

Hawes Crossing, Village 1, Phase 2

Preliminary Plat and PAD Amendment & Specific Plan Amendment to ZON21-00393

Submittal 1 - May 24, 2023

Submittal 2 – July 17, 2023

Submittal 3 – August 14, 2023

Submittal 3 Revised – September 14, 2023

I. INTRODUCTION

RVi Planning + Landscape Architecture and Hilgart-Wilson are pleased to submit this request on behalf of Lennar Homes. This request is to Rezone 18.3± acres from Small Lot Single Residence 2.5 with a Planned Area Development Overlay (RSL-2.5-PAD) to RSL-2.5-PAD with a new PAD (RSL2.5-PAD-PAD) to allow for additional modification to development standards for (Village 1, Phase 2), and a modification of an existing Planned Area Development (PAD) overlay pertaining to 98± acres, and a Major Site Plan Modification. This request will expand the existing Hawes Crossing Village 1 PAD to include a single residence development known as Village 1 Phase 2.

The site consists of parcel #304-04-029C (+/- 18.3 ac, Hawes Crossing Village 1 Phase 2) and parcels 304-30-98 through 304-30-616 (80.66 ac, Hawes Crossing Village 1 Phase 1. It is located approximately 1,000 feet north of the northwest corner of the intersection of Hawes Road and Elliot Road and is located within the Airport Overflight Area (AOA)3. In total the site is approximately 98.9 acres in area.

BACKGROUND

- In 2020, the City of Mesa approved ZON17-00606 which rezoned 540 acres to PAD to accommodate a mixture of land uses that comprise Hawes Crossing.
- In 2022, the City of Mesa approved ZON21-0039 which amended ZON17-00606 for Phase 1 of Hawes Crossing Village 1 (+/-81.17 acres). Village 1 Phase 1 surrounds the subject site to the north and west. See the Vicinity Map exhibit for the boundaries of each zoning case.
- ZON21-0039 included the following deviations to the RSL2.5 Development Standards:
 1. Deviate from Sec. 11-32-4(F) regarding minimum garage dimensions.
 2. Deviate from Sec. 11-5-3(B) (7) regarding primary exterior materials percentages
 3. Deviate from Sec. 11-5-3(B) (6) (d) regarding minimum window area percentages
 4. Deviate from Sec. 11-5-3(B) (3) regarding dimensions of a covered entry
- Preliminary and Final Plat have been approved for Phase 1 of Hawes Crossing Village 1 and it is currently under construction.

REQUESTS

1. Rezone 18.3± gross-acres from Small Lot Single Residence 2.5 with a Planned Area Development Overlay (RSL-2.5-PAD) to RSL-2.5-PAD with a new PAD (RSL2.5-PAD-PAD) to allow for additional modification to development standards for (Village 1, Phase 2)
2. Approval of a Preliminary Plat for the 18.3-gross-acre (17.0-net-acre) site, Phase 2 of Hawes Crossing Village 1
3. Amendment to the Specific Plan approved as part of ZON21-0039 to additionally include the 18.3-gross-acre (17.0-net-acre) site, Phase 2 of Hawes Crossing Village 1.

II. EXISTING CONDITIONS

GENERAL PLAN DESIGNATION

The City of Mesa General Plan designates the site's land use as Neighborhoods. The General Plan further designates the site as being located within the Employment and Mixed-Use character area.

SURROUNDING ZONING AND LAND USE

Currently, the subject site is used for dairy and agricultural purposes. The table below outlines the existing use or developing use of the subject site and surrounding properties:

| Location | Existing Zoning | Current or Developing Land Use |
|----------|--|--|
| Site | RSL2.5-PAD (Hawes Crossing ZON17-00606) | Dairy, agricultural |
| North | RSL2.5-PAD-PAD (Hawes Crossing Village 1 ZON21-0039) | Hawes Crossing Village 1 - Residential |
| East | LI-PAD | Hawes Road, Light Industrial |
| South | AG | Superstition Farm agricultural uses |
| West | RSL2.5-PAD-PAD Hawes Crossing Village 1 ZON21-0039) | Hawes Crossing Village 1 – Residential |

It is important to note that the property located to the south of the site is not part of the overall Hawes Crossing PAD area. It is zoned agricultural and is actively being used for agricultural and recreational assembly purposes by Superstitions Farms. In addition to operating as a petting zoo, Superstition Farm offers RV camping spaces with hook ups, provides week-long camps, and hosts private events such as parties, weddings, and school field trips.

EXISTING ZONING

The site is zoned Planned Area Development (PAD) for Residential Small Lot (RSL-2.5) under the Hawes Crossing PAD ZON17-00606 (approved October, 2019).

III. PROPOSED DEVELOPMENT PLAN

The land uses, vehicle circulation, open spaces, and trails are proposed to align with the requirements of ZON17-00606. The proposed housing types and individual lots are proposed to follow the RSL2.5 Development Standards Deviations approved in ZON21-0039 and where said deviations do not apply, the housing products and individual lots are proposed to follow applicable requirements of ZON17-00606.

No further amendments beyond those approved for ZON21-0039 are proposed.

Vehicular Access and Circulation

The vehicular access and circulation of the site is proposed to substantially conform to the original Hawes Crossing PAD ZON17-00606.

The site is adjacent to Pratt Avenue and Primrose to the north, 82nd Street to the west, and Hawes Road to the east. Portions of Pratt Avenue and Primrose are considered “Community Collector” streets. 82nd Street is an Urban Collector Street, and Hawes Road is an Arterial. Access is proposed from Pratt Avenue, Primrose, and 82nd Street,

Two main points of vehicular access to the site will be provided. Along the western boundary of the site, vehicular access will be provided via the extension of Peterson Avenue across 82nd Street. From the north, vehicular access will be provided via an extension of Primrose where it intersects with Pratt Avenue.

From these two access points and the adjoining streets of Village 1 the site will ultimately connect to 80th Street to the west and Hawes Road to the east. An alley connection is also proposed to extend from Village 1 into the site to provide further vehicular connectivity.

Within the site, local streets and alleys are proposed, the design of each will be consistent with ZON17-00606 and the street sections included in the approved plat for Phase 1. The local streets will be 35 feet wide from back of curb to back of curb and located within a 50-foot-wide right-of-way. The alleys will be 26 feet wide from back of curb to back of curb and located within a 26-foot wide right-of-way with an 8-foot wide public utility easement on each side.

The proposed vehicular access and circulation complies with ZON17-00606 Exhibit R Circulation Master Plan which shows the site as having local street connections to an adjacent Urban Collector

to the west and a Community Collector to the north with only local streets located within the subject site.

No vehicular access or circulation amendments or refinements are proposed to the existing zoning.

Open Space, Landscaping, and Amenities

The proposed amount of open space and park types substantially aligns with the original Hawes Crossing PAD.

As outlined by Exhibit N Open Space Master Plan approved with ZON17-00606 and refined by ZON21-0039, open spaces in Hawes Crossing Village 1 include a 2.5-acre centrally located **Neighborhood Park**, multiple smaller Pocket Parks, two Urban Plazas at the main arterial entrances to the neighborhood, as well as supportive open areas like landscape buffers & setbacks, pedestrian corridors, and retention basins.

Within the Phase 2 site, ZON17-00606 Exhibit N Open Space Master Plan shows a pedestrian corridor extending from an open space to the north and another extending east-west across the site from Hawes Road to 82nd Street. It also shows a pocket park located in the eastern half of the site. This exhibit was approved with a note clarifying that the conceptual location, size, and configuration of open spaces and trails are subject to change during the Specific Plan process.

The proposed design for Phase 2 includes 6.1 acres of open space (23.1% of the site) to be provided in the form of a pocket park, pedestrian corridors, landscaped setbacks, and retention basins.

The **Pocket Park** is approximately .59 acres in size and will include amenities and improvements commensurate with those provided in parks located in Phase 1 of Village 1. Amenities in Phase 2 will be from the same palette of those provided in Phase 1 and will include a playground, barbeque grill area, bench seating, a ramada, outdoor game area, and an open lawn. Boulder outcroppings and a decorative low fence will also be provided. The pocket park has shifted from the original Hawes Crossing Open Space Master Plan location and is now proposed to be in the western half of the site.

Urban Plazas are a unique open space type required by the Hawes Crossing PAD. As compared to open spaces that are usable for passive or active recreation, the main benefits of Urban Plazas are visual. The enhanced improvements within these areas create a memorable experience as residents arrive and enter Hawes Crossing.

Two Urban Plazas are included in Village 1. The main Urban Plaza is located at the entrance from Hawes Road. The second Urban Plaza is located at the entrance from 80th Street. These Urban Plazas include enhanced entrance landscaping, primary and secondary entry monumentation, and unique hardscape materials. Extending into Village 1 from Hawes Road, the main Urban Plaza is dramatically enhanced by extending into a pedestrian-oriented tree-lined boulevard activated by well-articulated homes with porches and balconies. From 80th Street, the second Urban Plaza is designed with secondary monumentation, the primary theme wall enhanced with extra columns, and a decorative fence. This Urban Plaza extends to a landscape tract with a secondary theme wall

with columns. Combined, the space occupied by these two Urban Plazas meets the minimum requirement of 2% of the gross area of Village 1, Phases 1 and 2.

A quality and articulated appearance of walls is important to the appearance of open spaces throughout the community. To ensure Phase 1 and 2 seamlessly blend together, the same wall designs approved in Phase 1 will be consistently applied in Phase 2. As shown on the Wall Plan, and Hardscape Details exhibits, lots 1-5 and 57-61 will have a theme column placed every 46 feet at the side lot lines of each home. An accent will be centered between these columns resulting in a change in wall plan, material, and color every 23 feet.

Overall, the amount and quality of the proposed open spaces as well as the amenities and appurtenances located within the open spaces substantially aligns with the current zoning.

Pedestrian Circulation and Connectivity

The pedestrian circulation and connectivity of Phase 2 substantially conforms with the original Hawes Crossing PAD, and is further enhanced with additional connectivity improvements.

ZON17-00606 Exhibit "O" Trails Master Plan shows two pedestrian routes, an open space trail extending north-south in the center of the site and east-west near the south of the site, and a theme street trail along the west edge of the site. As proposed, theme street trails will run along 82nd Street, Pratt Avenue, and Primrose. Open space trails will be provided through the pocket park and through the landscaped pedestrian corridor. On-street, along Petunia Avenue, a 6-foot-wide paved trail will extend to connect to open-space paved trails to provide contiguous pedestrian connectivity from Hawes Road to 82nd Street. Overall, the connectivity is substantially as shown in the original Hawes Crossing PAD.

Land Uses

The proposed land use of single-family residential dwelling units is permitted under ZON17-00606. No land use amendments are proposed to the original Hawes Crossing PAD.

A total of 106 single-family homes are proposed across the 18.3-gross-acre (17.0-net-acre) site. This equates to a density of 5.79 units per gross-acre and 6.24 units per net-acre.

In keeping with ZON17-00606, to provide a diversity of housing options, two distinctly different housing options are proposed.

The proposed land use is consistent with ZON17-00606 Exhibit 1: Prohibited Residential Uses. No land use changes are proposed to the existing zoning.

Home Types and Design

For the homes in Phase 2 to be consistent with those approved and under construction in Phase 1, it is proposed to amend ZON17-00606 to allow the same Development Standard deviations as approved in ZON21-0039 (Hawes Crossing Village 1).

Village 1 Home Types and Design

The site will be developed as the final phase (Phase 2) of Hawes Crossing Village 1. In Phase 1, a highly diverse variety of home types have been approved by the City of Mesa and are currently under construction. The home types proposed in Phase 2 will coordinate with those in Phase 1 to create the appearance of one cohesive village filled with diverse home types.

As outlined in the table below, four significantly different home types are proposed across Village 1. These home types include the Traditional homes, Casitas, Alley-Loaded homes, and Townhomes.

| Home Types | Phase 1 | Phase 2 (Site) | Village 1 Total |
|--------------|---------|-------------------|-----------------|
| Traditional | 122 | 0 | 122 |
| Casitas | 84 | 66 | 150 |
| Alley-Loaded | 149 | 40 | 189 |
| Townhomes | 103 | 0 | 103 |
| Total | 458 | 106 | 564 |

These four home types range from one to two stories in height and, from 1,724 to 2,524 square feet in floor area. The Traditional and Casita home types offer the traditional suburban-style front-facing garage design. These two home types are designed with a covered patio and are situated on the larger sized lots of Village 1. The Townhome and Alley-Loaded home types are designed with rear-facing garages that are accessed by a shared alleyway. The Townhomes provide an attached home option while the Alley-Loaded home types are detached and have a useable side yard. In addition to fronting on a street as typically seen in suburban neighborhoods, the two home types can also front onto shared open spaces.

Each of the four home types of Hawes Crossing Village 1 has three floor plan options and three or more elevation style options. Further, the Townhome and Alley-Loaded home types have four unique frontage options that are rare to find across the City of Mesa. These frontage options include the ability to front on (1) a large shared open space, (2) a shared landscaped walkway, (3) a pedestrian oriented street (shared only with other Townhomes or Alley-Loaded home types), and (4) a traditional suburban street (shared with Traditional or Casita home types with front-facing garages and driveways).

The table below outlines the diverse housing type and design options across Hawes Crossing Village 1:

| Home Types | Floor Plan Options | Elevation Options | Frontage Style Options | Total Floor Plan and Elevation Combinations | Total Floorplan, Elevation, & Frontage Combination Options |
|---|--------------------|-------------------|------------------------|---|--|
| Traditional | 3 | 3 | 1 | 9 | 9 |
| Casitas | 3 | 3 | 1 | 9 | 9 |
| Alley-Loaded | 3 | 3 | 4 | 9 | 36 |
| Townhomes | 3 | 3 | 4 | 9 | 36 |
| Total floor plan & elevation combinations: | | | | 36 | |
| Total floor plan, elevation, & frontage combinations: | | | | | 90 |

Phase 2 Home Types and Design

In Phase 2 of Village 1, (the Site) two of the four home types are proposed, the Alley-Loaded home type and the Casita home type. In total 106 units are proposed for the subject 18.3 gross /17.0 net-acre site resulting in a density of 5.79 du/gross-acre and 6.24 du/net-acre.

The table below summarizes the home types and lot sizes proposed in Phase 2:

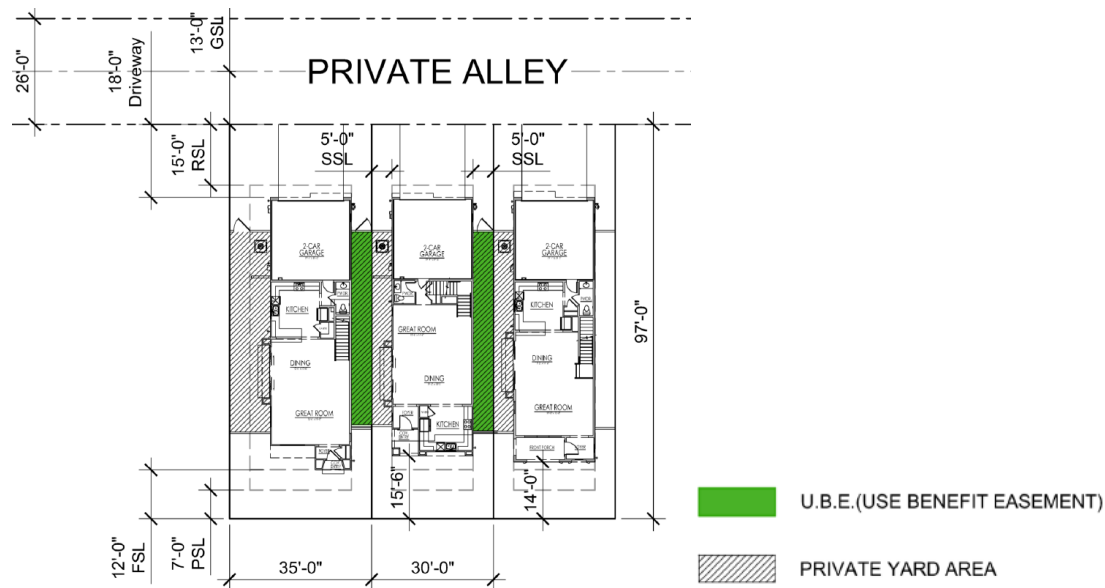
| Home Type | Proposed Quantity | Typical Minimum Lot Dimensions | Typical Lot Size |
|---|-------------------|--------------------------------|----------------------|
| Alley Loaded | 40 | 30' x 97' | 2,910 SF |
| Casitas (Traditional Front-Loaded Single-Family) | 66 | 45' x 86' 48' x 86' | 3,870 SF 4,128 SF |
| Total | 106 | | |

Alley-Loaded Home Type

The Alley-Loaded units will be consistent with those used in Phase 1.

The Alley-Loaded units are 20' wide and between 62'6" and 67' long and situated on 30' x 97' lots. The setbacks are proposed to follow ZON21-0039 and are listed below:

- Front Setback – 12'
- Porch Setback – 7'
- Rear Setback – 15'
- Side Yard Setbacks will be 5'; however, residents will have access to a more functional 10-foot wide side yard by the means of use benefit easements (U.B.E) as shown in the image below:



As shown in the elevation and floor plans included in this submittal, three floor plan variations are proposed for the Alley-Loaded units; each floor plan has three different elevation designs. This equates to a total variety of nine different home options for the Alley-Loaded home type. The Alley-Loaded homes are designed with different roof designs, fenestration, projected/recessed facades, varied but coordinated color schemes, and a variety of façade accents like tiles, shutters, wrought-iron details, coach lights, and other similar accents.

All of the proposed homes will have a front entry designed to be covered from sun exposure and to be clearly visible from the front property line. While front porches are not required to be provided, six out of the nine proposed home combinations include porches that meet or exceed the minimum 6'x6' porch dimensions required by the MZO. (See 2016 and 2019 floor plans) Porches provide comfortable outdoor space for residents to relax outside where they are visible from the street, thus "activating" the streetscape and increasing the safety and enjoyment of the community. To ensure porches are predominantly used, Lennar commits to only one home without a balcony being placed on every fourth lot for lots 84-100.

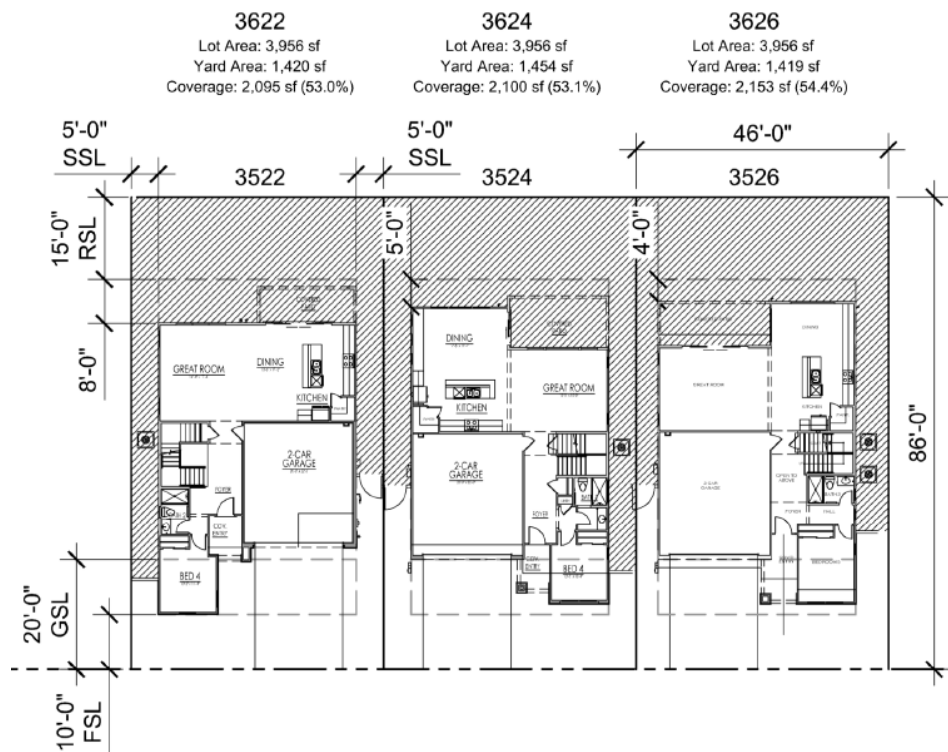
As outlined in the Alternative Compliance section, each Alley-Loaded unit seeks Alternative Compliance to the minimum criteria for streetside window area, façade material, stoop dimensions, and garage dimensions.

Casita Home Type

The Casita Units will be consistent with those proposed in Phase 1.

These units are 35' wide and between 52'6" and 59'6" long and situated on 45'- 48' x 86' lots. The minimum proposed setbacks are listed and shown below:

- Front Setback – 10'
- Garage Front Setback – 20'
- Rear Setback – 15'
- Side Setback – 5'



As shown in the elevations and plans included with this submittal, there are three Casita floor plan options. Each of these floor plans is further associated with three elevation options. This results in a total variety of nine different home options for the Casita home-type.

Each Casita is designed with quality façade materials and unique architectural enhancements such as pop-outs, varying rooflines, enhanced windows, accented shutters, recessed second floors, balconies, porches, accent sills, and other similar enhanced design elements.

The proposed Casita elevations intentionally do not include an enhanced elevation for the garage side of the homes as this elevation is not provided. To encourage community safety through design, Lennar does not allow for the garage and driveway to be located closest to the road on corner lots, thus the enhanced garage elevation is not needed.

To ensure the community has a vibrant and interesting appearance, Lennar further commits to the following monotony standards:

- No more than three (3) contiguous lots may have the same floor plan;
- No more than three (3) contiguous lots may have the same elevation style (i.e. Spanish, Craftsman, etc.);
- An identical floor plan and elevation combination may not be repeated directly across any street;
- An identical floor plan and elevation combination may not be repeated directly adjacent to the same floor plan and elevation combination; and
- Adjacent lots and lots directly across the street from each other may not use the same paint color for the primary material, regardless of floor plan.

As outlined in the Alternative Compliance section, each Casita unit seeks Alternative Compliance for minimum garage dimension criteria. Seven of the nine Casita elevations seek Alternative Compliance for the prescribed street-side window area criteria. One Casita elevation seeks Alternative Compliance for the prescribe front façade window area criteria.

IV. PRELIMINARY PLAT

The Preliminary Plat for Village 1 Phase 2 will include dedicated rights-of-way, tracts, and easements in a manner that is consistent with the preliminary plat of Phase 1. Open spaces and retention areas will be located in tracts. The proposed streets will be in dedicated rights-of-way with public utility easements on each side. Consistent with Phase 1, the Alley Loaded Units will have 5-foot-wide use benefit easements which cover one of their side yards to create a 10-foot-wide usable space to benefit the owner of the adjoining lot. End lots will be 5 feet wider to provide the same 10-foot wide usable space.

V. PAD AMENDMENT AND ALTERNATIVE COMPLIANCE

To encourage creativity, the City of Mesa Zoning Code allows for applicants to deviate from the prescribed Development Standards and meet said standards in ways other than as prescribed by the Code. To do so, applicants must submit an application for Alternative Compliance and identify the prescribed Development Standards they will deviate from as well as the comparable alternate development standard or "Alternative Compliance" that they are proposing to replace each respective Development Standard with.

The proposed housing product types will require deviations to the current PAD-RSL-2.5 standards approved in ZON17-00606. To accommodate the proposed deviations, it is proposed that the PAD-RSL-2.5 standards approved in the ZON21-00393 PAD amendment for Phase 1 of Hawes Crossing Village 1 also be applied to the subject site, Hawes Crossing Village 1, Phase 2.

The deviations approved in ZON21-00393 that are being requested for Phase 2 include:

1. Deviation to Sec. 11-32-4(F) regarding minimum garage dimensions.
2. Deviation to Sec. 11-5-3(B) (7) regarding primary exterior materials percentages
3. Deviation to Sec. 11-5-3(B) (6) (d) regarding minimum window area percentages
4. Deviation to Sec. 11-5-3(B) (3) regarding dimensions of a covered entry

Below are the proposed Alternative Compliance standards for the above-requested deviations:

| Mesa Zoning Code Standard | Proposed Alternative Compliance PAD-RSL-2.5 Standards (To match those approved from ZON21-00393) |
|--|---|
| Minimum Dimensions for Residential Enclosed Double Car Garage - MZO Section 11- 32-4 (F) | Minimum Garage Dimensions: 19 feet 4 inches wide and 19 feet 6 inches long |
| Building Materials - MZO Section 11- 5-3(B) (7) | Spanish Colonial and Spanish Hacienda models may use one material on 100% of the front façade |
| Windows - MZO Section 11-5- 3(B) (6) (b) | Dwellings located on corner lots shall include windows on the facade facing each street. Such window area should constitute at least: 6.5% of the façade's area for the Casita Home Type and 6% of the facade's area for the Alley-Loaded Home Type |
| Primary Entrances - MZO Section 11- 5-3(B) (3) | Plan 2020A the Spanish Colonial shall provide a front porch with a minimum depth of 6 feet, as measured from the building facade to the posts, and a minimum length of 8 feet; or a portico, awning, recess, or stoop measuring at least 2'6" x 5'4" which is well defined by a gabled entry, distinct change in roof line or columns, or has some other significant architectural distinction. |

Justification for Proposed Alternative Forms of Compliance

REQUEST #1 – RELIEF FROM MINIMUM GARAGE DIMENSIONS per MZO Section 11- 32-4(F)

The minimum prescribed garage dimensions of 20' x 22' are to accommodate two parked vehicles as well as typical home appurtenances such as a water heater, trash receptacles, etc. inside the garage. Lennar is proposing a tankless water heater which will mount to the interior garage wall and will not encroach into the space needed for vehicles to park which typically limits the useable depth of the garage to 19 feet. Space will be reserved in the side yard behind a privacy wall for trash receptacles. This proposed alternative form of compliance meets the intent of the prescribed dimensions which is to accommodate two parked vehicles.

REQUEST #2 – RELIEF FROM DUAL EXTERIOR MATERIAL REQUIREMENT per MZO Section 11- 5-3(B)(7):

As outlined in ZON21-00393, Spanish-inspired architectural styles typically use one main façade material and integrate elements such as rails, tiles, accent lights, gable decals etc. to articulate the façade. The prescribed standard for two or more materials is to ensure facades do not appear plain or unattractive. The proposed Spanish-Colonial and Spanish-Hacienda elevations are appropriately scaled, composed, and articulated to provide a high-quality neighborhood appearance and aesthetically benefit from a simplistic material palette. Further, when considered in conjunction with the proposed Monterey and Craftsman elevations which do include dual material types, the proposed Spanish-Colonial and Spanish-Hacienda elevations will provide enhanced architectural diversity throughout the community.

REQUEST #3 – RELIEF FROM WINDOW AREA REQUIREMENT per MZO Section 11-5- 3(B)(6)(b):

As shown on the building elevations, and as outlined in the Alternative Compliance Table, numerous high-quality design elements are proposed on each of the elevations seeking relief from the minimum prescribed window criteria. In varying ways, these elements result in a proposed alternative that is aesthetically more complementary to the site, area context, and architectural theme.

REQUEST #4 – VARIATION FROM MINIMUM FRONT STOOP DIMENSION REQUIREMENT per MZO Section 11- 5-3(B)(3)

The intent of the 4'x4' prescribed stoop criterion is to orient visitors to a clearly defined entrance to each home. The Spanish Colonial floorplan (2020A) proposes a 2'6" x 5'4" stoop. Although the stoop is 1'6" shallower than prescribed, the entrance to the homes is clearly defined by a projecting architectural bay with interesting chamfered walls that lead to 3 arched windows on the second floor which will be centered over the entrance.

As further outlined in the Alternative Compliance Table the above justifications meet the following Alternative Compliance Criteria of the MZO:

- Section 11-5-3(B) (9) (ii) – Prevailing practices of the surrounding Hawes Crossing Village 1 include the above-mentioned alternative forms of compliance. This amendment seeks conformance with standards previously approved with Phase 1 of Village 1 (per ZON21-00393).
- Section 11-5-3(B) (9) (iii) – Alternative compliance may be considered where it resolves safety concerns.
- Section 11-5-3(B) (9) (iv) – The proposed alternative forms of compliance mentioned above will be aesthetically more complementary to the site, better fit into the context of the area, and improve the overall architectural appeal of the area, than the application of the prescribed MZO criteria.

The table below provides further details on the Alternative Compliance(s) requested for each home. The corresponding footnotes outline the justification for each Alternative Compliance:

| Home Floor Plan, Elevation Style | Alternative Compliance | | | | Alternative Compliance Notes and Footnote reference. |
|-------------------------------------|---------------------------------------|-----------------------|---------|---------------------------|---|
| | Garage Dimensions (Footnote 15) | Building Materials | Windows | Front Stoop Dimensions | |
| Casitas | | | | | |
| 3522, Tuscan | X | | | | |
| 3522, French Country | X | | X | | 7.2% Front (1, A) |
| 3522, Italianate | X | | | | |
| 3524 Spanish Colonial | X | | X | | 7.5% Streetside (1, A) |
| 3524 Craftsman | X | | X | | 7.8% Streetside (2, A) |
| 3524F French Country | X | | X | | 8.7% Streetside (3, A) |
| 3526 Spanish Colonial | X | | X | | 7.8% Streetside (4, A) |
| 3526 French Country | X | | | | 6.7% Streetside (5, A) |
| 3526 Craftsman | X | | X | | 6.8% Streetside (6, A) |
| Alley-Loaded | | | | | |
| 2016 Spanish Colonial | X | X | X | | 6.5% Side (7, 13, A, B) |
| 2016 Italianate | X | | X | | 6.2% Side (7, A, B) |
| 2016 Craftsman | X | | X | | 6.6% Side (8, A, B) |
| 2019 Spanish Colonial | X | X | X | | 6.5% Side (7, A, B) |
| 2019 Craftsman | X | | X | | 6.4% Streetside (7, A, B) |
| 2019 Tuscan | X | | X | | 6.3% Streetside (9, A, B) |
| 2020 Spanish Colonial | X | X | X | X | 6.3% Streetside (10, 13, 14, A, B) |
| 2020 Italianate | X | | X | | 6.6% Streetside (11, A, B) |
| 2020 Monterey | X | | X | | 6.6% Streetside (12, A, B) |

Footnotes

1. This elevation uses smaller windows paired with accented shutters. The resulting visual appearance is similarly balanced to facades that meet or exceed the prescribed 10% criteria. The windows of this elevation are further articulated by having windowpanes and being situated next to horizontal trim, sculpted sill projections, or sills supported by corbels.
 2. This elevation has a quaint sized second story projection with an accented gable roofline that extends above the eave line. The recessed second story of the rear elevation, and three projections of the front elevation are visible and further contribute to aesthetically enhancing the appearance of this streetside elevation.
 3. This elevation uses smaller windows paired with accented shutters. The windows of this elevation are further articulated with "six-over-one" windowpanes and molding. The recessed second story (front and rear elevations) also enhance the appearance of this street side elevation.
 4. This elevation pairs accented shutters and a sculpted sill projection with the central window to visually break up the appearance of the streetside elevation. The changing rooflines, sculpted wingwall of the front elevation and windows enhanced with windowpanes and molding all together provide a well-defined architectural appearance that enhances the streetscape.
 5. There are two different roof projections visible on this elevation. The side-facing gable is accented with lap siding in a contrasting color to the surrounding façade. A quaint-size second story projection as well as accented shutters and enhanced windows further articulate this elevation.
 6. This elevation has a quaint-sized second story projection with an accented gable roofline at the top and contrasting color band at the bottom. The main varying gable roofline is accented with shingle siding and a façade banding in contrasting colors to create an interesting street side elevation.
 7. The windows are enhanced with windowpanes and molding and are equally spaced to coordinate well with foundation landscaping. The accented shutters, varying roof lines, and projections of the front and rear elevations create further visual interest.
 8. The windows are enhanced with windowpanes and molding and are equally spaced to coordinate well with foundation landscaping. The horizontal banding between floors, accented shutters, varying roof lines, and substantial rear first-floor projection aesthetically compensate for the amount of proposed window area.
 9. This elevation is apparently different from the other homes by having a simple second-story hipped roof line, a predominant elevation material, tall eight-paned windows with shutters, and wrought-iron potshel accents. This visually different elevation will add to the aesthetic variety of the community.
 10. Lennar has provided well-designed accents on this elevation, including many shutters and enhanced windows on the 2nd floor. The unique curved window and chamfered corner and chamfered eave line of the front elevation are visible from this elevation. The use of shutters in combination with articulated windows results in the same visual weight of the prescribed 10% window coverage.
 11. Lennar has provided well designed accents on this elevation, including numerous enhanced windows shutters.
 12. This elevation stands out from the rest by having a distinctive horizontal band in a contrasting color between the first and second floor as well as a deep second story balcony on the front façade that is visibly part of the side elevation. This balcony is uniquely accented by 8" exposed wood beams and corbels and spaced composite wood railing. Said components create an enhanced elevations that will add interesting aesthetic variety to the community and sufficiently compensate for the reduction in windows.
 13. The single dominant façade material will add to the majority of elevation styles that are comprised of multiple façade materials. The single dominant material is consistent with Spanish architectural design.
 14. The intent of the minimum stoop dimensions to clearly identify the front entrance of the home is still achieved through the unique chamfered corners, curved windows, and projected architectural bay over the front door.
 15. Typical garage appurtenances will not intrude in the garage space. Consistent with review standards, the reduced proposed garage dimensions better fit into the context of Hawes Crossing Village 1. See Alternative Compliance section of narrative for further Alternative Compliance justification.
- A. The proposed alternative compliance meets the review criteria of Section 11-5-3(b) (iv) by being aesthetically more complementary and improving the overall architectural appeal of Hawes Crossing Village
- B. Lennar does not feel comfortable increasing any size of windows on the bottom floor for safety reasons. None of these windows will be behind a fence and in certain areas would be 10' away from a public sidewalk, trail, or open space. Alternative Compliance is supported to resolve safety concerns, per Section 11-5-3(b) (iii).

VI. GENERAL PLAN COMPLIANCE

The General Plan character area designation for the Site is a combination of Mixed-Use Community / Employment. Per Chapter 7 of the General Plan, descriptions of the two character types are:

Mixed-Use Activity Districts are large-scale (typically over 25 acres) community and regional activity areas that usually have a significant retail commercial component that are designed and developed to attract customers from a large radius. These districts often include other uses such as office, entertainment, and residential.

Employment Districts are a character type that is primarily used for employment-type land uses of at least 20 acres. However, in certain circumstances individual employment-type developments that are located on sites less than 20 acres may be appropriate. Employment Districts typically have minimal connection to the surrounding area. The goal of Employment Districts is to provide for a wide range of employment opportunities in high-quality settings. Land uses such as business parks, manufacturing, or warehousing etc. align with Employment District goals.

The proposed development of Hawes Crossing Village 1 Phase 2 complies with the goals of the Mixed-use Activity District by providing residential to support the Mixed-Use development to the south. Below, a brief response is provided to the five review questions identified to determine if a proposed development achieves the visions and goals of the General Plan:

1. Is the proposed development consistent with furthering the intent and direction contained in the General Plan?
The proposed development of diverse and high-quality residential units will support existing and future commercial and employment land uses within the vicinity and thus is consistent with the intent of the Mixed-Use Activity Center.
2. Is the proposed development consistent with adopted sub-area or neighborhood plans?
The proposed development will provide a variety of housing options to support varying needs of residents in this area. This is specifically consistent with Goal 2.2.2 which calls for a variety of housing types and styles.
3. Is the proposed development consistent with the standards and guidelines established for the applicable character type?
As noted above, the proposed development is in line with the standards and guidelines of the Mixed-Use Activity District as medium-high density residential with a pedestrian-friendly environment that connects to open space and the Mixed-Use district to the south. The development of Village One South will facilitate the development of the Mixed-Use district by providing a transitional land use to the lower density residential to the north.
4. Will the proposed development serve to strengthen the character of the area?
Phase 2 will strengthen the area by completing Village 1 of Hawes Crossing. The applicant has carefully ensured that the treatment of homes, lots, side yard easements, streets, open spaces, and amenities remain consistent with Phase 1. Further, the connectivity between Phase 1 and 2 has been enhanced by an additional alley connection and on-street trail connection. This attention to detail will

create a seamless transition between Phase 1 and 2 to ensure Village 1 will successfully be perceived as one community and thus strengthen the overall character of the area.

5. Does the proposed development provide appropriate transitions between uses?

As mentioned above, the proposed residential uses are intentionally very consistent with those provided in Phase 1, thus omitting the need for a transition between the Site and the area to the north and west. To the east, the Site fronts on Hawes Road where the prescribed street setback will be adhered to in order to ensure sufficient space is provided between the homes and the roadway. To the south, a landscape buffer will be provided between the homes and the neighboring Superstitions Farms.

| City of Mesa Zoning Ordinance | | |
|--|------------|--|
| Standard | RSL-2.5 | Additional Standards |
| Minimum Average Lot Area of Subdivision (sq. ft.) | 2,500 | |
| Minimum Individual Lot Area (sq. ft.) | 2,000 | |
| Minimum Lot Width -Interior Lot (ft.) | 25 | |
| Minimum Lot Width - Corner Lot (ft.) | 30 | |
| Minimum Lot Depth (ft.) | 75 | |
| Maximum Lot Coverage (% of lot) | 80% | |
| Maximum Height (ft.) | 30' | |
| Maximum Number of Stories | 2 | A third story may be permitted if meets specific standards. See 11-5-43(A) (4) |
| Front Setback- Building Wall | 12' | |
| Front Setback- Garage | 20' | |
| Front Setback- Porch | 7' | |
| Street Side Setback | 10' | |
| Interior Side Setback: Minimum each side | 3' | |
| Interior Side Setback: Minimum aggregate of 2 sides | 8' | |
| Rear Setback | 15' | |
| Rear or Side - Garage, Accessed by Alley or Common Drive Shared by 3 or More Lots; Measured to Construction Centerline of Alley or Drive | 13' | |
| Minimum Useable Open Space (sq. ft.) per unit | 400 sq.ft. | See 11-5-43(A) (5) |