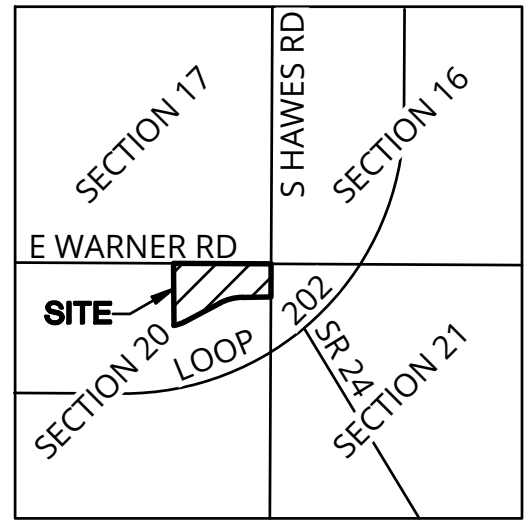


SPECIFIC PLAN FOR A SUBDIVISION

HAWES CROSSING - VILLAGE 4

8235 E. WARNER ROAD
MESA, ARIZONA

39.20 ACRES IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 7 EAST
OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP
NOT TO SCALE

ABBREVIATIONS

ABC	AGGREGATE BASE COURSE
AC	ASPHALTIC CEMENT OR CONCRETE
ADEQ	ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY
AHD	AHEAD SEWER STATION
AP	ANGLE POINT
BC	BACK OF CURB
BK	BACK SEWER STATION
BT	BOTTOM OF PIPE
BOT	BOTTOM OF BASIN
BSW	BOTTOM OF SCOUR WALL
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
BRW	BOTTOM OF RETAINING WALL
BW	BOTTOM OF WALL AT FINISH GRADE
C	CONCRETE
COM	CITY OF MESA
C/L or CL	CENTERLINE
CB	CATCH BASIN
CF	CUBIC FEET
CR	CURB RETURN
DE	DRAINAGE EASEMENT
DG	DECOMPOSED GRANITE
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DTL	DETAIL
E	EAST OR EASTING
EA	EACH
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
FF	FINISH FLOOR
FG	FINISH GRADE
FM S	FORCE MAIN SEWER
FP	FINISH PAD
FT	FOOT OR FEET
G	GUTTER
GB	GRADE BREAK
HDPE	HIGH DENSITY POLYETHYLENE
HGL	HYDRAULIC GRADE LINE
HORIZ	HORIZONTAL
HP	HIGH POINT
HWE	HIGH WATER ELEVATION
INV	INVERT OR INVERSE
L.F.	LINEAR FEET
L.P.	LOW POINT
LS	LANDSCAPE
LT or L	LEFT
MAG	MARICOPA ASSOCIATION OF GOVERNMENTS
MH	MANHOLE
ML or ML	MONUMENT LINE
MIN	MINIMUM
MUTE	MULTI-USE TRAIL EASEMENT
N	NORTH OR NORTHING
NTS	NOT TO SCALE
P	PAVEMENT
PC	POINT OF CURVE
PCC	POINT OF COMPOUND CURVE
PH	PHASE
PI	POINT OF INTERSECTION
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENCY
PUFE	PUBLIC UTILITY AND FACILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVCC	POINT OF VERTICAL COMPOUND CURVE
PVI	POINT OF VERTICAL INTERSECTION
R/W	RIGHT OF WAY
RGRCP	RUBBER GASKET REINFORCED CONCRETE PIPE
RT or R	RIGHT
RW	RECLAIMED WATER
S	SOUTH, SLOPE OR SEWER LINE
SW	SIDEWALK
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SEC	SECTION
SHT	SHEET
SPEC	SPECIFICATIONS
STA	STATION
STD	STANDARD
SWE	SIDEWALK EASEMENT
TC	TOP OF CURB
TRANS	TRANSMISSION OR TRANSITION
TF	TOP OF FOOTING
TG	TOP OF GRATE
TL	TRUE LENGTH
TP	TOP OF PIPE
TRW	TOP OF RETAINING WALL
TS	TRUE SLOPE
TSW	TOP OF SCOUR WALL
TW	TOP OF WALL
TYP	TYPICAL
VC	VERTICAL CURVE
VERT	VERTICAL
VG	VALLEY GUTTER
VNAE	VEHICULAR NON ACCESS EASEMENT
VP	VOLUME PROVIDED
VR	VOLUME REQUIRED
W	WEST OR WATER LINE
WSE	WATER SURFACE ELEVATION
WL	WATERLINE



KEYMAP
NTS

ENGINEER

COLLIERS ENGINEERING & DESIGN
2141 EAST HIGHLAND AVENUE SUITE #250
PHOENIX, AZ 85016
PH: 602.490.0535
CONTACT: BROOKE RIDLEY, PE

OWNER/CLIENT

LANDSEA HOMES
7600 E. DOUBLETREE RANCH ROAD SUITE 240
SCOTTSDALE, AZ 85258
PH: 480.221.0388
CONTACT: DREW HUSETH

LANDSCAPE ARCHITECT

EPS GROUP, INC.
1130 N. ALMA SCHOOL ROAD, SUITE 120
MESA, ARIZONA 85201
PH: 480.503.2250
CONTACT: ALIZA SABIN

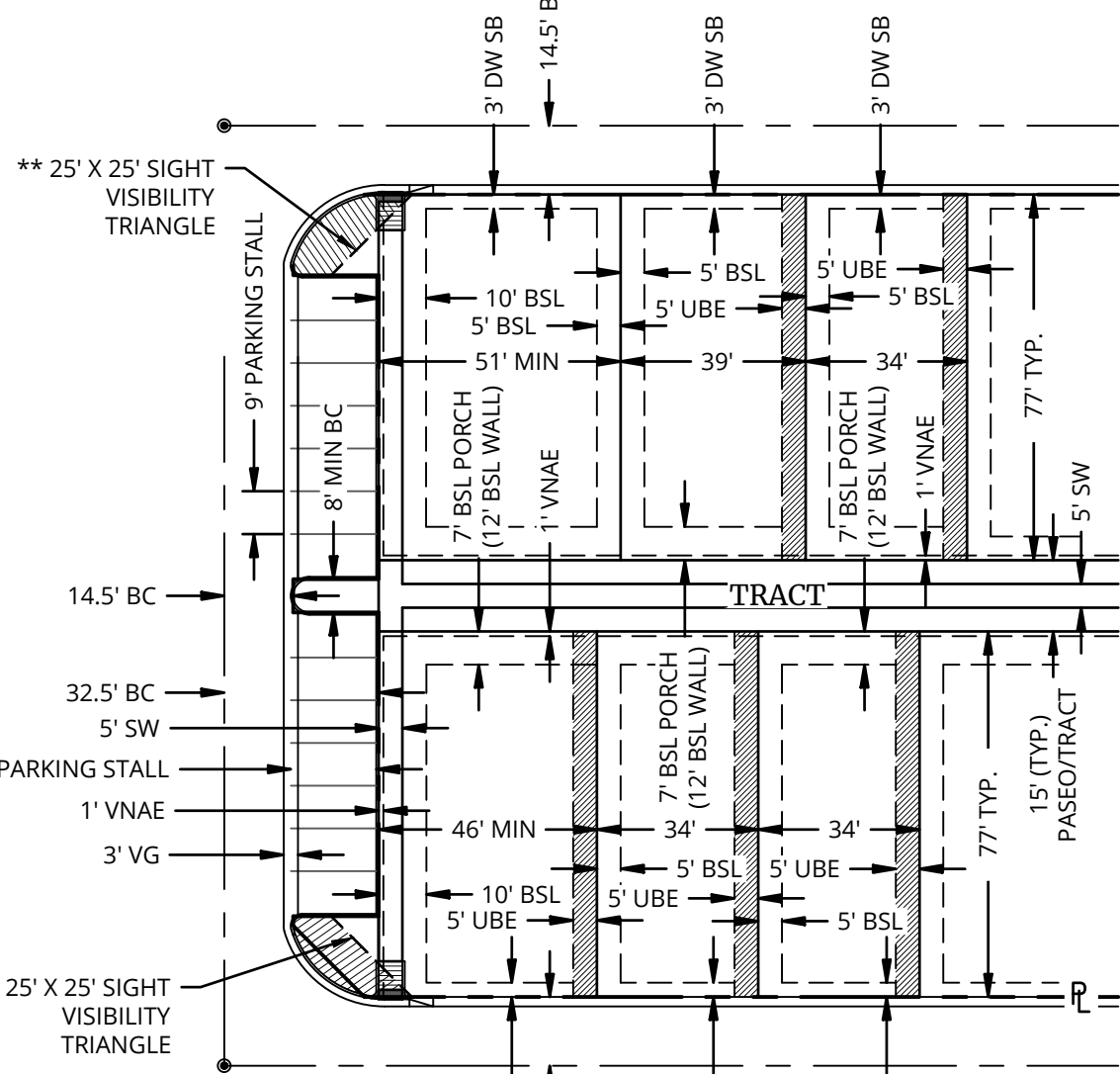
SHEET INDEX

SP01	SPECIFIC PLAN - COVER SHEET
SP01	SPECIFIC PLAN - PLAN SHEET
SP03	SPECIFIC PLAN - PLAN SHEET

SITE DATA

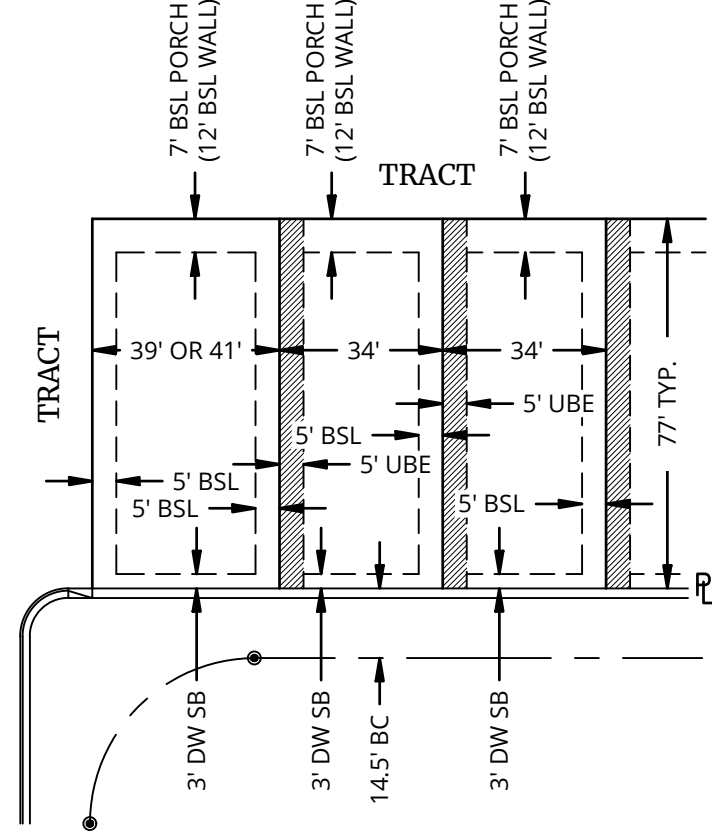
TOTAL LOTS:	259
TYPICAL LOT SIZE:	34' X 77', 39' X 77', 41' X 77', 46' X 77'
MINIMUM LOT SIZE:	2,608 SQ. FT.
MAXIMUM LOT SIZE:	4,049 SQ. FT.
AVERAGE LOT SIZE:	2,816 SQ. FT.
GROSS AREA:	39.20 AC
NET AREA:	33.33 AC
GROSS PARCEL DENSITY:	6.61 DU/AC
ZONING:	RSL-2.5-PAD & GC-PAD
COMMON AREAS / OPEN SPACE:	9.82 AC (29.4%)
PARKING STALL AREA:	0.99 AC
PARK AREA:	2.07 AC

LOT MIX TABLE		
LOT SIZE	QUANTITY	MIX
34' X 77'	177 UNITS	68%
39' X 77'	32 UNITS	12%
41' X 77'	21 UNITS	9%
46' X 77'	29 UNITS	11%
TOTAL	259 UNITS	100%



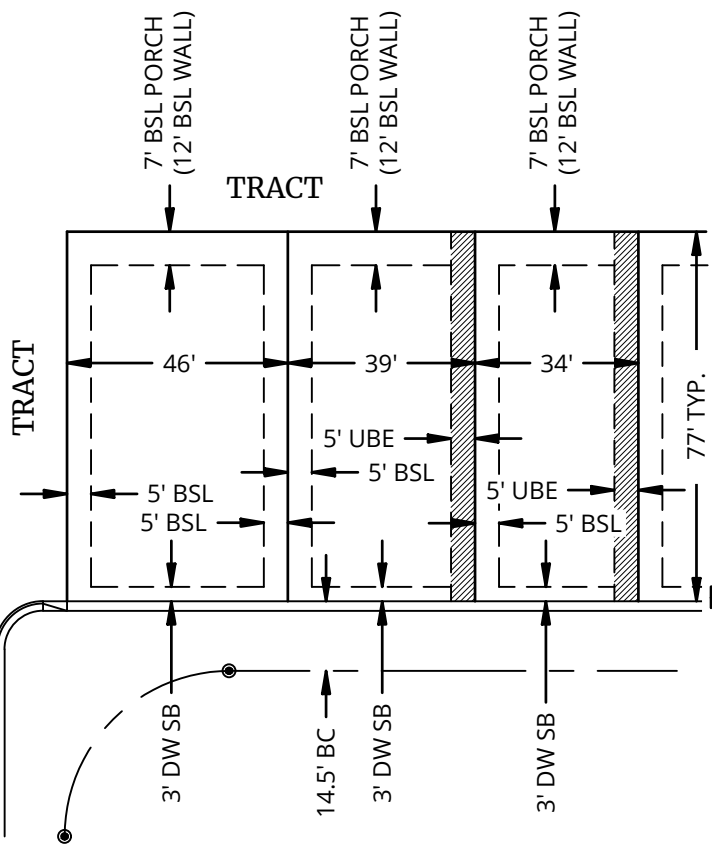
TYPICAL LOT DETAIL (STREET SIDE)

34', 39', 46', 51' x 77' LOTS
NTS



TYPICAL LOT DETAIL (TRACT SIDE)

34', 39', 41' x 77' LOTS
NTS

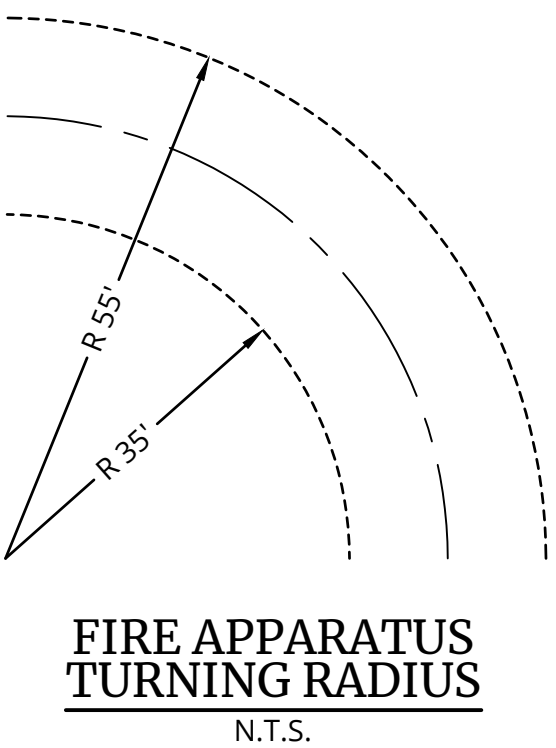


TYPICAL LOT DETAIL (TRACT SIDE)

34', 39', 46' x 77' LOTS
NTS

LEGEND

	ZONING BOUNDARY		GRADING RETAINING WALLS
	PARCEL BOUNDARY		FENCE LINE
	LOT LINE		ADA ACCESSIBLE RAMP
	RIGHT OF WAY (TRACT)		ADA ACCESSIBLE MID-BLOCK RAMP
	CENTER LINE		RETENTION BASIN
	PUBLIC UTILITY AND FACILITY EASEMENT		STORM DRAIN
	SEWER EASEMENT (WIDTH PER PLANS)		CATCH BASIN
	WATER EASEMENT (WIDTH PER PLANS)		
	SIGHT VISIBILITY TRIANGLE (25'X25' SVT)		
	8" WATER (UNLESS NOTED OTHERWISE) WITH WATER VALVES AND TEES		
	8" SEWER WITH MANHOLES AND FLOW DIRECTION		
	PROPOSED FIRE HYDRANT WITH WATER VALVE AND TEE		



FIRE APPARATUS
TURNING RADIUS
N.T.S.

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
CALL 811 or click Arizona811.COM

THE PROMPT PAY LAW WILL BE ALTERED FOR THIS CONTRACT
NOTICE OF EXTENDED PAYMENT PROVISION
THE CONSTRUCTION CONTRACT WILL ALLOW THE OWNER TO MAKE PAYMENT WITHIN THIRTY (30) DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS.

HAWES CROSSING - VILLAGE 4

8235 E. WARNER ROAD
MESA, ARIZONA

SPECIFIC PLAN - COVER SHEET

Engineering & Design
Colliers

PROJ NO.:	1833
DATE:	DEC 2024
SCALE:	1"=60'
DRAWN:	SS
DESIGNED:	NS
APPROVED:	BR

DWG. NO.

SP01

SHT. 01 OF 03

REV.:

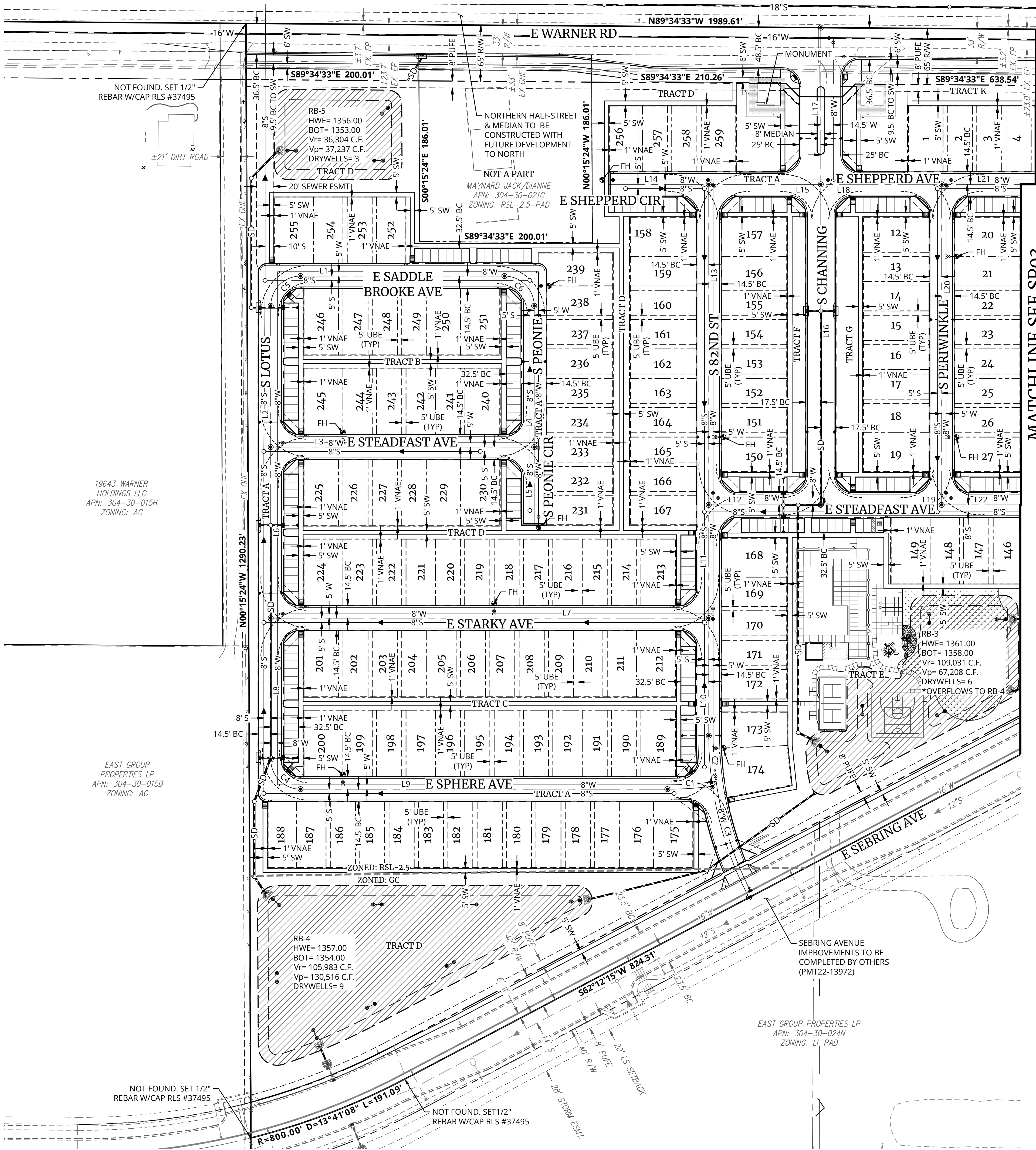
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
P: 602.490.0535 / F: 602.368.2436
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Engineering
& Design

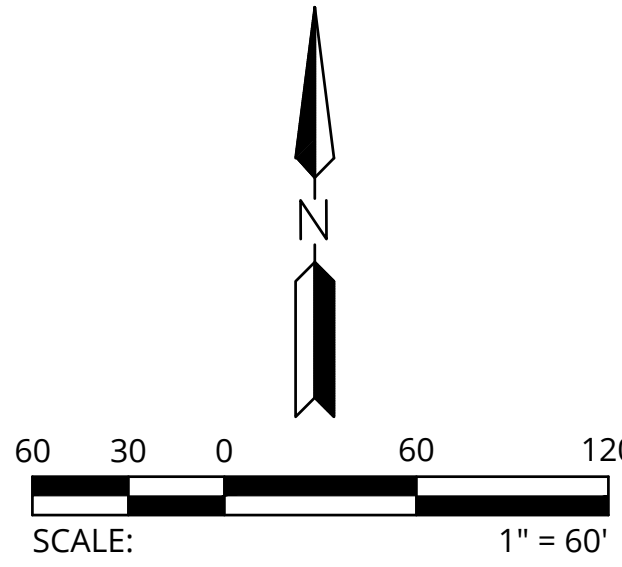
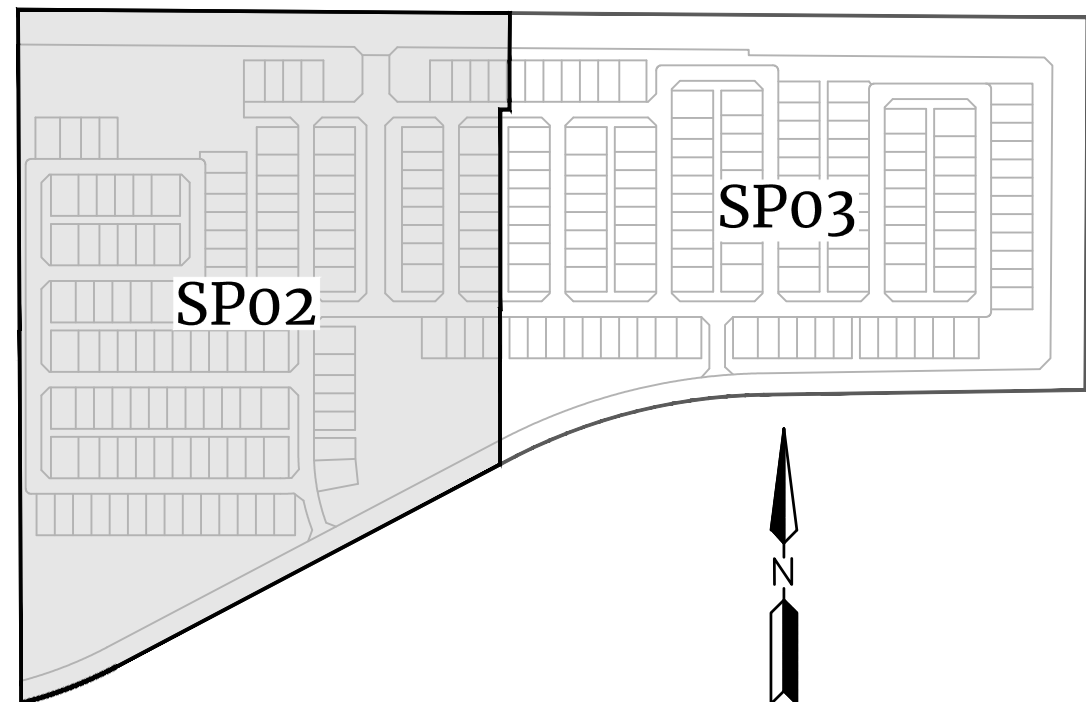
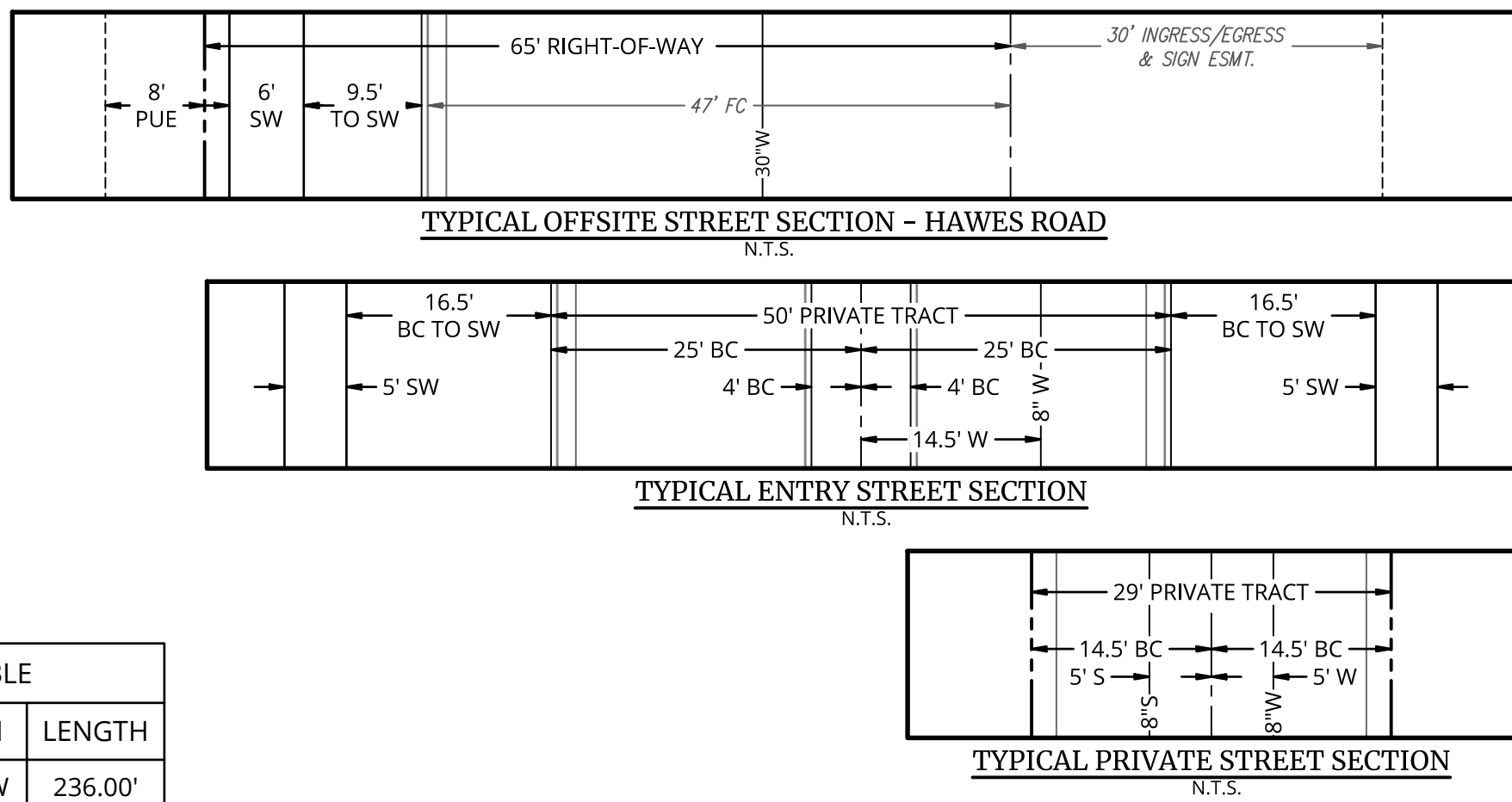


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LINE TABLE		
NO.	DIRECTION	LENGTH
L1	N90°00'00"W	236.00'
L2	N00°00'00"E	163.50'
L3	N90°00'00"E	305.00'
L4	N00°00'00"E	163.50'
L5	N00°00'00"E	90.36'
L6	S00°00'00"E	198.00'
L7	N90°00'00"W	507.08'
L8	S00°00'00"E	163.50'
L9	N90°00'00"E	424.65'
L10	N00°00'00"E	136.00'
L11	S00°00'00"E	131.06'
L12	N90°00'00"E	129.71'
L13	S00°00'00"E	638.23'
L14	N90°00'00"W	115.79'
L15	N90°00'00"W	129.71'
L16	S00°00'00"E	371.17'
L17	N00°00'00"E	181.32'
L18	N90°00'00"E	140.00'
L19	N90°00'00"E	140.00'
L20	S00°00'00"E	371.17'
L21	N90°00'00"E	198.00'
L22	N90°00'00"E	198.00'

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	400.00'	7°30'15"	52.39'
C2	400.00'	8°25'11"	58.78'
C3	400.00'	19°31'09"	136.27'
C4	34.50'	90°00'00"	54.19'
C5	34.50'	90°00'00"	54.19'
C6	34.50'	90°00'00"	54.19'



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Engineering & Design

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
53637
ZACH
HILGART
12/16/24
ARIZONA U.S.A.

HAWES CROSSING - VILLAGE 4
8235 E. WARNER ROAD
MESA, ARIZONA

Engineering & Design

PROJ NO.: 1833
DATE: DEC 2024
SCALE: 1"=60'
DRAWN: SS
DESIGNED: NS
APPROVED: BR

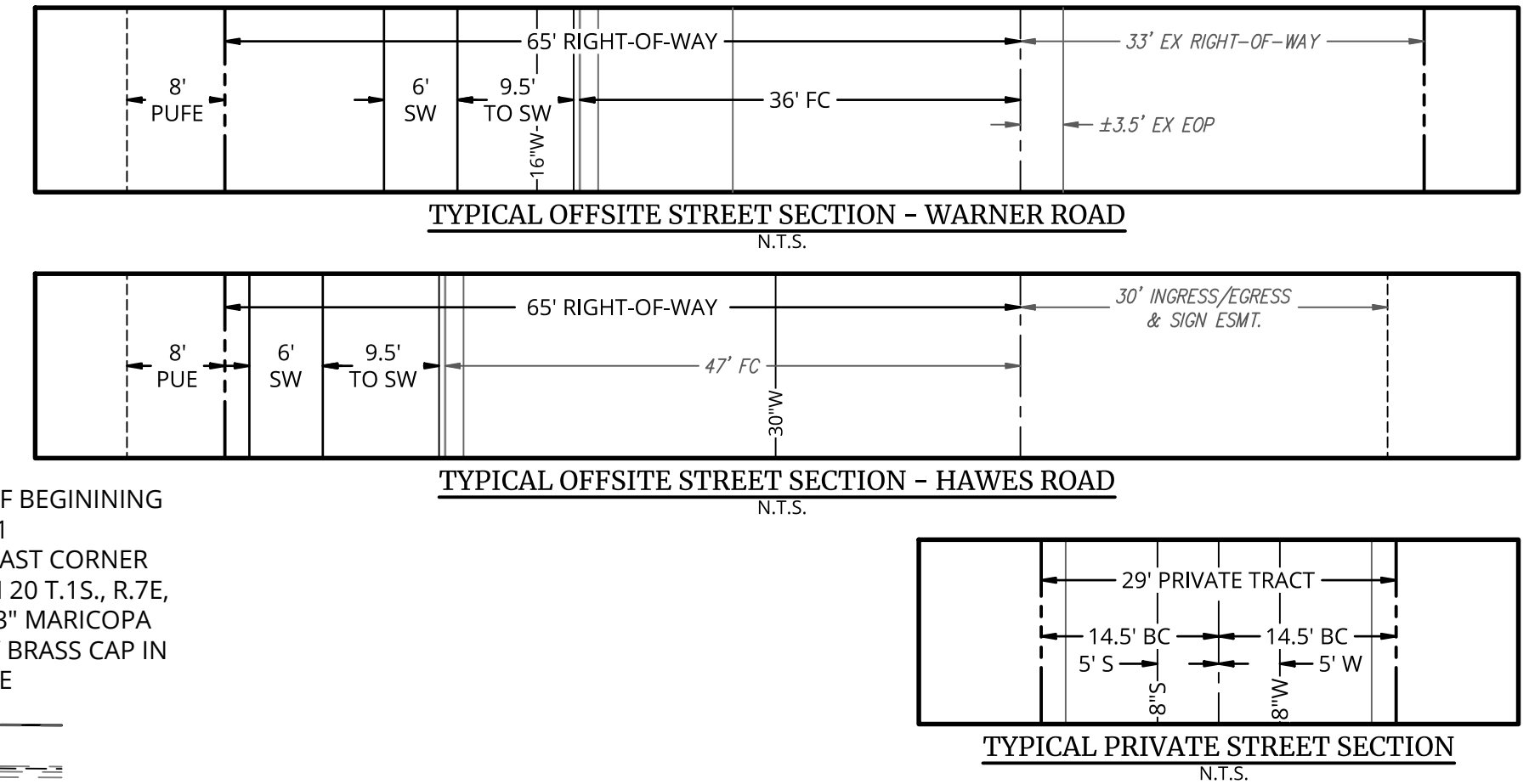
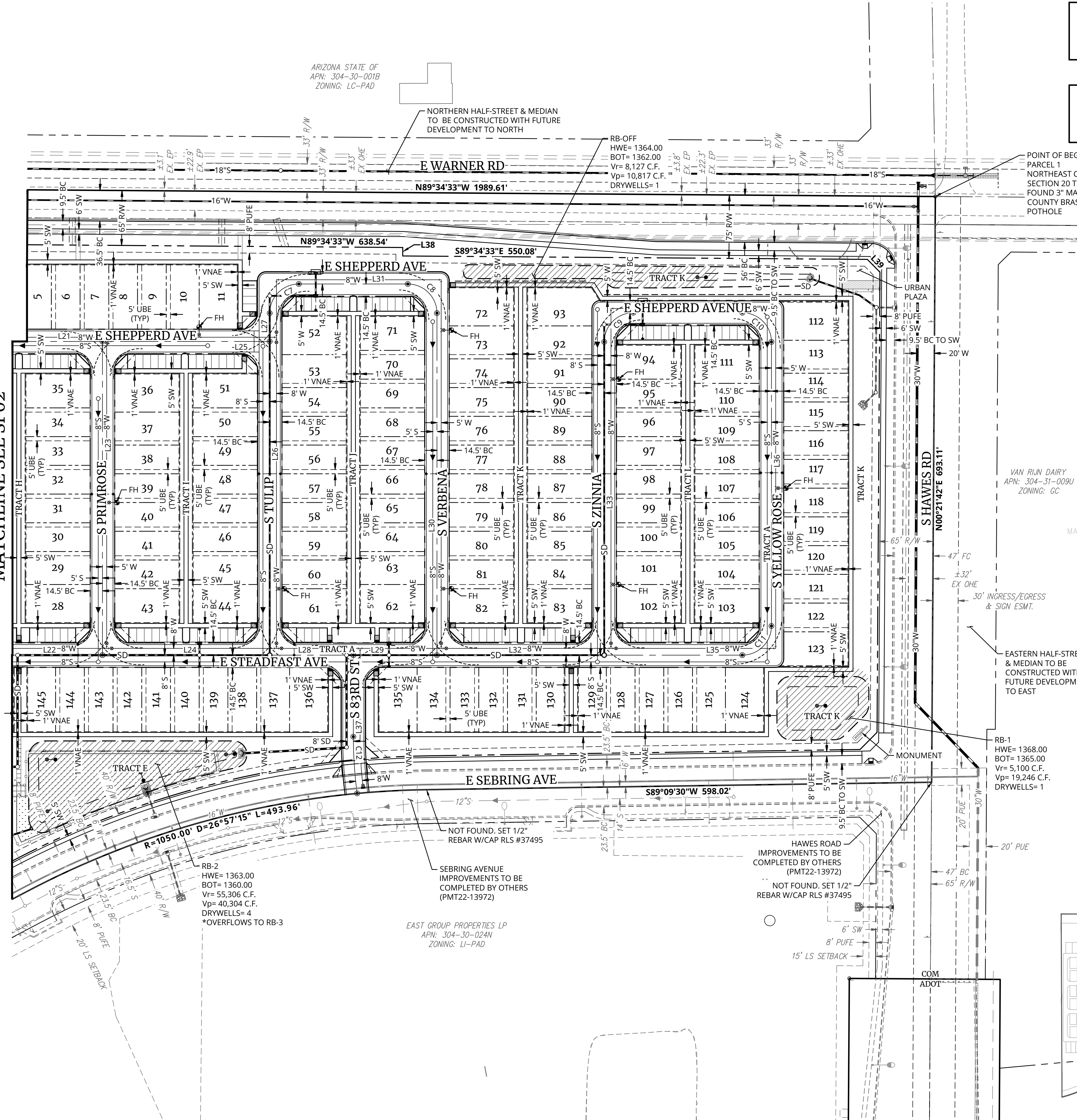
DWG. NO.
SP02
SHT. 02 OF 03

Formerly
HILGARTWILSON

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MATCHLINE SEE SP02



LINE TABLE		
NO.	DIRECTION	LENGTH
L21	N90°00'00"E	198.00'
L22	N90°00'00"E	198.00'
L23	S00°00'00"E	371.17'
L24	N90°00'00"E	198.00'
L25	N90°00'00"W	198.00'
L26	S00°00'00"E	371.17'
L27	S00°00'00"E	33.50'
L28	N90°00'00"E	99.00'
L30	N00°00'00"E	404.67'
L31	N90°00'00"W	129.00'
L32	N90°00'00"W	198.00'
L33	S00°00'00"E	370.67'
L34	N90°00'00"W	129.00'
L35	N90°00'00"E	163.50'
L36	N00°00'00"E	336.17'
L37	S00°00'00"E	96.50'
L38	S00°25'27"W	10.00'
L39	S44°36'26"E	21.22'

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C7	34.50'	90°00'00"	54.19'
C8	34.50'	90°00'00"	54.19'
C9	34.50'	90°00'00"	54.19'
C10	34.50'	90°00'00"	54.19'
C11	34.50'	90°00'00"	54.19'
C12	500.00'	7°42'56"	67.33'

REV:

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HAWES CROSSING - VILLAGE 4

8235 E. WARNER ROAD
MESA, ARIZONA

SPECIFIC PLAN - PLAN SHEET

Engineering
& Design

PROJ NO.: 1833
DATE: DEC 2024
SCALE: 1"=60'
DRAWN: SS
DESIGNED: NS
APPROVED: BR

DWG. NO.

SP03

SHT. 03 OF 03

