

PROJECT INFORMATION

PROPERTY OWNER: CAVAN COMMERCIAL
 10632 NORTH SCOTTSDALE ROAD SUITE 200
 SCOTTSDALE, ARIZONA 85254
 CONTACT: DALE CAVAN
 PHONE: 602.390.4560
 EMAIL: dale@cavanccommercial.com

ARCHITECT: PINNACLE DESIGN INC.
 1048 N. 44TH STREET SUITE 200
 PHOENIX, ARIZONA 85008
 CONTACT: IAN MULICH
 PHONE: 602.952.8585
 EMAIL: imulich@pdi-az.com

ADDRESS: 8817 E PECOS ROAD
 MESA, ARIZONA 85212

APN #: 304-62-943
 SITE ACREAGE: NET: ±2.00 ACRES (±87,121 SF)
 GROSS: ±2.36 ACRES (±102,694 SF)

CURRENT LAND USE: VACANT
 PROPOSED LAND USE: LIGHT INDUSTRIAL WITH OFFICE

EXISTING ZONING: LI
 PROPOSED ZONING: LI

BUILDING SF COVERAGE: ±24,400 SF / ±87,121 SF = 28.0%
 LANDSCAPE COVERAGE: ±15,073 SF / ±87,121 SF = 17.3%
 LOT COVERAGE: ±72,048 SF / ±87,121 SF = 82.7%

PROPOSED BUILDING USE: WAREHOUSE / OFFICE
 TOTAL BUILDING SF: ±24,400 SF
 PROPOSED BUILDING HEIGHT: 30'-0"

PARKING REQUIRED: WAREHOUSE: ±22,181 SF @ 1/900 = 24.6
 OFFICE: ± 2,219 SF @ 1/375 = 5.9
 30.5 (31 SPACES)

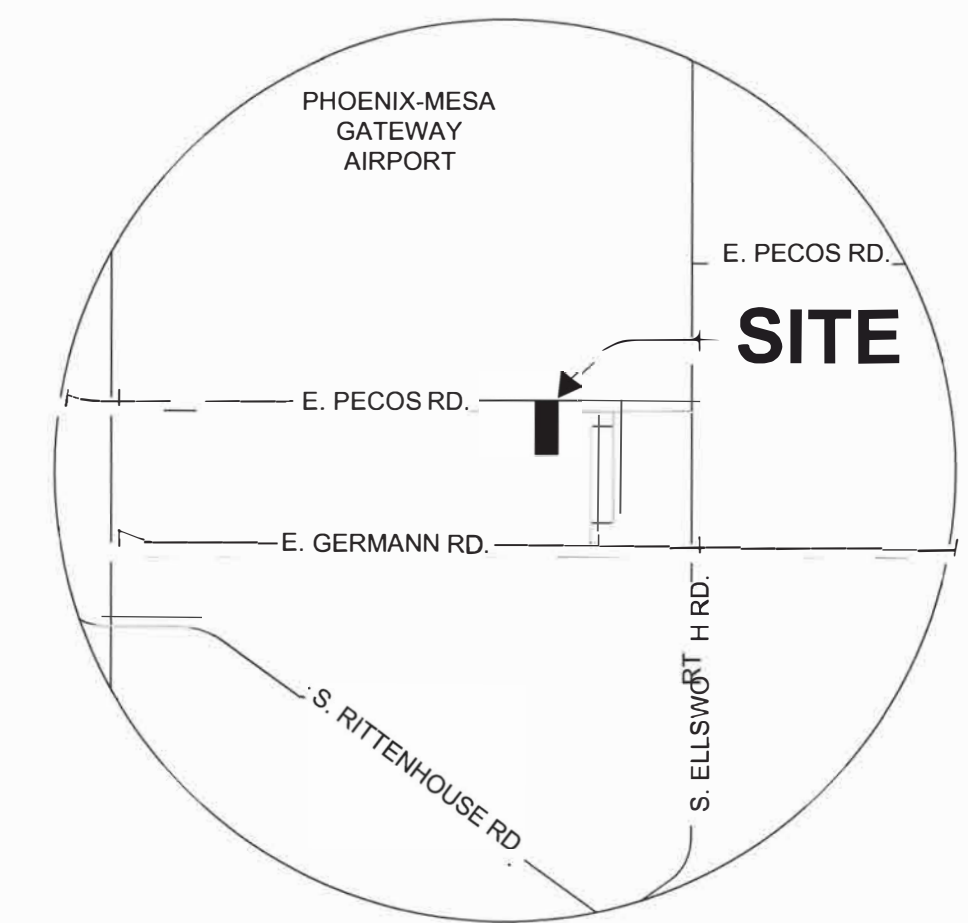
PARKING PROVIDED: 33 SPACES
 INCLUDES (1) ADA SPACE

LEGAL DESCRIPTION

A PORTION OF LOT 4 OF REPLAT OF LOTS 3 AND 4 OF WILLIAMS GATEWAY SELF STORAGE, ACCORDING TO BOOK 1296 OF MAPS, PAGE 32, LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT A BRASS CAP FLUSH STAMPED R.L.S. #50105 MARKING THE EAST QUARTER CORNER OF SAID SECTION 4, FROM WHICH A MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION BRASS CAP IN HAND HOLE, STAMPED R.L.S. #36914, AND DATED 2007 MARKING THE SOUTHEAST CORNER OF SAID SECTION 4 BEARS SOUTH 00 DEGREES 20 MINUTES 28 SECONDS EAST, A DISTANCE OF 2646.55 FEET, AND FROM WHICH A BRASS CAP IN HAND HOLE MARKING THE NORTHEAST CORNER OF SAID SECTION 4 BEARS NORTH 00 DEGREES 21 MINUTES 44 SECONDS WEST, A DISTANCE OF 2635.08 FEET;
 THENCE NORTH 89 DEGREES 23 MINUTES 58 SECONDS WEST ALONG THE NORTH BOUNDARY OF THE SOUTHEAST QUARTER OF SAID SECTION 4 A DISTANCE OF 2179.59 FEET;
 THENCE SOUTH 00 DEGREES 37 MINUTES 00 SECONDS WEST LEAVING THE NORTH BOUNDARY OF THE SOUTHEAST QUARTER OF SAID SECTION 4, A DISTANCE OF 65.00 FEET TO A FOUND 1/2 INCH REBAR AFFIXED WITH "ACCEPTED" TAG STAMPED R.L.S. #49864, MARKING THE NORTHEAST CORNER OF SAID LOT 4 AND THE POINT OF BEGINNING;
 THENCE CONTINUING SOUTH 00 DEGREES 37 MINUTES 00 SECONDS WEST ALONG THE EAST BOUNDARY OF SAID LOT 4, A DISTANCE OF 224.85 FEET TO A FOUND 1/2 INCH REBAR AFFIXED WITH "ACCEPTED" TAG STAMPED R.L.S. #49864 MARKING A CORNER OF SAID LOT 4;
 THENCE SOUTH 89 DEGREES 35 MINUTES 32 SECONDS WEST ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 4, A DISTANCE OF 24.03 FEET TO A FOUND 1/2 INCH REBAR WITH ORANGE PLASTIC CAP STAMPED R.L.S. #21786, MARKING A CORNER OF SAID LOT 4;
 THENCE SOUTH 00 DEGREES 32 MINUTES 40 SECONDS EAST ALONG THE EAST BOUNDARY OF SAID LOT 4, A DISTANCE OF 151.65 FEET TO A SET 5/8 INCH REBAR WITH 2-INCH ALUMINUM CAP STAMPED R.L.S. #49864;
 THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST LEAVING THE EAST BOUNDARY OF SAID LOT 4, A DISTANCE OF 218.45 FEET TO A SET MAG NAIL WITH TAG STAMPED R.L.S. #49864, ON TOP OF WALL;
 THENCE NORTH 00 DEGREES 34 MINUTES 05 SECONDS EAST ALONG THE WEST BOUNDARY OF SAID LOT 4, A DISTANCE OF 379.18 FEET TO A SET MAG NAIL WITH TAG STAMPED R.L.S. #49864, MARKING THE NORTHWEST CORNER OF SAID LOT 4;
 THENCE SOUTH 89 DEGREES 23 MINUTES 58 SECONDS EAST ALONG THE NORTH BOUNDARY OF SAID LOT 4, A DISTANCE OF 259.71 FEET TO A FOUND 1/2 INCH REBAR AFFIXED WITH "ACCEPTED" TAG STAMPED R.L.S. #49864, MARKING THE NORTHEAST CORNER OF SAID LOT 4 AND THE POINT OF BEGINNING.

SITE KEYNOTES

- PROPERTY LINE
- EXISTING ENTRY DRIVE TO REMAIN
- EXISTING CONCRETE CURB TO REMAIN
- EXISTING FIRE HYDRANT
- EXISTING 10'-2" HIGH CMU WALL PER AMD20-00366
- ASPHALT PAVING
- 6" RAISED CONCRETE CURB
- REFUSE ENCLOSURE PER COM SOLID WASTE STANDARDS M-62.01 THROUGH M-62.04.2.
- FIRE HYDRANT
- TRANSFORMER
- SERVICE ENTRY SECTION
- 8'-0" HIGH CMU PERIMETER SITE WALL - SEE DETAIL 7/ DR-2
- 3'-4" HIGH CMU SCREEN WALL - SEE DETAIL 8/DR-2
- FIRE DEPARTMENT CONNECTION / FIRE RISER ROOM
- 20'-0" WIDE BI-PARTING YARD GATE - SEE DETAIL 5/DR-2
- 8'-0" HIGH CMU FRONT SITE WALL - SEE DETAIL 6/DR-2
- 9'-0" x 18'-0" PARKING SPACE
- 3' x 8' MAN GATE
- 2'-0" DETECTABLE WARNING STRIP AT ACCESSIBLE RAMP
- CONCRETE SIDEWALK
- LANDSCAPE AREA
- 35' / 55' FIRE APPARATUS TURNING RADIUS
- HATCHED REGION INDICATES DEDICATED 20'-0" MIN. FIRE LANE
- 50'-0" SOLID WASTE CLEARANCE
- 6'-0" HIGH CMU SCREEN WALL - SEE DETAIL 9/DR-2
- DASHED LINE INDICATES LOCATION OF FIRE LANE MARKING
- DASHED LINE INDICATES LINE OF ACCESSIBLE ROUTE TO RIGHT OF WAY
- DASHED LINE INDICATES SHADING STRUCTURE ABOVE
- POLE MOUNTED SITE LIGHT - SEE PHOTOMETRIC PLAN
- SHADED REGION INDICATES LIMIT FOR PAVED EXTERIOR STORAGE YARD
- 5'-0" WIDE, 3" RAISED CONCRETE PEDESTRIAN WALKWAY WITH 4" WIDE TRAFFIC YIELDING STRIPING
- (4) BICYCLE PARKING SPACES



CONCEPTUAL SITE PLAN
 SCALE: 1"=20'-0"

VICINITY MAP
 N.T.S.

PINNACLE DESIGN INC

1048 N. 44th St. #200
 Phoenix, AZ 85008
 602.952.8585
 www.pdi-az.com

DESIGN REVIEW / P&Z
 5.28.2024

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8817 PECOS
 8817 E PECOS ROAD MESA, AZ 85212

PROJECT #: 22-037.0
 DATE: 5.28.2024
 DRAWN BY: IM / MC
 REV # DATE DESCRIPTION

SITE PLAN

DR-1
 PLEASE RECYCLE



PROJECT INFORMATION

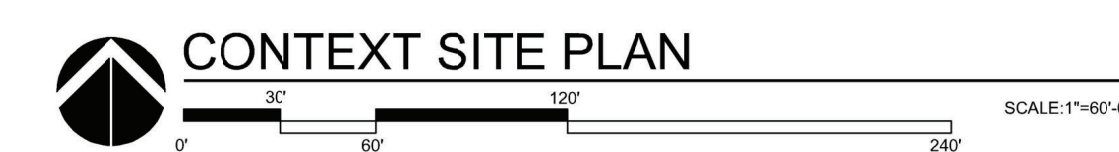
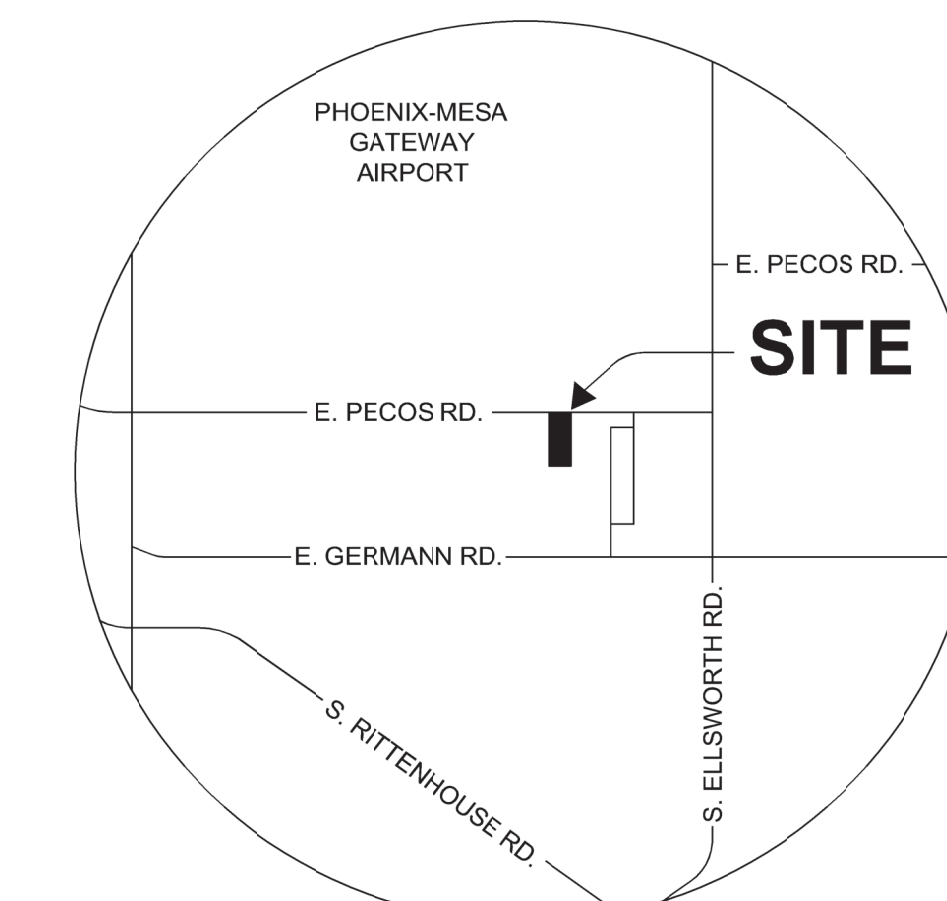
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SITE KEYNOTES

- 1 PROPERTY LINE
- 2 EXISTING ENTRY DRIVE
- 3 EXISTING CURB CUT



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DESIGN
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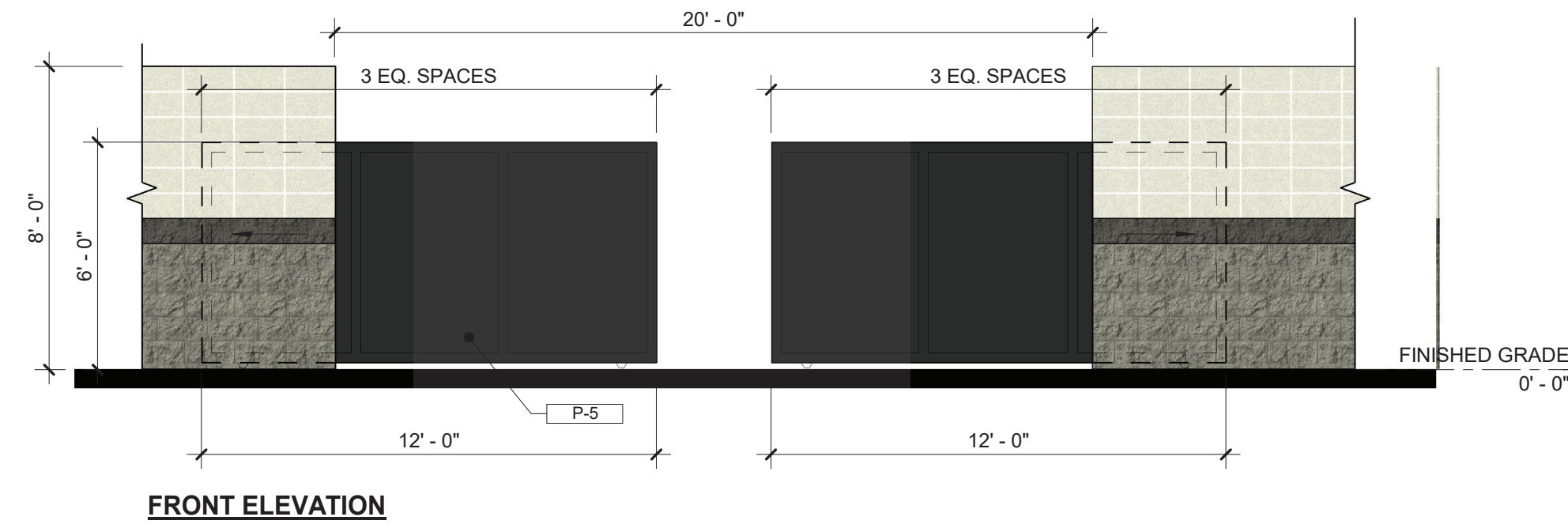
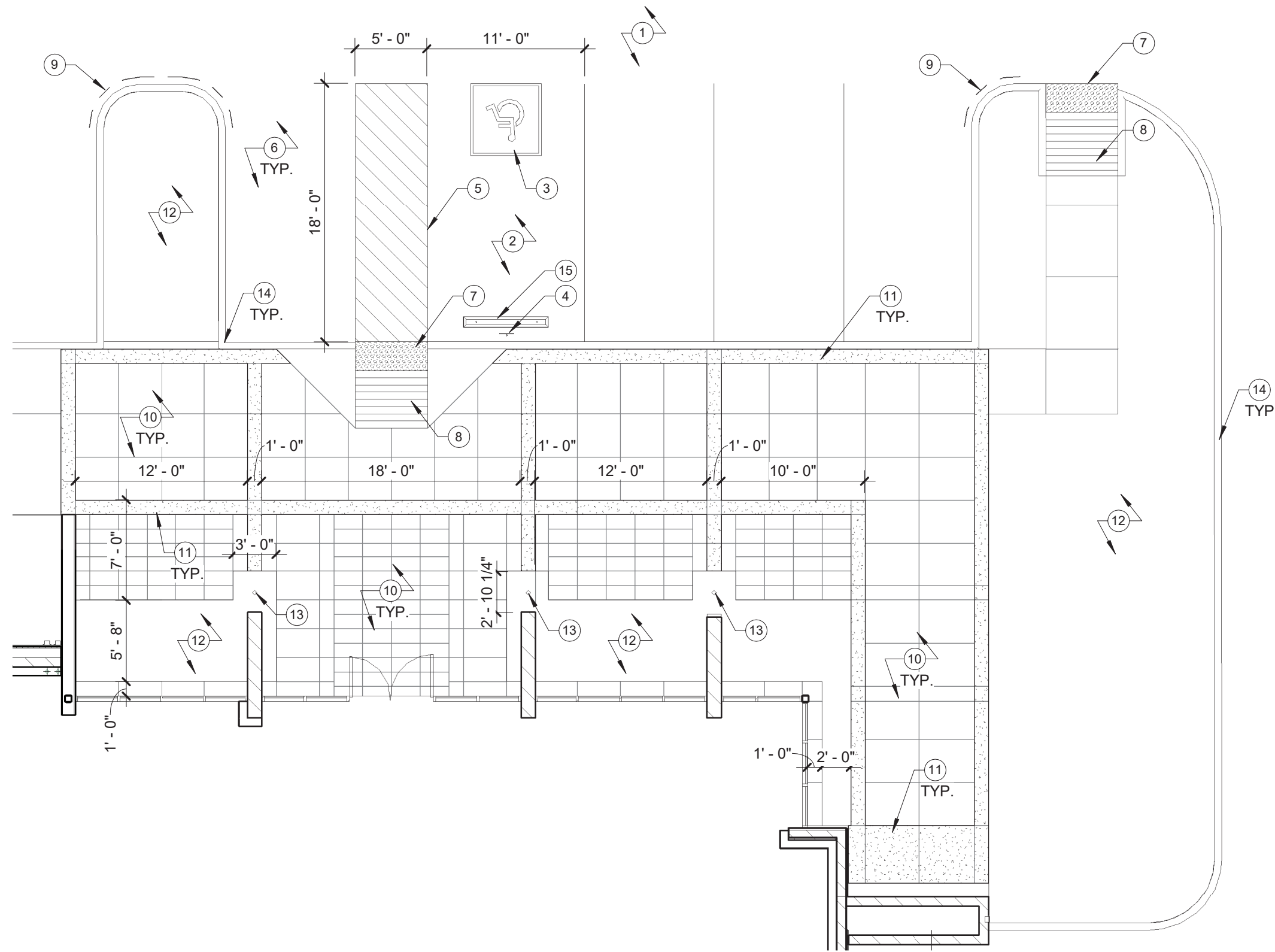
CONTEXT SITE PLAN

DR-9
PLEASE RECYCLE

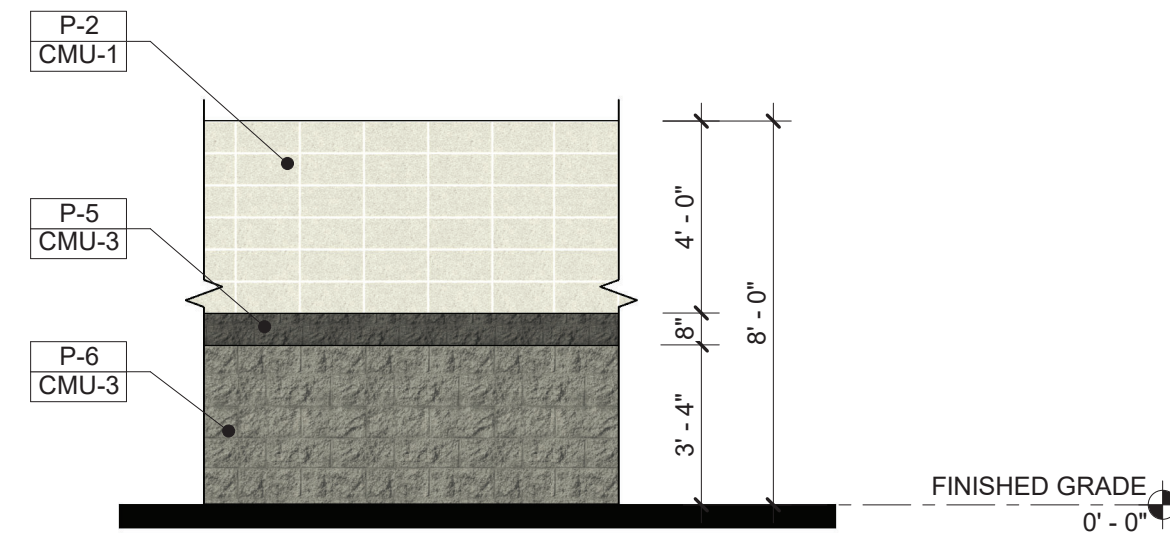
EXTERIOR FINISHES & MATERIALS SCHEDULE

PAINT	
P-1	BEHR "BLACK"
P-2	BEHR #134-2 "CHIC GRAY"
P-3	BEHR #104-4 "POLAR GRAY"
P-4	BEHR #134-3 "GREIGE"
P-5	BEHR #133-7 "INTELLECTUAL"
P-6	BEHR #114-6 "ANCESTRAL"
MASONRY	
CMU-1	8"x8"x16" SMOOTH FACE CMU STANDARD GRAY
CMU-2	12"x8"x16" SMOOTH FACE CMU STANDARD GRAY
CMU-3	8"x8"x16" SPLIT FACE CMU STANDARD GRAY
CMU-4	12"x8"x16" SPLIT FACE CMU STANDARD GRAY
MORTAR	
M-1	SPEC MIX "SM200 WHITE"
GLASS	
GL-1	1" INSULATED GLAZING UNIT VITRO SOLARBAN 70 (2) CLEAR + CLEAR MULLION FINISH ARCADIA SYSTEMS - BLACK FINISH AB-8
STUCCO	
STUC-1	7/8" STUCCO OVER CMU
STUC-2	7/8" STUCCO OVER METAL STUD FRAMING
METAL	
MTL-1	ALUMINUM COMPOSITE PANEL: REYNOBOND COLORWELD 500 "DEEP BLACK"

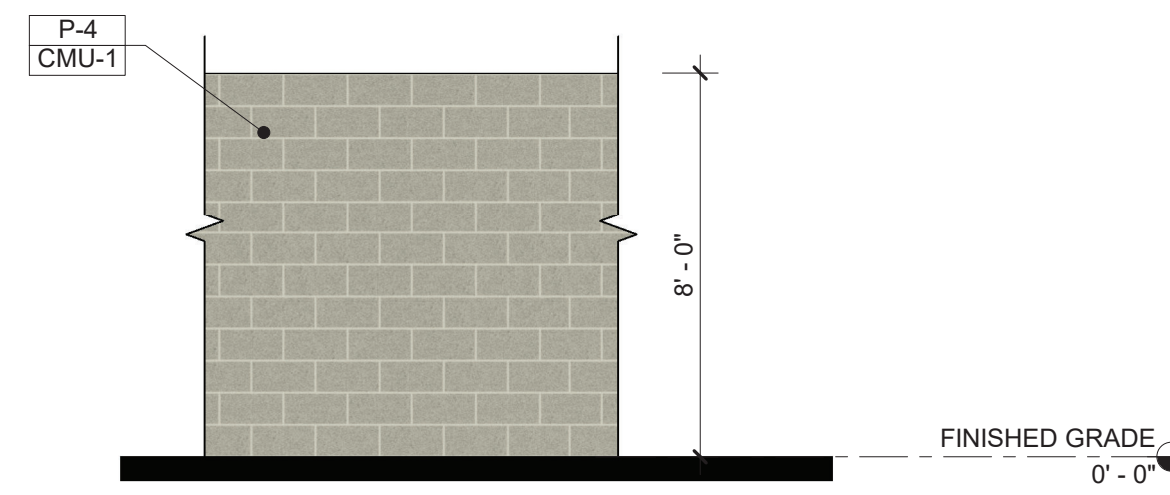
- | | |
|--|--|
| 1. ASPHALT PAVING- SEE CIVIL DRAWINGS | 11. HATCHED REGION INDICATES DECORATIVE CONCRETE PAVING WITH PEA GRAVEL FINISH |
| 2. 11'-0" x 18'-0" ACCESSIBLE PARKING SPACE | 12. LANDSCAPE AREA- SEE LANDSCAPE DRAWINGS |
| 3. ACCESSIBLE PARKING SYMBOL | 13. LED LANDSCAPE UP LIGHT |
| 4. ACCESSIBLE PARKING SIGNAGE | 14. 6" RAISED CONCRETE CURB |
| 5. 5'-0" WIDE ACCESSIBLE AISLE | 15. 6" CONCRETE WHEEL STOP |
| 6. STANDARD PARKING SPACE | |
| 7. DETECTABLE WARNING STRIP | |
| 8. ACCESSIBLE CURB RAMP | |
| 9. DASHED LINE INDICATES LOCATION OF FIRE LANE MARKING | |
| 10. 1,700 SF ENTRY PLAZA | |



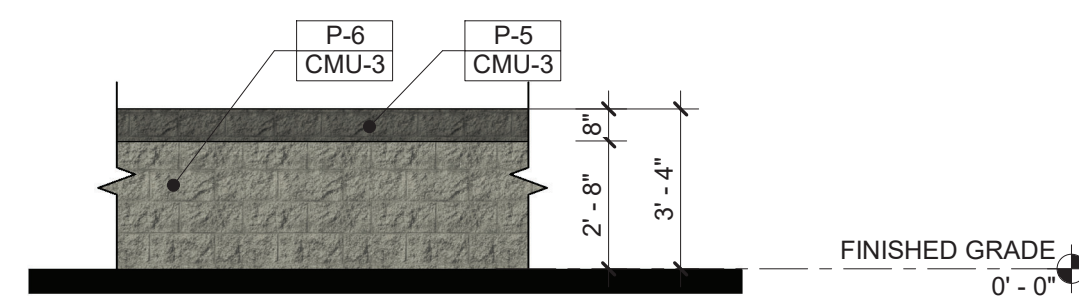
5 EAST YARD GATE ELEVATION
1/4" = 1'-0"



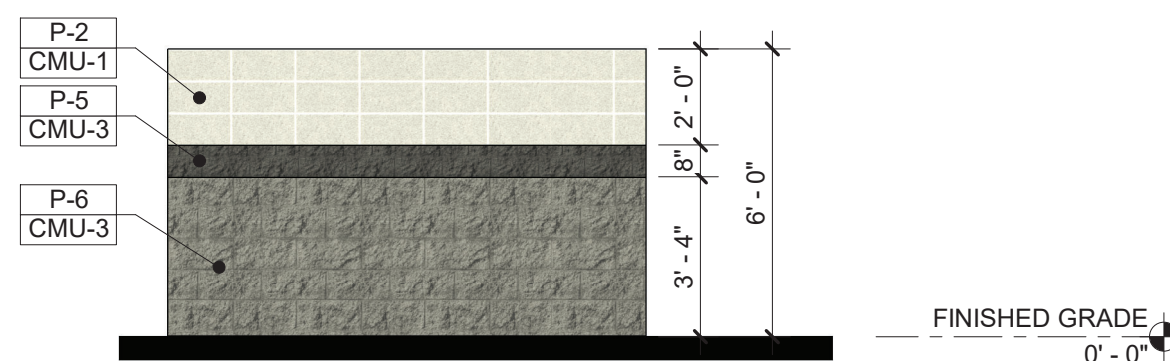
6 FRONT SITE WALL ELEVATION
1/4" = 1'-0"



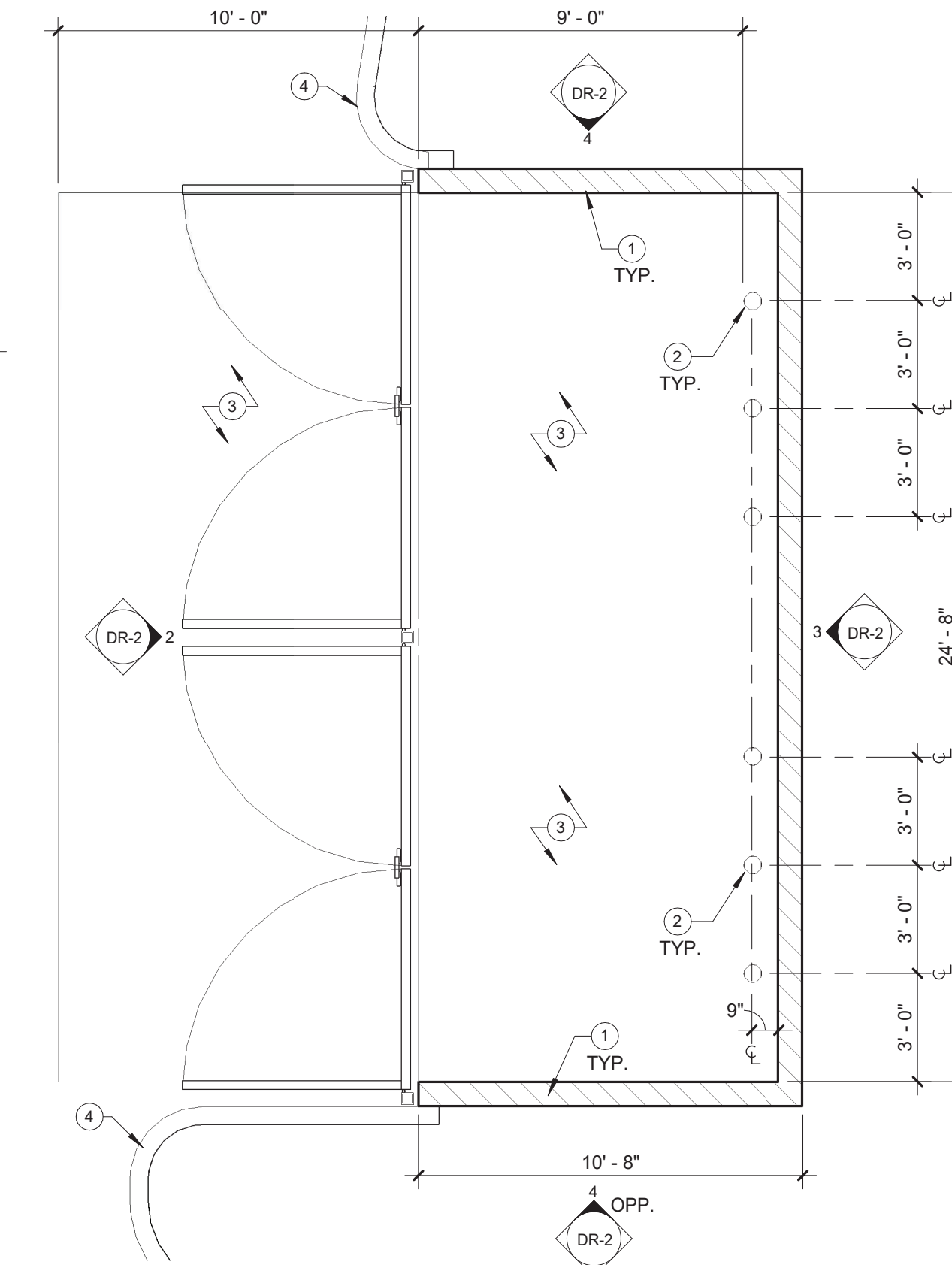
7 REAR SITE WALL ELEVATION
1/4" = 1'-0"



8 SITE SCREEN WALL ELEVATION
1/4" = 1'-0"

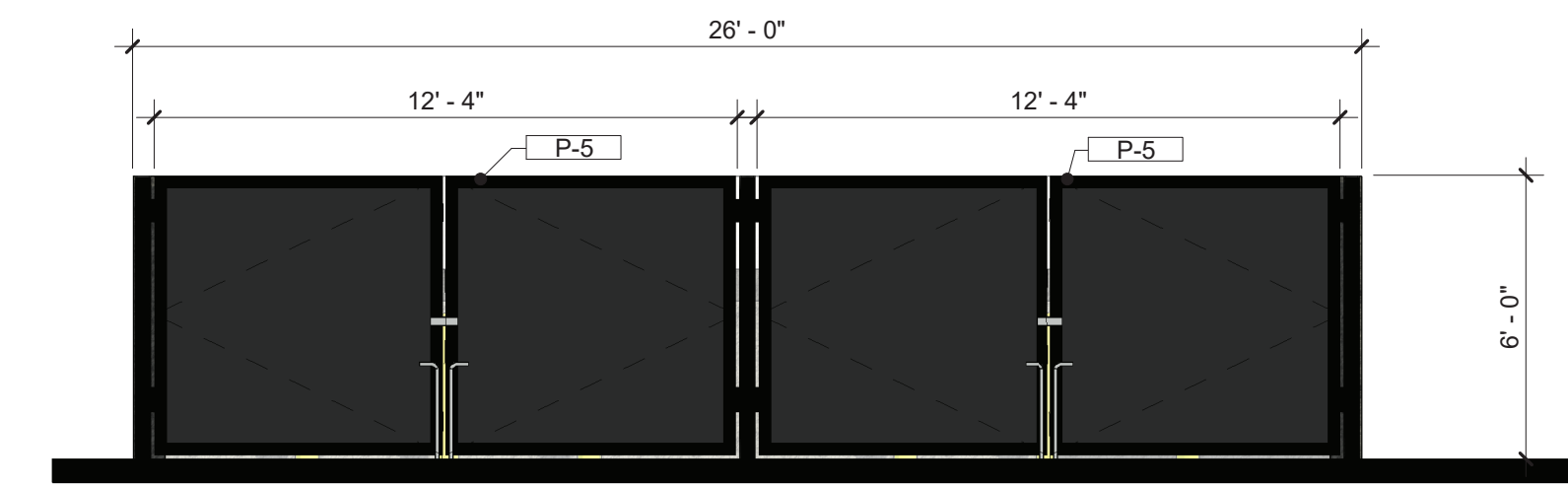


9 TRANSFORMER SCREEN WALL ELEVATION
1/4" = 1'-0"

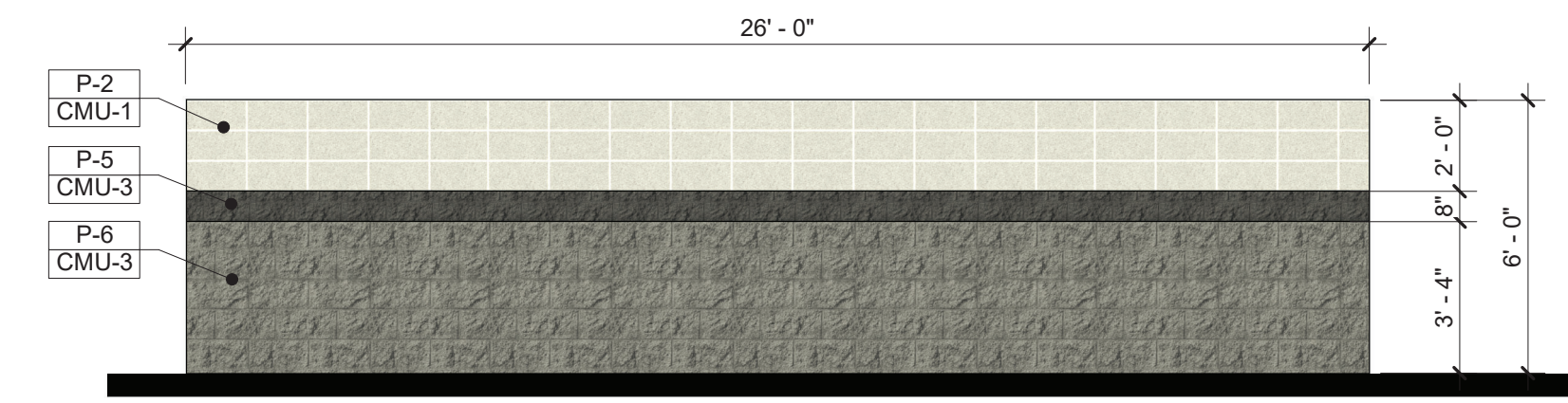


- 6'-0" HIGH CMU WALL
- 6" DIAMETER x 6'-0" BOLLARD PER CITY OF MESA DETAIL M-62.04.1
- 6" CONCRETE PAD PER CITY OF MESA DETAIL M-62.02.1
- ADJACENT CURB

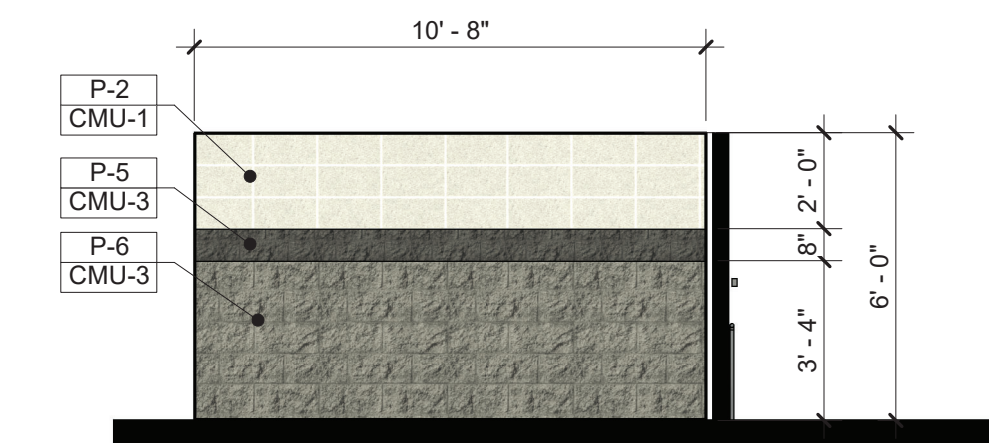
1 ENLARGED REFUSE ENCLOSURE
1/4" = 1'-0"



2 REFUSE ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



3 REFUSE ENCLOSURE BACK ELEVATION
1/4" = 1'-0"



4 REFUSE ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"

11 ENLARGED ENTRY HARDSCAPE
1/8" = 1'-0"