

# PAVING + DRAINAGE PLANS

FOR THE PROPERTY OF  
1609 W. UNIVERSITY DRIVE, MESA, AZ. 85201  
"SAN ANTONIO TIRE SHOP"

LOCATED IN A PORTION OF THE  
SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 4 EAST, GILA AND SALT  
RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

## GENERAL NOTES

GENERAL NOTES APPLY TO ALL DRAWINGS.

ALL DIMENSIONS ARE TO FACE OF MASONRY WALLS, FACE OF METAL STUDS AT INTERIOR WALLS, OR AS NOTED.

CEILING HEIGHTS NOTED ON REFLECTED CEILING PLAN ARE LISTED FROM FINISH FLOOR OF INDIVIDUAL ROOMS.

ALL FLOOR AND WALL PENETRATIONS REQUIRED FOR PIPES, CONDUIT, ETC. SHALL BE SEALED TO STOP THE PASSAGE OF FIRE AND / OR SMOKE.

SCRIBE 5/8" GYPSUM BOARD OF WALLS AND PARTITIONS TO IRREGULARITIES OF STRUCTURE. SEAL TIGHTLY AROUND ANY PENETRATIONS.

THE CONTRACTOR SHALL VISIT THE EXISTING SITE AND PRIOR TO BIDDING AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THE OWNER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.

THE STARTING OF ANY WORK, BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED PRIMA FACIE EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.

ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, AND ORDINANCES, AND THE 2018 EDITION-INTERNATIONAL BUILDING CODE. IN THE EVENT OF A CONFLICT WITH CODE REQUIREMENTS AND ITEMS CALLED OUT ON THE PLANS, THAT CODE OR CALL-OUT WHICH ESTABLISHES HIGHER STANDARD SHALL TAKE PRECEDENCE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE-RATED WALLS (I.E. NO GAPS, HOLES, VOIDS, UNSEALED PENETRATIONS, ETC. BEYOND THAT WHICH CODE ALLOWS). DUCT PENETRATIONS SHALL HAVE FIRE DAMPERS PER IBC. ALL GAPS BETWEEN PIPES, CONDUITS, OR DUCTWORK SHALL BE SEALED USING THE DOW CORNING FIRE STOP SYSTEM INSTALLED IN ACCORDANCE WITH I.C.C. REPORT NUMBER 3817.

IF PROVIDED AT EXISTING STRUCTURES, FIRE EXTINGUISHERS SHALL BE 2A:10B:C RATED. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. FIRE DEPARTMENT TO DETERMINE EXACT EXTINGUISHER LOCATION AND AS SHOWN ON THE PLANS. EXTINGUISHERS SHALL BEAR A SERVICE TAG AND SHALL BE MOUNTED SO THAT THE TOP OF THE EXTINGUISHER IS NO HIGHER THAN FOUR FEET A.F.F.

THE CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFERIOR OR NON-CONFORMING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE ARCHITECT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND OF QUALITY OF MATERIALS AND EQUIPMENT.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURERS' WRITTEN SPECIFICATIONS OR INSTRUCTION UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.

THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND/OR AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS.

ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKING MANNER, ACCEPTABLE TO THE OWNER.

WHEN WORK NOT SPECIFIED IS CALLED OUT AS REQUIRED TO COMPLETE THE WORK, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.

CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING).

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## NOTES

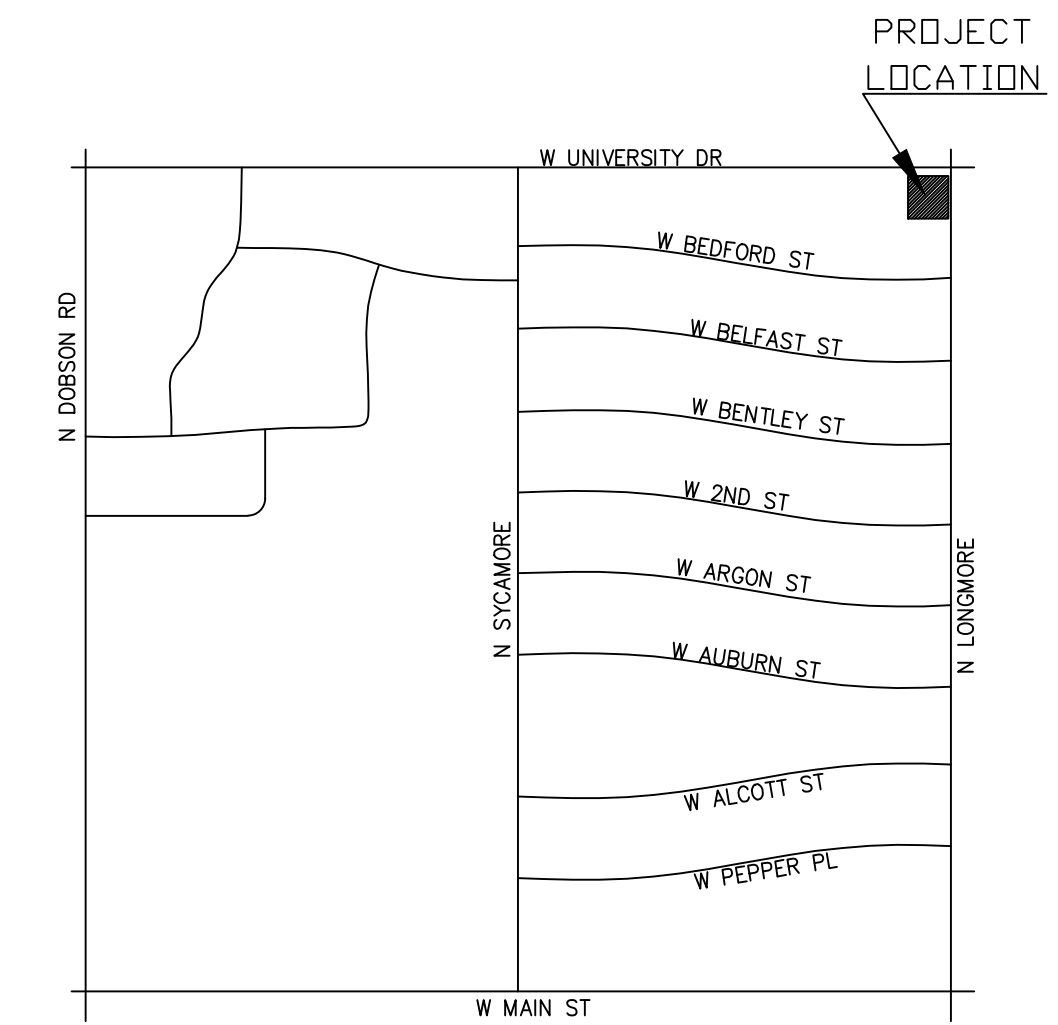
- THESE DRAWINGS ARE GENERALLY DIAGRAMMATIC, SHOWING ONLY THE ARRANGEMENT AND RELATIVE LOCATION OF MATERIALS AND EQUIPMENT, AND SHALL NOT BE SCALED FOR CONSTRUCTION PURPOSES. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN FIELD CONDITIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS AND SHALL REPORT ANY INCONSISTENCIES TO THE OWNER IMMEDIATELY.
- SHOULD THE GENERAL CONTRACTOR DISCOVER A DIFFERENCE BETWEEN OR DISCREPANCIES BETWEEN DRAWINGS THEY SHALL IMMEDIATELY REQUEST A CLARIFICATION FROM THE OWNER BEFORE PROCEEDING.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH WORK, AND SHALL IMMEDIATELY REQUEST A CLARIFICATION FROM THE OWNER BEFORE PROCEEDING.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE ALL SUBCONTRACTORS AND INSTALLATION OF THEIR EQUIPMENT, PIPING, CONDUIT, DUCTWORK, ETC. SO THAT THERE ARE NO CONFLICTS WITH ANY INSTALLED ITEMS.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AT THE SITE, PROTECT THEM FROM DAMAGE AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE OWNER FOR A CLARIFICATION.

## DRAINAGE STATEMENT

- NO OFFSITE FLOWS AFFECT THIS PROPERTY.
- THIS PROJECT IS LOCATED WITHIN FEMA FLOOD ZONE "X", AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) D04013C2265M REVISED NOVEMBER 4, 2015.
- THE SITE IS DESIGNED TO CAPTURE & RETAIN THE GREATER OF FIRST-FLUSH OR PRE VS POST STORM EVENT. FIRST-FLUSH VOLUME REQUIRED IS 703 CF AND THE PRE VS POST VOLUME IS 0 CF. A TOTAL OF 809 CF OF RETENTION IS PROVIDED IN 6" DEEP DEPRESSIONS VS 703 CF OF RETENTION IS REQUIRED.
- THE SITE OUTFALL IS AT THE NORTHWEST CORNER OF THE PROJECT'S FRONTAGE TO UNIVERSITY DRIVE OVER THE TOP OF CURB AT ELEVATION = 1224.94.

## SYMBOL LEGEND

PROPERTY LINE	PROPOSED RETAINING WALL TYPE
EASEMENT LINE	SPOT GRADE ELEVATION
STREET CENTERLINE	RETAINING WALLS SPOT ELEVATION
ADJACENT LOT OR R/W	PROPOSED DRAINAGE SHALE C.L.
EXISTING SPOT ELEVATION	PROPOSED GRADE SLOPE
EXISTING PAVEMENT HATCH	PROPOSED RETAINING WALL
PROPOSED CONCRETE HATCH	PROPOSED DRAINAGE AREA LINE
EXISTING CONCRETE HATCH	PROPOSED FINISH GRADE CONTOUR/ELEVATION
FUTURE ADDITION HATCH	PROPOSED REVISION BUBBLE
NEW PAVED DRIVEWAY AND WALKS	EXISTING RETENTION TOP LINE
HISTORICAL DRAINAGE FLOW	EXISTING RETENTION BOTTOM LINE
PROPOSED DRAINAGE FLOW	PROPOSED RETENTION LINE
PROPOSED CONCRETE VALLEY OUTER	



## VICINITY MAP

## PROJECT DESCRIPTION

PROJECT ADDRESS: 1609 W. UNIVERSITY DR., MESA, AZ.

EXIST. COMMERCIAL BUILDING: ONE - STORY 4,015 SF

LOT DATA:  
ADDRESS: 1609 W. UNIVERSITY DR.  
SUBDIVISION: CASA MESA AMENDED LOT 1-58, 135-191  
PARCEL NUMBER: 135-64-116  
LOT NUMBER:  
LOT SIZE (SQ. FT): 16,911  
MCR #: 89-05  
ZONING: OC-(O-S)  
ENGINEER: SAIF ENGINEERING LLC  
8011 S Avenida del Yaqui  
Guadalupe, AZ 85283  
(602) 954-2161  
(602) 773-1833 FAX  
OWNER/ DEVELOPER: TREES HERMANOS LLC  
734 E. MOBILE LANE,  
PHOENIX AZ 85040  
EARTH WORK:  
CUT: 30 CY  
FILL: 0 CY

## LEGAL DESCRIPTION

WARRANTY DEED: 2023-0661730, MCR TRACT A, OF CASA MESA AMENDED, ACCORDING TO BOOK 89 OF MAPS, PAGE 5, RECORDS OF MARICOPA COUNTY, ARIZONA. CONTAINING 16,867 SF [0.3872 ACRES] MORE OR LESS.

## REFERENCE DOCUMENTS

(R1) - BOOK 89 OF MAPS, PAGE 05, MCR  
BASIS OF BEARING  
THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 01 NORTH, RANGE 05 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEARING N89°16'E. (ASSUMED BEARING)  
BENCHMARK

BRASS TAG T.C. S.W. CORNER OF DOBSON & UNIVERSITY  
EL=1211.61 (2021 CITY OF MESA)

## SURVEYOR NOTES

1-FIELDWORK WAS COMPLETED ON 06/28/2024.

2-ALL BEARINGS AND DISTANCES ARE CALCULATED UNLESS OTHERWISE NOTED.

3-THIS SURVEYOR HAS MADE NO INDEPENDENT SEARCH FOR TAXES, ASSESSMENTS, RESERVATIONS IN PATENT, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, LIENS, COVENANTS, CONDITIONS OF RESTRICTIONS OR ANY OTHER RECORD INFORMATION THAT MAY BE DISCLOSED BY A CURRENT TITLE REPORT OR OTHER RESEARCH.  
APPLICABLE CODE:

- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS)
- 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2017 NATIONAL ELECTRIC CODE (NEC)
- A117.1 2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- CITY OF MESA - AMENDED FIRE CODE

## SCOPE OF WORK

RE-CONSTRUCTION OF THE INTERIOR SITE AREA AND EXTERIOR DRIVEWAYS TO,

- REMOVE 2 EXISTING DRIVEWAYS, TO PREVENT ACCESS TO AND FROM SITE.
- REMOVE EXISTING ON-SITE PAVEMENT AREA TO PROVIDE SITE RETENTION BASINS, FOR DRAINAGE.
- REMOVE & REPLACE ON-SITE PAVEMENT AREA, FOR DRAINAGE.
- PROVIDE NEW 3' WIDE CONCRETE SPILLWAYS, FOR DRAINAGE.
- PROVIDE NEW 4' HIGH CMU BLOCK SCREEN WALLS, FOR STREET FACING PARKING.
- PROVIDE NEW 6" SINGLE CURBING, TO DEFINE PARKING & RETENTION AREAS.
- PROVIDE NEW 12" WIDE "EXIT" DRIVEWAY, FOR NEW POINT OF SITE EGREES.
- PROVIDE NEW 5' WIDE SIDEWALK, FOR PED ENTRY FROM N. LONGMORE.

## M. A. G. COMPACTION STANDARDS

- MAG 601.4.4 COMPACTION DENSITIES: (THIS SECTION OF MAG TO BE REPLACED AS NOTED.) UNLESS OTHERWISE NOTED, ALL BACKFILL COMPACTION DENSITIES SHALL BE 95.0% MINIMUM RELATIVE DENSITY AS DETERMINED BY ASTM D-2922 (NUCLEAR DENSITY METHOD) AND D-3017 (WATER CONTENT BY NUCLEAR METHOD) USING THE STANDARD PROCTOR METHOD, AASHTO T-99 OR ASTM D-698.
- MAG 601.4.5 COMPACTION METHODS: (THIS SECTION OF MAG TO BE REPLACED IN ITS ENTIRETY.) WATER CONSOLIDATION FOR BACKFILL WILL NOT BE PERMITTED. THE BACKFILL COMPACTION SHALL BE ACCOMPLISHED BY MECHANICAL METHODS USING EQUIPMENT SUCH AS ROLLERS, PNEUMATIC TAMPS, HYDRO HAMMERS, OR OTHER APPROVED DEVICES WHICH PROVIDE SECURE, UNIFORM, AND REQUIRED DENSITY WITHOUT INJURY TO THE PIPE OR RELATED STRUCTURES.

## ON-SITE IMPROVEMENT

PROPOSED SITE:

- 3" ASPHALT/8" A.B.C. (FRONT)= 16 S.Y.
- 3" ASPHALT/8" A.B.C. (REAR)= 16 S.Y.
- 5' WIDE CONCRETE WALKWAY= 511 S.F.
- 6" SINGLE CURB= 644 L.F.
- 8" CONCRETE PAVEMENT= 69 C.F.
- 12" THICK X 3' WIDE CONCRETE SPILLWAY= 400 S.F.
- 40" HIGH CMU BLOCK SCREEN WALL= 144 L.F.
- 6" DIA. PVC EQUALIZER PIPE (DRAINAGE)= 9 L.F.
- 5' WIDE CONCRETE SIDEWALK 340 SF

## OFF-SITE IMPROVEMENT

PROPOSED SITE:

- 5' WIDE CONCRETE SIDEWALK = 490 S.F.
- 6" VERTICAL CURB & GUTTER= 66 L.F.
- CONC. DRIVEWAY ENTRANCE/RAMP/CURB = 1 EA.
- PAVEMENT SAWCUT REMOVAL & REPLACE= 84 S.F.

## RET. CALCULATION

	Rainfall Depth (in)	Runoff Coefficient (C)	Area (SF)	Formula $V=P/12 \times A \times C$	Volume (CF)
100YR -2HR	2.8	0.65	16867	$(2.8/12) \times 16,867 \times 0.65$	2,558 CF

## RETENTION BASIN "A"

AREA (SF)	DEPTH (FT)	VOLUME (CF)
619	0.5000	221
267		

## RETENTION BASIN "B"

AREA (SF)	DEPTH (FT)	VOLUME (CF)
1076	0.5000	345
341		

## RETENTION BASIN "C"

AREA (SF)	DEPTH (FT)	VOLUME (CF)
411	1.0000	321
232		

## RETENTION BASIN "D"

AREA (SF)	DEPTH (FT)	VOLUME (CF)
1761	1.0000	1071
382		
SUBTOTAL		1,958

TIME TO DRAIN ( $\leq 36$  hrs)- DEPTH OF RETENTION BASIN  $\leq 1$  FT. NO DRYWELL REQUIRED

## SHEET INDEX

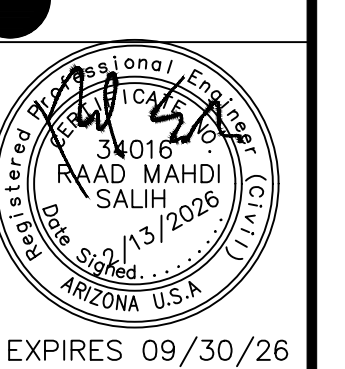
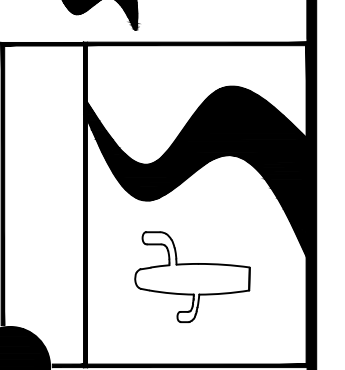
- C1 GRADING AND DRAINAGE COVER SHEET
- C2 EXISTING SITE/SURVEY PLAN
- C3 PROPOSED SITE PLAN
- C4 PROPOSED SITE GRADING & DRAINAGE PLAN
- C5 PROPOSED SITE G&D SECTIONS
- C6 PROPOSED SITE G&D DETAILS
- C7 ACCESS AND CONTEXT PLAN

## ABBREVIATIONS

A.B.C.	ANCHOR BOLT	E.O.	EQUAL	P.V.D.	PLYWOOD
A.F.F.	AGGREGATE BASE COURSE	E.W.	EACH WAY	PSF	POUNDS PER SQUARE FOOT
A.F.G.	ABOVE FINISH FLOOR	EXIST.	EXISTING	PSI	POUNDS PER SQUARE INCH
AL.	ALUMINUM	F.E.C.	FIRE EXTINGUISHER	R.	RADIUS
ALT.	ALTERNATE	F.D.	FIRE EXTINGUISHER CABINET	RA	RETURN AIR
A/C	AIR CONDITIONING	F.F.	FLOOR DRAIN	R.D.	ROOF DRAIN
B.B.	BOND BEAM	F.G.	FLOOR FINISH	R.O.	ROUGH OPENING
BLK.	BLOCK	FRP	FINISH GRADE	R.O.V.	RIGHT OF WAY
BLKG.	BLOCKING	G.A.	FIBERGLASS REINFORCED PANEL	R.S.	ROUGH SAWN
BM.	BEAM	G.I.	GAUGE	S.C.	SOLID CORE WOOD
BOIT.	BOTTOM	GYP.	GALVANIZED IRON	SHT.	SHEET
BRG.	BEARING	G.L.B.	GYPSUM WALLBOARD	SIM.	SIMILAR
B.U.R.	BUILT-UP ROOFING	H.B.	GLU-LAMINATED BEAM	SQ.	SQUARE
C.I.P.	CAST-IN-PLACE	H.C.	HOSE BIB	S.S.	STAINLESS STEEL
C.J.	CONTROL JOINT	HT.	HOLLOW CORE WOOD	STD.	STANDARD
C.L.F.	CHAIN LINK FENCE	H.M.	HEIGHT	STL.	STEEL
CLG.	CEILING	HER.	HOLLOW METAL	T&G	TONGUE AND GROOVE
CLR.	CLEAR	H.Z.	HORIZONTAL	T.D.L.	TOP OF LEDGER
C.M.U.	CONCRETE MASONRY UNITS(C)	J.T.	JOIST(S)	T.D.M.	TOP OF MASONRY
CL.	CENTERLINE	J.	JOINT(S)	T.D.P.	TOP OF PARAPET
CONC.	CONCRETE	M.B.	MAXIMUM	T.D.P.L.	TOP OF PLATE
CONJT.	CONSTRUCTION JOINT	M.C.	MACHINE BOLT	T.D.V.	TOP OF WALL
CONJT.	CONTINUOUS	M.C.J.	MEDICINE CABINET	TYP.	TYPICAL
C/SUNK	COUNTERSUNK CERAMIC TLE	M.A.	MASONRY CONTROL JOINT	UNID.	UNLESS NOTED OTHERWISE
C.T.	CORNER	M.D.	MINIMUM	V.C.T.	VINYL COMPOSITION TILE
DBL.	DOUBLE	M.T.L.	MASONRY OPENING	VERT.	VERTICAL
DIM.	DIMENTION	N.I.C.	N.E.C.	W/H	WITH
DTL.	DETAIL	N.T.S.	NOT IN CONTRACT	W/D	WITHOUT
D.F.	DRINKING FOUNTAIN	D.C.	NOT TO SCALE	WC	WATER CLOSET
DWG.	DRAWING(S)	DN	DN CENTER	WOOD	WOOD
E.A.	EACH	OH	OVERHEAD	W.I.	WROUGHT IRON
E.B.	EXPANSION BOLT	D.R.D.	DVERSELOW ROOF DRAIN	WP	WATER PROOF
E.D.F.	ELECTRIC DRINKING FOUNTAIN	PL.	PLATE	W.R.	WATER RESISTANT
E-J.	EXPANSION JOINT	P.L.	PROPERTY LINE		
ELEV.	ELEVATION	P.L.A.M.			

PROJECT MANAGER:	BY
DATE	
DESIGN BY: R.M.S.	REVIEW
DRAWN BY: N.S.Q.	
CHECKED BY: R.M.S.	
DATE	

SAIF ENGINEERING L.L.C.  
Engineering, Surveying & Construction Administration  
8011 S Avenida del Yaqui, Guadalupe, AZ 85283, Tel: 954-2161 Fax: (602) 773-1833



EXPIRES 09/30/26

PAVING & DRAINAGE PLANS  
TRES HERMANOS LLC'S  
"SAN ANTONIO TIRE SHOP"  
1609 W. UNIVERSITY DRIVE, MESA, AZ

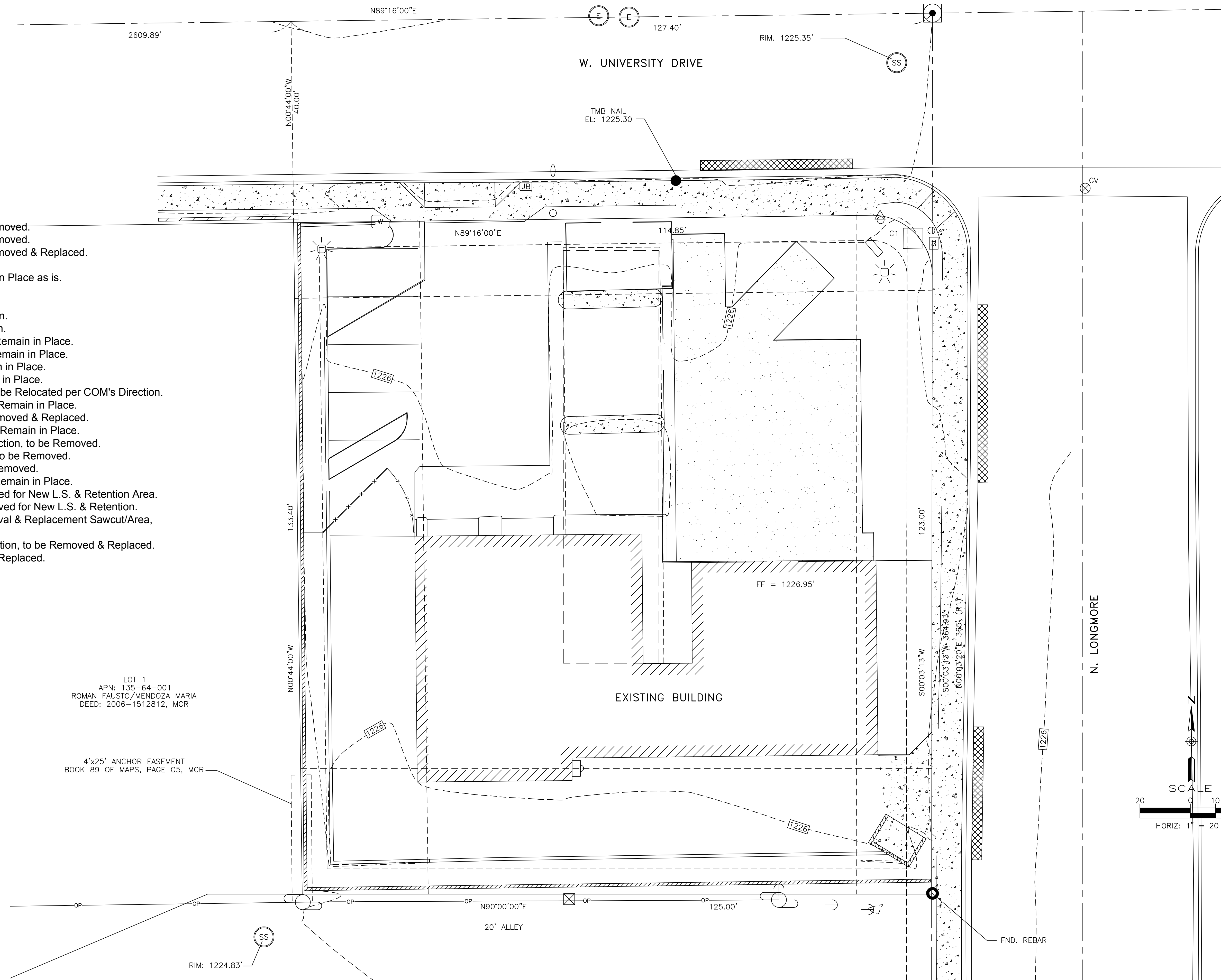
SCALE:	NOTED
SECTION:	30
TWNSHP:	1N
RANGE:	2E
JOB NO.:	-
SHEET	C1 OF C7

# EXISTING SITE/ SURVEY PLAN

FOR THE PROPERTY OF  
1609 W. UNIVERSITY DRIVE, MESA, AZ. 85201  
"SAN ANTONIO TIRE SHOP"

## KEY NOTES

1. Existing Property Line.
2. Existing 5' High Block Property Wall.
3. Existing 14' Wide Driveway.
4. Existing 30' Wide Driveway, to be Removed.
5. Existing 35' Wide Driveway, to be Removed.
6. Existing 26' Wide Driveway, to be Removed & Replaced.
7. Existing Utility Pole, to Remain.
8. Existing Trash Enclosure, to Remain in Place as is.
9. Existing 6" Vertical Curb & Gutter.
10. Existing 5' Wide Concrete Sidewalk.
11. Existing Street Light & Pole, to Remain.
12. Existing Site's Water Meter, to Remain.
13. Existing Overhead Property Sign, to Remain in Place.
14. Existing Concrete Irrigation Box, to Remain in Place.
15. Existing Traffic Signal Pole, to Remain in Place.
16. Existing Traffic Signal Box, to Remain in Place.
17. Existing PED Traffic Signal Button, to be Relocated per COM's Direction.
18. Existing Site/Parking Light & Pole, to Remain in Place.
19. Existing Concrete Walkway, to be Removed & Replaced.
20. Existing 6" Vertical Concrete Curb, to Remain in Place.
21. Existing 6" Vertical Concrete Curb Section, to be Removed.
22. Existing 6' High Metal & Wood Gate, to be Removed.
23. Existing 6' High Wood Fence, to be Removed.
24. Existing Electrical Panel & Meter, to Remain in Place.
25. Existing Pavement Area to be Removed for New L.S. & Retention Area.
26. Existing L.S. Gravel Area to be Removed for New L.S. & Retention.
27. Existing 2' Wide Street Section Removal & Replacement Sawcut/Area, per C.O.M. Stdl Dtl M-19.01.
28. Existing 6" Vertical Curb & Gutter Section, to be Removed & Replaced.
29. Existing Pavement to be Removed & Replaced.

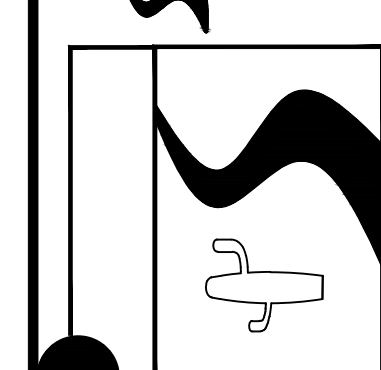


LOT 1  
APN: 135-64-001  
ROMAN FAUSTO/MENDOZA MARIA  
DEED: 2006-1512812, MCR

4'x25' ANCHOR EASEMENT  
BOOK 89 OF MAPS, PAGE 05, MCR

PROJECT MANAGER:	BY
DESIGN BY: R.M.S.	DATE
DRAWN BY: N.S.Q.	REVIEW
CHECKED BY: R.M.S.	
DATE:	

AIF ENGINEERING L.L.C.  
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EXPIRES 09/30/26

PAVING & DRAINAGE PLANS  
TRES HERMANOS LLC'S  
"SAN ANTONIO TIRE SHOP"  
1609 W. UNIVERSITY DRIVE, MESA, AZ

SCALE: NOTED
SECTION: 30
TWNHP: 1N
RANGE: 2E
JOB NO.:
SHEET OF C7



# PROPOSED SITE PLAN

FOR THE PROPERTY OF  
1609 W. UNIVERSITY DRIVE, MESA, AZ. 85201  
"SAN ANTONIO TIRE SHOP"

## PROJECT INFORMATION

PROJECT NAME: SAN ANTONIO TIRE SHOP  
PROJECT DESCRIPTION: EXISTING TIRE REPAIR & SERVICE  
PROJECT ADDRESS: 1609 W. UNIVERSITY DRIVE, MESA AZ 85201  
OWNER/DEVELOPER: TRES HERMANOS LLC  
OWNER CONTACT INFO: 734 E. MOBILE LANE, PHOENIX AZ 85040  
CONTRACTOR: ALL RIGHT BUILDERS, INC.  
MR. LEE PRICE  
allrightbuilders@cox.net  
135-63-116  
TOTAL LAND AREA: 16,911 SF / 0.39 ACRE  
ZONING: LC (C-2) (COMMERCIAL DISTRICT)  
CONSTRUCTION TYPE: 8" BLOCK/BRICK  
MCR: 89-05  
SUBDIVISION: CASA MESA AMENDED LOT 1-58, 135-191, TR  
BUILDING SIZE: 4,015 SF  
BUILDING SETBACKS: 15' FRONT (ST), 25' REAR, 25' SIDE & 15' SIDE (ST)  
LANDSCAPE SETBACKS: 5' FRONT, 5' REAR AND 5' SIDES  
BUILDING HEIGHT: MAXIMUM 2 STORIES AND 30FT TALL  
LOT COVERAGE: 13,050/ 16,911 SF = 77% - ALLOWED=80%

## PARKING REQUIREMENTS

PER CITY OF MESA  
- 1.0 SPACE PER 375 SF  
- 1 ADA PARKING PER 1-25 PARKING SPACES  
- TOTAL REQUIRED: 11 PARKING SPACES INCLUDING 1 ADA SPACE  
- TOTAL PROVIDED: 4 PARKING SPACES INCLUDING 1 ADA SPACE

## LANDSCAPE REQUIREMENTS

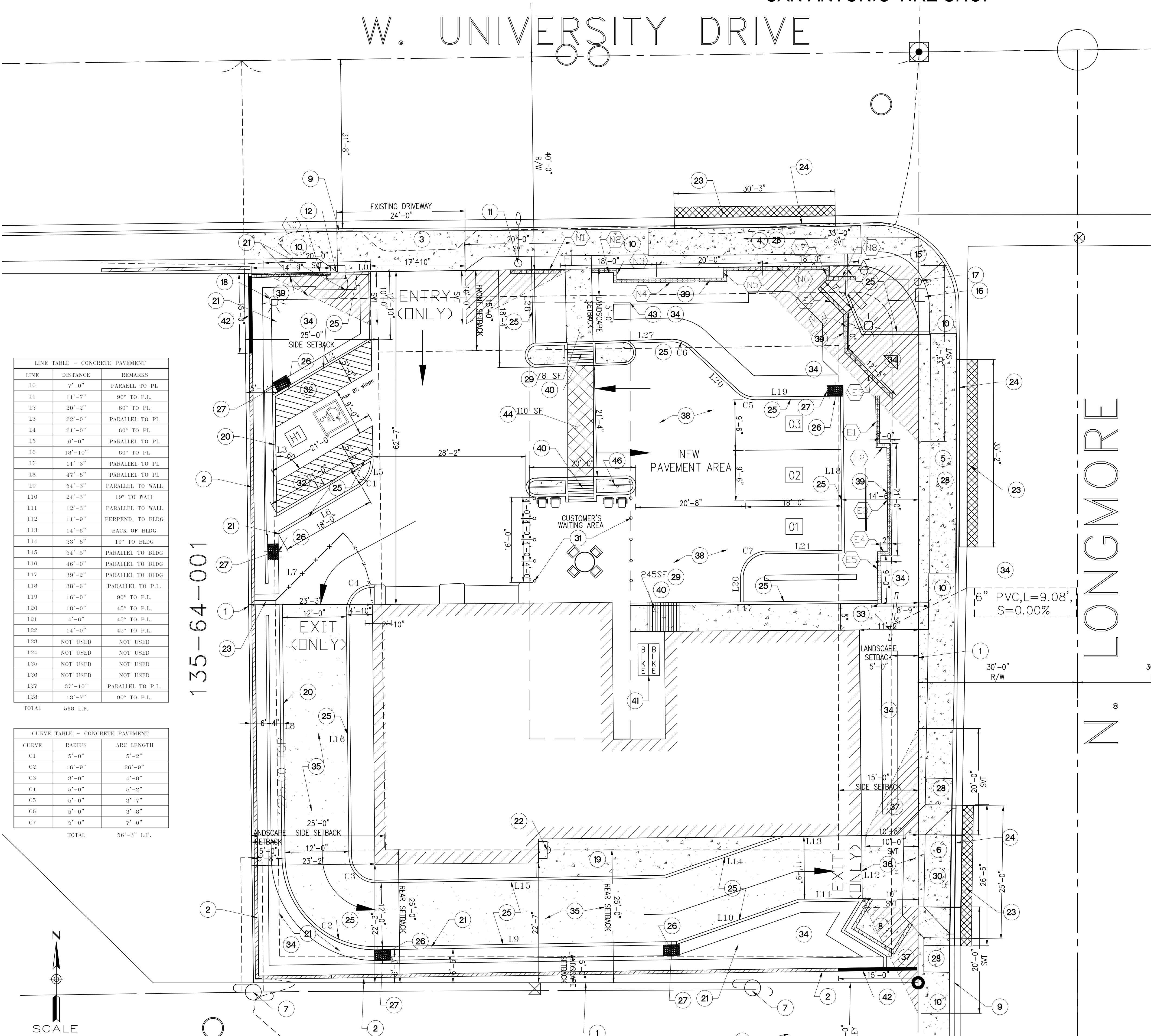
PER CITY OF MESA  
- LANDSCAPE SETBACK(S) 5' FRONT, 5' REAR AND 5' SIDES  
- LANDSCAPE PROVIDED - AREA = 3,456 SF OR 20.49%

NEW "SPLIT-FACE" BLOCK SCREEN WALLS			
DETAIL #	W. HEIGHT	W. LENGTH	LOCATION(S)
(N)	3'-4" to 3'-4"	14'-9"	Along UNIVERSITY - From 10' E/D Drwy, EAST
(N)	3'-4" to 3'-4"	10'-0"	Along University dr - From 8.5 W/D Drwy, WEST
(N)	3'-4" to 3'-4"	4'-0"	Along University dr - WEST TO N3
(N)	3'-4" to 3'-4"	2'-0"	From end of N2 - SOUTH 2.00' to N4
(N)	3'-4" to 3'-4"	20'-0"	From end of N3 - WEST 20.00' to N5
(N)	3'-4" to 3'-4"	2'-0"	From end of N4 - SOUTH 2.00' to N6
(N)	3'-4" to 3'-4"	20'-0"	From end of N5 - WEST 20.00' to N7
(N)	3'-4" to 3'-4"	2'-0"	From end of N6 - SOUTH 2.00' to N8
(N)	3'-4" to 3'-4"	4'-9"	From end of N4 - WEST 4.80' to the end
(N)	3'-4" to 3'-4"	7'-1"	6'-0" SW/ø& parallel to Curb-L21 - SOUTHEAST 7.08' to NE2
(N)	3'-4" to 3'-4"	7'-0"	From end of SE1 - SOUTH 7.00' to SE3
(N)	3'-4" to 3'-4"	11'-9"	From end of SE2 - SOUTHEAST 11.75' to End
(E)	3'-4" to 3'-4"	9'-7"	6'-0" W/ø& Parallel to Curb- L18 - SOUTH 9.75' to S2
(E)	3'-4" to 3'-4"	2'-0"	From end of S1 - EAST 2.00' to S3
(E)	3'-4" to 3'-4"	20'-11"	From end of S2 - SOUTH 20.92' to S4
(E)	3'-4" to 3'-4"	2'-0"	From end of S3 - WEST 2.00' to S5
(E)	3'-4" to 3'-4"	9'-0"	From end of S4 - SOUTH 9.00' to End.

TOTAL = 148'-9" LF

## KEY NOTES

- Existing Property Line.
- Existing 5' High Block Property Wall to be raised to 6'.
- Existing 14' Wide Driveway.
- Existing 30' Wide Driveway, to be Removed.
- Existing 35' Wide Driveway, to be Removed.
- Existing 26' Wide Driveway, to be Removed & Replaced.
- Existing Utility Pole, to Remain in Place.
- Existing Trash Enclosure, to Remain in Place as is.
- Existing Concrete Vertical Curb & Gutter.
- Existing 5' Wide Concrete Sidewalk.
- Existing Street Light & Pole, to Remain in Place.
- Existing Site's Water Meter, to Remain in Place.
- Existing Overhead Property Sign, to Remain in Place.
- Existing Concrete Irrigation Box, to Remain in Place.
- Existing Traffic Signal Pole, to Remain in Place.
- Existing Traffic Signal Box, to Remain in Place.
- Existing PED Traffic Signal Button, to be Relocated per COM's Direction.
- Existing Site/Parking Light & Pole, to Remain in Place.
- Existing Concrete Walkway, to be Removed & Replaced.
- Existing 6" Vertical Concrete Curb, to Remain in Place.
- Existing 6" Vertical Concrete Curb Section, to be Removed..
- Existing Electrical Panel & Meter, to Remain in Place.
- Existing 2' Wide Street Section Removal & Replacement Sawcut/Area, per C.O.M. Std Dtl M-19.01.
- New 6" Vertical Curb & Gutter Section, per M.A.G. Std. Dtl. 220-1, Type "A".
- New 6" Concrete Single Curb, per M.A.G. Std. Dtl. 222, Type "A".
- New 2' Wide Curb Opening, per Curb Opening Detail on Sht-CX.
- New 3' Wide Rip-Rap Spillway, per Spillwat Detail on Sht-CX.
- New 5' Wide Sidewalk Section, per M.A.G. Std. Dtl. 230.
- New 5' Wide Walkway Section, per M.A.G. Std. Dtl. 230.
- New 25'-0" Wide Driveway Entrance/Exit, per C.O.M. Std. Dtl. M-40.01.
- New 6" Dia. Steel Guard Bollard, per M.A.G. Std. Dtl. 140, Type 2-Removable.
- New Accessible Parking Stripping, per Accessible Parking Detail on Sht-C6
- New 6" Dia. PVC Drainage Equalizer Pipe.
- New Retention Basin.
- New Asphalt Pavement Driveway, @ 3" Thick/8" A.B.C.
- New 8" Thick Concrete Section.
- New EXIT Driveway Sight Visibility Triangle.
- New Pavement Section, to match Existing & Proposed Grades.
- NEW 40" HIGH CMU BREEZE BLOCK SCREEN WALL., see Screen Wall Schedule.
- Install New ADA Ramp Per MAD STD DET 238-1
- New Bike Rack.
- Existing wall reduced to 3.5 ft within 15 ft of street property line to comply with MZO Section 11-30-9(F)(2)(d).
- EXISTING CANOPY
- INTERNAL PEDESTRIAN CROSSWALKS TO BE RAISED A MINIMUM OF 3 INCHES ABOVE THE VEHICULAR PAVEMENT AND TO BE CONSTRUCTED OF PAVERS, COLORED CONCRETE, OR STAMPED CONCRETE PER CITY REQUIREMENTS (TYP.).
- ALLEY TO BE SURFACED WITH A MINIMUM OF 4" AGGREGATE BASE COURSE (A.B.C.) PER MAG STANDARD DETAIL 202.
- 40" HIGH METAL SCREEN WALL



LINE	DISTANCE	REMARKS
L0	7'-0"	PARALLEL TO P.L.
L1	11'-7"	90° TO P.L.
L2	20'-2"	60° TO P.L.
L3	22'-0"	PARALLEL TO P.L.
L4	21'-0"	60° TO P.L.
L5	6'-0"	PARALLEL TO P.L.
L6	18'-10"	60° TO P.L.
L7	11'-3"	PARALLEL TO P.L.
L8	47'-0"	PARALLEL TO P.L.
L9	54'-3"	PARALLEL TO WALL
L10	24'-3"	19° TO WALL
L11	12'-3"	PARALLEL TO WALL
L12	11'-9"	PERPEND. TO BLDG
L13	14'-6"	BACK OF BLDG
L14	23'-8"	19° TO BLDG
L15	54'-5"	PARALLEL TO BLDG
L16	46'-0"	PARALLEL TO BLDG
L17	39'-2"	PARALLEL TO BLDG
L18	38'-6"	PARALLEL TO P.L.
L19	16'-0"	90° TO P.L.
L20	18'-0"	45° TO P.L.
L21	4'-6"	45° TO P.L.
L22	14'-0"	45° TO P.L.
L23	NOT USED	NOT USED
L24	NOT USED	NOT USED
L25	NOT USED	NOT USED
L26	NOT USED	NOT USED
L27	37'-10"	PARALLEL TO P.L.
L28	13'-7"	90° TO P.L.
TOTAL	588 L.F.	

CURVE	RADIUS	ARC LENGTH
C1	5'-0"	5'-2"
C2	16'-9"	26'-9"
C3	3'-0"	4'-8"
C4	5'-0"	5'-2"
C5	5'-0"	3'-7"
C6	5'-0"	3'-8"
C7	5'-0"	7'-0"
TOTAL		56'-3" L.F.

**1609 - PROPOSED SITE PLAN**  
SCALE: 1" = 10'-0"

PROJECT MANAGER: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVIEW: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DESIGN BY: R.M.S.  
DRAWN BY: N.S.Q.  
CHECKED BY: R.M.S.  
DATE: \_\_\_\_\_

**AIF ENGINEERING L.L.C.**  
Engineering, Surveying & Construction Administration  
8011 S. Avenida del Yacui  
Guadalupe, AZ 85283, Tel: 954-2161 Fax: (602) 773-1833

**PAVING & DRAINAGE PLANS**  
**TRES HERMANOS LLC'S**  
**"SAN ANTONIO TIRE SHOP"**  
1609 W. UNIVERSITY DRIVE, MESA, AZ

SCALE: NOTED  
SECTION: 30  
TWSHP: 1N  
RANGE: 2E  
JOB NO.: \_\_\_\_\_  
SHEET OF C7

# PAVING + DRAINAGE PLAN

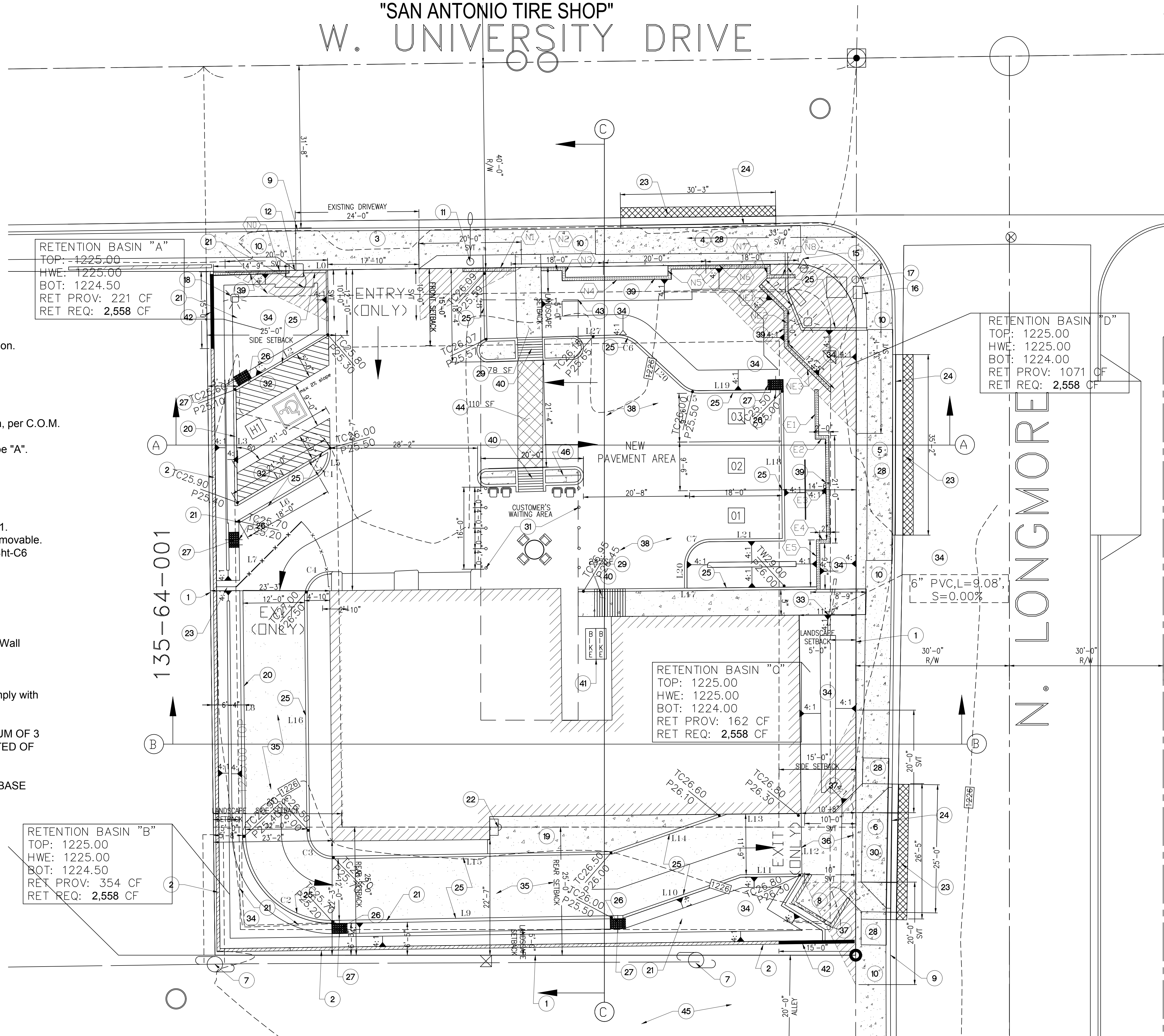
FOR THE PROPERTY OF  
1609 W. UNIVERSITY DRIVE, MESA, AZ. 85201

## "SAN ANTONIO TIRE SHOP"

### W. UNIVERSITY DRIVE

#### KEY NOTES

1. Existing Property Line.
2. Existing 5' High Block Property Wall to be raised to 6'.
3. Existing 14' Wide Driveway.
4. Existing 30' Wide Driveway, to be Removed.
5. Existing 35' Wide Driveway, to be Removed.
6. Existing 26' Wide Driveway, to be Removed & Replaced.
7. Existing Utility Pole, to Remain in Place.
8. Existing Trash Enclosure, to Remain in Place as is.
9. Existing Concrete Vertical Curb & Gutter.
10. Existing 5' Wide Concrete Sidewalk.
11. Existing Street Light & Pole, to Remain in Place.
12. Existing Site's Water Meter, to Remain in Place.
13. Existing Overhead Property Sign, to Remain in Place.
14. Existing Concrete Irrigation Box, to Remain in Place.
15. Existing Traffic Signal Pole, to Remain in Place.
16. Existing Traffic Signal Box, to Remain in Place.
17. Existing PED Traffic Signal Button, to be Relocated per COM's Direction.
18. Existing Site/Parking Light & Pole, to Remain in Place.
19. Existing Concrete Walkway, to be Removed & Replaced.
20. Existing 6" Vertical Concrete Curb, to Remain in Place.
21. Existing 6" Vertical Concrete Curb Section, to be Removed..
22. Existing Electrical Panel & Meter, to Remain in Place.
23. Existing 2' Wide Street Section Removal & Replacement Sawcut/Area, per C.O.M. Std Dtl M-19.01.
24. New 6" Vertical Curb & Gutter Section, per M.A.G. Std. Dtl. 220-1, Type "A".
25. New 6" Concrete Single Curb, per M.A.G. Std. Dtl. 222, Type "A".
26. New 2' Wide Curb Opening, per Curb Opening Detail on Sht-CX.
27. New 3' Wide Rip-Rap Spillway, per Spillwat Detail on Sht-CX.
28. New 5' Wide Sidewalk Section, per M.A.G. Std. Dtl. 230.
29. New 5' Wide Walkway Section, per M.A.G. Std. Dtl. 230.
30. New 25'-0" Wide Driveway Entrance/Exit, per C.O.M. Std. Dtl. M-40.01.
31. New 6" Dia. Steel Guard Bollard, per M.A.G. Std. Dtl. 140, Type 2-Removable.
32. New Accessible Parking Stripping, per Accessible Parking Detail on Sht-C6
33. New 6" Dia. PVC Drainage Equalizer Pipe.
34. New Retention Basin.
35. New Asphalt Pavement Driveway, @ 3" Thick/8" A.B.C.
36. New 8" Thick Concrete Section.
37. New EXIT Driveway Sight Visibility Triangle.
38. New Pavement Section, to match Existing & Proposed Grades.
39. NEW 40" HIGH CMU BREEZE BLOCK SCREEN WALL. see Screen Wall Schedule.
40. Install New ADA Ramp Per MAD STD DET 238-1
41. New Bike Rack.
42. Existing wall reduced to 3.5 ft within 15 ft of street property line to comply with MZO Section 11-30-9(F)(2)(d).
43. EXISTING CANOPY
44. INTERNAL PEDESTRIAN CROSSWALKS TO BE RAISED A MINIMUM OF 3 INCHES ABOVE THE VEHICULAR PAVEMENT AND TO BE CONSTRUCTED OF PAVERS, COLORED CONCRETE, OR STAMPED CONCRETE PER CITY REQUIREMENTS (TYP.).
45. ALLEY TO BE SURFACED WITH A MINIMUM OF 4" AGGREGATE BASE COURSE (A.B.C.) PER MAG STANDARD DETAIL 202.
46. 40" HIGH METAL SCREEN WALL



**1609 - PROPOSED G&D PLAN**

SCALE: 1" = 10'-0"

PROJECT MANAGER:	BY
DESIGN BY: R.M.S.	DATE
DRAWN BY: N.S.Q	REVIEW
CHECKED BY: R.M.S.	
DATE:	

**AIF ENGINEERING L.L.C.**  
Engineering, Surveying & Construction Administration  
8011 S. Avenida del Yacui, Yacui  
Guadalupe, AZ 85283, Tel: 954-2161 Fax: (602) 773-1833

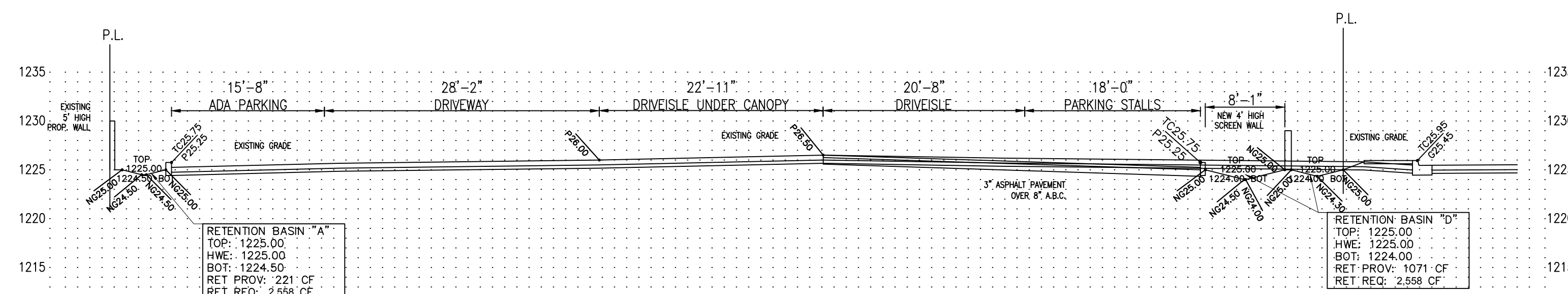
EXPIRES 09/30/26

**PAVING & DRAINAGE PLANS**  
**TRES HERMANOS LLC'S**  
**"SAN ANTONIO TIRE SHOP"**  
1609 W. UNIVERSITY DRIVE, MESA, AZ

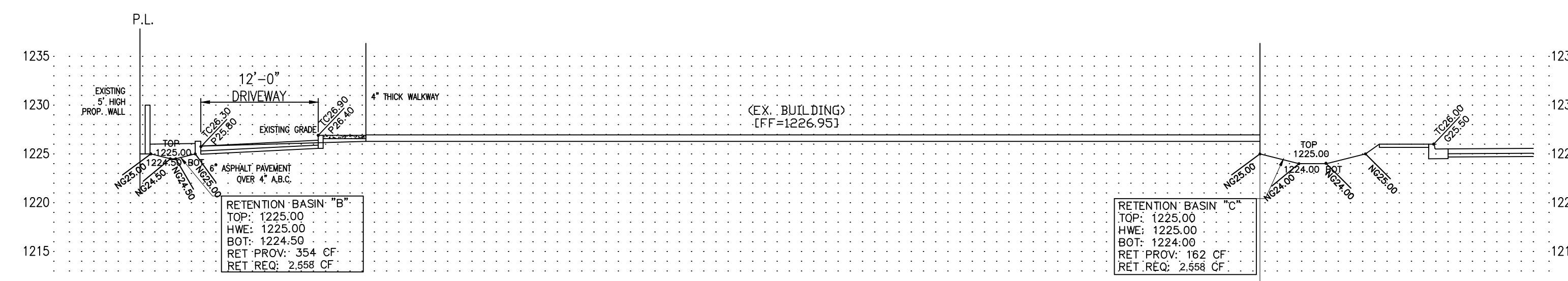
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SECTION: 30  
TNSHP: 1N  
RANGE: 2E  
JOB NO.:  
SHEET OF C7

# SECTIONS

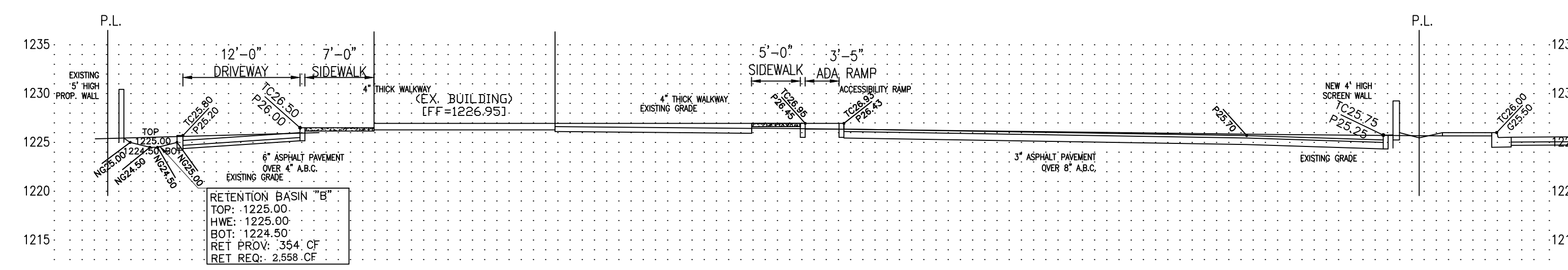
FOR THE PROPERTY OF  
1609 W. UNIVERSITY DRIVE, MESA, AZ. 85201  
"SAN ANTONIO TIRE SHOP"



**1609 - SITE G&D SECTION - AA**  
SCALE: 1" = 10'-0"



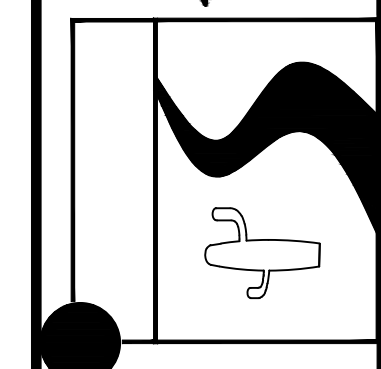
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SCALE: 1" = 10'-0"



**1609 - SITE G&D SECTION - CC**  
SCALE: 1" = 10'-0"

PROJECT MANAGER:	REVIEW	BY
DESIGN BY: R.M.S.	DATE	
DRAWN BY: N.S.Q.	CHECKED BY: R.M.S.	
	DATE	

**AIF ENGINEERING L.L.C.**  
Engineering, Surveying & Construction Administration  
8011 S. AVERA CIRCLE, Suite 100  
GAINESVILLE, FL 32609  
Tel: 352-389-1111 Fax: 352-389-1112



EXPIRES 09/30/26

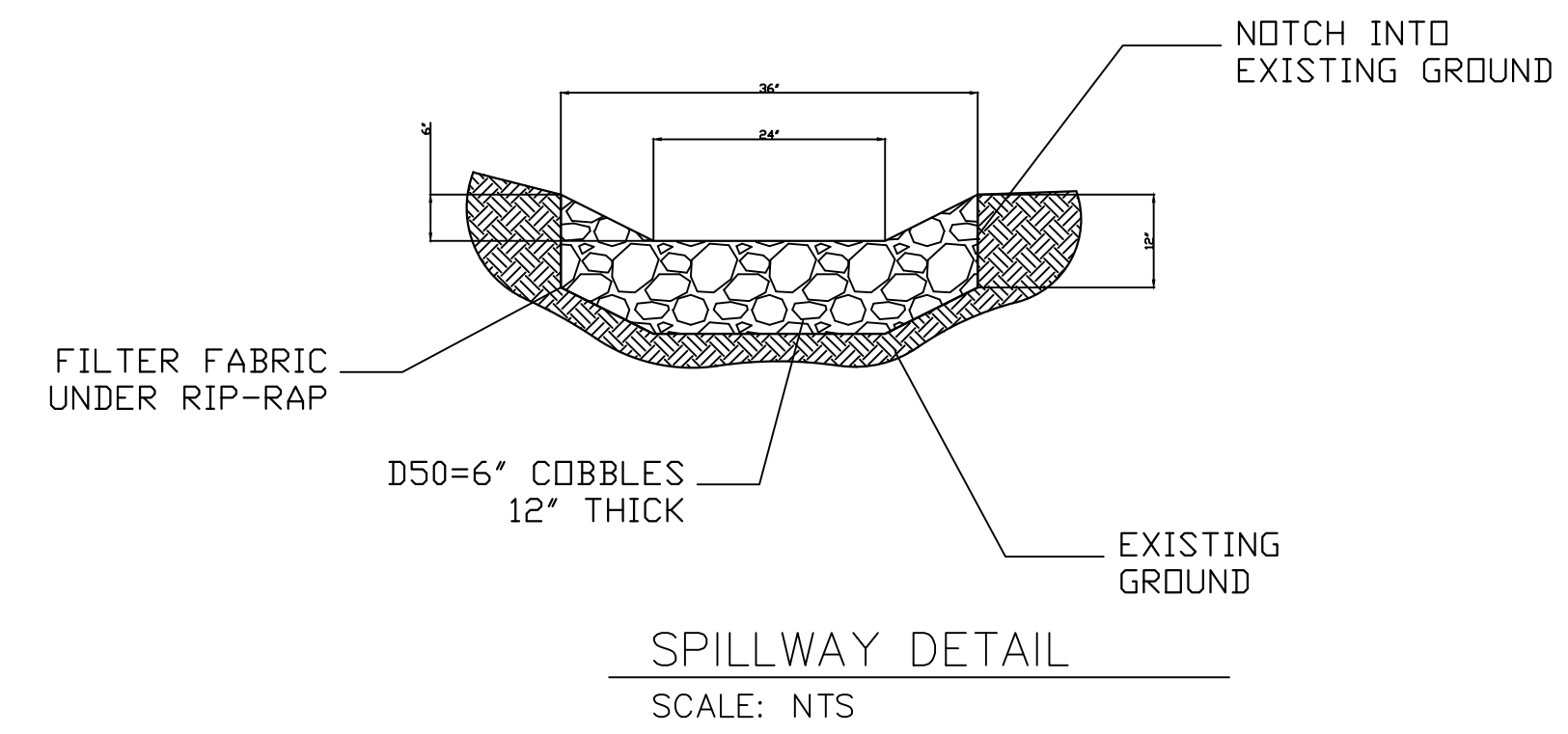
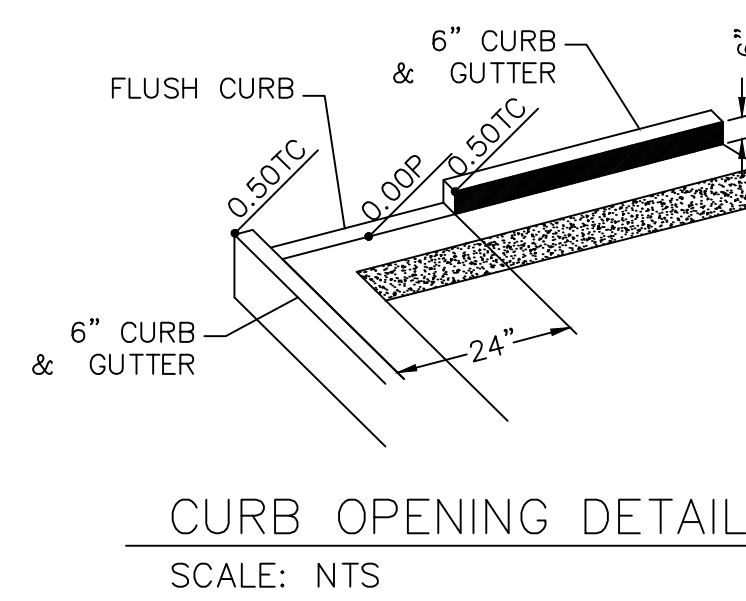
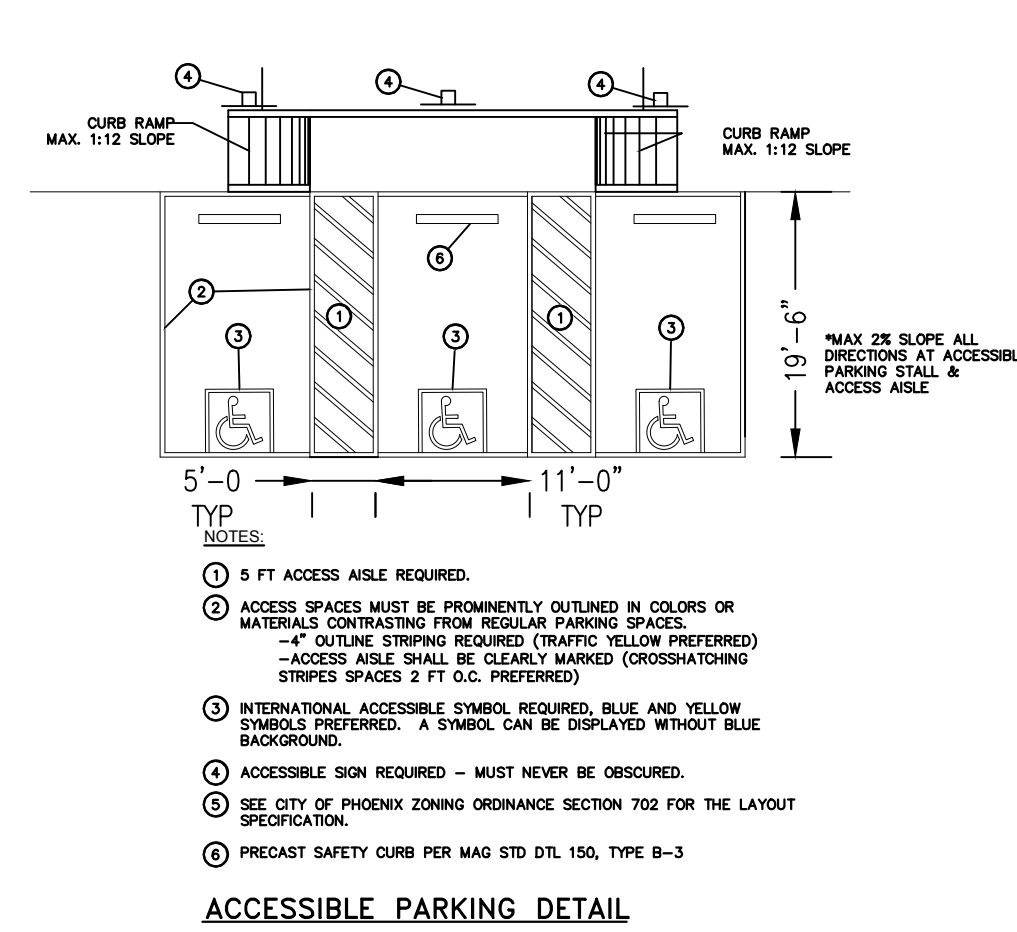
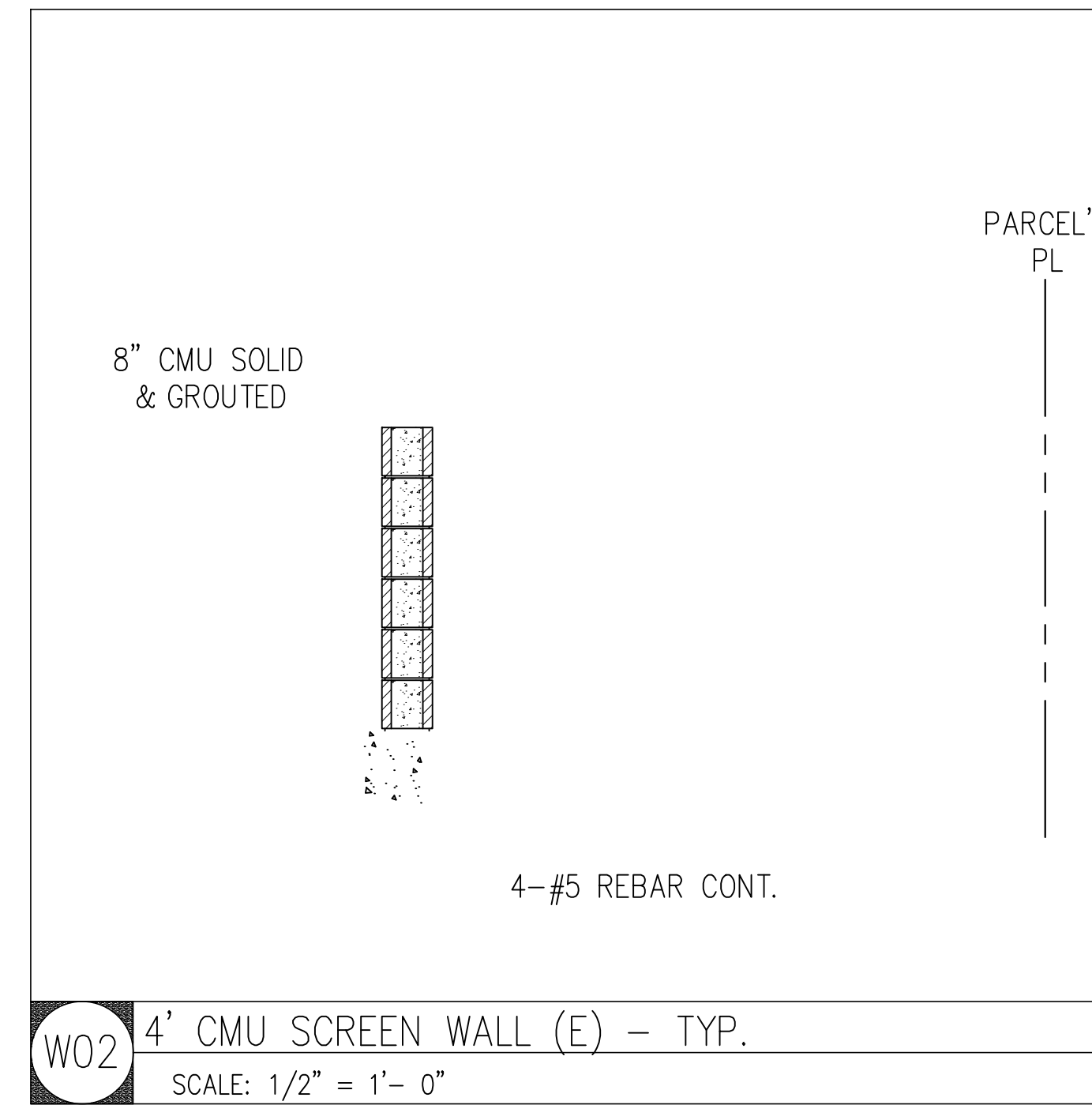
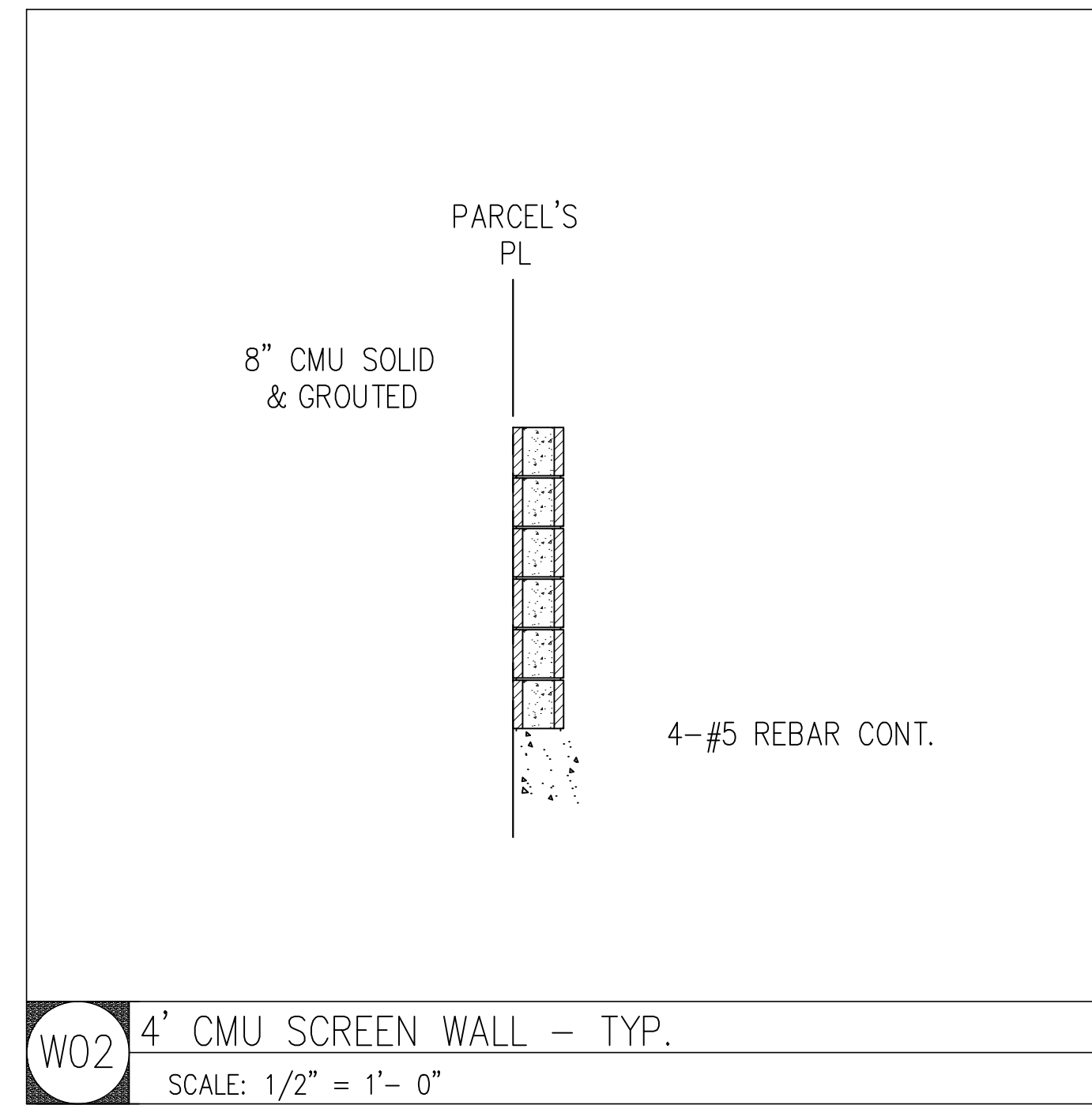
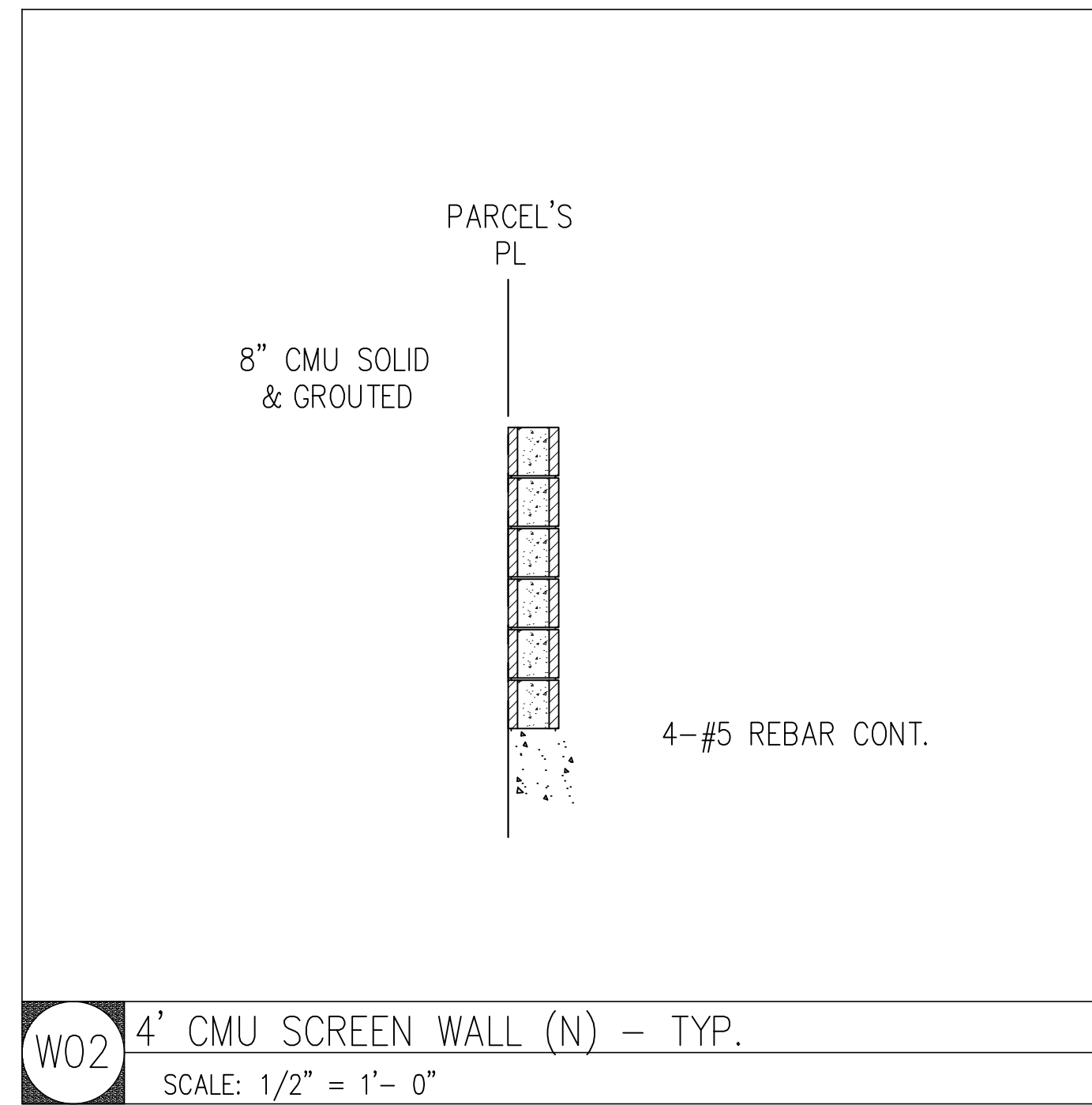
**PAVING & DRAINAGE PLANS**  
**TRES HERMANOS LLC'S**  
**"SAN ANTONIO TIRE SHOP"**  
1609 W. UNIVERSITY DRIVE, MESA, AZ

SCALE: NOTED  
SECTION: 30  
TOWNSHIP: 1N  
RANGE: 2E  
JOB NO.:  
SHEET OF 07  
C5 OF 07



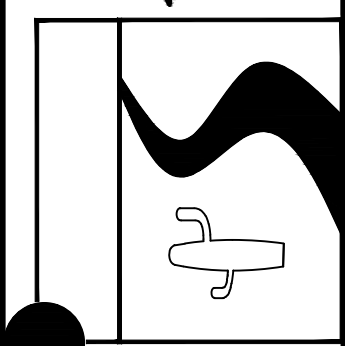
# DETAILS

FOR THE PROPERTY OF  
1609 W. UNIVERSITY DRIVE, MESA, AZ. 85201  
"SAN ANTONIO TIRE SHOP"



PROJECT MANAGER:	DATE:
DESIGN BY: R.M.S.	DATE:
DRAWN BY: N.S.Q	DATE:
CHECKED BY: R.M.S.	DATE:
REVIEW:	DATE:
BY:	DATE:

**AIF ENGINEERING L.L.C.**  
Engineering, Surveying & Construction Administration  
8011 S. AVENUE 661, Y.O.C.U.J  
GANDLAP, AZ 85283, Tel: 954-2161 Fax: (602) 779-1833



EXPIRES 09/30/26

**PAVING & DRAINAGE PLANS**  
**TRES HERMANOS LLC'S**  
**"SAN ANTONIO TIRE SHOP"**  
1609 W. UNIVERSITY DRIVE, MESA, AZ

SCALE: NOTED  
SECTION: 30  
TWNHP: 1N  
RANGE: 2E  
JOB NO.:  
SHEET OF C7

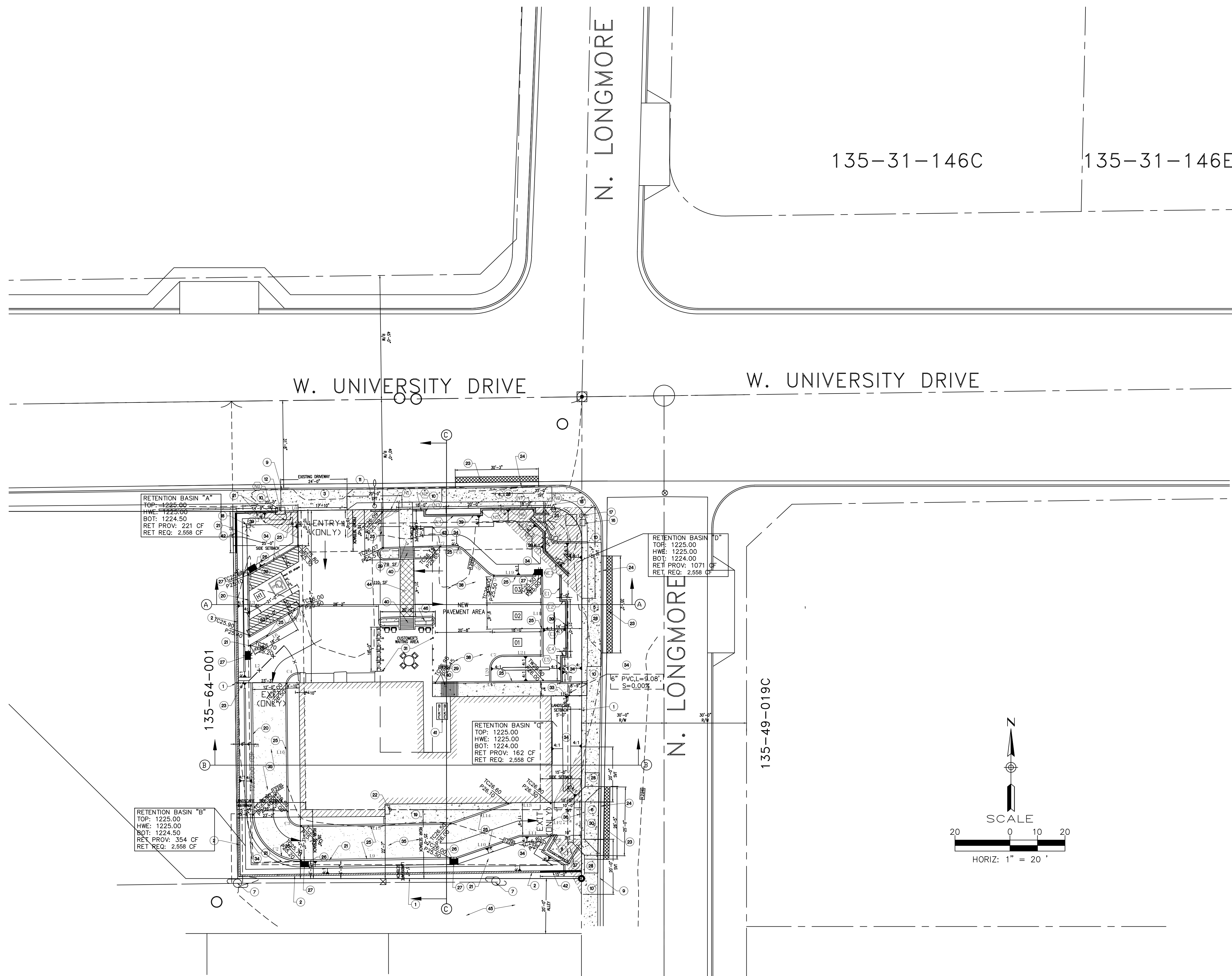


# ACCESS AND CONTEXT PLAN

FOR THE PROPERTY OF  
1609 W. UNIVERSITY DRIVE, MESA, AZ. 85201  
"SAN ANTONIO TIRE SHOP"

## KEY NOTES

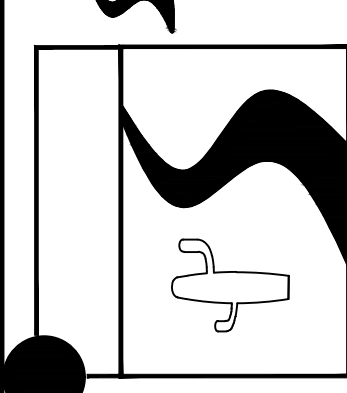
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2. Existing 5' High Block Property Wall to be raised to 6'.
3. Existing 14' Wide Driveway.
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5. Existing 35' Wide Driveway, to be Removed.
6. Existing 26' Wide Driveway, to be Removed & Replaced.
7. Existing Utility Pole, to Remain in Place.
8. Existing Trash Enclosure, to Remain in Place as is.
9. Existing Concrete Vertical Curb & Gutter.
10. Existing 5' Wide Concrete Sidewalk.
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37. New EXIT Driveway Sight Visibility Triangle.
38. New Pavement Section, to match Existing & Proposed Grades.
39. NEW 40" HIGH CMU BREEZE BLOCK SCREEN WALL. see Screen Wall Schedule.
40. Install New ADA Ramp Per MAD STD DET 238-1
41. New Bike Rack.
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45. ALLEY TO BE SURFACED WITH A MINIMUM OF 4" AGGREGATE BASE COURSE (A.B.C.) PER MAG STANDARD DETAIL 202.
46. 40" HIGH METAL SCREEN WALL



**1609 - PROPOSED SITE PLAN**  
SCALE: 1" = 20'-0"

PROJECT MANAGER:	BY:
DATE:	REVIEW:
DESIGN BY: R.M.S.	DRAWN BY: N.S.Q.
CHECKED BY: R.M.S.	DATE:

**AIF ENGINEERING L.L.C.**  
Engineering, Surveying & Construction Administration  
8011 S. Avenida del Este, Yuma, AZ 85365  
Guadalupe, AZ 85335, Tel: 954-2161 Fax: (602) 773-1833



EXPIRES 09/30/26

**PAVING & DRAINAGE PLANS**  
**TRES HERMANOS LLC'S**  
**"SAN ANTONIO TIRE SHOP"**  
1609 W. UNIVERSITY DRIVE, MESA, AZ

SCALE: NOTED
SECTION: 30
TWNHP: 1N
RANGE: 2E
JOB NO.:
SHEET OF 17

