



**Purpose:** The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools, and businesses in the vicinity of the site of an application for the Signal Butte project. The site is located near the southeast corner of Pecos Road and Mountain Road and is approximately two gross acres. This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

**Contact:**

Steven Rice  
Pinnacle Design, Inc.  
1048 N. 44<sup>th</sup> Street #200  
Phoenix, AZ 85008  
602.952.8585  
[srice@pdi-az.com](mailto:srice@pdi-az.com)

**Action Plan:** Planning Staff has indicated a Citizen Participation Plan should be completed. There are no nearby residents within 1,000 feet of the parcel since it is in an industrial area. However, we have sent out notifications to all property owners and interested parties within 1,000 feet of the site. A copy of the neighborhood letter is attached.

Please note that there will not be an in-person meeting since we have no residents within 1,000 feet of the site and Staff therefore do not require it per the requirements of the Citizen Participation Process. However, our letter to the property owners and interested parties urges to offer any feedback or concerns. All received comments will be documented and shared with Staff in our Citizen Participation Report 15 days prior to the public hearing and uploaded to the record for the case.

**Schedule:**

Pre-Submittal Conference: January 2<sup>nd</sup>, 2025  
Application Submittal: March 17<sup>th</sup>, 2025  
Submittal of Citizen Participation Report and Notification materials: May 1<sup>st</sup>, 2025 (estimate)  
Design Review Board Hearing: June 10<sup>th</sup>, 2025  
Planning and Zoning Board Hearing: June 25<sup>th</sup>, 2025

Sincerely,

Applicant: Steven Rice  
Phone: 602.952.8585





April 23, 2025

RE: Proposed Business Park Development at 7423 S. Signal Butte Road

To Whom It May Concern

We have applied for a Major Site Plan Modification and Design Review for the property located at 7423 S. Signal Butte Road (APN: 304-63-996B). This request is for the development of a business commerce park. The case number assigned to this project is ZON25-00221.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 602-330-5114 or e-mail me at [Katie@cavancommercial.com](mailto:Katie@cavancommercial.com).

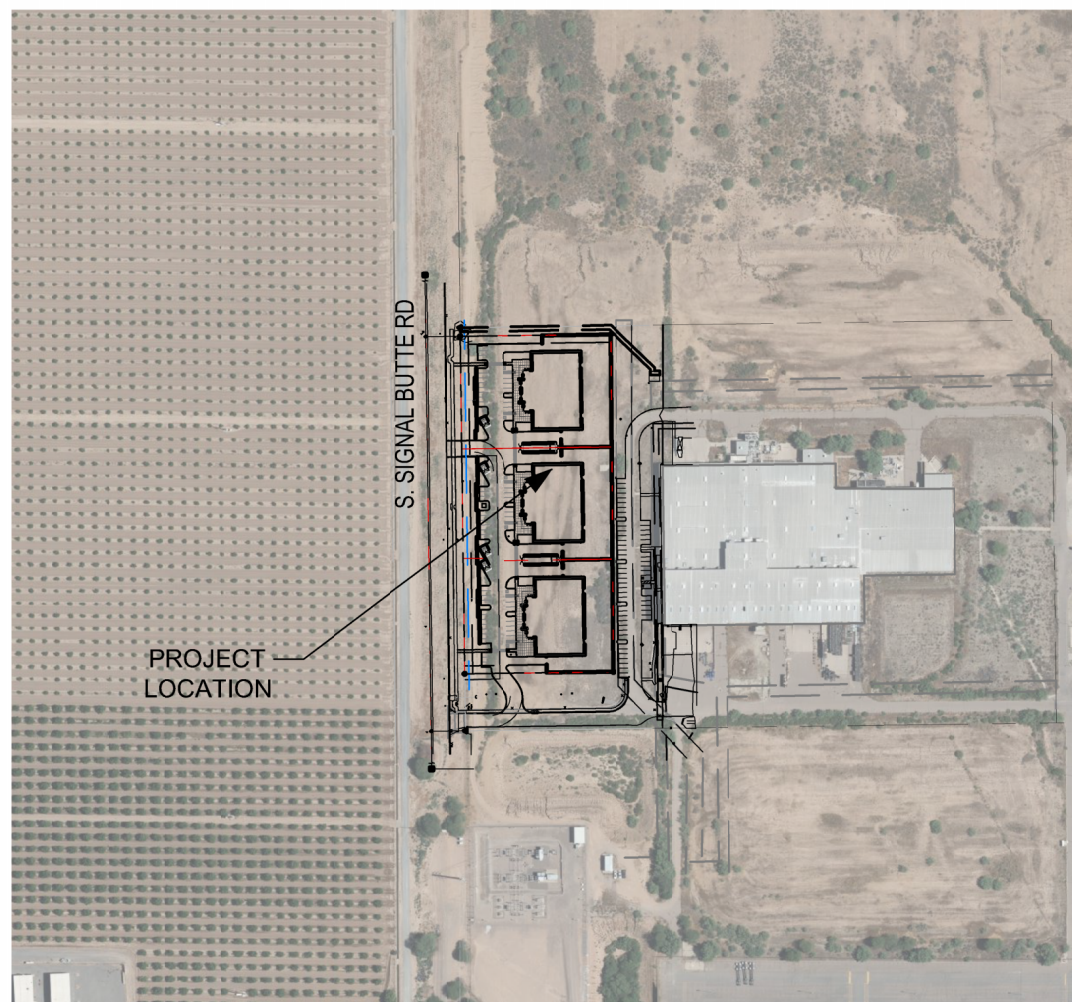
The City of Mesa has assigned this case to Chloe Durfee Daniel of their Planning Division staff. She can be reached at 480-644-6714 or [Chloe.DurfeeDaniel@mesaaz.gov](mailto:Chloe.DurfeeDaniel@mesaaz.gov) should you have any questions regarding the review process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Katie Rounds  
Cavan Commercial

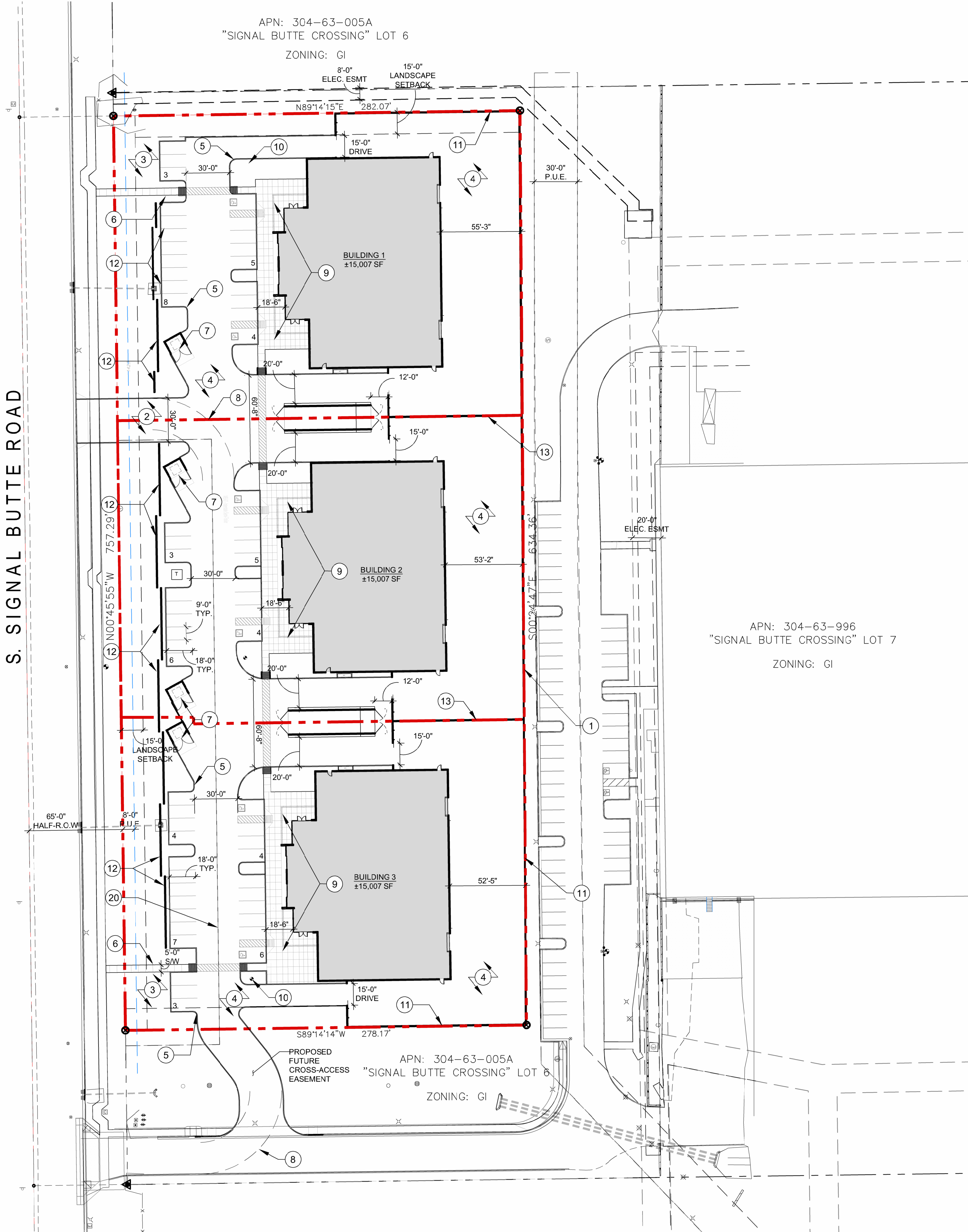
Enclosed: Site Plan  
Building Elevations





APN: 304-63-016A  
ZONING: GI

S. SIGNAL BUTTE ROAD



APN: 304-63-996  
"SIGNAL BUTTE CROSSING" LOT 7  
ZONING: GI

PROJECT INFORMATION	
CLIENT:	CAVAN COMMERCIAL 16032 NORTH SCOTTSDALE ROAD, SUITE 200 SCOTTSDALE, AZ 85254 CONTACT: AGNES FICKERA EMAIL: agnes@cavancommercial.com
ARCHITECT:	PINNACLE DESIGN, INC 1048 N 44TH STREET - SUITE #200 PHOENIX, AZ 85008 CONTACT: COLE BRUNO EMAIL: cbruno@pdi-az.com
PROJECT ADDRESS:	11202 E. GERMANN RD MESA, AZ 85212
GENERAL LOCATION:	NEC S. SIGNAL BUTTE RD & E. GERMANN RD MESA, AZ
SITE AREA:	NET: ±4.08 AC. (±177,692 SF) GROSS: ±5.03 AC. (±218,927 SF)
EXISTING ZONING:	GI
EXISTING USE:	VACANT
PROPOSED USE:	WAREHOUSE/OFFICE
LOT COVERAGE:	±25.3% (±45,000 SF)
LANDSCAPE AREA:	
PROPOSED BUILDING SF:	±45,000 SF
PROPOSED BUILDING USE:	OFFICE/WAREHOUSE
PROPOSED BUILDING HEIGHT:	±30'-0"
OFFICE SF:	±6,900 SF @ 1/375
WAREHOUSE SF:	±38,100 SF @ 1/900
PARKING REQ:	76 SPACES INCLUDES (6) ADA SPACES
PARKING PROVIDED:	

DEVELOPMENT STANDARDS	REQUIRED	PROPOSED
MIN. SITE AREA:	1 AC.	± 4.08 AC.
MIN. LOT WIDTH:	100 FT.	± 634 FT.
MIN. LOT DEPTH:	100 FT.	± 217 FT.
MAX. LOT COVERAGE:	90%	± 25.3%
MAX. BUILDING HEIGHT:	50 FT.	± 30 FT.

BUILDING SETBACKS	REQUIRED	PROPOSED
MIN. FRONT (ARTERIAL):	15 FT.	± 100 FT.
INTERIOR SIDE (INDUSTRIAL):	0 FT.	± 30 FT.
INTERIOR REAR (INDUSTRIAL):	0 FT.	± 30 FT.

**LEGAL DESCRIPTION**

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 1, FROM WHICH AN ALUMINUM CAP MARKING THE WEST QUARTER OF SAID SECTION 1 BERS NORTH 00°45'55" WEST, A DISTANCE OF 2627.27 FEET;

THENCE ALONG WEST LINE OF SAIDSOUTHWEST QUARTER NORTH 00°45'55" WEST, A DISTANCE OF 703.77 FEET;

THENCE DEPARTING SAID WEST LINE NORTH 89°14'05" EAST, A DISTANCE OF 65.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF SOUTH SIGNAL BUTTE ROAD;

THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH OF 00°45'55" WEST A DISTANCE OF 106.93 FEET TO THE POINT OF BEGINNING;

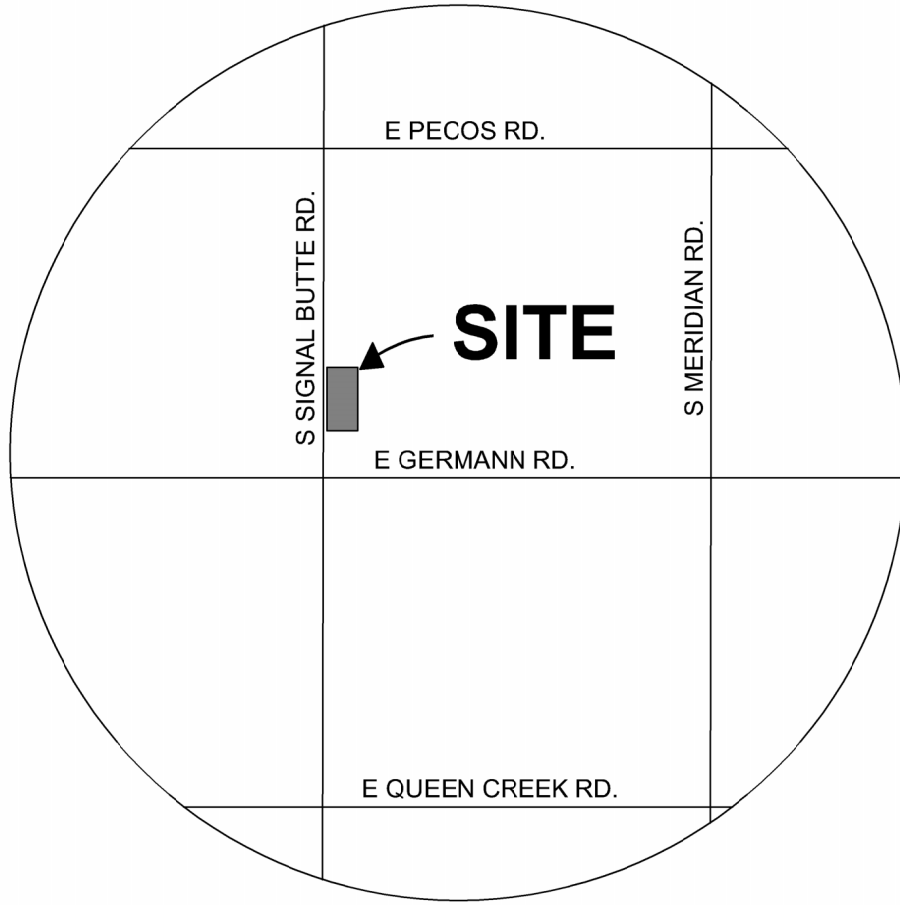
THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE NORTH OF 00°45'55" WEST, A DISTANCE OF 634.35 FEET;

THENCE DEPARTING SAID EAST RIGHT OF WAY LINE NORTH 89°14'15" EAST, A DISTANCE OF 282.07 FEET;

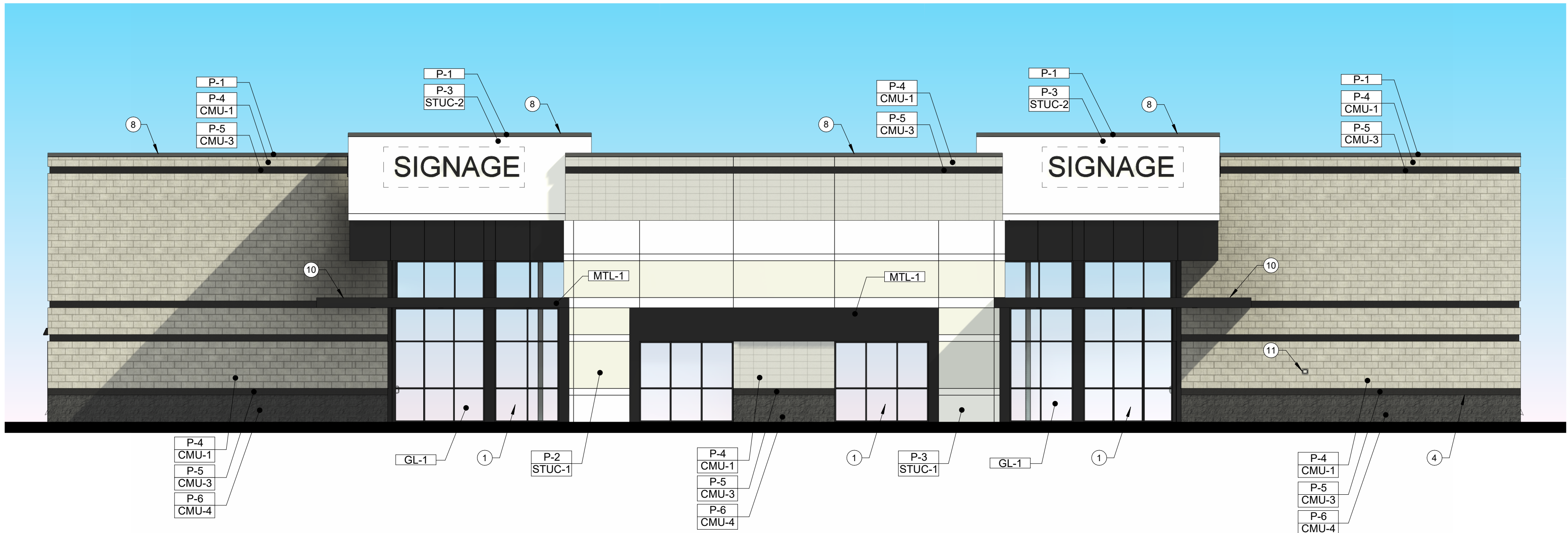
THENCE SOUTH 00°24'47" EAST, A DISTANCE OF 634.36 FEET;

THENCE SOUTH 89°14'14" WEST, A DISTANCE OF 278.17 FEET TO THE POINT OF BEGINNING

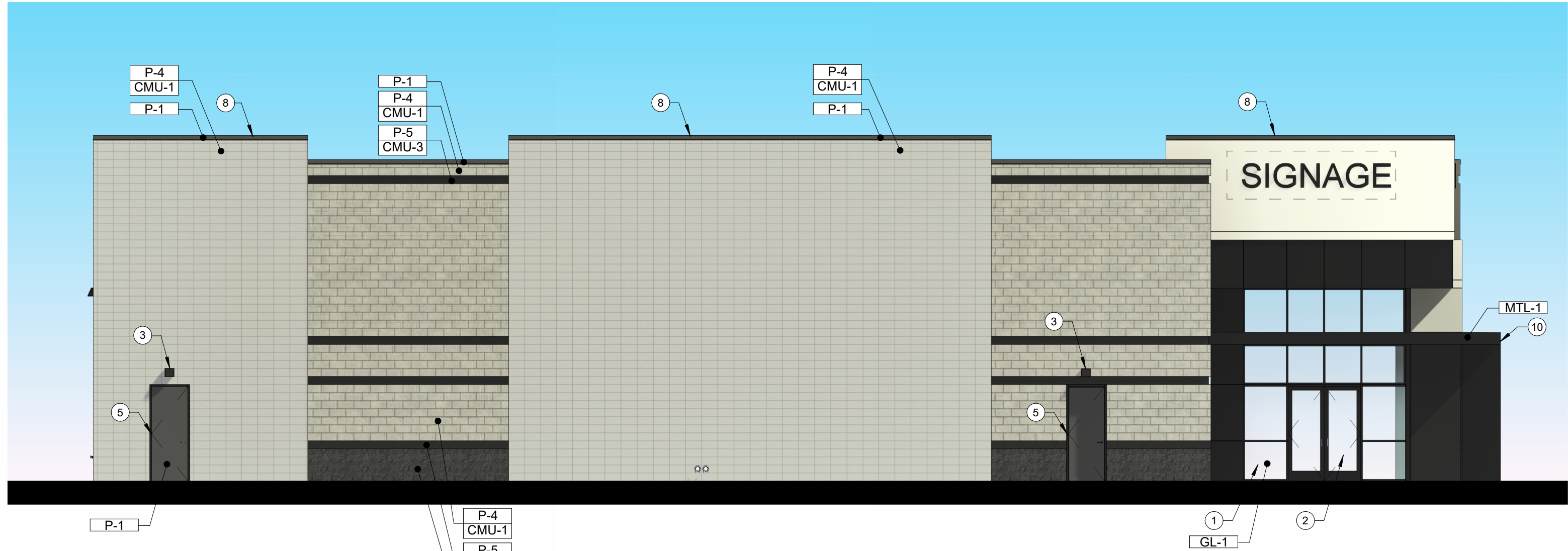
- SITE KEYNOTES**
1. PROPERTY LINE
  2. PROPOSED CURB CUT / ENTRY DRIVE
  3. LANDSCAPE AREA
  4. ASPHALT PAVEMENT
  5. 6" CONCRETE CURB
  6. 5' WIDE CONCRETE SIDEWALK
  7. REFUSE ENCLOSURE PER MESA STANDARD DETAIL M-62.2
  8. 35'-0" & 55'-0" TURNING RADII
  9. 20'-0" X 20'-0" 900 SF ENTRY PLAZA PER M2.0 SECTION 11-35-5.A.1.A.11
  10. FIRE HYDRANT
  11. 8'-0" HIGH CMU SITE WALL
  12. 3'-0" HIGH CMU PARKING SCREEN WALL
  13. 6'-6" HIGH CMU INTERNAL SITE WALL
  14. SERVICE ENTRY SECTION
  15. DEPRESSED TRUCK DOCK
  17. 11'-0" X 18'-0" ACCESSIBLE PARKING SPACE WITH 5'-0" ACCESS AISLE
  18. YARD ENTRY GATE
  19. TRANSFORMER
  20. EXISTING TEMPORARY DRAINAGE EASEMENT TO BE REMOVED.



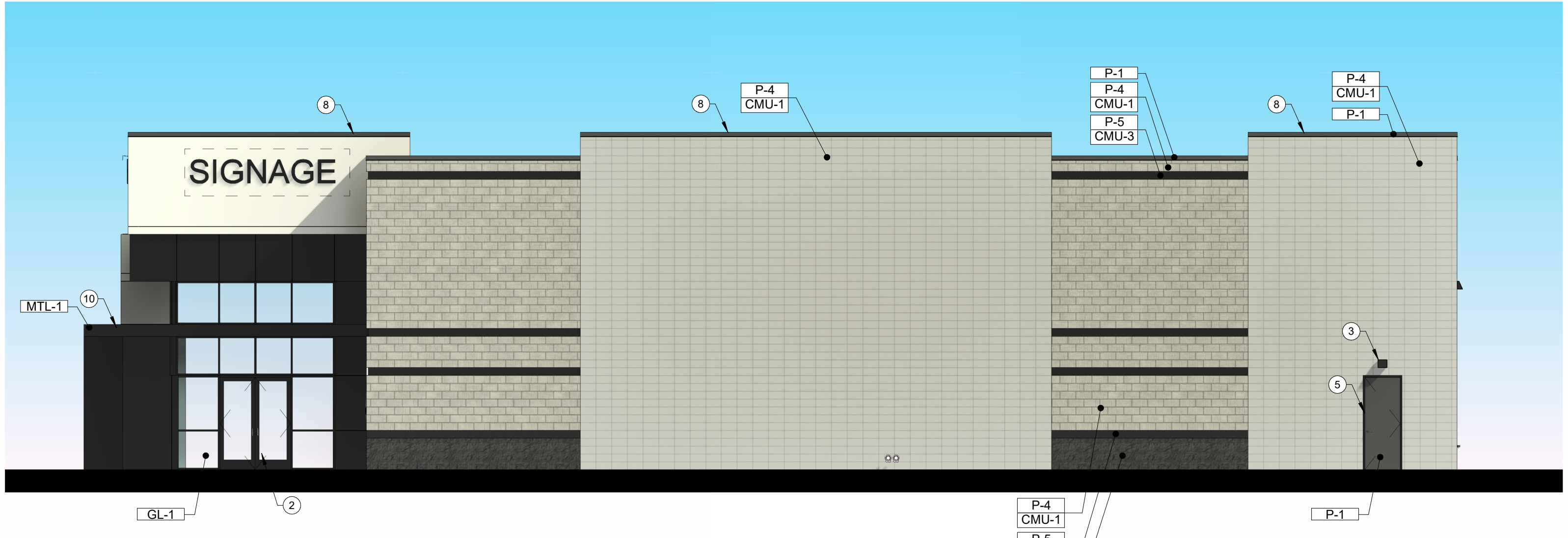




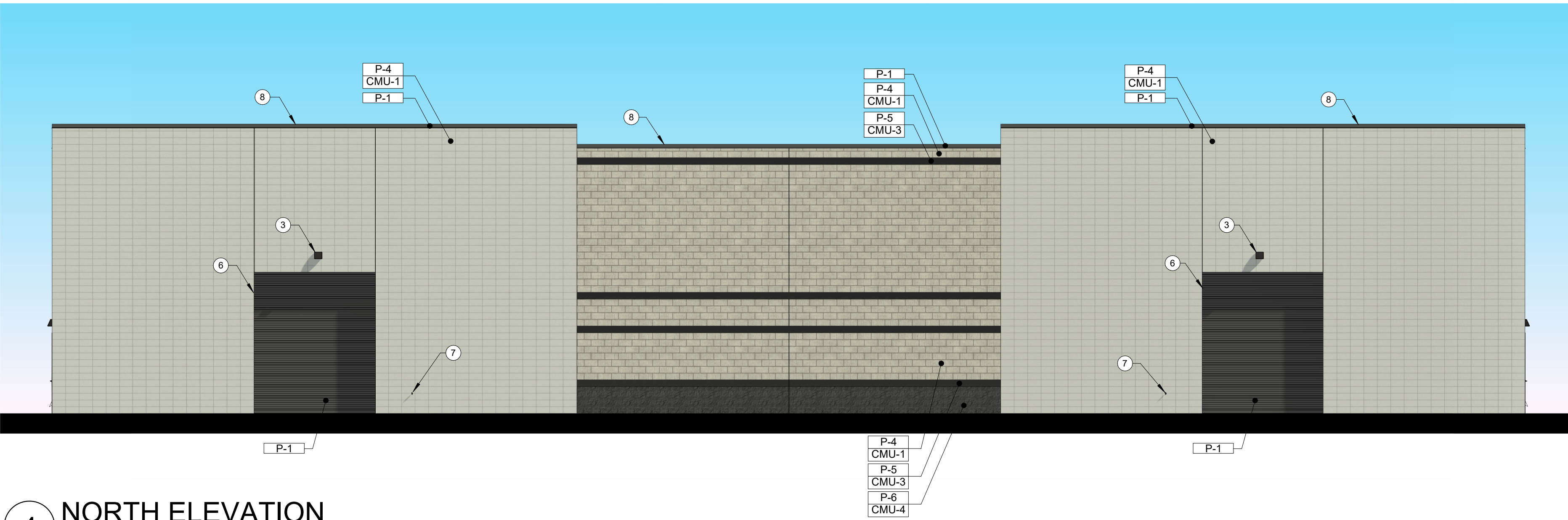
1 SOUTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



3 WEST ELEVATION  
1/8" = 1'-0"



4 NORTH ELEVATION  
1/8" = 1'-0"

#### GENERAL ELEVATION NOTES

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW.
- ALL WINDOW GLAZING WITHIN 18" OF FLOORS OR ADJACENT DOORS ARE TO BE TEMPERED
- ALL EXTERIOR ELECTRICAL OR MECHANICAL PANELS OR BOXES SHALL BE COLOR PAINTED TO MATCH ADJACENT BUILDING SURFACES

#### DR EXTERIOR ELEVATION KEYNOTES

- ALUMINUM FRAME WINDOW SYSTEM WITH 1" INSULATED OFFSET GLAZING
- DOUBLE 3'-0"x8'-0" STOREFRONT DOORS
- LED WALL PACK
- FIRE RISER / FIRE DEPARTMENT CONNECTION
- 3'-0"x8'-0" HOLLOW METAL DOOR
- 12'-0"x14'-0" OVERHEAD COILING DOOR
- HOSE BIB
- PAINTED METAL COPING
- DASHED LINE INDICATES LINE OF ROOF BEYOND
- ENTRY CANOPY
- KNOX BOX AT 5'-0" A.F.F.

#### EXTERIOR FINISHES & MATERIALS SCHEDULE

PAINT	
P-1	BEHR "BLACK"
P-2	BEHR #134-2 "CHIC GRAY"
P-3	BEHR #100-4 "POLAR BEAR"
P-4	BEHR #134-3 "GREIGE"
P-5	BEHR #133-7 "INTELLECTUAL"
P-6	BEHR #114-6 "ANCESTRAL"
MASONRY	
CMU-1	8"x8"x16" SMOOTH FACE CMU STANDARD GRAY
CMU-2	12"x8"x16" SMOOTH FACE CMU STANDARD GRAY
CMU-3	8"x8"x16" SPLIT FACE CMU STANDARD GRAY
CMU-4	12"x8"x16" SPLIT FACE CMU STANDARD GRAY
GLASS	
GL-1	1" INSULATED GLAZING UNIT VITRO SOLARBAN 90 (2) CLEAR + CLEAR MULLION FINISH: ARCADIA SYSTEMS- DARK BRONZE FINISH AB7
STUCCO	
STUC-1	7/8" STUCCO OVER CMU
STUC-2	7/8" STUCCO OVER METAL STUD FRAMING
METAL	
MTL-1	ALUMINUM COMPOSITE PANEL: DARK BRONZE