



# ARCHICON ARCHITECTURE & INTERIORS, L.C.

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## PROJECT NARRATIVE REZONE

Cabana on Power Road Retail Center  
6209 S Power Road

The proposed project consists of a new ground up retail building of approximately 10,881 square feet, single story with a maximum building height of 25'-4".

The existing parcel number is 304-49-007P. The existing zoning is LC-BIZ. The proposed rezoning will amend the existing LC-BIZ zoning which was case Z17-034 Ordinance 5407 conditions of approval No. 1 and 3 subject to the ZON22-01264 proposed site plan and proposed DR23-00014 elevations. The submitted elevations and site plan would be the amended documents and are submitted as the rezone of the subject property only (APN 304-49-007P)

The history of the case is as follows:

Per Section 11-67-9(A)(3) of the MZO, an approved initial site plan, major site plan modification, or design review expires and is no longer in effect if it is not exercised or extended within two years of the date of approval. A minor site plan modification is effective for a period of two years from the date the initial site plan associated with the minor site plan modification was approved. An approved initial site plan, site plan modification or design review is considered exercised by completion of one of the following:

- a. A valid city business license, if required, is issued, and the permitted use has commenced on the property.
- b. A valid city building permit, if required, is issued, and construction has lawfully commenced.

On September 18, 2017, the City Council rezoned 11± acres including APN 304-49-007P (subject property) from Agriculture (AG) to Multiple Residence-4 with a Bonus Intensity Zone Overlay (RM-4-BIZ), Limited Commercial with a Bonus Intensity Zone Overlay and a Council Use Permit (LC-BIZ-CUP) to allow for residential uses in a commercial district and approved a site plan to allow the development of a multi-residential development with commercial and retail services (Ordinance No. 5407, Case No. Z17-034). The purpose of the BIZ overlay was to accommodate an increase in the multiple residences' building height to extend beyond the 40-foot height restriction of the RM-4 and LC zoning districts to conceal roof mounted HVAC units with total height of 50-feet.

On July 11, 2017, the Design Review Board reviewed a four-story multi residence development with ground floor retail component as well as a single-story shell retail building with drive-thru on 11± acres including the (subject property (Case No. DR17-032).

The Z17-034 site plan expired September 17, 2019 and the DR17-032 Design Review Board review expired on July 10, 2019.

In addition, the Z17-034 Ordinance No. 5407 Condition of Approval No. 1 requires:

“Compliance with the basic development as described in the **project narrative, and as shown on the site plan submitted**, (without guarantee of lot yield, building g count, lot coverage).“

And Condition of Approval No. 3 requires: “Compliance with all requirements of Design Review approval through DR17-032.”

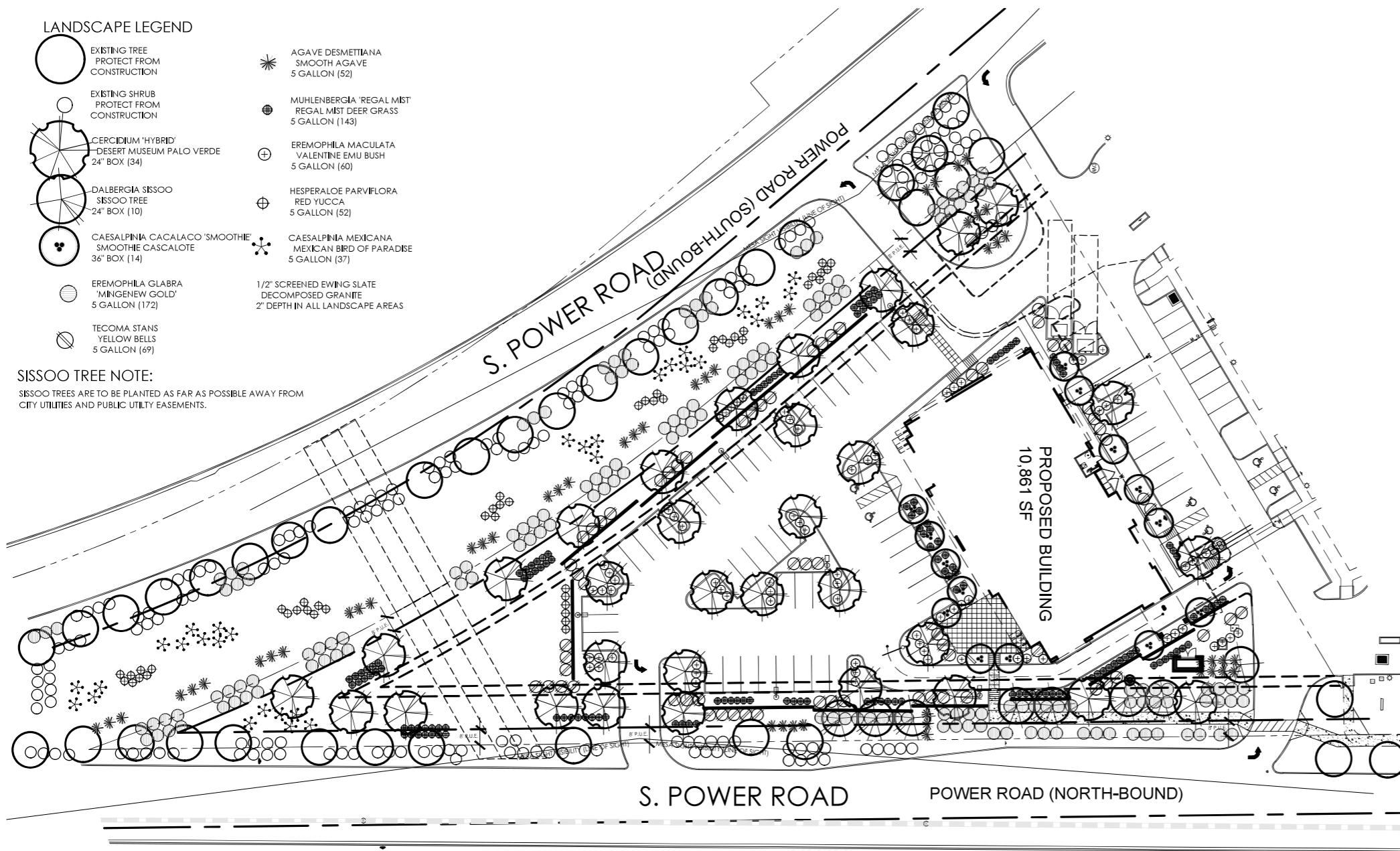
On September 23, 2019, the City Council rezoned APN 304-49-007N, the north portion of the Z17-034 11± acres from RM-4-BIZ and LC-BIZ-CUP to Multiple-Residence-4 with a Planned Area Development (RM-4-PAD) and approved a site plan for a multiple residence development, subsequently removing the previously approved BIZ overlay and CUP on APN 304-49-007P and modifying the previous Z17-034 conditions of approval (Ordinance No. 5530, Case No. ZON19-00304).

Since the Z17-034 site plan and the DR17-034 review have expired, the ZON22-01264 application submitted for site plan review of a proposed single-story, 10,861 square feet commercial building with a drive-thru on the subject property is required to include a rezoning application to amend the Z17-034 Ordinance 5407 conditions of approval No. 1 and 3 subject to the ZON22-01264 proposed site plan and proposed DR23-00014 elevations. Since the ZON22-01264 rezoning application must be approved by the City Council anyway, rezoning the subject property from LC-BIZ to LC to remove the BIZ overlay or if necessary to modify the BIZ overlay to incorporate additional deviation from the LC development standards to accommodate the proposed project should be incorporated into the rezoning application.

**LANDSCAPE LEGEND**

- EXISTING TREE  
PROTECT FROM CONSTRUCTION
- EXISTING SHRUB  
PROTECT FROM CONSTRUCTION
- CERCIDILUM 'HYBRID'  
'DESERT MUSEUM PALO VERDE'  
24" BOX (34)
- DALBERGIA SISSOO  
SISSOO TREE  
24" BOX (10)
- CAESALPINIA CACALACO 'SMOOTHIE'  
SMOOTHIE CASCALOTE  
36" BOX (14)
- EREMOPHILA GLABRA  
'MINEGOLD'  
5 GALLON (172)
- TECOMA STANS  
YELLOW BELLS  
5 GALLON (69)
- ✱ AGAVE DESMETIANA  
SMOOTH AGAVE  
5 GALLON (52)
- MUHLENBERGIA 'REGAL MIST'  
REGAL MIST DEER GRASS  
5 GALLON (143)
- ⊕ EREMOPHILA MACULATA  
VALENTINE EMU BUSH  
5 GALLON (60)
- ⊕ HESPERALOE PARVIFLORA  
RED YUCCA  
5 GALLON (52)
- ✱ CAESALPINIA MEXICANA  
MEXICAN BIRD OF PARADISE  
5 GALLON (37)
- 1/2" SCREENED EWING SLATE  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS

**SISSOO TREE NOTE:**  
SISSOO TREES ARE TO BE PLANTED AS FAR AS POSSIBLE AWAY FROM CITY UTILITIES AND PUBLIC UTILITY EASEMENTS.



**POWER ROAD (WEST)**  
PROPERTY LINE = 567'  
23 TREES REQUIRED  
32 TREES PROVIDED (ALL 24" BOX OR LARGER)  
138 SHRUBS REQUIRED  
205 SHRUBS PROVIDED

**POWER ROAD (EAST)**  
PROPERTY LINE = 650'  
26 TREES REQUIRED  
33 TREES PROVIDED (ALL 24" BOX OR LARGER)  
156 SHRUBS REQUIRED  
206 SHRUBS PROVIDED

**NORTH PROPERTY LINE**  
PROPERTY LINE = 350' (0' PLANTABLE)  
0 TREES REQUIRED  
0 TREES PROVIDED  
0 SHRUBS REQUIRED  
0 SHRUBS PROVIDED

**PARKING LOT**  
PARKING STALLS = 57  
16 TREES REQUIRED  
16 TREES PROVIDED  
48 SHRUBS REQUIRED  
48 SHRUBS PROVIDED

**LANDSCAPE COVERAGE**  
LANDSCAPE AREA: 92,013 SQ.FT.  
LANDSCAPE COVERAGE REQUIRED: 46,006 SQ.FT. (50%)  
LANDSCAPE COVERAGE PROVIDED: 47,018,133 SQ.FT. (51%)

**CITY OF MESA LANDSCAPE NOTES**

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
  2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
  3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH 'ARIZONA NURSERY ASSOCIATION SPECIFICATIONS' FOR THAT SIZE AND TYPE OF TREE.
  4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
  5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
  6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.
- ARTERIAL STREET:**  
(2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
- MAJOR, MIDSECTION COLLECTOR STREET:**  
(2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
- COLLECTOR/INDUSTRIAL/COMMERCIAL STREET:**  
(1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE
- PUBLIC OR PRIVATE LOCAL STREET:**  
(1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE
7. PLANT MATERIAL SIZES REQUIRED:  
**TREES: (TOTAL REQUIRED TREES):**  
25% SHALL BE 36" BOX OR LARGER  
50% SHALL BE 24" BOX OR LARGER  
NO TREES LESS THAN 15 GALLON  
**SHRUBS: (TOTAL REQUIRED SHRUBS):**  
50% SHALL BE 5 GALLON OR LARGER.  
NO SHRUBS LESS THAN 1 GALLON
8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND. PARKING SHALL BE INSTALLED @ EACH END OF ROW OF STALLS AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES
9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO, OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.
10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.
12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.
13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS
14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'
15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G COLORS CONCRETE OR GUNITTE MUST BE COLORED TO MATCH D.G. COLOR
16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LCC.
17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

**VISIBILITY TRIANGLE INFO:**

VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.

STREET SPEED: 45 MPH  
STREET CROSS SECTION 4LU  
FIGURE 2.3 (50MPH DESIGN SPEED) SD=62'

**ADDITIONAL NOTES:**

THIS LANDSCAPE IS TO BE MAINTAINED ON A WEEKLY BASIS USING A NATURAL MAINTENANCE PROGRAM AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPE INDUSTRY.

PLANT MATERIAL WITHIN THE SIGHT DISTANCE TRIANGLE SHALL NOT EXCEED 30-INCHES IN HEIGHT AT FULL MATURITY. (1105.4) TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLES SHALL BE 24-INCH TO 42-INCH BOX SPECIMENS WITH NO BRANCHES LOWER THAN 8- FEET ABOVE THE SIDEWALK ELEVATION, AND 14- FEET OVER VEHICULAR TRAFFIWAYS.

ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THIS OWNER OR LESSEE IN ACCORDANCE WITH THESE APPROVED PLANS

REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT PART OF THE LANDSCAPE DESIGN.

T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

10446 N. 74th Street, Suite 150  
Scottsdale, Arizona 85258  
P.(602)285-0320

EMAIL: timmqueen@tjma.net

**LANDSCAPE**

SCALE: 1"=30'-00"



**FINAL**

ZON22-01264



**ARCHICON**  
Architecture & Interiors, L.C.

5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
WWW.ARCHICON.COM

**CABANA ON POWER ROAD RETAIL CENTER**  
6209S POWER ROAD  
MESA, ARIZONA

PROJECT NUMBER: 2466810-0

PROJECT MANAGER:

DRAWN BY:

CHECKED BY:

NO. REVISION DATE

SHEET DESCRIPTION

LANDSCAPE PLAN

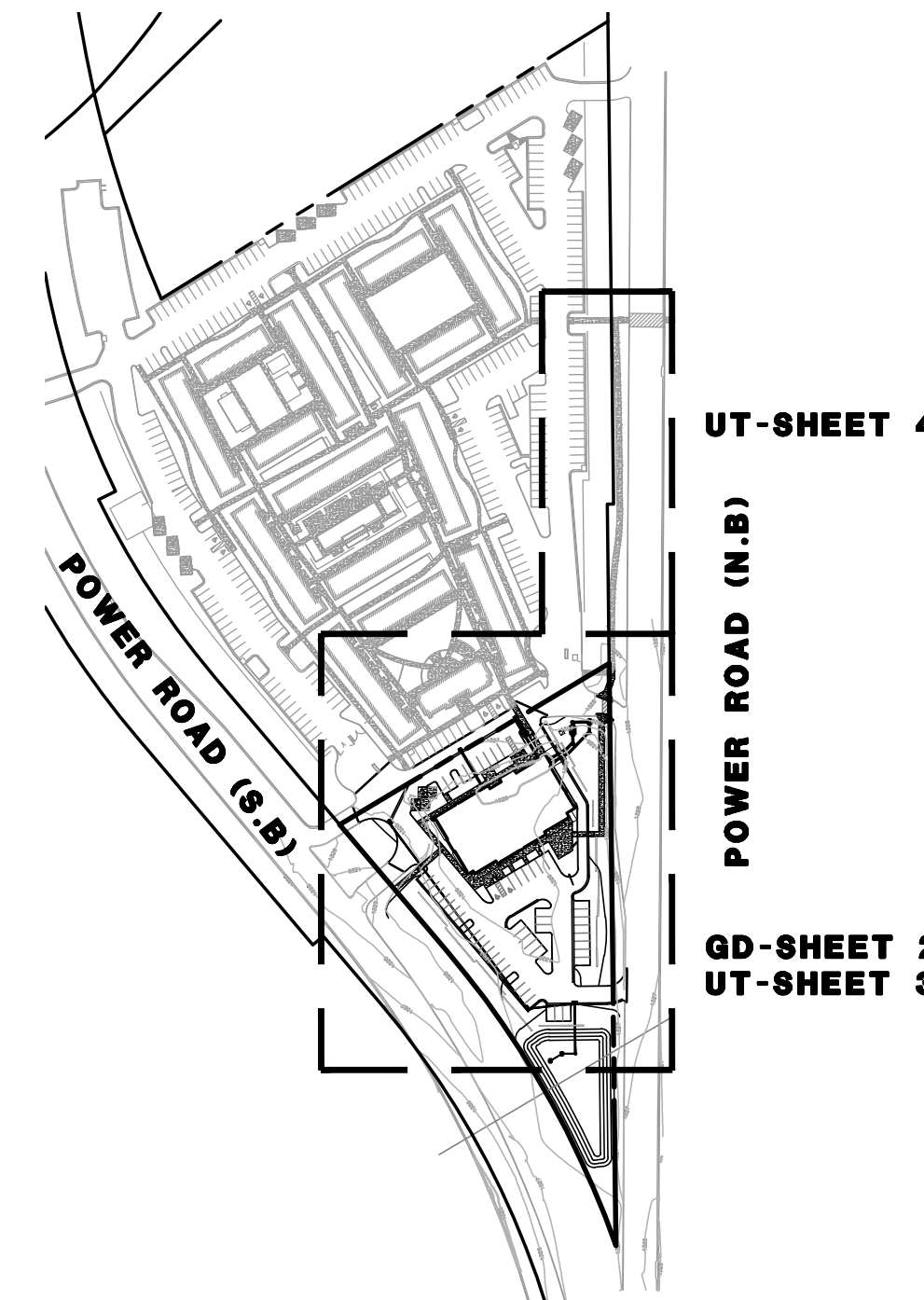
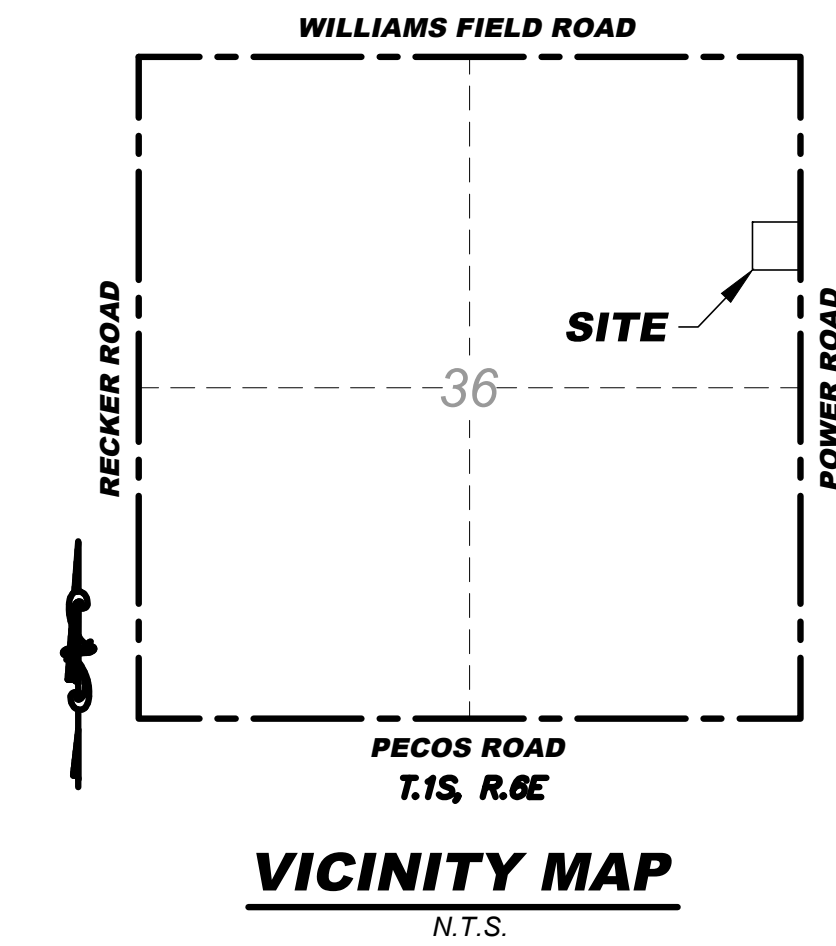
SHEET NO.

**La.01**

ISSUE DATE: 11.19.24

# PRELIMINARY IMPROVEMENT PLAN FOR JAY BIRDS - POWER & WILLIAMS FIELD

POWER ROAD AND WILLIAMS FIELD ROAD MESA, ARIZONA  
A PORTION NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE  
GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



PROJECT OVERVIEW

### PROJECT INFORMATION

PROJECT DESCRIPTION:  
THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE-STORY DRIVE-THRU RESTAURANT WITH ALL REQUIRED GRADING & DRAINAGE, UTILITY AND PAVING IMPROVEMENTS.

ADDRESS:  
POWER ROAD AND WILLIAMS FIELD ROAD  
MESA, ARIZONA 85212

APN: 304-49-007P

ZONING: LC

TOTAL AREA: 87,828 SF (2.016 AC)  
DISTURBED AREA: 62,635 SF (1.437 AC)

### SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:  
RICK ENGINEERING COMPANY  
2401 WEST PEORIA AVENUE, #130  
PHOENIX, ARIZONA 85029  
PH: 602-957-3350  
CONTACT: JARED HANSMANN, R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF WILLIAMS FIELD ROAD, ALSO BEING THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 36, USING A BEARING OF NORTH 89°42'40" EAST.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS A BRASS TAG IN TOP OF CURB AT THE NORTHEAST CORNER OF POWER ROAD AND PECOS ROAD HAVING AN ELEVATION OF 1337.72, NAVD88.

### BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS A BRASS TAG IN TOP OF CURB AT THE NORTHEAST CORNER OF POWER ROAD AND PECOS ROAD HAVING AN ELEVATION OF 1337.72, NAVD88.

### LEGAL DESCRIPTION

PARCEL NO. 1:  
A PORTION OF THE PARCEL AS DESCRIBED IN THE SPECIAL WARRANTY DEED PER DOCUMENT NO. 08-927401, MARICOPA COUNTY RECORDS AND LYING WITH THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT A FOUND BRASS CAP IN HANDHOLE ACCEPTED AS THE NORTHEAST CORNER OF SAID SECTION 36 FROM WHICH A FOUND BRASS CAP IN HAND HOLE ACCEPTED AS THE NORTH QUARTER CORNER OF SAID SECTION BEARS  
S 89°42'40" W, 2624.31 FEET;  
THENCE S 00°41'01" E, 538.72 FEET ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 36;  
THENCE LEAVING SAID EAST LINE, S 59°10'17" W, 38.17 FEET;  
THENCE S 00°40'01" E, A DISTANCE OF 532.72 FEET;  
THENCE S 89°19'59" W, A DISTANCE OF 7.00 FEET;  
THENCE S 00°40'01" E, A DISTANCE OF 178.03 FEET TO THE POINT OF BEGINNING;  
THENCE CONTINUING S 00°40'01" E, A DISTANCE OF 650.19 FEET TO THE POINT OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST, WITH A CHORD BEARING OF N 29°52'21" W, A CHORD DISTANCE OF 380.12 FEET;  
THENCE NORTHWESTERLY ALONG SAID NON-TANGENT CURVE, HAVING A RADIUS OF 1,051.45 FEET, THROUGH A CENTRAL ANGLE OF 20°49'41", A DISTANCE OF 382.22 FEET;  
THENCE N 40°17'11" W, A DISTANCE OF 184.60 FEET;  
THENCE N 59°10'15" E, A DISTANCE OF 350.67 FEET TO THE POINT OF BEGINNING.  
ALSO SHOWN AS LOT 2, OF LAND SPLIT MAP CABANA ON POWER, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1488 OF MAPS, PAGE 44.  
PARCEL NO. 2:  
APPURTENANT EASEMENT RIGHTS AS GRANTED IN RECIPROCAL EASEMENT AGREEMENT RECORDED IN DOCUMENT NO. 19-857593.

### FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 04013C2762M, DATED NOVEMBER 4, 2015 THE PARCEL IS LOCATED IN THE ZONE X (SHADED) AREA, WHICH IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

### PROJECT RETENTION

REQUIRED RETENTION VOLUME (100-YEAR, 2-HOUR):  
VOLUME [CF] =  $C_w \times (P [IN] / 12) \times \text{AREA [SF]}$   
 $C_w = 0.76$   
 $C_w = (35,579 \text{ SF} \times 0.50) + (50,851 \text{ SF} \times 0.95) / 86,430 \text{ SF}$   
 $V = 0.76 \times (2.18/12) \times 86,430$   
 $V = 12,051 \text{ CF}$

PROVIDED:  
NEW SURFACE RETENTION BASIN = 21,950 CF

### DRYWELL CALCULATIONS

TOTAL VOLUME = 12,051  
DRYWELL DISSIPATION RATE = 0.1 CFS  
TIME [SEC] = VOLUME [CF] / RATE [CFS]  
 $t = 12,051 / 0.1 = 120,510 \text{ SEC} = 33.5 \text{ HOURS}$

### DRAINAGE STATEMENT

-SITE IS NOT IN A SPECIAL FLOOD HAZARD AREA  
-OFFSITE FLOWS DO NOT AFFECT THIS SITE  
-RETENTION PROVIDED IS 100-YR, 2-HR VIA AN UNDERGROUND RETENTION TANK  
-EXTREME STORM OUTFALLS THE SITE AT THE NORTHWEST CORNER AT THE ELEVATION OF 1327.04.

### IMPROVEMENT PLAN LEGEND

-----	PROJECT RIGHT-OF-WAY	☺	EXISTING FIRE CONNECTION
-----	EXISTING RIGHT-OF-WAY	☺	EXISTING FIRE BACKFLOW PREVENTER
-----	PROJECT/NEW PROPERTY LINE	☺	EXISTING STORM DRAIN MANHOLE
-----	EXISTING PROPERTY LINE	☺	EXISTING DRYWELL
-----	ROADWAY CENTERLINE	☺	EXISTING SIGN
-----	EXISTING EASEMENT	☺	EXISTING SITE LIGHT
-----	EXISTING MINOR CONTOUR	☺	EXISTING ELECTRIC PULL BOX
-----	EXISTING MAJOR CONTOUR	☺	EXISTING COMMUNICATION PULL BOX/VAULT
-----	NEW CONTOUR	☺	NEW SEWER CLEANOUT
-----	EXISTING CONCRETE	☺	NEW WATER VALVE
-----	EXISTING WALL	☺	NEW WATER METER
-----	NEW ASPHALT	☺	NEW BACKFLOW PREVENTER
-----	NEW CONCRETE	☺	NEW FIRE CONNECTION
-----	NEW WALL	☺	NEW DRYWELL
-----	EXISTING CURB	☺	NEW TRANSFORMER
-----	EXISTING PAINT STRIPE	☺	NEW SIGN
-----	NEW CURB	☺	NEW SITE LIGHT
-----	NEW PAINT STRIPE	☺	SURVEY MONUMENT AS NOTED
-----	EXISTING STORM DRAIN PIPE	☺	SPOT ELEV. (EXIST. GRADE)
-----	EXISTING OVERHEAD ELECTRIC	☺	SPOT ELEV. (NEW GRADE)
-----	EXISTING FIBER OPTICS	☺	RIGHT-OF-WAY
-----	EXISTING WATER LINE	☺	BACK OF CURB
-----	EXISTING GAS LINE	☺	R
-----	NEW STORM DRAIN PIPE	☺	PAVEMENT (ASPHALT)
-----	NEW SEWER LINE	☺	C
-----	NEW WATER LINE	☺	CONCRETE
-----	NEW FIRE SERVICE	☺	G
-----	EXISTING WATER STUB	☺	TOP OF CURB
-----	EXISTING WATER VALVE	☺	HP
-----	EXISTING WATER METER	☺	HIGH POINT
-----	EXISTING FIRE HYDRANT	☺	GB
			GRADE BREAK
			FFE
			FINISHED FLOOR ELEVATION
			PUE
			PUBLIC UTILITY EASEMENT
			ME
			MATCH EXISTING
			R
			RIM
			I
			INVERT
			L
			LENGTH
			S
			SLOPE

### OWNER/DEVELOPER

POWER ROAD GATEWAY LLC  
PO BOX 7031  
RANCHO SANTA FE, CALIFORNIA 92067  
PH: 602-492-9494  
ATTN: ISAAC ETEMINAN

### CIVIL ENGINEER

RICK ENGINEERING COMPANY  
2401 WEST PEORIA AVENUE, #130  
PHOENIX, ARIZONA 85029  
PH: 602-957-3350  
ATTN: JEFF HUNT, PE

### ARCHITECT

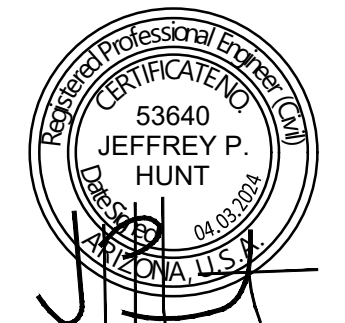
ARCHICON ARCHITECTURES & INTERIORS, L.C.  
5055 EAST WASHINGTON STREET, STE 200  
PHOENIX, ARIZONA 85034  
PH: 602-222-4266  
ATTN: JEFFREY A KOSKI

### UTILITIES

WATER: CITY OF MESA  
SEWER: CITY OF MESA  
ELECTRIC: SALT RIVER PROJECT  
GAS: SOUTHWEST GAS  
TELEPHONE: CENTURYLINK  
CABLE: COX COMMUNICATIONS

### SHEET INDEX

- COVER SHEET
- GRADING & DRAINAGE PLAN
- 3-4. ONSITE UTILITY PLAN



SEAL: JH

2401 W PEORIA AVE, STE 130  
PHOENIX, AZ 85029  
rickengineering.com  
602.957.3350



CONSTRUCTION DOCUMENTS PREPARED FOR:  
**JAY BIRDS - POWER & WILLIAMS ROAD**  
POWER ROAD AND WILLIAMS FIELD ROAD  
MESA, ARIZONA 85212  
CITY OF MESA



DRAWING NO. C1  
SHEET NO. 1 OF 4

NO. BY DATE REVISION

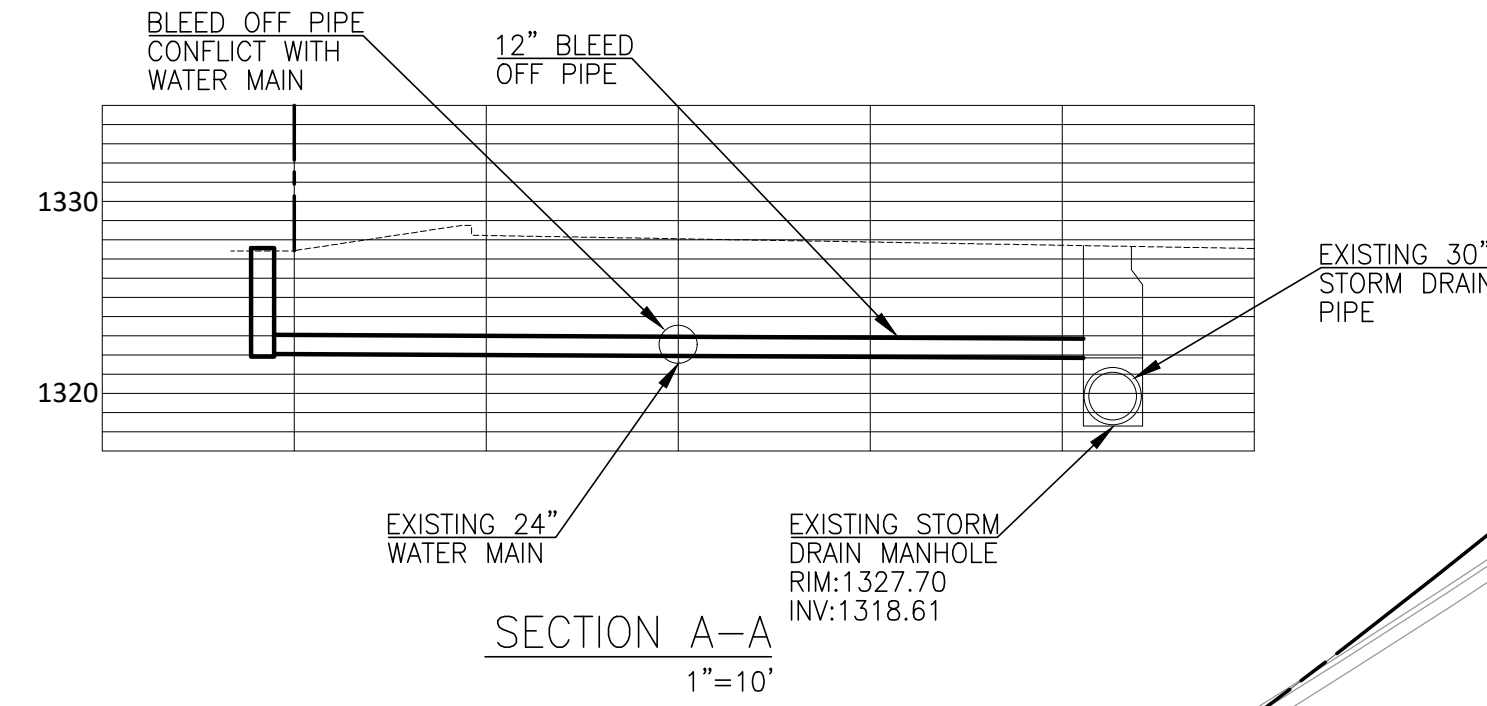
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DRAWN/DESIGNED BY: CN  
CHECKED BY: JH  
DATE: 04/03/2024

PROJECT NO: 7072  
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CHECKED BY: JH  
DATE: 04/03/2024

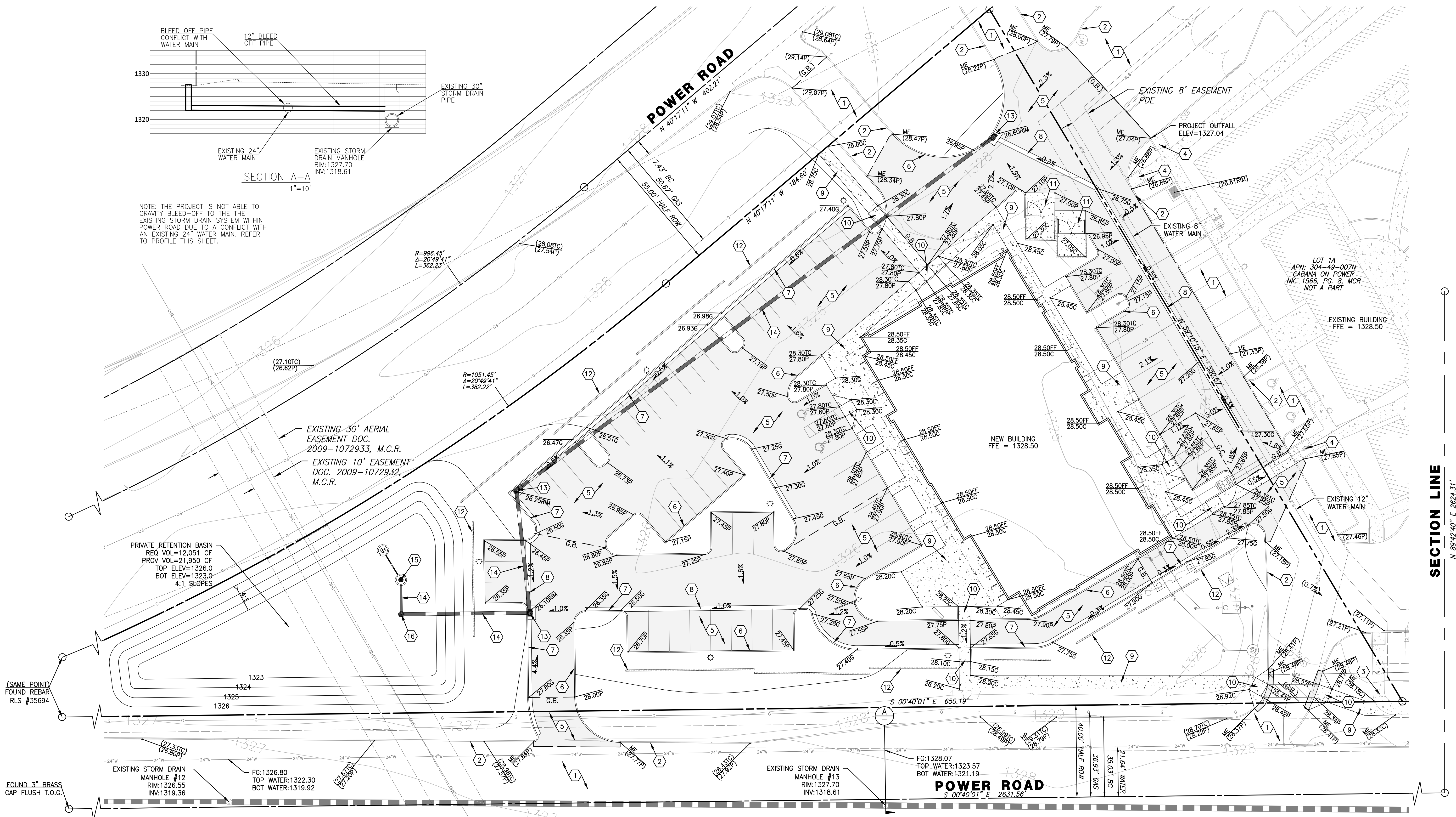
COVER

**KEYNOTES**

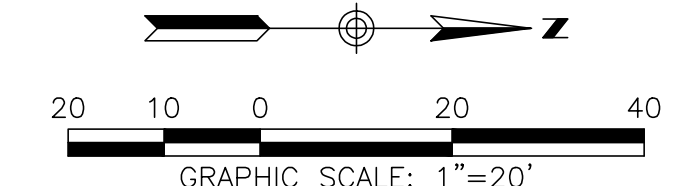
- 1 EXISTING ASPHALT TO REMAIN.
- 2 EXISTING CURB TO REMAIN.
- 3 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4 EXISTING ACCESSIBLE RAMP TO REMAIN.
- 5 NEW ASPHALT PAVEMENT.
- 6 NEW CONCRETE VERTICAL CURB.
- 7 NEW CONCRETE VERTICAL CURB AND GUTTER.
- 8 NEW VALLEY GUTTER.
- 9 NEW CONCRETE SIDEWALK.
- 10 NEW ACCESSIBLE ACCESS RAMP.
- 11 NEW TRASH ENCLOSURE.
- 12 NEW MASONRY SCREEN WALL.
- 13 NEW STORM DRAIN INLET.
- 14 NEW STORM DRAIN PIPE.
- 15 NEW DUAL-CHAMBER DRYWELL.
- 16 NEW BUBBLE UP STRUCTURE.



NOTE: THE PROJECT IS NOT ABLE TO GRAVITY BLEED-OFF TO THE EXISTING STORM DRAIN SYSTEM WITHIN POWER ROAD DUE TO A CONFLICT WITH AN EXISTING 24" WATER MAIN. REFER TO PROFILE THIS SHEET.



**SECTION LINE**  
N 89°42'40" E 2624.31'



**PRELIMINARY NOT FOR CONSTRUCTION OR RECORDING**

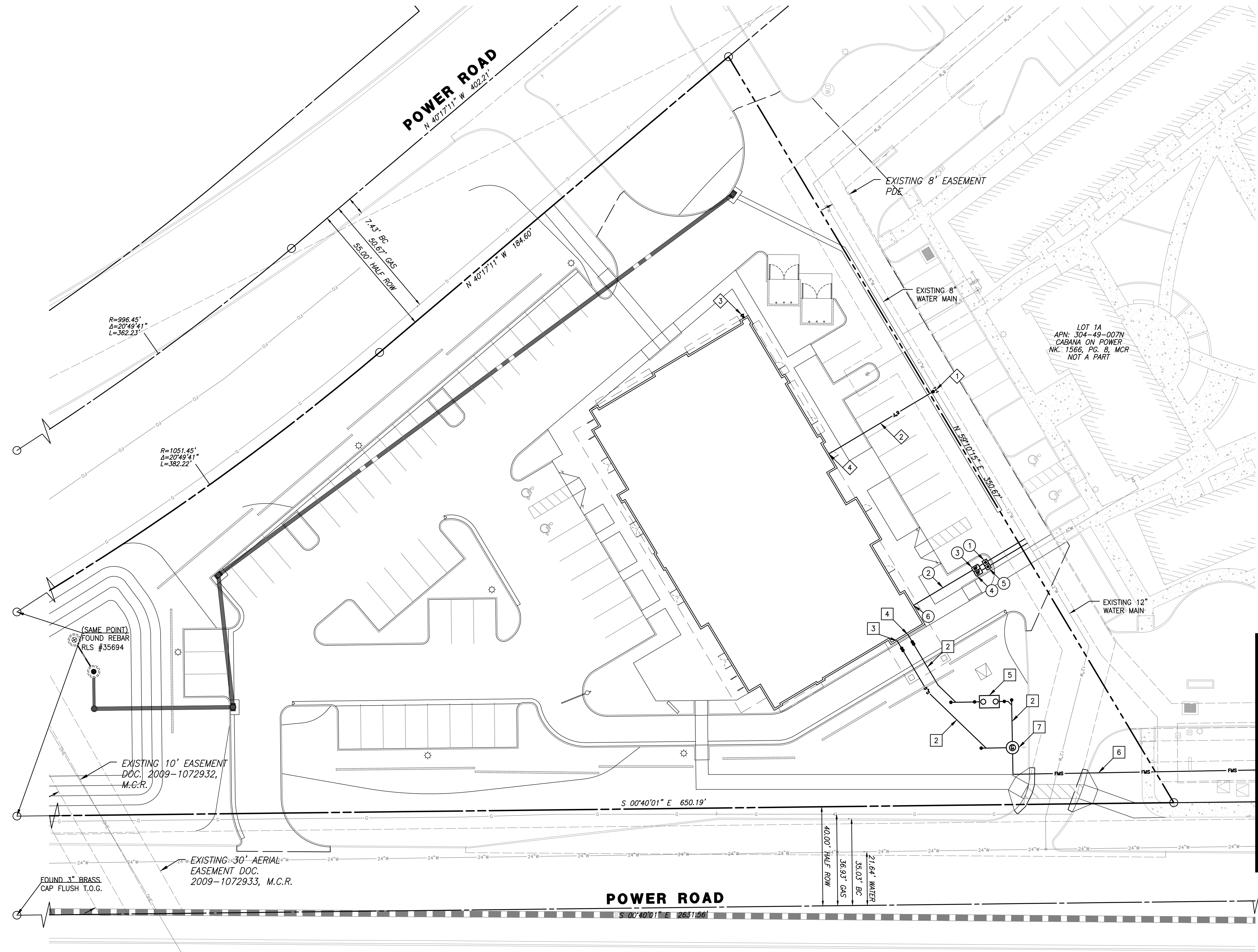


SEAL: **RICK ENGINEERING COMPANY**  
 2401 W PEORIA AVE, STE 130  
 PHOENIX, AZ 85029  
 602.957.3350  
 PROJECT NO: 7072 | DRAWN/DESIGNED BY: JH  
 DATE: 04/03/2024 | CHECKED BY:

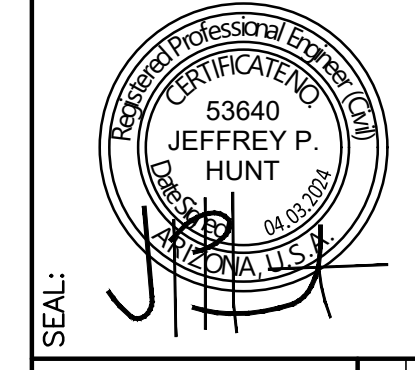
CONSTRUCTION DOCUMENTS PREPARED FOR:  
**JAY BIRDS - POWER & WILLIAMS ROAD**  
 POWER ROAD AND WILLIAMS FIELD ROAD  
 MESA, ARIZONA 85212  
 CITY OF MESA  
**GRADING & DRAINAGE PLAN**



DRAWING NO. **GD1**  
 SHEET NO. 2 OF 4



- PRIVATE WATER KEYNOTES**
- 1 NEW 2" SERVICE AND METER FOR DOMESTIC WATER SERVICE.
  - 2 NEW 2" DOMESTIC WATER LINE.
  - 3 NEW DOMESTIC BACKFLOW PREVENTER.
  - 4 NEW IRRIGATION BACKFLOW PREVENTER.
  - 5 NEW 1" SERVICE AND METER FOR IRRIGATION SERVICE.
  - 6 DOMESTIC BUILDING CONNECTION.
- PRIVATE FIRE LINE KEYNOTES**
- 1 CONNECT TO EXISTING 12" WATER FOR FIRE SERVICE.
  - 2 NEW 6" DIP FIRE LINE.
  - 3 NEW REMOTE FDC LOCATION.
  - 4 NEW FIRE BUILDING CONNECTION WITH INTERNAL BACKFLOW PREVENTER.
- PRIVATE SEWER KEYNOTES**
- 1 CONNECT TO EXISTING 8" PVC SEWER MAIN.
  - 2 NEW 6" PVC SDR-35 SEWER LINE.
  - 3 CONNECT TO BUILDING SANITARY SEWER.
  - 4 CONNECT TO KITCHEN WASTE SEWER.
  - 5 NEW GREASE INTERCEPTOR.
  - 6 NEW FORCE MAIN.
  - 7 NEW LIFT STATION.



SEAL:

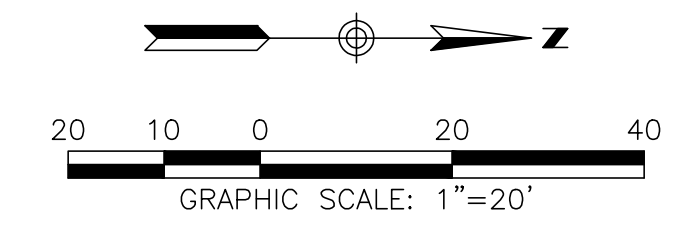
PROJECT NO: 7072 | DRAWN/DESIGNED BY: JH  
DATE: 04/03/2024 | CHECKED BY:

**RICK**  
ENGINEERING COMPANY  
San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver  
rickengineering.com  
602.957.3350

2401 W PEORIA AVE, STE 130  
PHOENIX, AZ 85029

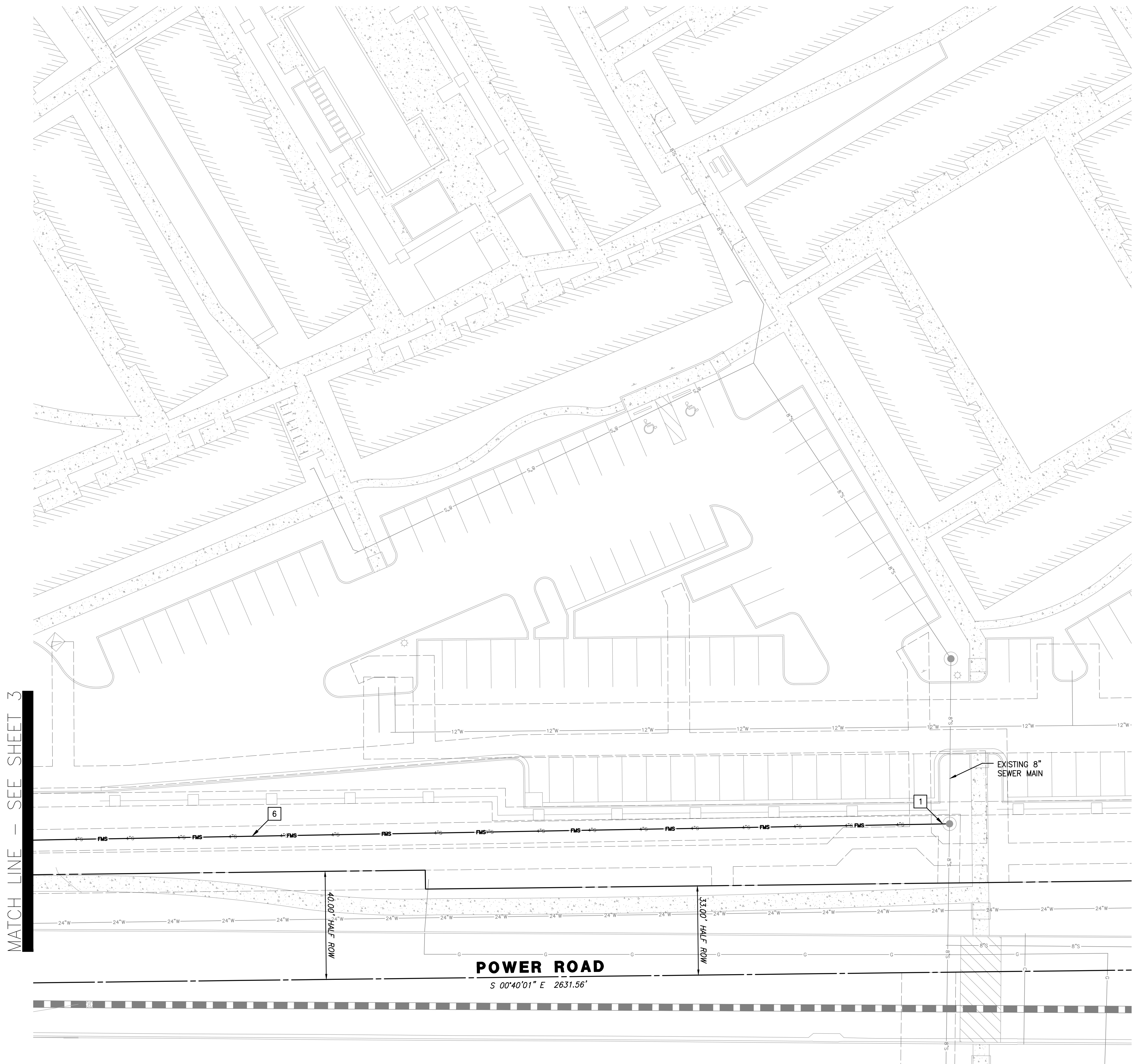
CONSTRUCTION DOCUMENTS PREPARED FOR:  
**JAY BIRDS - POWER & WILLIAMS ROAD**  
POWER ROAD AND WILLIAMS FIELD ROAD  
MESA, ARIZONA 85212  
CITY OF MESA

**ONSITE UTILITY PLAN**



**PRELIMINARY NOT FOR CONSTRUCTION OR RECORDING**

DRAWING NO. **UT1**  
SHEET NO. 3 OF 4



- PRIVATE WATER KEYNOTES**
- 1 NEW 2" SERVICE AND METER FOR DOMESTIC WATER SERVICE.
  - 2 NEW 2" DOMESTIC WATER LINE.
  - 3 NEW DOMESTIC BACKFLOW PREVENTER.
  - 4 NEW IRRIGATION BACKFLOW PREVENTER.
  - 5 NEW 1" SERVICE AND METER FOR IRRIGATION SERVICE.
  - 6 DOMESTIC BUILDING CONNECTION.
- PRIVATE FIRE LINE KEYNOTES**
- 1 CONNECT TO EXISTING 12" WATER FOR FIRE SERVICE.
  - 2 NEW 6" DIP FIRE LINE.
  - 3 NEW REMOTE FDC LOCATION.
  - 4 NEW FIRE BUILDING CONNECTION WITH INTERNAL BACKFLOW PREVENTER.
- PRIVATE SEWER KEYNOTES**
- 1 CONNECT TO EXISTING 8" PVC SEWER MAIN.
  - 2 NEW 6" PVC SDR-35 SEWER LINE.
  - 3 CONNECT TO BUILDING SANITARY SEWER.
  - 4 CONNECT TO KITCHEN WASTE SEWER.
  - 5 NEW GREASE INTERCEPTOR.
  - 6 NEW FORCE MAIN.
  - 7 NEW LIFT STATION.



SEAL:

2401 W PEORIA AVE, STE 130  
PHOENIX, AZ 85029  
602.957.3350  
rickengineering.com

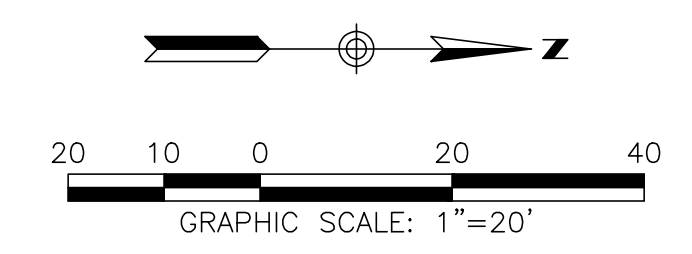
**RICK**  
ENGINEERING COMPANY

San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

PROJECT NO: 7072 | DRAWN/DESIGNED BY: CN  
DATE: 04/03/2024 | CHECKED BY: JH

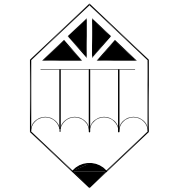
CONSTRUCTION DOCUMENTS PREPARED FOR:  
**JAY BIRDS - POWER & WILLIAMS ROAD**  
POWER ROAD AND WILLIAMS FIELD ROAD  
MESA, ARIZONA 85212  
CITY OF MESA

**ONSITE UTILITY PLAN**



**PRELIMINARY NOT FOR CONSTRUCTION OR RECORDING**

DRAWING NO.  
**UT2**  
SHEET NO. 4 OF 4



**ARCHICON**  
Architecture & Interiors, L.C.

5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
www.ARCHICON.COM

**CABANA ON POWER ROAD RETAIL CENTER**  
6209 S POWER ROAD  
MESA, ARIZONA

PROJECT NUMBER: 2466810-01  
PROJECT MANAGER: JEFF K  
DRAWN BY: JEFF K  
CHECKED BY: JEFF K

NO	REVISION	DATE

SHEET DESCRIPTION  
EXTERIOR ELEVATIONS



SHEET NO.

**A300**

ISSUE DATE: 24 MAY 2024

**KEYNOTES**

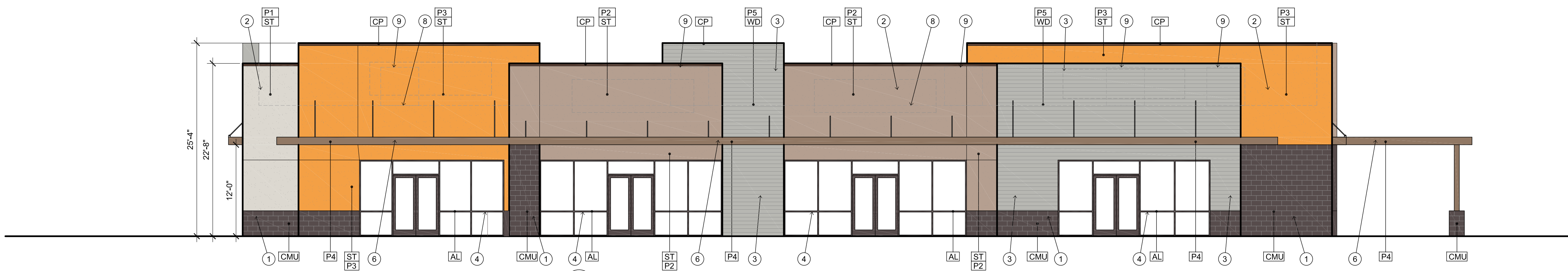
- 1 CMU VENEER WITH SEALER
- 2 STUCCO, SYNTHETIC FINISH AND INTEGRAL COLOR
- 3 WOOD SIDING, PAINTED
- 4 ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 5 HOLLOW METAL DOOR AND FRAME, PAINTED.
- 6 STEEL CANOPY, PAINTED.
- 7 DRIVE-THRU WINDOW
- 8 LINE OF ROOF BEYOND (DASHED)
- 9 MECHANICAL UNIT BEYOND (DASHED)
- 10 ADDRESS NUMBERS
- 11 LIGHT FIXTURE

**GENERAL NOTES**

- 1 ALL DOWNSPOUTS WILL BE INTERNALIZED
- 2 ALL MECHANICAL UNITS WILL BE FULLY SCREENED

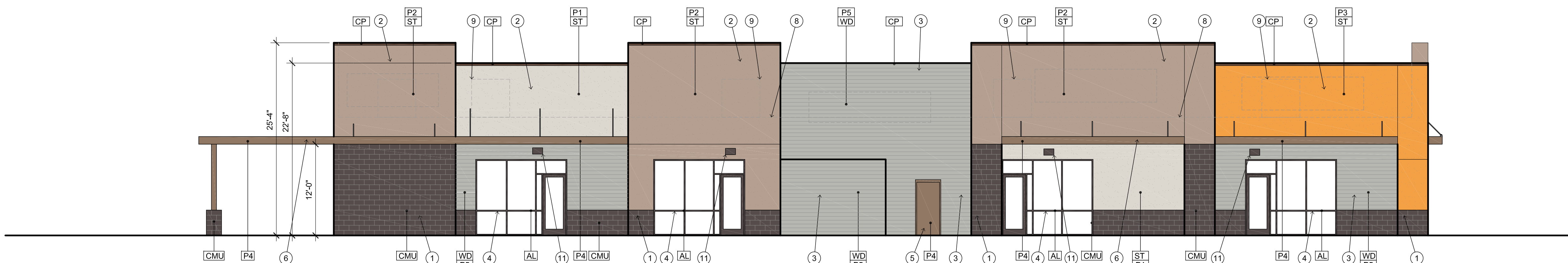
**MATERIALS AND COLORS**

- AL ALUMINUM STOREFRONT SYSTEM  
COLOR: DARK BRONZE
- CMU CONCRETE MASONRY UNIT  
MANUFACTURER: OLD CASTLE- ECHELON  
TYPE: PRECISION (SMOOTH)  
COLOR: BLACK CANYON
- P1 PAINT (STUCCO)  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: DRIFT OF MIST SW 9166
- P2 PAINT (STUCCO)  
MANUFACTURER: PPG PAINTS  
COLOR: NUT SHELL 14-02
- P3 PAINT (STUCCO)  
MANUFACTURER: PPG PAINTS  
COLOR: CORNUCOPIA 1203-7
- P4 PAINT (HM DOORS AND CANOPIES)  
MANUFACTURER: PPG PAINTS  
COLOR: BARK 1007-7
- P5 PAINT (WOOD SIDING)  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: GRAY CLOUDS SW 7658
- CP METAL COPING  
MANUFACTURER: PAC-CLAD OR EQUAL  
COLOR: BURNISHED SLATE
- ST STUCCO  
STIPPLED FINISH TEXTURE  
INTEGRAL COLOR
- WD ALLURA LAP SIDING  
6" EXPOSURE, SMOOTH  
COLOR: PRIMED. SEE ELEVATIONS FOR COLOR



**1 SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

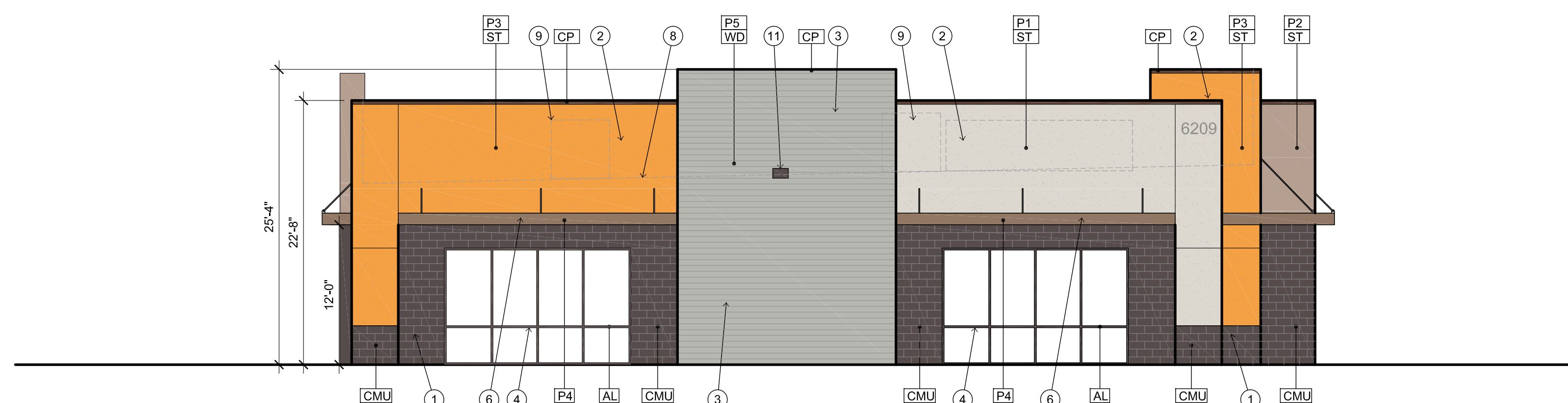


**2 NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

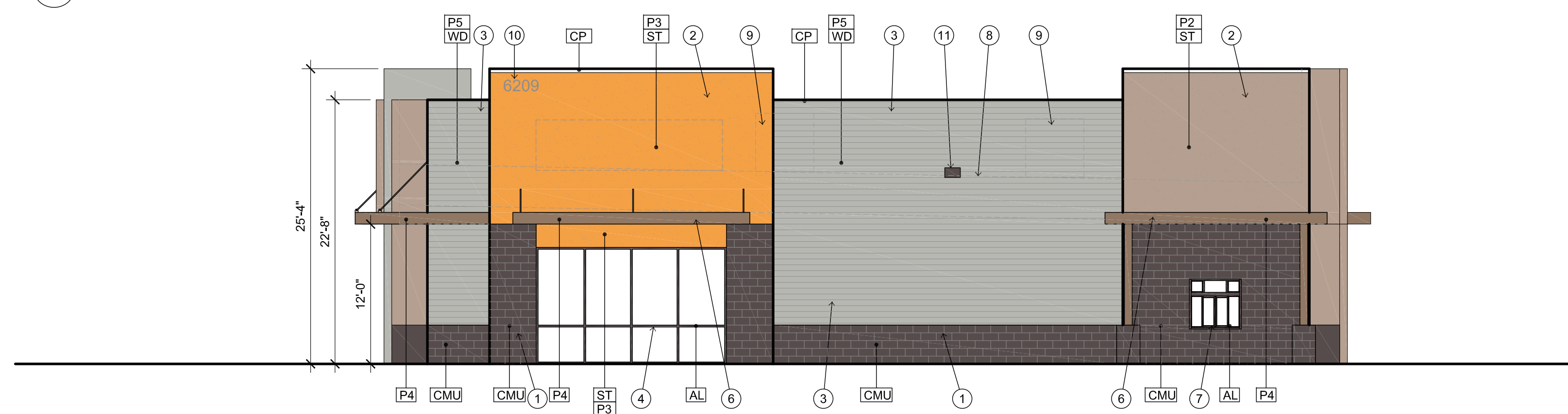
**ELEVATION MATERIAL CALCULATIONS**

SOUTH ELEVATION		
TOTAL FAÇADE	3,428 SF	
STUCCO	1,453 SF	42.39%
WOOD SIDING	711 SF	20.74%
CMU	259 SF	7.56%
GLASS (STOREFRONT)	870 SF	25.38%
METAL CANOPY	135 SF	3.93%
NORTH ELEVATION		
TOTAL FAÇADE	3,453 SF	
STUCCO	1,616 SF	46.80%
WOOD SIDING	788 SF	22.82%
CMU	444 SF	12.86%
GLASS (STOREFRONT)	480 SF	13.90%
HM DOOR	21 SF	0.61%
METAL CANOPY	104 SF	3.01%
WEST ELEVATION		
TOTAL FAÇADE	1,953 SF	
STUCCO	749 SF	38.35%
WOOD SIDING	475 SF	24.32%
CMU	349 SF	17.88%
GLASS (STOREFRONT)	320 SF	16.38%
METAL CANOPY	60 SF	3.07%
EAST ELEVATION		
TOTAL FAÇADE	1,848 SF	
STUCCO	534 SF	28.90%
WOOD SIDING	680 SF	36.80%
CMU	400 SF	21.64%
GLASS (STOREFRONT)	182 SF	9.85%
METAL CANOPY	52 SF	2.81%



**3 WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**4 EAST ELEVATION**

SCALE: 1/8" = 1'-0"





## CABANA ON POWER ROAD RETAIL CENTER

EXTERIOR RENDERING - NORTH VIEW



## CABANA ON POWER ROAD RETAIL CENTER

EXTERIOR RENDERING - SOUTH VIEW

Citizen Participation Plan for:  
Cabana on Power Road Retail Center  
6209 S Power Road

July 16, 2024

**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for a new retail building. This site is located at 6209 S Power Road. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

**Contact:** Mitchell Mastrin, R.A.  
5055 E Washington Street, Suite 200  
Phoenix, AZ 85034  
Phone: 602-222-4266  
Email: MitchellM@archicon.com

**Pre-Submittal Conference:** The Pre-Submittal Conference with City of Mesa Development Services staff was held on June 14, 2022. Staff reviewed the application and recommended that adjacent residents and nearby registered neighborhoods be contacted.

**Action Plan:** In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
  - a. All registered neighborhood associations within 1 mile of the site.
  - b. All Property Owners within 1000 feet from site.
2. All persons listed on the contact list will receive a letter describing the project, project schedule and site plan and an invitation to a virtual meeting.
  - a. The meeting will be an introduction to the project, and opportunity to ask questions and state concerns. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.

**Schedule:**

Pre-Submittal Conference – June 14, 2022

Zoning Application Submittal – November 30, 2022

Neighborhood meeting - June 2024

Submittal of Citizen Participation Report and Notification materials – June 2024

Planning and Zoning Board Hearing - TBD\_\_\_\_\_

Citizen Participation Plan Final Report for:  
Cabana on Power Road Retail Center  
6209 S Power Road

Revised November 21, 2024

**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for a new retail building. This site is located at 6209 S Power Road. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

**Contact:** Mitchell Mastrin, R.A.  
5055 E Washington Street, Suite 200  
Phoenix, AZ 85034  
Phone: 602.222.4266  
Email: MitchellM@archicon.com

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1. A contact list will be developed for citizens and agencies in this area including:
  - a. All registered neighborhood associations within 1 mile of the site.
  - b. All Property Owners within 1000 feet from site.
2. All people listed on the contact list will receive a letter describing the project, project schedule and site plan and an invitation to a virtual meeting.
  - a. The meeting will be an introduction to the project, and an opportunity to ask questions and state concerns. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.

**Schedule:**

Pre-Submittal Conference – June 14, 2022

Zoning Application Submittal – November 30, 2022

Neighborhood meeting - June 17, 2024

Submittal of Citizen Participation Report and Notification materials – June 10,2024

Planning and Zoning Board Hearing - December 11, 2024

Result of Neighborhood Meeting: There were no property owners in attendance.

A mailer regarding the Planning & Zoning Board Hearing was dropped off for Mesa to mail November 25, 2024.

There have been no objections noted for the rezoning.

Dear Neighbor,

We have applied for a rezoning and design review for the property located at 6209 S Power Road, Mesa, AZ. This request is for the development of a new commercial building.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602-222-4266 or e-mail me at [jeffk@archicon.com](mailto:jeffk@archicon.com)

There will be an informational neighborhood meeting held virtually on June 17, 2024 at 6:00 p.m. This meeting will introduce the project and will allow opportunities for input from neighbors.

The QR code below can be used to access the meeting or you can phone in per the information provided below.



Or

**Dial in by phone**

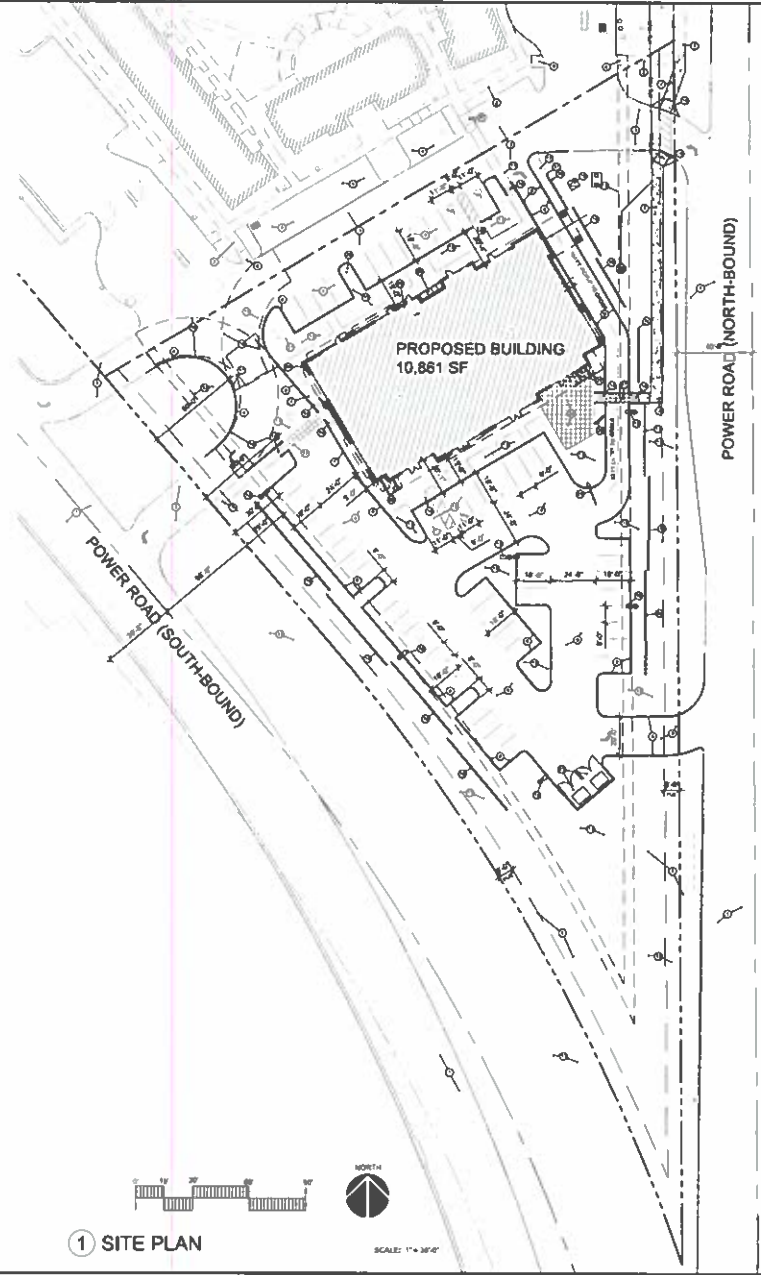
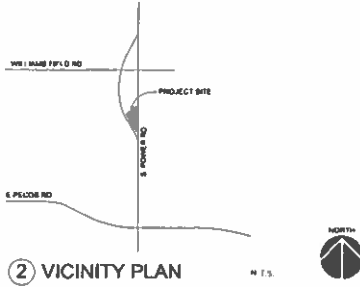
+1 773-352-2006,539485528# United States, Chicago

Phone conference ID: 539 485 528#

Sincerely,

Jeffrey A Koski  
Archicon, Architecture & Interiors

XFS Xsf



**SITE DATA**

BUR DENY: 10,881 SF  
 BUILDING HEIGHT: 25'-0"  
 RESTAURANT AREA: 2,882 SF INDOOR  
 508 SF OUTDOOR  
 6,189 SF  
 PARCHEO REQUIRED: 1 SPACE PER 100 SF OF INDOOR PLUS 1 SPACE PER 200 SF OF OUTDOOR AREA  
 RETAIL: 1 SPACE PER 375 SF  
 RESTAURANT: 2,882 / 100 = 28 SPACES  
 RETAIL: 6,189 / 375 = 16 SPACES  
 TOTAL PARKING REQUIRED: 44 SPACES  
 TOTAL PARKING PROVIDED: 61 SPACES  
 BICYCLE PARKING PROVIDED: 1 SPACE PER 18 VEHICLE SPACES  
 41 / 18 = 2 BIKES PARKING REQUIRED  
 6 BIKES PARKING SPACES PROVIDED

- KEYNOTES**
- EXISTING STREET
  - EXISTING SIDEWALK
  - EXISTING DRIVE TO REMAIN
  - EXISTING PARKING TO REMAIN
  - OVERHEAD ELECTRICAL FABRICANT
  - EXISTING ADA RAMP TO REMAIN
  - NEW CONCRETE SIDEWALK, 8'-0" WIDE MIN.
  - 6" HIGH CONCRETE CURB
  - ASPHALT PAVING
  - 3'-4" TALL CHAIN SCREEN WALL
  - REMOVE EXISTING CURBING AS REQUIRED
  - PARKING LIGHT FIXTURE
  - LANDSCAPE AREA
  - NEW ADA RAMP
  - ADA PARKING AND SIGNAGE
  - CONCRETE PATIO AREA
  - DETERMINE INTERCEPTOR LOCATION
  - FIRE TRUCK TURNING RADIUS 28' INSIDE OF CURB
  - PROPOSED ELECTRICAL TRANSFORMER
  - MENU BOARD
  - CLEARANCE BAR
  - GRASS GRACE, SEE DETAIL
  - TRASH ENCLOSURE PER LOCAL MISC. CODES
  - FINISH OF PAVEMENT CONNECTION
  - B.L.S. ELECTRICAL GLASS
  - FIRE TRUCK
  - CONCRETE CROSSWALK, 24" x 36" BAY CUT JOINTS, GREY CONCRETE, HEAVY BROOM FINISH, CROSSWALK TO BE RAMPED 2" ABOVE SURROUNDING ASPHALT
  - EXISTING FIRE HYDRANT



**CABANA ON POWER ROAD RETAIL CENTER**  
6200 S POWER ROAD  
MESA, ARIZONA

PROJECT NUMBER: 246810-01  
 PROJECT MANAGER: JEFF K  
 DRAWN BY: JEFF K  
 CHECKED BY: JEFF K

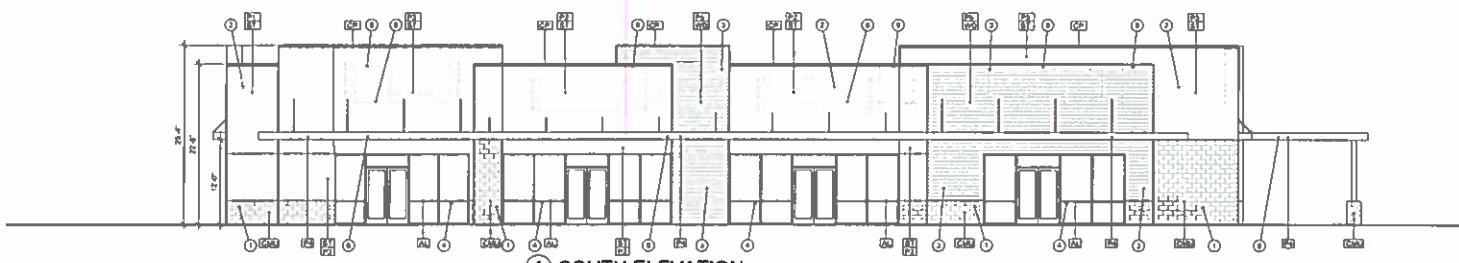
NO	REVISION	DATE

SHEET DESCRIPTION  
SITE PLAN

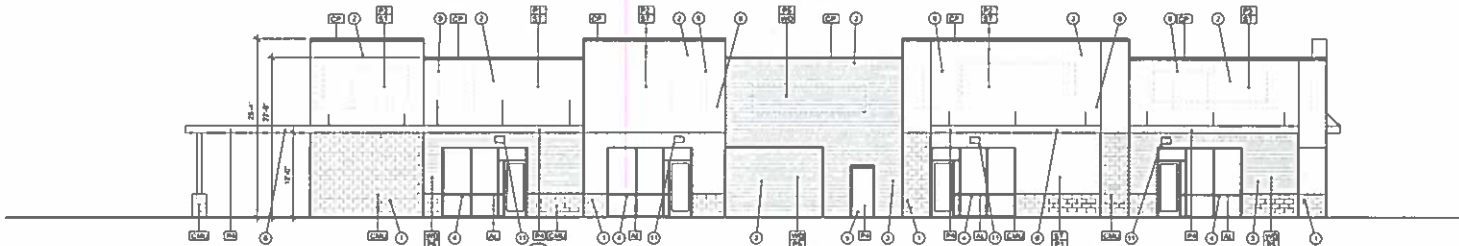


SHEET NO.  
**A100**  
ISSUE DATE: 24 MAY 2024





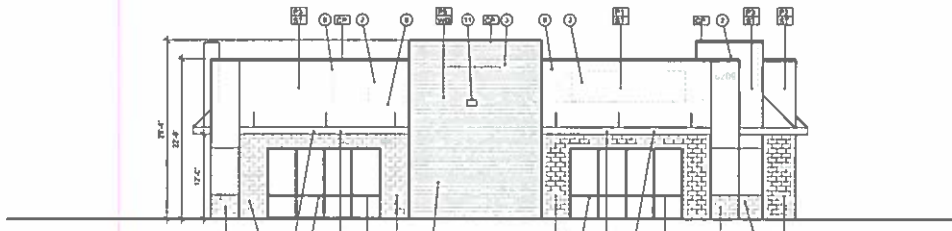
1 SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



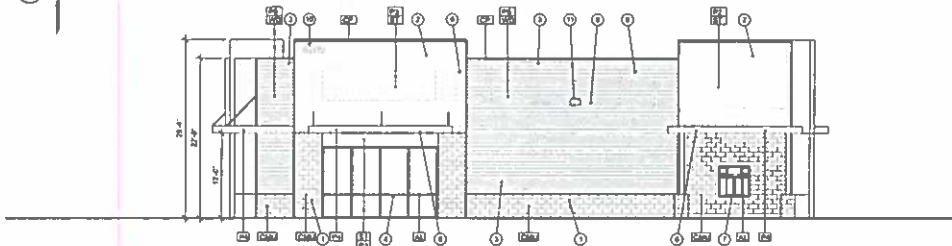
2 NORTH ELEVATION  
SCALE 1/8" = 1'-0"

**ELEVATION MATERIAL CALCULATIONS**

SOUTH ELEVATION		
TOTAL FACADE		
STUCCO	1,463 SF	42.26%
WOOD SIDING	711 SF	20.4%
CMU	728 SF	21.0%
GLASS (STOREFRONT)	576 SF	16.3%
METAL CANOPY	136 SF	3.9%
TOTAL FACADE 3,414 SF		
NORTH ELEVATION		
TOTAL FACADE		
STUCCO	1,618 SF	48.89%
WOOD SIDING	786 SF	23.7%
CMU	444 SF	13.5%
GLASS (STOREFRONT)	488 SF	14.6%
W/ DOOR	21 SF	0.6%
METAL CANOPY	164 SF	4.9%
TOTAL FACADE 3,332 SF		
WEST ELEVATION		
TOTAL FACADE		
STUCCO	1,181 SF	36.2%
WOOD SIDING	173 SF	5.3%
CMU	348 SF	10.7%
GLASS (STOREFRONT)	328 SF	10.1%
METAL CANOPY	88 SF	2.7%
TOTAL FACADE 3,248 SF		
EAST ELEVATION		
TOTAL FACADE		
STUCCO	828 SF	25.5%
WOOD SIDING	888 SF	27.3%
CMU	408 SF	12.5%
GLASS (STOREFRONT)	183 SF	5.6%
METAL CANOPY	33 SF	1.0%
TOTAL FACADE 3,240 SF		



3 WEST ELEVATION  
SCALE 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE 1/8" = 1'-0"

**KEYNOTES**

- 1 CURVE/SEAM WITH SEALER
- 2 STUCCO, SYNTHETIC FINISH AND INTEGRAL COLOR
- 3 WOOD SIDING, PAINTED
- 4 ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING
- 5 HOLLOW METAL DOOR AND FRAME, PAINTED
- 6 STEEL CANOPY, PAINTED
- 7 DRIVE-THRU WINDOW
- 8 LINE OF ROOF BEYOND (DASHED)
- 9 MECHANICAL UNIT BEYOND (DASHED)
- 10 ADDRESS NUMBERS
- 11 LIGHT FIXTURE

**GENERAL NOTES**

- 1 ALL DOWNPOUTS WILL BE INTERNALIZED
- 2 ALL MECHANICAL UNITS WILL BE FULLY SCREENED

**MATERIALS AND COLORS**

- AL ALUMINUM STOREFRONT SYSTEM  
CO. OR. DARK BROWN
- CMU CONCRETE MASONRY UNIT  
MANUFACTURER: GED CELLUL-LOCELON  
TYPE: P/800 (840019)  
COLOR: BLACK CANYON
- P1 PAINT (STUCCO)  
MANUFACTURER: SHERWIN WILLIAMS  
CO. OR. DRPT OF WEST BR 8188
- P2 PAINT (STUCCO)  
MANUFACTURER: PPG PAINTS  
COLOR: CONCORDIA 1007
- P3 PAINT (WOOD SIDING)  
MANUFACTURER: PPG PAINTS  
COLOR: BANK 1001
- P4 PAINT (METAL DOORS AND CANOPY)  
MANUFACTURER: PPG PAINTS  
COLOR: GRAY CLOUDS 89 7656
- P5 PAINT (WOOD SIDING)  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: GRAY CLOUDS 89 7656
- CM METAL COPING  
MANUFACTURER: PAC-CLAD ON HOUAL  
COLOR: BURNISHED SLATE
- S1 STUCCO  
STIPPLED FINISH PER FURN  
INTEGRAL COLOR
- W2 ALUMINUM LAP SIDING  
EXPOSURE: SMOOTH  
COLOR: PRISM. SEE ELEVATIONS ON COLOR

**ARCHICON**  
ARCHITECTS & ENGINEERS, L.P.  
1605 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85041  
303.224.3331  
FAX 303.276.4335  
WWW.ARCHICOLON.COM

**CABANA ON POWER ROAD RETAIL CENTER**  
6200 S POWER ROAD  
MESA, ARIZONA

PROJECT NUMBER: 20081041  
PROJECT MANAGER: JEFF K  
DRAWN BY: JEFF K  
CHECKED BY: JEFF K

NO.	REVISION	DATE

**SHEET DESCRIPTION**  
EXTERIOR ELEVATIONS



SHEET NO.

**A300**

ISSUE DATE: 24 MAY 2008



# ARCHICON ARCHITECTURE & INTERIORS, L.C.

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Dear Neighbor,

We have applied for Rezoning for the property located at 6209 S Power Road. This request is for the development of a new ground up one story 10,861 sf building. The case number assigned to this project is ZON22-01264.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602.222.4266 or e-mail me at MitchellM@Archicon.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on December 11, 2024, in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or [www.youtube.com/user/cityofmesa11/live](https://www.youtube.com/user/cityofmesa11/live), or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

---

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Charlotte Bridges, one of their Planning Division staff. She can be reached at 480-644-6712 or [charlotte.bridges@mesaaz.gov](mailto:charlotte.bridges@mesaaz.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

If there are any questions, please call me.

Mitchell Mastrin, RA  
Project Manager



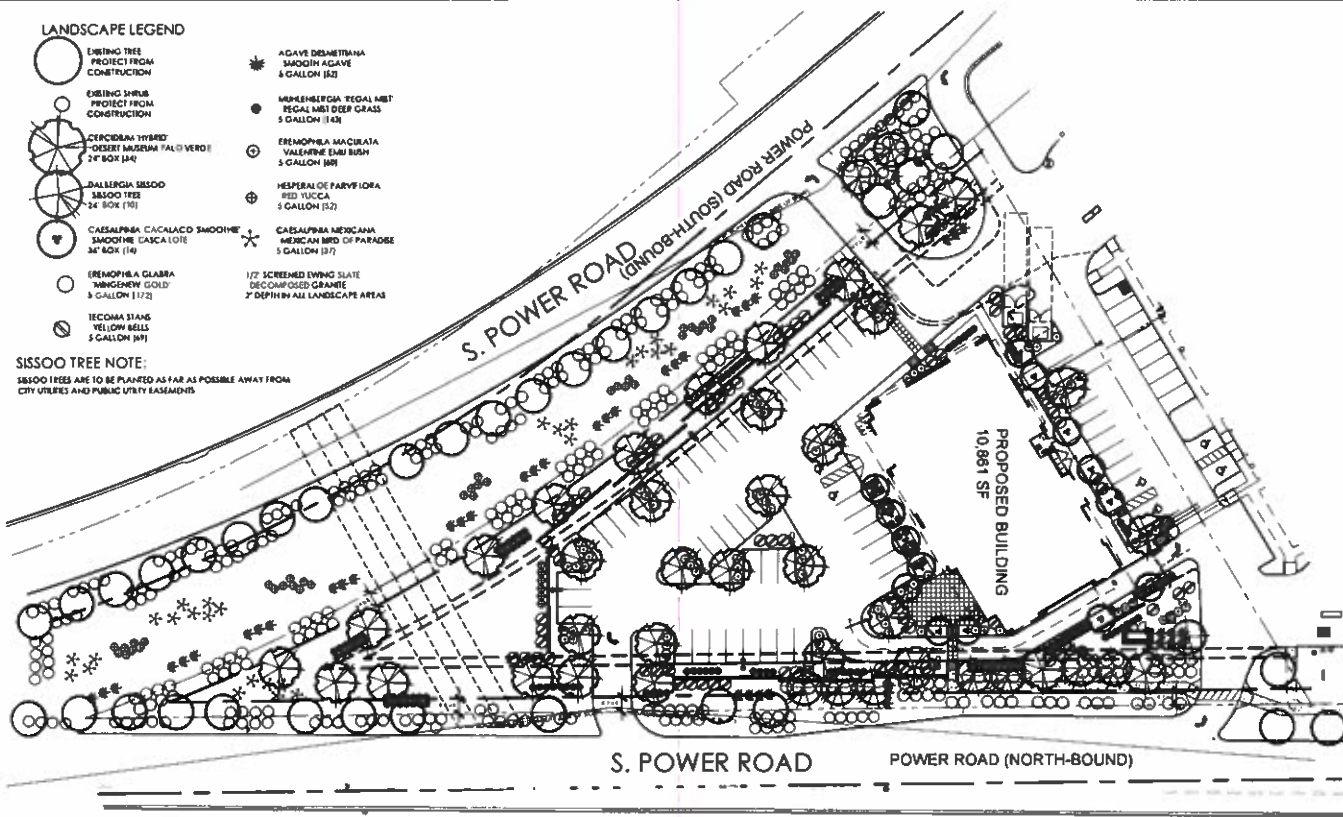


**LANDSCAPE LEGEND**

- EXISTING TREE  
PROTECT FROM  
CONSTRUCTION
- EXISTING SHRUB  
PROTECT FROM  
CONSTRUCTION
- CECROPRIA MYRTEL  
"OASIS" MYRTLE (TALO VERDI)  
24" BOX (14)
- DALLISGERIA ISSOEO  
SISSOO TREE  
24" BOX (10)
- CASALPINA CASCALADO SMOOTH  
SMOOTHIE CASCALOTE  
36" BOX (14)
- EREMOPHILA GLABRA  
"MANGENIE" GOLD  
3" GALLON (17/3)
- TECOMA STANS  
YELLOW HELL  
5 GALLON (11)
- AGAVE DELEMBIANA  
SAGOIN AGAVE  
3 GALLON (12)
- MILKHELFIA TEGAL MITT  
REGAL MITT DEER GRASS  
5 GALLON (14)
- EREMOPHILA MACULATA  
VALENTINE EMB BUSH  
5 GALLON (18)
- HEPESAL OF FARYFORDIA  
RED YUCCA  
5 GALLON (32)
- CASALPINA MEXICANA  
MEXICAN BRD OF PARADISE  
5 GALLON (17)
- 1/2" SCREENED EWING SLATE  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS

**SISSOO TREE NOTE:**

SISSOO TREES ARE TO BE PLANTED AS FAR AS POSSIBLE AWAY FROM CITY UTILITIES AND PUBLIC UTILITY EASEMENTS



**POWER ROAD (WEST)**

PROPERTY LINE = 567'  
23 TREES REQUIRED  
32 TREES PROVIDED (ALL 24" BOX OR LARGER)  
138 SHRUBS REQUIRED  
205 SHRUBS PROVIDED

**POWER ROAD (EAST)**

PROPERTY LINE = 650'  
26 TREES REQUIRED  
33 TREES PROVIDED (ALL 24" BOX OR LARGER)  
156 SHRUBS REQUIRED  
206 SHRUBS PROVIDED

**NORTH PROPERTY LINE**

PROPERTY LINE = 350' (0' PLANTABLE)  
0 TREES REQUIRED  
0 SHRUBS REQUIRED  
0 SHRUBS PROVIDED

**PARKING LOT**

PARKING STALLS = 57  
16 TREES REQUIRED  
16 TREES PROVIDED  
48 SHRUBS REQUIRED  
48 SHRUBS PROVIDED

**LANDSCAPE COVERAGE**

LANDSCAPE AREA: 92,013 SQ.FT.  
LANDSCAPE COVERAGE REQUIRED: 46,006 SQ.FT. (50%)  
LANDSCAPE COVERAGE PROVIDED: 47,018,133 SQ.FT. (51%)

**LANDSCAPE**

SCALE: 1"=30'-00"



**CITY OF MESA  
LANDSCAPE NOTES**

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM
3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT SIZE AND TYPE OF TREE.
4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SEE AND 24" BOX SIZE OR LARGER.
5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRED SHRUBS SHALL BE 3 GALLON SIZE
6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.

**ARTERIAL STREET:**

(7) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

**MAJOR, INTERSECTION COLLECTOR STREET:**

(7) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE

**COLLECTOR (INDUSTRIAL/COMMERCIAL) STREET:**

(1) TREE AND (4) SHRUBS PER 25' OF STREET FRONTAGE

**PUBLIC OR PRIVATE LOCAL STREET:**

(1) TREE AND (4) SHRUBS PER 25' OF STREET FRONTAGE

**PLANT MATERIAL SIZES REQUIRED:**

TREES: [TOTAL REQUIRED TREES]

25% SHALL BE 36" BOX OR LARGER

50% SHALL BE 24" BOX OR LARGER

NO TREES LESS THAN 15 GALLON

SHRUBS: [TOTAL REQUIRED SHRUBS]

50% SHALL BE 3 GALLON OR LARGER.

NO SHRUBS LESS THAN 1 GALLON

8. 1 TREE AND 3 SHRUBS FOR EVERY 15 PARKING ISLAND PARKING SHALL BE INSTALLED IN EACH END OF ROW OF STALLS AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES

9. FOUNDATION LANDSCAPING/LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.

10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LET THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.

11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LET OR APPROVED BACKFLOW PREVENTION ASSEMBLY.

12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGN.

13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNER, ASSOC. OR OWNER'S ASSOCIATION OR COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS

14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3' TO 7'

15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G. COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR

16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR LOC.

17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

**VISIBILITY TRIANGLE INFO:**

VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.

STREET SPEED = 45 MPH  
STREET CROSS SECTION 4LI  
FIGURE 2.3 (50MPH DESIGN SPEED); SD - 607

**ADDITIONAL NOTES:**

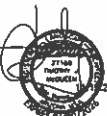
THE LANDSCAPE IS TO BE MAINTAINED ON A WEEKLY BASIS USING A NATURAL MAINTENANCE PROGRAM AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPE INDUSTRY

PLANT MATERIAL WITHIN THE SIGHT DISTANCE TRIANGLE SHALL NOT EXCEED 20-INCHES IN HEIGHT AT FULL MATURITY. (16% 4) TREES PLANTED WITHIN THE SIGHT DISTANCE TRIANGLES SHALL BE 24-INCH TO 42-INCH BOX SPECIMENS WITH NO BRANCHES LOWER THAN 5 FEET ABOVE THE SIDEWALK ELEVATION AND 14 FEET OVER VEHICULAR TRAFFIC WAYS

ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER OR LESSEE IN ACCORDANCE WITH THESE APPROVED PLANS. REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT PART OF THE LANDSCAPE DESIGN

T.J. McQUEEN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

10440 N. 74th Street, Suite 150  
Scottsdale, Arizona 85258  
P: (602) 285-0320  
E-MAIL: tjm@tjmcqa.com



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ARCHITECTS & INTERIORS, L.L.C.  
3855 N. WASHINGTON STREET  
SUITE 300  
PHOENIX, ARIZONA 85018  
(602) 222-3300  
15400 N. 19TH AVENUE  
WWW.ARCHICON.COM

**CABANA ON POWER ROAD RETAIL CENTER**  
8888 POWER ROAD  
MESA, ARIZONA

PROJECT NUMBER: 8888-10-0  
PROJECT MANAGER:  
DRAWN BY:  
CHECKED BY:  
NO REVISION

NO	REVISION	DATE

SHEET DESCRIPTION  
LANDSCAPE PLAN

SHEET NO.  
**La.01**  
ISSUE DATE: 11.19.24



Feature Information

(1 of 1)

Clear ?

**304-49-007P**

Owner Information

**Owner Name:** POWER ROAD GATEWAY LLC

**In Care Of:**

**Property Address:**

PO BOX 7031

**Mailing Address:** RANCHO SANTA FE CA USA 92067

**Deed Number:** 20080927401

**Sale Date:** 10/01/2008

**Sale Price:** \$

Property Information

**Lat/Long:** 33.302994, -111.687066

**S/T/R:** 36 1S 6E

**Jurisdiction:** MESA

**PUC:** 0022

**Lot Size (sq ft):** 87,828

**MCR #:**



ZON22-01264 1000-FEET ADDRESS LIST

APN *	Owner Name *	In Care Of	Mailing Address1	Mailing Address2	Mailing Address City	Mailing Address State	Mailing Address Zip Code	Mailing Address	Mailing Address Country
30449004E	FLOOD CONTROL DISTRICT OF MARICOPA COUNTY	<Null>	2801 W DURANGO ST	<Null>	PHOENIX	AZ	85009	2801 W DURANGO ST PHOENIX AZ USA 85009	USA
30449007N	JB MAXWELL LLC/WB MAXWELL LLC	<Null>	10610 S JORDAN GTWY 200	<Null>	SOUTH JORDAN	UT	84095	10610 S JORDAN GTWY 200 SOUTH JORDAN UT USA 84095	USA
30449007P	POWER ROAD GATEWAY LLC	<Null>	PO BOX 7031	<Null>	RANCHO SANTA FE	CA	92067	PO BOX 7031 RANCHO SANTA FE CA USA 92067	USA
30449980	GILBERT TOWN OF	<Null>	50 E CIVIC CENTER DR	<Null>	GILBERT	AZ	85296	50 E CIVIC CENTER DR GILBERT AZ USA 85296	USA
30450002T	MESA CITY OF	<Null>	20 E MAIN ST STE 650	PO BOX 1466	MESA	AZ	85211	20 E MAIN ST STE 650 MESA AZ USA 85211	USA
30450002U	HOUSE OF REFUGE EAST	SALVADOR CANCHOLA	6001 S POWER RD 88	<Null>	MESA	AZ	85206	6001 S POWER RD 88 MESA AZ USA 85206	USA
30450003N	ARIZONA BOARD OF REGENTS FOR ASU	ASU REAL ESTATE DEVELOPMENT	PO BOX 873908	<Null>	TEMPE	AZ	85287	PO BOX 873908 TEMPE AZ USA 85287	USA
30450887	COMMUNITY HOUSING PARTNERSHIP INC	<Null>	PO BOX 7387	<Null>	MESA	AZ	85216	PO BOX 7387 MESA AZ USA 85216	USA
	City of Mesa		ATTN: Councilmember Scott Somers	PO Box 1466	Mesa	AZ	85211-1466		
	City of Mesa		ATTN: Alicia Martinez	PO Box 1466	Mesa	AZ	85211-1466		
	City of Mesa Development Services Department		ATTN: <u>Charlotte Bridges</u>	PO Box 1466	Mesa	AZ	85211-1466		