

4312 E University

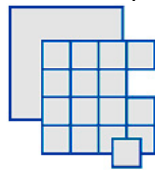
NWC of Greenfield Rd and University Dr

Request for Site Plan Modification, Design Review, Special Use Permit, and Council Use Permit

Submitted by:

Pew & Lake, PLC

Sean Lake/Jon Gillespie
1744 S. Val Vista Drive, Suite 217
Mesa, AZ 85204
(480) 461-4670



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

Project Design:



Rkaa Architects, Inc.

Pam Vickers
2233 East Thomas Road
Phoenix, AZ 85016

On behalf of:

Cooper Companies
Mark Hanneken

October 30, 2023

I. Introduction & Project Description

Pew & Lake, PLC is pleased to submit this narrative and related exhibits for concurrent Site Plan Modification, Design Review, Special Use Permit, and Council Use Permit review. The subject site is approximately 191,833 SF (4.02 acres) in size and the Maricopa County Assessor Parcel Number for this Property is #140-14-003M. The existing zoning for this site is Commercial - LC and is currently vacant. The project site plan was originally approved for a retail/self-storage facility in 2004, and then again in 2006, with zoning application Z06-29, Ordinance 4545, on May 22, 2006, by the Mesa City Council. The applicant has been working over the last several months with the City of Mesa's Planning Department; re-designing the project to improve the currently existing self-storage/retail site plan to allow an updated and more attractive design for the self-storage and retail layout.

North of the site is Residential (RM-2), East of the site is an existing Extra Space Storage (EXR) climate-controlled facility, (which achieved zoning compliance in Commercial – LC in 2014), South of the site is University Drive and West of the site is Residential (RM-3).

The goal of this application is to receive Design Review, SUP, and CUP Approval for a multi-use project; including, a Class A climate-controlled self-storage facility and a retail/restaurant component, as follows:

1. Pad A: Fast Casual Restaurant with a street facing patio and drive-thru lane of approx. 204 ft of stacking – the drive-thru will be screened from street view with landscaping as requested by the Planning Department.
2. Pad B: Multi-tenant building with Retail and Fast Casual Restaurant with a drive-thru lane of approx. 150 ft of queuing.
3. Pad C: 2-Story + Basement, Class A climate-controlled storage facility as an expansion to the existing Extra Space Storage facility to the East (Exhibit A). The building will include both exterior and interior accessed storage units along with an internal drive aisle feature. The applicant for this new storage facility will be entering into an “annexing agreement” with Extra Space Storage. A letter from Extra Space, outlining both the “annexing agreement” and the high demand for this new Class A facility in the immediate neighborhood has been attached (Exhibit B).

The finishes for Pads A and B are consistent with the surrounding commercial properties, and were designed in accordance with the comments from the Mesa Planning Department addressing new drive-thru restaurant designs and layouts.

The proposed storage facility on Pad C is an expansion to the existing Extra Space Storage property to the East, located at 448 N. Greenfield Road and continues the finishes as approved on that project. Direct access to the new facility will be through a drive-aisle connection to the existing Extra Space Storage site with an emergency access connection available through the restaurant/retail site. We believe due to the unique layout of this

vacant commercial parcel; our proposal achieves the highest and best use of this land. We also were sensitive to the existing neighboring properties by limiting windows on the North side of the proposed self-storage facility. It should also be noted, that back in 2006, the City of Mesa City Council approved a self-storage facility on this site. Our new plan upgrades the previous first-generation submittal with a more clean, modern, and aesthetically pleasing Class A climate-controlled project ideal for this unique location.

The perception of a self-storage facility as an unattractive use is no longer accurate. Opposition to such developments stems from the typical unsightliness of the “first generation” projects. The renderings provided as part of the submittal package illustrate that the project will be very attractive and will smoothly integrate into the surrounding neighborhood and existing Extra Space facility.

Self-storage projects have been proven to be excellent neighbors to adjacent commercial, industrial, and residential developments due to their quiet nature, minimal use of local utilities, low traffic, and compatible hours of operation. The perimeter buildings and walls will screen internal loading activities from both University Drive and from Greenfield Road. They will also provide a secured enclosure for the entire storage facility.

We believe the proposed uses are an excellent fit for this location and neighborhood, and achieves the highest and best use for this site; eliminating an unattractive infill vacant parcel within the City of Mesa. It will also serve an existing demand for self-storage in the neighborhood, as evidenced by the adjacent existing Extra Space Storage facility achieving one of the most rapid lease-ups in the history of the company when it was built a few years ago.

II. Consistency with the General Plan

The General Plan character area designation for the property is Neighborhood Village. The existing Limited Commercial (LC) zoning for the property is a primary zoning district within the Neighborhood Village character area. This project’s proposed retail and restaurant uses explicitly comply with the intent of the Neighborhood Village designation and are listed as primary land uses in the General Plan.

The LC zoning district allows Mini-Storage uses subject to obtaining a CUP. The review criteria to grant a CUP requires that the proposed project will advance the goals and objectives of, and is consistent with, the policies of the General Plan. Mini-storage or indoor self-storage is not listed as a primary or secondary land use in any general plan character area of the City but it does advance the goals of the Neighborhood Village and complies with the objectives of the City of Mesa General Plan in the following ways:

- A. The proposed development meets the Criteria for Review of Development (See Development Review Page 15-1)
 1. The proposed development is consistent with and furthers the intent and

direction of the General Plan by meeting the storage needs for the neighborhoods in this area. The proposal also supports a diverse and stable economy by supporting a viable new development in this area. (See “Guiding Principles” Page 3-7)

2. The proposed development is consistent with the adopted sub-area or neighborhood plans including as discussed in Paragraph B below.
 3. The proposed development is consistent with the standards and guidelines established for the Neighborhood Village character type including as discussed Paragraph B below.
 4. The proposed development will strengthen this Neighborhood Village character area by providing:
 - i. *Appropriate infill development.* Appropriate infill development necessitates analysis of the surrounding area and the viability of the proposed use. In this case, the proposed enclosed mini-storage facility is a two-story building which does not encroach into required building or landscape setbacks in the LC district and is generally regarded as a low intensity use including with regard to vehicular and pedestrian activity.
 - ii. *Adding to the mix of uses to further enhance the Neighborhood Village.* This Neighborhood Village area includes various retail businesses, full and limited-service restaurants, a fuel station, auto service shop, and other commercial uses. Adding additional mini-storage, restaurant, and retail uses will further enhance options for residents in Mesa.
 - iii. *Improving safety within the area.* The mini-storage use provides higher than typical security measures for commercial uses including by utilizing walls, gates, cameras, lighting measures, and indoor self-storage units. These security measures are in place to the positive benefit of surrounding properties.
 - iv. *Exceeding the development quality of the surrounding area.* This project is subject to review by the City of Mesa Design Review Board. As such, it will be held to the high standards of the established City of Mesa Commercial Design Review Guidelines.
- B. *The proposed mini-storage facility will service the needs of the nearby population (See Neighborhood Village Center Focus Page 7-16).* As indicated by the high performance of the adjacent Extra Space Storage site, this area of the City has strong demand for an additional mini-storage facility. The area within a two-mile radius of this project is marked by residential use with multiple higher density mobile home parks and multi-

family communities in the immediate vicinity, particularly directly south of University Drive. Mini-storage use is often a companion need for Mesa residents utilizing mobile home parks, apartments, and smaller lot residences because those housing types often lack physical space for storage needs.

- C. *The proposed mini-storage facility is a better option than alternative land uses for this site.* The project provides appropriate infill development and adds to the mix of uses to further enhance the intended character of the area and is the highest and best use for the location. Appropriate infill development necessitates analysis of the surrounding area and the viability of the proposed use. In this case, the proposed enclosed mini-storage facility is a two-story building which does not encroach into required building or landscape setbacks in the LC district and is generally regarded as a low intensity use in terms of vehicular and pedestrian activity. At the same time, security measures are in place which have a positive benefit to surrounding properties. The storage use is economically viable as indicated by the adjacent Extra Space Storage site. The subject site is tucked away from arterial frontage whereas other commercial uses, such as retail or restaurants, would typically need high visibility.

III. Council Use Permit

Mini-storage is allowed in the LC district with approval of a Council Use Permit (CUP). The proposal conforms to all of the following criteria for CUP approval:

1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies.
Answer: Please see General Plan Conformance section of this narrative.
2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies.
Answer: Please see General Plan Conformance section of this narrative. We also note that the high-quality two-story design, adequate building setbacks, and gated operation, will ensure that the proposed project is harmonious with both the surrounding residential and commercial uses, including the adjacent Extra Space facility to the east.
3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City.
Answer: The proposed enclosed mini-storage facility is a two-story building which does not encroach into required building or landscape setbacks in the LC district and is generally regarded as a low intensity use in terms of vehicular and pedestrian activity.

The mini-storage use provides higher than typical security measures for commercial uses including by utilizing walls, gates, cameras, and lighting measures.

4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

Answer: University Drive and Greenfield Road are fully improved right of way with utilities already installed to meet the needs of new commercial opportunities in this area.

IV. Special Use Permit

The building design calls for use of mechanical screening up to 34 feet (4 feet above the base 30 foot building height). This mechanical screening would typically be allowed as a mechanical penthouse under the City's height allowances under MZO Table 11-30-3. Because this property is located in AOA3, any proposal that exceeds the base height limit, must obtain a Special Use Permit to ensure that such additional height is not a hazard to air navigation. For the following reasons, this proposal meets the criteria for granting a Special Use Permit under MZO Section 11-70-5(E).

- 1. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;***

The City of Mesa allows exceptions to building height limits in various instances as outlined in MZO Table 11-30-3. Of course, an apparent conflict could exist when the height exception is applied within an Airflight Overlay, which Overlay is intended to assist with safe flight navigation. The height increase at this location does not conflict with the intent of the Airfield Overlay District purpose and intent. Importantly, this property is located on the fringe of the AOA-3 area and over 2 miles from Falcon Field. The request is for a de minimis 4-foot increase to the allowed 30-foot base height. The increase is for rooftop mechanical screening elements which would otherwise be allowed as exceptions to the height limits under the "mechanical penthouse" definition of MZO Section 11-30-3(A).

- 2. The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;***

Please see General Plan Conformance section of this narrative. The high-quality two-story design, adequate building setbacks, and gated operation, will ensure that the proposed project is harmonious with both the surrounding residential and commercial uses, including the adjacent Extra Space facility to the east.

- 3. The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City;***

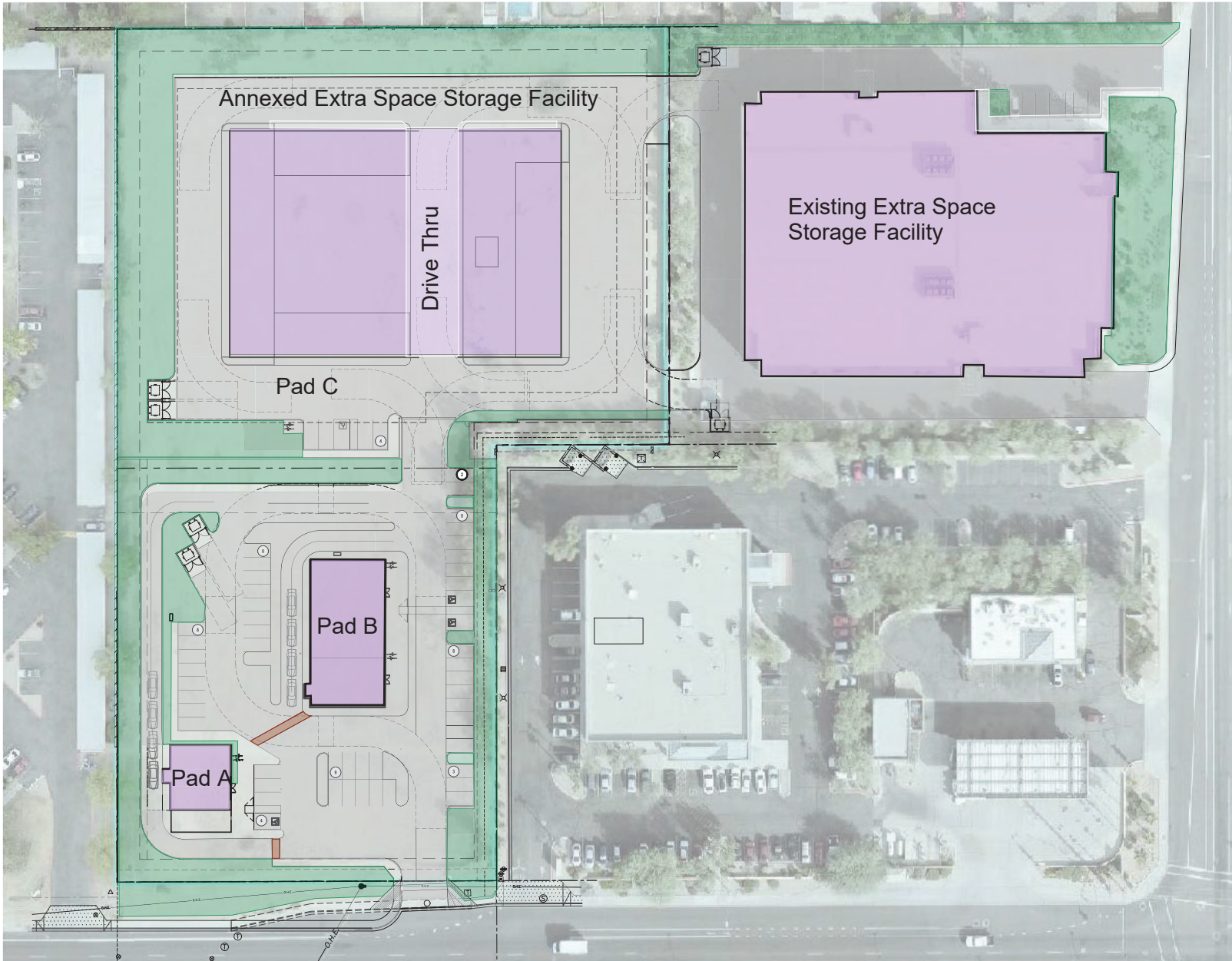
There is over a 70-foot buffer between the residential property north of the site and the proposed building height increase. This is a significant buffer particularly given the limited scope of this request which is only triggered because the proposal is within the AOA-3.

4. Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

University Drive and Greenfield Road are fully improved right of way with utilities already installed to meet the needs of new commercial opportunities in this area.

V. Conclusion

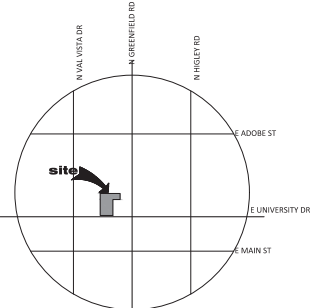
Envisioned in this application is a mixed-use commercial development including new restaurants and retail offerings and a low intensity, indoor, climate controlled storage facility that is designed to be consistent with the surrounding properties. This new plan upgrades the previous storage approval with a more clean, modern, and aesthetically pleasing Class A climate-controlled project, ideal for this unique location. The project meets or exceeds the development standards of the LC zoning district, which contributes to appropriate transitions to the surrounding properties, and meets the neighborhood self-storage demand as shown in the Exhibit B Extra Space letter. As submitted, the proposed development will promote security and certainty on the site, thus contributing to neighborhood stability and value. The proposal will have a positive impact on the area by bringing new investment and providing services that will support the growing needs of local residents, businesses and employers.



PROJECT DIRECTORY

ARCHITECT:
 RKA A ARCHITECTS, INC.
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: NEIL FEASER
 PHONE: (602) 955-3900
 FAX: (602) 955-0496
 E-MAIL: nfeaser@rkaa.com

Exhibit A



VICINITY MAP

SCALE: N.T.S.

UNIVERSITY MULTI-USE
 4312 E UNIVERSITY DRIVE
 MESA ARIZONA 85205
 DATE: 04-10-2023 (PRELIMINARY)

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SP-1

RKAA# 19066.00





September 28, 2022

City of Mesa Planning & Zoning Department
Cooper Companies
Reg Cooper & Mark Hanneken

Re: Letter of Interest

To Whom It May Concern:

Extra Space Storage (“Extra Space”) is a national leader in the self-storage industry and operates over 2,100 self-storage facilities. As part of its structure, Extra Space created a “Management Plus” program specifically designed for third party owners who seek professional management services for their respective self-storage properties. Pursuant to a management agreement, Extra Space operates and manages such properties for these third-party owners, bringing with it years of storage experience and expertise.

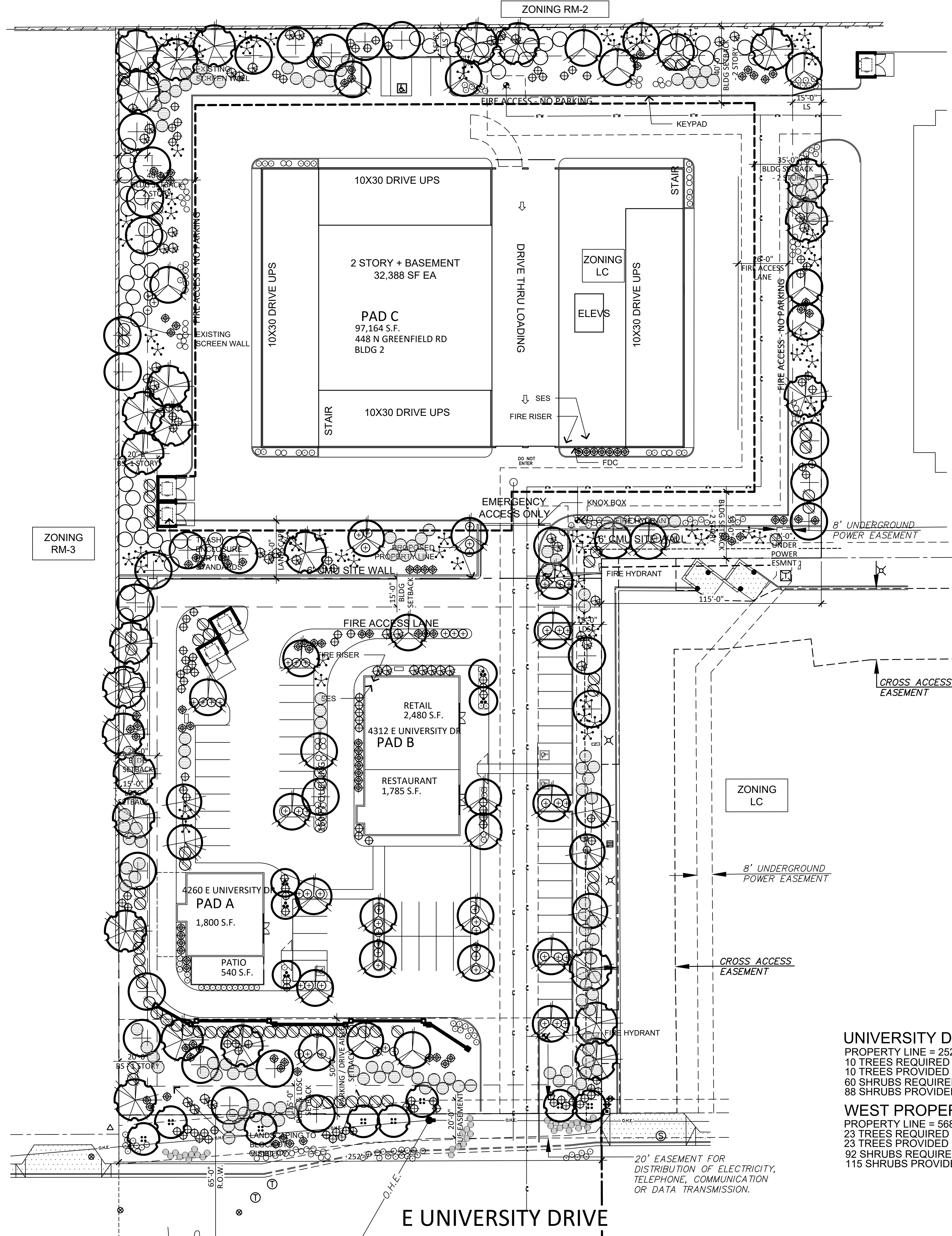
The purpose of this letter is to confirm Extra Space’s interest in managing the self-storage facility (or future self-storage facility) located at 4312 E University Dr, Mesa AZ (the “Property”) on behalf of Cooper Companies. This property will be run as an “annex” to our existing neighboring store at 448 N Greenfield Rd; which since opening, has been an extremely high performing facility. A normal self-storage facility may take anywhere from 2-3 years to reach 90% occupancy, otherwise known as “stabilization.” Greenfield Rd took 7 months to reach stabilization, one of the fastest lease ups in our company’s history. It continues to show very strong demand for storage as it is 99.2% occupied with only 9 units out of 610 available to rent. It is Extra Space’s view that this Mesa submarket has additional need for storage, and we look forward to partnering with Cooper Companies in meeting this need.

If you have any questions about this letter, please reach out to Dylan Taylor at 801-365-4907 or by e-mail at dylan.taylor@extraspaces.com.

Sincerely,

A handwritten signature in blue ink, appearing to read "Dylan Taylor".

Dylan Taylor
Director, Third Party Management
Extra Space Storage



LANDSCAPE LEGEND

- CERCIDIUM 'HYBRID'
DESERT MUSEUM PALO VERDE
36" BOX
 - ACACIA SALICINA
WILLOW ACACIA
24" BOX
 - ACACIA STENOPHYLLA
SHOESTRING ACACIA
36" BOX
 - CERCIDIUM FLORIDUM
BLUE PALO VERDE
36" BOX
 - PROSOPIS 'RIO-SALADO'
HYBRID THORNLESS MESQUITE
24" BOX
 - SOPHORA SECUNDFLORA
TEXAS MOUNTAIN LAUREL
36" BOX
 - TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
 - CAESALPINIA MEXICANA
MEXICAN BIRD OF PARADISE
5 GALLON
 - EREMOPHILA MACULATA
VALENTINE EMU BUSH
5 GALLON
 - LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON
 - HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
 - HESPERALOE PARVIFLORA
YELLOW YUCCA
5 GALLON
 - ACACIA REDOLENS
'DESERT CARPET' tm
5 GALLON
 - EREMOPHILA GLABRA
'MINGENEW GOLD'
5 GALLON
 - LANTANA MONTEVIDENSIS
'GOLD MOUND'
5 GALLON
 - LANTANA MONTEVIDENSIS
TRAILING PURPLE
5 GALLON
 - CONVIVULUS CNEORUM
BUSH MORNING GLORY
5 GALLON
- 1/2" SCREENED ROCK PROS MAHOGANY
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

SITE DATA

PARCEL NUMBER:	140-14-003M
EXISTING ZONING:	LC (MINI-STORAGE WITH CUP)
GROSS SITE AREA:	4.40 ACRES(191,833 S.F.)
NET SITE AREA:	4.02 ACRES (175,259 S.F.)
MAX. HEIGHT:	30'-0"
MAX F.A.R.:	-

PROPOSED USE: RETAIL / RESTAURANT / STORAGE

BUILDING AREA:	
PAD-A: RESTAURANT WITH D/T	1,800 S.F.
PAD-B: RETAIL	3,207 S.F.
PAD-B: RESTAURANT WITH D/T	1,800 S.F.
PAD-C: MINI STORAGE	101,835 S.F.

TOTAL AREA: 108,642 S.F.

PARKING REQUIRED:	
RESTAURANT WITH DT: 1PER 100 S.F.	36 SPACES
RESTAURANT PATIO: 1 PER 200 S.F.	2 SPACES
RETAIL - 1 PER 375 S.F.	9 SPACES
MINI STORAGE - 4 SPACES	4 SPACES

TOTAL PARKING REQUIRED: 51 SPACES

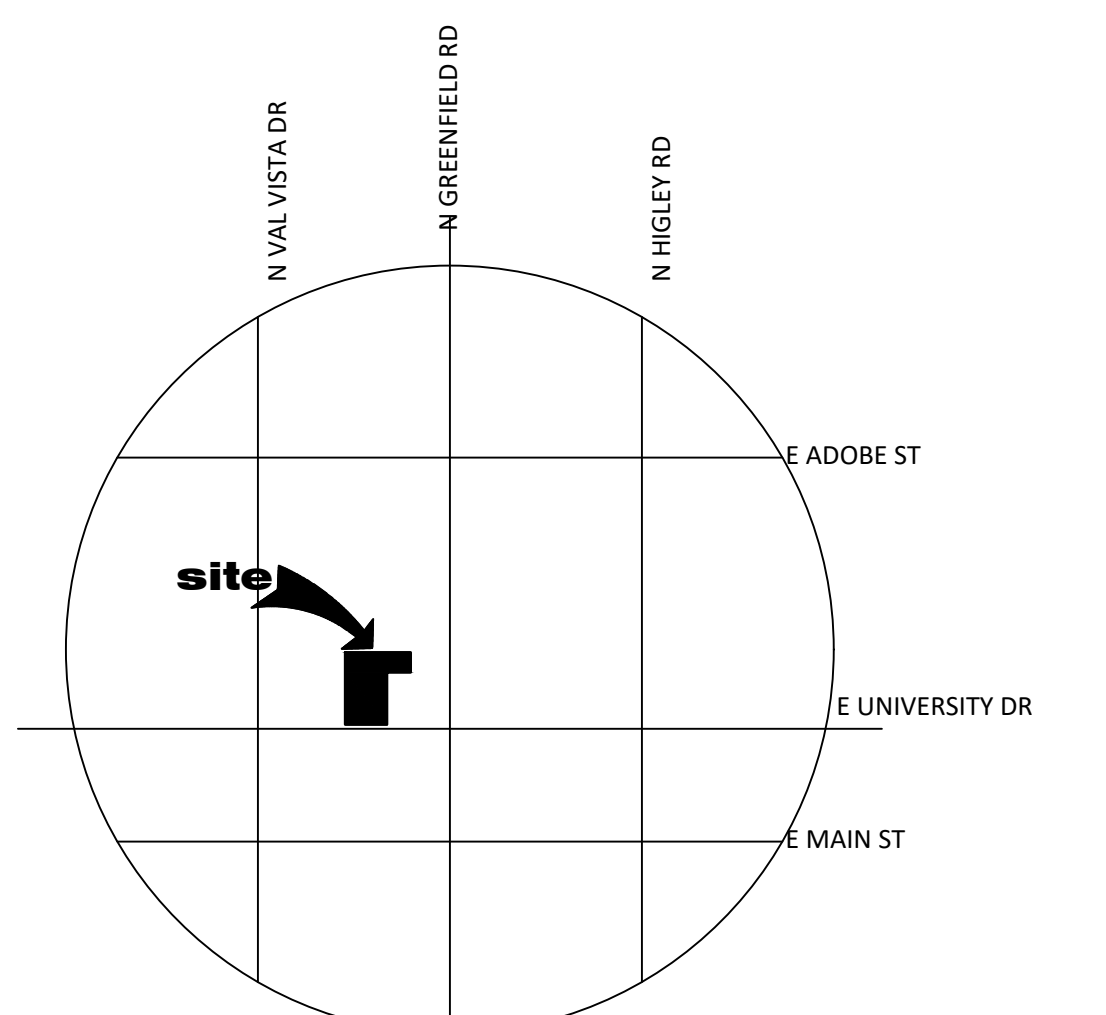
TOTAL PARKING PROVIDED: 52 SPACES

ACCESSIBLE SPACES REQUIRED:	03 SPACES
ACCESSIBLE SPACES PROVIDED:	05 SPACES

LANDSCAPE DATA

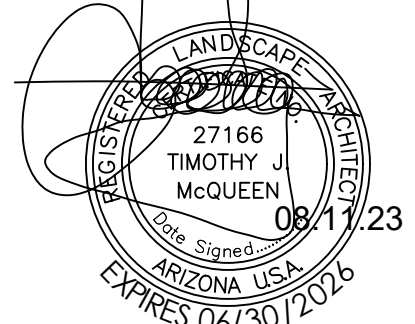
LANDSCAPE AREA:	49,935 S.F.
PERCENT LANDSCAPE:	28%

- UNIVERSITY DRIVE**
PROPERTY LINE = 252'
10 TREES REQUIRED
10 TREES PROVIDED (ALL 24" BOX OR LARGER)
60 SHRUBS REQUIRED
88 SHRUBS PROVIDED
- WEST PROPERTY LINE**
PROPERTY LINE = 568'
23 TREES REQUIRED
23 TREES PROVIDED (ALL 24" BOX OR LARGER)
92 SHRUBS REQUIRED
115 SHRUBS PROVIDED
- NORTH PROPERTY LINE**
PROPERTY LINE = 370'
15 TREES REQUIRED
15 TREES PROVIDED (ALL 24" BOX OR LARGER)
60 SHRUBS REQUIRED
33 SHRUBS PROVIDED
- EAST PROPERTY LINE**
PROPERTY LINE = 568'
23 TREES REQUIRED
23 TREES PROVIDED (ALL 24" BOX OR LARGER)
92 SHRUBS REQUIRED
115 SHRUBS PROVIDED

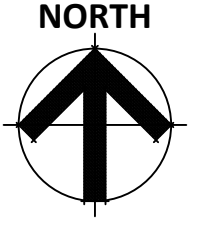


VICINITY MAP
SCALE: N.T.S.

T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602)265-0320
EMAIL: timmcqueen@tjmla.net



LANDSCAPE PLAN
SCALE: 1" = 30'-0"



UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA ARIZONA 85205
DATE: 08.11.23 (PRELIMINARY)

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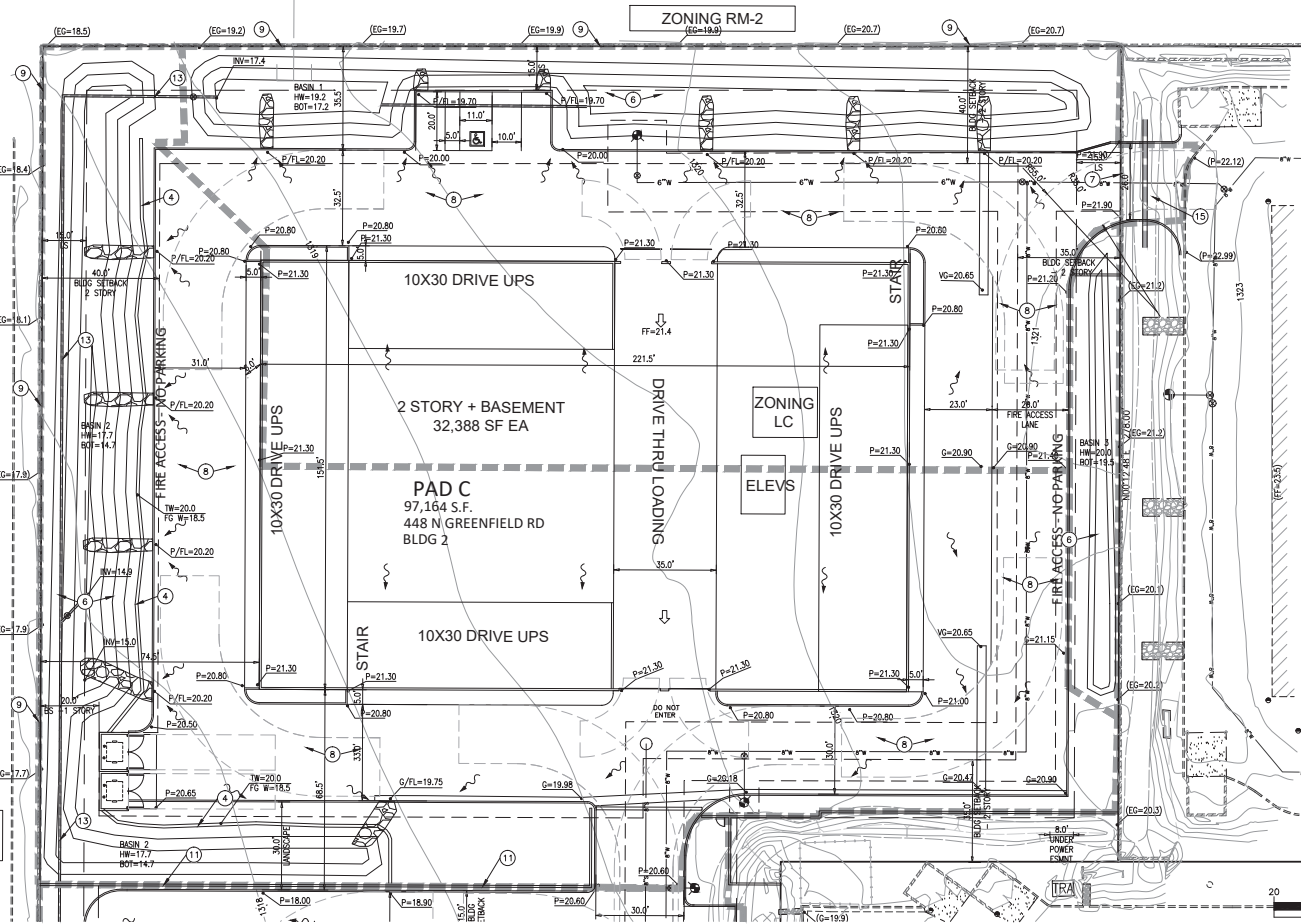
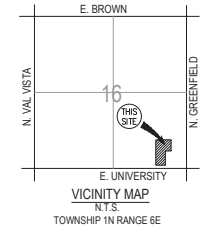


PRELIMINARY GRADING PLAN

NWC Greenfield / University
4312 E. University Dr
Mesa, Arizona 85206

A PORTION OF THE SOUTHEAST QUARTER
 OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 6 EAST,
 OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
 MARICOPA COUNTY, ARIZONA.

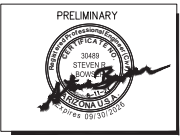
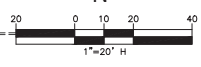
FEMA CLASSIFICATION: ZONE X (SHADED); 04013C2290L (10-16-13)
 NET LAND AREA: 4.03 ACRES
 APN 140-14-003M



KEYED NOTES

1. NEW MESA M-42 DRIVEWAY
2. CONSTRUCT RETAINING WALL
3. CONSTRUCT NEW DRYWELL
4. CONSTRUCT RETAINING WALL
5. EXISTING BASIN TO REMAIN
6. CONSTRUCT NEW BASIN
7. REMOVE FENCE FOR NEW CROSS ACCESS DRIVE
8. CONSTRUCT NEW ONSITE PAVEMENT
9. EXISTING WALL TO REMAIN
10. CONSTRUCT ONSITE STORM DRAIN
11. CONSTRUCT SITE WALL
12. CONSTRUCT GRAVITY BLEED LINE IN RIGHT OF WAY TO EXISTING INLET
13. CONSTRUCT 8" ONSITE BLEED LINE
14. CONSTRUCT SMALL PUMP SYSTEM TO BLEED OFF UNDERGROUND RETENTION
15. FINAL GRADING PLAN TO ADJUST GRADING ON EXISTING SITE TO MAINTAIN SAME VOLUMES (CROSS ACCESS AREA VOLUME REMOVED TO BE EQUAL TO EXPANSION IN SAME BASIN).

MATCH LINE - SEE SHEET GD-2



Helix Engineering, LLC
 Engineering / Surveying / Consulting
 3240 E Union Hills
 Suite 113
 Phoenix AZ 85050
 602-788-2616
 www.hxeng.com

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TWO WORKING DAYS BEFORE YOU DR. CALL FOR THE BLUE STAKES
 1-800-782-5348
 BLUE STAKE CENTER

RELEASE DATE	DR
10-20-20	DR CONCEPTS
10-3-22	PRELIM GD
12-21-22	REVISED SITE PLAN
3-17-23	REVISED SITE PLAN
4-7-23	REVISED SITE PLAN
7-14-23	REVISED SITE PLAN
7-20-23	REVISED SITE PLAN
8-11-23	REVISED SITE PLAN

NO.	DATE	DESCRIPTION

PROJECT NAME: _____

PROJECT ADDRESS: _____

University / Greenfield
 Mesa, ARIZONA
 85205

PROJECT AREA: _____

HELIX JOB NUMBER: 506

IN HOUSE:

DRAWN BY: MT

CHECKED BY: SB

SHEET TITLE: _____

PRELIM GD PLAN

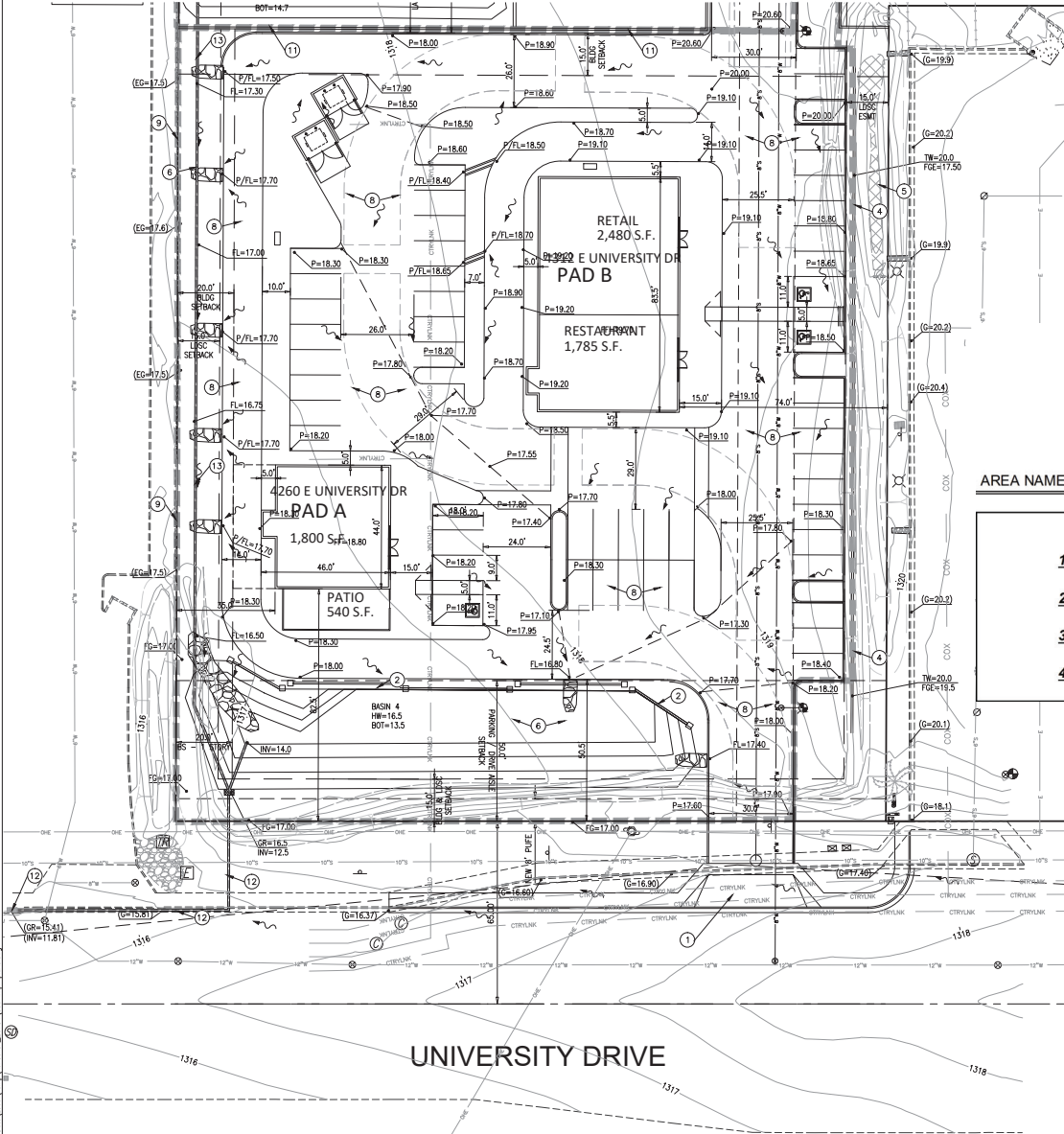
SHEET: **GD-1** PAGE: **1 OF 2**

PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"

Aug 11, 2023 - 3:24pm
 C:\Users\Steve.Barnes\MyDocuments\Projects\4312\4312_Prelim_GD05.dwg - Steve.Barnes

ZON24-0719 - DR023-20138

MATCH LINE - SEE SHEET GD-1



KEY NOTES

1. NEW MESA M-42 DRIVEWAY
2. CONSTRUCT RETAINING WALL
3. CONSTRUCT NEW DRYWELL
4. CONSTRUCT RETAINING WALL
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100 Year 2 hr depth 2.2 INCHES
 0.183333
 Overage required 0%

AREA NAME	SF AREA	LF UG reten	C FACTOR	DEPTH	OVER AGE REQD	VOL REQUIRED	VOL PROVIDED	excess
1	42,780		0.9	0.183333	100%	7,059	8,078	1,019
2	56,674		0.9	0.183333	100%	9,351	9,637	286
3	2,665		0.50	0.183333	100%	244	412	167
4	66,888		0.9	0.183333	100%	11,037	12,437	1,401



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TWO WORKING DAYS BEFORE YOU DR. CALL FOR THE BLUE STAKES 1-800-782-5348 BLUE STAKE CENTER

DATE	DR CONCEPTS
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3-17-23	REVISED SITE PLAN
4-7-23	REVISED SITE PLAN
7-14-23	REVISED SITE PLAN
7-20-23	REVISED SITE PLAN
8-11-23	REVISED SITE PLAN

NO.	DATE	DESCRIPTION

PROJECT NAME
 PROJECT ADDRESS
 University / Greenfield Mesa, ARIZONA 85205
 PROJECT AREA

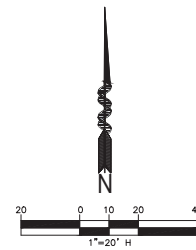
HELIX JOB NUMBER 506
 IN HOUSE
 DRAWN BY: MT
 CHECKED BY: SB

SHEET TITLE

PRELIM GD PLAN

SHEET GD-2 PAGE 2 OF 2

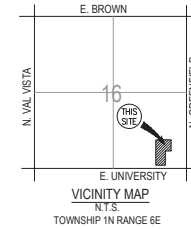
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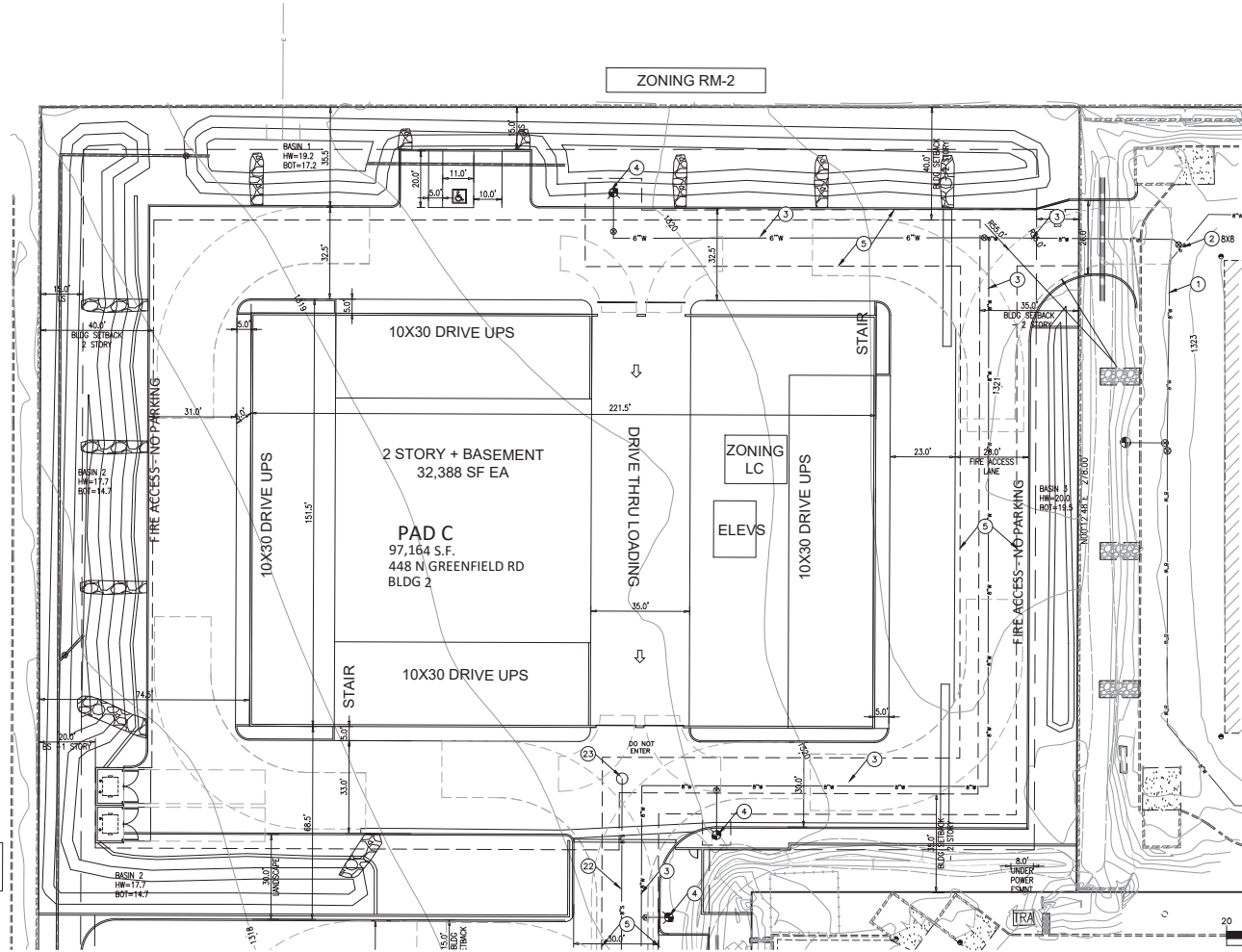
PRELIMINARY UTILITY PLAN

NWC Greenfield / University
4312 E. University Dr
Mesa, Arizona 85206

A PORTION OF THE SOUTEAST QUARTER
 OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 6 EAST,
 OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
 MARICOPA COUNTY, ARIZONA.



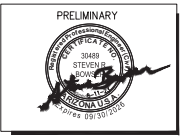
ZONING RM-2



KEYED NOTES

1. EXISTING PUBLIC WATER
2. CONSTRUCT 15&M PER MAG STD DET 340 AND VALVE PER MAG STD DET 391-1 TYPE A
3. CONSTRUCT DIP CL 350 WATER MAIN
4. CONSTRUCT HYDRANT
5. 20" PUBLIC WATER/SEWER ESMT BY SEP INSTRUMENT
20. EXISTING PUBLIC SEWER
21. CONSTRUCT NEW SEWER MANHOLE ON EXISTING MAIN
22. CONSTRUCT 8" PUBLIC SEWER SDR35
23. CONSTRUCT NEW SEWER MANHOLE

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 Phoenix AZ 85050
 602-788-2616
 www.hxeng.com

TWO WORKING DAYS BEFORE YOU DR.
 CALL FOR THE BLUE STAKES
 1-800-782-5348
 BLUE STAKE CENTER

RELEASE DATE	DR
10-20-20	DR CONCEPTS
10-3-22	PRELIM GD
12-21-22	REVISED SITE PLAN
3-17-23	REVISED SITE PLAN
4-7-23	REVISED SITE PLAN
7-14-23	REVISED SITE PLAN
7-20-23	REVISED SITE PLAN
8-11-23	REVISED SITE PLAN

NO.	DATE	DESCRIPTION

PROJECT NAME

PROJECT ADDRESS

University / Greenfield
 Mesa, ARIZONA
 85205

PROJECT AREA

HELIX JOB NUMBER

506

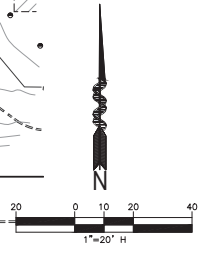
SHEET TITLE

PRELIM UTIL PLAN

SHEET PAGE

UT-1 1 OF 2

PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"



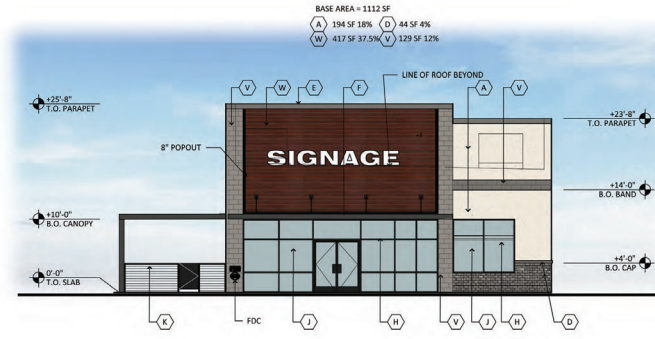
MATCH LINE - SEE SHEET UT-2

Aug 11, 2023 - 3:24pm
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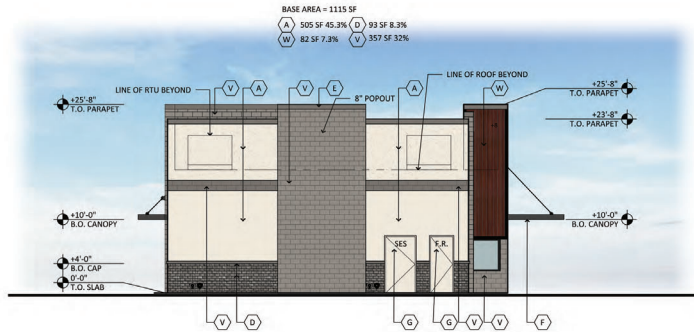
ZONING-0103 - 08/23/2023



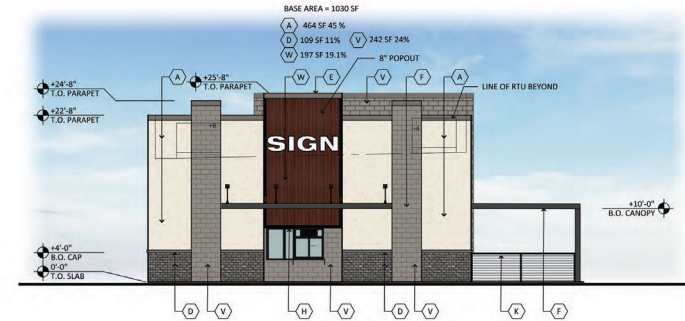
1 PAD A - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



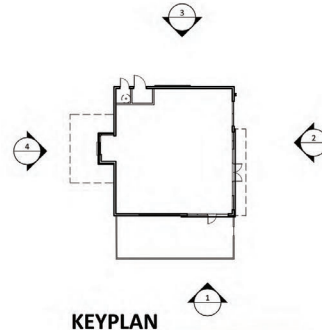
2 PAD A - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



3 PAD A - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



4 PAD A - WEST ELEVATION
 SCALE: 1/8" = 1'-0"



KEYPLAN

MATERIALS

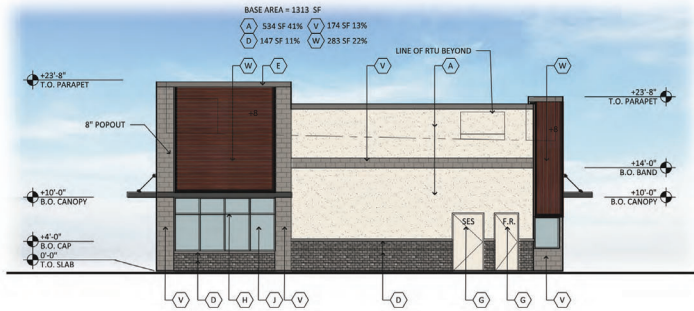
- A: STUCCO
 PAINT - SW7012 "CREAMY"
 SMOOTH FINISH
- B: STUCCO
 PAINT - SW7019 "GUANTLET GRAY"
 SMOOTH FINISH
- C: STUCCO
 PAINT - SW7018 "DOVETAIL"
 SMOOTH FINISH
- D: BRICK VENEER AND CAP
 KONI BRICK
 GREY
- E: METAL GALVANIZED PARAPET CAP
 PAINT - SW7069 "IRON ORE"
- F: STEEL CANOPY & COLUMN
 PAINT - SW7069 "IRON ORE"
- G: PAINTED CMU
 PAINT - SW7012 "CREAMY"
- H: ALUMINUM STOREFRONT
 BLACK ANODIZED
- J: SOLARBAN 60 GLAZING
- K: PRE-FAB METAL PATIO FENCE &
 RAILING
 PAINT - SW7069 "IRON ORE"
- M: METAL ROLL-UP DOORS
 JANUS EXTERIOR
 FINISH - EXR WASABI
- N: HOLLOW METAL DOORS
 PAINT - SW7019 "GUANTLET GRAY"
- P: METAL GALVANIZED PARAPET CAP
 PRE-FINISHED TO MATCH - SW7019 "GUANTLET"
- S: STUCCO
 PAINT - SW7067 "CITYSCAPE"
 SMOOTH FINISH
- V: CMU
 PAINT - SW7018 "DOVETAIL"
- W: HORIZONTAL AND VERTICAL METAL PANEL
 MFG: FASTPLANK
 WOODGRAIN COLOR:
 DARK WALNUT
 TRIM COLOR: BLACK



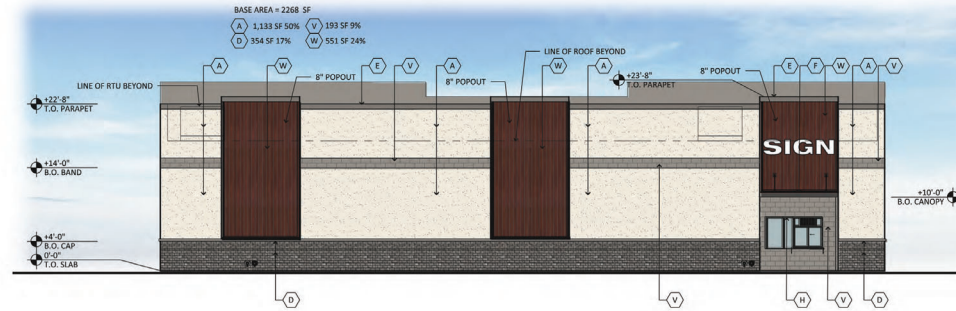
1 PAD B - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



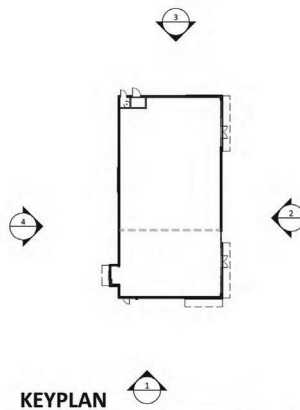
2 PAD B - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 PAD B - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 PAD B - WEST ELEVATION
SCALE: 1/8" = 1'-0"



KEYPLAN

UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 07-17-2023 (PRELIMINARY)

EL-2
PAD B

RKAA# 19066.00

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MATERIALS

A: STUCCO
PAINT - SW7012 "CREAMY"
SMOOTH FINISH

B: STUCCO
PAINT - SW7019 "GUANTLET GRAY"
SMOOTH FINISH

C: STUCCO
PAINT - SW7018 "DOVETAIL"
SMOOTH FINISH

D: BRICK VENEER AND CAP
KONI BRICK
GREY

E: METAL GALVANIZED PARAPET CAP
PAINT - SW7069 "IRON ORE"

F: STEEL CANOPY & COLUMN
PAINT - SW7069 "IRON ORE"

G: PAINTED CMU
PAINT - SW7012 "CREAMY"

H: ALUMINUM STOREFRONT
BLACK ANODIZED

J: SOLARBAN 60 GLAZING

K: PRE-FAB METAL PATIO FENCE &
RAILING
PAINT - SW7069 "IRON ORE"

L: CMU
PAINT - SW7689 "ROW HOUSE TAN"
SMOOTH FACE

M: METAL ROLL-UP DOORS
JANUS EXTERIOR
FINISH - EXR WASABI

N: HOLLOW METAL DOORS
PAINT - SW7019 "GUANTLET GRAY"

P: METAL GALVANIZED PARAPET CAP
PRE-FINISHED TO MATCH - SW7019 "GUANTLET"

R: STUCCO
PAINT - SW7063 "NEBULOUS WHITE"
SMOOTH FINISH

S: STUCCO
PAINT - SW7067 "CITYSCAPE"
SMOOTH FINISH

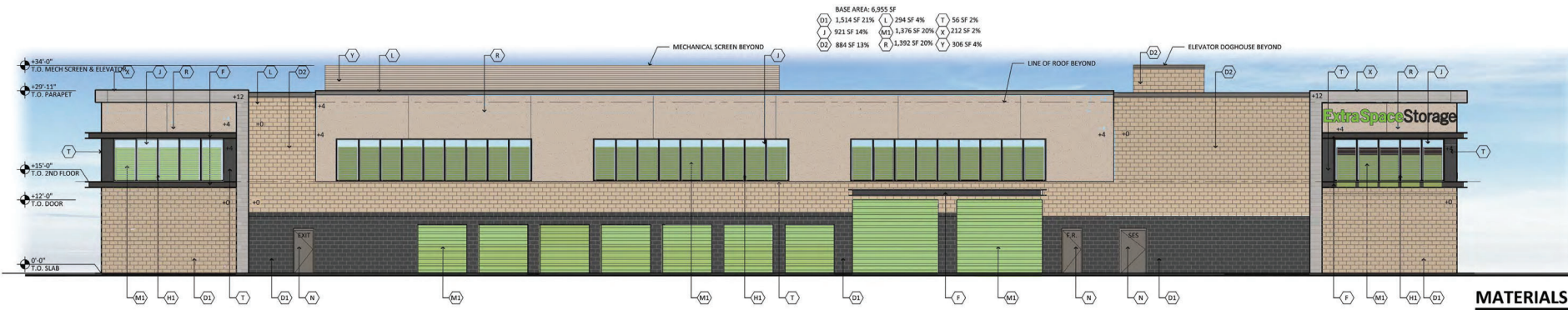
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PAINT - SW7063 "NEBULOUS WHITE"

U: SPLITFACE CMU
PAINT - SW7689 "ROW HOUSE TAN"

V: CMU
PAINT - SW7018 "DOVETAIL"

W: HORIZONTAL AND VERTICAL METAL PANEL
MFG: FASTPLANK
WOODGRAIN COLOR:
DARK WALNUT
TRIM COLOR: BLACK

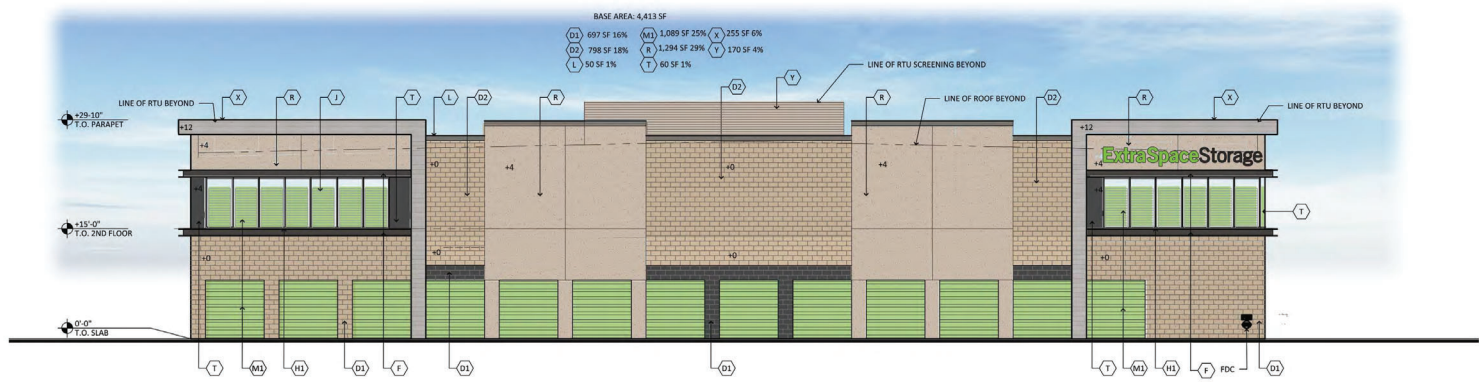
X: METAL PANEL SYSTEM
MFG: FASTPLANK
COLOR: CADET GRAY



1 PAD C - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS

- D1: SPLIT-FACE CMU SUPERLITE BLOCK BLACK
- F: STEEL CANOPY & COLUMN PAINT - SW7069 "IRON ORE"
- H1: DARK BRONZE ALUMINUM STOREFRONT
- J: SOLARBAN 60 GLAZING
- D2: SMOOTH FACE CMU SUPERLITE BLOCK BONE
- M1: METAL ROLL-UP DOORS JANUS OR E.Q. STORAGE DOOR WASABI GREEN
- N: HOLLOW METAL DOORS PAINT - SW7019 "GUANTLET GRAY"
- L: METAL GALVANIZED PARAPET CAP PAINT - SW7069 "IRON ORE"
- R: SAND FINISH STUCCO DUNN EDWARDS DEC766 'STEVEARENO BEIGE'
- S: STUCCO PAINT - SW7067 "CITYSCAPE" SMOOTH FINISH
- T: UNA CLAD METAL PANEL SYSTEM - CHARCOAL GREY
- X: UNA CLAD METAL PANEL SYSTEM - CITYSCAPE
- Y: ARCHITECTURAL LOUVERS MECHANICAL SCREEN SANDSTONE



2 PAD C - EAST ELEVATION
SCALE: 1/8" = 1'-0"



KEYPLAN

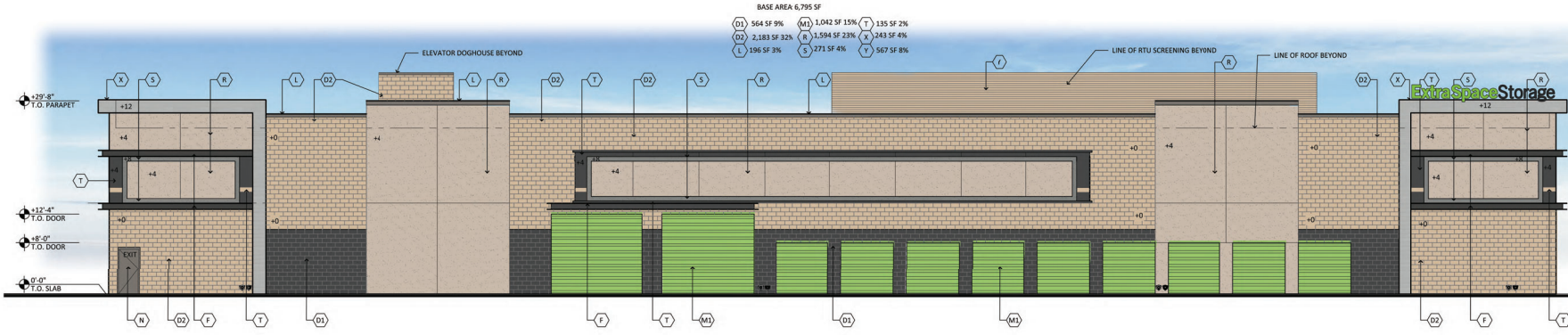
UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 10-16-2023 (PRELIMINARY)

EL-3
PAD C

RKAA# 19066.00

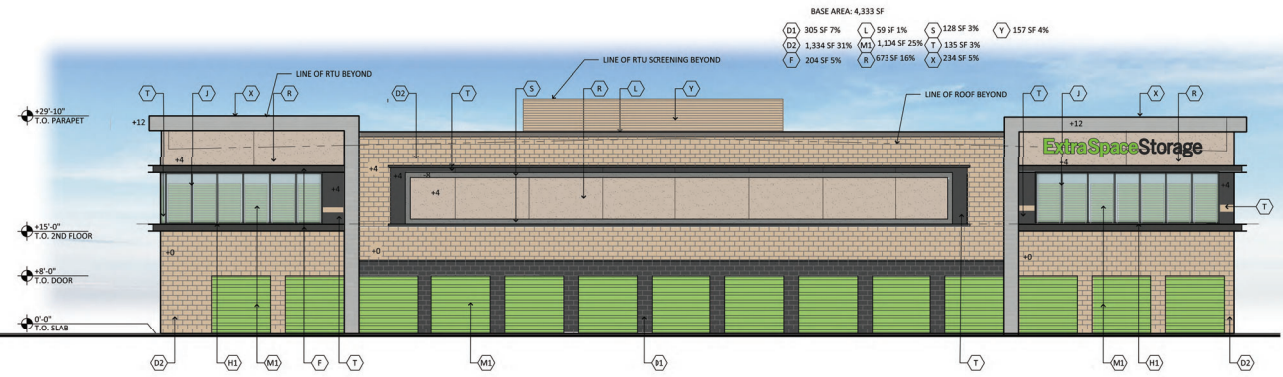
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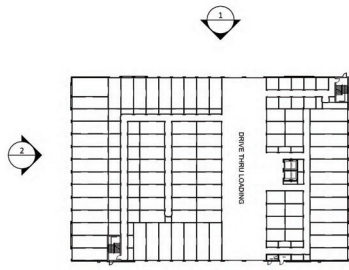


1 PAD C - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

- MATERIALS**
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 - F: STEEL CANOPY & COLUMN PAINT - SW7069 "IRON ORE"
 - H1: DARK BRONZE ALUMINUM STOREFRONT
 - J: SOLARBAN 60 GLAZING
 - D2: SMOOTH FACE CMU SUPERLITE BLOCK BONE
 - M1: METAL ROLL-UP DOORS JANUS OR E.Q. STORAGE DOOR WASABI GREEN
 - N: HOLLOW METAL DOORS PAINT - SW7019 "GUANTLET GRAY"
 - L: METAL GALVANIZED PARAPET CAP PAINT - SW7069 "IRON ORE"
 - R: SAND FINISH STUCCO DUNN EDWARDS DEC766 'STEVEARENO BEIGE'
 - S: STUCCO PAINT - SW7067 "CITYSCAPE" SMOOTH FINISH
 - T: UNA CLAD METAL PANEL SYSTEM - CHARCOAL GREY
 - X: UNA CLAD METAL PANEL SYSTEM - CITYSCAPE
 - Y: ARCHITECTURAL LOUVERS MECHANICAL SANDSTONE



2 PAD C - WEST ELEVATION
SCALE: 1/8" = 1'-0"



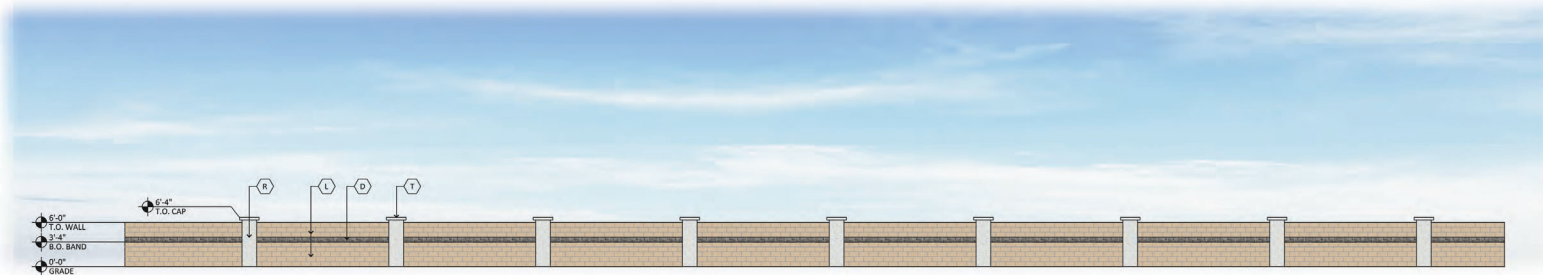
KEYPLAN

UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE:10-16-2023 (PRELIMINARY)



EL-4
PAD C
RKAA# 19066.00

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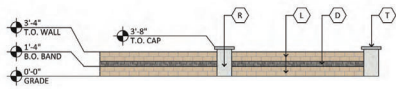


MATERIALS

- A: STUCCO
PAINT - SW7012 "CREAMY"
SMOOTH FINISH
- B: STUCCO
PAINT - SW7019 "GUANTLET GRAY"
SMOOTH FINISH
- C: STUCCO
PAINT - SW7018 "DOVETAIL"
SMOOTH FINISH
- D: BRICK VENEER AND CAP
KONI BRICK
GREY
- E: METAL GALVANIZED PARAPET CAP
PAINT - SW7069 "IRON ORE"
- F: STEEL CANOPY & COLUMN
PAINT - SW7069 "IRON ORE"
- G: PAINTED CMU
PAINT - SW7012 "CREAMY"
- H: ALUMINUM STOREFRONT
BLACK ANODIZED
- J: SOLARBAN 60 GLAZING
- K: PRE-FAB METAL PATIO FENCE &
RAILING
PAINT - SW7069 "IRON ORE"
- L: CMU
PAINT - SW7689 "ROW HOUSE TAN"
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- M: METAL ROLL-UP DOORS
JANUS EXTERIOR
FINISH - EXR WASABI
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PAINT - SW7019 "GUANTLET GRAY"
- P: METAL GALVANIZED PARAPET CAP
PRE-FINISHED TO MATCH - SW7019 "GUANTLET GRAY"
- R: STUCCO
PAINT - SW7063 "NEBULOUS WHITE"
SMOOTH FINISH
- S: STUCCO
PAINT - SW7067 "CITYSCAPE"
SMOOTH FINISH
- T: CONCRETE CAP
PAINT - SW7063 "NEBULOUS WHITE"
- U: SPLITFACE CMU
PAINT - SW7689 "ROW HOUSE TAN"
- V: CMU
PAINT - SW7018 "DOVETAIL"
- W: HORIZONTAL AND VERTICAL METAL PANEL
MFG: FASTPLANK
WOODGRAIN COLOR:
DARK WALNUT
TRIM COLOR: BLACK
- X: METAL PANEL SYSTEM
MFG: FASTPLANK
COLOR: CADET GRAY

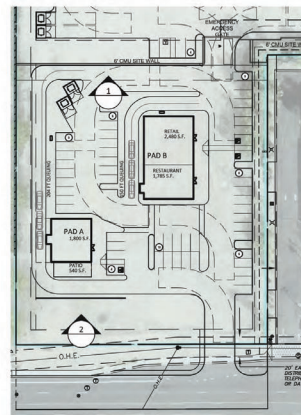
1 TYPICAL SITE WALL ELEVATION

SCALE: 1/8" = 1'-0"



1 TYPICAL SCREEN WALL ELEVATION

SCALE: 1/8" = 1'-0"



KEYPLAN

UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 07-17-2023 (PRELIMINARY)

EL-5
SITE WALL

RKAA# 19066.00

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4312 E. University

Citizen Participation Plan

February 20, 2023

Purpose:

The purpose of this Citizen Participation Plan is to provide the City of Mesa staff with information regarding the efforts to be made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's requests to the City of Mesa for Site Plan Modification, Design Review and Council Use Permit Review. These requests are being made for a proposed development located on 4.023 acres near the NWC of Greenfield Rd and University Dr. in Mesa. The site is further identified as Maricopa County APN 140-14-003M. The proposed project is a redesign of an approved 2006 site plan and intends to provide a Class A climate-controlled self-storage facility and a retail/restaurant component.

By providing opportunities for citizen participation, the Applicant will ensure that those affected by this application have an adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings and any other meetings requested by citizens or Mesa staff.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

Sean B. Lake

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
sean.lake@pewandlake.com

Jon Gillespie

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
jon.gillespie@pewandlake.com

Action Plan:

To provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. The Applicant will use a contact list provided by the City of Mesa for citizens and agencies in this area including interested neighbors (focused on neighbors within 500 or 1,000 feet of the site per Mesa staff's direction) and registered neighborhood associations and Homeowners Associations within 1 mile of the project.

2. The applicant will meet with any interested neighbors and may hold a neighborhood meeting if necessary. Presentations can be made to groups of citizens upon request.
3. For public hearing notice, the applicant will post a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Projected Schedule:

Pre-Application Conference (PRS22-00457)	May 12, 2022
Formal Submittal to City	February 20, 2023
Follow-Up Submittal	TBD
Submittal of Citizen Participation Report and Notification materials	TBD
Design Review Board Meeting	TBD
Planning & Zoning Public Hearing	TBD
City Council Public Hearings	TBD

4312 E. University

Citizen Participation Report

August 18, 2023

Purpose:

The purpose of this Citizen Participation Report is to provide the City of Mesa staff with information regarding the efforts made by the Applicant to inform citizens and property owners in the vicinity concerning the Applicant's requests to the City of Mesa for Site Plan Modification, Design Review and Council Use Permit Review. These requests are being made for a proposed development located on 4.023 acres near the NWC of Greenfield Rd and University Dr. in Mesa. The site is further identified as Maricopa County APN 140-14-003M. The proposed project is a redesign of an approved 2006 site plan and intends to provide a Class A climate-controlled self-storage facility and a retail/restaurant component.

By providing opportunities for citizen participation, the Applicant will ensure that those affected by this application have an adequate opportunity to learn about and comment on the proposed plan. The Applicant will provide neighborhood notice for future public hearings and any other meetings requested by citizens or Mesa staff.

Contact Information:

Those coordinating the Citizen Participation activities are listed as follows:

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sean.lake@pewandlake.com

Jon Gillespie

Pew & Lake, P.L.C.
1744 S. Val Vista Drive, Ste. 217
Mesa, Arizona 85204
(480) 461-4670 (office)
(480) 461-4676 (fax)
jon.gillespie@pewandlake.com

Actions Taken:

To provide effective citizen participation in conjunction with this application, the following actions were taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have relating to the proposed development:

1. The Applicant mailed a neighborhood meeting notice letter to the contact list provided by the City of Mesa for citizens and agencies in this area including interested neighbors (focused on neighbors within 1,000 feet of the site per Mesa staff's direction) and registered neighborhood associations and Homeowners Associations within 1 mile of the project.

2. The applicant held a neighborhood meeting on July 20, 2023 with no neighbors attending.
3. Three neighbors called or emailed Pew & Lake prior to the meeting and asked general questions about the project. A summary of those interactions is attached.
4. For public hearing notice, the applicant will post a minimum of one (1) 4' x 4' sign(s) on the property. If additional signs are needed, the number of signs will be coordinated with Planning Staff. The sign(s) will be placed on the property on or before the Wednesday two weeks prior to the Planning & Zoning Board meeting in accordance with City requirements. A notarized document with attached photograph of the sign(s) will be submitted to the Planning Staff to be kept in the case file.

Comment Resolution

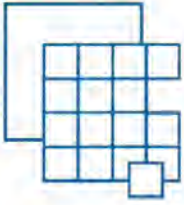
No concerns were expressed by neighbors. Information about the project was provided as requested.

Projected Schedule:

Pre-Application Conference (PRS22-00457)	May 12, 2022
Formal Submittal to City	February 20, 2023
Submittal of Citizen Participation Report and Notification materials	August 18, 2023
Design Review Board Meeting	September 12, 2023
Planning & Zoning Public Hearing	September 13, 2023
City Council Public Hearings	October 2 & 16, 2023

Exhibits

1. Notice Letter for Neighborhood Meeting
2. Mailing List for notice to Property Owners within 1,000 feet of the site and registered neighborhood associations and Homeowners Associations within 1 mile of the project
3. 1000' Notice Map
4. Neighborhood Meeting Summary
5. 500' Mailing List for Public Hearing
6. 500' Notice Map for Public Hearing



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

July 6, 2023

NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor,

Pew and Lake, PLC, on behalf of our client, Cooper Companies, is pleased to invite you to a neighborhood meeting regarding a proposed commercial development to be located along University Avenue in Mesa. The development project is for the vacant approximately 4 acres located between the rear of the existing ExtraSpace self-storage facility and University Avenue. The land is also identified as Maricopa County Assessor Parcel Number 140-14-003M.

Proposed is a two-story self-storage facility to be located behind the existing two-story ExtraSpace building with separate one-story retail and restaurant buildings proposed along University Avenue. We have included with this letter the proposed site plan and building elevations.

This proposal requests that the City of Mesa provide Site Plan and Design Review approval for the proposed site plan and building elevations. A Council Use Permit is also being requested to allow the mini-storage use in the existing Limited Commercial zoning district.

This neighborhood meeting has been scheduled to give interested property owners in this area an opportunity to learn more about the proposed project and provide their comments. This notice is being sent to property owners within 1000' of the development site. If you are aware of other individuals interested in this project, please share this information with them. The details of the meeting are as follows:

Date:	July 20, 2023
Time:	6:00 p.m.
Location:	ZOOM Online Virtual Meeting
	(Link: https://us06web.zoom.us/j/86575654392)

If you wish to participate, please call our office at 480-461-4670 or send an email request to jon.gillespie@pewandlake.com no later than 5:00 p.m. on the day of the meeting and you will be provided with a convenient link to access the meeting via the internet and/or telephone. The link to access the virtual meeting is also available here: <https://us06web.zoom.us/j/86575654392>.

If you have any questions regarding this matter prior to the neighborhood meeting, please contact me or Sean Lake at our office at (480) 461-4670 or jon.gillespie@pewandlake.com. The City of Mesa Planning Division has assigned this case to Mr. Sean Pesek, who can also be reached at (480) 644-6716 or Sean.Pesek@MesaAZ.gov. Please let any of us know if you have questions or concerns regarding this proposed project. Your input will be part of the public record for this case and provided to the Planning and Zoning Board and City Council as part of the public record for this project.

Sincerely,

Jon Gillespie
PEW & LAKE, PLC

PROJECT DIRECTORY

ARCHITECT:
 RKA ARCHITECTS, INC.
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: NEIL FEASER
 PHONE: (602) 955-0900
 FAX: (602) 955-0909
 E-MAIL: nfeaser@rkaa.com

SITE DATA

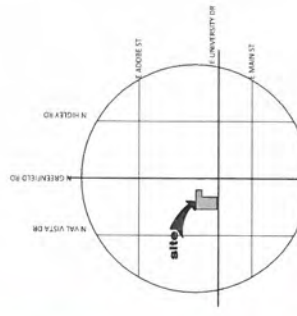
PARCEL NUMBER: 140-14-003A
 EXISTING ZONING: LC (MINI-STORAGE WITH CUP)
 GROSS SITE AREA: 4.40 ACRES (191,833 S.F.)
 NET SITE AREA: 4.02 ACRES (175,259 S.F.)
 MAX. HEIGHT: 30'-0"

PROPOSED USE: RETAIL / RESTAURANT / STORAGE

BUILDING AREA:
 PAD-A: RESTAURANT WITH D/T 1,800 S.F.
 PAD-A: PATIO 540 S.F.
 PAD-B: RESTAURANT WITH D/T 2,480 S.F.
 PAD-B: MINI STORAGE 101,835 S.F.
 PAD-C: MINI STORAGE 108,440 S.F.

PARKING REQUIRED:
 RESTAURANT WITH LOT: 1 PER 100 S.F.
 RESTAURANT PATIO: 1 PER 200 S.F.
 RETAIL - 1 PER 375 S.F.
 MINI STORAGE - 4 SPACES
 TOTAL PARKING REQUIRED: 57 SPACES
 TOTAL PARKING PROVIDED: 57 SPACES
 (4 AT STORAGE)

ACCESSIBLE SPACES REQUIRED:
 ACCESSIBLE SPACES PROVIDED:



VICINITY MAP

SCALE: N.T.S.



RKAA

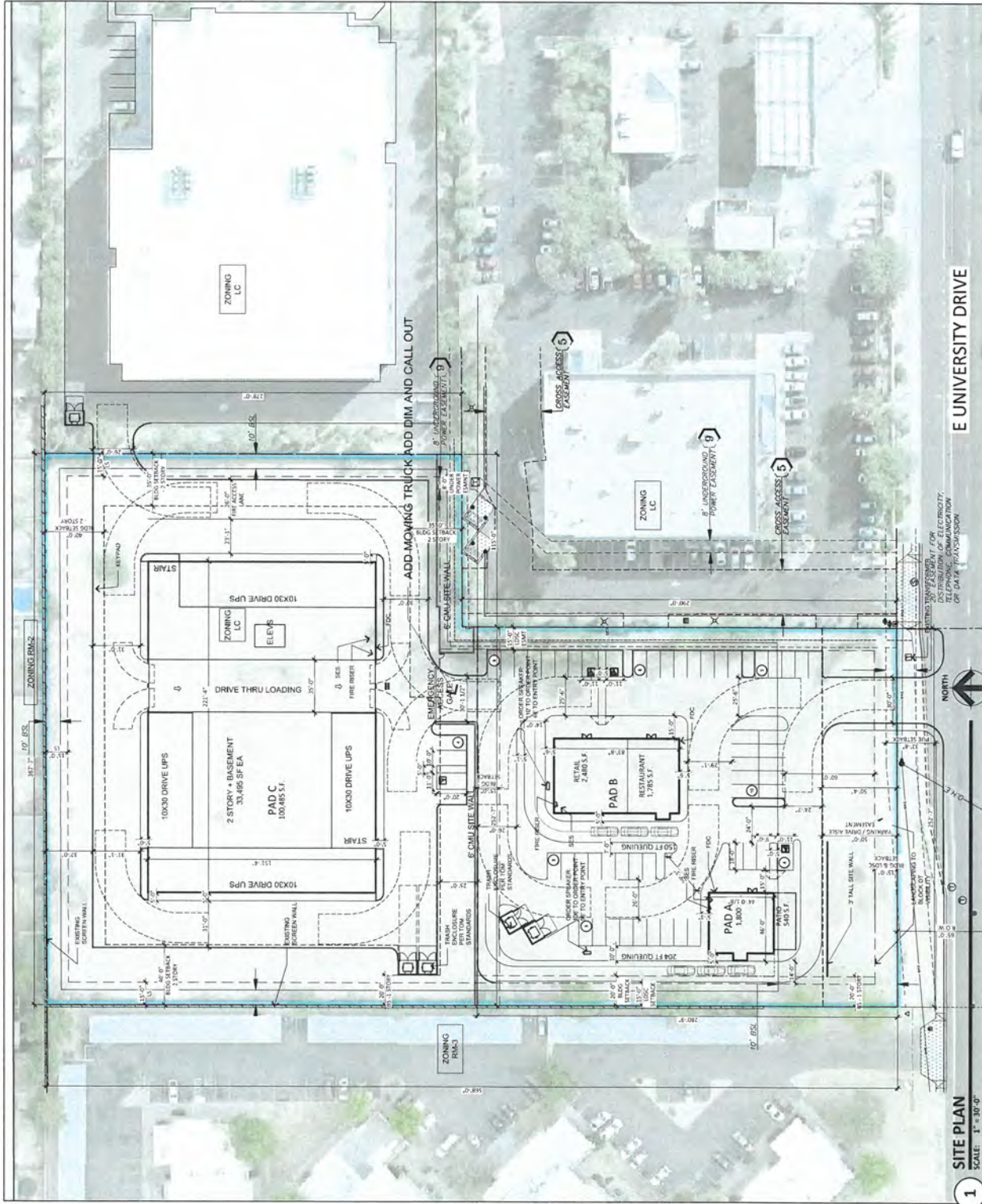
SP-1

RKA# 19066.00

UNIVERSITY MULTI-USE

4312 E UNIVERSITY DRIVE
 MESA, ARIZONA 85205

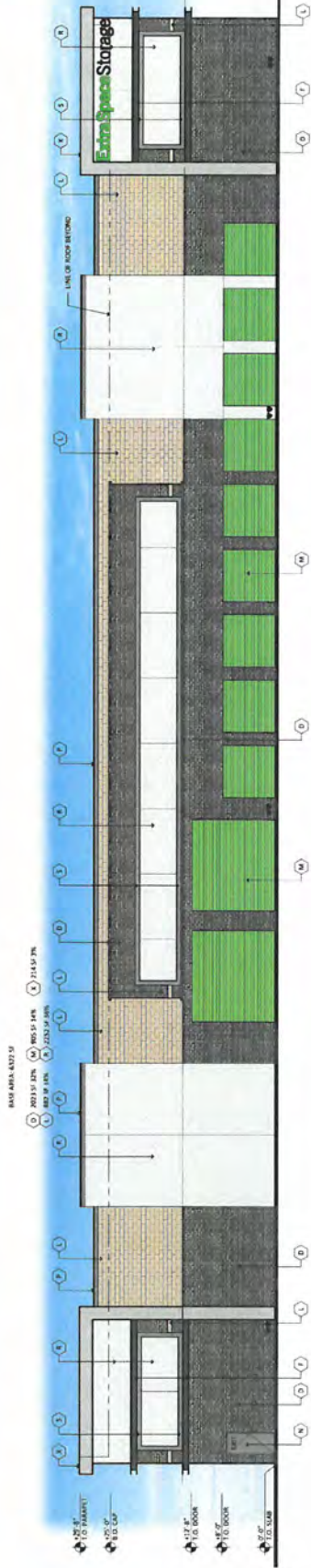
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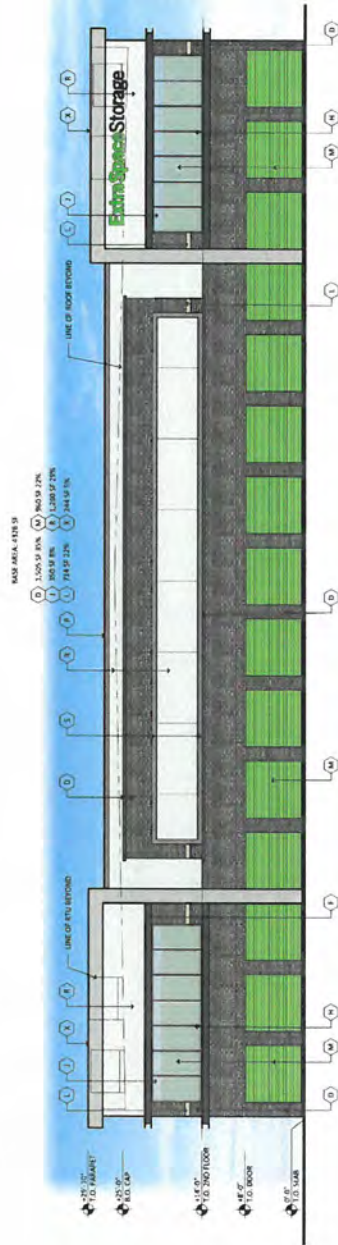
1 SITE PLAN

SCALE: 1" = 30'-0"

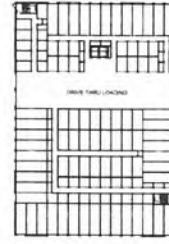
THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE BEING APPROXIMATED. THIS DRAWING IS TO BE USED ONLY FOR INFORMATIONAL PURPOSES AND IS NOT TO BE USED FOR ANY LEGAL OR FINANCIAL DECISIONS.



1 PAD C - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PAD C - WEST ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN

UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 07-05-2023 (PRELIMINARY)



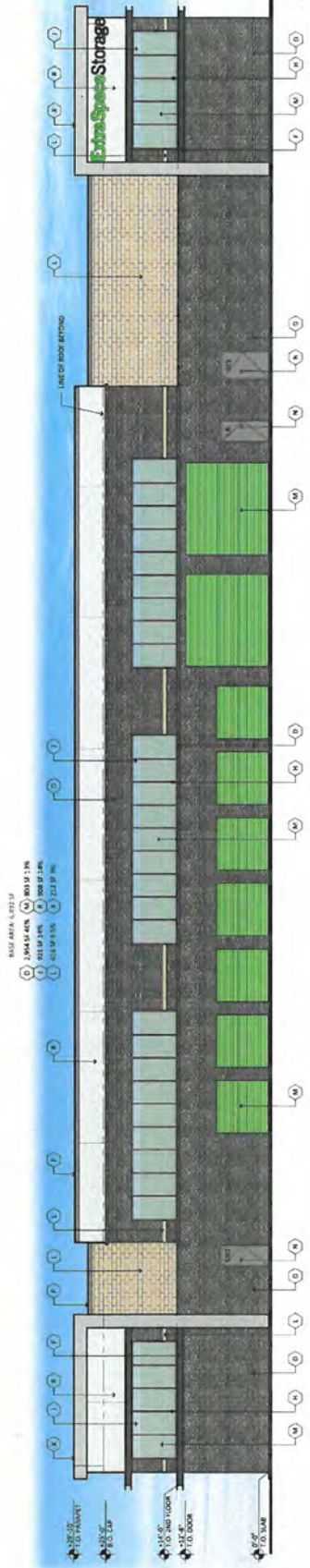
UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 07-05-2023 (PRELIMINARY)

EL-4
PAD C

RKAA# 19066.00

MATERIALS

- D: BRICK VENEER AND CAP
KONI BRICK
GREY
- E: METAL GALVANIZED PARAPET CAP
PAINT - SW7069 "IRON ORE"
- F: STEEL CANOPY & COLUMN
PAINT - SW7069 "IRON ORE"
- G: PAINTED CMU
PAINT - SW7012 "CREAMY"
- H: ALUMINUM STOREFRONT
BLACK ANODIZED
- J: SOLARBAN 60 GLAZING
- K: PRE-FAB METAL PATIO FENCE &
RAILING
PAINT - SW7069 "IRON ORE"
- L: CMU
PAINT - SW7689 "ROW HOUSE TAN"
SMOOTH FACE
- M: METAL ROLL UP DOORS
JANUS EXTERIOR
FINISH - EXR WASABI
- N: HOLLOW METAL DDORS
PAINT - SW7019 "GUANTLET GRAY"
- P: METAL GALVANIZED PARAPET CAP
PRE-FINISHED TO MATCH - SW7019 "GUANT
LET GRAY"
- R: STUCCO
PAINT - SW7063 "NEBULOUS WHITE"
SMOOTH FINISH
- S: STUCCO
PAINT - SW7067 "CITYSCAPE"
SMOOTH FINISH
- T: CONCRETE CAP
PAINT - SW7063 "NEBULOUS WHITE"
- U: SPLITFACE CMU
PAINT - SW7689 "ROW HOUSE TAN"
- V: CMU
PAINT - SW7018 "DOVETAIL"
- W: HORIZONTAL AND VERTICAL METAL PAN
MFG: EASTPLANK
WOODGRAIN COLOR:
DARK WALNUT
TRIM COLOR: BLACK
- X: METAL PANEL SYSTEM
MFG: EASTPLANK
COLOR: CADET GRAY



1 PAD C - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

D: BRICK VENEER AND CAP
IRON BRICK
GREY

E: METAL GALVANIZED PARAPET CAP
PAINT - SW7069 "IRON ORE"

F: STEEL CANOPY & COLUMN
PAINT - SW7069 "IRON ORE"

G: PAINTED CMU
PAINT - SW7012 "CREAMY"

H: ALUMINUM STOREFRONT
BLACK ANODIZED

I: SOLARBAN 60 GLAZING

K: PRE-FAB METAL PATIO FENCE &
RAILING
PAINT - SW7069 "IRON ORE"

L: CMU
PAINT - SW7689 "ROW HOUSE TAN"
SMOOTH FACE

M: METAL ROLL-UP DOORS
JANUS EXTERIOR
FINISH - EAR WASHABI

N: HOLLOW METAL DOORS
PAINT - SW7019 "GUANTLET GRAY"

P: METAL GALVANIZED PARAPET CAP
PRE-FINISHED TO MATCH - SW7019 "GUANTLET GRAY"

R: STUCCO
PAINT - SW7063 "NEBULOUS WHITE"
SMOOTH FINISH

S: STUCCO
PAINT - SW7067 "CITYSCAPE"
SMOOTH FINISH

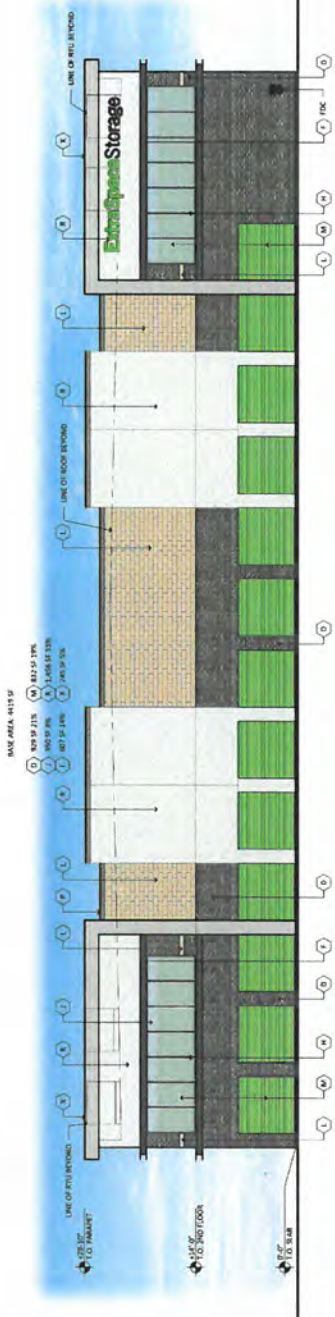
T: CONCRETE CAP
PAINT - SW7063 "NEBULOUS WHITE"

U: SPLITFACE CMU
PAINT - SW7689 "ROW HOUSE TAN"

V: CMU
PAINT - SW7018 "DOVETAIL"

W: HORIZONTAL AND VERTICAL METAL PANEL
MFG: EASTRANK
WOODGRAIN COLOR:
DARK WALNUT
TRIM COLOR: BLACK

X: METAL PANEL SYSTEM
MFG: FASTPLANK
COLOR: CADET GRAY



2 PAD C - EAST ELEVATION

SCALE: 1/8" = 1'-0"



KEYPLAN

SITE PLAN

SCALE: 1" = 20'-0"



UNIVERSITY MULTI-USE
PAD C

4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205

DATE: 07-05-2023 (PRELIMINARY)

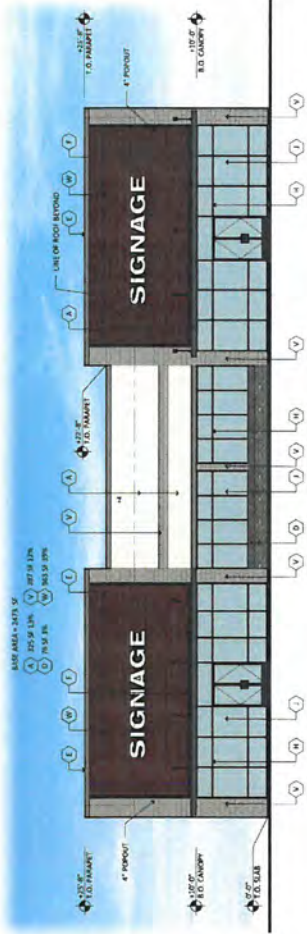
UNIVERSITY MULTI-USE
PAD C
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 07-05-2023 (PRELIMINARY)

EL-3
PAD C

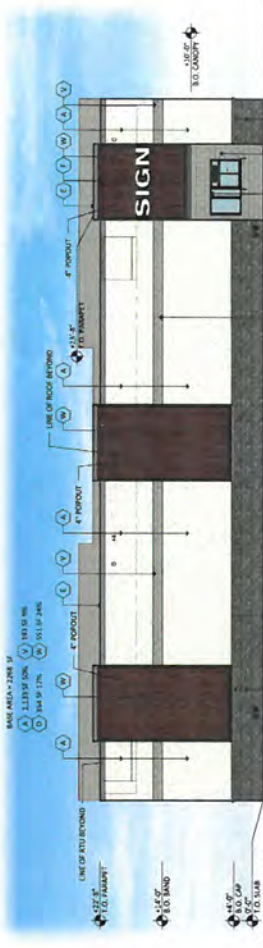
RKAA# 19066.00

MATERIALS

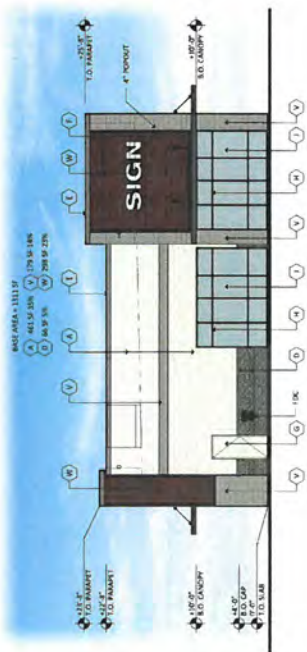
- A- STUCCO
PAINT - SW7012 "CREAMY"
SMOOTH FINISH
- B- STUCCO
PAINT - SW7019 "GUANTLET GRAY"
SMOOTH FINISH
- C- STUCCO
PAINT - SW7018 "DOVETAIL"
SMOOTH FINISH
- D- BRICK VENEER AND CAP
KONIK BRICK
GREY
- E- METAL GALVANIZED PARAPET CAP
PAINT - SW7069 "IRON ORE"
- F- STEEL CANOPY & COLUMN
PAINT - SW7069 "IRON ORE"
- G- PAINTED CMU
PAINT - SW7012 "CREAMY"
- H- ALUMINUM STOREFRONT
BLACK ANODIZED
- I- SOLARBAN 60 GLAZING
- K- PRE-FAB METAL PATIO FENCE &
RAILING
PAINT - SW7069 "IRON ORE"
- L- CMU
PAINT - SW7689 "ROW HOUSE TAN"
SMOOTH FACE
- M- METAL ROLL-UP DOORS
JANIUS EXTERIOR
FINISH - EXR WASABI
- N- HOLLOW METAL DOORS
PAINT - SW7019 "GUANTLET GRAY"
- P- METAL GALVANIZED PARAPET CAP
PAINT - SW7019 "GUANTLET GRAY"
- R- STUCCO
PAINT - SW7063 "NEBULOUS WHITE"
SMOOTH FINISH
- S- STUCCO
PAINT - SW7067 "CITYSCAPE"
SMOOTH FINISH
- T- CONCRETE CAP
PAINT - SW7063 "NEBULOUS WHITE"
- U- SPLITFACE CMU
PAINT - SW7689 "ROW HOUSE TAN"
- V- CMU
PAINT - SW7018 "DOVETAIL"
- W- HORIZONTAL AND VERTICAL METAL PANEL
MFG: FASTPLANK
WOODGRAIN COLOR:
DARK WALNUT
TRIM COLOR: BLACK



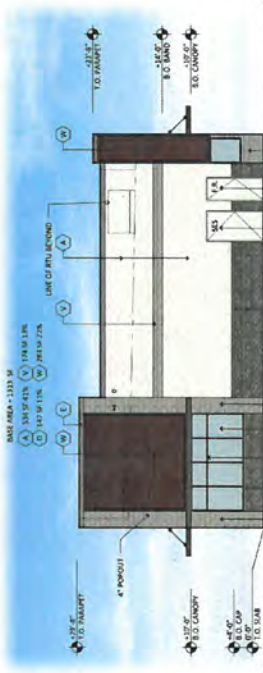
2 PAD B - EAST ELEVATION
SCALE: 1/8" = 1'-0"



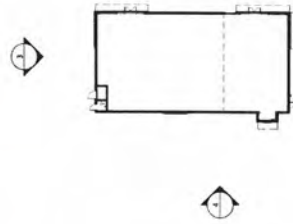
4 PAD B - WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 PAD B - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 PAD B - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



KEYPLAN

UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 06-23-2023 (PRELIMINARY)

EL-2
PAD B

RKAA# 19066.00



UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 06-23-2023 (PRELIMINARY)
RKAA# 19066.00

MATERIALS

- A: STUCCO
PAINT - SW7012 "CREAMY"
SMOOTH FINISH
- B: STUCCO
PAINT - SW7019 "GUANTLET GRAY"
SMOOTH FINISH
- C: STUCCO
PAINT - SW7018 "DOVETAIL"
SMOOTH FINISH
- D: BRICK VENEER AND CAP
KONI BRICK
GREY
- E: METAL GALVANIZED PARAPET CAP
PAINT - SW7069 "IRON ORE"
- F: STEEL CANOPY & COLUMN
PAINT - SW7069 "IRON ORE"
- G: PAINTED CMU
PAINT - SW7012 "CREAMY"
- H: ALUMINUM STOREFRONT
BLACK ANODIZED
- J: SOLARBAN 60 GLAZING
- K: PRE-FAB METAL PATIO FENCE &
RAILING
PAINT - SW7069 "IRON ORE"
- L: CMU
PAINT - SW7689 "ROW HOUSE TAN"
SMOOTH FACE
- M: METAL ROLL-UP DOORS
JANUS EXTERIOR
FINISH - EXR WASABI
- N: HOLLOW METAL DOORS
PAINT - SW7019 "GUANTLET GRAY"
- P: METAL GALVANIZED PARAPET CAP
PAINT - SW7019 "GUANTLET GRAY"
- R: STUCCO
PAINT - SW7063 "NEBULOUS WHITE"
SMOOTH FINISH
- S: STUCCO
PAINT - SW7067 "CITYSCAPE"
SMOOTH FINISH
- T: CONCRETE CAP
PAINT - SW7063 "NEBULOUS WHITE"
- U: SPLITFACE CMU
PAINT - SW7689 "ROW HOUSE TAN"
- V: CMU
PAINT - SW7018 "DOVETAIL"
- W: HORIZONTAL AND VERTICAL METAL PANEL
MFG: FASTPLANK
WOODGRAIN COLOR:
DARK WALNUT
TRIM COLOR: BLACK



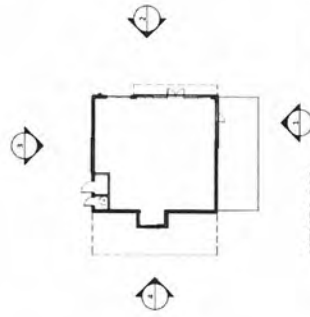
1 PAD A - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

2 PAD A - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 PAD A - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

4 PAD A - WEST ELEVATION
SCALE: 1/8" = 1'-0"



UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 06-23-2023 (PRELIMINARY)

EL-1
PAD A

RKAA# 19066.00

UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 06-23-2023 (PRELIMINARY)

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
2017-1 IH BORROWER LP	8665 E HARTFORD DR STE 200	SCOTTSDALE	AZ	85255
2017-2 IH BORROWER LP	1717 MAIN ST STE 2000	DALLAS	TX	75201
2018-3 IH BORROWER LP	1717 MAIN ST 2000	DALLAS	TX	85201
4225 COVINA LLC	PO BOX 50254	MESA	AZ	85208
4255 E CONTESSA STREET LLC	3445 E ELLIS ST	MESA	AZ	85213
4312 LLC	15881 N 80TH ST STE 100	SCOTTSDALE	AZ	85260
4426 CONTESSA LLC	34522 N SCOTTSDALE RD STE 120-485	SCOTTSDALE	AZ	85266
ACCO YUDA/HAY-ACCO DALIA TR/DALIA HAY	11668 DONA ALICIA PL	STUDIO CITY	CA	91604
ADLER MARK S	PO BOX 3767	SANTA CLARA	CA	95055
ALCANTARA SEBASTIAN	4303 E DECATUR ST	MESA	AZ	85205
ALDERSON LIVING TRUST	PO BOX 31567	MESA	AZ	85275
ALLTOP NATHANIEL WESLEY	4363 E DECATUR ST	MESA	AZ	85205
AMADO BERNICE	4358 E DECATUR ST	MESA	AZ	85205
AMLANI ALZAK	149 STATES ST	SAN FRANCISCO	CA	94114
APPEL RICHARD/CANDICE	3726 E DOWNING CIR	MESA	AZ	85205
ARCHAMBEAU JACOB R/MELLMANN TAYLOR M	550 N ORLANDO CIR	MESA	AZ	85205
ARM OF SAVE THE FAMILY FOUNDATION OF ARIZONA	125 E UNIVERSITY DR	MESA	AZ	85201
AWAYAN NATHANAEL J	4152 E COVINA ST	MESA	AZ	85205
AZIMUTH PROPERTY I LLC	2023 E UNIVERSITY STE 3	TEMPE	AZ	85281
BANDIN HENRY C III/GUITERREZ MARLENE VERA	525 N NEW HVN	MESA	AZ	85205
BARAJAS VICTOR M/BERTHA A	4148 E CAMINO ST	MESA	AZ	85205
BARBARA L STOKES LIVING TRUST	510 N NEW HAVEN AVE	MESA	AZ	85205
BARNES VICTORIA ALLYSSE/VAN LEUVEN COLTEN TODD	4327 E DECATUR DT	MESA	AZ	85205
BENNETT FRANKLIN L/BARBARA G TR	101 E 1ST AVE 105	MESA	AZ	85210
BIERWALTER ROGER T	4164 E CAMINO ST	MESA	AZ	85205
BLAKE FAMILY TRUST	4335 E DECATUR ST	MESA	AZ	85205
BORUP DENNIS E/SYLVIA DAWN	4249 E COVINA ST	MESA	AZ	85205
BOSSOM DEANNA R	4253 E COVINA	MESA	AZ	85205
BOYD MICHAEL W/SHARON L	1125 W MUSKET WY	CHANDLER	AZ	85248
BOYS DOUGLAS/LYNN LYNCH	1151 E CATHY DR	GILBERT	AZ	85295
BRAD AND ANNE JOHNSON LVIVING TRUST	4259 E DECATUR ST	MESA	AZ	85205
BREINHOLT GREG/BRITTANY	4310 E DECATUR ST	MESA	AZ	85205
BROOKS MICHEAL E/KIMBERLY A	4204 E CABALLERO CIR	MESA	AZ	85205
BROWN CLAYTON M/MCINERNEY LAUREN ANN	4222 E CABALLERO CIR	MESA	AZ	85205
BROWN PATRICIA A	4152 E CAMINO ST	MESA	AZ	85205
BURDSALL JACOB E	4335 E CONTESSA	MESA	AZ	85205
BURK ROBERT M/AUBREE L	4758 E EVERGREEN ST	MESA	AZ	85205
BURRELL JASON M/VELIKA R	606 N NEW HAVEN CIR	MESA	AZ	85205
BURRIS KATHLEEN THERESA	4136 E CAMINO ST	MESA	AZ	85205
BUSH JOAN	464 N NEW HVN	MESA	AZ	85205
CAMPOS ESEQUIEL/JUDITH A	511 N ORLANDO CIR	MESA	AZ	85205
CASILLAS STEVEN L	526 N ORLANDO CIR	MESA	AZ	85205
CHAVEZ ALEJANDRO/GRACIELA	613 N ORLANDO CIR	MESA	AZ	85205
CHAVEZ JOSE J	433 N NEW HVN	MESA	AZ	852059303
CHILIN YANCY D	4265 E COVINA ST	MESA	AZ	85205
CHRISTENSEN MIKKEL L/MARISSA L	14407 TWIN PEAKS RD	POWAY	CA	92064
CHURCH KYLE/CLAUSCHEE BONNIE	459 N NORFOLK	MESA	AZ	85205
CLUFF DALLIN MICHAEL	4437 E COVINA ST	MESA	AZ	85205
COBLE LARRY B/JULIE	4213 E CAMINO ST	MESA	AZ	85205
CODY GAIL L/MILFRED D	2605 E INCA CIR	MESA	AZ	85213
COIGNY JOHN U/MICHELLE L	4334 E DECATUR ST	MESA	AZ	85205
COLBORN LAWRENCE C III/NATALIE	1655 N SUNVIEW	MESA	AZ	85205
CORNEJO JERROD	4339 E CONTESSA ST	MESA	AZ	85205
COWAN JUSTIN M/STACIE P	4313 E COVINA ST	MESA	AZ	85205
CPI CITRUS GARDENS OWNER L L C	1001 PENNSYLVANIA AVE NW	WASHINGTON DC	WA	20004
CYNTHIA S GROBMEIER REVOCABLE LIVING TRUST	514 N OGDEN CIR	MESA	AZ	85205
DAGGETT KRISTA MARIE/MICHAEL JAMES	558 N NEW HVN	MESA	AZ	85205
DALEY JACK M	4211 E CAMINO ST	MESA	AZ	85205
DAVID WAYNE COE AND KIMBERLY ANN COE REVOCABLE TRUST	4420 E COVINA ST	MESA	AZ	85205
DAWSON MICHAEL	4305 E DOVER ST	MESA	AZ	85205
DECIOUS FAMILY LIVING TRUST	4351 E CONTESSA ST	MESA	AZ	85205
DEFURIA ARTHUR O/JOSEPH D/MANNING ELIZABETH	4211 E CABALLERO CIR	MESA	AZ	85205
DEL CAMPO ASSAEL MARTIN/TERRAZAS BELEN ABIGAIL ANGUIANO	4337 E ELMWOOD ST	MESA	AZ	85205
DESERT SKY DEVELOPMENT-BEAR HEIGHTS LLC	9907 E FLANDERS RD	MESA	AZ	85207
DIAMOND BEACH LLC	4418 E CONTESSA ST	MESA	AZ	85205
DRAEGER JAMIE R	3320 E UNIVERSITY DR UNIT 2100	MESA	AZ	85213
DUNN FAMILY LIVING TRUST	4202 E CAMINO ST	MESA	AZ	85205
DURAZO JOAQUIN/ROSA D	533 N NEW HVN	MESA	AZ	852059312
EAST VALLEY SFR LLC	690 N COOPER RD STE 101	GILBERT	AZ	85233

EDWARD N BAILEY AND ANNETTE M BAILEY TRUST	325 N RIATA ST	GILBERT	AZ	85234
EMOLE KALU ELEANYA	525 N NORFOLK ST	MESA	AZ	85205
ESTES WILLIAM M/DONNA M	460 N ORLANDO CIR	MESA	AZ	85205
EXTRA SPACE PROPERTIES TWO LLC	448 N GREENFIELD RD	Mesa	AZ	85205
FALCON GLEN INVESTMENTS LLC	206 MARINE AVE 5809	NEWPORT BEACH	CA	92662
FARLESS THOMAS J/CAROLINE S	4429 E COVINA ST	MESA	AZ	85205
FARRO JOSE ANTONIO/RAMOS REAH GOMEZ	11506 BELCHER ST	NORWALK	CA	90650
FELDBAUER LORAN/CHAVEZ GABRIEL	502 N NEW HVN	MESA	AZ	85205
FENG JIAWEI	4151 E CONTESSA ST	Mesa	AZ	85205
FERBRACHE ELIJAH K/ANNE E	440 N NEW HVN	MESA	AZ	85205
FITE JANET M	4317 E DOVER ST	MESA	AZ	85205
FKH SRF PROPCO H LP	1850 PARKWAY PL STE 900	MARIETTA	GA	30067
FOLZ PETER/MARCIA	4146 E CONTESSA ST	MESA	AZ	85205
GALVEZ MARIA	4229 E COVINA ST	MESA	AZ	85205
GAMES JEFF A	454 N ORLANDO CIR	MESA	AZ	85205
GANN JAMES R JR	614 N NEW HAVEN CIR	MESA	AZ	85205
GARAY JOSE LUIS	544 N OAKLAND ST	MESA	AZ	85205
GIBBS JAMES G SR	523 N OMAHA CIR	MESA	AZ	85205
GILLESPIE MARY G	4231 E CONTESSA ST	MESA	AZ	85205
GLADYS A TAYLOR IRREVOCABLE 1988 TRUST	1206 W 9TH ST	MESA	AZ	85201
GLASS ROSS A/MOORE CHARLES D	4305 E COVINA ST	MESA	AZ	85205
GOBBELL STEVE & KERRY A	3051 E ADOBE ST	MESA	AZ	85213
GONZALEZ XAVIER BOLANOS/PELFREY EMILY	536 N OAKLAND	MESA	AZ	85205
GOODWIN KATHLEEN	4421 E COVINA ST	MESA	AZ	85204
GRAFE JAMA LYNN	4444 E COVINA ST	MESA	AZ	85205
GREENE DAVID EARL	616 N OGDEN ST	MESA	AZ	85205
GREENE STEPHEN	522 N OMAHA CIR	MESA	AZ	85205
GREENFIELD PLAZA LLC	1136 W BASELINE RD	MESA	AZ	85209
GUSTAFSON JOSHUA R	4202 E CABALLERO CIR	MESA	AZ	85205
HADDAD CYREEN/CHARLES/TAMELA LEE	1825 E HUBER ST	MESA	AZ	85203
HANEY CHAD E	4241 E COVINA ST	MESA	AZ	85205
HATCH TODD STEVEN/KATRIN I/RILEY HAROLD JOHN	4258 E DECATUR ST	MESA	AZ	85205
HEATHER BROOK MESA LLC	415 N LA SALLE 700A	CHICAGO	IL	600681459
HEINZ JOHN A	533 N NORFOLK	MESA	AZ	85205
HEINZE SHANNON R/MARK A	404 N NORFOLK	MESA	AZ	85205
HERNANDEZ JUAN AGAPITO	519 N OLANDO CIR	MESA	AZ	85205
HINKSTON RONALD E/KAY A	615 N NEW HAVEN CIR	MESA	AZ	85205
HOOPER REALTY INVESTMENTS LLC	2547 E JENSEN	MESA	AZ	85213
HOUCK LYDIA	4219 E CONTESSA ST	MESA	AZ	85205
HOWARD ANN MARIE/DAVID CHARLES	4221 E COVINA ST	MESA	AZ	85205
HOWARD LINDA	520 N OGDEN CIR	MESA	AZ	85205
HOWELL CHRISTOPHER	4233 E COVINA ST	MESA	AZ	85205
HUNT DANIEL R/KAREN G	4227 E DOVER ST	MESA	AZ	85205
HUNT FREDRICK L/DIANA B TR	1645 E GLADE AVE	MESA	AZ	85204
HUSS JEFFREY T	12182 SAPPHIRE ST	GARDEN GROVE	CA	92845
IERENEO LEFIUIULA III/SHELLEY NATALIE	3066 E MINTON ST	MESA	AZ	85213
IRENE KLIM TRUST	2178 N BLUEGRASS RANCH RD	LAKESIDE	AZ	85929
ITKIN FAMILY TRUST	432 N NORFOLK	MESA	AZ	85205
J & B WANDREY FAMILY TRUST	4329 E DOVER ST	MESA	AZ	85205
JAMES D AND BEVERLEY D ANDERSON FAMILY TRUST	10030 E RAYANN PL	TUCSON	AZ	85749
JARVIS ORR SUSAN	508 N OAKLAND	MESA	AZ	85205
JENNINGS CHERYLE A TIMBROOK	421 N NEW HAVEN CIR	MESA	AZ	85205
JJ TOAST ACADEMY TRUST	3822 BROOK VALLEY CIR	STOCKTON	CA	95219
JOHN F BRADY AND LOIS J BREADY REV LIV TR	4410 E COVINA	MESA	AZ	85205
JOHNSTON JOSEPH D JR/PAULA C	4230 E DECATUR ST	MESA	AZ	85205
JOLLY BEVERLY J	4261 E COVINA ST	MESA	AZ	85205
JONES JAMI L	1159 E 8TH PL	MESA	AZ	85203
JONES KENNETH W & CONNIE A	1692 E 1000 S	SPANISH FORK	UT	84660
JOSTES KEN M	416 N NORFOLK	MESA	AZ	85205
JOWSA STEVEN D	4212 E CABALLERO CIR	MESA	AZ	85205
K AND C PECK LLC	10255 E ROSEMARY LN	SCOTTSDALE	AZ	85255
KALINSKI DOUGLAS JOHN & TERESA ANN	506 N OMAHA CIR	MESA	AZ	85205
KARANTINOS NICK ANDREW/NICOLLE TR	3828 N BARRON CIR	MESA	AZ	85207
KAREN & STEPHEN CARVELL FAMILY TRUST	604 N OGDEN	MESA	AZ	852056215
KEMMERER CHARLES E & REBECCA A	4209 E CAMINO ST	MESA	AZ	85205
KENNEDY STEVEN L/VILLA-KENNEDY SEAN	434 N NEW HVN	MESA	AZ	852059302
KENNEDY VIRGINIA R	4235 E CONTESSA ST	MESA	AZ	85205
KEOWN AARON D	4239 E CABALLERO CIR	MESA	AZ	85205
KUDLICKI CHRIS CARL/AMANDA RAE	4223 E CONTESSA ST	MESA	AZ	85205
KUEHNE FAE L	4144 E COVINA ST	MESA	AZ	85205

KUSH JORDYN M/CORLEY JOHN A	427 N NEW HVN	MESA	AZ	85205
LARSON CARMEN M	3507 E ENCANTO ST	MESA	AZ	85213
LC PROPERTIES 1 LLC	8710 N THORNYDALE RD 120	TUCSON	AZ	85742
LEAVITT TODD/HANNAH	4319 E CONTESSA ST	MESA	AZ	85205
LEE HUNG PHUOC/VU HA N	4322 E DECATUR ST	MESA	AZ	85205
LFLP GREENFIELD LLC	8710 N THORNYDALE RD 120	TUCSON	AZ	85742
LOPRESTI PROPERTIES L L C	664 JOY LN	WESTCLIFFE	CO	81252
LORY BEATRIZ A/DAVID	4302 E DECATUR	MESA	AZ	85205
MACK DEBORAH LEE/CASTILLO CHRISTOPHER	518 N ORLANDO CIR	MESA	AZ	85205
MANCIC-COE AMANDA/MANCIC IGOR	542 N ORLANDO CIR	MESA	AZ	85205
MARK COUGHLIN REV LIV TRUST	450 N 61ST PL	MESA	AZ	85205
MCDONOUGH GINA C/GREG L	4242 E DECATUR ST	MESA	AZ	85205
MCDONOUGH JUSTIN	463 N NORFOLK	MESA	AZ	852059332
MCHUGH MEAGAN L/ALGER TYLER G	4201 E CAMINO ST	MESA	AZ	85205
MCLANE MICHAEL D/ARATA KATHRYN M	4428 E COVINA ST	MESA	AZ	85205
MEDINA CHRISTIAN/FARY	534 N ORLANDO CIR	MESA	AZ	85205
MEDVED PROPERTIES LLC	2821 E 10TH ST UNIT 9	SIOUX FALLS	SD	57103
MEESRI SOONTHRON	505 N NORFOLK	MESA	AZ	85205
MELISSA SOLIZ FAMILY TRUST/SOLIZ MIGUEL E	2800 N CENTRAL AVE STE 1900	PHOENIX	AZ	85004
MERRILL KELLY SUE	4238 E CABALLERO CIR	MESA	AZ	85205
MESA CITY OF	20 E MAIN ST STE 650	MESA	AZ	85211
MESA REGAL L L C	16255 VENTURA BLVD STE 1200	ENCINO	CA	914362363
MESSINA VINCENZO/BRUNA	4347 E CONTESSA ST	MESA	AZ	85205
METCALF JASON ALLAN/HAVENS TARA ELIZABETH	4315 E CONTESSA ST	MESA	AZ	85205
MICHAEL BARNES BISHOP AND TINA F BISHOP TRUST	4349 E DOVER ST	MESA	AZ	85205
MILLER WILLIAM K/WHITNEY ELISE	625 N ORLANDO	MESA	AZ	85205
MORALES FRANCISCO M	458 N ORLANDO CIR	MESA	AZ	85205
NARAGHI ARIANA/HICKS PETER D	412 N NORFOLK ST	MESA	AZ	85205
ORDUNO MARIA J	452 N NEW HAVEN ST	MESA	AZ	85205
OSUNA M GUADALUPE	542 N NEWHAVEN	MESA	AZ	85205
PAAC PROPERTIES LLC	3826 E JUNE CIR	MESA	AZ	85205
PALMER LARRY W/DEANNA L	528 N NEW HVN	MESA	AZ	85205
PEDROZA JONATHAN	4166 E COVINA ST	MESA	AZ	85205
PHIL J ROGERS AND CELIA ROGERS REV TRUST	4160 E CAMINO ST	MESA	AZ	852059326
PHILLIPS DORINDA J	527 N ORLANDO CIR	MESA	AZ	85205
POWELL ALEXANDRA K/MICHAEL	4343 E CONTESSA ST	MESA	AZ	85205
PRESTON RUBEN/LINDA	459 N ORLANDO CIR	MESA	AZ	85205
PRICE JOSHUA C/HEATHER F	4241 E DOVER ST	MESA	AZ	85205
PROGRESS RESIDENTIAL BORROWER 16 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
PROGRESS RESIDENTIAL BORROWER 5 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
REIF TERENCE J/ANN-MARIE	4436 E COVINA ST	MESA	AZ	85205
RESICAP ARIZONA OWNER II LLC	3630 PEACHTREE RD NE 1500	ATLANTA	GA	30326
RICE LESLIE P/LOUISE TR	1607 N AVOCA	MESA	AZ	85207
ROBERTS KATHY JO/WILLIAM B	518 N OAKLAND ST	MESA	AZ	85208
ROLSTON FAMILY TRUST	622 N PORTLAND	MESA	AZ	85205
ROYAL CABALLERO LLC	5542 E EMELITA AVE	MESA	AZ	85206
RS XII NM PHOENIX OWNER 1 LP	717 N HARWOOD ST STE 2800	DALLAS	TX	75201
RS XII PHOENIX OWNER 2 L P	717 N HARWOOD ST STE 2800	DALLAS	TX	75201
RUBIN JEFFREY DAVID SR	446 N NEW HVN	MESA	AZ	85205
RUIZ MANAGEMENT LLC	450 E JUANITA AVE	GILBERT	AZ	85234
RUNYON DOROTHY	507 N OMAHA CIR	MESA	AZ	85205
RUPNOW ERIC J/AMI E	511 N OMAHA CIR	MESA	AZ	85205
SAIBABA INVESTMENTS LLC	PO BOX 12055	CASA GRANDE	AZ	85130
SALLY L MUMFORD TRUST	1622 N GAYLORD CIR	MESA	AZ	85213
SALVATIERRA ILEANA/HUGO	4141 E COVINA ST	MESA	AZ	85205
SANDERS JOSEPH W	603 N NORFOLK ST	MESA	AZ	85205
SANFORD ZACHARIAH JOSEPH/PENNY LOUISE	524 N OAKLAND	MESA	AZ	85205
SCHLATTER SAMANTHA KAY	535 N ORLANDO CIR	MESA	AZ	85205
SCHOENBEIN DAWN	502 N ORLANDO CIR	MESA	AZ	85205
SCHROEDER JILL M	428 N NORFOLK	MESA	AZ	85205
SCOTT BRADLEY D/KELLI M TR	2034 E LAUREL ST	MESA	AZ	85213
SENESE WAYNE	4347 E DECATUR AVE	MESA	AZ	85205
SFP CONTESSA ST LLC	PO BOX 2750	OVERGAARD	AZ	85933
SFR INVESTMENTS V BORROWER 1 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
SHEFFER FAMILY LIVING TRUST	2606 E GENEVA DR	TEMPE	AZ	85282
SHROYER TED	9322 E CONTESSA CIR	MESA	AZ	85207
SLOAN STEPHEN J	510 N OMAHA CIR	MESA	AZ	852057079
SMITH GARRETT D	461 N ORLANDO CIR	MESA	AZ	85205
SMITH MEGHAN L	4257 E DOVER ST	MESA	AZ	85205
SMITH RACHELE ALETA/BENTLEY CLARA	521 N OGDEN CIR	MESA	AZ	85205

SPRAGUE KENNETH S/MARIAN TR	4243 E DEDADER ST	MESA	AZ	85205
STEVING RYAN K/KARRIE L	20883 S ANTONIUS ST	QUEEN CREEK	AZ	85142
STEWART EVELYN M	601 N ORLANDO	MESA	AZ	85205
STICKNEY ROBERT A TR	2645 E SOUTHERN AVE A340	TEMPE	AZ	85282
STORK GERALD M JR	424 N NORFOLK	MESA	AZ	85205
STORK LINDA SUE	543 N ORLANDO CIR	MESA	AZ	85205
STOUT KELLY M	4221 E CAMINO ST	MESA	AZ	85205
STOVER DAVID F/NICOLE	4205 E CABALLERO CIR	MESA	AZ	85205
STRICKLAND MICHAEL C	4346 E DECATUR ST	MESA	AZ	85205
STULGA VAIDOTAS/BEVERLY	6110 N KIMBERLY DR	TIMLEY	IL	60477
SUPER PLUS INC	4356 E UNIVERSITY DR	MESA	AZ	85205
SWANSON INVESTMENTS LLC	1228 S SOSSAMAN RD STE 109	MESA	AZ	85209
TAH 2017-1 BORROWER LLC	1508 BROOKHOLLOW DR	SANTA ANA	CA	92705
TAYLOR BLAKE/CYNDI	420 N NORFOLK ST	MESA	AZ	85205
TAYLOR JARED P	4404 E COVINA ST	MESA	AZ	852057145
TEATERS ANDREW J/RHIANNON E	517 N OMAHA CIR	MESA	AZ	85205
THOMPSON CHRISTOPHER J	607 N NEW HAVEN CIR	MESA	AZ	85205
THUENEN JAMES/MARY JANE	2162 E WILDHORSE DR	CHANDLER	AZ	85249
TOMTEN PROPERTIES LLC	4225 E CALYPSO AVE	MESA	AZ	85206
TUCKER VALERIE J	4359 E DECATUR ST	MESA	AZ	85205
TYLER PATRICK W/CINERA	4245 E COVINA ST	MESA	AZ	85205
UNIVERSITY MESA CVS LLC	4330 E UNIVERSITY DR	Mesa	AZ	85205
VALDEZ DANIEL M/PEREZ KARA MARIAH	465 N ORLANDO CIR	MESA	AZ	85205
VALENCIA GROVES HOMEOWNERS ASSOC	619 N GREENFIELD RD	Mesa	AZ	85205
VAN HORN LANDING TRUST	4115 E DOLPHIN AVE	MESA	AZ	85206
VAN VALKENBURG JENNIFER LYNN/SKYLAR	624 N OGDEN	MESA	AZ	85205
WAGNER TAMARA M	4231 E DECATUR ST	MESA	AZ	85205
WALFORD DYLAN MAVERICK/RACHEL	4331 E CONTESSA ST	MESA	AZ	85205
WALL DANIEL JOSEPH	509 N NEW HVN	MESA	AZ	852059312
WEST JAMES J	445 N NEW HVN	MESA	AZ	85205
WHITEHURST STANLEY T/MONIQUE C	4203 E CABALLERO CIR	MESA	AZ	85205
WIERZGACZ STEVEN	3538 E ENCANTO ST	MESA	AZ	85213
WIERZGACZ WAYNE	3655 E HALIFAX CIR	MESA	AZ	85205
WINDER JOHN T/MACI D	4414 E COVINA ST	MESA	AZ	85205
WOOD STEPHANIE L/STEVEN C	4337 E DOVER ST	MESA	AZ	85205
WOODBURN RONALD N/MAUREEN A	4357 E DOVER ST	MESA	AZ	85205
YAMASA CO LTD	PO BOX 4090	SCOTTSDALE	AZ	85261
YATES NATHAN KYLE	4445 E COVINA ST	MESA	AZ	852057147
ZUNIGA JULISSA ANAE/ARMANDO	505 N OGDEN CIR	MESA	AZ	85205

Neighborhood Meeting Summary
Commercial Development
University Drive, West of Greenfield Road
ZON23-00139 and DRB23-00138

July 20, 2023 at 6:00 pm

Online ZOOM meeting with Videochat and Call-in
Meeting ID: 865 7565 4392

Present for the applicant was Mark Hanneken from Cooper Companies (Developer) and Jon Gillespie from Pew & Lake, PLC (Attorney).

Three individuals responded to the notification letter but no neighbors attended the neighborhood meeting. After waiting 30 minutes, Mr. Gillespie ended the virtual meeting.

The following is a summary of the interaction with neighbors prior to the neighborhood meeting:

1. Michael and Tina Bishop live at 4349 E Dover St Mesa. They asked for a copy of the landscape/planting plan. They asked that the project install desert plants to maximize shade and minimize water usage. They appreciated that the landscaping at the nearby Rally's development was now maturing and they hope this development has similar quality. Supportive of the development.
2. Ricardo is the site manager from the Falcon Glen Apartments located south of University Drive. He asked about the proposed uses and the construction timeline. We told him that the self-storage would like be built first and it is likely that ground wont be broke for at least 1 year.
3. Denise Blake received the letter and wanted a summary of the meeting sent to her because she and her husband were not going to be able to attend. The above sentiments shared from neighbors were emailed to her today.

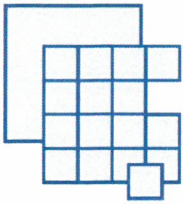
Summary created by Jon Gillespie on July 21, 2023

500' Property Owner List

Owner	MAIL_ADDR1	MAIL_CITY	MAIL_STATE	MAIL_ZIP
2017-1 IH BORROWER LP	8665 E HARTFORD DR STE 200	SCOTTSDALE	AZ	85255
2018-3 IH BORROWER LP	1717 MAIN ST 2000	DALLAS	TX	85201
4255 E CONTESSA STREET LLC	3445 E ELLIS ST	MESA	AZ	85213
4312 LLC	15881 N 80TH ST STE 100	SCOTTSDALE	AZ	85260
AMLANI ALZAK	149 STATES ST	SAN FRANCISCO	CA	94114
APPEL RICHARD/CANDICE	3726 E DOWNING CIR	MESA	AZ	85205
ARCHAMBEAU JACOB R/MELLMANN TAYLOR M	550 N ORLANDO CIR	MESA	AZ	85205
BENNETT FRANKLIN L/BARBARA G TR	101 E 1ST AVE 105	MESA	AZ	85210
BORUP DENNIS E/SYLVIA DAWN	4249 E COVINA ST	MESA	AZ	85205
BOSSOM DEANNA R	4253 E COVINA	MESA	AZ	85205
BOYD MICHAEL W/SHARON L	1125 W MUSKET WY	CHANDLER	AZ	85248
BOYS DOUGLAS/LYNN LYNCH	1151 E CATHY DR	GILBERT	AZ	85295
BURDSALL JACOB E	4335 E CONTESSA	MESA	AZ	85205
BURK ROBERT M/AUBREE L	4758 E EVERGREEN ST	MESA	AZ	85205
CAMPOS ESEQUIEL/JUDITH A	511 N ORLANDO CIR	MESA	AZ	85205
CASILLAS STEVEN L	526 N ORLANDO CIR	MESA	AZ	85205
CHAVEZ JOSE J	433 N NEW HVN	MESA	AZ	8.52E+08
CHILIN YANCY D	4265 E COVINA ST	MESA	AZ	85205
CHRISTENSEN MIKKEL L/MARISSA L	14407 TWIN PEAKS RD	POWAY	CA	92064
COLBORN LAWRENCE C III/NATALIE	1655 N SUNVIEW	MESA	AZ	85205
CORNEJO JERROD	4339 E CONTESSA ST	MESA	AZ	85205
CYNTHIA S GROBMEIER REVOCABLE LIVING TRUST	514 N OGDEN CIR	MESA	AZ	85205
DECIOUS FAMILY LIVING TRUST	4351 E CONTESSA ST	MESA	AZ	85205
DEL CAMPO ASSAEL MARTIN/TERRAZAS BELEN ABIGAIL ANGUIANO	4337 E ELMWOOD ST	MESA	AZ	85205
DRAEGER JAMIE R	3320 E UNIVERSITY DR UNIT 2100	MESA	AZ	85213
ESTES WILLIAM M/DONNA M	460 N ORLANDO CIR	MESA	AZ	85205
EXTRA SPACE PROPERTIES TWO LLC	448 N GREENFIELD RD	Mesa	AZ	85205
FALCON GLEN INVESTMENTS LLC	206 MARINE AVE 5809	NEWPORT BEACH	CA	92662
FARRO JOSE ANTONIO/RAMOS REAH GOMEZ	11506 BELCHER ST	NORWALK	CA	90650
FKH SRF PROPCO H LP	1850 PARKWAY PL STE 900	MARIETTA	GA	30067
GARAY JOSE LUIS	544 N OAKLAND ST	MESA	AZ	85205
GIBBS JAMES G SR	523 N OMAHA CIR	MESA	AZ	85205
GILLESPIE MARY G	4231 E CONTESSA ST	MESA	AZ	85205

GLASS ROSS A/MOORE CHARLES D	4305 E COVINA ST	MESA	AZ	85205
GONZALEZ XAVIER BOLANOS/PELFREY EMILY	536 N OAKLAND	MESA	AZ	85205
GREENE STEPHEN	522 N OMAHA CIR	MESA	AZ	85205
GREENFIELD PLAZA LLC	1136 W BASELINE RD	MESA	AZ	85209
HADDAD CYREEN/CHARLES/TAMELA LEE	1825 E HUBER ST	MESA	AZ	85203
HANEY CHAD E	4241 E COVINA ST	MESA	AZ	85205
HEATHER BROOK MESA LLC	415 N LA SALLE 700A	CHICAGO	IL	6.01E+08
HERNANDEZ JUAN AGAPITO	519 N OLANDO CIR	MESA	AZ	85205
HOWARD LINDA	520 N OGDEN CIR	MESA	AZ	85205
HUNT FREDRICK L/DIANA B TR	1645 E GLADE AVE	MESA	AZ	85204
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JARVIS ORR SUSAN	508 N OAKLAND	MESA	AZ	85205
JENNINGS CHERYLE A TIMBROOK	421 N NEW HAVEN CIR	MESA	AZ	85205
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KALINSKI DOUGLAS JOHN & TERESA ANN	506 N OMAHA CIR	MESA	AZ	85205
KARANTINOS NICK ANDREW/NICOLLE TR	3828 N BARRON CIR	MESA	AZ	85207
KENNEDY VIRGINIA R	4235 E CONTESSA ST	MESA	AZ	85205
KEOWN AARON D	4239 E CABALLERO CIR	MESA	AZ	85205
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MANCIC-COE AMANDA/MANCIC IGOR	542 N ORLANDO CIR	MESA	AZ	85205
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MORALES FRANCISCO M	458 N ORLANDO CIR	MESA	AZ	85205
PAAC PROPERTIES LLC	3826 E JUNE CIR	MESA	AZ	85205

PHILLIPS DORINDA J	527 N ORLANDO CIR	MESA	AZ	85205
POWELL ALEXANDRA K/MICHAEL	4343 E CONTESSA ST	MESA	AZ	85205
PRESTON RUBEN/LINDA	459 N ORLANDO CIR	MESA	AZ	85205
PROGRESS RESIDENTIAL BORROWER 5 LLC	PO BOX 4090	SCOTTSDALE	AZ	85261
RESICAP ARIZONA OWNER II LLC	3630 PEACHTREE RD NE 1500	ATLANTA	GA	30326
ROBERTS KATHY JO/WILLIAM B	518 N OAKLAND ST	MESA	AZ	85208
RS XII PHOENIX OWNER 2 L P	717 N HARWOOD ST STE 2800	DALLAS	TX	75201
RUNYON DOROTHY	507 N OMAHA CIR	MESA	AZ	85205
RUPNOW ERIC J/AMI E	511 N OMAHA CIR	MESA	AZ	85205
SAIBABA INVESTMENTS LLC	PO BOX 12055	CASA GRANDE	AZ	85130
SALLY L MUMFORD TRUST	1622 N GAYLORD CIR	MESA	AZ	85213
SANFORD ZACHARIAH JOSEPH/PENNY LOUISE	524 N OAKLAND	MESA	AZ	85205
SCHLATTER SAMANTHA KAY	535 N ORLANDO CIR	MESA	AZ	85205
SCHOENBEIN DAWN	502 N ORLANDO CIR	MESA	AZ	85205
SFP CONTESSA ST LLC	PO BOX 2750	OVERGAARD	AZ	85933
SLOAN STEPHEN J	510 N OMAHA CIR	MESA	AZ	8.52E+08
SMITH GARRETT D	461 N ORLANDO CIR	MESA	AZ	85205
SMITH RACHELE ALETA/BENTLEY CLARA	521 N OGDEN CIR	MESA	AZ	85205
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STORK LINDA SUE	543 N ORLANDO CIR	MESA	AZ	85205
STULGA VAIDOTAS/BEVERLY	6110 N KIMBERLY DR	TIMLEY	IL	60477
SUPER PLUS INC	4356 E UNIVERSITY DR	MESA	AZ	85205
SUPERSTITION ACQUISITIONS LLC/KJEJ LLC	1738 E 39TH AVE	APACHE JUNCTION	AZ	85119
TEATERS ANDREW J/RHIANNON E	517 N OMAHA CIR	MESA	AZ	85205
THUENEN JAMES/MARY JANE	2162 E WILDHORSE DR	CHANDLER	AZ	85249
TIMELESS ADVENTURES TRUST	4313 E COVINA ST	MESA	AZ	85205
TYLER PATRICK W/CINERA	4245 E COVINA ST	MESA	AZ	85205
UNIVERSITY MESA CVS LLC	4330 E UNIVERSITY DR	Mesa	AZ	85205
VALDEZ DANIEL M/PEREZ KARA MARIAH	465 N ORLANDO CIR	MESA	AZ	85205
WALFORD DYLAN MAVERICK/RACHEL	4331 E CONTESSA ST	MESA	AZ	85205
WEST JAMES J	445 N NEW HVN	MESA	AZ	85205
WIERZGACZ STEVEN	3538 E ENCANTO ST	MESA	AZ	85213
WIERZGACZ WAYNE	3655 E HALIFAX CIR	MESA	AZ	85205
ZUNIGA JULISSA ANAE/ARMANDO	505 N OGDEN CIR	MESA	AZ	85205



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew

Certified Real Estate Specialist

Sean B. Lake

Reese L. Anderson

October 31, 2023

NOTICE OF PUBLIC MEETING
Planning & Zoning Board
Case No. ZON23-00139

Dear Neighbor,

Pew & Lake, PLC, on behalf of our client, Cooper Companies, is providing you notice of an upcoming public meeting related to its proposal for a commercial development on approximately 4 acres of currently vacant land located along University Avenue in Mesa. We have applied for Site Plan Review, Council Use Permit (CUP) and a Special Use Permit (SUP). Approval of this request will allow for a Mini-Storage Facility, restaurant with drive-thru facility, and a multi-tenant building with a drive-thru facility.

This letter is being sent to all property owners within 500 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the elevations for the proposed development. If you have any questions regarding this proposal, please call me at 480-461-4670 or e-mail me at jon.gillespie@pewandlake.com.

Planning and Zoning Board

City Council Chambers

57 East First Street

November 15, 2023

Public Hearing: 4:00 p.m.

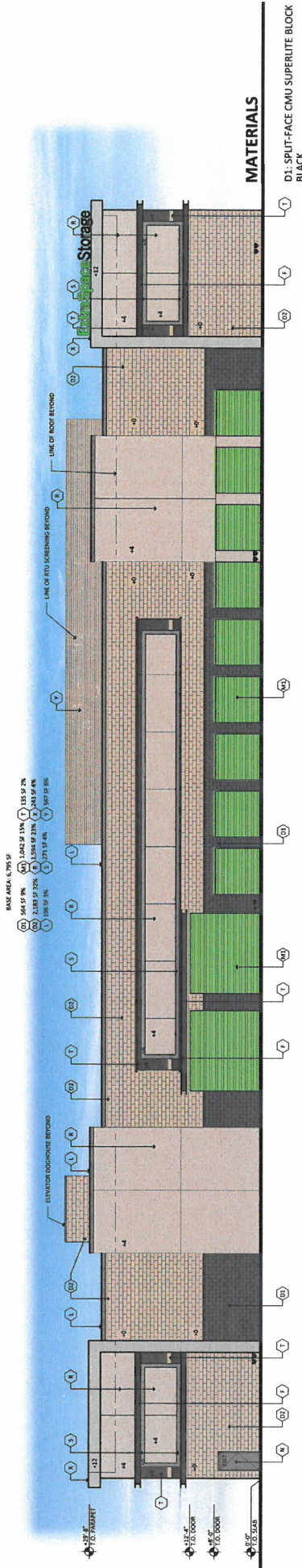
The public can attend this meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa1.com/live](https://www.mesa1.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the respective QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least 1 hour prior to the start of the meeting. If you want to speak at either meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099. The City of Mesa has assigned this case to Mr. Sean Pesek, Planner II on the Planning Division staff. He can be reached at 480-644-6716 or sean.pesek@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

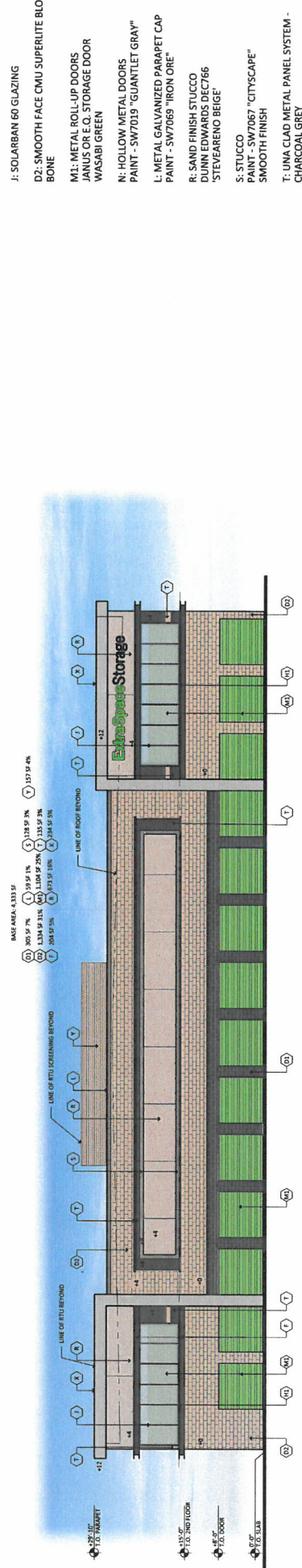
Sincerely,

Jon Gillespie
PEW & LAKE, PLC.

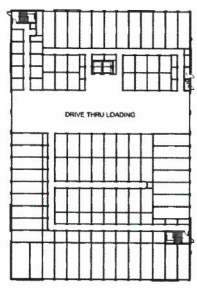




1 PAD C - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PAD C - WEST ELEVATION
SCALE: 1/8" = 1'-0"



KEYPLAN
UNIVERSITY MULTI-USE
4312 E UNIVERSITY DRIVE
MESA, ARIZONA 85205
DATE: 10-16-2023 (PRELIMINARY)



EL-4
PAD C
RKAA# 19066.00

MATERIALS

- D1: SPLIT-FACE CMU SUPERLITE BLOCK BLACK
- F: STEEL CANOPY & COLUMN PAINT - SW7069 "IRON ORE"
- H1: DARK BRONZE ALUMINUM STOREFRONT
- J: SOLARBAN 60 GLAZING
- D2: SMOOTH FACE CMU SUPERLITE BLOCK BONE
- M1: METAL ROLL UP DOORS JANUS COR. CO. STORAGE DOOR WASABI GREEN
- N: HOLLOW METAL DOORS PAINT - SW7019 "GUANTLET GRAY"
- L: METAL GALVANIZED PARAPET CAP PAINT - SW7069 "IRON ORE"
- R: SAND FINISH STUCCO DUNN EDWARDS DEC766 STEVENSRENO BEIGE
- S: STUCCO PAINT - SW7067 "CITYSCAPE" SMOOTH FINISH
- T: UNA CLAD METAL PANEL SYSTEM - CHARCOAL GREY
- X: UNA CLAD METAL PANEL SYSTEM - CITYSCAPE
- Y: ARCHITECTURAL LOUVERS MECHANICAL SANDSTONE

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by **October 31, 2023**

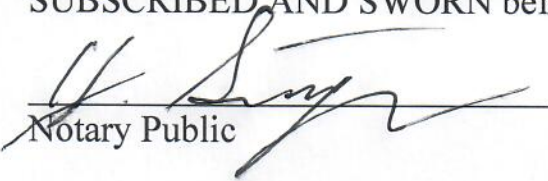
Date: 10/31/23

I, Patrick Anspaugh, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to **Case #ZON23-00139** on the 31 day of October, 2023. At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: 

SUBSCRIBED AND SWORN before me this 31 day of October, 2023.


Notary Public



Case Number: **ZON23-00139**

Project Name: _____

CITY OF MESA PUBLIC NOTICE
ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: November 15, 2023

CASE: ZON23-00139

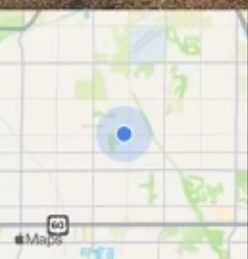
Request: Site Plan Review, Council Use Permit (CUP) and a Special Use Permit (SUP). This request will allow for a Mini-Storage Facility, restaurant with drive-thru facility, and a multi-tenant building with a drive-thru facility.

APPLICANT: Jon Gillespie, Pew & Lake, PLC

PHONE: 480-461-4670

Planning Division: (480) 644-2385

Posting date: 8/25/2023



4312 E University Dr
Mesa AZ 85205
United States