

Mesa Council Chambers Lower Level – 57 E 1st St

Date: January 15, 2025 Time: 5:00 p.m.

MEMBERS PRESENT:

Chair Alexis Wagner
Vice Chair Shelly Allen
Boardmember Nicole Lynam
Boardmember Heath Reed
Boardmember Troy Glover
Boardmember Todd Trendler

MEMBERS ABSENT:

Boardmember Gerson Barrera

(*Boardmembers and staff participated in the meeting through the use of audio conference equipment)

STAFF PRESENT:

Kelly Whittemore
Jennifer Merrill
Sergio Solis
Vanessa Felix

OTHERS PRESENT:

1 Call meeting to order.

Chair Wagner excused Boardmember Gerson Barrera and declared a quorum present, and the Study Session was called to order at 5:00 p.m.

2 Staff Update: February 5, 2025, Study Session will include an annual training.

3 Review and discuss items listed on the Public Hearing agenda for January 15, 2025.

***3-a Staff member Jennifer Merrill presented case BOA24-00810 to the Board.
See attached presentation.**

Vice Chair Allen asked the meaning of ferris and non ferris.

Staff member Merrill answered iron material.

Vice Chair Allen asked if the company would operate on two different sites or move to the new location.

Staff member Merrill answered the applicant will be moving to the new location.

Boardmember Glover questioned if the site would have loud running mechanical equipment.

Staff member Merrill confirmed that the collection facility does not process the materials as part of the zoning ordinance requirements. It says that no large machinery can be operated that would be processing. The site will consist of collection and of moving materials from vehicles to the collection areas.

- *3-b Staff member Sergio Solis presented case BOA24-00972 to the Board.
See attached presentation.**

Boardmember Glover inquired about the property having two pad overlays.

Staff member Solis answered there are two existing Planned Area Development Overlays: One overlay for the existing industrial development and one for an employment and commercial center.

4 Adjournment.

Vice Chair Allen moved to adjourn the Study Session and was seconded by Boardmember Reed. Without objection, the Study Session was adjourned at 5:19 p.m.

Respectfully submitted,

Jennifer Merrill

Jennifer Merrill,

On behalf of Zoning Administrator (Mary Kopaskie-Brown)



BOA24-00810

SA Recycling



Request

- Substantial Conformance Improvement Permit
- To allow deviations from certain development standards for a large collection facility





Location

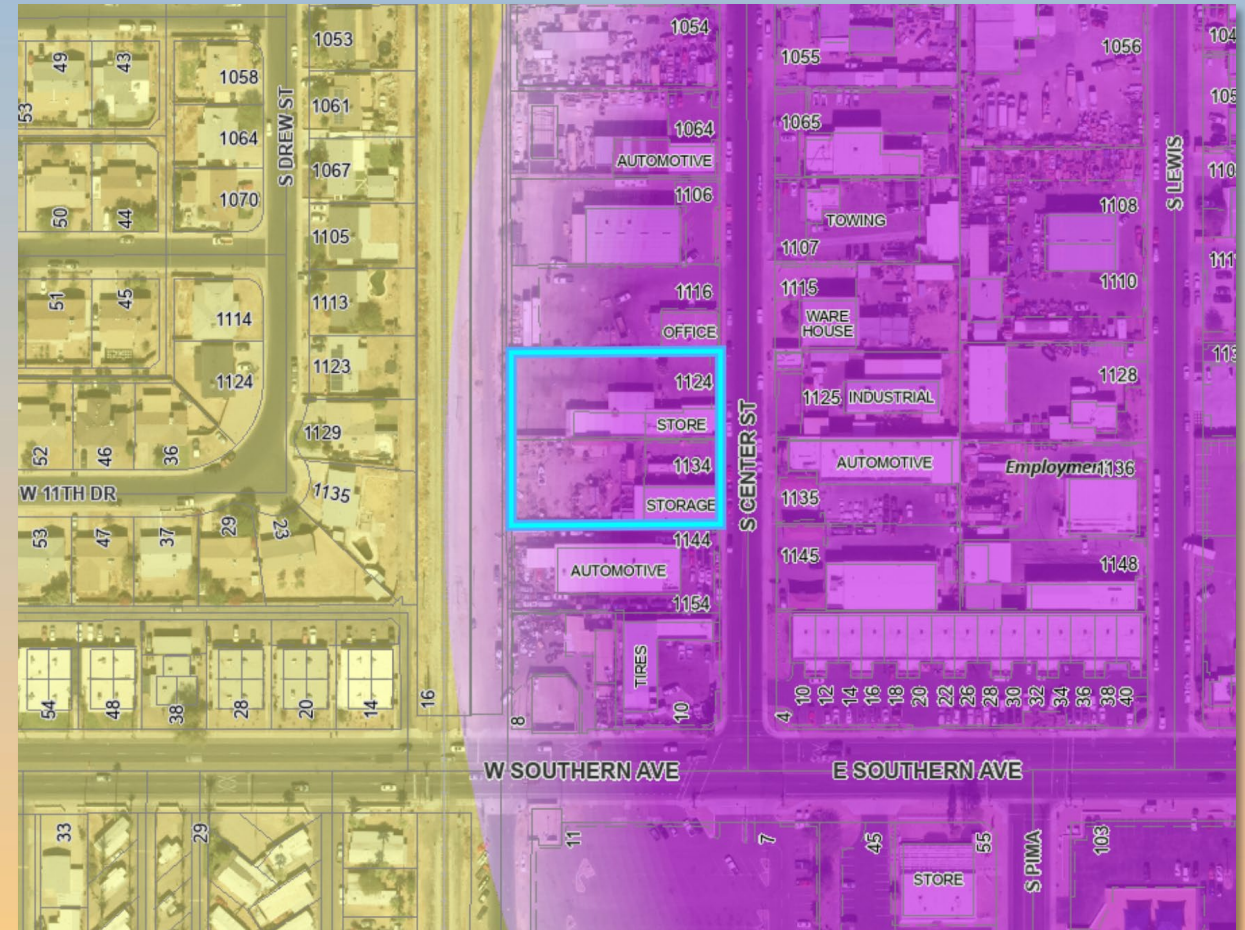
- Approximately 215 feet north of the northwest corner of West Southern Avenue and South Center Street





Employment

- Wide range of employment
- Manufacturing, warehousing, and industrial operations





Zoning

General Industrial (GI)

- Manufacturing, processing, storage, etc., including some outdoor activities
- Large collection facilities, a type of recycling facility, are permitted in the GI District with approval of a Special Use Permit (SUP)





Site Photo

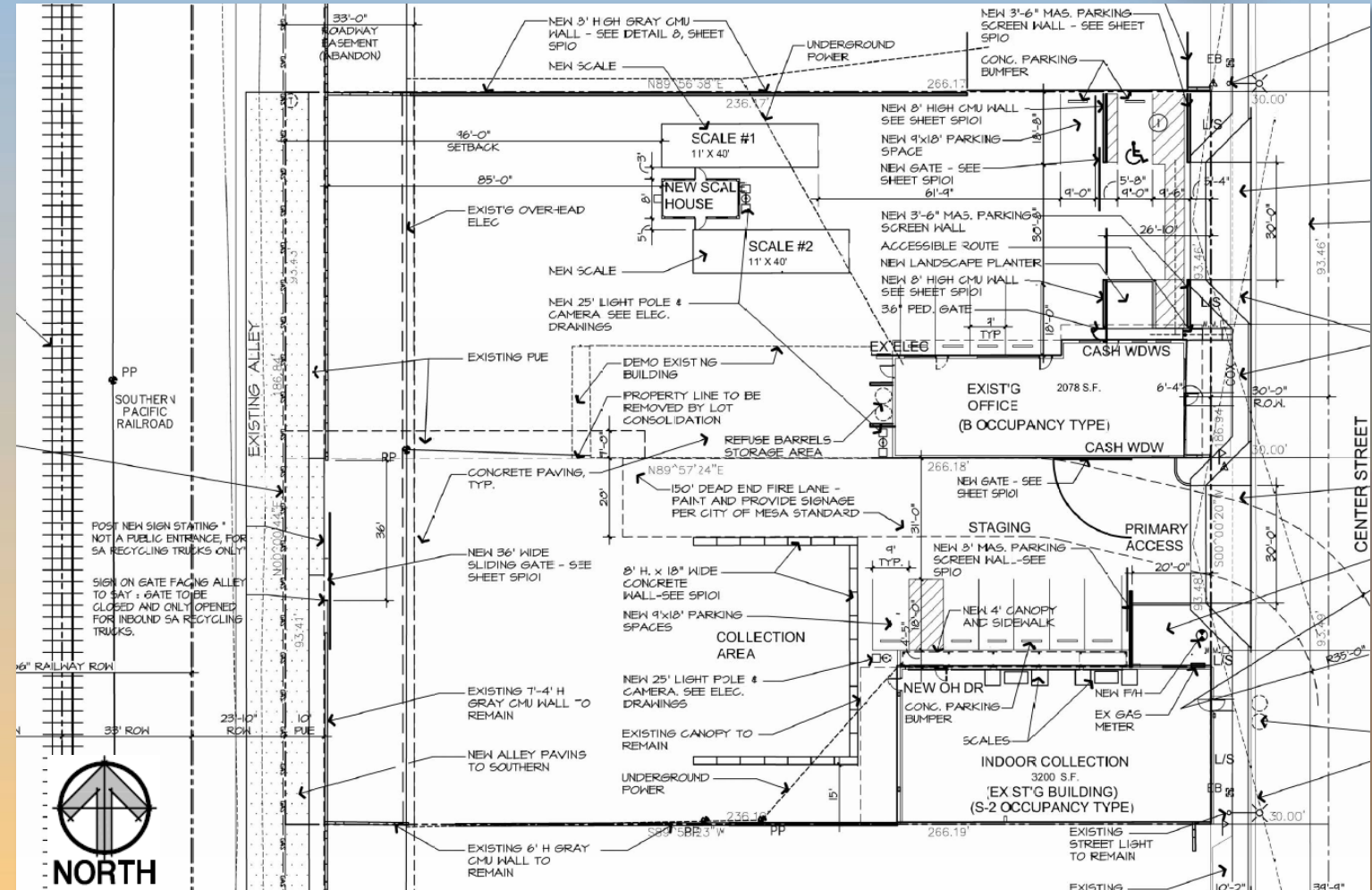


Looking west from Center Street



Site Plan

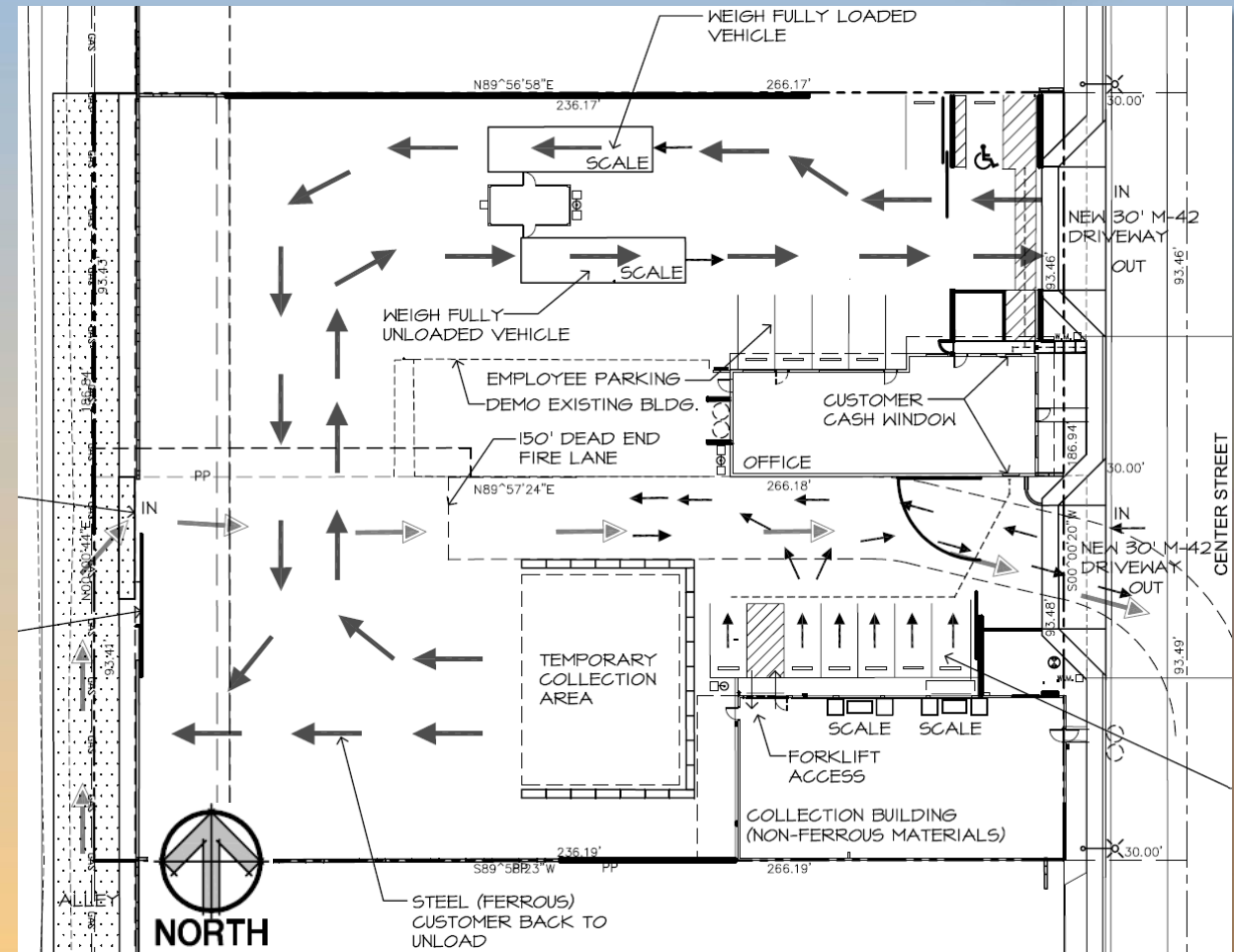
- Two existing buildings
- Vehicle scales
- Collection areas
- Concurrent SPR & SUP request









Circulation Plan

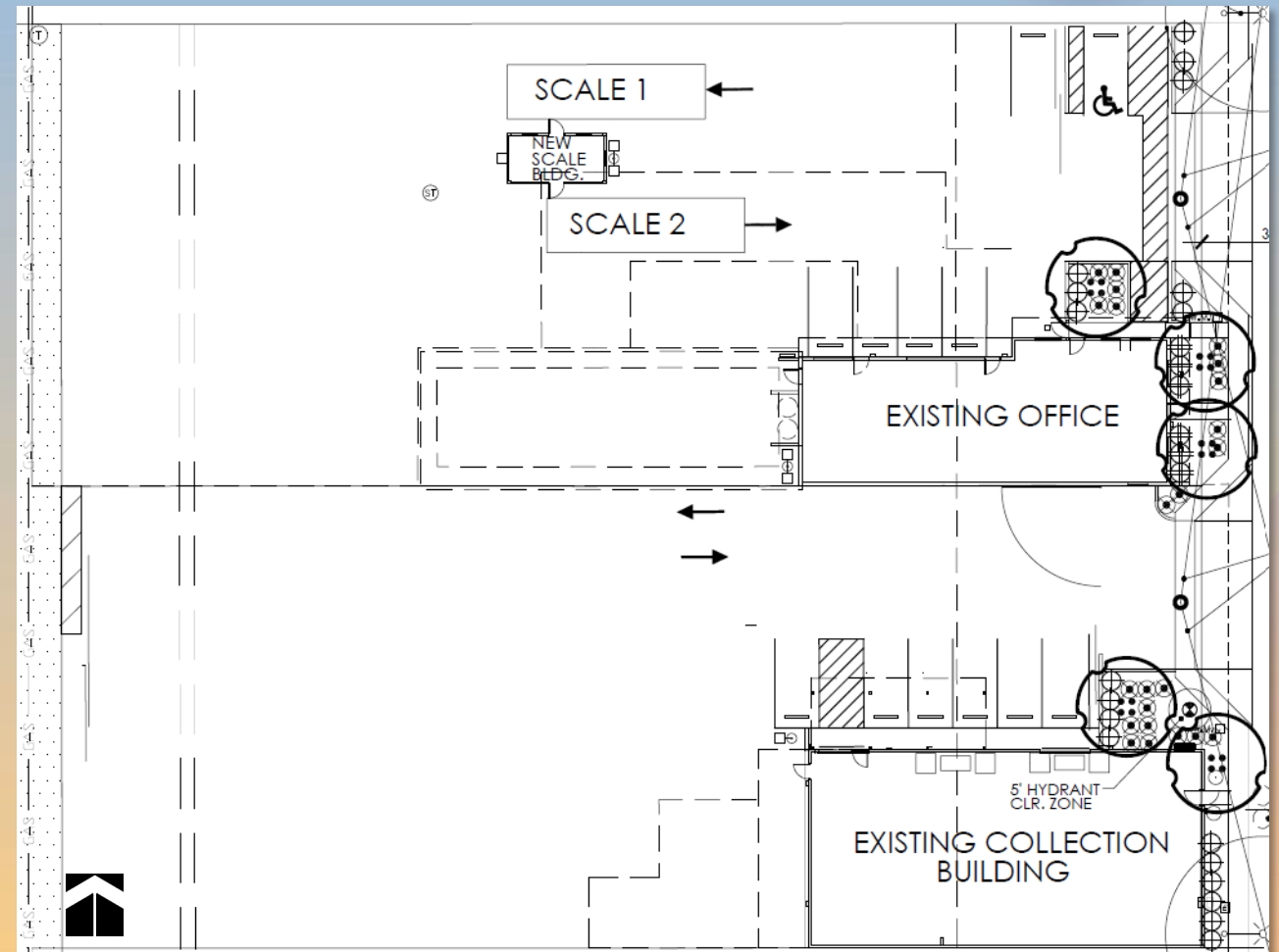
- Public access from Center Street
- Commercial vehicles for transporting materials for off-site processing will enter from alley and exit onto Center Street





Landscape Plan

	ACACIA ANEURA MULGA (SRP/APS APPROVED) 36" BOX
	ROSEMARINUS PROSTRATA TRAILING ROSMARY 5 GALLON
	HESPERALOE PARVIFLORA RED YUCCA 5 GALLON
	DASYLIRION WHEELERII DESERT SPOON 5 GALLON
	LANTANA MONTEVIDENSIS 'GOLD MOUND' 5 GALLON

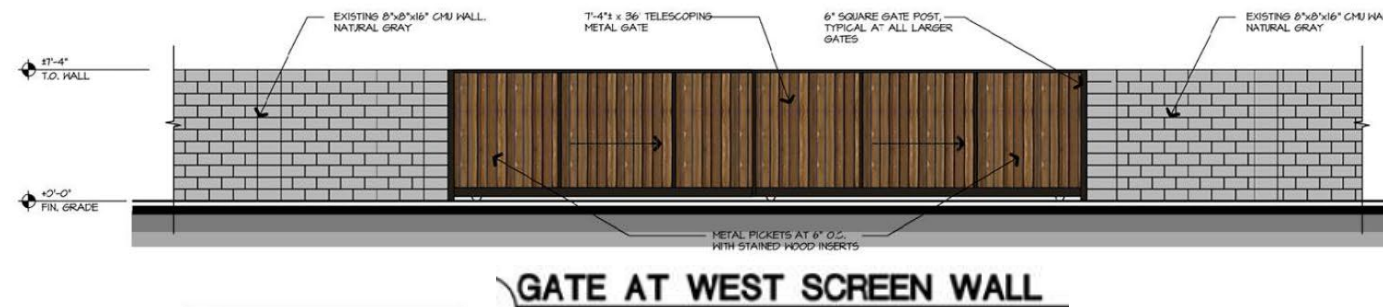
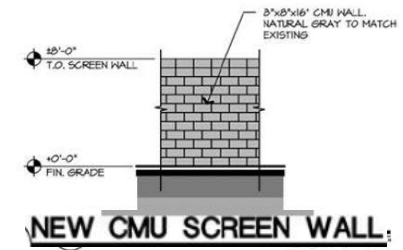
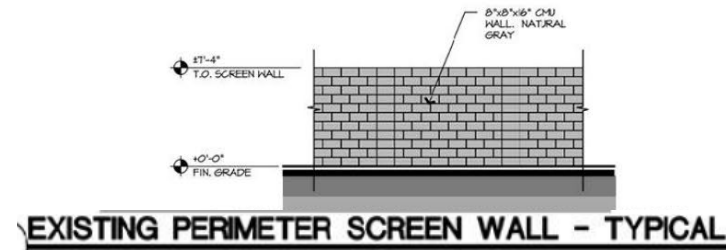
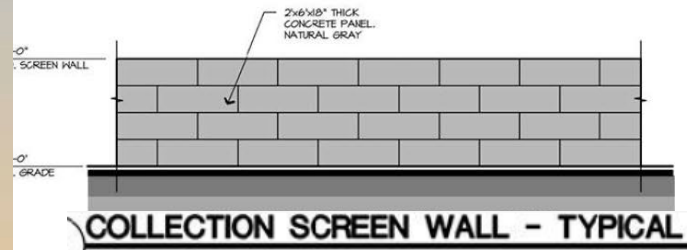




Elevations



1 CENTER ST. SCREEN WALL ELEVATIONS





SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Maximum Lot Coverage – Table 11-7-3</i>	90 percent	99 percent (existing)
<i>Minimum Setback along Property Lines for Building and Parking Areas (ft.)– Table 11-7-3:</i> Front and Street-Facing Side (Center Street)	20 feet	0 feet (existing parking at northeast corner of site)
<i>Outdoor Storage – Section 11-30-7(B)(1)</i> Screening and Setbacks, Screening Walls	Screening walls and fences shall be at least eight (8) feet in height.	Screening walls and fences (existing) shall be at least eight (7) feet (4) inches in height.



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Screening of Mechanical Equipment – Section 11-30-9(A)(1): Roof-Mounted Equipment</i></p> <p>Except the AG, RS, DR-1 and RSL districts, all exterior mechanical equipment, whether on a roof, on the side of a structure, or on the ground, shall be screened from public view.</p>	<p>Roof-mounted equipment screening shall be constructed as an encompassing monolithic unit, rather than as several individual screens (i.e., multiple equipment screens, or "hats," surrounding individual elements shall not be permitted). The height of the screening element shall equal or exceed the height of the structure's tallest piece of installed equipment.</p>	<p>Existing rooftop mechanical equipment on the office (northern) building is not required to be screened from public view</p>
<p><i>Setback of Cross Drive Aisles – Section 11-32-4(A):</i></p> <p>Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 ft from the property line abutting the street.</p> <p>East Property Line</p>	<p>50 feet</p>	<p>0 feet minimum</p>



SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<i>Perimeter Landscaping – Table 11-33-3.A:</i> 1 Tree and 6 Shrubs per 25 Linear Feet of Street Frontage (East Property Line)	8 trees and 45 shrubs	2 trees and 31 shrubs
<i>Required Landscape Yards – Section 11-33-3(B)(2)(a)(ii):</i> North, West and South Property Lines	Properties that are not part of a group C-O-I Development, as defined in Chapter 87, must provide a 15-foot landscape yard except where a cross-access drive aisle occurs within the required landscape yard.	Properties that are not part of a group C-O-I Development, as defined in Chapter 87, must provide a 0-foot landscape yard except where a cross-access drive aisle occurs within the required landscape yard.
<i>Interior Parking Lot Landscaping – Landscape Islands – Section 11-33-4(B)(1):</i>	Parking lot landscape islands shall be installed at each end of a row of stalls and in between for maximum 8 contiguous parking spaces.	No parking lot landscape islands provided (existing)



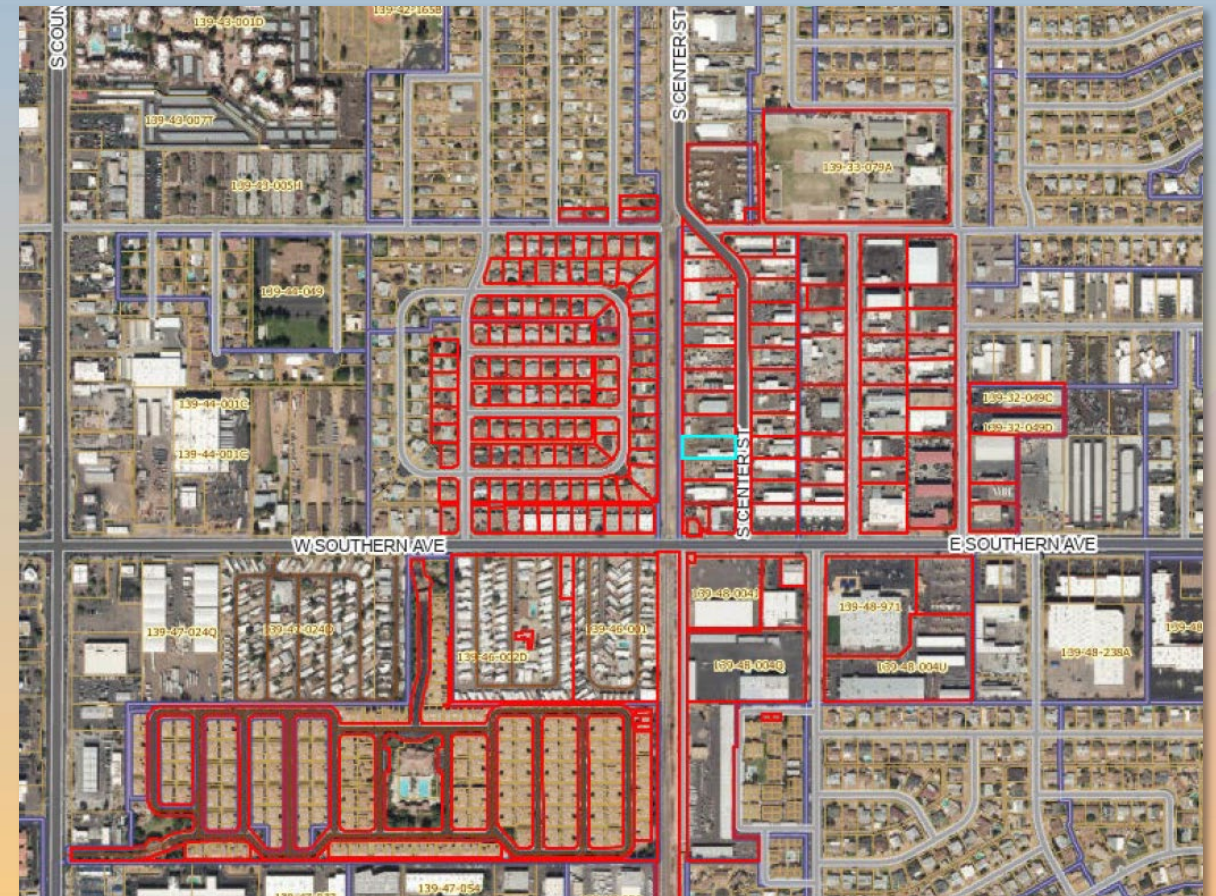
SCIP Development Standards

Development Standard	MZO Requirements	Applicant Proposal
<p><i>Foundation Base along Exterior Walls – Exterior Walls without a Public Entrance – Section 11-33-5(A)(2)(a):</i></p> <p>A minimum <u>10-foot-wide</u> foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall <u>adjacent to parking stalls (north elevations).</u></p> <p>A minimum <u>5-foot-wide</u> foundation base shall be provided, measured from face of building to face of curb along the entire length of the exterior wall <u>adjacent to drive aisles (south elevation of office building).</u></p>	<p>10 feet</p> <p>5 feet</p>	<p>0 feet (existing)</p> <p>0 feet (existing)</p>



Citizen Participation

- Notified property owners within 1,000', HOAs and registered neighborhoods
- One neighbor contacted staff with concerns:
 - Dust
 - Noise





Approval Criteria

Section 11-73-3 SCIP Criteria

- ✓ Significant alterations to the site would need to occur to bring the site into full conformance with current MZO development standards
- ✓ Full compliance would discourage redevelopment of the site
- ✓ No new non-conforming conditions will be created
- ✓ Proposed request is compatible with, and not detrimental to, adjacent properties or neighborhood



Findings

- ✓ Complies with the Mesa 2040 General Plan
- ✓ Meets the SCIP findings of Section 11-73-3 of the MZO

Staff recommends Approval with Conditions



BOA24-00972

QuikTrip # 1439



Request

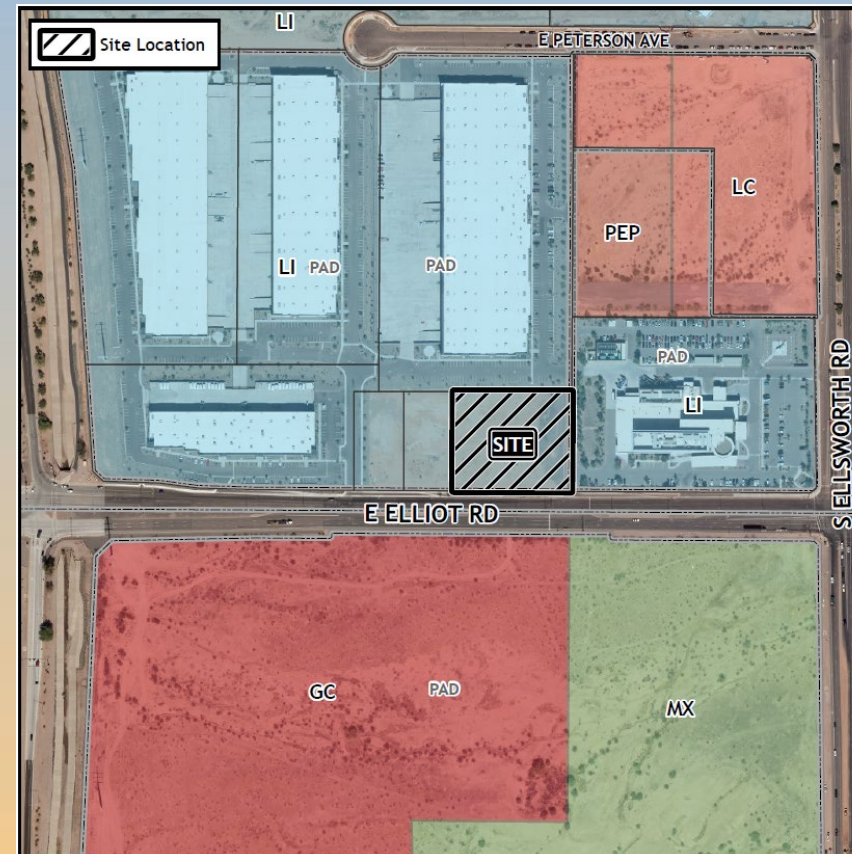
- Major modification to an existing Special Use Permit (SUP) for a Comprehensive Sign Plan (CSP)

QuikTrip®



Location

- North of E. Elliot Road
- West of S. Ellsworth Road
- East of the Loop 202 FWY





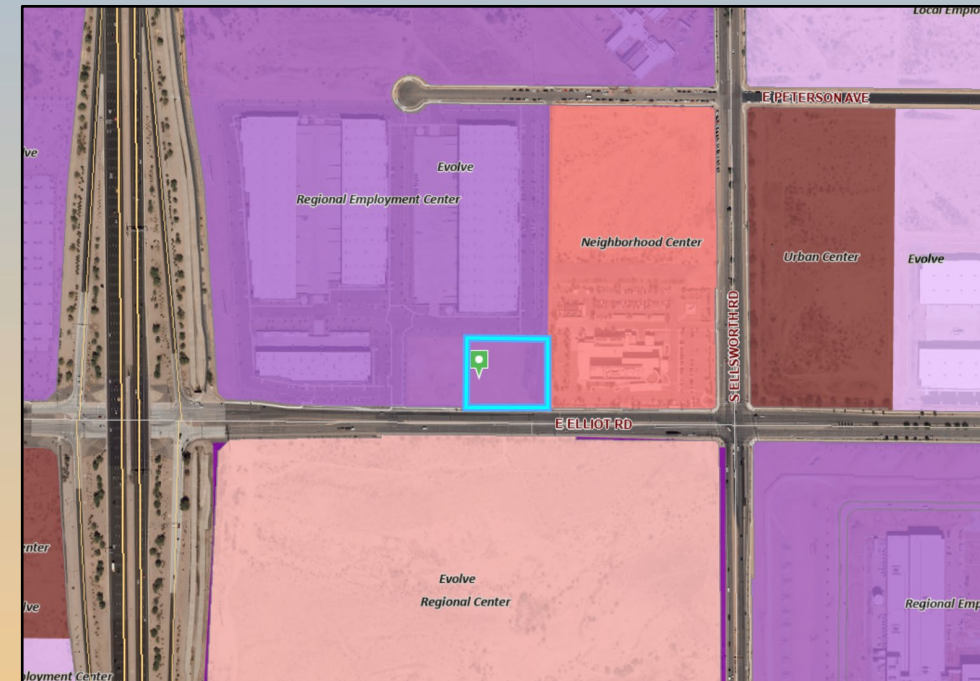
Mesa 2040 General Plan

Mixed Use Activity/ Employment Districts

- Strong and viable centers of commercial activity

Mesa Gateway Strategic Development Plan

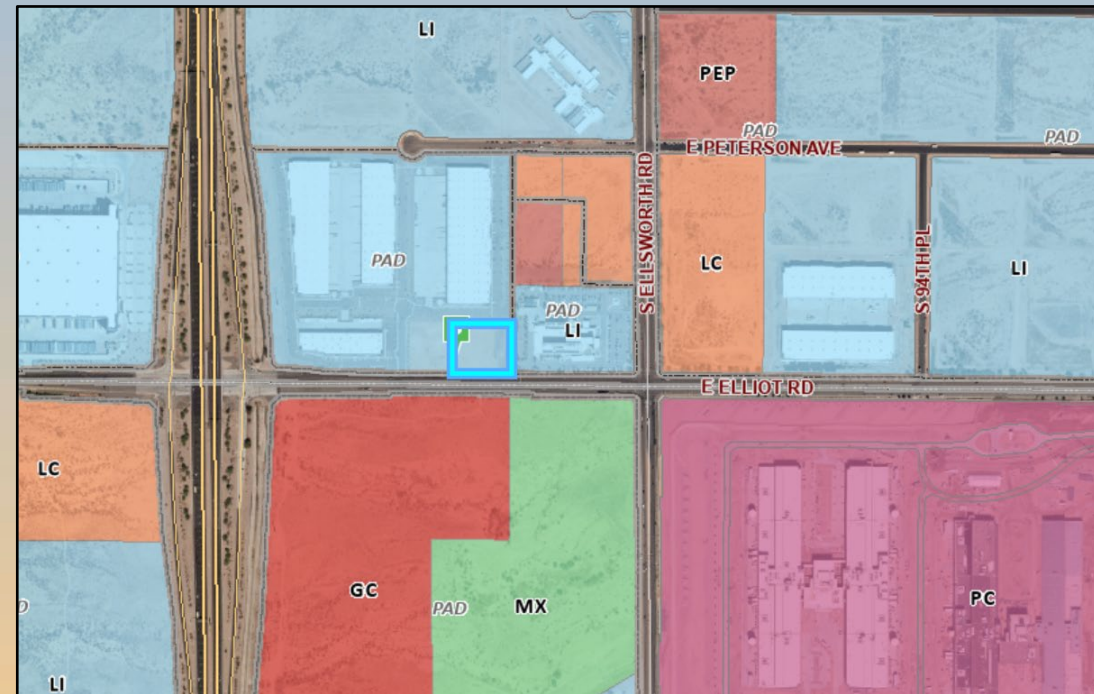
Elliot Road Corridor





Zoning

- Light Industrial with two Planned Area Development overlays (LI-PAD-PAD)





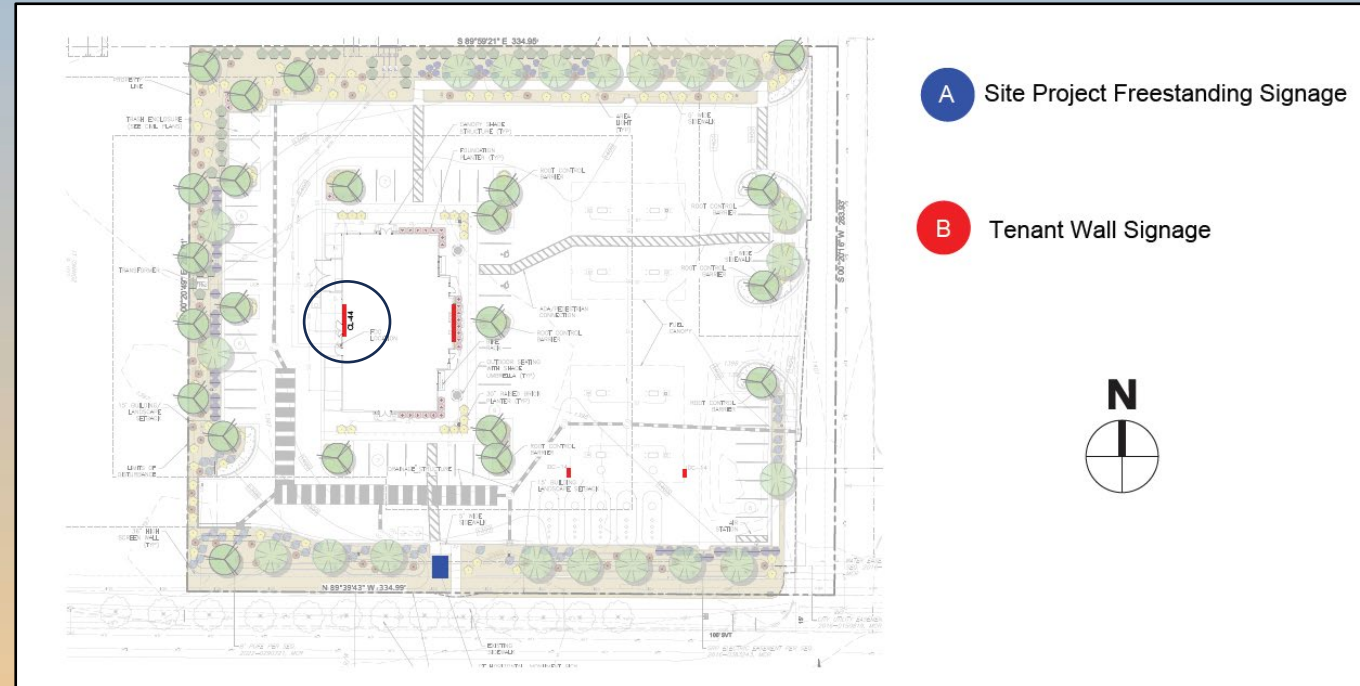
Site Plan

Existing CSP

- 1 Monument Sign
- 3 Attached Signs
Freestanding Building
Signs

Proposed

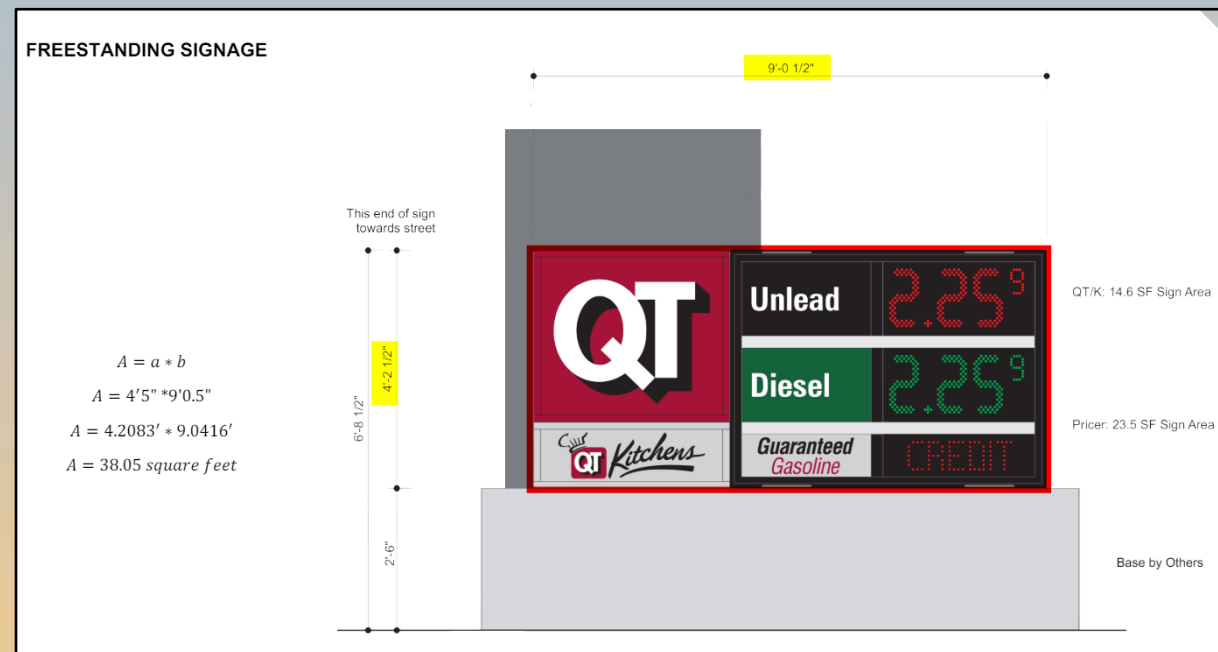
- 1 Monument Sign
- 4 Attached Signs





Sign Plan – Existing Freestanding Monument Sign

Dimensions:
±38 sq. ft. of sign area
±7 ft. in height





Sign Plan – Existing Attached Building Signs

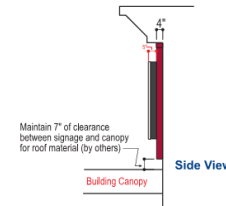
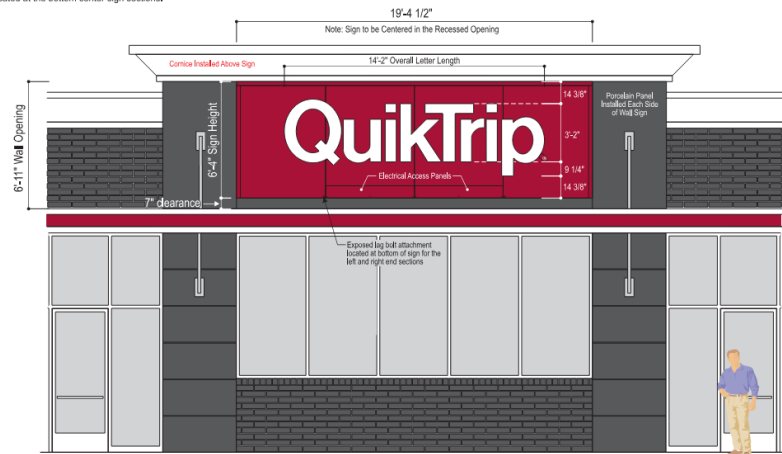
Gen III Sign Design

Raised Panel Design:
Two (2) Section Sign Frame with
Removable Break Formed
Aluminum Face Panels
Each of the Two (2) Sign Sections to be
installed to the Wall with final electrical
connection thru the provided access panels
located at the bottom center sign sections.

Sign Manufactured in Two (2) Equal Half Sections.
Fabricated Aluminum Wall Sign with Projected Aluminum Channel Letters
Internally Illuminated White LED Formed Evonik Cyro SG-7328 Face Panels

Top View

122 Square Feet Sign Area

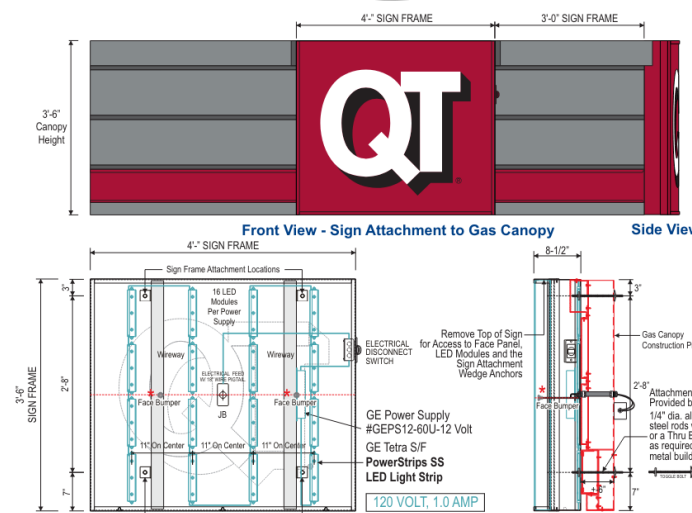


COLOR REFERENCE:
NOTE: AKZO NOBLE PAINT SPECIFIED
FOR ALL PAINTED SURFACES
□ EMBOSSED FACE PANELS: TRANSLUCENT WHITE
EVONIK CYRO SG-7328 NON-GLARE FINISH
■ QT RED: AKZO NOBLE PAINT MATCH 3M CARDINAL RED #9332-S3, SATIN FINISH
■ LETTER RETURNS TO BE AKZO NOBLE PAINT MATCH
TO BENJAMIN MOORE #2134-30 IRON MOUNTAIN

Front View - Sign Type G3S CL-60-F
Projected Channel Letters with White LED Illuminated Evonik Cyro SG-7328 Faces
Scale 1/4" = 1'-0"



14 Square Feet Sign Area



Front View - IDC-14 - 14 SF Gas Canopy Identification Sign
Scale 1" = 1'-0"

Side View

COLOR REFERENCE:
NOTE: ALL PAINTED FINISH TO BE
AKZO NOBLE SIGN FINISHES TO MEET
QT PAINT SPECIFICATIONS

POLYCARBONATE PAINT COLOR REF:

■ FACE COLOR:
AKZO NOBLE PAINT MATCH
3M CARDINAL RED #9332-S3
TRANSLUCENT VINYL
■ AKZO NOBLE
OPAQUE BLACK
■ AKZO NOBLE
TRANSLUCENT WHITE

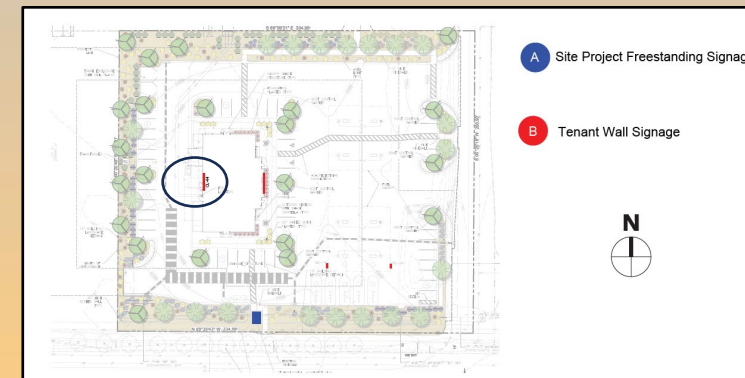
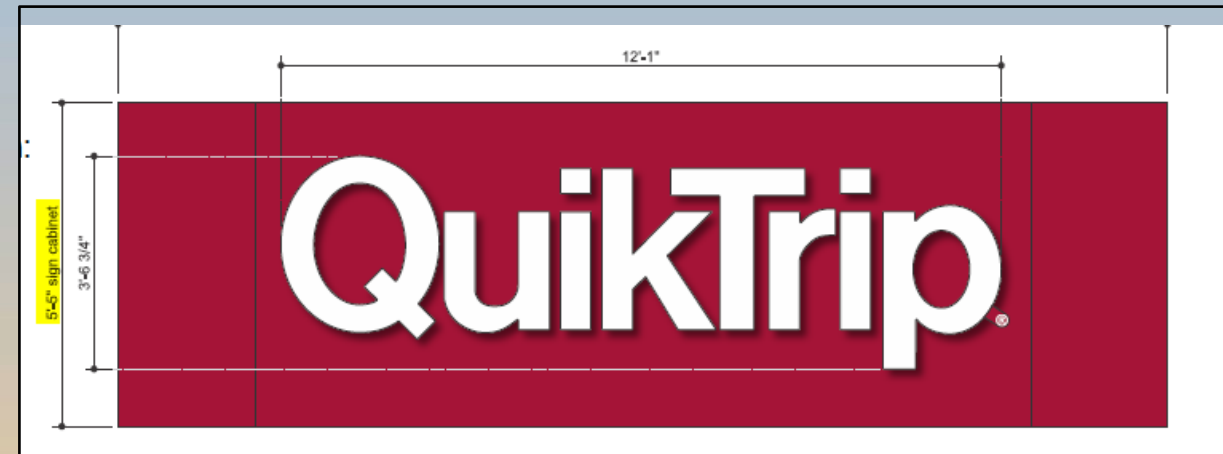
EXTERIOR SIGN FRAME - POLYURETHANE PAINT COLOR REF:

■ SIGN FRAME:
QT RED #916N9141 LOW GLOSS
AKZO NOBLE 2 PART
POLYURETHANE
■ INTERIOR OF SIGN
WHITE - HIGH GLOSS
2 PART POLYURETHANE



Sign Plan – Proposed Attached Building Sign

- (1) additional on west/rear elevation





Proposed Sign Allowances

MZO Table 11-43-3-D-1 Standard Attached Sign Allowances per Occupancy; Front Foot of Building Occupancy: 81 to 199-feet	Max. Number of Permitted Signs: 3 Signs Max. Aggregate Sign Area Calculation: 160 sq. ft. is allowed	Max. Number of Permitted Signs: 4 Signs Max. Aggregate Sign Area Calculation: 245 sq. ft. is allowed	As proposed As proposed
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Approval Criteria

Section 11-46-3.D CSP Criteria

- ✓ The site contains unique or unusual physical conditions that would limit or restrict normal sign visibility.
- ✓ The development exhibits unique characteristics of land use, that represent a clear variation from conventional development.
- ✓ The proposed signage incorporates special design features that reinforce or are integrated with the building architecture.



Approval Criteria

Section 11-70-5.E Special Use Permit Criteria

- ✓ Project will advance the goals and objectives of the General Plan and other City plan and/or policies;
- ✓ Location, size, design, and operating characteristics are consistent with the purposes of the district where it is located and conform with the General Plan and any other applicable City plan or policies;
- ✓ Project will not be injurious or detrimental to the surrounding properties, the neighborhood, or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available.