

**PROJECT INFORMATION**

PROJECT: MESA ARIZONA EASTMARK GRANGER 250-4SC  
 10621 EAST WILLIAMSFIELD ROAD  
 MESA, ARIZONA 85212

PROJECT OWNER: THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE  
 50 EAST NORTH TEMPLE STREET  
 SALT LAKE CITY, UTAH 84150  
 REPRESENTATIVE: DAVID WELLS, PM

CONTACT: ROBERT B. BURGHEIMER, AIA, NCARB  
 SKETCH ARCHITECTURE COMPANY  
 2454 EAST SOUTHERN AVENUE, SUITE 110  
 MESA, ARIZONA 85204  
 (480) 668-8015 FAX (480) 668-8032

ZONING: RS-9 PAD

A.P.N.: 312-07-961

GROSS SITE AREA: ± 231,659 SF / ± 5.32 AC (W/ EXISTING 33' R.O.W.)

NET SITE AREA: ± 219,817 SF / ± 5.05 AC (W/ TOTAL 65' R.O.W. DEDICATION.)

CONSTRUCTION TYPE: TYPE V-B, NFPA AUTOMATIC FIRE SPRINKLERS

OCCUPANCY: A3, B (NON-SEPARATED) RELIGIOUS FACILITY

BUILDING AREA: 18,114 S.F. (BUILDING)  
 190 S.F. (STORAGE)  
 18,304 S.F. TOTAL = 8% COVERAGE

BUILDING HEIGHT/STORIES: RIDGE OF BUILDING 26'-9"  
 SPIRE (ALUMINUM) 39'-7"  
 TOTAL HGT. 66'-4"  
 SINGLE STORY BUILDING

OCCUPANT LOAD: 867 TOTAL OCCUPANTS

SITE LANDSCAPE AREA: 97,069 S.F. - 44%

SITE HARDSCAPE AREA: 105,413 S.F. - 52%

**PARKING CALCULATIONS (PER C.O.M. ORD.)**

PARKING REQUIRED: TOTAL BUILDING AREA = 18,114 SF  
 18,114 SF - CORRIDORS (2,595 SF) = 15,519 SF (NET)  
 15,519 SF ASSEMBLY AREA / 75 SF PER CAR = 207 SPACES REQUIRED

PARKING INCREASE: 207 SPACES X 125% INCREASE = 258 MAXIMUM SPACES ALLOWED

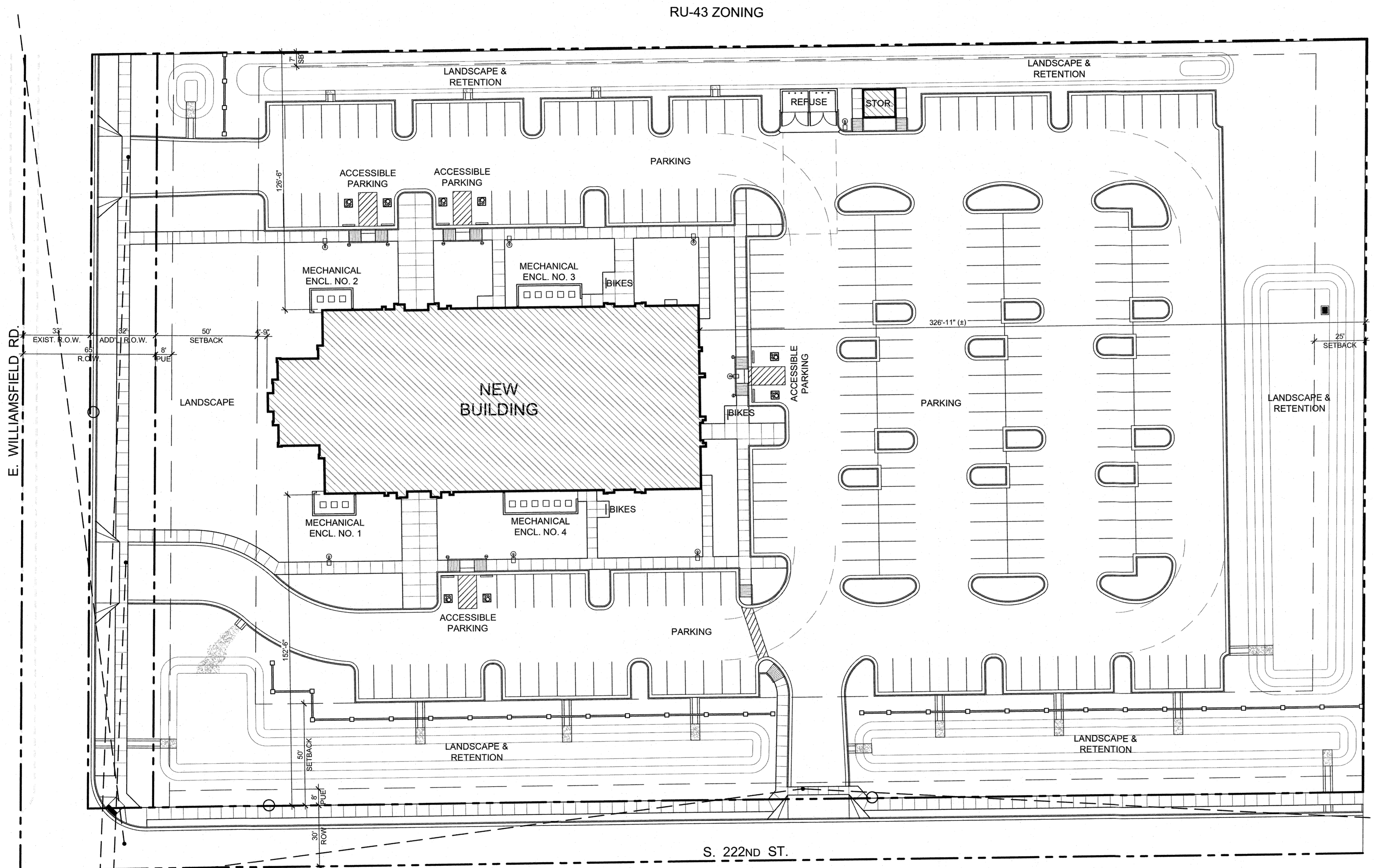
PARKING PROVIDED: 230 TOTAL SPACES PROVIDED / REQUESTED

**PARKING CALCULATIONS (PER ACTUAL USE)**

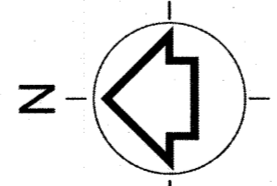
TOTAL MEMBERS: 600 MEMBERS X 75% ATTENDING = 450 ATTENDING PER CONGREGATION

2 CONGREGATION OVERLAP: 900 ATTENDING (1 IN CLASSROOMS, 1 IN CHAPEL / CULTURAL HALL)

900 / 4 OCCUPANTS PER CAR = 225 SPACES MINIMUM REQUIRED

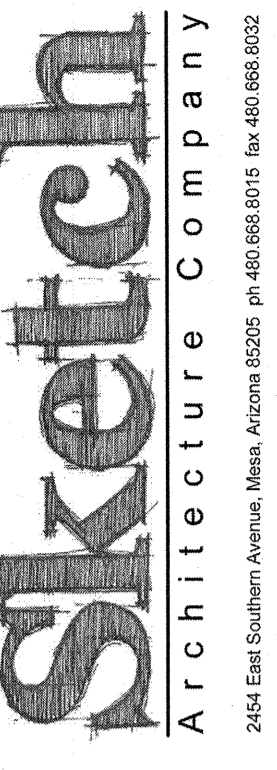
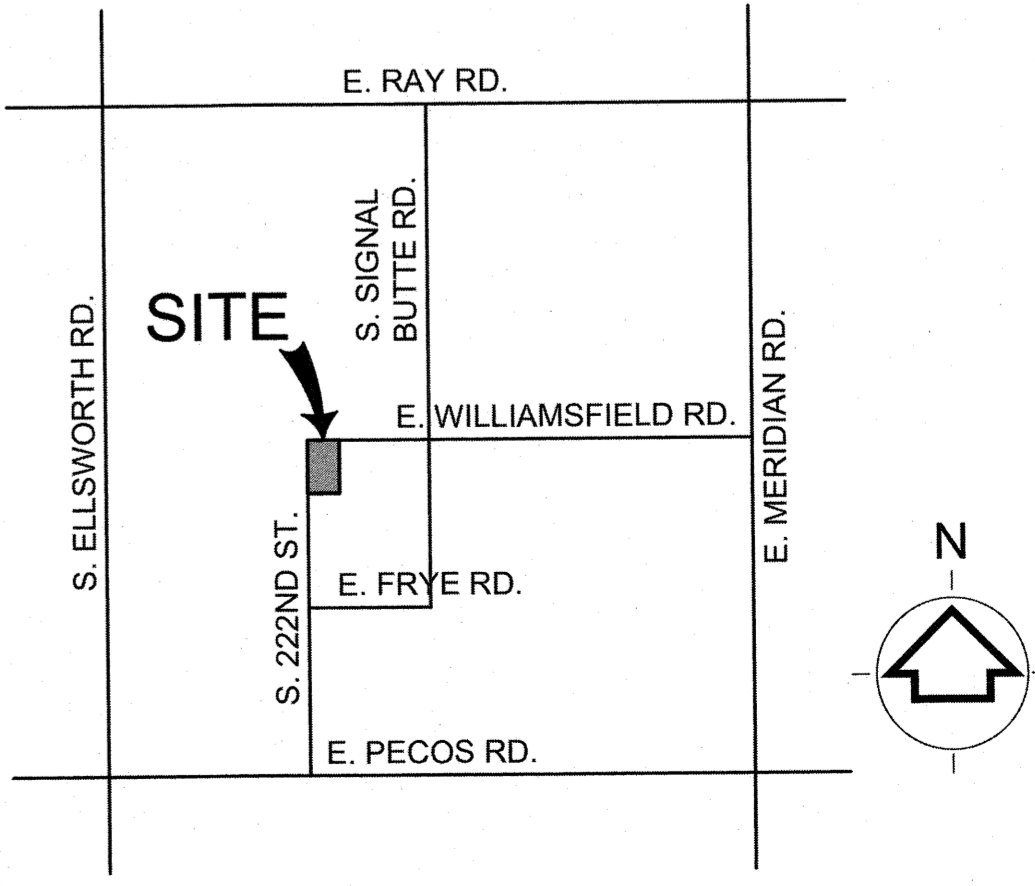


**ARCHITECTURAL SITE PLAN - OVERALL**  
 1" = 30'-0"

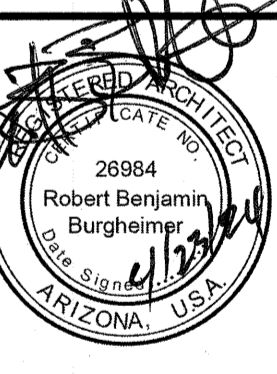


NOTE:  
 FOR ADDITIONAL INFORMATION SEE -  
 ENLARGED PARTIAL ARCHITECTURAL SITE PLAN - NORTH HALF / SHEET A103  
 AND  
 ENLARGED PARTIAL ARCHITECTURAL SITE PLAN - SOUTH HALF / SHEET A104

**VICINITY MAP**



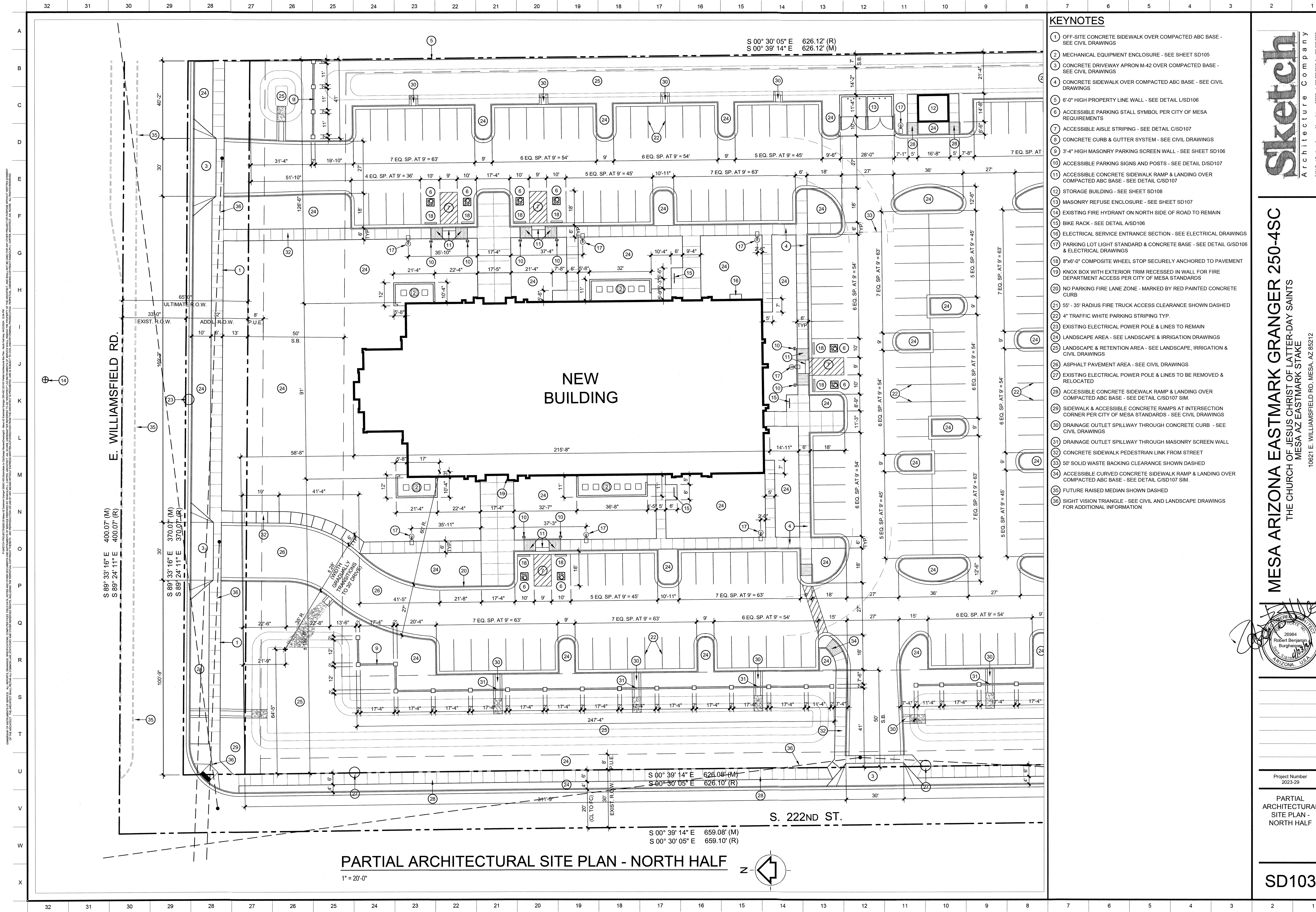
**MESA ARIZONA EASTMARK GRANGER 250-4SC**  
 THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
 MESA AZ EASTMARK STAKE  
 10621 E. WILLIAMSFIELD RD., MESA, AZ 85212  
 OWNER'S PROPERTY NO. 501442722010101



Project Number  
 2023-29

ARCHITECTURAL  
 SITE PLAN -  
 OVERALL

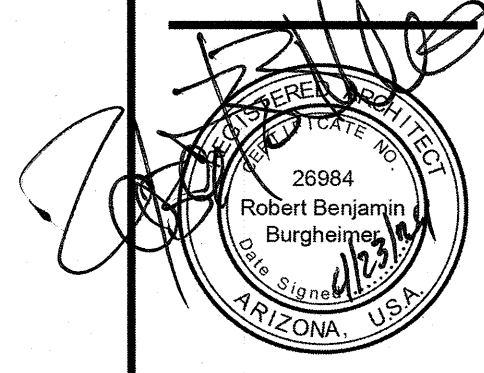
**SD102**



- ### KEYNOTES
- 1 OFF-SITE CONCRETE SIDEWALK OVER COMPACTED ABC BASE - SEE CIVIL DRAWINGS
  - 2 MECHANICAL EQUIPMENT ENCLOSURE - SEE SHEET SD105
  - 3 CONCRETE DRIVEWAY APRON M-42 OVER COMPACTED BASE - SEE CIVIL DRAWINGS
  - 4 CONCRETE SIDEWALK OVER COMPACTED ABC BASE - SEE CIVIL DRAWINGS
  - 5 6'-0" HIGH PROPERTY LINE WALL - SEE DETAIL L/S/D106
  - 6 ACCESSIBLE PARKING STALL SYMBOL PER CITY OF MESA REQUIREMENTS
  - 7 ACCESSIBLE AISLE STRIPING - SEE DETAIL C/S/D107
  - 8 CONCRETE CURB & GUTTER SYSTEM - SEE CIVIL DRAWINGS
  - 9 3'-4" HIGH MASONRY PARKING SCREEN WALL - SEE SHEET SD106
  - 10 ACCESSIBLE PARKING SIGNS AND POSTS - SEE DETAIL D/S/D107
  - 11 ACCESSIBLE CONCRETE SIDEWALK RAMP & LANDING OVER COMPACTED ABC BASE - SEE DETAIL C/S/D107
  - 12 STORAGE BUILDING - SEE SHEET SD108
  - 13 MASONRY REFUSE ENCLOSURE - SEE SHEET SD107
  - 14 EXISTING FIRE HYDRANT ON NORTH SIDE OF ROAD TO REMAIN
  - 15 BIKE RACK - SEE DETAIL A/S/D106
  - 16 ELECTRICAL SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS
  - 17 PARKING LOT LIGHT STANDARD & CONCRETE BASE - SEE DETAIL G/S/D106 & ELECTRICAL DRAWINGS
  - 18 8"x6'-0" COMPOSITE WHEEL STOP SECURELY ANCHORED TO PAVEMENT
  - 19 KNOX BOX WITH EXTERIOR TRIM RECESSED IN WALL FOR FIRE DEPARTMENT ACCESS PER CITY OF MESA STANDARDS
  - 20 NO PARKING FIRE LANE ZONE - MARKED BY RED PAINTED CONCRETE CURB
  - 21 55' - 35' RADIUS FIRE TRUCK ACCESS CLEARANCE SHOWN DASHED
  - 22 4" TRAFFIC WHITE PARKING STRIPING TYP.
  - 23 EXISTING ELECTRICAL POWER POLE & LINES TO REMAIN
  - 24 LANDSCAPE AREA - SEE LANDSCAPE & IRRIGATION DRAWINGS
  - 25 LANDSCAPE & RETENTION AREA - SEE LANDSCAPE, IRRIGATION & CIVIL DRAWINGS
  - 26 ASPHALT PAVEMENT AREA - SEE CIVIL DRAWINGS
  - 27 EXISTING ELECTRICAL POWER POLE & LINES TO BE REMOVED & RELOCATED
  - 28 ACCESSIBLE CONCRETE SIDEWALK RAMP & LANDING OVER COMPACTED ABC BASE - SEE DETAIL C/S/D107 SIM.
  - 29 SIDEWALK & ACCESSIBLE CONCRETE RAMPS AT INTERSECTION CORNER PER CITY OF MESA STANDARDS - SEE CIVIL DRAWINGS
  - 30 DRAINAGE OUTLET SPILLWAY THROUGH CONCRETE CURB - SEE CIVIL DRAWINGS
  - 31 DRAINAGE OUTLET SPILLWAY THROUGH MASONRY SCREEN WALL
  - 32 CONCRETE SIDEWALK PEDESTRIAN LINK FROM STREET
  - 33 50' SOLID WASTE BACKING CLEARANCE SHOWN DASHED
  - 34 ACCESSIBLE CURVED CONCRETE SIDEWALK RAMP & LANDING OVER COMPACTED ABC BASE - SEE DETAIL C/S/D107 SIM.
  - 35 FUTURE RAISED MEDIAN SHOWN DASHED
  - 36 SIGHT VISION TRIANGLE - SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

**Sketch**  
Architecture Company  
2654 East Southern Avenue, Mesa, Arizona 85205, P.O. Box 480666, Phoenix, AZ 85048

**MESA ARIZONA EASTMARK GRANGER 250-4SC**  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
MESA AZ EASTMARK STAKE  
10621 E. WILLIAMSFIELD RD. MESA, AZ 85212  
OWNER'S PROPERTY NO. 50144272010101



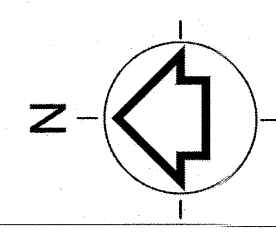
Project Number  
2023-29

PARTIAL ARCHITECTURAL SITE PLAN - NORTH HALF

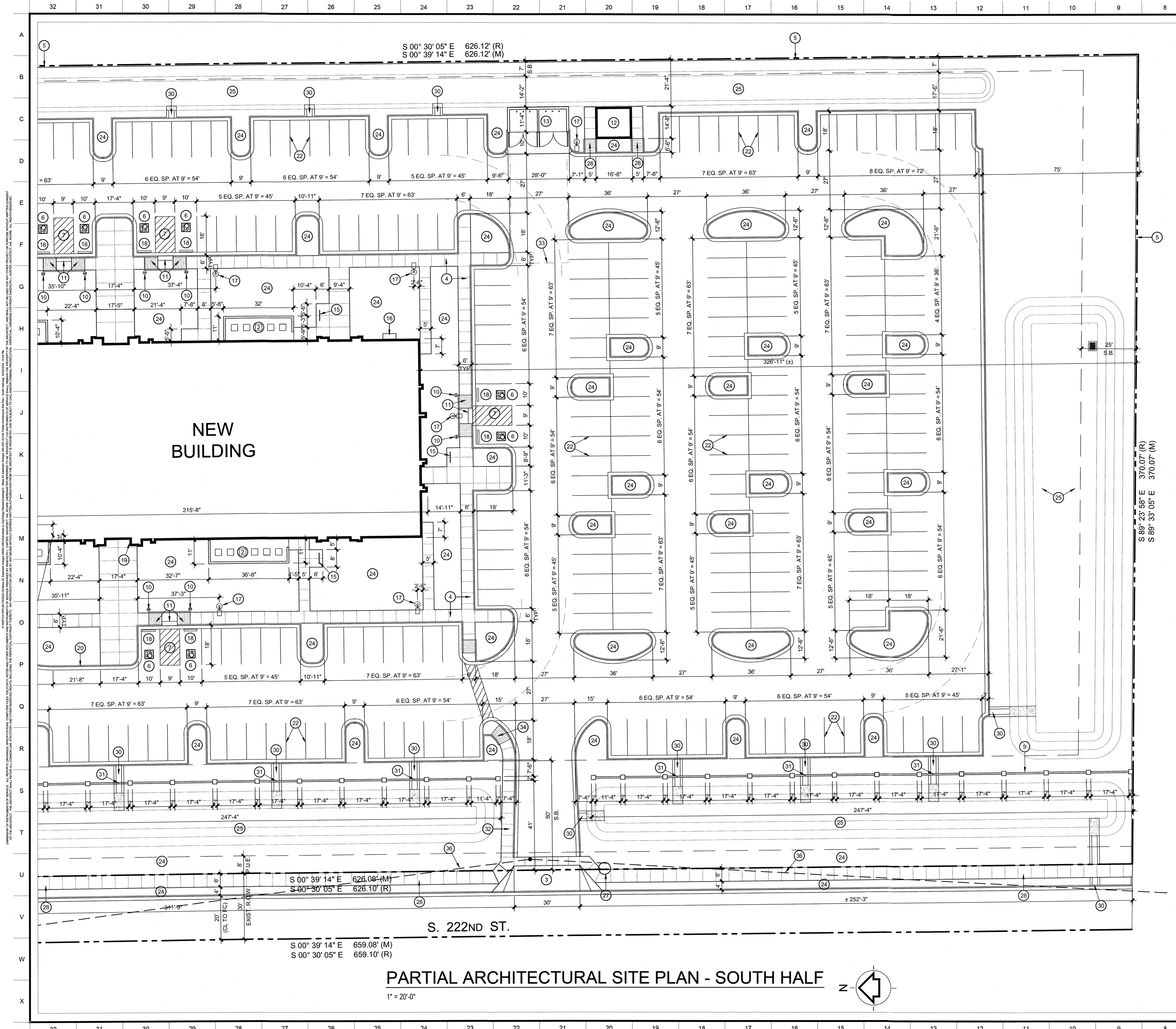
**SD103**

**PARTIAL ARCHITECTURAL SITE PLAN - NORTH HALF**

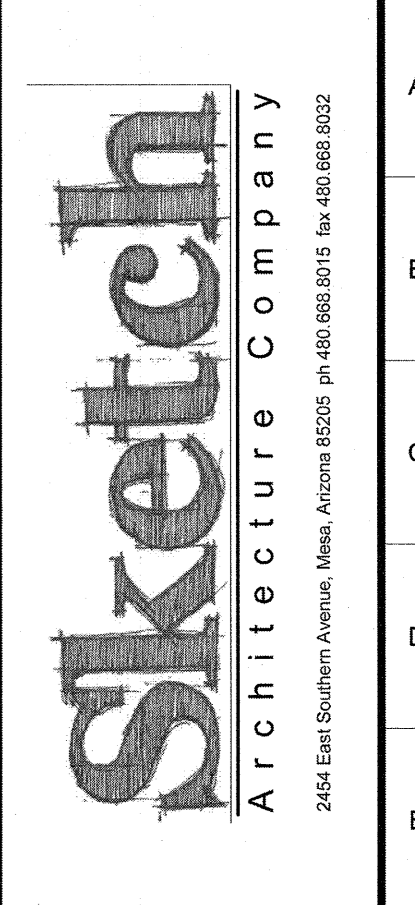
1" = 20'-0"



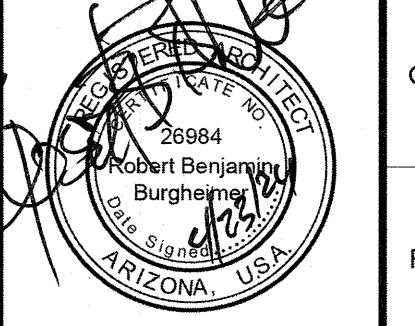
ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SKETCH ARCHITECTURE COMPANY. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SKETCH ARCHITECTURE COMPANY. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS DOCUMENT.



- ### KEYNOTES
- 1 OFF-SITE CONCRETE SIDEWALK OVER COMPACTED ABC BASE - SEE CIVIL DRAWINGS
  - 2 MECHANICAL EQUIPMENT ENCLOSURE - SEE SHEET SD105
  - 3 CONCRETE DRIVEWAY APRON M-42 OVER COMPACTED BASE - SEE CIVIL DRAWINGS
  - 4 CONCRETE SIDEWALK OVER COMPACTED ABC BASE - SEE CIVIL DRAWINGS
  - 5 6'-0" HIGH PROPERTY LINE WALL - SEE DETAIL USD106
  - 6 ACCESSIBLE PARKING STALL SYMBOL PER CITY OF MESA REQUIREMENTS
  - 7 ACCESSIBLE AISLE STRIPING - SEE DETAIL C/SD107
  - 8 CONCRETE CURB & GUTTER SYSTEM - SEE CIVIL DRAWINGS
  - 9 3'-4" HIGH MASONRY PARKING SCREEN WALL - SEE SHEET SD106
  - 10 ACCESSIBLE PARKING SIGNS AND POSTS - SEE DETAIL D/SD107
  - 11 ACCESSIBLE CONCRETE SIDEWALK RAMP & LANDING OVER COMPACTED ABC BASE - SEE DETAIL C/SD107
  - 12 STORAGE BUILDING - SEE SHEET SD108
  - 13 MASONRY REFUSE ENCLOSURE - SEE SHEET SD107
  - 14 EXISTING FIRE HYDRANT ON NORTH SIDE OF ROAD TO REMAIN
  - 15 BIKE RACK - SEE DETAIL A/SD106
  - 16 ELECTRICAL SERVICE ENTRANCE SECTION - SEE ELECTRICAL DRAWINGS
  - 17 PARKING LOT LIGHT STANDARD & CONCRETE BASE - SEE DETAIL G/SD106 & ELECTRICAL DRAWINGS
  - 18 8"x6'-0" COMPOSITE WHEEL STOP SECURELY ANCHORED TO PAVEMENT
  - 19 KNOX BOX WITH EXTERIOR TRIM RECESSED IN WALL FOR FIRE DEPARTMENT ACCESS PER CITY OF MESA STANDARDS
  - 20 NO PARKING FIRE LANE ZONE - MARKED BY RED PAINTED CONCRETE CURB
  - 21 55' - 35' RADIUS FIRE TRUCK ACCESS CLEARANCE SHOWN DASHED
  - 22 4" TRAFFIC WHITE PARKING STRIPING TYP.
  - 23 EXISTING ELECTRICAL POWER POLE & LINES TO REMAIN
  - 24 LANDSCAPE AREA - SEE LANDSCAPE & IRRIGATION DRAWINGS
  - 25 LANDSCAPE & RETENTION AREA - SEE LANDSCAPE, IRRIGATION & CIVIL DRAWINGS
  - 26 ASPHALT PAVEMENT AREA - SEE CIVIL DRAWINGS
  - 27 EXISTING ELECTRICAL POWER POLE & LINES TO BE REMOVED & RELOCATED
  - 28 ACCESSIBLE CONCRETE SIDEWALK RAMP & LANDING OVER COMPACTED ABC BASE - SEE DETAIL C/SD107 SIM.
  - 29 SIDEWALK & ACCESSIBLE CONCRETE RAMPS AT INTERSECTION CORNER PER CITY OF MESA STANDARDS - SEE CIVIL DRAWINGS
  - 30 DRAINAGE OUTLET SPILLWAY THROUGH CONCRETE CURB - SEE CIVIL DRAWINGS
  - 31 DRAINAGE OUTLET SPILLWAY THROUGH MASONRY SCREEN WALL
  - 32 CONCRETE SIDEWALK PEDESTRIAN LINK FROM STREET
  - 33 50' SOLID WASTE BACKING CLEARANCE SHOWN DASHED
  - 34 ACCESSIBLE CURVED CONCRETE SIDEWALK RAMP & LANDING OVER COMPACTED ABC BASE - SEE DETAIL C/SD107 SIM.
  - 35 FUTURE RAISED MEDIAN SHOWN DASHED
  - 36 SIGHT VISION TRIANGLE - SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION



**MESA ARIZONA EASTMARK GRANGER 250-4SC**  
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS  
MESA AZ EASTMARK STAKE  
10621 E. WILLIAMSFIELD RD. MESA, AZ 85212  
OWNER'S PROPERTY, INC. 501442722010101



Project Number  
2023-29

PARTIAL ARCHITECTURAL  
SITE PLAN -  
NORTH HALF

SD104