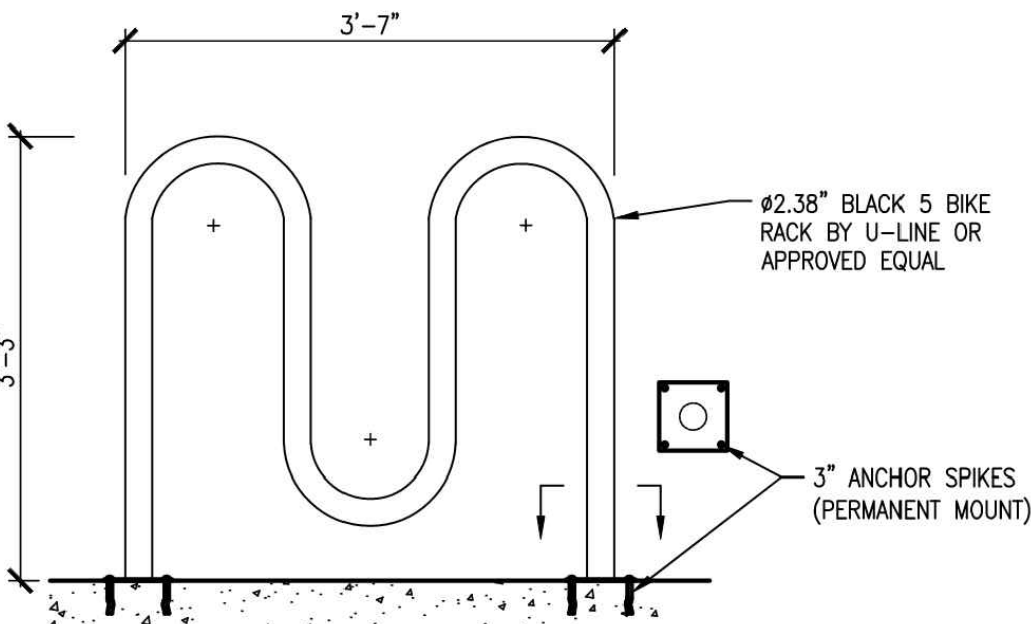
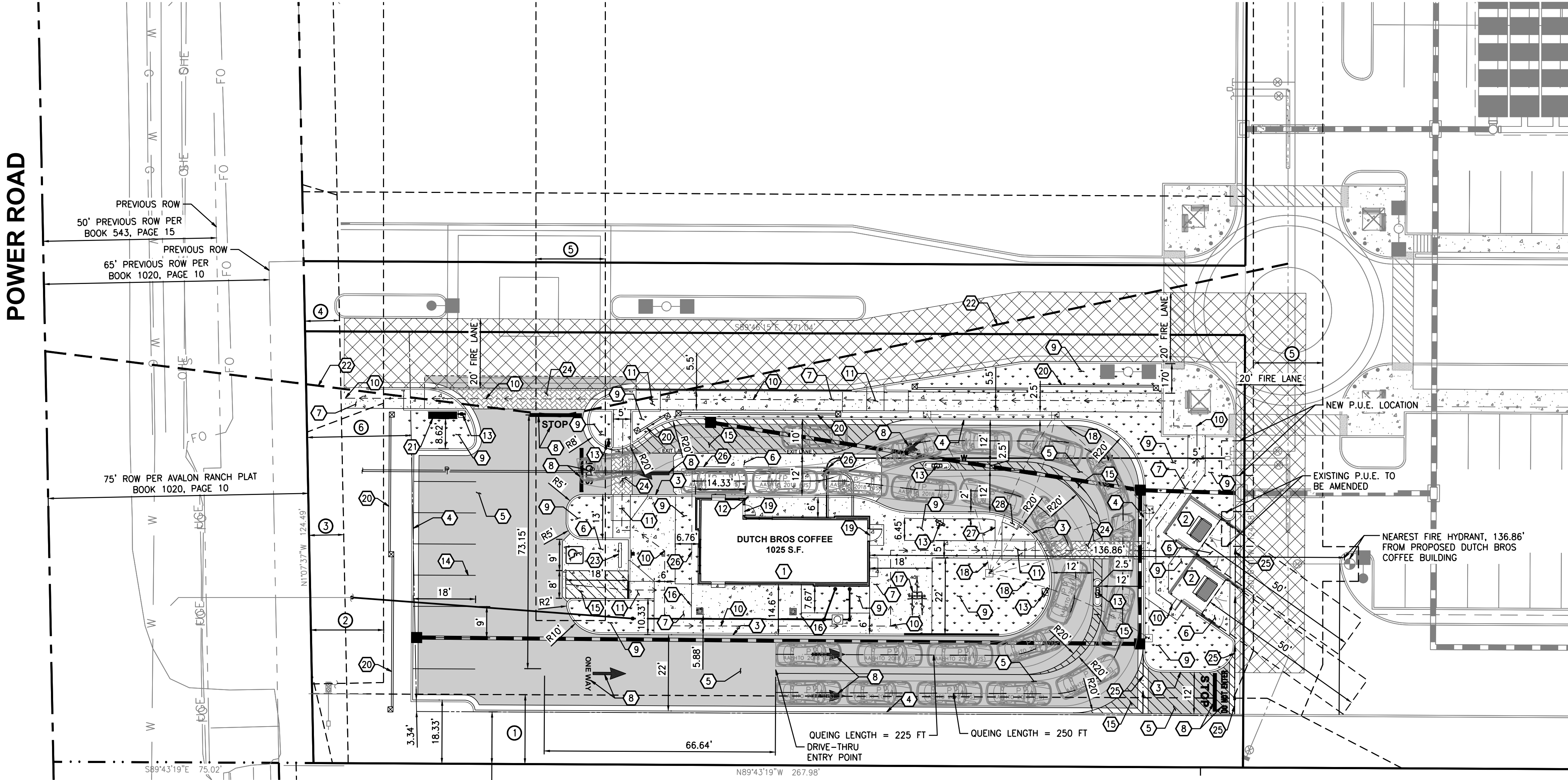


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DUTCH BROS. COFFEE - AZ1618 - MESA, AZ
PRELIMINARY SITE PLAN

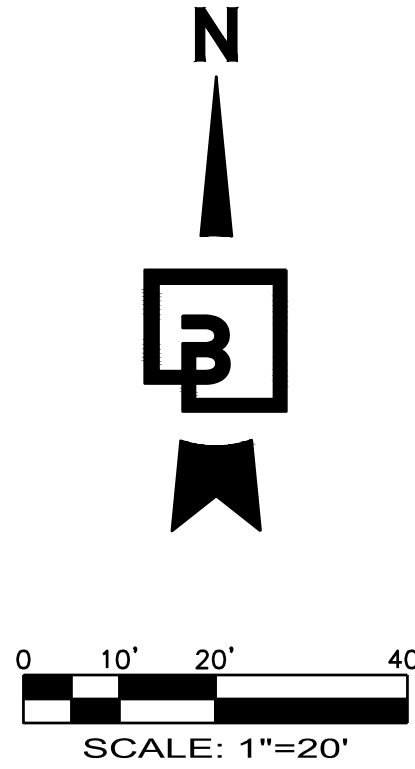
POWER ROAD



1
1 OF 4
SHORT TERM BICYCLE RACK

LEGEND

BUILDING LINE	////
EXISTING CURB TO REMAIN	==
PROPOSED CURB	==
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	■
PROPOSED CONCRETE	■
QUEING LENGTH	- - - -
FIRE LANE	XXXX



PROJECT DATA

NAME: DUTCH BROS COFFEE - AZ1618 - MESA, AZ
LOT 7, BOOK 1020, PAGE 10 RECORDS OF MARICOPA COUNTY, ARIZONA
PARCEL AREA: 33,572 SF (0.771 ACRES)
PROJECT AREA: 22,600 SF (0.519 ACRES)
EXISTING/PROPOSED SITE: VACANT BARE DIRT / COMMERCIAL DUTCH BROS COFFEE DRIVE THRU
EXISTING/PROPOSED ZONING: LIMITED COMMERCIAL (LC)

PROPOSED BUILDING INFORMATION:
BUILDING HEIGHT: 24'
BUILDING STORIES: 1
GROSS FLOOR AREA: 1,025

SETBACKS:
FRONT SETBACK (S POWER ROAD): 30'
15' LANDSCAPE BUFFER

HEIGHT RESTRICTIONS:
MAXIMUM BUILDING HEIGHT: 30'

PARKING SPACES REQUIRED: 1 SPACE PER 100 SF OF INDOOR SEATING AREA
(1025 SF/100 SF) = 11 SPACES (INDOOR)
11 REQUIRED SPACES

PARKING SPACES PROVIDED:
1 ADA PARKING
2 REGULAR SPACES (CROSS ACCESS PARKING AGREEMENT)
8 REGULAR PARKING
TOTAL 11 STALLS

TOTAL OVERALL DEVELOPMENT PARKING STALLS: 526 SPACES

QUEUING: 22 VEHICLES
QUEUING LENGTH: 250 FT

TRASH ENCLOSURES: 13' X 11'

PROJECT AREA COVERAGE:		
BUILDING (INCLUDING TRASH):	±1,337 SF	(5.9%)
PARKING AND MANEUVERING:	±14,041 SF	(62.1%)
WALKWAYS:	±3,600 SF	(16.0%)
LANDSCAPE:	±3,622 SF	(16.0%)
	22,600 SF	(100.0%)

CONSTRUCTION NOTES:

- PROPOSED 1,025 SF DUTCH BROS COFFEE.
- PROPOSED TRASH ENCLOSURE PER CITY OF MESA M-62 DETAILS.
- PROPOSED CONCRETE BARRIER CURB, TYPICAL.
- PROPOSED CONCRETE CURB AND GUTTER, TYPICAL.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED CONCRETE PAVEMENT.
- PROPOSED ON-SITE CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
- PROPOSED PAVEMENT MARKING.
- PROPOSED LANDSCAPE AREA, TYPICAL.
- ACCESSIBLE PATH, TYPICAL.
- PROPOSED ADA ACCESSIBLE RAMP.
- PROPOSED BOLLARD.
- PROPOSED SIGNAGE.
- PROPOSED 4" WIDE WHITE REFLECTIVE PAINT PARKING STALL STRIPES, TYPICAL.
- PROPOSED 2' O.C. AT 45 DEGREES "NO PARKING" PAVEMENT MARKING.
- PROPOSED CUSTOMER WALK-UP CANOPY AREA.
- PROPOSED BIKE RACK.
- PROPOSED SHADE STRUCTURE FOR ORDER AREA.
- PROPOSED EMPLOYEE ENTRANCE.
- PROPOSED SCREEN WALL.
- PROPOSED MONUMENT SIGN.
- SIGHT VISIBILITY TRIANGLE LINE.
- PROPOSED CONCRETE WHEEL STOP.
- PROPOSED DECORATIVE PAVEMENT.
- PROPOSED CONCRETE VALLEY GUTTER, 1" DEPTH.
- PROPOSED CANTILEVERED AWNING. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- PROPOSED 2' WIDE EMPLOYEE PEDESTRIAN PATH.
- PROPOSED EMPLOYEE PEDESTRIAN ORDERING AREA.

EASEMENT NOTES:

- 20' WATER UTILITY AND FACILITIES EASEMENT PER DOC# 20140448053, BK. 1806, P32.
- DRAINAGE EASEMENT PER BK. 1806, P32; WIDTH VARIES.
- 10' PUBLIC UTILITIES AND FACILITIES EASEMENT PER BK. 1020, P10.
- SIDEWALK EASEMENT PER BK. 1806, P32.
- 20' PUBLIC UTILITY EASEMENT PER BK. 1806, P32.
- 30' BUILDING SETBACK.

Sheet List Table

Sheet Number	Sheet Title
1 OF 4	PRELIMINARY SITE PLAN
2 OF 4	PRELIMINARY GRADING AND UTILITY PLAN
3 OF 4	CONTEXTUAL SITE PLAN
4 OF 4	LANDSCAPE PLANTING PLAN

DUTCH BROS

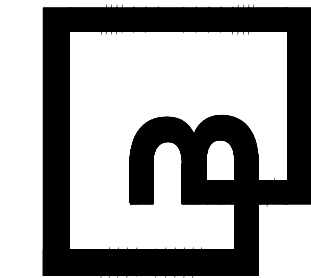
For:



Scale: Horizontal 1" = 20' Vertical N/A

Designed: NRN Drawn: NRN Checked: MTL Approved: HPG Date: 11/13/25

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425-251-6222
barghausen.com



Job Number
23749

Sheet
1 OF 4
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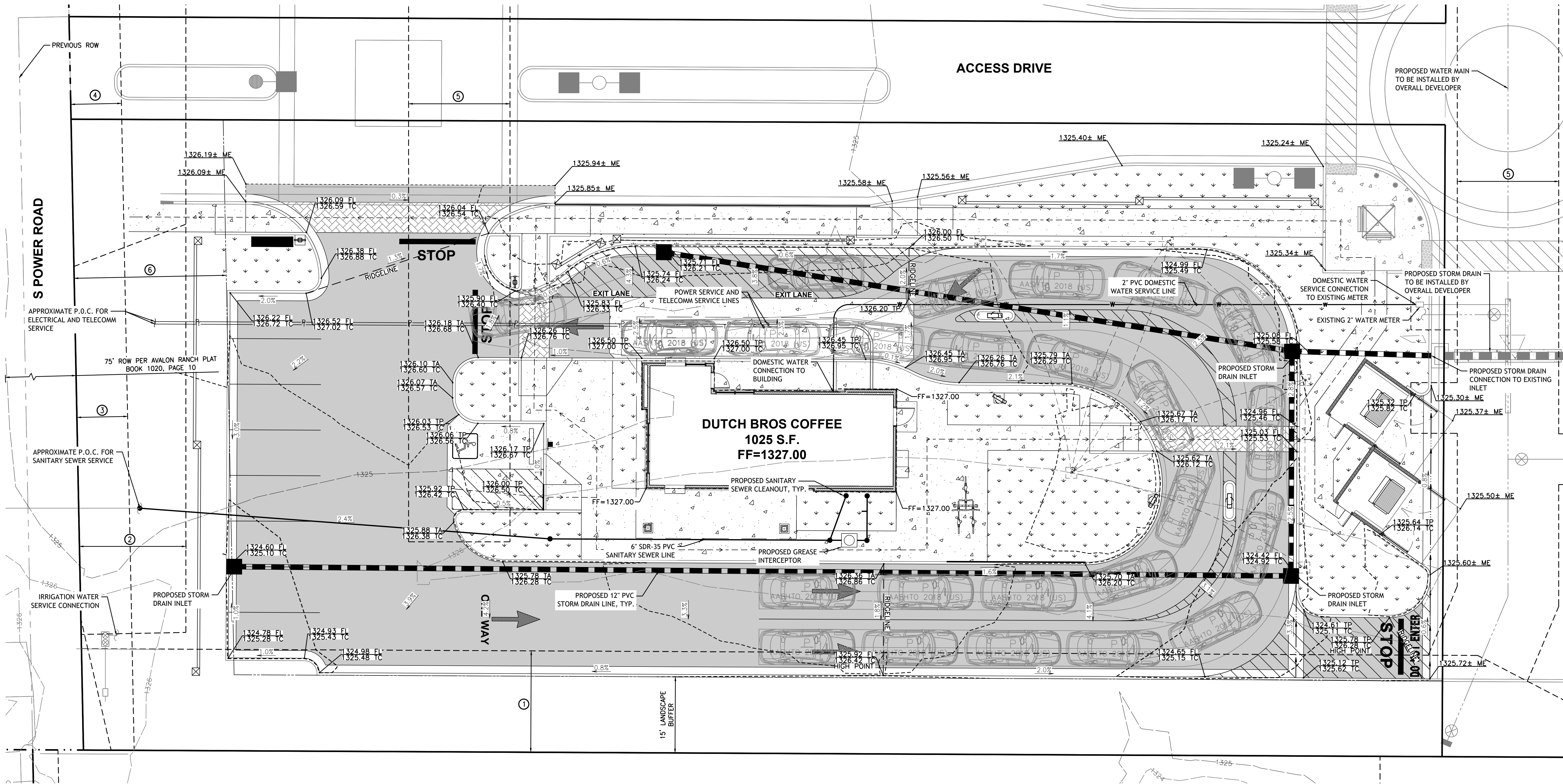
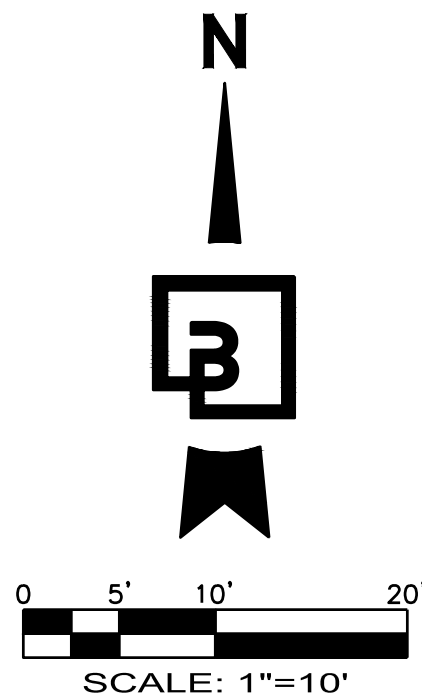
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- 20' PUBLIC UTILITY EASEMENT PER BK. 1806, P32.
- 30' BUILDING SETBACK

DUTCH BROS. COFFEE - AZ1618 - MESA, AZ
PRELIMINARY GRADING AND UTILITY PLAN



PRELIMINARY NOT FOR CONSTRUCTION

Title:
PRELIMINARY GRADING AND UTILITY SITE PLAN
SEC OF S POWER ROAD AND E ELLIOT ROAD
MESA, AZ

DUTCH BROS.
Coffee

For:



Scale:

Horizontal

1" = 10'

Vertical

N/A

Designed

Drawn

Checked

Approved

HPC

Date

11/13/25

Barghausen
Consulting Engineers, LLC.

18215 72nd Avenue South
Kent, WA 98032
425-251-6222

barghausen.com

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Sheet

2 OF 3

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Franchising USA, LLC

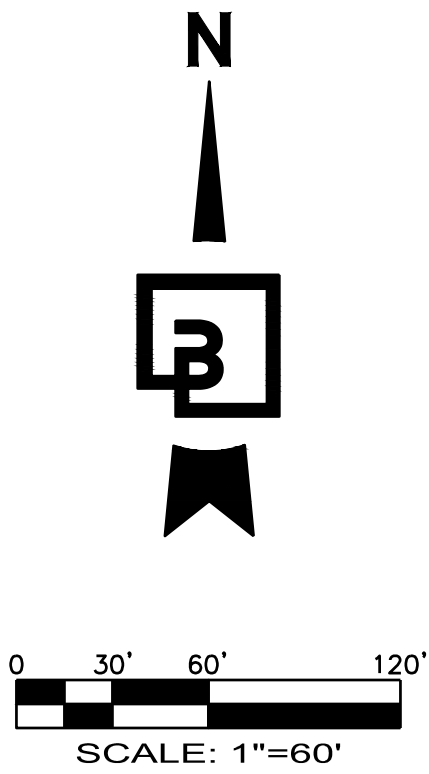
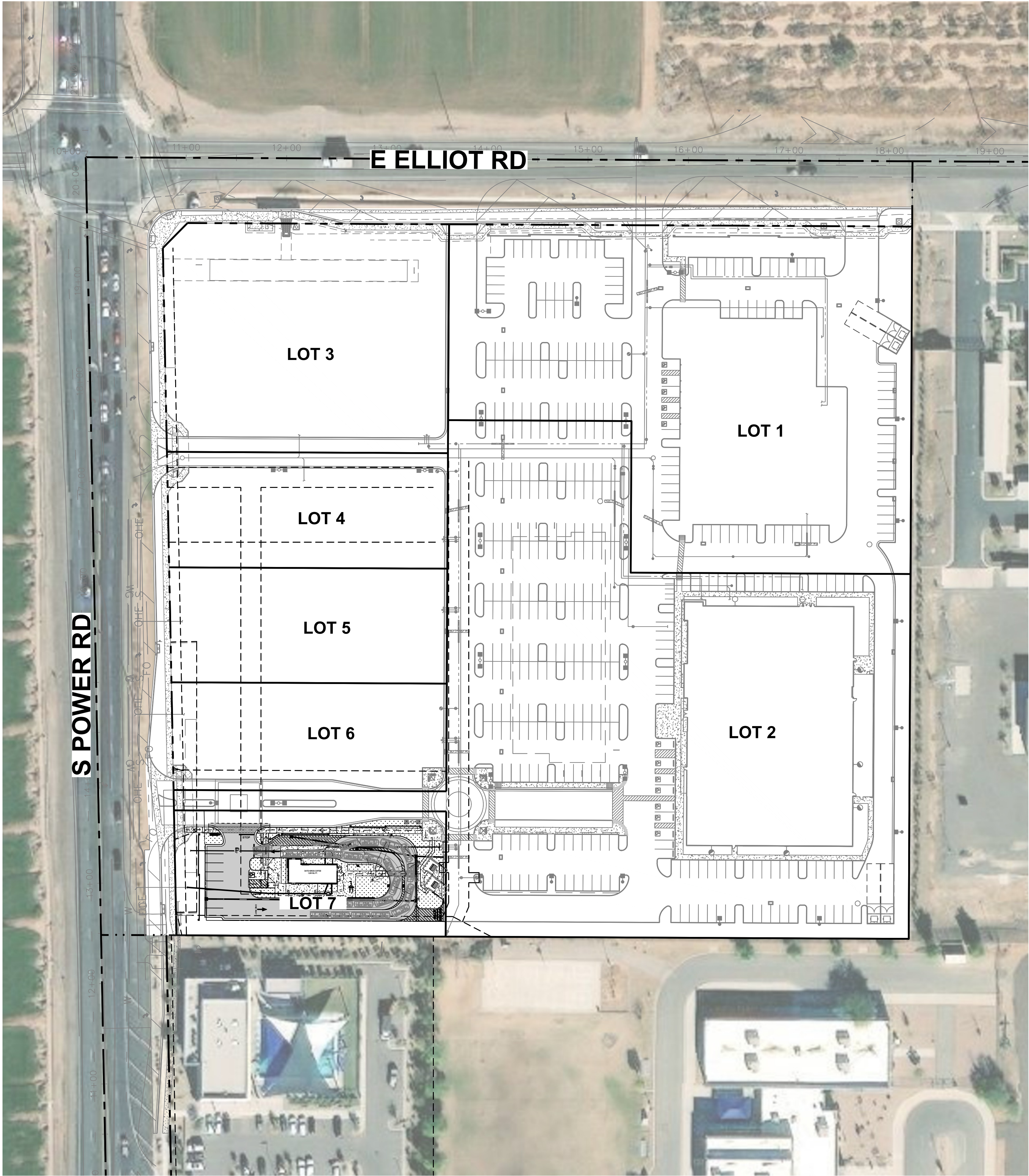
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DUTCH BROS. COFFEE - AZ1618 - MESA, AZ

CONTEXTUAL SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION



Job Number 23749	Barghausen Consulting Engineers, LLC. 18215 72nd Avenue South Kent, WA 98032 425-251-6222 barghausen.com		Designed <u>NRN</u> Drawn <u>NRN</u> Checked <u>MTL</u> Approved <u>HFG</u> Date <u>11/3/25</u>	Scale: Horizontal 1" = 60' Vertical N/A		For: 	Title: CONTEXTUAL SITE PLAN SEC OF S POWER ROAD AND E ELLIOT ROAD MESA, AZ
	Sheet 3 OF 4 2019 DB Franchising USA, LLC						