

**01 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 80'-0"

**SITE INFORMATION**

ASSESSOR'S PARCEL NUMBER (APN): 304-34-015E  
 SITE ZONING: EXISTING: RI-43 PROPOSED: LIGHT INDUSTRIAL (LI)  
 ZONING OVERLAY / AIRPORT OVERFLIGHT AREA: A043 - PHOENIX/MESA GATEWAY AIRPORT  
 EXISTING ADJACENT PARCEL ZONING: NORTH: NOT APPLICABLE / FREEWAY EAST: 304-34-016E (LI); 304-34-033 (LI); 304-34-034 (LI) SOUTH: 304-43-016A (G1) WEST: 313-25-859Y (IND-2); 313-25-859Z (AD-2)  
 GROSS SITE AREA: 3,106,317 SF / 71.3 ACRES  
 NET SITE ACRES: 3,085,091 SF / 70.8 ACRES  
 LOT COVERAGE: 14.8% (458,608 SF / 3,106,317 SF)  
 BUILDING HEIGHT ALLOWABLE: 56'-0" WITH SUPPLEMENTAL USE PERMIT  
 BUILDING HEIGHT PROVIDED: 41'-0"  
 BUILDING A - BUILDING AREA: TOTAL: 229,400 SF WAREHOUSE & OFFICE  
 BUILDING B - BUILDING AREA (SEPARATE PERMIT): TOTAL: 229,400 SF WAREHOUSE & OFFICE  
 REQUIRED SETBACKS (TRUE ORIENTATION): NORTH: 0' EAST: 20' SOUTH: 20' WEST: 0'  
 PROPOSED OCCUPANCIES: S1, B, A-3  
 CONSTRUCTION TYPE: II-A (SPRINKLERED)

**SHEET KEYNOTE LEGEND**

KEY	KEYNOTE TEXT
001	PROPERTY LINE
002	7' HIGH WIRE MESH FENCE
003	8" HIGH MASONRY WALL
004	RIGHT-OF-WAY LINE
006	FUEL CHARGING STATION
007	TYPICAL ACCESSIBLE VAN PARKING STALLS
012	TRUCK LOADING DOCK
013	MECHANICAL SCREEN WALL
014	STORMWATER RETENTION BASIN
015	WATER TANKS
016	STORMWATER PIPE
017	MECHANICAL UNITS ON ROOF
018	EXHAUST ON ROOF
021	OUTDOOR PLATFORM WITH CHILLER EQUIPMENT
022	GENERATOR YARD
023	DRAINAGE CHANNEL
024	80' X 80' INTERSECTION SIGHT VISIBILITY TRIANGLE
025	TEMPORARY MOBILE GAS PLANT
028	TRANSFORMERS (REFER TO ELECTRICAL)
029	LIGHTING (REFER TO ELECTRICAL)
031	MOTORIZED SLIDING GATE
032	DROP ARM GATE
041	PARKING SHADE CANOPY
042	OUTDOOR AMENITY SPACES WITH SITE FURNISHINGS
043	4' HIGH CHAIN LINK FENCE
044	50' CLEARANCE ZONE (REFUSE AND RECYCLE TRUCK MANEUVERING AREA)
045	WELL SITE
046	FOUNDATION AREA
047	BICYCLE PARKING

**PARKING CALCULATIONS**

**PARKING PARKING REQUIRED: PER BUILDING**  
 OFFICE USE (B 1-A-3): 1 STALL PER 375 SF  
 7,499 + 2,025 SF = 9,524 / 375 SF = 26 SPACES PER BUILDING  
 WAREHOUSE USE (S-1): 1 STALL PER 900 SF  
 84,980 SF / 900 SF = 94 SPACES  
 TOTAL REQUIRED = 26 + 94 = 122 SPACES PER BUILDING (PER MZO 11-32-3)  
 ENTIRE SITE TOTAL: 132 SPACES x 2 BUILDINGS = 264 SPACES  
**PARKING PROVIDED:**  
 TOTAL PROVIDED = 138 SPACES  
 SUP APPLICATION FOR PARKING REDUCTION SUP TO BE SUBMITTED  
**BICYCLE PARKING REQUIRED:**  
 NONRESIDENTIAL: 1 BICYCLE SPACE / 10 VEHICLES  
 138 VEHICLES / 10 = 13.8 = 14 BICYCLE SPACES (PER MZO 11-32-8A)  
**BICYCLE PARKING PROVIDED:**  
 TOTAL PROVIDED = 14 BICYCLE SPACES  
**PARKING TOTALS**

PARKING STALL TYPE	COUNT
ACCESSIBLE / VAN PARKING STALL	4
EV PARKING STALL	4
PARKING STALL	128
TOTAL PARKING STALLS PROVIDED:	138

NOTE: LOADING DOCK AREA INCLUDES 2 LOADING DOCK SPACES

**GENERAL NOTES - SITE PLAN**

- REFER TO CIVIL FOR PERIMETER FENCE, SECONDARY FENCE, AND ENTRY GATE LAYOUT & DETAILS.
- REFER TO ARCHITECTURAL FOR GENERATOR YARD FENCING
- CHANGES INVOLVING SITE ACCESS MUST BE REVIEWED AND APPROVED BY AWS SECURITY.
- ACCESSIBLE PATH OF TRAVEL MAY NOT EXCEED 5% SLOPE AND 2% CROSS SLOPE. ACCESSIBLE LOADING AREAS MAY NOT EXCEED 2% SLOPE AND 2% CROSS SLOPE.

**FOUNDATION BASE AREA CALCULATIONS**

BUILDING	AREA REQUIRED	AREA PROVIDED	AVERAGE DEPTH
BUILDING A (1100 LF)	15,000 SF	28,708 SF	28.7 LF
BUILDING B (1100 LF)	15,000 SF	28,708 SF	28.7 LF
BUILDING C (52 LF)	780 SF	1,994 SF	38.3 LF

**COMMON AREA CALCULATIONS**

AREA	ACTIVE HARDSCAPE (SF)	LANDSCAPE AREA (SF)	TOTAL SF (6800 SF REQUIRED)
SEATING	1,642 SF	2,336 SF	3,978 SF
ENTRY	346 SF	420 SF	766 SF
TOTAL	1,988 SF	2,756 SF	4,744 SF

**SITE PLAN LEGEND**

- PROPERTY LINE
- BUILDING SETBACKS
- RIGHT OF WAY LINE
- CMU SCREEN
- MESH WIRE FENCE
- CHAIN LINK FENCE
- PUBLIC UTILITY EASEMENT
- REFUSE ACCESS
- PEDESTRIAN PATHWAY
- FOUNDATION BASE
- LIGHT POLE
- PARKING SHADE CANOPY OUTLINE

**VICINITY MAP**



**CONFIDENTIAL**

PROJECT ADDRESS  
10464 E PECOS ROAD  
MESA, ARIZONA

PROJECT DELIVERY PACKAGE  
**SITE PLAN REVIEW**

SEAL/SIGNATURE

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ISSUE DATE: 06MAY2024 PROJECT NO: 78.3116.000

DESIGNED: GENSLER ARCHITECT: PATRICK MAGNESS

REV.	DATE	DESCRIPTION
0	11/02/2023	SITE PLAN REVIEW
1	12/FEB/2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
2	28/MAR/2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS
3	06/MAY/2024	SITE PLAN REVIEW - RESPONSE TO CITY COMMENTS

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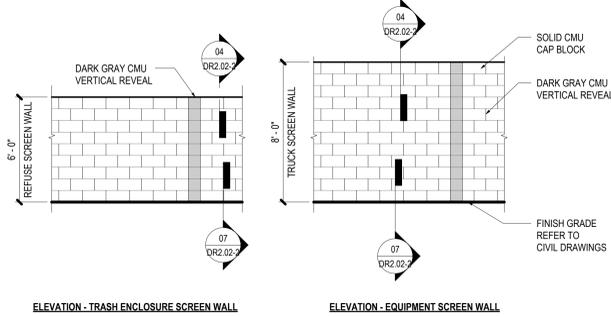
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**TITLE:** SITE PLAN

**DRAWING:** DR0.01

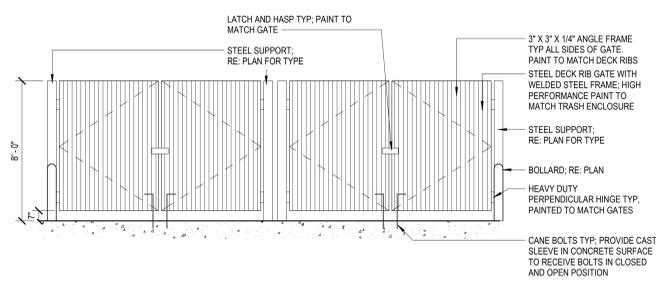
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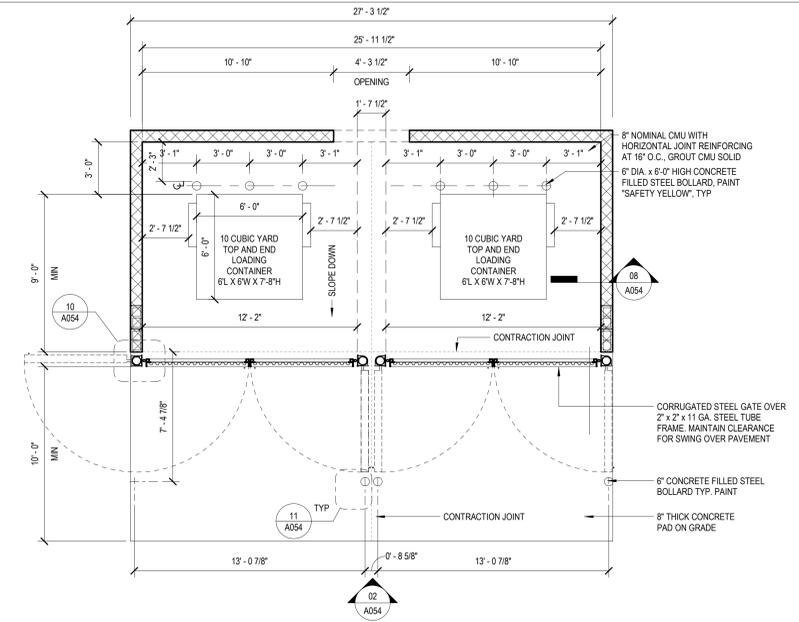




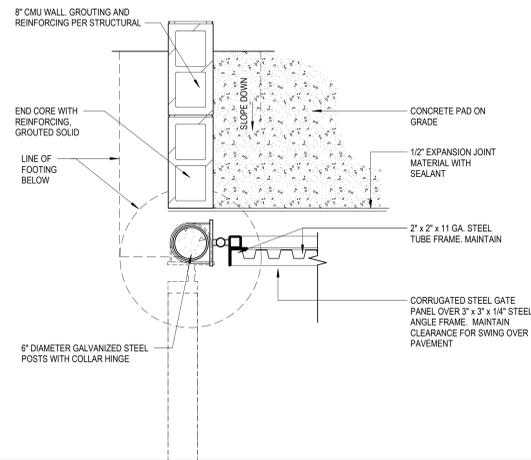
**03 CMU SCREEN WALL**  
SCALE: 1/4" = 1'-0"



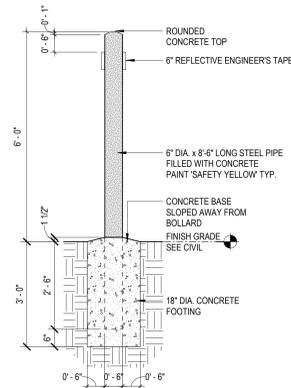
**02 TRASH ENCLOSURE - GATE ELEVATION**  
SCALE: 1/4" = 1'-0"



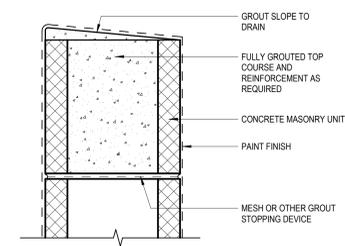
**01 SITE DETAIL - TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



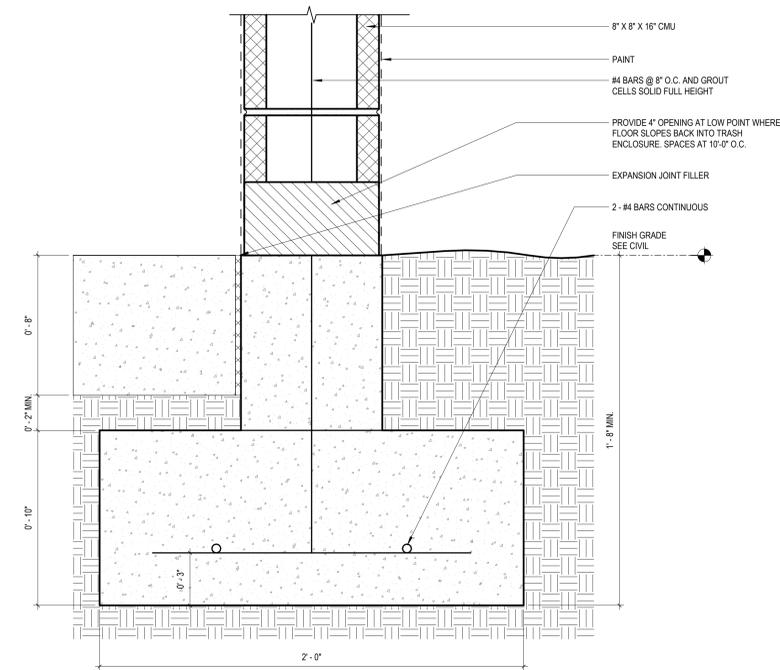
**06 TRASH ENCLOSURE - CORNER DETAIL**  
SCALE: 1" = 1'-0"



**05 TYPICAL EXTERIOR BOLLARD**  
SCALE: 1/2" = 1'-0"



**04 CMU SCREEN WALL - TOP OF WALL DETAIL**  
SCALE: 3" = 1'-0"



**07 CMU SCREEN WALL - BOTTOM OF WALL DETAIL**  
SCALE: 3" = 1'-0"

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PROJECT: SITE PLAN - 10464 E PECOS ROAD

TITLE: SITE DETAILS

DRAWING: DR2.02-2

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