
Narrative

Mercado Fiesta Center – United Growth Medical Office

1235 South Longmore

MESA ARIZONA



MARCH 2023

Prepared By:

Kimley»»Horn



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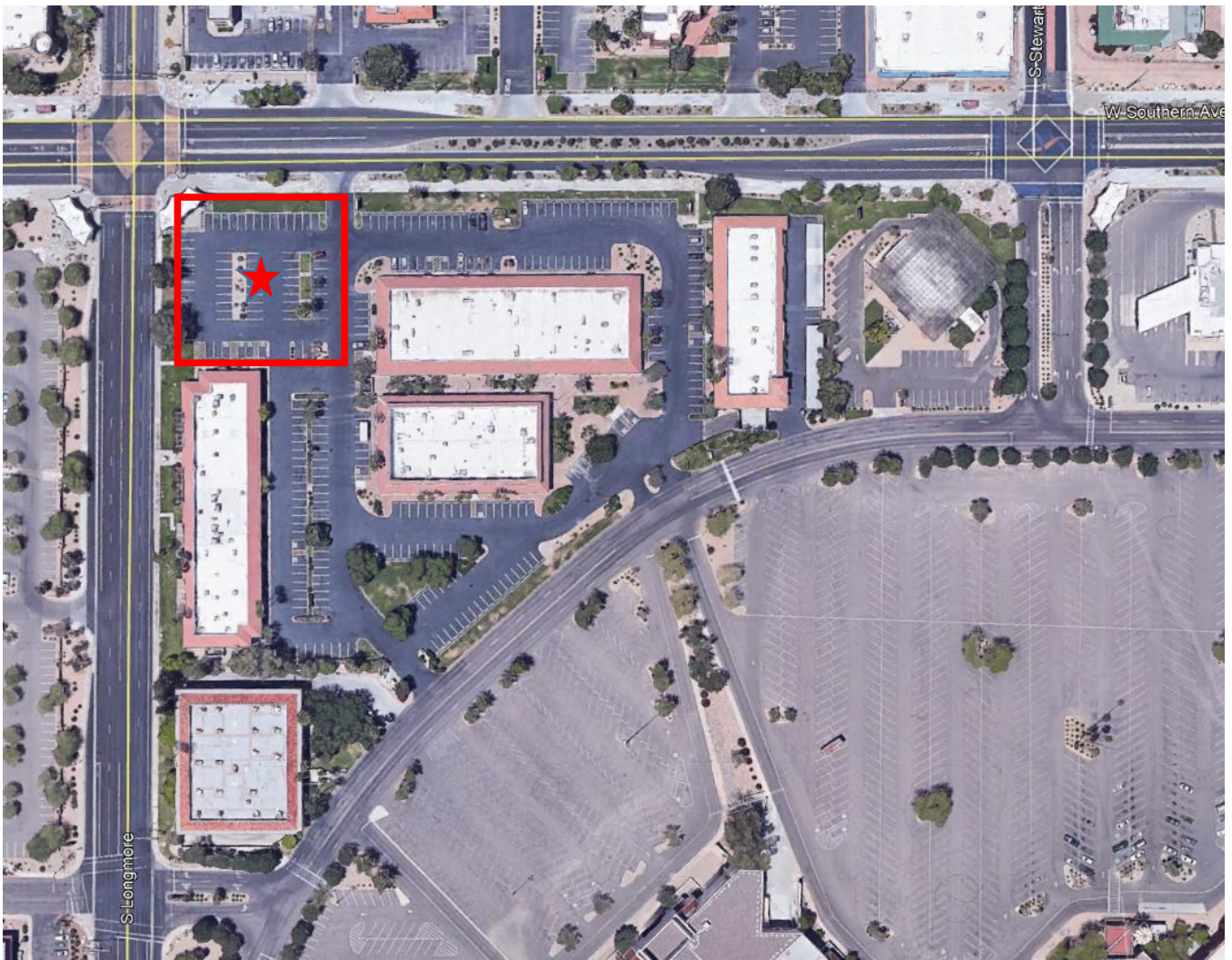
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FIGURE 1: AERIAL



Section I – Project Request

The purpose of this request is for Planning and Zoning and Design Review approval for an approximate 0.65-acre pad located at the hard corner of Southern Avenue and Longmore at 1235 S Longmore in Mesa, AZ 85202 (the “Site”), which is just north of the Fiesta Mall. The Site is located within APN #134-26-815. The parcel is bound by S Longmore to the west, W Southern Avenue to the north, and W Fiesta Mall Loop to the south.

The overall site is 6.9464 acres. The current zoning is LC (Limited Commercial). Rezoning is not requested or required. The Site is located within a commercial / mixed use area with existing complementary uses in all directions.

Section II – Planning Considerations

The proposed project is located within the Fiesta District, within a commercial zoned area. As such, the site has been designed to meet or exceed the zoning requirements for this area, including a 15-foot building base area at the main public entry side of the building and 15-foot setbacks along both public roadways. The new architectural design intent serves to re-build a relationship among the Fiesta District nodes and the overall user experience through incorporation of the Mesa 2040 General Plan and Fiesta District Handbook. This new building will be placed along the street’s edge to promote pedestrian activity as well as to visually connect businesses on opposite sides of the street.

The overall goal of the landscape scheme is to provide a design that meets the intent and requirements of the Mesa 2040 General Plan and Fiesta District Design. The development emphasizes connection to the existing major pedestrian node at the intersection and the existing paseo along Southern Ave by providing two convenient and walkable pathways. Understanding the Mesa Mercado Fiesta Center is located within the Transit Corridor, it is important for the design to consider a mixed-use, pedestrian oriented, urban environment within walking distance of existing or future transit stops.

Section III – Proposed Use

Neuragenex is the nation’s fastest growing healthcare brand and platform, consisting of multiple avenues of care and expanding across the nation to offer the latest and safest healthcare programs and treatments. Neuragenex consists of four primary avenues of care.

Neuragenex Treatment Centers: Non-opioid non-surgical pain treatment

Neuragenex Comprehensive Care: Functional medical care for chronic metabolic conditions, behavioral health, and multiple categories of functional integrated healthcare

Neuragenex Musculoskeletal: Advanced FDA approved regenerative medicine treatments and procedures that bring advanced non-surgical treatments to mainstream medical care.

Neuragenex Dental and Aesthetics: Cosmetic and general dental program that crosses the divide between dental and aesthetic medical by offering traditional aesthetic procedures and patented therapies guaranteed to create a new level of medical aesthetic care.

Our strategy is to offer highly effective pain treatment therapies and protocols while addressing the underlying chronic metabolic conditions that drive chronic pain and chronic health decline. In addition to combating the opioid crisis with non-narcotic therapies, Neuragenex is also addressing the vastly underserved category of Behavioral Health by offering advanced FDA approved non-pharmaceutical treatments for de-depression and anxiety, while screening and addressing a wide range of Behavioral Health conditions. Neuragenex is not a clinic where patients visit to address an acute health issue with a prescription or one-time resolution; our medical office provides long term care to our patients who are often repeat clients. Neuragenex offers exactly what patients, physicians, and payers are all looking for, safe treatments that work effectively.

In addition to offering these vital services, Neuragenex is bringing the combination of dental and aesthetics to market with the first ever nationwide chain of dual-purpose dental and aesthetic offices, upping the standard even further by offering patented medical spa treatments that no other practice can provide. The Neuragenex executive team consists of some of the most experienced professionals in the regenerative medicine space including licensed medical doctors.

Section IV – Existing Conditions

The site is currently developed parking lot for the existing buildings on site. There are currently no access points to S Longmore Road, one access point to W Southern Ave, and three access points to W Fiesta Mall Loop. There are 4 existing buildings, to remain.

Section V – Demolition

The redevelopment will involve partial demolition of the existing parking lot.

Section VI – Off-site Areas

The redevelopment proposes no offsite improvements.

Section VII – Floodplain

The project lies outside of the 100-year floodplain, or in Zone X as found in the FEMA Flood Zone map, #04013C2265M, dated November 4, 2015.

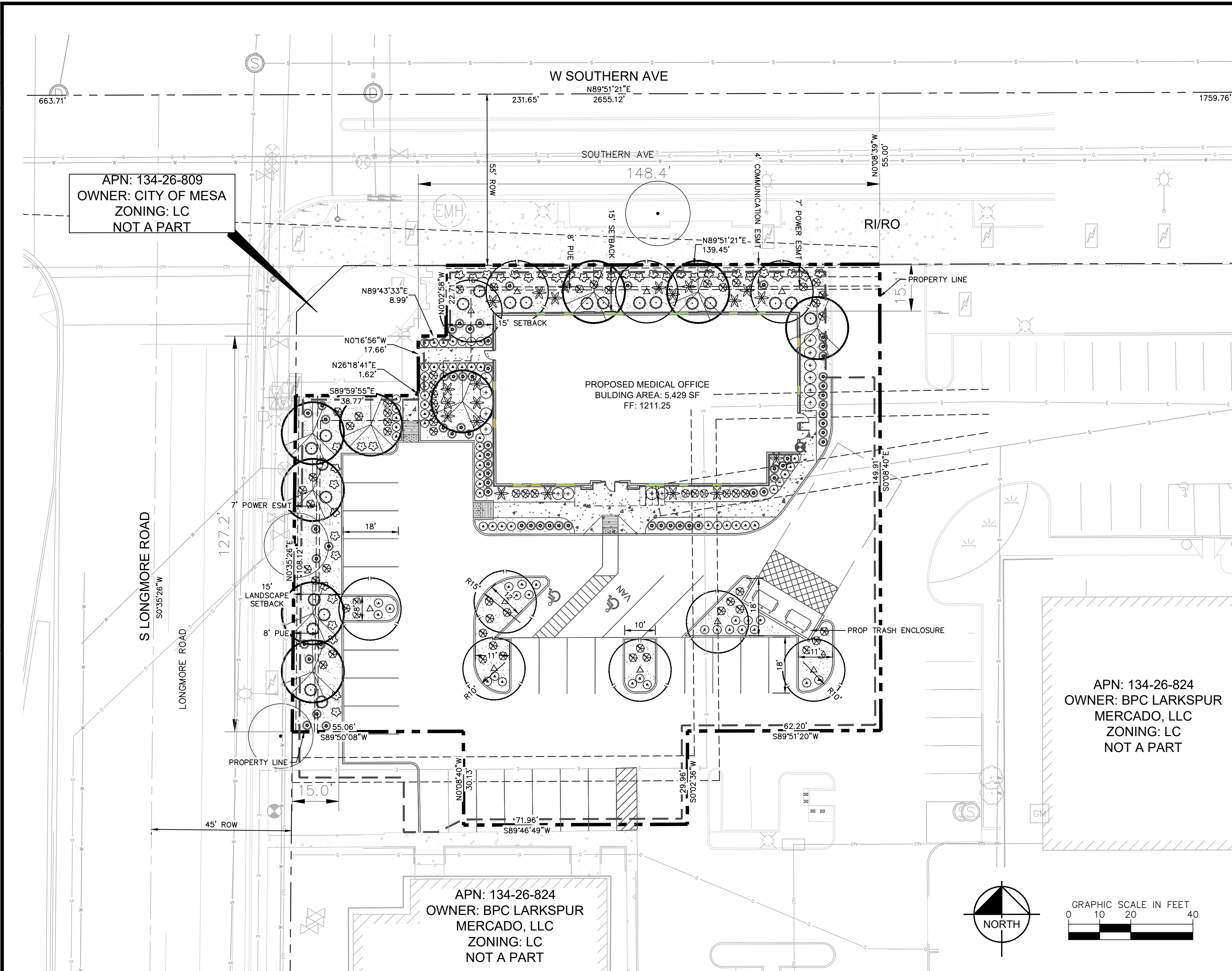
Section VIII – Utilities

The redevelopment proposes utility improvements, as deemed necessary, to support the new building and its use.

Section IX – Drainage

The redevelopment proposes site grading which will provide for adequate drainage design into the existing system for the Fiesta Mall.

NO.	DATE	BY	DESCRIPTION
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APN: 134-26-809
OWNER: CITY OF MESA
ZONING: LC
NOT A PART

APN: 134-26-824
OWNER: BPC LARKSPUR
MERCADO, LLC
ZONING: LC
NOT A PART

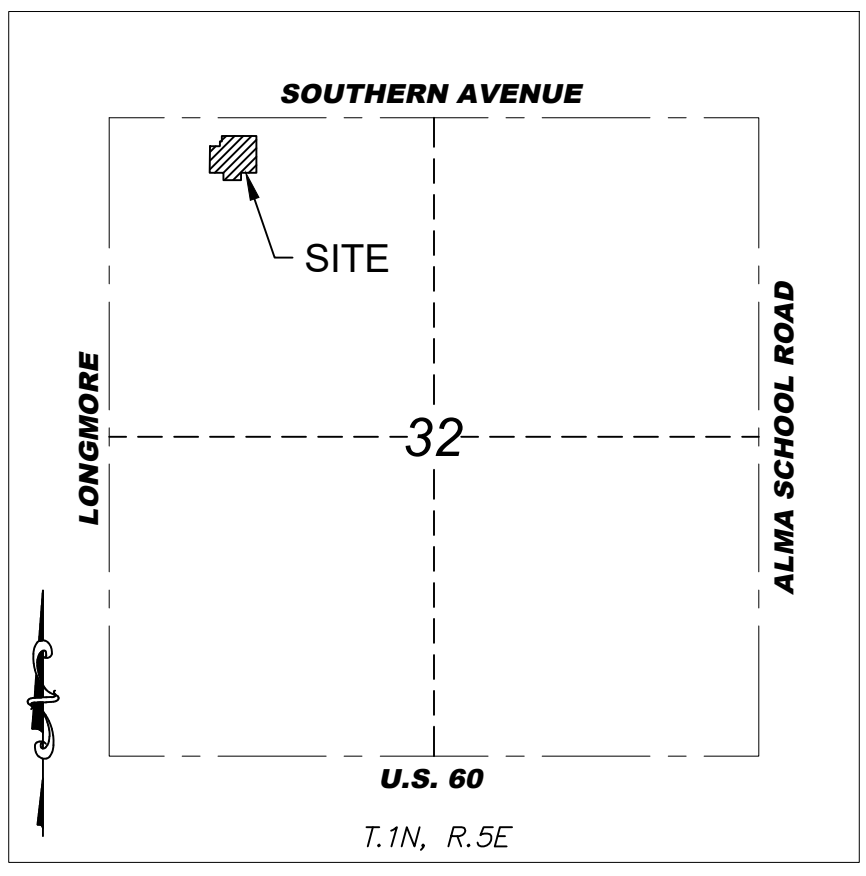
OWNER/DEVELOPER
RAISING CANE'S
RESTAURANTS, LLC
6800 BISHOP ROAD
PLANO, TX 75024
TEL: (972) 769-3364
CONTACT: LFOSTER@RAISINGCANES.COM

CIVIL ENGINEER
KIMLEY-HORN AND
ASSOCIATES, INC.
1001 W SOUTHERN AVE.
SUITE 131
MESA, ARIZONA 85210
TEL: (480) 207-2666
FAX: (602) 944-7423
CONTACT: HEATHER D.
ROBERTS, PE

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
7740 N 18th St, #300,
Phoenix, AZ 85020
TEL NO. (602) 906-1106
CONTACT: ANNE DEBOARD
EMAIL: ANNE.DEBOARD@KIMLEY-HORN.COM

LEGAL DESCRIPTION
LOT 2, MERCADO FIESTA, ACCORDING TO BOOK 1554 OF
MAPS, PAGE 39, RECORDS OF MARICOPA COUNTY,
ARIZONA.

PROJECT INFORMATION
ADDRESS: 1235 S LONGMORE
MESA, AZ 85210
QUARTER SECTION INFO: A PORTION OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 1
NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND
MERIDIAN, MARICOPA COUNTY, ARIZONA
EXISTING USE: PARKING LOT
PROPOSED USE: MEDICAL OFFICE
EXISTING ZONING: LC
ADJACENT ZONING: LC
JURISDICTION: CITY OF MESA



PLANTING LEGEND

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
Existing Tree to Remain	Species Vary	-	-
Acacia aneura	24" Box, 1" Cal. Min., 6' Ht. Min.	7	
Mulga	36" Box, 1 1/2" Cal. Min, 8' Ht. Min.	2	
Parkinsonia x 'Desert Museum'	24" Box, 1" Cal. Min., 6' Ht. Min.	7	
Desert Museum Palo Verde	36" Box, 1 1/2" Cal. Min, 8' Ht. Min.	3	
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
Eremophila hygrophana 'Blue Bells'	5 Gal.	65	
Blue Bells	5 Gal.	14	
Rosmarinus officinalis	5 Gal.	22	
Upright Rosemary	5 Gal.	22	
Simmondsia chinensis 'Vista'	5 Gal.	22	
Compact Jojoba	5 Gal.	22	
ACCENTS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
Agave desmettiana	5 Gal.	20	
Smooth Agave	5 Gal.	64	
Muhlenbergia rigida 'Nashville'	5 Gal.	64	
Purple Muhly	5 Gal.	64	
GROUNDCOVERS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
Convolvulus cneorum	1 Gal.	41	
Bush Morning Glory	1 Gal.	71	
Penstemon eatonii	1 Gal.	71	
Firecracker Penstemon	1 Gal.	71	
MATERIALS	DESCRIPTION	QTY	
Decomposed Granite	1/2" Screened, Madison Gold, 2" Depth Min.	7,130 SF	

CITY OF MESA LANDSCAPE STANDARDS

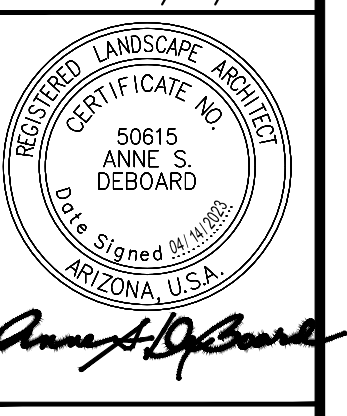
REQUIREMENT	REQUIRED	PROVIDED
INTERIOR PARKING LOT	INTERIOR PARKING LOT	INTERIOR PARKING LOT
PARKING ISLANDS	PARKING ISLANDS	PARKING ISLANDS
• 1 TREE, 3 SHRUBS / ISLAND	• 7 ISLANDS = 7 TREES, 21 SHRUBS	• 7 TREES, 21 SHRUBS
PARKING TREES	PARKING TREES	PARKING TREES
• 10% MIN. @ 36" BOX	• 10% MIN. @ 36" BOX = 1 TREES	• 36" BOX = 1 TREES
FOUNDATION BASES	FOUNDATION BASES	FOUNDATION BASES
EXTERIOR WALLS	EXTERIOR WALLS	EXTERIOR WALLS
• 1 TREE / 50 LF	• 270 LF = 6 TREES	• 6 TREES
• 10% MIN. @ 36" BOX	• 10% MIN. @ 36" BOX = 1 TREES	• 36" BOX = 1 TREES
• LANDSCAPE AREA - 33% MIN. LENGTH OF WALL W/PUBLIC ENTRANCE	• LANDSCAPE AREA W/ ENTRANCE - 33% MIN = 89 LF X 33% = 29 LF	• LANDSCAPE AREA W/ ENTRANCE - 74% = 66 LF
• LANDSCAPE AREA - 25% MIN. LENGTH OF WALL W/OUT PUBLIC ENTRANCE	• LANDSCAPE AREA W/OUT ENTRANCE - 25% MIN = 221 LF X 25% = 55.25 LF	• LANDSCAPE AREA W/OUT ENTRANCE - 92% = 203 LF
• 8' (TREES) 3' (SHRUBS) WIDE PLANTER MIN.	• 8' (TREES), 3' (SHRUBS) WIDE PLANTER MIN.	• 8' (TREES), 3' (SHRUBS) WIDE PLANTER MIN.
GENERAL	50% OF LANDSCAPED AREA SHALL BE VEGETATIVE MATERIAL AT MATURITY	50% LANDSCAPED AREA = 3,565 SF
		PROVIDED

REQUIREMENT	REQUIRED	PROVIDED
PERIMETER LANDSCAPING - STREET FRONTAGE SOUTHERN AVENUE	PERIMETER LANDSCAPING - STREET FRONTAGE SOUTHERN AVENUE	PERIMETER LANDSCAPING - STREET FRONTAGE SOUTHERN AVENUE
• 1 TREE, 6 SHRUBS PER 25 LF	• 148 LF = 6 TREES, 36 SHRUBS	• 6 TREES, 36 SHRUBS
LONGMORE ROAD	LONGMORE ROAD	LONGMORE ROAD
• 1 TREE, 6 SHRUBS PER 25 LF	• 127 LF = 5 TREES, 30 SHRUBS	• 5 TREES (1 EXISTING/4 NEW), 30 SHRUBS
MINIMUM SIZE OF PLANT MATERIALS	MINIMUM SIZE OF PLANT MATERIALS	MINIMUM SIZE OF PLANT MATERIALS
TREES	TREES	TREES
• MINIMUM 25% OF TOTAL SHALL BE 36-INCH	• 19 TOTAL * 25% = 5 (36)-INCH BOX	• 5 (36)-INCH BOX
• MINIMUM 50% OF TOTAL SHALL BE 24-INCH	• 19 TOTAL * 50% = 10 (24)-INCH BOX	• 14 (24)-INCH BOX
• NO TREES SMALLER THAN 15-GALLON	• 19 TOTAL * 25% = 4 (15)-GALLON	• 0 (15)-GALLON
SHRUBS	SHRUBS	SHRUBS
• MINIMUM 50% OF TOTAL SHALL BE 5-GALLON	• 297 TOTAL * 50% = 149 (5)-GALLON	• 185 (5)-GALLON
• NO SHRUBS SMALLER THAN 1-GALLON	• 297 TOTAL * 50% = 148 (1)-GALLON	• 112 (1)-GALLON

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1001 W Southern Ave, Suite 131
Mesa, Arizona 85210 (480) 207-2666

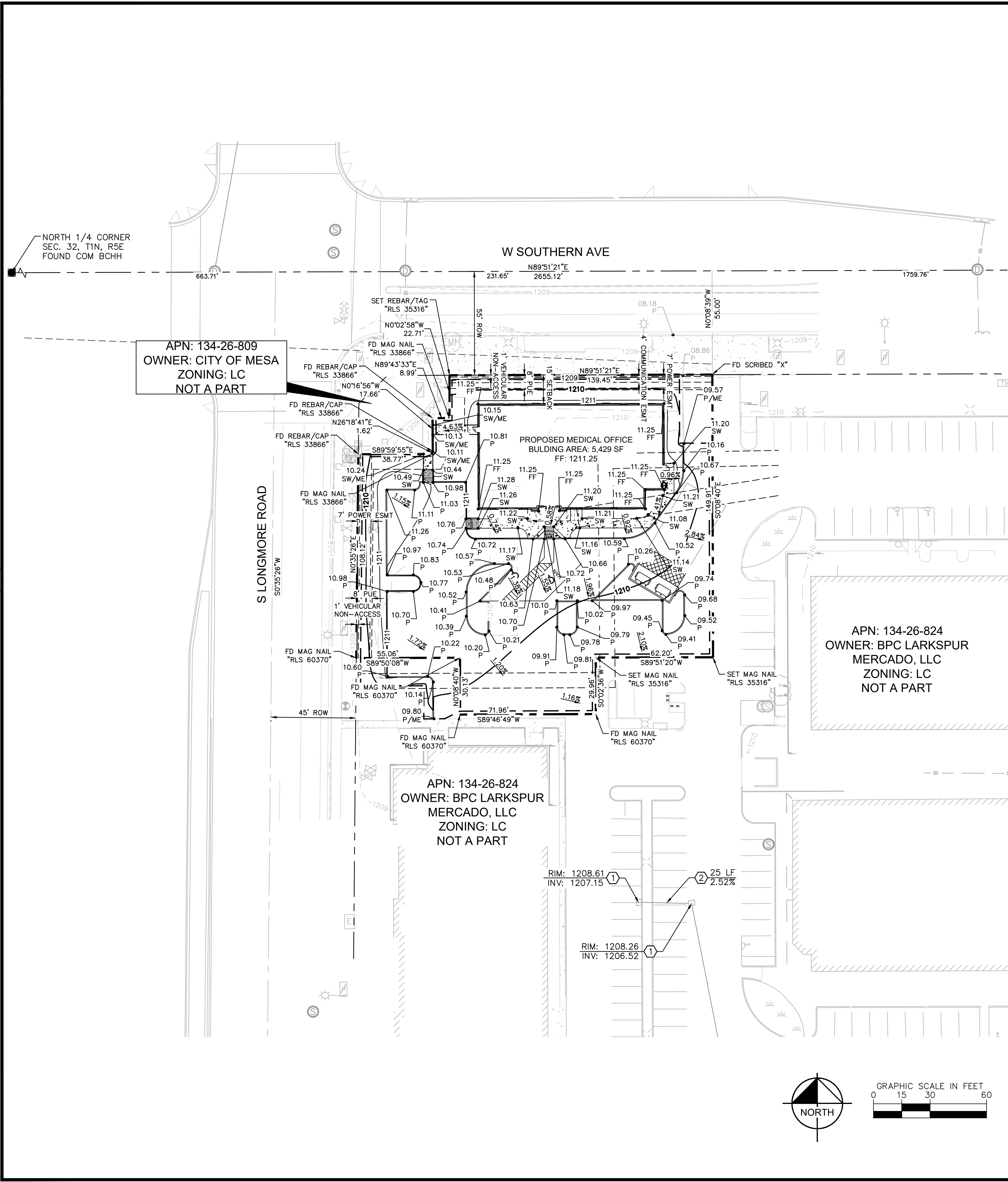
MESA MERCADO
LANDSCAPE PLAN
1235 S LONGMORE
MESA, AZ 85202

PROJECT No.
291844000
SCALE (H): 1"=20'
SCALE (V): ---
DRAWN BY: REG
DESIGN BY: REG
CHECK BY: ASD
DATE: 04/14/2023



REV	DESCRIPTION	BY	DATE	APPR

K:\EAV_Civil\Mesa Mercado Fiesta\2023 PROJECT MEDICAL OFFICE\CADD\Preliminary\GD.dwg, Layout:04 GRADING AND DRAINAGE PLAN Apr 14, 2023 - 10:20am
 XREFS: x540441B.dwg, x15.dwg
 THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. IT SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC. IF REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

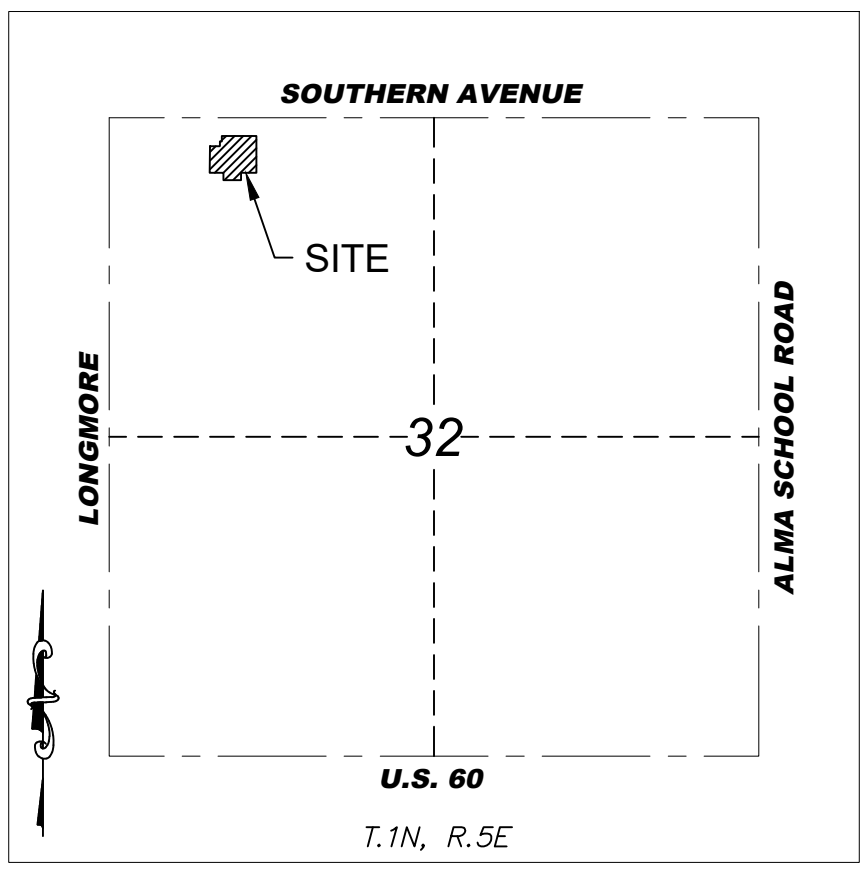


APN: 134-26-809
 OWNER: CITY OF MESA
 ZONING: LC
 NOT A PART

APN: 134-26-824
 OWNER: BPC LARKSPUR
 MERCADO, LLC
 ZONING: LC
 NOT A PART

APN: 134-26-824
 OWNER: BPC LARKSPUR
 MERCADO, LLC
 ZONING: LC
 NOT A PART

NORTHEAST CORNER
 SEC. 32, T1N, R5E
 FOUND COM BCHH



FLOODZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2265 M, DATED NOVEMBER 04, 2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 NORTH, RANGE 5 EAST, OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS N89°51'21"E.

BENCHMARK

A BRASS TAG ON THE NORTHEAST CURB RETURN AT THE INTERSECTION OF DOBSON AND SOUTHERN CITY OF MESA ELEVATION = 1201.84' (NAVD88 DATUM)

DRAINAGE NOTES

- ① EXISTING CATCH BASIN, INVERT PER PLAN.
- ② EXISTING 12" STORM DRAIN, LENGTH AND SLOPE PER PLAN.

NOTES

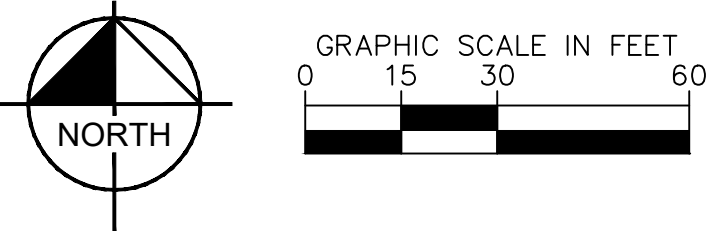
1. ADD 0.5' TO PAVEMENT (P) ELEVATIONS TO OBTAIN TOP OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
2. ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), MATCH EXISTING (ME), OR SIDEWALK (SW) ELEVATIONS UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL SIDEWALK RAMPS SHALL HAVE A MAX 6" RISE AT 1:12 MAX.
5. REFER TO UTILITY PLAN FOR UNDERGROUND UTILITIES.
6. ALL GRADES ARE PAVEMENT GRADES UNLESS OTHERWISE NOTED ON PLANS, ALL GRADES ARE PLUS 1200.
7. ADD 1200 TO ALL SPOT ELEVATIONS.
8. SIDEWALKS AND ADA CROSSWALKS TO HAVE A MINIMUM CROSS SLOPE OF 2% AND A 5% MAXIMUM LONGITUDINAL SLOPE PER ADA CODE.
9. ALL CUT/FILL SLOPES 4:1 MAX UNLESS OTHERWISE NOTED.
10. ROOF DRAINS TO SPLASH TO GRADE. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING. UTILIZE SCUPPERS AS NEEDED AT SIDEWALK CROSSINGS.

LEGEND

	PROPERTY LINE
	EASEMENT LINE
	SAWCUT LINE
	PROPOSED HIGH POINT
	EXISTING STORM DRAIN
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED FLOW ARROW
	PROPOSED PAVEMENT
	SPOT ELEVATION
	EXISTING GRADE ELEVATION
	FINISHED FLOOR
	EXISTING GRADE
	MATCH EXISTING
	PAVEMENT
	SIDEWALK
	CONCRETE
	FLOW LINE

DRAINAGE STATEMENT

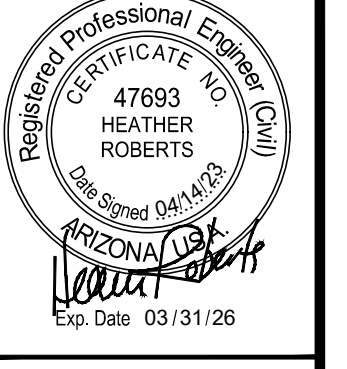
THE EXISTING SITE IS FULLY DEVELOPED WITH STORMWATER MANAGEMENT PROVIDED BY MEANS OF EXISTING CATCH BASINS AND STORM DRAINS WHICH OUTFALL TO THE EXISTING STORM DRAIN SYSTEM WITHIN THE FIESTA LOOP ROAD TO THE SOUTH. THE ULTIMATE OUTFALL IS TO AN EXISTING PRIVATE RETENTION BASIN LOCATED AT THE SWC OF THE MALL. THE ADDITION OF A VALLEY GUTTER WILL BE USED TO PROVIDE FOR ADEQUATE DRAINAGE DESIGN INTO THE EXISTING SYSTEM FOR THE FIESTA MALL. THE PROPOSED DRAINAGE DESIGN WILL BE DESIGNED TO ACCOMMODATE THE 100-YEAR STORM PER CITY OF MESA DRAINAGE DESIGN GUIDELINES.



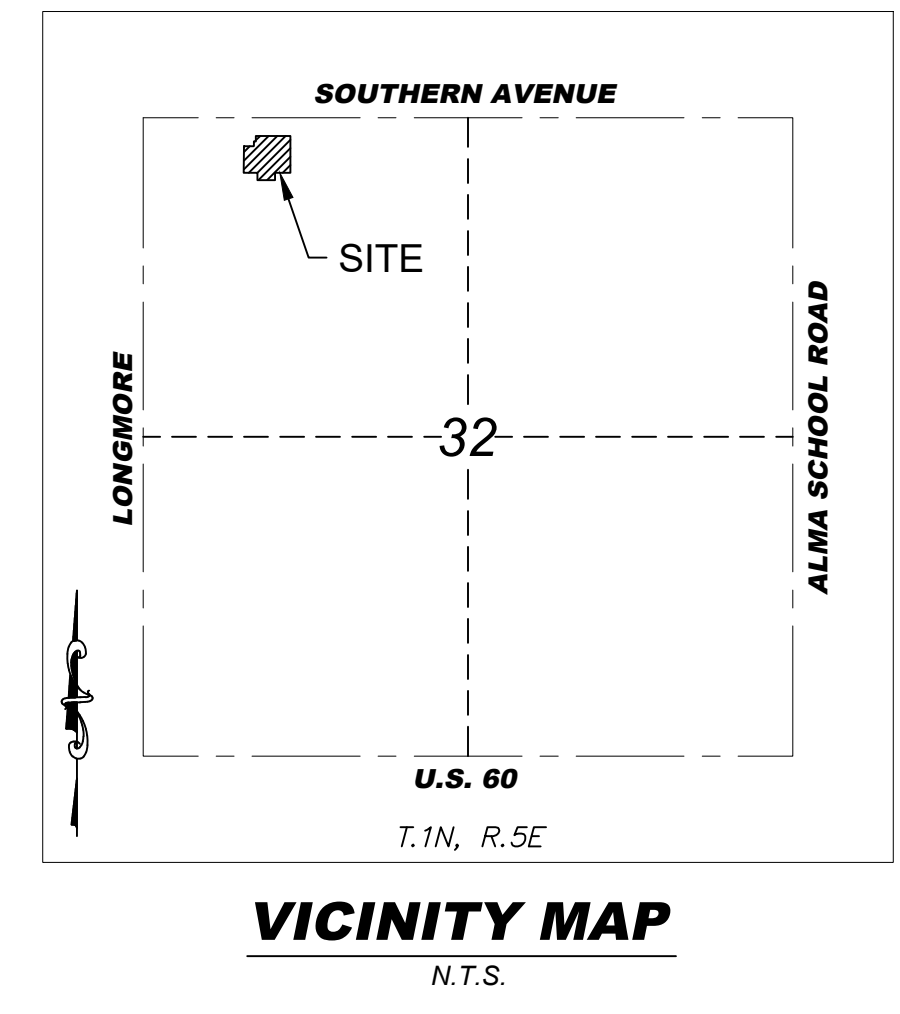
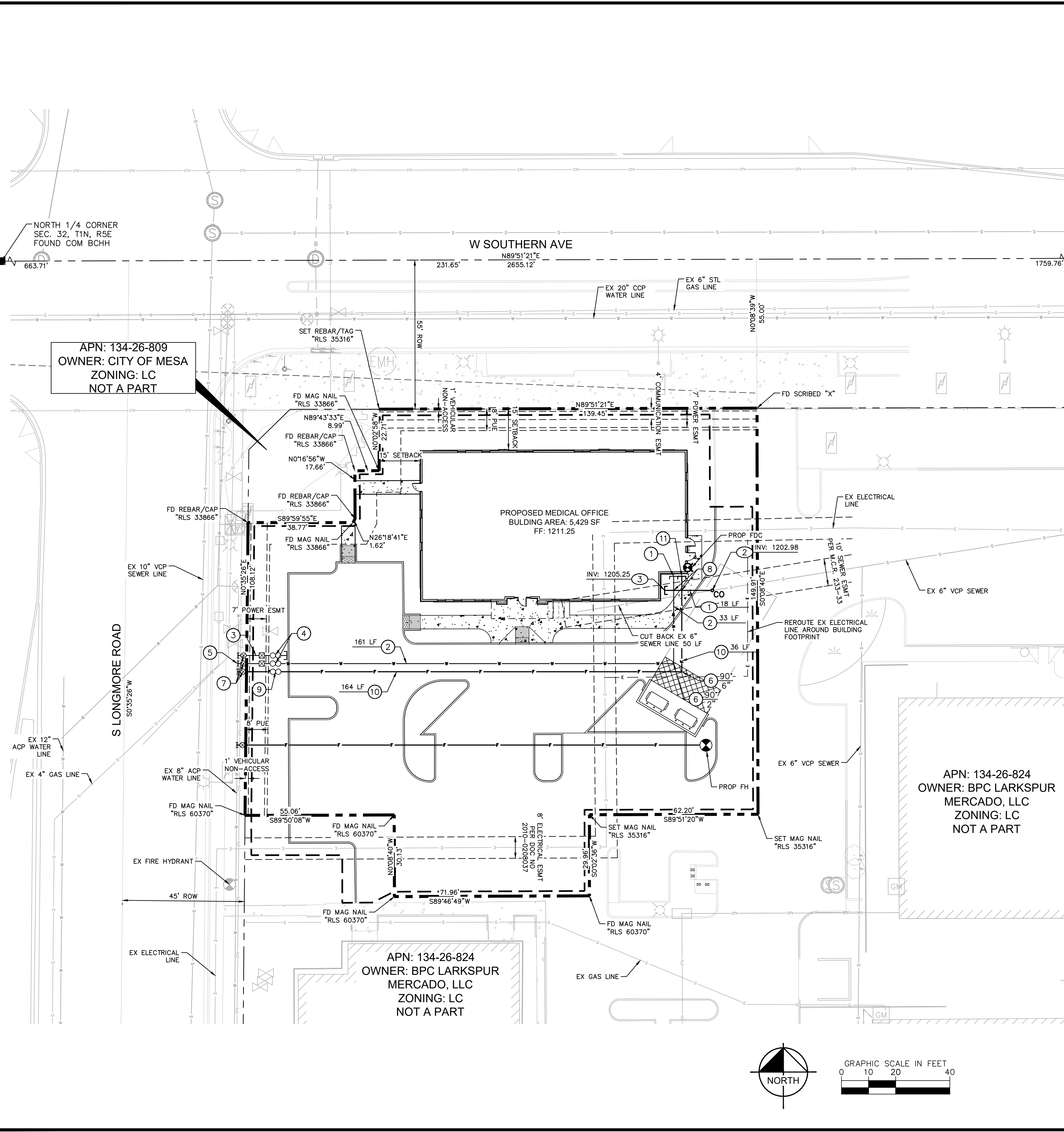
Kimley»Horn © 2023
 1001 W Southern Ave, Suite 131
 Mesa, Arizona 85210 (480) 207-2666

MESA MERCADO
 PRELIMINARY GRADING & DRAINAGE PLAN
 1235 S LONGMORE
 MESA, AZ 85202

PROJECT No.	291844000
SCALE (H):	1"=30'
SCALE (V):	---
DRAWN BY:	SJB
DESIGN BY:	SJB/HDR
CHECK BY:	HDR
DATE:	04/14/2023



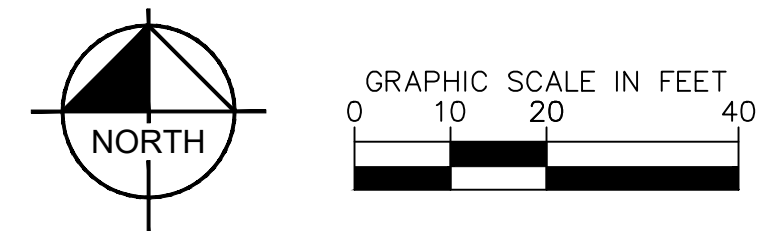
REV	DESCRIPTION	BY	DATE	APPR



- LEGEND**
- F PROPOSED FIRE LINE
 - S PROPOSED SANITARY SEWER
 - W PROPOSED WATER LINE
 - S EXISTING SANITARY SEWER
 - W EXISTING WATER LINE
 - G EXISTING GAS LINE
 - CTV EXISTING CABLE TV LINE
 - COM EXISTING TELECOMM LINE
 - SD EXISTING STORMDRAIN
 - CENTER LINE
 - - - PROPERTY LINE
 - - - EXISTING RIGHT-OF-WAY LINE

- WATER NOTES**
- 1 BUILDING DOMESTIC WATER CONNECTION, REF MEP PLANS FOR CONTINUATION.
 - 2 INSTALL 2" SCH 40 PVC DOMESTIC WATER SERVICE, LENGTH PER PLAN. BEDDING AND BACKFILL PER COM STD DET M-19.05.
 - 3 INSTALL 1" IRRIGATION SERVICE AND AND METER.
 - 4 INSTALL RPPA BACKFLOW PREVENTOR PER COM STD DETAIL M-31.03.
 - 5 INSTALL 2" DOMESTIC WATER SERVICE CONNECTION PER COM STD DET M-29.
 - 6 INSTALL BEND WITH RESTRAINED JOINTS PER MAG STD DET 303 . ANGLE AND SIZE SPECIFIED PER PLAN.
 - 7 INSTALL GATE VALVE.
 - 8 WATER SERVICE UTILITY CROSSING MINIMUM 2' VERTICAL SEPARATION. REALIGN PER MAG STD DET 370 AND 381 IF NECESSARY.
 - 9 INSTALL 6" REDUCED PRESSURE BACKFLOW PREVENTOR PER COM STD DET M-31.01. CONTRACTOR SHALL MAINTAIN AN UNOBSTRUCTED RADIUS OF NO LESS THAN THREE FEET FROM THE OUTER PERIMETER OF THE BACKFLOW PREVENTOR.
 - 10 INSTALL 6" PRESSURE CLASS 350 DIP PRIVATE FIRE LINE, CEMENT MORTAR LINED PER COM STD DET 31.07 AND MAG SPEC 750 WITH POLYETHYLENE AND CORROSION PROTECTION PER MAG SPEC 610.5, LENGTH PER PLAN. BEDDING AND BACKFILL PER COM STD DET M-19.05.
 - 11 FIRELINE BUILDING ENTRY, REF MEP/FIRE PROTECTION PLANS FOR CONTINUATION.
 - 12 INSTALL 6" FIRE LINE CONNECTION PER COM STD DET M-29.

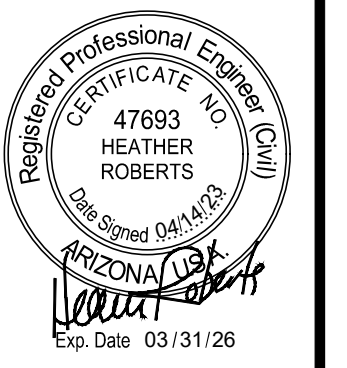
- SEWER NOTES**
- 1 INSTALL 6" SDR 35 VCP SEWER SERVICE WITH TRACER WIRE, LENGTH PER PLAN.
 - 2 INSTALL SEWER CLEANOUT PER MAG STD DET 441, WITH GAS/WATERTIGHT CONNECTIONS PER IPC 2018. INVERT PER PLAN.
 - 3 CONNECT TO BUILDING SEWER AT TWO-WAY CLEANOUT REF MEP PLANS FOR CONTINUATION. INVERT PER PLAN.

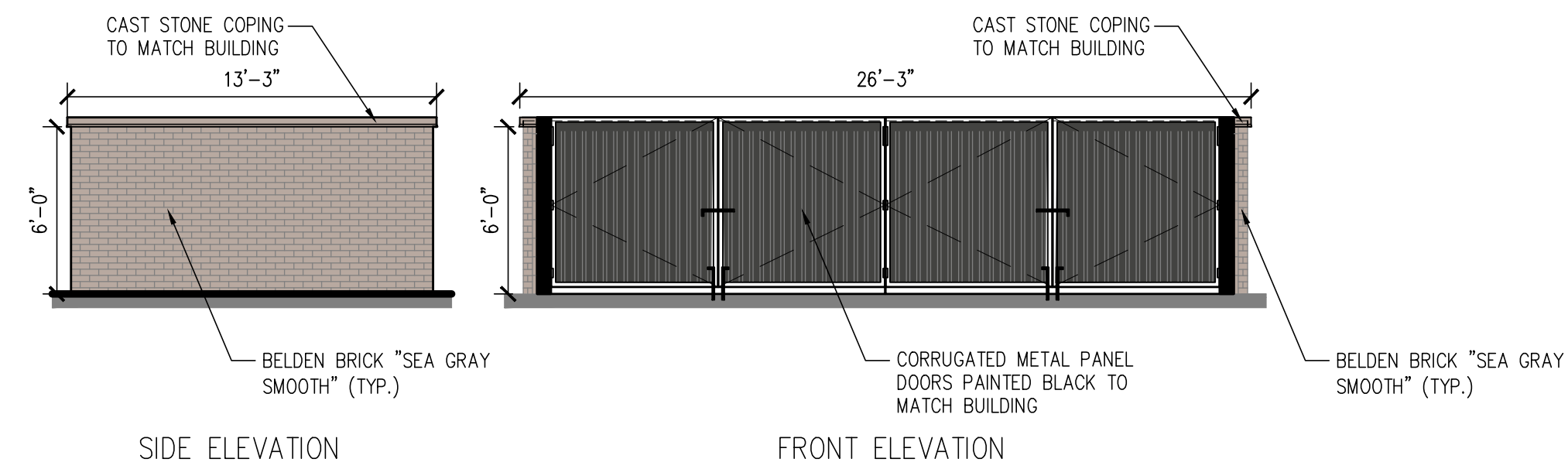
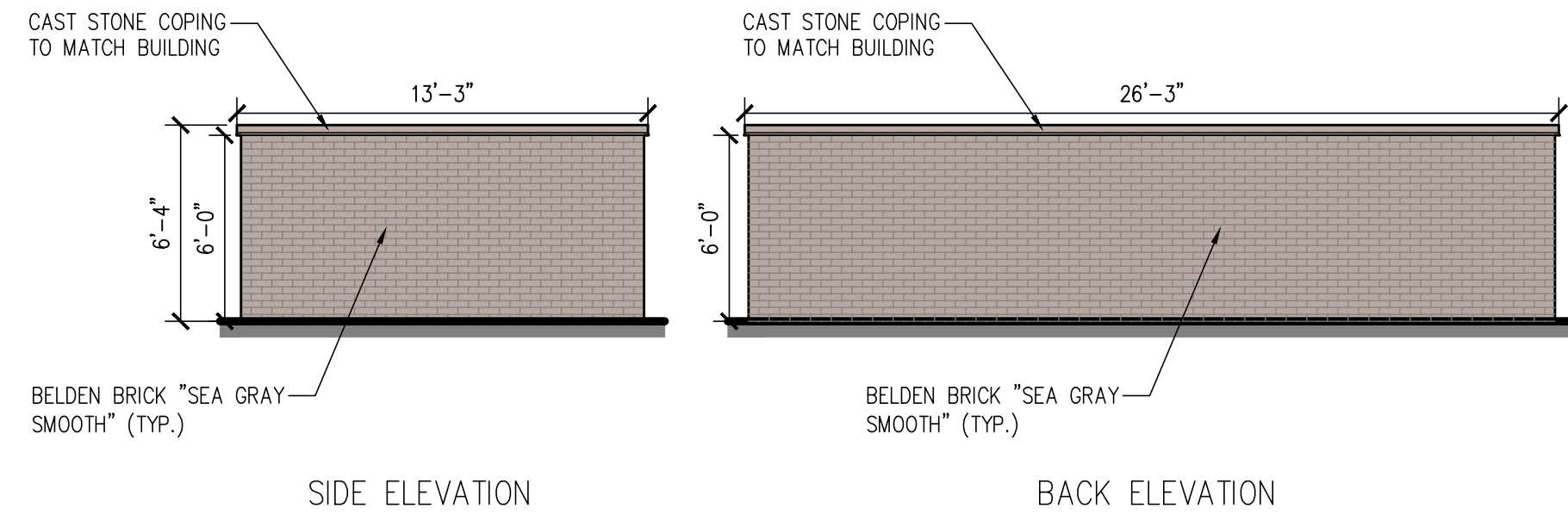


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 1001 W Southern Ave, Suite 131
 Mesa, Arizona 85210 (480) 207-2666

MESA MERCADO
 PRELIMINARY UTILITY PLAN
 1235 S LONGMORE
 MESA, AZ 85202

PROJECT No.
 291844000
 SCALE (H): 1"=20'
 SCALE (V): ---
 DRAWN BY: SJB
 DESIGN BY: SJB/HDR
 CHECK BY: HDR
 DATE: 04/14/2023





3 TRASH ENCLOSURE
 SCALE: 3/16" = 1'-0"

NOTE: WALL CONSTRUCTION TO BE CONCRETE MASONRY WALLS W/ BRICK EXTERIOR. INTERIOR OF TRASH ENCLOSURE TO BE PAINTED CMU TO MATCH BUILDING.

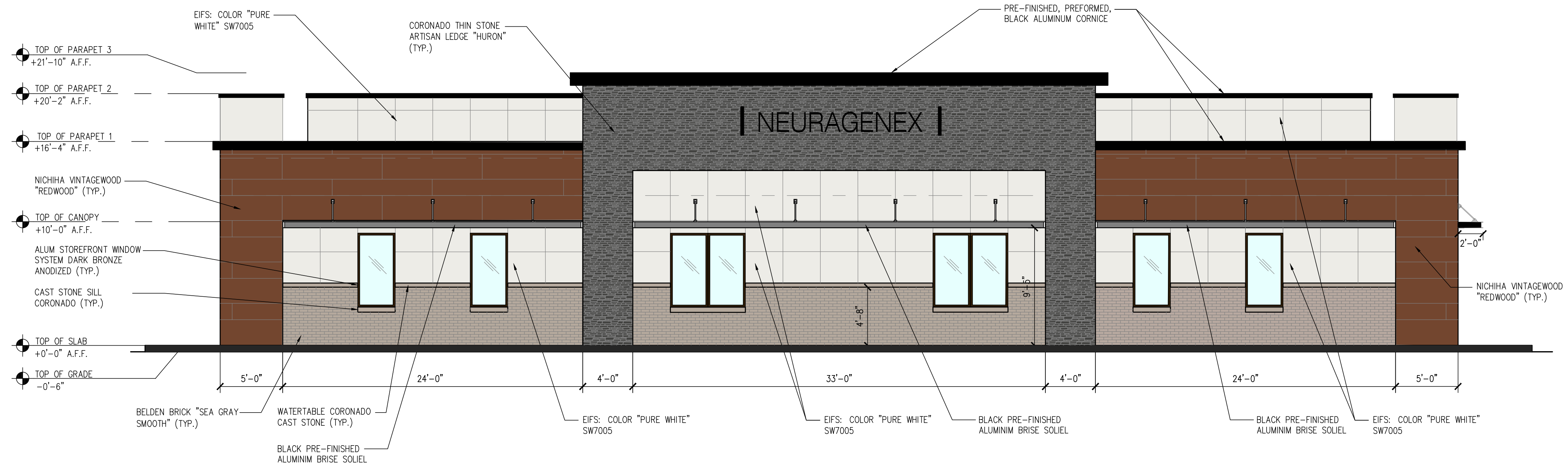
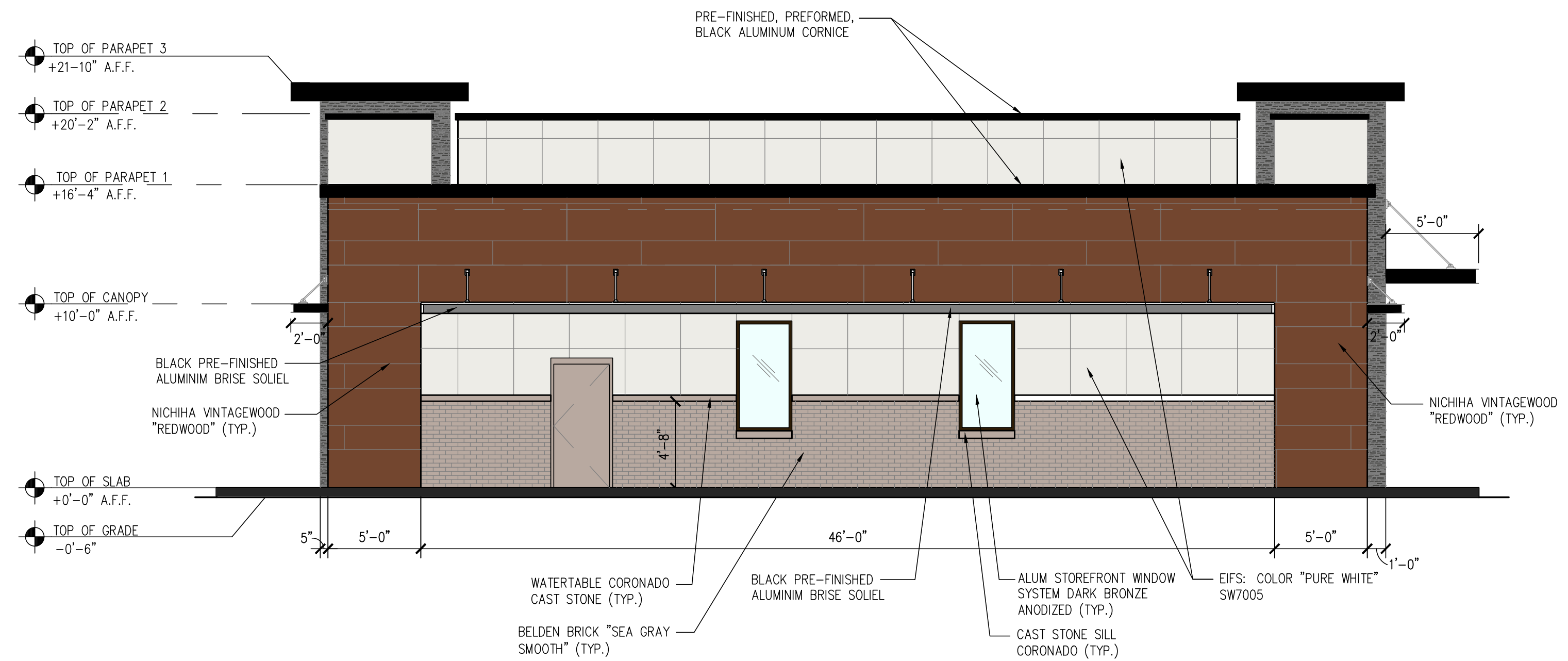
FINISH LEGEND		
ITEM	MATERIAL	COLOR
COPING & FLASHING	PREFINISHED ALUMINUM	BLACK
CORNICE	PREFINISHED, PREFORMED, ALUMINUM	BLACK
BRICK	BELDEN BRICK	SEA GRAY SMOOTH
CAST STONE SILL	CORONADO OR EQUAL	TO MATCH BRICK
CAST STONE WATERTABLE	CORONADO OR EQUAL	TO MATCH BRICK
EIFS	PAINT	SW7005 PURE WHITE
FIBER CEMENT PANEL	NICHIHA	VINTAGEWOOD REDWOOD
WINDOWS/ DOORS	PREFINISHED ALUMINUM	DARK BRONZE
STONE	CORONADO THIN STONE	ARTISAN LEDGE HURON

NORTH ELEVATION

- NORTH ELEVATION = 2014 SF
- ALUMINUM METAL COPING = 96.6 SF 4.79 % OF TOTAL FACADE
- EIFS SYSTEM = 550 SF 27.30 % OF TOTAL FACADE
- STONE VENEER = 392.2 SF 19.47 % OF TOTAL FACADE
- NICHIHA WD PANEL = 428.2 SF 21.26 % OF TOTAL FACADE
- CORONADO CAST BAND = 28.4 SF 1.41 % OF TOTAL FACADE
- BELDEN BRICK = 329.9 SF 16.38 % OF TOTAL FACADE
- GLASS WINDOWS = 141.6 SF 7.0 % OF TOTAL FACADE
- ALUM. BRISE SOLIEL = 41.1 SF 2.0 % OF TOTAL FACADE

WEST ELEVATION

- WEST ELEVATION = 1076 SF
- ALUMINUM METAL COPING = 51.6 SF 4.79 % OF TOTAL FACADE
- EIFS SYSTEM = 318.4 SF 29.59 % OF TOTAL FACADE
- STONE VENEER = 0 SF 0 % OF TOTAL FACADE
- NICHIHA WD PANEL = 417.2 SF 38.77 % OF TOTAL FACADE
- CORONADO CAST BAND = 14.5 SF 1.34 % OF TOTAL FACADE
- BELDEN BRICK = 187 SF 17.37 % OF TOTAL FACADE
- GLASS WINDOWS = 35.4 SF 3.28 % OF TOTAL FACADE
- ALUM. BRISE SOLIEL = 23 SF 2.13 % OF TOTAL FACADE



DESIGN ARCHITECT:
KORU
 Koru Group, PLLC
 2135 City Gate Lane, STE 330
 Naperville, IL. 60563

GENERAL CONTRACTOR:

CONSULTING ENGINEERS:

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CLIENT:
 New Construction:
Neuragenex
 1457 W SOUTHERN AVE
 Mesa, AZ 85202

REVISIONS:		
#	DESCRIPTION	DATE
1	ZONING SUBMITTAL	03/20/23

FILE NAME: 23-001 NGX Herriman
 DRAWN BY: REVIEWED BY:
 SHEET TITLE:
EXTERIOR ELEVATIONS
 SHEET NO.
A200

IF PRINTED TO SCALE, BOTH THESE BARS SHALL MEASURE 1'-0"

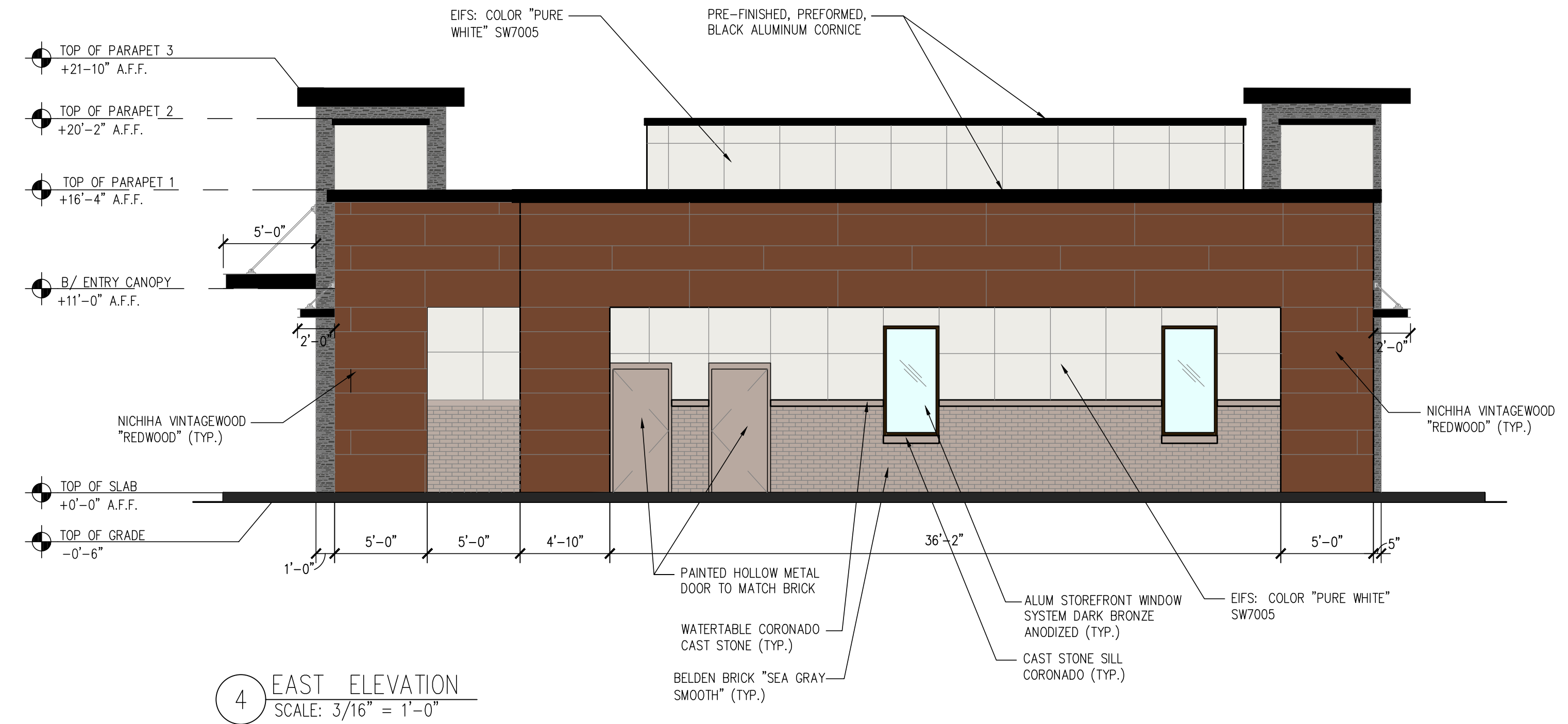
SOUTH ELEVATION

- SOUTH ELEVATION = 1937 SF
- ALUMINUM METAL COPING = 93.6 SF 4.83 % OF TOTAL FACADE
- EIFS SYSTEM = 388.3 SF 20 % OF TOTAL FACADE
- STONE VENEER = 323.2 SF 16.68 % OF TOTAL FACADE
- NICHHA WD PANEL = 602.9 SF 31.12 % OF TOTAL FACADE
- CORONADO CAST BAND = 20 SF 1 % OF TOTAL FACADE
- BELDEN BRICK = 255 SF 13.16 % OF TOTAL FACADE
- GLASS WINDOWS = 201.6 SF 10.40 % OF TOTAL FACADE
- ALUM. BRISE SOLIEL = 41.5 SF 2.14 % OF TOTAL FACADE

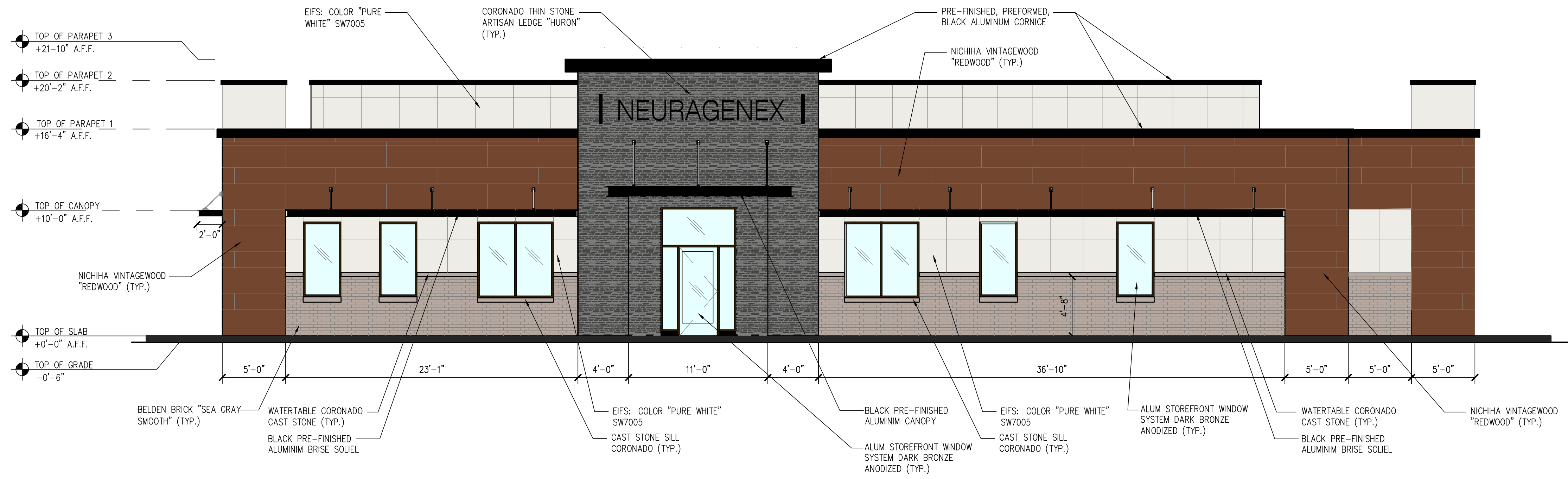
EAST ELEVATION

- SOUTH ELEVATION = 1039 SF
- ALUMINUM METAL COPING = 48.6 SF 4.67 % OF TOTAL FACADE
- EIFS SYSTEM = 280.9 SF 27 % OF TOTAL FACADE
- STONE VENEER = 0 SF 0 % OF TOTAL FACADE
- NICHHA WD PANEL = 359 SF 34.55 % OF TOTAL FACADE
- CORONADO CAST BAND = 11.6 SF 1 % OF TOTAL FACADE
- BELDEN BRICK = 148.9 SF 14.33 % OF TOTAL FACADE
- GLASS WINDOWS = 35.4 SF 3.4 % OF TOTAL FACADE
- ALUM. BRISE SOLIEL = 0 SF 0 % OF TOTAL FACADE

FINISH LEGEND		
ITEM	MATERIAL	COLOR
COPING & FLASHING	PREFINISHED ALUMINUM	BLACK
CORNICE	PREFINISHED, PREFORMED, ALUMINUM	BLACK
BRICK	BELDEN BRICK	SEA GRAY SMOOTH
CAST STONE SILL	CORONADO OR EQUAL	TO MATCH BRICK
CAST STONE WATERTABLE	CORONADO OR EQUAL	TO MATCH BRICK
EIFS	PAINT	SW7005 PURE WHITE
FIBER CEMENT PANEL	NICHHA	VINTAGEWOOD REDWOOD
WINDOWS/ DOORS	PREFINISHED ALUMINUM	DARK BRONZE
STONE	CORONADO THIN STONE	ARTISAN LEDGE HURON



4 EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



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CLIENT:
Neuragenex
New Construction:
1457 W SOUTHERN AVE
Mesa, AZ 85202

REVISIONS:		
#	DESCRIPTION	DATE
1	ZONING SUBMITTAL	03/20/23
2		
3		
4		
5		
6		
7		

FILE NAME: 23-001 NGX Herriman
DRAWN BY: REVIEWED BY:
SHEET TITLE:
EXTERIOR ELEVATIONS
SHEET NO.
A201

IF PRINTED TO SCALE, BOTH THESE BARS SHALL MEASURE 1'-0"

CITIZEN PARTICIPATION PLAN FOR Mesa Mercado Medical Center

Date: March 20, 2023

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses near the site of an application for the Mercado Fiesta Center. The site is located at 1235 South Longmore. This plan will ensure that those affected by this application will have the opportunity to learn about and comment on the proposal.

Contact:

Heather D. Roberts, P.E.
1001 W. Southern Ave, Suite 131
Mesa, AZ 85210
(623) 552-3171
HeatherD.Roberts@kimley-horn.com

Pre-submittal Meeting: A pre-application meeting was held with the City of Mesa planning staff in January 2023. Staff reviewed the application and recommended that adjacent residents, Mesa School Districts and nearby adjacent neighborhoods be contacted.

Action Plan: To provide effective citizen participation in conjunction with the application, the following actions will be taken to provide opportunities to members of the community to understand and address any real or perceived impacts the development may have.

- A contact list will be developed for citizens and agencies in this area including:
 - All registered neighborhoods within one mile of the project.
 - Homeowners Associations within one half mile of the project.
 - Property owners within 1,000 feet from site (initial neighborhood letter)
 - Property owners within 500 feet from site (hearing notification)
- All persons listed on the contact list will receive a letter describing the project, project schedule, and site plan with building elevations.
- Neighborhood Associations, Homeowners Associations and Neighbors within 1,000 feet of this site receive comments.
- Presentations will be made to groups of citizens or neighborhood associations upon request.

Note: All materials such as sign-in lists, comments, and petitions received will be copied to the City of Mesa

Schedule

Agenda Item	Date
Pre-submittal Meeting	January 2023
P&Z 1 st Submittal	3/20/23
P&Z Meeting with Applicant	4/10/23
P&Z 2 nd Submittal	4/24/23
P&Z Comment Resolution	5/8/23
Initial Neighborhood Letter (14 days prior to hearing)	6/14/23
Hearing Notification	6/21/23
P&Z Hearing	6/28/23

CITIZEN PARTICIPATION PROGRESS REPORT
MERCADO FIESTA CENTER
CASE # ZON23 - 00221

Date of report: May 2, 2023

Overview: This report provides progress update of the implementation of the citizen participation plan for the Mesa Mercado Medical Office. This is located at 1461 West Southern Ave, Mesa, AZ 85202. This is an application for the redevelopment of 0.65 acres of the Mesa Mercado Fiesta retail and shopping center. This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in this application. Any comments, sign-in lists, letters, summary sheets, and materials are attached.

Contact:

Heather D. Roberts, P.E.
1001 W. Southern Ave, Suite 131
Mesa, AZ 85210
(623) 552-3171
HeatherD.Roberts@kimley-horn.com

Correspondence and Telephone Calls:

- Property owners within 500 feet from site (hearing notification) → letters to be delivered to City of Mesa Planning Department on 4/19/2023

Results:

There are 16 persons on the 500-foot contact list as of the date of this Citizen Participation Report (see attached). No one has contacted us as of the date of this Report.

CONTACT LIST RESIDENTS WITHIN 500-FEET OF PROPERTY

Owner Name *	Mailing Address1	Mailing Address City	Mailing Address State	Mailing Address Zip Code
BTT FIESTA PLAZA LLC	3573 E SUNRISE DR STE 125	TUCSON	AZ	85718
MESA CITY OF	20 E MAIN ST 6TH FL	MESA	AZ	85201
MERGUS PACIFICA LLC	2 WINDWARD WAY	DUXBURY	MA	02332
DOBROTT FAMILY BYPASS TRUST	2944 CLIFF DRIVE	NEWPORT BEACH	CA	92663
GORDON PROPERTY HOLDINGS LLC	4885 S 900 E STE 104	SALT LAKE CITY	UT	84117
SOUTHERN AVE MESA LLC	57 CREST RD	PIEDMONT	CA	94611
GORDON PROPERTY HOLDINGS LLC	4885 S 900 E STE 104	SALT LAKE CITY	UT	84117
TARGET CORPORATION	PO BOX 9456	MINNEAPOLIS	MN	55440
LAKEVIEW4 LLC	4343 MARKET ST	RIVERSIDE	CA	92501
MMCP LLC	2920 E CAMELBACK RD SUITE 200	PHOENIX	AZ	85016
MESA CITY OF	PO BOX 1466	MESA	AZ	85211
BPC LARKSPUR MERCADO LLC	10800 BISCAYNE BLVD STE 300	MIAMI	FL	33161
GORDON PROPERTY HOLDINGS LLC	4885 S 900 E STE 104	SALT LAKE CITY	UT	84117
ADF HOLDINGS LLC	1360 W SOUTHERN AVE	MESA	AZ	85202
BTT FIESTA PLAZA LLC	3573 E SUNRISE DR STE 125	TUCSON	AZ	85718
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
VERDE FIESTA I LLC	1720 W RIO SALADO PKWY SUITE A	TEMPE	AZ	85281
BPC LARKSPUR MERCADO LLC	10800 BISCAYNE BLVD STE 300	MIAMI	FL	33161
1550 WEST SOUTHERN LLC	6823 FORT HAMILTON PKWY 165	BROOKLYN	NY	11219
BTT FIESTA PLAZA LLC	3573 E SUNRISE DR STE 125	TUCSON	AZ	85718
GORDON PROPERTY HOLDINGS LLC	4885 S 900 E STE 104	SALT LAKE CITY	UT	84117
NANALAND LLC	13170 MILLCROFT CT	SAN DIEGO	CA	92130