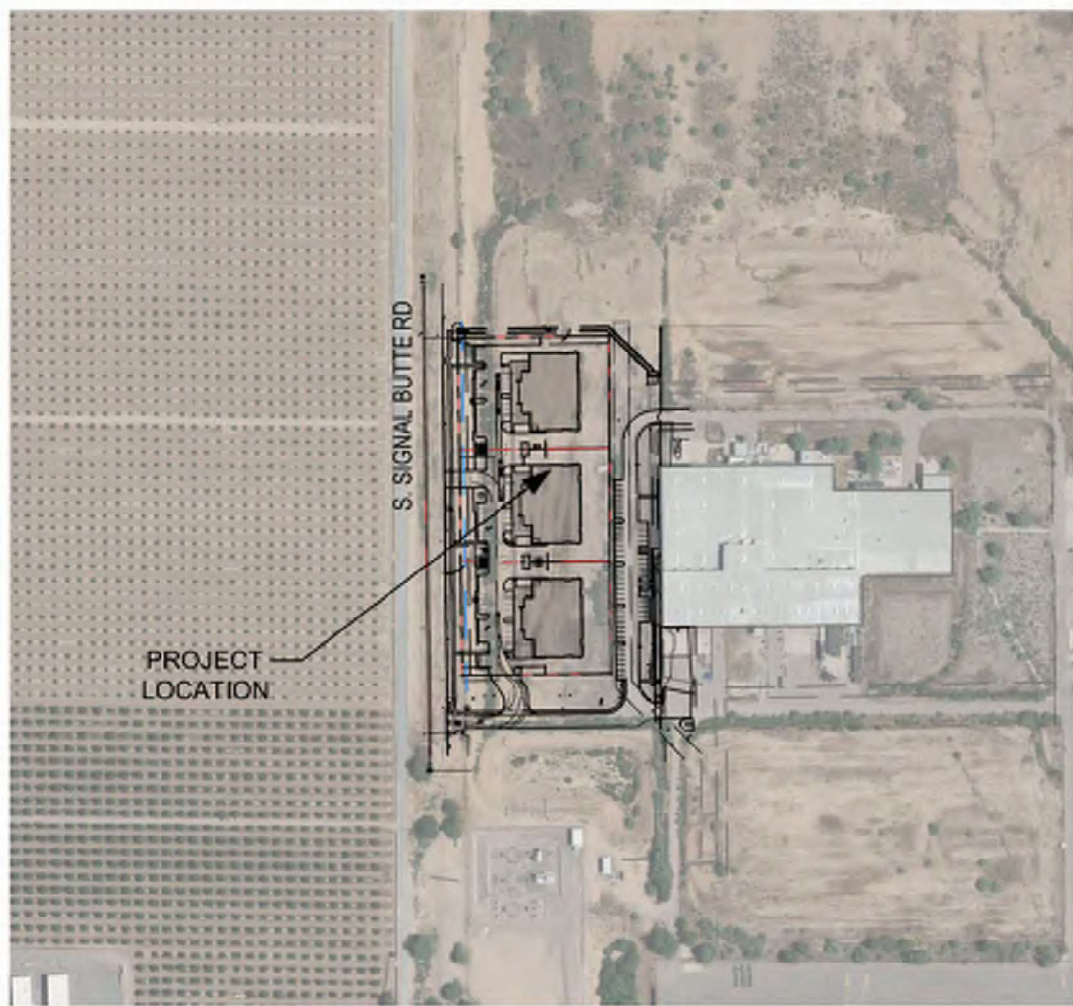
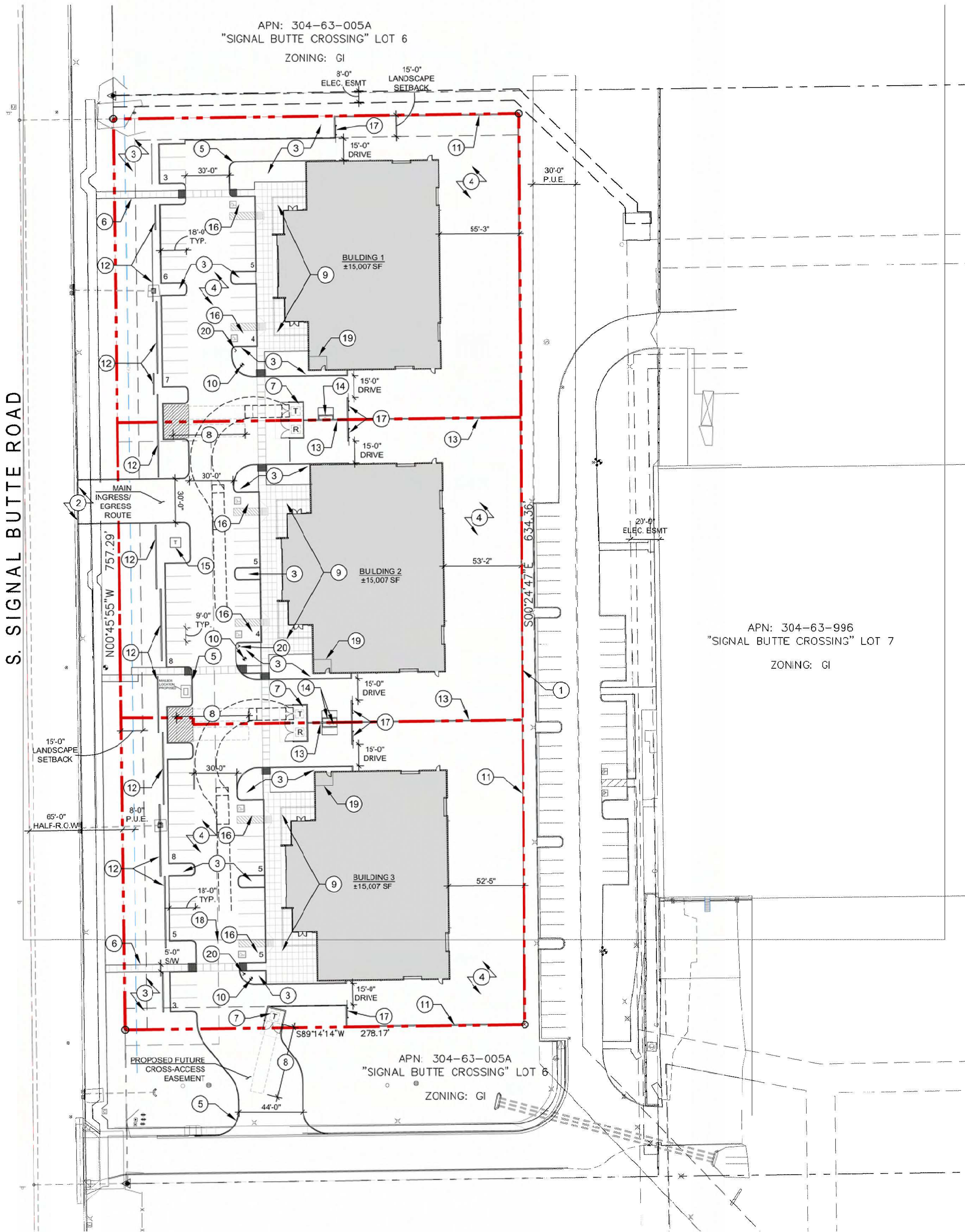




AERIAL MAP
SCALE: NTS



APN: 304-63-016A
ZONING: GI

APN: 304-63-996
"SIGNAL BUTTE CROSSING" LOT 7
ZONING: GI

APN: 304-63-005A
"SIGNAL BUTTE CROSSING" LOT 6
ZONING: GI

SITE PLAN
SCALE: 1"=40'-0"

PROJECT INFORMATION		
CLIENT:	CAVAN COMMERCIAL 18032 NORTH SCOTTSDALE ROAD, SUITE 200 SCOTTSDALE, AZ 85254 CONTACT: AGNES FICKERA EMAIL: agnes@cavacommercial.com	
ARCHITECT:	PINNACLE DESIGN, INC. 1348 N 44TH STREET - SUITE #200 PHOENIX, AZ 85008 CONTACT: COLE BRUNO EMAIL: cbruno@pdi-ez.com	
PROJECT ADDRESS:	11202 E. GERMANN RD MESA, AZ 85212	
GENERAL LOCATION:	NEC S. SIGNAL BUTTE RD & E. GERMANN RD MESA, AZ	
SITE AREA:	NET: ±4.08 AC (±177,692 SF) GROSS: ±5.03 AC (±218,927 SF)	
EXISTING ZONING:	GI	
EXISTING USE:	VACANT	
PROPOSED USE:	WAREHOUSE/OFFICE	
LCT COVERAGE:	±83%	
LANDSCAPE AREA:	±17%	
PROPOSED BUILDING SF:	±45,000 SF	
PROPOSED BUILDING USE:	OFFICE/WAREHOUSE	
PROPOSED BUILDING HEIGHT:	±30'-0"	
OFFICE SF:	±6,900 SF @ 1/375	
WAREHOUSE SF:	±38,100 SF @ 1/900	
PARKING REQ:	61 SPACES	
PARKING PROVIDED:	68 SPACES INCLUDES (6) ADA SPACES	
DEVELOPMENT STANDARDS		
	REQUIRED	PROPOSED
MIN. SITE AREA:	1 AC.	± 4.08 AC.
MIN. LOT WIDTH:	100 FT.	± 634 FT.
MIN. LOT DEPTH:	100 FT.	± 217 FT.
MAX. LOT COVERAGE:	80%	± 25.3%
MAX. BUILDING HEIGHT:	50 FT.	± 30 FT.
BUILDING SETBACKS		
MIN. FRONT (ARTERIAL):	15 FT.	± 100 FT.
INTERIOR SIDE (INDUSTRIAL):	0 FT.	± 30 FT.
INTERIOR REAR (INDUSTRIAL):	0 FT.	± 30 FT.

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 1, FROM WHICH AN ALUMINUM CAP MARKING THE WEST QUARTER OF SAID SECTION 1 BEARS NORTH 00°45'55" WEST, A DISTANCE OF 2627.27 FEET;

THENCE ALONG WEST LINE OF SAID SOUTHWEST QUARTER NORTH 00°45'55" WEST, A DISTANCE OF 703.77 FEET;

THENCE DEPARTING SAID WEST LINE NORTH 89°14'05" EAST, A DISTANCE OF 65.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF SOUTH SIGNAL BUTTE ROAD;

THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH OF 00°45'55" WEST A DISTANCE OF 106.93 FEET TO THE POINT OF BEGINNING;

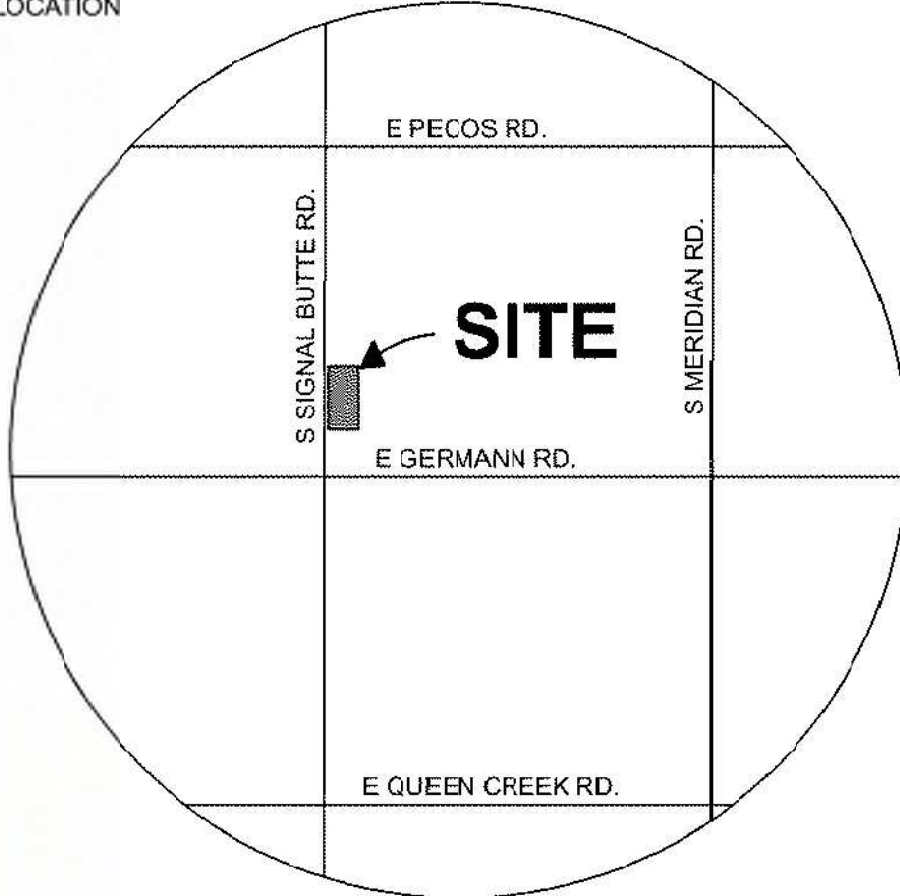
THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE NORTH OF 00°45'55" WEST, A DISTANCE OF 634.35 FEET;

THENCE DEPARTING SAID EAST RIGHT OF WAY LINE NORTH 89°14'15" EAST, A DISTANCE OF 282.07 FEET;

THENCE SOUTH 00°24'47" EAST, A DISTANCE OF 634.36 FEET;

THENCE SOUTH 89°14'14" WEST, A DISTANCE OF 278.17 FEET TO THE POINT OF BEGINNING

- SITE KEYNOTES**
1. PROPERTY LINE
 2. PROPOSED CURB CUT / ENTRY DRIVE
 3. LANDSCAPE AREA
 4. ASPHALT PAVEMENT
 5. 6" CONCRETE CURB
 5. 5' WIDE CONCRETE SIDEWALK
 7. REFUSE ENCLOSURE PER MESA STANDARD DETAIL M-62.2
 8. 5' BACKING DISTANCE
 9. 20'-0" x 20'-0" 900 SF ENTRY PLAZA PER M2.0 SECTION 11-35-5.A.1.A.11
 10. FIRE HYDRANT
 11. 8'-0" HIGH CMU SITE WALL
 12. 3'-0" HIGH CMU PARKING SCREEN WALL
 13. 6'-0" HIGH CMU INTERNAL SITE WALL
 14. SERVICE ENTRY SECTION
 15. TRANSFORMER
 16. 11'-0" x 18'-0" ACCESSIBLE PARKING SPACE WITH 5'-0" ACCESS AISLE
 17. YARD ENTRY GATE
 18. EXISTING TEMPORARY DRAINAGE EASEMENT TO BE REMOVED
 19. FIRE RISER ROOM
 20. FDC LOCATION



VICINITY MAP
SCALE: NTS



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