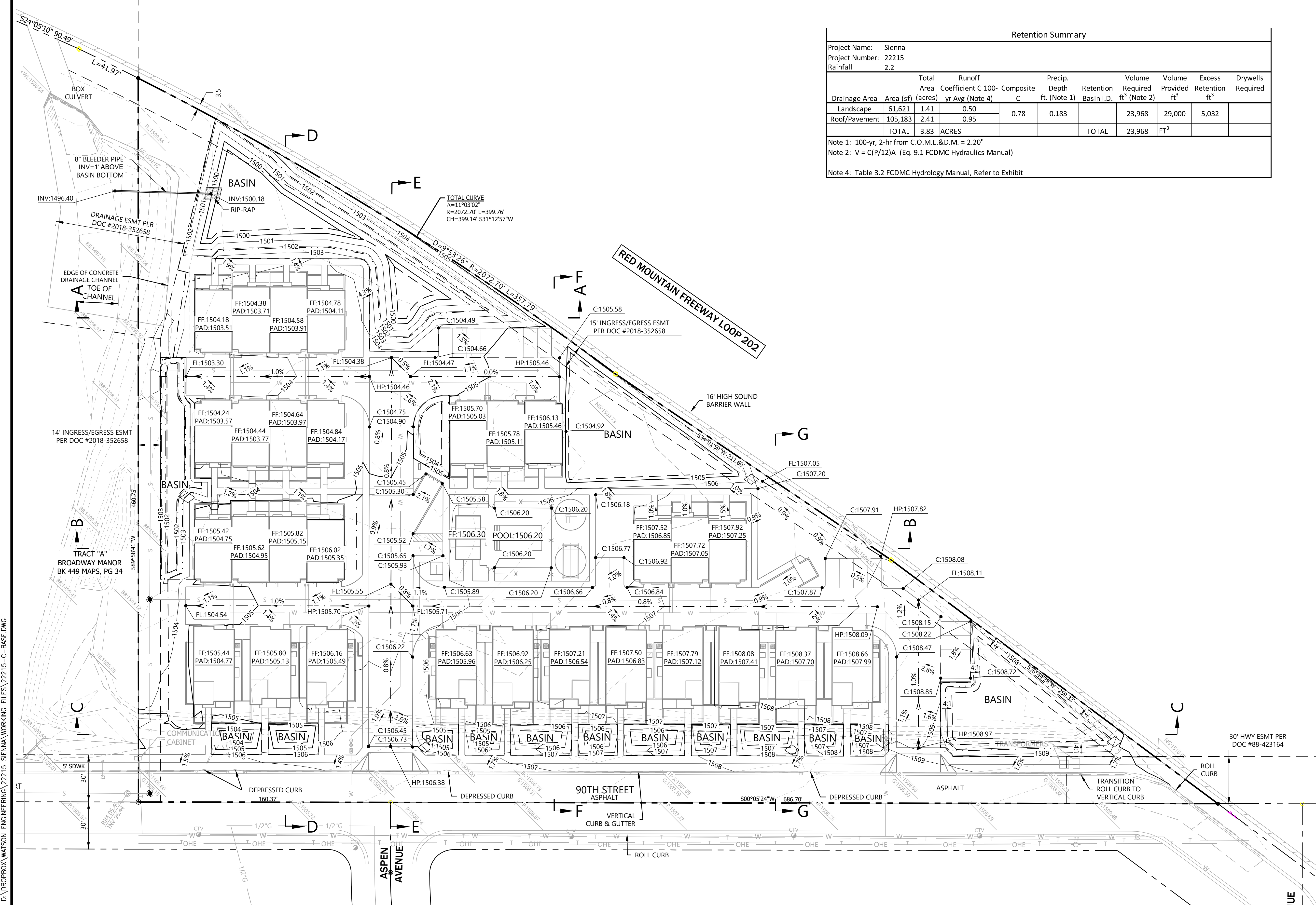
NO.	REVISION	DATE
1		

PRELIMINARY NOT FOR CONSTRUCTION 08/14/2023	WATSON CIVIL ENGINEERING www.watsoncivilengineering.com		
	SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS APN: 218-41-278D NO ADDRESS MESA, AZ 85208 MARICOPA COUNTY, ARIZONA		
COVER SHEET AND NOTES			
WCE PROJECT NO: 22215	DESIGNED BY: SRC	SHEET 1 OF 4	DRAWING C1



Retention Summary											
Project Name:	Sienna										
Project Number:	22215										
Rainfall:	2.2										
Drainage Area	Area (sf)	Area (acres)	Total Runoff Coefficient	100-yr Avg (Note 4)	Composite C	Precip. Depth (Note 1)	Retention Basin I.D.	Volume Required (Note 2)	Volume Provided	Excess Retention	Drywells Required
Landscape	61,621	1.41	0.50			0.78		23,968	29,000	5,032	
Roof/Pavement	105,183	2.41	0.95								
TOTAL	3.83	ACRES					TOTAL	23,968	FT³		

Note 1: 100-yr, 2-hr from C.O.M.E. & D.M. = 2.20"
Note 2: $V = C(P/12)A$ (Eq. 9.1 FCDMC Hydraulics Manual)
Note 4: Table 3.2 FCDMC Hydrology Manual, Refer to Exhibit



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NO.	REVISION	DATE
1		

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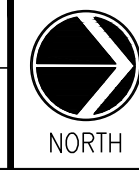
SIENNA RIDGE PRELIMINARY IMPROVEMENT PLANS
APN: 218-41-278D
NO ADDRESS MESA, AZ 85208
MARICOPA COUNTY, ARIZONA

GRADING AND DRAINAGE PLAN

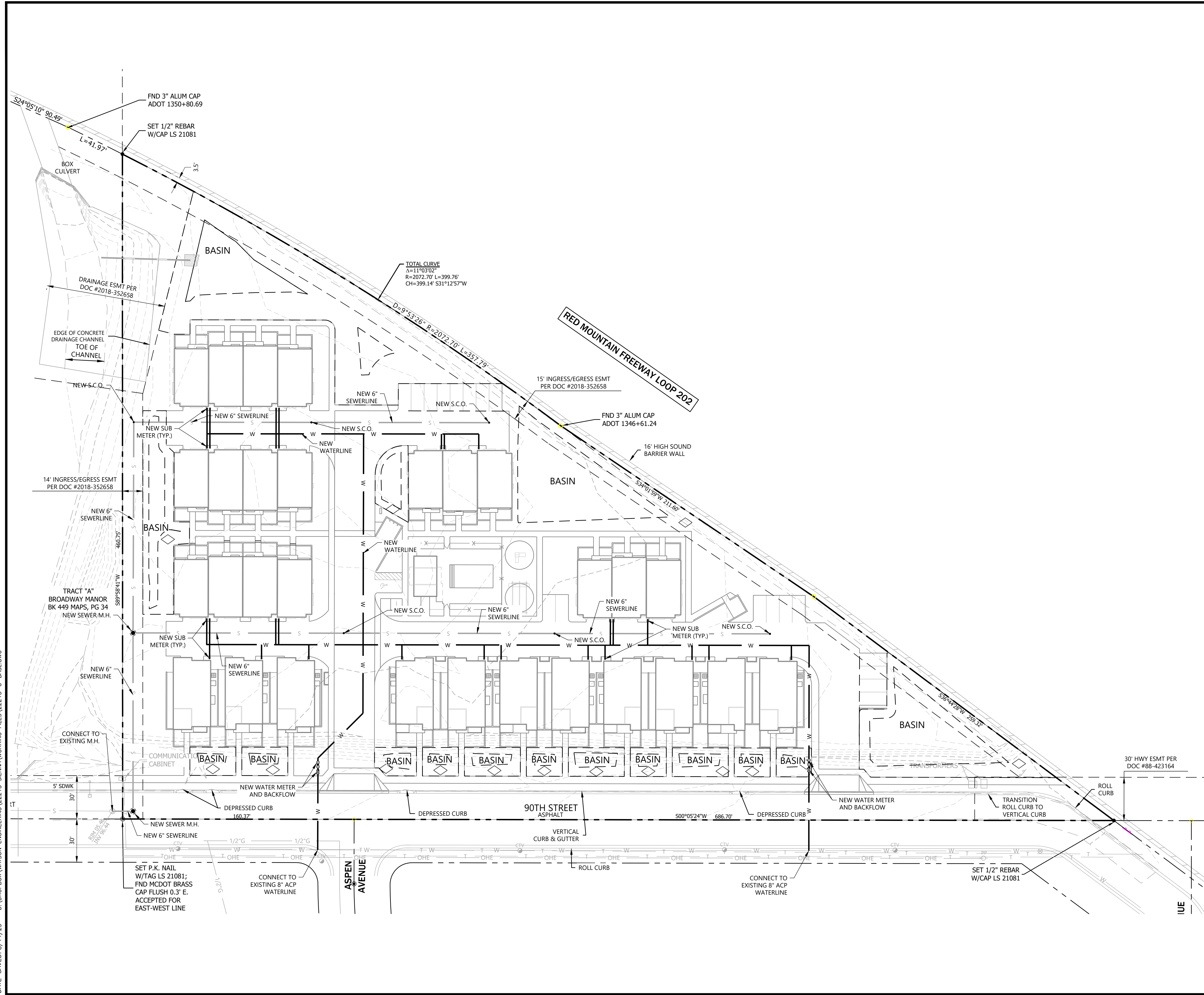
WCE PROJECT NO: 22215	DESIGNED BY: SRC	SHEET 2 OF 4	DRAWING C2
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PRELIMINARY NOT FOR CONSTRUCTION 08/14/2023

SCALE: 1" = 30'
ONE INCH AT FULL SCALE



BENCHMARK:
NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB,
SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD
(MAIN STREET) AND ELLSWORTH ROAD.
ELEVATION = 1530.02 FEET (CITY OF MESA NAVD 88
DATUM)



DATE: 8/14/23 D:\DROPOBOX\WATSON_ENGINEERING\22215_SIENNA_WORKING_FILES\22215-C-BASE.DWG



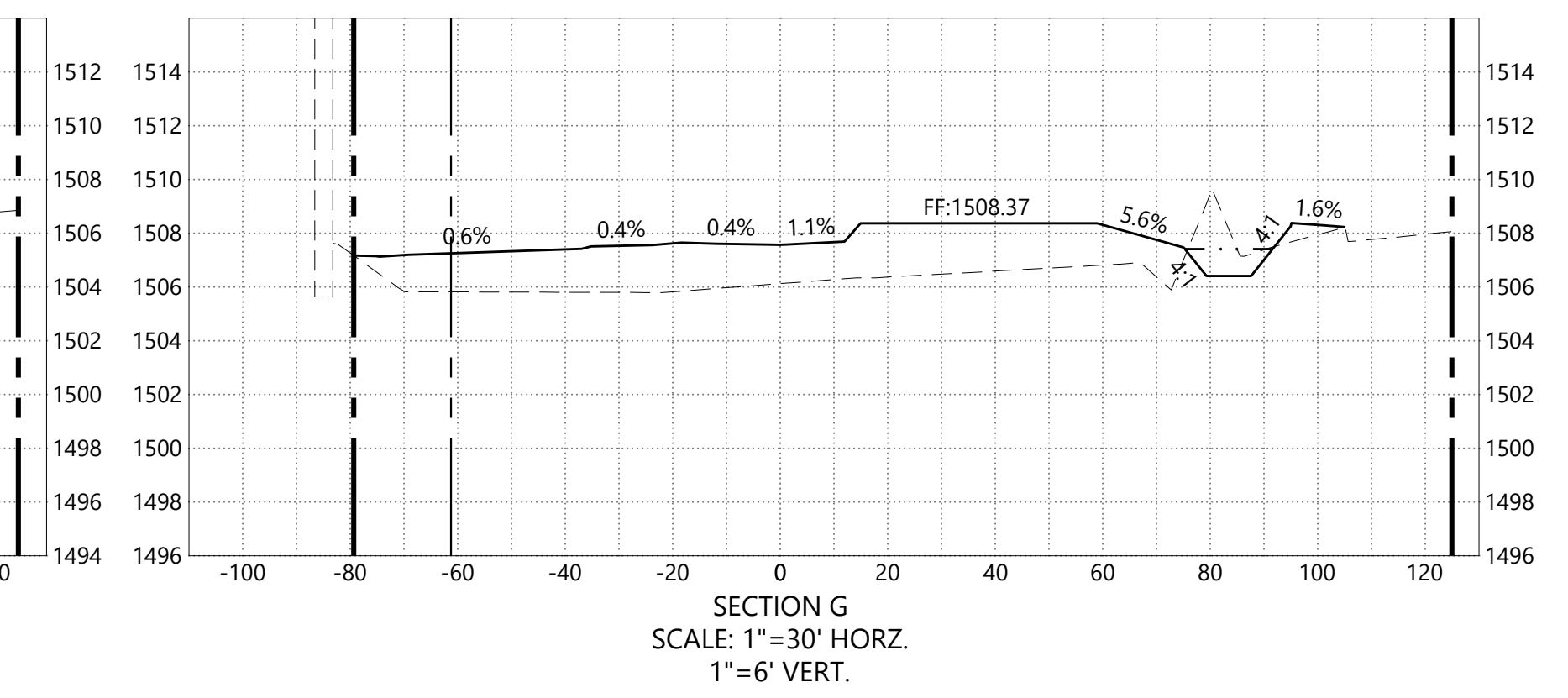
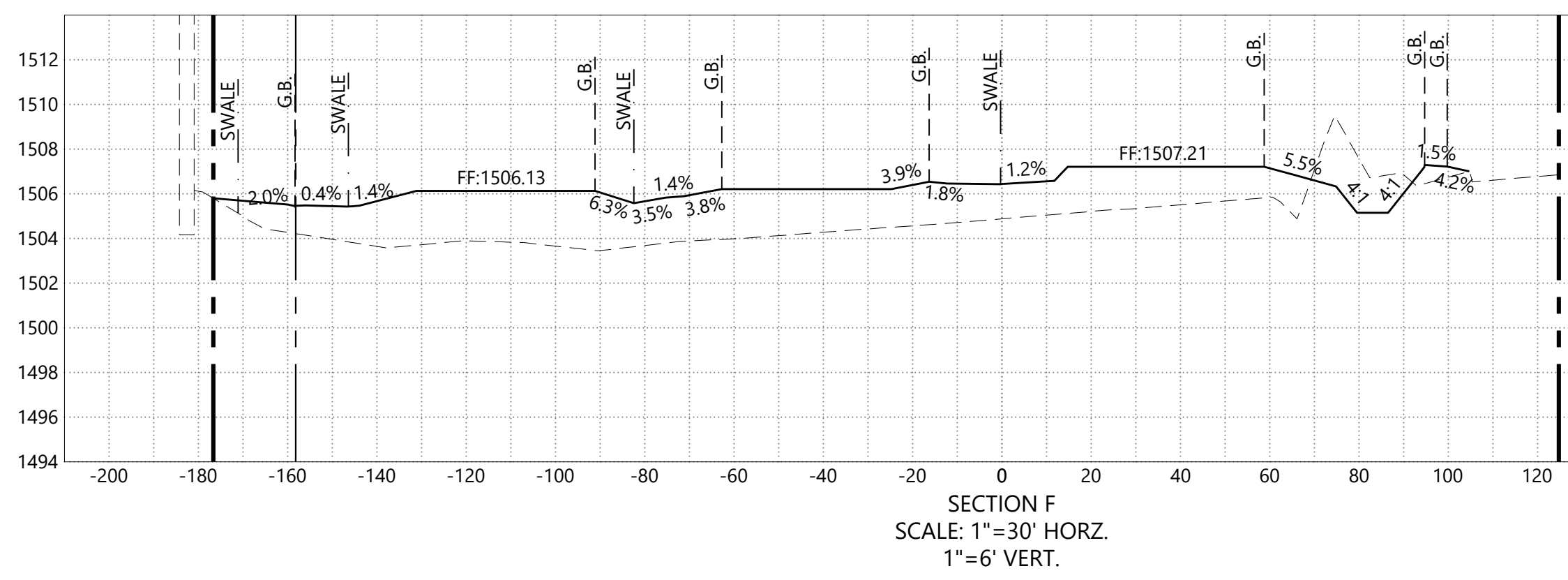
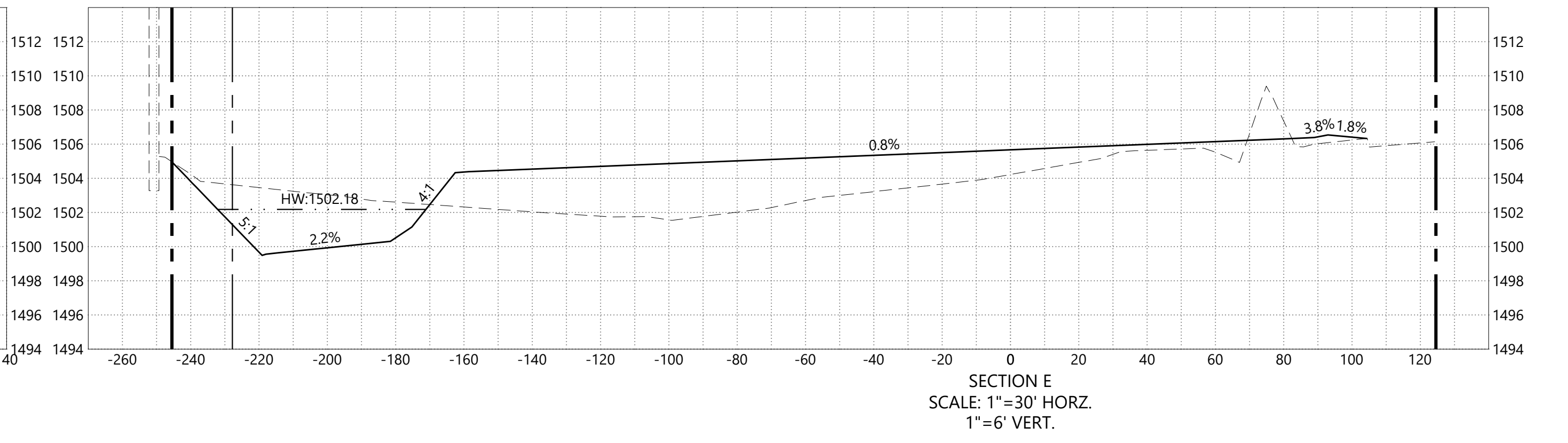
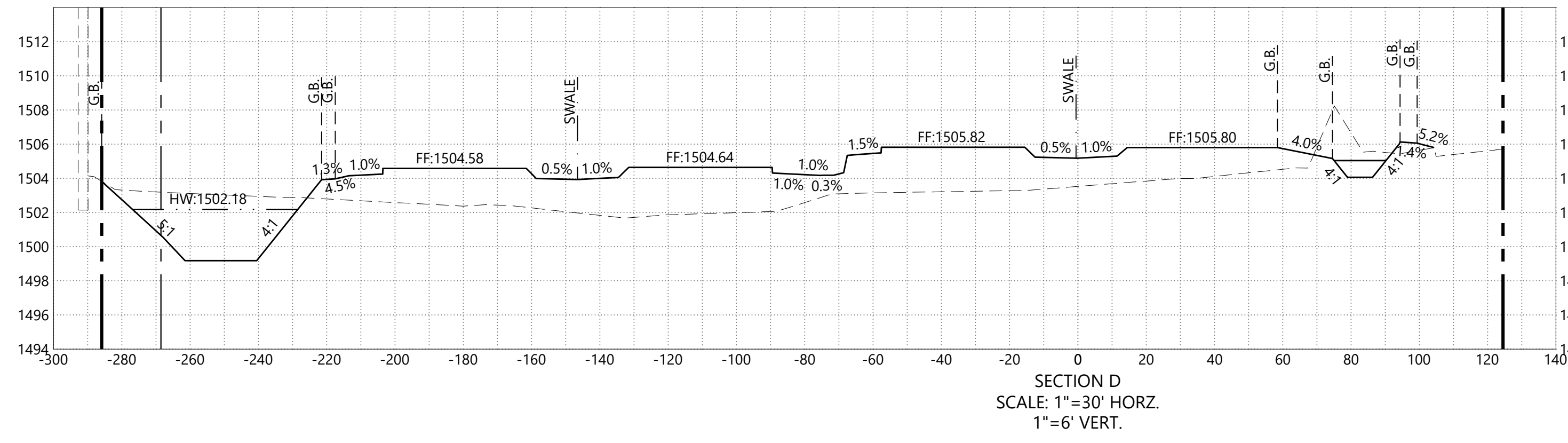
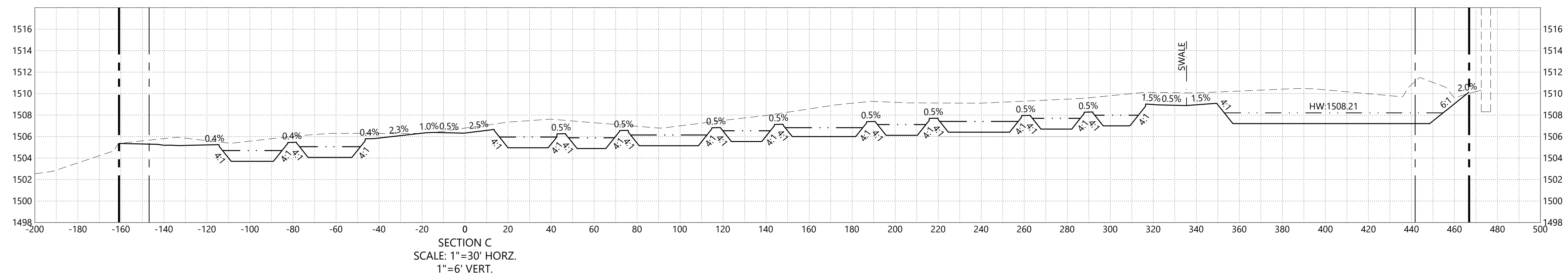
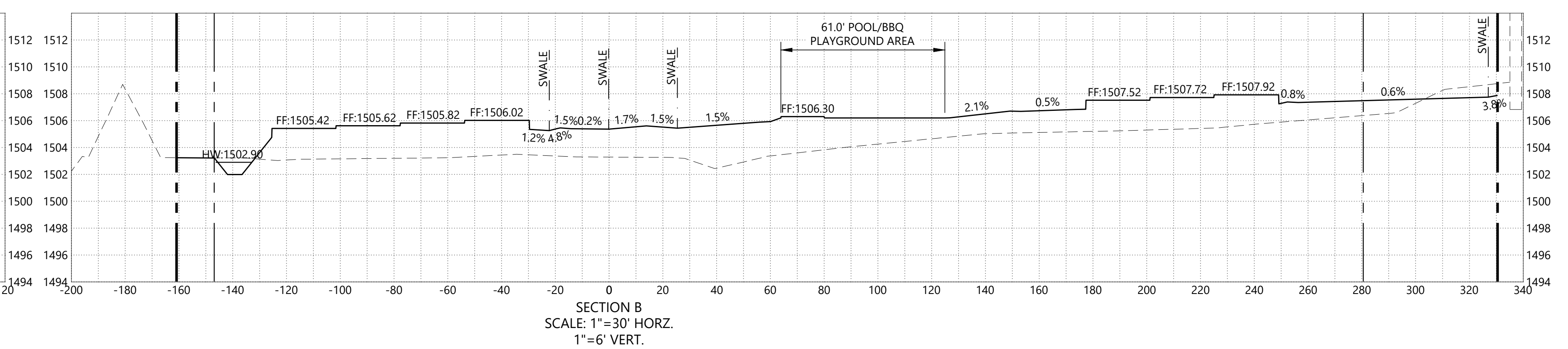
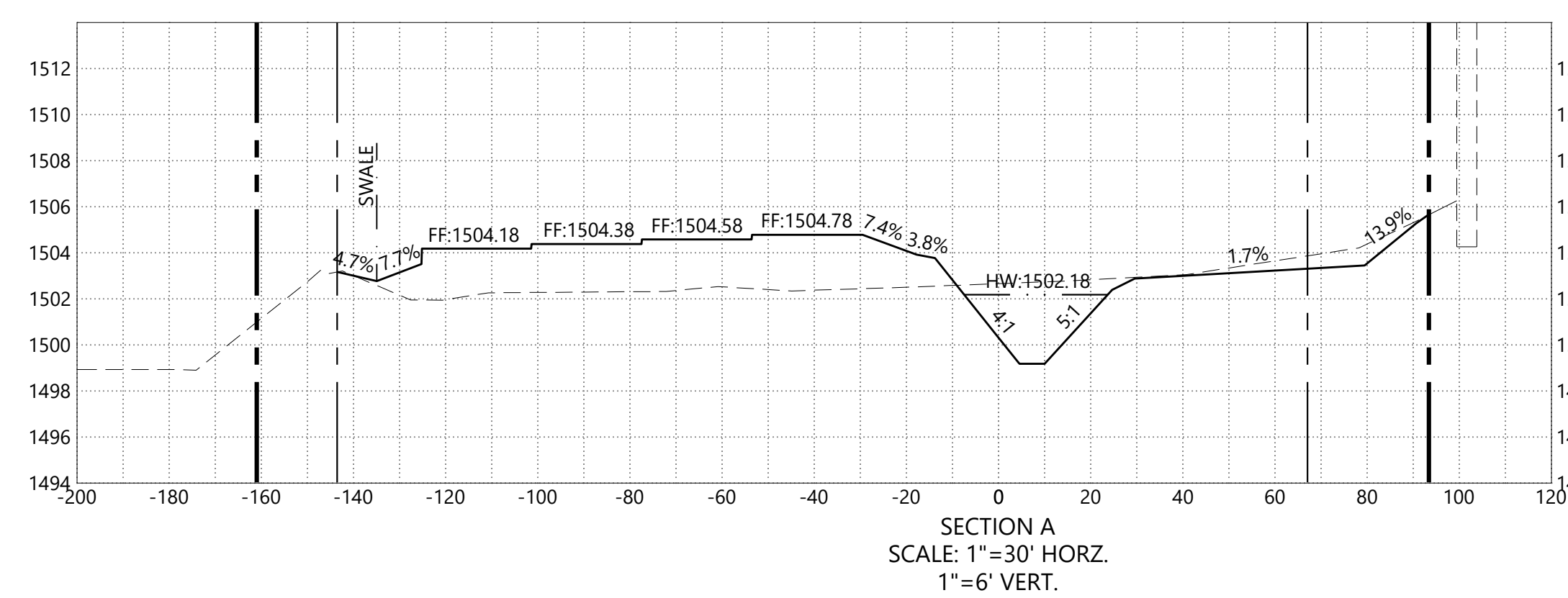
NO.	REVISION	DATE
1		

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	FIRE, SEWER AND WATER PLAN		

WCE PROJECT NO: 22215	DESIGNED BY: SRC	SHEET 3 OF 4	DRAWING C3
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SCALE: PER PLAN
 ONE INCH AT FULL SCALE

BENCHMARK:
 NAIL AND BRASS TAG IN TOP OF WEST MEDIAN CURB,
 SOUTH END, AT THE INTERSECTION OF APACHE BOULEVARD
 (MAIN STREET) AND ELLSWORTH ROAD.
 ELEVATION = 1530.02 FEET (CITY OF MESA NAVD 88
 DATUM)



DATE: 8/14/23 D:\DROPOBOX\WATSON_ENGINEERING\22215_SIENNA_WORKING_FILES\22215-C-BASE.DWG



NO.	REVISION	DATE
1		

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	SECTIONS		

WCE PROJECT NO: 22215	DESIGNED BY: SRC	SHEET 4 OF 4	DRAWING C4
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2158 E. Virginia Street
 Mesa, AZ 85213
 (480) 330-7192
 david@adgibsonarchitects.com

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SIENNA RIDGE

PROJECT
 29 SINGLE FAMILY DETACHED
 & ATTACHED LUXURY HOMES

OWNER
 SILVERADO DEVELOPMENT INC.

DRAWN BY
 DG

ISSUE
 8/11/23

RE-ISSUE
 MM.DD.YY

DESCRIPTION
 PRELIMINARY
 BUILDING
 MATERIALS

PERCENTAGES OF MATERIALS USED ON EXTERIOR WALLS:
 MATERIAL SURFACE AREA INCLUDING STUCCO AND SCORED STUCCO = 3,328 S.F.
 MATERIAL SURFACE AREA INCLUDING BOARD & BATTEN = 777 S.F.
 777 S.F./3,328 S.F. = 24% BOARD & BATTEN
 100% -24% = 76 % STUCCO

DETACHED HOUSING
 FRONT ELEVATIONS

A0.1



2158 E. Virginia Street
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david@adgibsonarchitects.com

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SIENNA RIDGE

PROJECT
29 SINGLE FAMILY DETACHED & ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
8/11/23

RE-ISSUE
MM.DD.YY

DESCRIPTION
PRELIMINARY
BUILDING
MATERIALS



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777 S.F./3,328 S.F. = 24% BOARD & BATTEN
100% -24% = 76 % STUCCO

DETACHED HOUSING
REAR ELEVATIONS



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david@adgibsonarchitects.com

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SIENNA RIDGE

PROJECT
29 SINGLE FAMILY DETACHED
& ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
8/11/23

RE-ISSUE
MM.DD.YY

DESCRIPTION
PRELIMINARY
BUILDING
MATERIALS

PERCENTAGES OF MATERIALS USED ON EXTERIOR WALLS:
MATERIAL SURFACE AREA INCLUDING STUCCO AND SCORED STUCCO = 4,088 S.F.
MATERIAL SURFACE AREA INCLUDING BOARD & BATTEN = 1,303 S.F.
1,303 S.F./4,088 S.F. = 31% BOARD & BATTEN
100% -31% = 69 % STUCCO

ATTACHED HOUSING
REAR ELEVATIONS



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 Mesa, AZ 85213
 (480) 330-7192
 david@adgibsonarchitects.com

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SIENNA RIDGE

PROJECT
 29 SINGLE FAMILY DETACHED
 & ATTACHED LUXURY HOMES

OWNER
 SILVERADO DEVELOPMENT INC.

DRAWN BY
 DG

ISSUE
 8/11/23

RE-ISSUE
 MM.DD.YY

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 1,303 S.F./4,088 S.F. = 31% BOARD & BATTEN
 100% - 31% = 69 % STUCCO

ATTACHED HOUSING
 FRONT ELEVATIONS

Sienna Ridge

*A Single-Family Home and Townhome Community
Citizen Participation Plan*



**Request for a Rezoning to RM-2 PAD with Site Plan on Approximately 3.7
Acres**

**Generally located east of the Loop 202 Freeway, at the NWC and SWC of E.
Aspen Avenue and South 90th Street**

**SUBMITTED TO:
City of Mesa Planning Division**

**PREPARED BY:
Iplan Consulting**

Prepared: February 2023



PURPOSE

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, and businesses in the area of the proposed residential project. Iplan Consulting, on behalf of 5228 S. Blackstone LLC, presents to these groups a request for a Multiple Residence (RM-2) rezoning with a Planned Area Development (PAD) overlay on approximately 3.7 acres located just east and south of the Loop 202 freeway, west of 90th Street. The existing zoning is RS-43 and the triangular shaped parcel is a remnant, under-utilized parcel left over after the freeway developed and was not needed by ADOT.

The plan has been prepared to clearly outline the applicant's intent to inform the community about the details and schedule surrounding the development request for rezoning and residential development. This plan will ensure that those who are impacted by the proposal have an adequate opportunity to learn about the project and provide comments back to the developer and the City.

Over the course of the plan, it is anticipated that comments will be received via email, phone, and letter to either the developer or the city. Those will be carefully collected and tracked, and provided in the form of a final Citizen Participation Report which is due to the City a minimum of 10 days prior to the PZ public hearing.

Also, as the applicant, we will host a neighborhood meeting to inform those interested in the project of the proposal details. This meeting may be held in person or via Zoom video conference rather than in person, and we will carefully track all of the attendees to create a virtual sign in sheet. We will notate each of the public's inquiry into a neighborhood meeting summary, where as we will present the question that was posed by a neighbor, then further outline the response provided to the neighbor by the applicant. We will include additional details such as the time the meeting began and ended, and ensure to note any further follow-up required with the neighbors as necessary. We also intend to present to the neighbors the prospective hearing schedule for the project once that is determined by staff. Based on the rolling "Planning and Zoning Board 2023 Meeting Calendar", it is anticipated that this project could be presented to PZ at their May 24, 2023 hearing. City staff contact information will be provided to the neighbors at that time in case they would like to follow up directly with the City.

The anticipated Citizen Participation Plan schedule for neighborhood outreach is as follows:

- 1) March 1, 2023 – Notice of Neighborhood Meeting sent to all property owners within 500' of subject property. The letter will be prepared to follow the City's preferred format from the Citizen Participation Plan guide provided to use. The exact date of the Neighborhood Meeting will be determined prior to March 1st notices being sent and is anticipated to occur either March 15th or 16th (Wednesday or Thursday) at 6:30pm via in person or Zoom video conference (or hybrid)

Sienna Ridge Townhomes

Iplan Consulting



- 2) March 15-16, 2023 @ 6:30pm – Neighborhood Meeting via in-person, Zoom video conference, or hybrid

- 3) May 5, 2023 - Notice of Public Hearings will be prepared by the applicant, but sent by City staff, to all property owners within 500’ of subject property. The letter will be prepared to follow the City’s preferred format from the Citizen Participation Plan guide provided to use and dropped off to City Staff on or before May 5th. Public hearing sign(s) will be placed on the property per the City’s adopted sign template by May 9th. The PZ date is anticipated to be Wednesday, May 24, 2023 at 4:00pm in City Council Chambers.

The CC dates for the project are projected to be in June 2023 with Ordinance introduction anticipated on June 19, 2023 and Ordinance adoption on the second regularly scheduled meeting for July 3, 2023. We will coordinate with City staff to ensure we can publicly notice for both the PZ and CC hearing dates on the same letter once those dates are confirmed during the project’s 2nd City review.

- 4) May 14, 2023 – Citizen Participation Report due to City Staff

- 5) May 24, 2023 – PZ public hearing on the rezoning and site plan “combo” application.

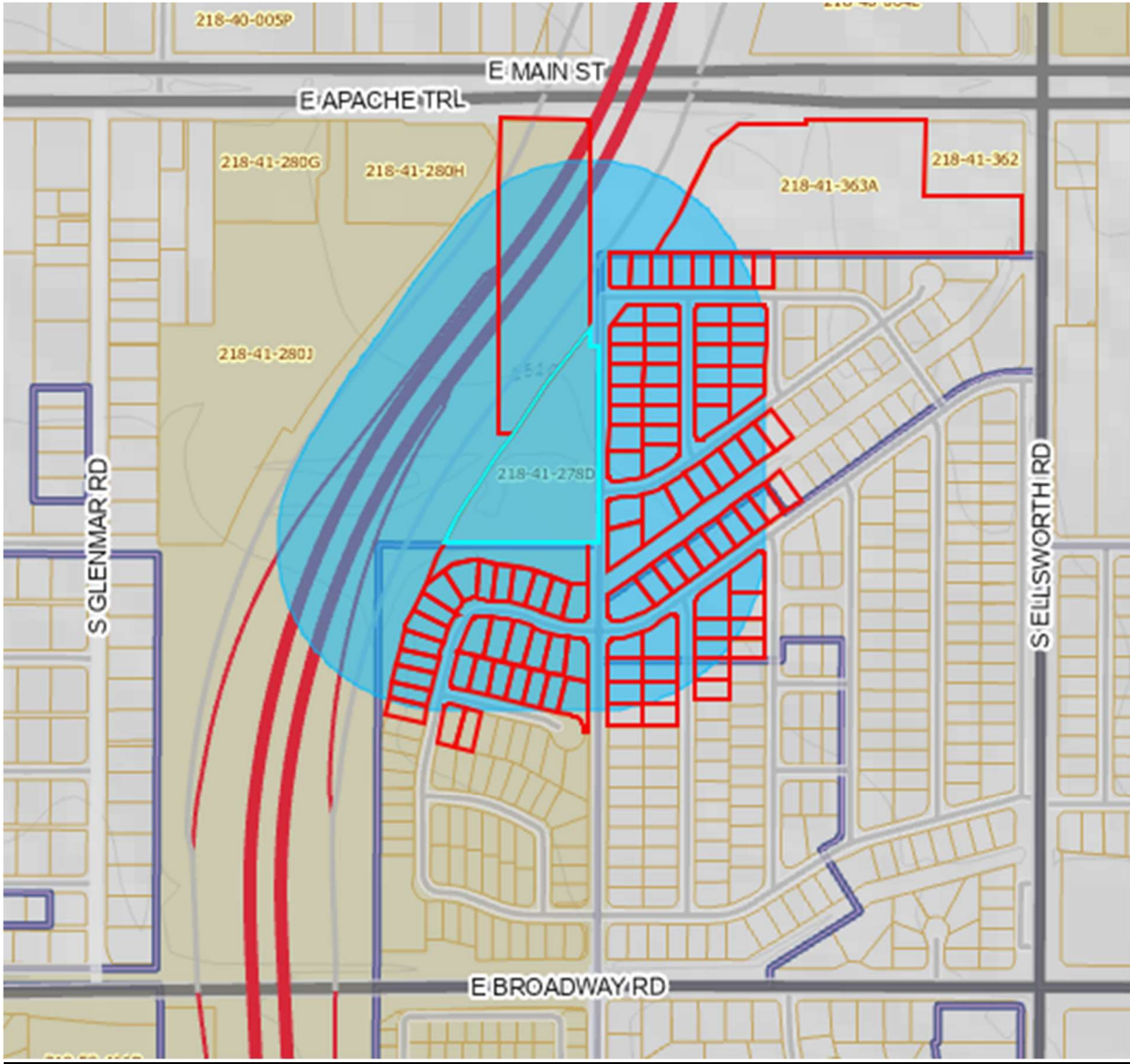
- 6) June 19, 2023 – CC public hearing, ordinance introduction

- 7) July 3, 2023 – CC ordinance adoption

Sienna Ridge Townhomes



NEIGHBORHOOD NOTIFICATION 500' BUFFER MAP





NEIGHBORHOOD NOTIFICATION 500' ADDRESS LIST

Parcel Number	Owner	Property Address
218-41-278D	5228 S BLACKSTONE LLC	
218-41-153	ACHINO RONALD	227 S 90TH PL MESA 85208
218-41-294	AMH 2014-2 BORROWER LLC	244 S 89TH ST MESA 85208
218-41-154	ANDERSON JOHN MICHAEL	233 S 90TH PL MESA 85208
218-41-129	APACHE PLACE LLC	227 S 90TH ST MESA 85208
218-41-279A	ADOT	8955 E APACHE MESA 85207
218-41-245	ARIZONA STATE OF	9014 E ALDER AVE MESA 85208
218-41-356	ATKINS JAMES/TAMMY	8953 E BALSAM AVE MESA 85208
218-41-268	BARASHKOVA TAMARA	129 S 90TH PL MESA 85208
218-41-127	BOYD DARLENE D	9102 E BALSAM AVE MESA 85208
218-41-123	BOYKIN KEN/STANLEY-BOYKIN KRISTI L	9024 E BALSAM AVE MESA 85208
218-41-358A	BROADWAY MANOR HOA	202 S 90TH ST MESA 85208
218-41-114	BRUCE E GORDON DECLARATION OF TRUST	217 S 90TH PL MESA 85208
218-41-289	BUSSO JORGE/ESTOPELLAN LUZ MARIA	214 S 89TH ST MESA 85208
218-41-264	CAIN MICHAEL L	101 S 90TH PL MESA 85208
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Sienna Ridge Townhomes

Iplan Consulting



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Sienna Ridge

A Single-Family Home and Townhome Community Citizen Participation Report



**Request for a Rezoning to RM-2 PAD with Site Plan on Approximately 3.7
Acres**

**Generally located east of the Loop 202 Freeway, at the NWC and SWC of E.
Aspen Avenue and South 90th Street**

**SUBMITTED TO:
City of Mesa Planning Division**

**PREPARED BY:
Iplan Consulting**

**Plan Prepared: February 2023
Report Prepared: August 2023**



August 29, 2023

Overview:

This report provides the results of the implementation of the Citizen Participation Plan for Sienna Ridge. This site is Generally located east of the Loop 202 Freeway, at the NWC and SWC of E. Aspen Avenue and South 90th Street and is an application for the rezoning of 3.7 acres from AG to RM-2 PAD for 29 single-residence and townhome housing units. This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, summary sheets, and other materials are attached.

Contact:

Jason Sanks, Iplan Consulting
3317 S. Higley Road #114-622
Gilbert, AZ 85297
Phone: (602) 326-0581
Email: jason@iplanconsulting.com

Neighborhood Meeting:

The following date and location of the neighborhood meeting where citizens were invited to discuss the proposal (Notice letter and Summary are attached)

- 1) April 20, 2023 @ 6:30pm – Neighborhood Meeting held via Zoom video conference. Only one neighbor attended and expressed support for the project. She lives in Broadway Manor to our south and is also involved in the Broadway Manor Homeowners Association. Our team followed up with her the next day as a courtesy to her in case she had further questions in the future. (See attached Summary)

Correspondence and Telephone Calls:

- 1) April 5, 2023 – Notice of Neighborhood Meeting sent to all property owners within 500' of subject property. The letter was prepared to follow the City's preferred format from the Citizen Participation Plan guide, but also included additional information such as the colorized landscape plan, 3D images, and building elevations. (See attached Notice)
- 2) August 25, 2023 – Property posting was provided by a sign installed at the intersection of 90th Street and Aspen and included all of the required information as shown on the City's hearing sign posting template. An affidavit and photos of the sign were provided to the City. (See attached Affidavit)
- 3) August 29, 2023 - Notice of Public Hearings were prepared by the applicant, but sent by City staff, to all property owners within 500' of subject property. The letters were prepared following the City's preferred format from the Citizen Participation Plan guide provided and dropped off to City Staff on August 24, 2023, in advance of the August 29, 2023, deadline. (See attached Public Meeting Notice)



Results:

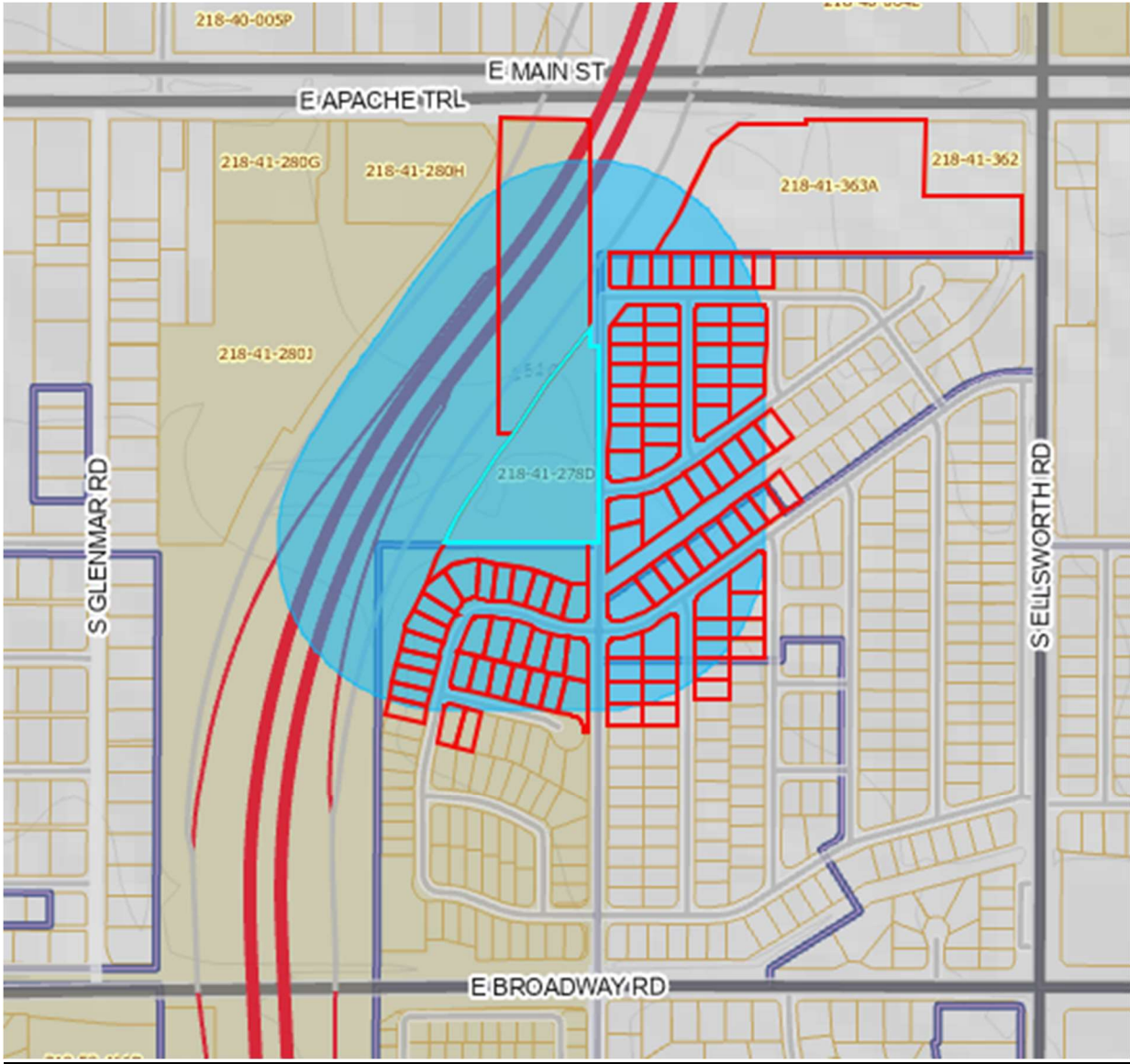
There were 103 people or entities on the contact list as of the date of this Citizen Participation Report (see attached).

- 1) Summary of concerns are noted in the Neighborhood Meeting Summary and can be re-stated here as one neighbor attended in support of the project. She also represented the Broadway Manor HOA and they were pleased the property would develop as they had concerns about dust and urban camping on the vacant lot. She was also pleased with the architecture of the project. Her only concern was if there would be a lot of traffic associated with the project. She was advised that no, the Traffic Impact Study indicated that 90th Street (a collector) was well-suited to handle the marginal increase in traffic.
- 2) All concerns were addressed through the conversation between the neighbor and the development team.

Sienna Ridge Townhomes



NEIGHBORHOOD NOTIFICATION 500' BUFFER MAP





NEIGHBORHOOD NOTIFICATION 500' ADDRESS LIST

Parcel Number	Owner	Property Address
218-41-278D	5228 S BLACKSTONE LLC	
218-41-153	ACHINO RONALD	227 S 90TH PL MESA 85208
218-41-294	AMH 2014-2 BORROWER LLC	244 S 89TH ST MESA 85208
218-41-154	ANDERSON JOHN MICHAEL	233 S 90TH PL MESA 85208
218-41-129	APACHE PLACE LLC	227 S 90TH ST MESA 85208
218-41-279A	ADOT	8955 E APACHE MESA 85207
218-41-245	ARIZONA STATE OF	9014 E ALDER AVE MESA 85208
218-41-356	ATKINS JAMES/TAMMY	8953 E BALSAM AVE MESA 85208
218-41-268	BARASHKOVA TAMARA	129 S 90TH PL MESA 85208
218-41-127	BOYD DARLENE D	9102 E BALSAM AVE MESA 85208
218-41-123	BOYKIN KEN/STANLEY-BOYKIN KRISTI L	9024 E BALSAM AVE MESA 85208
218-41-358A	BROADWAY MANOR HOA	202 S 90TH ST MESA 85208
218-41-114	BRUCE E GORDON DECLARATION OF TRUST	217 S 90TH PL MESA 85208
218-41-289	BUSSO JORGE/ESTOPELLAN LUZ MARIA	214 S 89TH ST MESA 85208
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NOTICE OF ONLINE NEIGHBORHOOD MEETING

Project Name: Sienna Ridge Single-Family Homes and Townhomes - Rezoning

Project Location: 3.7 Acres at the northwest corner of E. Aspen Ave & 90th Street

Dear Neighbor,

On behalf of the owner/developer of the property, this letter is being sent to notify you of a proposed rezoning of 3.7 acres of property at the northwest corner of E. Aspen Ave. and 90th Street (Loop 202 Freeway to west and north). We are requesting to rezone the remnant ADOT parcel from RS-43 (Single-Residence) to RM-2 (Multiple Residence) with a Planned Area Development (PAD) to build new single-family homes and townhomes with a centralized amenity area. The small enclave of 29 homes will have single-family homes aligned along 90th Street with townhomes interior to the property surrounding a pool, clubhouse, BBQ station, and children's play area. Please see the project "Site Plan" attached to this letter for reference. Below is a street view of what the single-family homes would look like along 90th Street:



The centralized amenity area will provide a beautiful area for the new residents to enjoy their community. They can swim, barbecue with friends, allow their children to play, and enjoy the clubhouse. The pool area is in the middle of the community, so there will not be any noise or other nuisances to the surrounding community from this outdoor area. A perspective view of the amenity area is shown as follows:

Amenity Area Features

- Clubhouse
- Pool
- Lounge Chairs
- Tot Lot
- BBQ
- Tables/Chairs
- Picnic Table
- Guest Parking





As part of our Citizen Participation Plan and to notify and involve affected and interested members of the community, we will be holding an open Neighborhood Meeting ONLINE to discuss any issues or concerns relating to this project.

The online Neighborhood Meeting information is as follows:

Date:	Thursday, April 20, 2023
Start Time:	6:30 PM
Location:	ONLINE – Zoom Meeting ID: <u>85746582631</u> , Passcode: <u>293544</u>

Since the meeting is being held online, you may choose to participate in the meeting by using your computer, smartphone or tablet. Please use the Zoom application if you already have it installed on your device. If you do not already have it installed, you can use your web browser and access www.zoom.com and select the “Join A Meeting” link at the top of the web page. From there, you can enter the Meeting ID and Passcode provided above. Please note that if you are using a desktop computer rather than a laptop, you will need a microphone/webcam and speakers to listen and be heard in the meeting.

If you would like to participate by telephone only, or if your computer does not have a microphone/webcam and speakers, you can call into: (346) 248-7799. You will need the Meeting ID and Passcode shown above to join the call. We appreciate your time and consideration and look forward to your attendance in the online meeting. Please also note that if you cannot attend the neighborhood meeting but would like additional information or wish to share your comments or concerns, you are welcome to call or email me.

Thanks,

Jason Sanks

Iplan Consulting

V: 602-326-0581

E: Jason@iplanconsulting.com



Single-Family Homes – Building Elevations



STREET SCENE OF SINGLE FAMILY HOMES ON 90TH STREET



FRONT ELEVATION PLAN 4

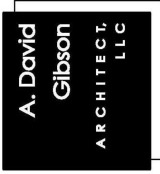
FRONT ELEVATION PLAN 3

FRONT ELEVATION PLAN 4

Townhomes – Building Elevations



FRONT ELEVATION - FOURPLEX



3129 E. Virginia Street
 Suite 100
 Denver, CO 80202
 (303) 850-7102
 david@adgibsonarchitects.com

The design represented by these drawings may not be electronically, photographically, or otherwise be copied without the written authorization of A. David Gibson, Architects, LLC.

SIENNA RIDGE

PROJECT
 29 SINGLE FAMILY DETACHED
 & ATTACHED LUXURY HOMES

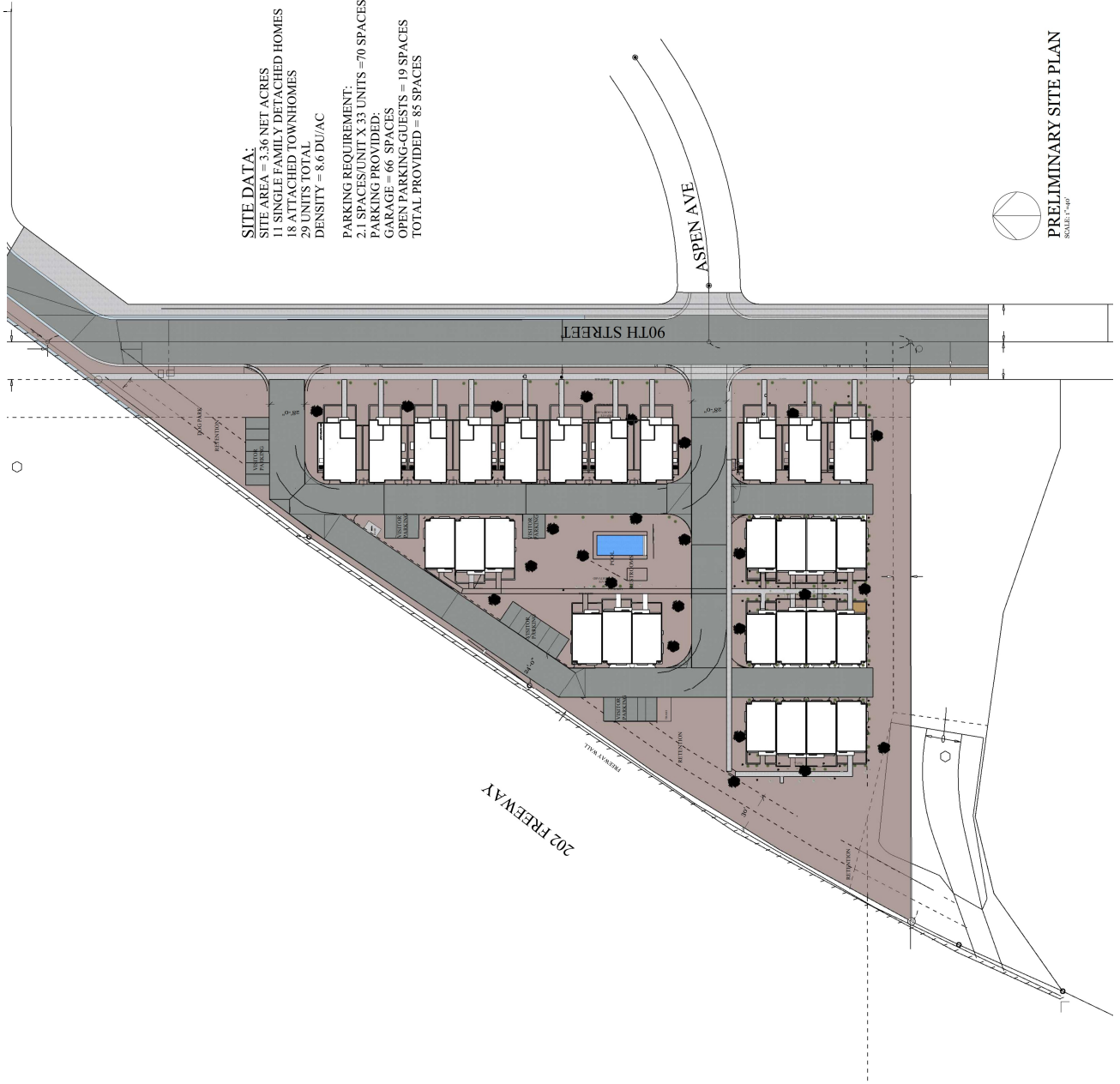
OWNER
 SILVERADO DEVELOPMENT INC.

DRAWN BY
 DG

ISSUE
 4/13/22

RE-ISSUE
 ARI.0001.Y

DESCRIPTION
 PRELIMINARY
 SITE PLAN



SITE DATA:
 SITE AREA = 3.6 NET ACRES
 11 SINGLE FAMILY DETACHED HOMES
 18 ATTACHED TOWNHOMES
 29 UNITS TOTAL
 DENSITY = 8.0 DU/AC

PARKING REQUIREMENT:
 2.1 SPACES/UNIT X 33 UNITS = 70 SPACES
PARKING PROVIDED:
 GARAGE = 66 SPACES
 OPEN PARKING-GUESTS = 19 SPACES
TOTAL PROVIDED = 85 SPACES



PRELIMINARY SITE PLAN
 SCALE: 1"=40'

A0.1

NEIGHBORHOOD MEETING SUMMARY

Iplan Consulting



Project Name: Sienna Ridge Single-Family Homes and Townhomes
Project Location: NWC and SWC of E. Aspen Ave. and S. 90th St.
Mesa, AZ

Meeting Date: April 20, 2023
Meeting Time: 6:30pm
Location: via Zoom video conference

Attendees: Applicants, Greg Davis and Jason Sanks. Owner, Margaret Pacult. One Neighbor, Diane Wingerson.

Summary: Iplan representative Jason Sanks opened the meeting at 6:30pm and was joined by Greg Davis, Margaret Pacult, and Diane Wingerson - a neighbor from Broadway Manor. Mr. Sanks presented that the purpose of the neighborhood meeting was to discuss the project's rezoning case details, outline the process of rezoning and site plan review at the City, and to answer any questions that the public may have.

Since just Ms. Wingerson attended the meeting, the presentation largely focused on a conversation between Mr. Sanks and Ms. Wingerson. Ms. Wingerson expressed support for the project and said that she was happy to see that the vacant, dirt lot would be developing into new homes. Currently, there is a general concern in the neighborhood that the lot could be used for urban camping by the homeless, or that on occasion could be used by off-roaders that would make noise and kick up dust. She noted that based on the visuals provided to her in the letter and in the meeting presentation, Sienna Ridge is a good-looking project. She also said that although she already had some indication that the HOA was supportive, she would follow up with them after the meeting and let Iplan know if there were any concerns.

Ms. Wingerson made one note that she wanted to be sure that there would not be a significant traffic increase expected. Mr. Sanks reviewed this with her and stated that the 29 additional units would add some cars to the road but in the context of the hundreds of existing homes around the site, the increase would be fairly minimal and that 90th Street was a collector roadway well-suited to handle the traffic. He also stated that a Traffic Impact Statement had been provided to the City so that the traffic impacts could be more closely evaluated.

Mr. Sanks ended the Zoom video conference meeting at 6:45pm after finishing his conversation with Ms. Wingerson.

Following the meeting, Mr. Sanks shared the PowerPoint presentation from the neighborhood meeting via email to Ms. Wingerson in case she wanted to share it with the HOA. She confirmed receipt of the presentation in an email response. Since that time, Mr. Sanks has not had additional communication with Ms. Wingerson.

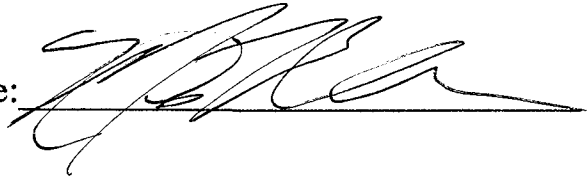
AFFIDAVIT OF PUBLIC POSTING

Date: August 28, 2023

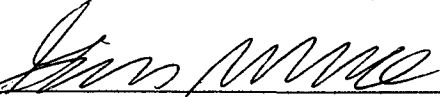
I, Mario Mangiamele, AICP, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to Case #ZON23-00140 on the 28th day of August, 2023. At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

**SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5”
BY 11” SHEET OF PAPER WITH THIS AFFIDAVIT.**

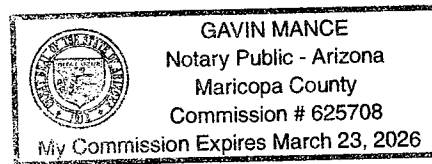
Applicant's/Representative's signature: _____



SUBSCRIBED AND SWORN before me this 29 day of August, 2023.



Notary Public



Case Number: ZON23-00140

Project Name: Sienna Ridge

**CITY OF MESA
PUBLIC NOTICE**

ZONING HEARING

**PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA**

4:00 PM DATE: SEPTEMBER 13, 2023

CASE: ZON23-00140

**Request: Rezone from Single Residence-43 (RS-43)
to Multiple Residence-2 with a Planned Area
Development overlay (RM-2 PAD) and Site Plan
Review. This request will allow for a multiple
residence development.**

Applicant: JASON SANKS

Phone: (602) 326-0581

Planning Division (480) 644-2385

Posting Date: 08-29-2023

**CITY OF MESA
PUBLIC NOTICE**

ZONING HEARING

**PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA**

4:00 PM DATE: SEPTEMBER 13, 2023

CASE: ZON23-00140

**Request: Rezone from Single Residence-43 (RS-43)
to Multiple Residence-2 with a Planned Area
Development overlay (RM-2 PAD) and Site Plan
Review. This request will allow for a multiple
residence development.**

Applicant: JASON SANKS

Phone: (602) 326-0581

Planning Division (480) 644-2385

Posting Date: 08-29-2023



Dear Neighbor,

We have applied for a Rezone from Single Residence-43 (RS-43) to Multiple Residence-2 with a Planned Area Development overlay (RM-2 PAD) and Site Plan Review for the property located within the 100 block of South 90th Street (west side). This request is for development of a multiple residence development of single-family homes and townhomes. The case number assigned to this project is ZON23-00140.

This letter is being sent to all property owners within 500 feet of the property, and Homeowner's Associations within ½ mile, at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at (602) 326-0581 or e-mail me at jason@iplanconsulting.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on September 13, 2023 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **825 0808 5605** and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **825 0808 5605** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Joshua Grandlienard of their Planning Division staff. He can be reached at 480-644-4691 or Joshua.Grandlienard@MesaAZ.gov should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Jason Sanks
Iplan Consulting



A. David Gibson
ARCHITECT, LLC

2158 E. Virginia Street
Mesa, AZ 85213
(480) 350-7192
david@adgibsonarchitects.com

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SIENNA RIDGE



EXP. DATE 03/31/2024

PROJECT
29 SINGLE FAMILY DETACHED
& ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
4/21/23

RE-ISSUE
08/10/23

DESCRIPTION
PRELIMINARY
SITE PLAN

SITE DATA

PROJECT:
29 SINGLE FAMILY DETACHED & ATTACHED LUXURY HOMES
OWNER: SILVERADO DEVELOPMENT INC.

SETBACKS:
FRONT (BOTH PLACES - EAST SIDE)
30'-0" SETBACK FROM PROPERTY LINE
REAR INTERIOR - WEST SIDE
30'-0" SETBACK FROM PROPERTY LINE
SIDE (INTERIOR - SOUTH SIDE)
35'-0" SETBACK FROM PROPERTY LINE

PRIVATE AREA OPEN SPACE:
3-BEDROOM UNIT REQUIRED: 120 SF
PROVIDED: 740 SF (SF-D), 233 SF (SF-A)

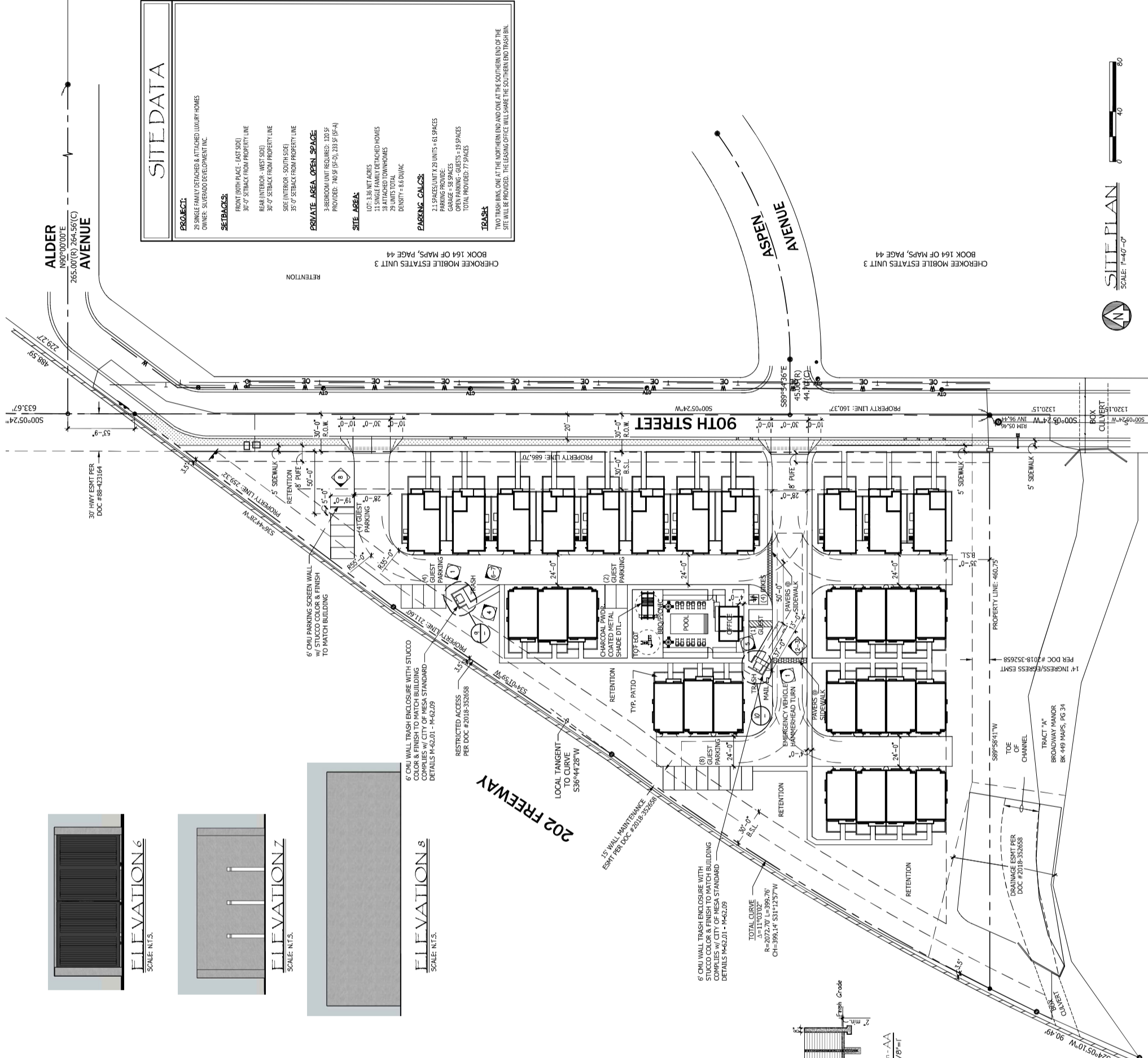
SITE AREA:
LOT: 3.36 NET ACRES
11 SINGLE FAMILY DETACHED HOMES
18 ATTACHED LUXURY HOMES
29 UNITS TOTAL
DENSITY = 8.6 DU/AC

PARKING CALCULATIONS:
1.1 SPACES/UNIT, 29 UNITS = 61 SPACES
PARKING SPACES PROVIDED: 61 SPACES
GARAGE = 58 SPACES
OPEN PARKING - GUESTS = 19 SPACES
TOTAL PROVIDED: 77 SPACES

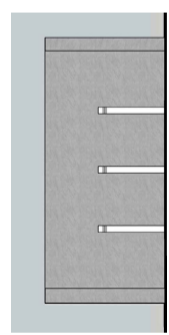
TRASH:
TWO TRASH BINS, ONE AT THE NORTHERN END AND ONE AT THE SOUTHERN END OF THE SITE WILL BE PROVIDED. THE LEASING OFFICE WILL SHARE THE SOUTHERN END TRASH BIN.

BOOK 164 OF MAPS, PAGE 44
CHEROKEE MOBILE ESTATES UNIT 3

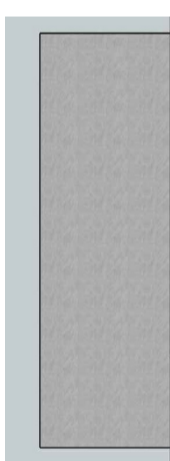
BOOK 164 OF MAPS, PAGE 44
CHEROKEE MOBILE ESTATES UNIT 3



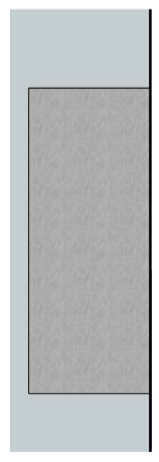
ELEVATION 6
SCALE: N.T.S.



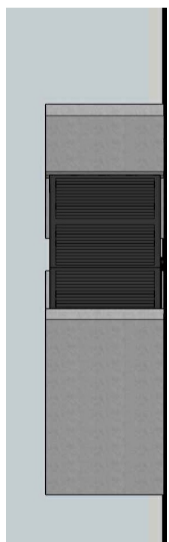
ELEVATION 2
SCALE: N.T.S.



ELEVATION 8
SCALE: N.T.S.



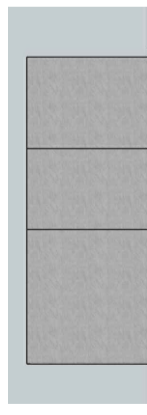
ELEVATION 1
SCALE: N.T.S.



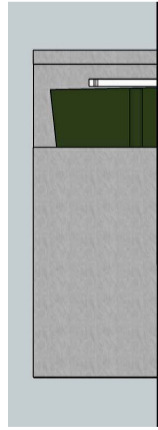
ELEVATION 2
SCALE: N.T.S.



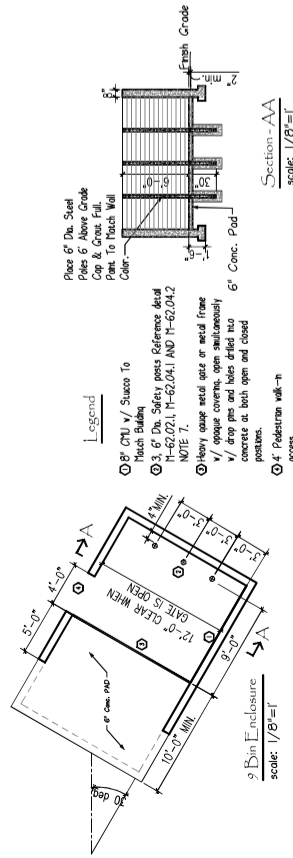
ELEVATION 3
SCALE: N.T.S.



ELEVATION 4
SCALE: N.T.S.



ELEVATION 5
SCALE: N.T.S.



NOTE:
REFER TO ATTACHED SHEET A0.1 FOR CITY OF MESA STANDARD DETAILS M-62.02.1, M-62.04.1, M-62.04.2 FOR TYPICAL BIN ENCLOSURES.



A0.1

SINGLE-FAMILY HOMES - FRONT ELEVATION



**A. David
Gibson**
ARCHITECT,
LLC

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Mesa, AZ 85213
(480) 330-7192
david@adgibsonarchitects.com

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SIENNA RIDGE

PROJECT
29 SINGLE FAMILY DETACHED
& ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
8/11/23

RE-ISSUE
MM.DD.YY

DESCRIPTION
PRELIMINARY
BUILDING
MATERIALS

PERCENTAGES OF MATERIALS USED ON EXTERIOR WALLS:
MATERIAL SURFACE AREA INCLUDING STUCCO AND SCORED STUCCO = 3,328 S.F.
MATERIAL SURFACE AREA INCLUDING BOARD & BATTEN = 777 S.F.
777 S.F./3,328 S.F. = 24% BOARD & BATTEN
100% -24% = 76% STUCCO

DETACHED HOUSING
FRONT ELEVATIONS

A0.1

Townhomes - Front Elevation

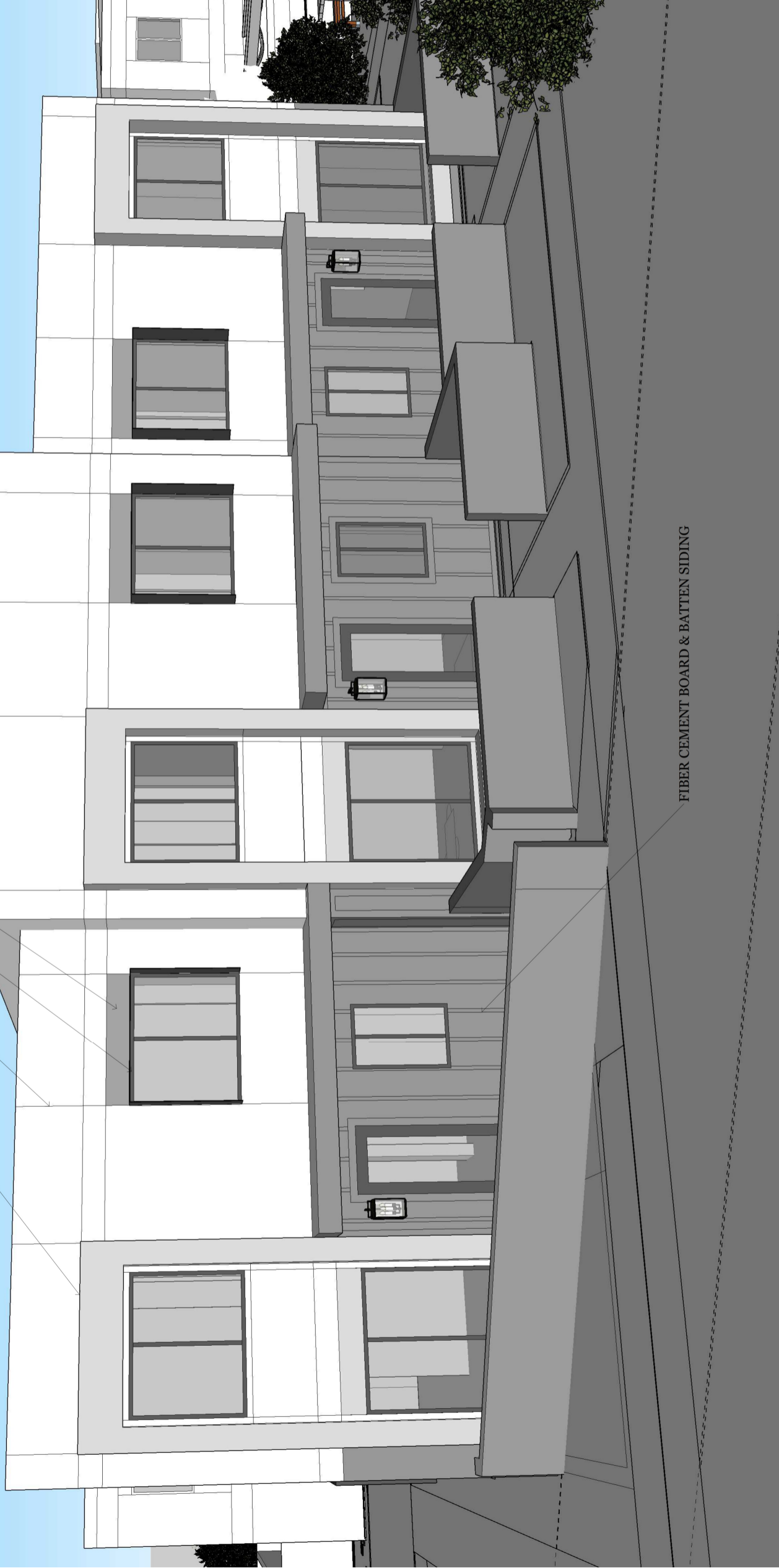
1" STUCCO BOX POPOUT

SCORED STUCCO

METAL SHADE CANOPY AROUND WINDOW

CONTRAST COLOR STUCCO

FIBER CEMENT BOARD & BATTEN SIDING



**A. David
Gibson**
ARCHITECT,
LLC

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SIENNA RIDGE

PROJECT
29 SINGLE FAMILY DETACHED
& ATTACHED LUXURY HOMES

OWNER
SILVERADO DEVELOPMENT INC.

DRAWN BY
DG

ISSUE
8/11/23

RE-ISSUE
MM.DD.YY

DESCRIPTION
PRELIMINARY
BUILDING
MATERIALS

ATTACHED HOUSING
FRONT ELEVATIONS

PERCENTAGES OF MATERIALS USED ON EXTERIOR WALLS:
MATERIAL SURFACE AREA INCLUDING STUCCO AND SCORED STUCCO = 4,088 S.F.
MATERIAL SURFACE AREA INCLUDING BOARD & BATTEN = 1,303 S.F.
1,303 S.F./4,088 S.F. = 31% BOARD & BATTEN
100% -31% = 69 % STUCCO

A0.4