

WARE MALCOMB

ARCHITECTURE | PLANNING
INTERIORS | CIVIL ENGINEERING
BRANDING | BUILDING MEASUREMENT

Date: 08.28.2023
To: Planning Division
City of Mesa
Project Name: Meridian 24
Project No.: PHX22-0015-00
Subject: Project Narrative
From: Morgan Retzlaff

Project Narrative:

Introduction:

Project Meridian 24 is located adjacent at the Southwest corner of Meridian Road and State Road 24 (Gateway Freeway) in Mesa, Arizona. The parcel number for the project is 304-34-057D and covers 41.49 acres (1,807,152 SF). The goal of the project is to deliver (5) five single-load industrial buildings totaling 485,072 square feet of highly functional and affordable industrial, manufacturing and distribution space to the Southeast Valley. The make-up of the buildings is as follows:

Building 1 – 141,504 SF
Building 2 – 117,744 SF
Building 3 – 85,728 SF
Building 4 – 74,208 SF
Building 5 – 65,888 SF
Total – 485,072 SF (covering 27% of total site area)

Truck court layouts allow each building to be occupied by 1-4 Tenants. Each Tenant would have access to both truck court overhead doors and drive-in overhead doors. Drive entrances (located along Meridian Road) have been designed and placed to separate vehicle traffic from semi-tractor traffic. Decel lanes are present at both drive entrances to increase efficiencies in the flow of traffic on Meridian Road. Semi-tractors are able to navigate the site with an internal drive through Meridian Road (East and West) to the 40' drive connecting the site (North and South).

Zoning:

1. The proposed development is currently zoned General Industrial – GI.
2. Warehousing and Office are permitted uses in the General Industrial district.

Logistics and Commerce District:

1. Goal 1: Maximize Potential of Phoenix-Mesa Gateway Airport
 - a. The proposed site is on the far East side of the district and building heights pose no issues to flight corridors (both landing and approach zones).
2. Goal 2: Job Creation
 - a. The target Tenants for the proposed project are in line with district expectations. Light manufacturing and warehousing are expected to occupy most of the park's square footage.
3. Goal 3: Connectivity – Transportation / Transit
 - a. Truck traffic can easily navigate to the site via Highway 24. The proposed project is to be accessed with both a right-in / right-out access along with a full access drive further to the South. Once on site, a 40' truck drive circles the project site for enhanced maneuverability throughout the site.
4. Goal 4: Sustainable Development
 - a. All buildings within the proposed park will be designed to be in compliance with City's minimum requirements for energy efficiency. The paving at the site will also be designed to utilize concrete paving in lieu of asphalt to reduce the heat island of the park.

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Site Amenities:

The site plan provides common open space and amenities for the useful enjoyment of employees and visitors to the site. The common open spaces are arranged for functionality and shall be furnished with eating areas, site furniture (such as benches, tables, waste receptacles, planters) or other amenities. These areas have been accounted for at each main entry point of the buildings.

Parking:

Please note that the site is currently designed using 1/375 square feet of parking for office areas and 1/900 square feet of parking for warehouse areas as established by MZO standards for parking within GI zoning. The parking for the site has been calculated based on 5% of each building having office (B) occupancy classification.

Screening:

Truck docks to be screened with combination of 8' solid walls and security fencing (non-public view) as outlined in the screening exhibit provided. Outdoor storage including trailer parking to be screened by similar approach. Parking along Meridian Road to be screened with 3'-4" solid wall with 5' setback from curb.

Foundation Base:

Building provided with 14' foundation base along north and south (primary) facades. This places the fire lane within the prescribed 30' maximum allowed by code, while still providing as much foundation base area as possible along the primary frontages of the buildings. Corner office locations, which serve as the primary public entrances to the building, are provided in excess of 20' of foundation area. See provided foundation base area and open space plan provided. Truck courts along east and west facades of building excluded from foundation base consideration, except at corner office entries.

Alternative Compliance Requests:

1. Variety of materials – MZO Section 11-7-3.B.5

- o To reduce the apparent massing and scale of buildings, facades shall incorporate at least three (3) different and distinct materials.*
- o No more than fifty percent (50%) of the total façade may be covered with one (1) single material.*

No more than 50% of the façade is covered with any one color or texture, and each building in the multi-building complex share similar characteristics and design moves for a cohesive feel. A variety of colors and textures are used to elevate the concrete tilt panel structure, including extensive use of formliners, reveals, and applied shading devices. The color palette is modern and sleek, with large expanses of glass evoking a Class-A feel.

2. Parapet detailing – MZO Section 11-7-3.B.2.c.iii

- o All parapets must have detailing such as cornices, moldings, trim, or variations in brick coursing.*

Several architectural moves help break up the massing of panels at the roofline and define the planes at each building, including inset panels, horizontal shading devices, reveal lines, and textural changes. Concrete tilt panels are self-flashing, so metal coping or flashing at the top of panel is not required. Additionally, applied foam cornices or other "added" geometry at the roof line would be foreign to the overall design palette and were withheld.

LANDSCAPE REQUIREMENTS

REQUIREMENT	REQUIRED	PROVIDED
PERIMETER LANDSCAPE NORTH PERIMETER- ADOT ROW • NO BUFFER REQUIRED WEST PERIMETER - INDUSTRIAL • NO BUFFER REQUIRED SOUTH PERIMETER - INDUSTRIAL • NO BUFFER REQUIRED EAST PERIMETER • TOWN OF QUEEN CREEK ROW • URBAN PRINCIPAL ARTERIAL • 1 TREE / 30 LF, 6 SHRUBS / 25 LF	NO BUFFER REQUIRED NO BUFFER REQUIRED NO BUFFER REQUIRED	NO BUFFER REQUIRED NO BUFFER REQUIRED NO BUFFER REQUIRED
INTERIOR PARKING LOT PARKING ISLANDS • 1 TREE, 3 SHRUBS / ISLAND MIN. 10% PARKING LOT TREES = 36" BOX	133 ISLANDS = 133 TREES, 402 SHRUBS 133 TREES TOTAL = 13 - 36" BOX TREES	133 TREES , 1,457 SHRUBS 13 - 36" BOX TREES
RETENTION BASIN • LANDSCAPE IN ALL AREAS OF BASIN (SLOPE, TOP AND BOTTOM)		PROVIDED
FOUNDATION BASE • 10% OF TREES: 36" BOX BUILDING 1 (1,102 LF) • EXTERIOR WALLS (1 TREE / 50 LF) • ADJACENT WALLS 25% MIN. BUILDING 2 (993 LF) • EXTERIOR WALLS (1 TREE / 50 LF) • ADJACENT WALLS 25% MIN. BUILDING 3 (845 LF) • EXTERIOR WALLS (1 TREE/50 LF) • ADJACENT WALLS 25% MIN. BUILDING 4 (788 LF) • EXTERIOR WALLS (1 TREE/50 LF) • ADJACENT WALLS 25% MIN. BUILDING 5 (748 LF) • EXTERIOR WALLS (1 TREE/50 LF) • ADJACENT WALLS 25% MIN.	9 TREES (36" BOX) 22 TREES 256 LF LANDSCAPE 20 TREES 248 LF LANDSCAPE 17 TREES 211 LF LANDSCAPE 16 TREES 197 LF LANDSCAPE 15 TREES 187 LF LANDSCAPE	9 TREES (36" BOX) 27 TREES 1,049 LF LANDSCAPE 22 TREES 886 LF LANDSCAPE 17 TREES 662 LF LANDSCAPE 17 TREES 634 LF LANDSCAPE 15 TREES 570 LF LANDSCAPE
50% LIVE COVERAGE (386,534 SF) • EVERGREEN TREES • SHADE TREES • ORNAMENTAL TREES • LARGE SHRUBS (8' HT.) • MEDIUM SHRUBS (4-8' HT.) • SMALL SHRUBS (<4' HT.) • COLUMNAR EVERGREEN TREE • COLUMNAR EVERGREEN SHRUB • EVERGREEN GROUNDCOVER • PERENNIAL GROUNDCOVER OR GRASSES	193,267 SF • 100 CREDITS (SF) (EACH) • 50 CREDITS (SF) (EACH) • 25 CREDITS (SF) (EACH) • 50 CREDITS (SF) (EACH) • 25 SCREDITS (SF) (EACH) • 10 CREDITS (SF) (EACH) • 25 SCREDITS (SF) (EACH) • 10 CREDITS (SF) (EACH) • 25 CREDITS (SF) (EACH) • 5 CREDITS (SF) (EACH)	208,515 SF • 150 PLANTS / 15,000 CREDITS (SF) • 165 PLANTS / 8,250 CREDITS (SF) • 217 PLANTS / 5,500 CREDITS (SF) • 1,387 PLANTS / 69,350 CREDITS (SF) • 2,525 PLANTS / 63,125 CREDITS (SF) • 163 PLANTS / 1,630 CREDITS (SF) • 0 PLANTS / 0 CREDITS (SF) • 0 PLANTS / 0 CREDITS (SF) • 1,706 PLANTS / 42,650 CREDITS (SF) • 602 PLANTS / 3,010 CREDITS (SF)

FOUNDATION BASE AREA CALCULATIONS

BUILDING	BASE AREA REQUIRED	BASE AREA PROVIDED	AVERAGE DEPTH
• BUILDING 1 (1,102 LF)	• 16,530 SF	• 17,532 SF	• 15.9 LF
• BUILDING 2 (993 LF)	• 14,895 SF	• 17,646 SF	• 17.8 LF
• BUILDING 3 (845 LF)	• 12,675 SF	• 14,270 SF	• 16.9 LF
• BUILDING 4 (788 LF)	• 11,820 SF	• 13,395 SF	• 17.0 LF
• BUILDING 5 (748 LF)	• 11,220 SF	• 13,004 SF	• 17.4 LF

*PER CITY OF MESA ZONING ORDINANCE 11-33-5, FOUNDATION BASE DOES NOT INCLUDE LOADING AND SERVICES AREAS IN REAR OF EACH BUILDING

COMMON AREA CALCULATIONS

BUILDING	TOTAL REQUIRED	TOTAL PROVIDED
• BUILDING 1 (143,204 SF)	• 1,432 SF	• 1,632 SF
• BUILDING 2 (119,433 SF)	• 1,194 SF	• 1,504 SF
• BUILDING 3 (87,042 SF)	• 870 SF	• 1,104 SF
• BUILDING 4 (75,470 SF)	• 755 SF	• 1,066 SF
• BUILDING 5 (67,162 SF)	• 672 SF	• 1,101 SF

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
7740 N. 16TH STREET SUITE #300
PHOENIX, AZ 85020
PH: (480) 678-3403
CONTACT: JEFF BOYD, PE
EMAIL: JEFF.BOYD@KIMLEY-HORN.COM

OWNER/DEVELOPER

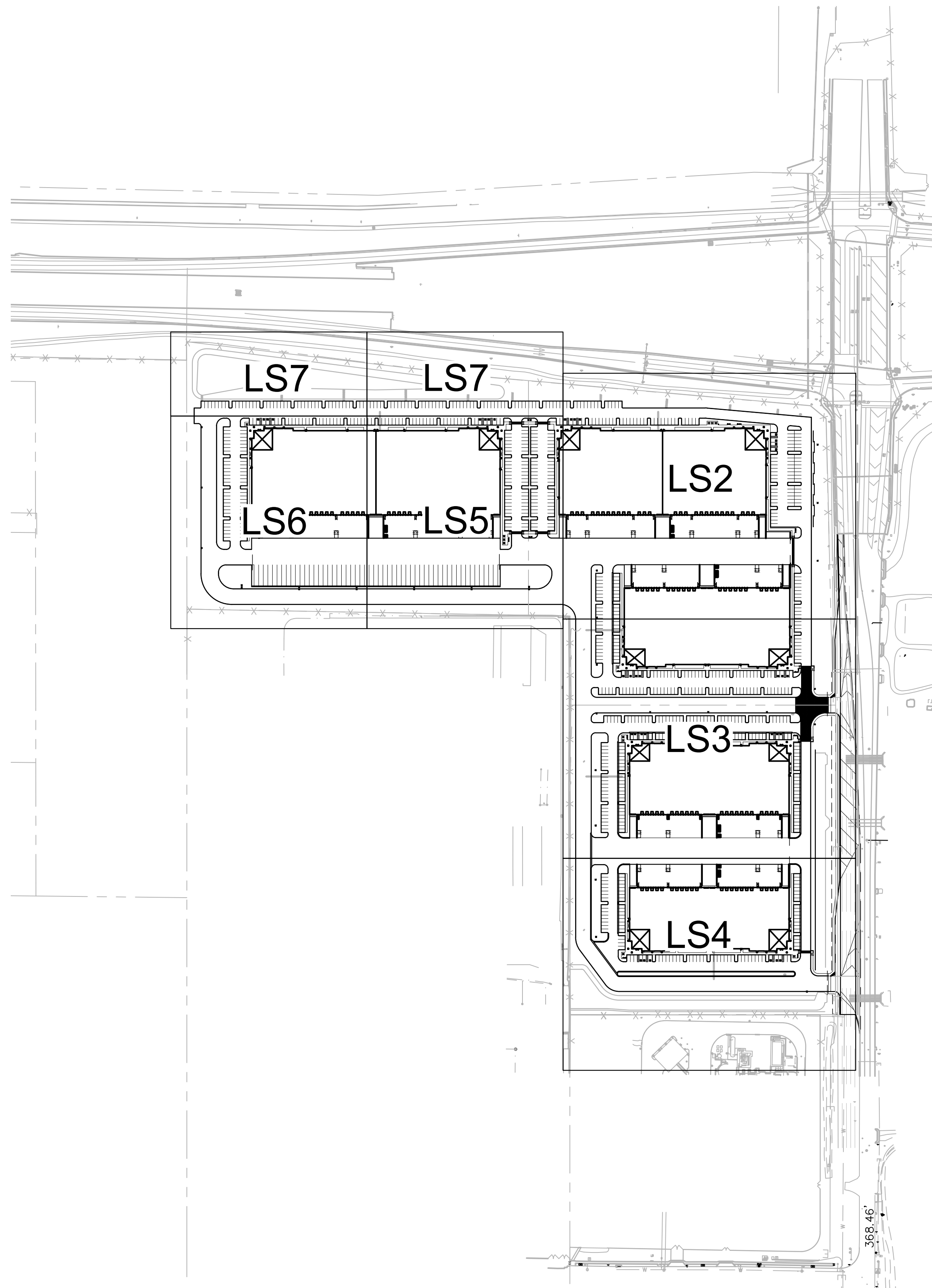
SR24MERIDIAN QOZB, LLC.
AN ARIZONA LIMITED LIABILITY COMPANY
7300 W ORCHID LN.
CHANDLER, AZ 85226

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
7740 N. 16TH STREET SUITE #300
PHOENIX, AZ 85020
PH: (602) 906-1103
CONTACT: ANDREW VALESTIN, PLA
EMAIL: ANDREW.VALESTIN@KIMLEY-HORN.COM

PLANTING LEGEND

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
●	Acacia aneura	1½" Cal. Min., 24" Box	120
○	Mulga	1½" Cal. Min., 24" Box	62
△	Parkensonia x 'Desert Museum'	*2" Cal. Min., 36" Box	13
○	Desert Museum Palo Verde	1½" Cal. Min., 24" Box	161
○	Pistacia chinensis	*2" Cal. Min., 36" Box	4
○	Red Push Pistache	1½" Cal. Min., 24" Box	35
○	Prosopis x 'Leslie Roy'	1½" Cal. Min., 24" Box	32
○	Leslie Roy Mesquite	*2" Cal. Min., 36" Box	8
○	Olneya tesota	1½" Cal. Min., 24" Box	89
○	Ironwood	*2" Cal. Min., 36" Box	9
○	Sophora secundiflora	1½" Cal. Min., 24" Box	
○	Texas Mountain Laurel	*2" Cal. Min., 36" Box	
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
●	Bougainvillea x 'Torch Glow'	5 Gal.	199
●	Torch Glow Bougainvillea	5 Gal.	161
●	Dodonea viscosa	5 Gal.	166
●	Green Hopseed Bush	5 Gal.	163
●	Eremophila hygrophana	5 Gal.	905
●	Bluebells	5 Gal.	704
○	Melaleuca viminalis	5 Gal.	
○	Little John Bottlebrush	5 Gal.	
○	Ruellia peninsularis	5 Gal.	
○	Baja Ruellia	5 Gal.	
○	Tecoma stans 'Gold Star'	5 Gal.	
○	Yellow Bells	5 Gal.	
ACCENTS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
*	Hesperaloe funifera	5 Gal.	323
*	Giant Yucca	5 Gal.	1,454
*	Hesperaloe parviflora 'MSWNPERRMA'	5 Gal.	602
*	Desert Dusk Red Yucca	5 Gal.	
*	Muhlenbergia rigens	5 Gal.	
*	Deer Grass	5 Gal.	
GROUNDCOVERS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
●	Eremophila glabra 'Mingenew'	1 Gal.	1,706
●	Outback Sunrise Emu	1 Gal.	
MATERIALS	DESCRIPTION	QTY	
■	Decomposed Granite	386,535 SF	
■	3" Minus, Express Caramel, 2" Depth Min.		



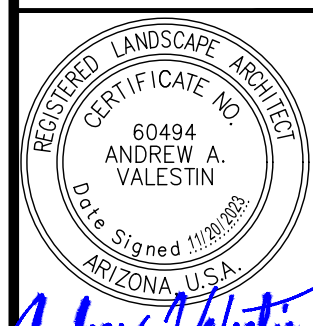
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DESIGNED BY: JAJ
DRAWN BY: JMW
CHECKED BY: AAV
DATE: 11/20/2023

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY LANDSCAPE COVER

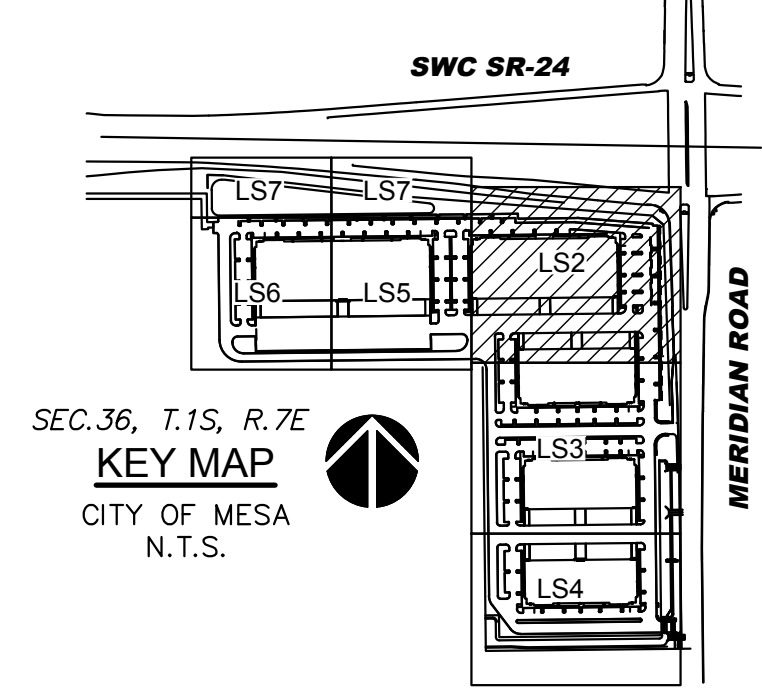
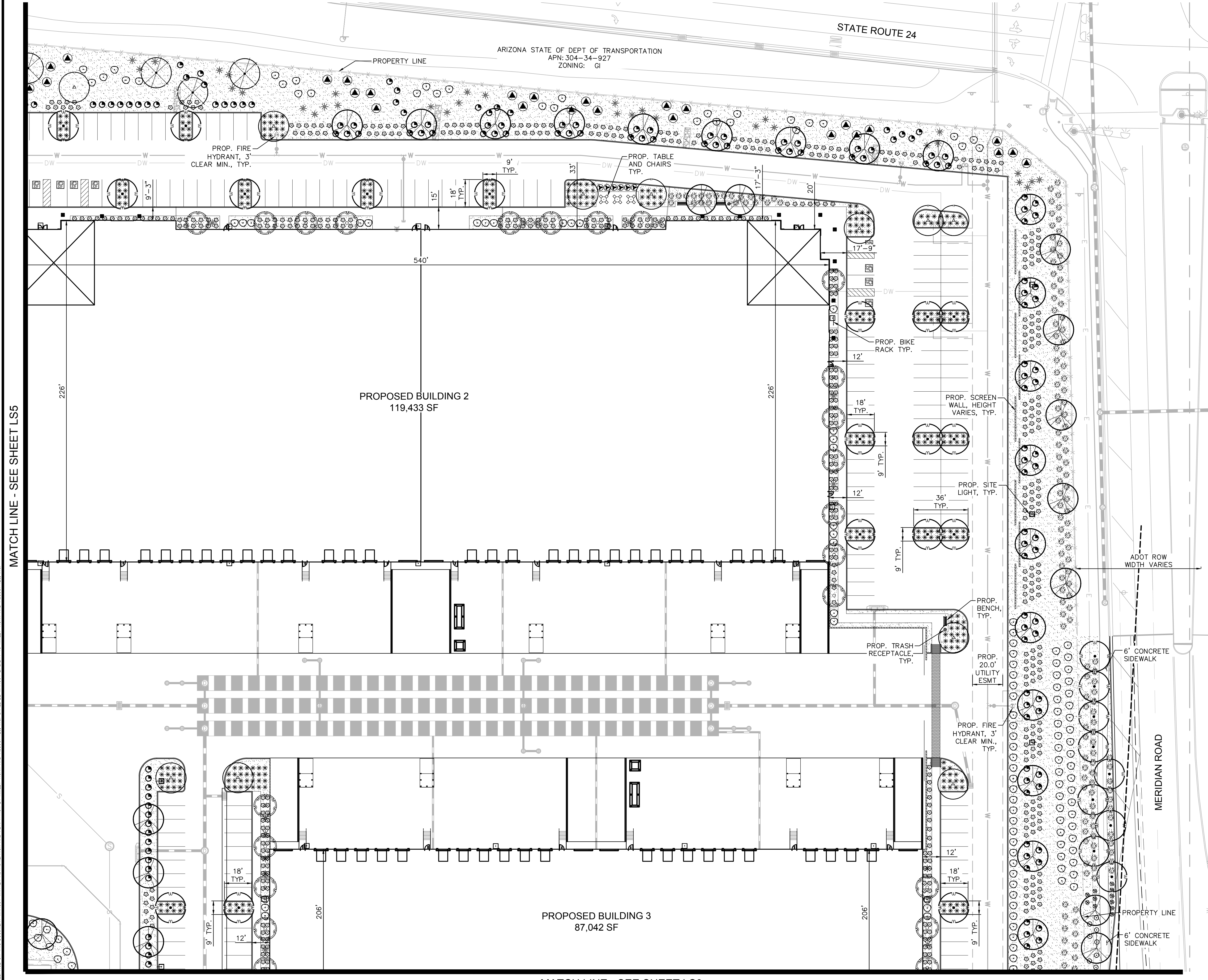


PROJECT NO.
191759003

DRAWING NAME
LS1



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PLANTING LEGEND

TREES

BOTANICAL NAME / COMMON NAME
Acacia aneura Mulga
Parkensonia x 'Desert Museum' Desert Museum Palo Verde
Pistacia chinensis Red Push Pistache
Prosopis x 'Leslie Roy' Leslie Roy Mesquite
Olneya tesota Ironwood
Sophora secundiflora Texas Mountain Laurel

SHRUBS

BOTANICAL NAME / COMMON NAME
Bougainvillea x 'Torch Glow' Torch Glow Bougainvillea
Dodonaea viscosa Green Hopseed Bush
Eremophila hygrophana Bluebells
Melaleuca viminalis Little John Bottlebrush
Ruellia peninsularis Baja Ruellia
Tecoma stans 'Gold Star' Yellow Bells

ACCENTS

BOTANICAL NAME / COMMON NAME
Hesperaloe funifera Giant Yucca
Hesperaloe parviflora 'MSWNP/PERMA' Desert Dusk Red Yucca
Muhlenbergia rigens Deer Grass

GROUNDCOVERS

BOTANICAL NAME / COMMON NAME
Eremophila glabra 'Mingenew' Outback Sunrise Emu

MATERIALS

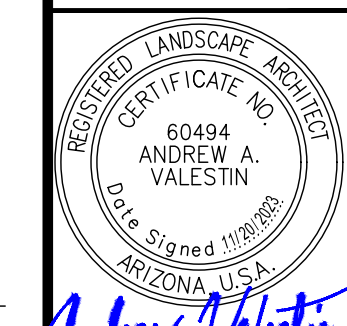
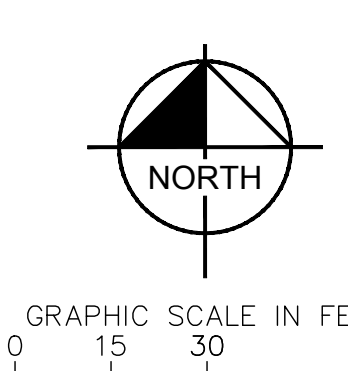
DESCRIPTION
Decomposed Granite
3" Minus, Express Caramel, 2" Depth Min.

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6550 S. MERIDIAN ROAD, MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY LANDSCAPE PLAN

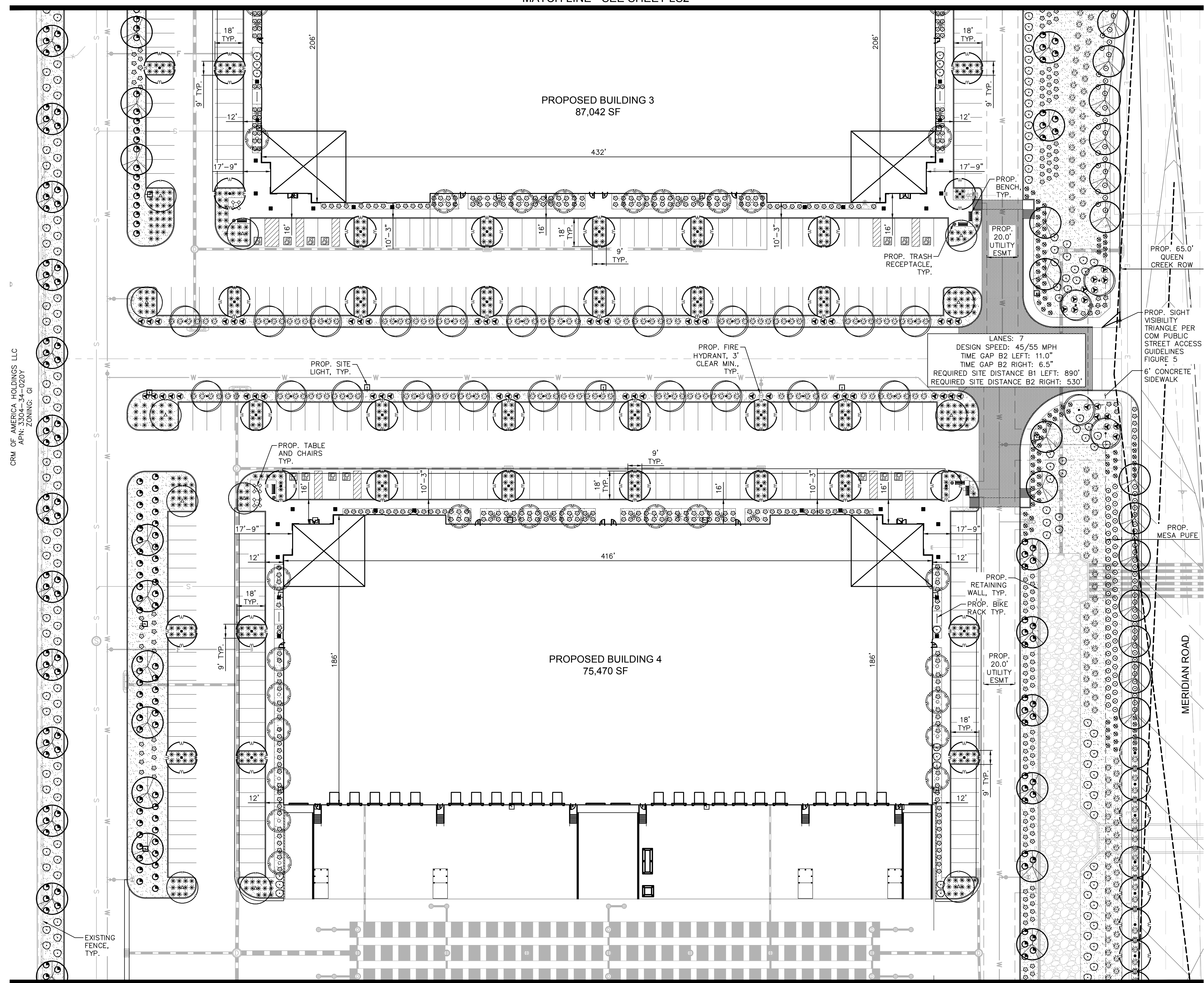


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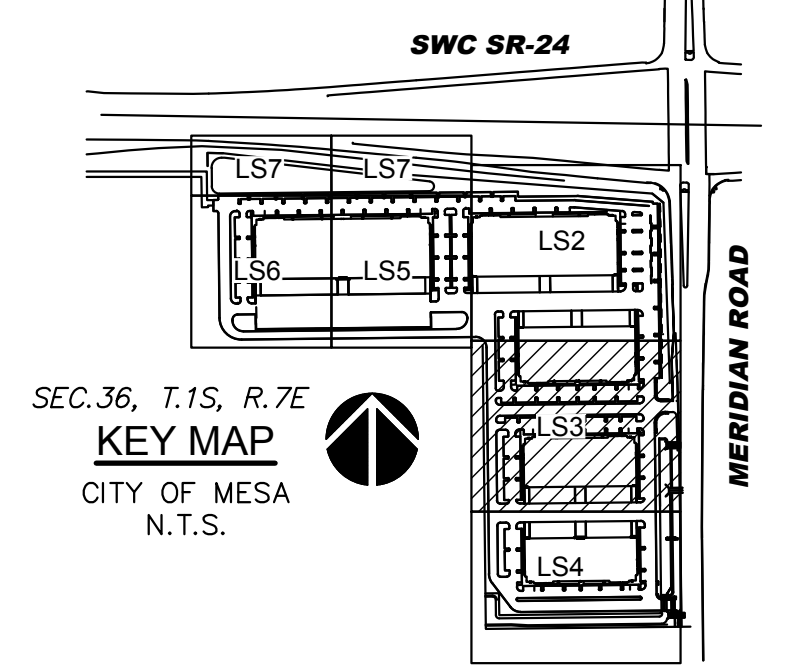
DRAWING NAME
LS2



MATCH LINE - SEE SHEET LS2



MATCH LINE - SEE SHEET LS4



PLANTING LEGEND

TREES	
BOTANICAL NAME / COMMON NAME	Symbol
Acacia aneura Mulga	(Symbol)
Parkensonia x 'Desert Museum' Desert Museum Palo Verde	(Symbol)
Pistacia chinensis Red Push Pistache	(Symbol)
Prosopis x 'Leslie Roy' Leslie Roy Mesquite	(Symbol)
Olneya tesota Ironwood	(Symbol)
Sophora secundiflora Texas Mountain Laurel	(Symbol)

SHRUBS	
BOTANICAL NAME / COMMON NAME	Symbol
Bougainvillea x 'Torch Glow' Torch Glow Bougainvillea	(Symbol)
Dodonea viscosa Green Hopseed Bush	(Symbol)
Eremophila hygrophana Bluebells	(Symbol)
Melaleuca viminalis Little John Bottlebrush	(Symbol)
Ruellia peninsularis Baja Ruellia	(Symbol)
Tecoma stans 'Gold Star' Yellow Bells	(Symbol)

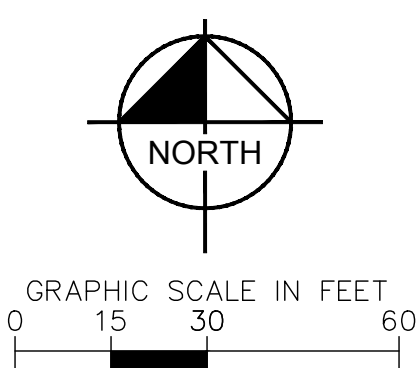
ACCENTS	
BOTANICAL NAME / COMMON NAME	Symbol
Hesperaloe funifera Giant Yucca	(Symbol)
Hesperaloe parviflora 'MSWNP/PERMA' Desert Dusk Red Yucca	(Symbol)
Muhlenbergia rigens Deer Grass	(Symbol)

GROUNDCOVERS	
BOTANICAL NAME / COMMON NAME	Symbol
Eremophila glabra 'Mingenew' Outback Sunrise Emu	(Symbol)

MATERIALS	
DESCRIPTION	Symbol
Decomposed Granite 3" Minus, Express Caramel, 2" Depth Min.	(Symbol)

CRM OF AMERICA HOLDINGS LLC
APN: 3304-34-020Y
ZONING: G1

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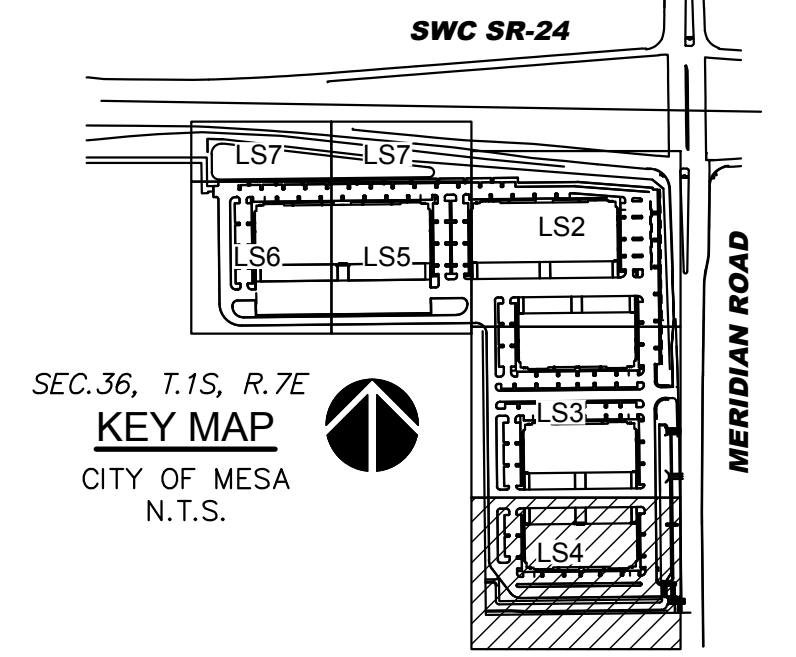
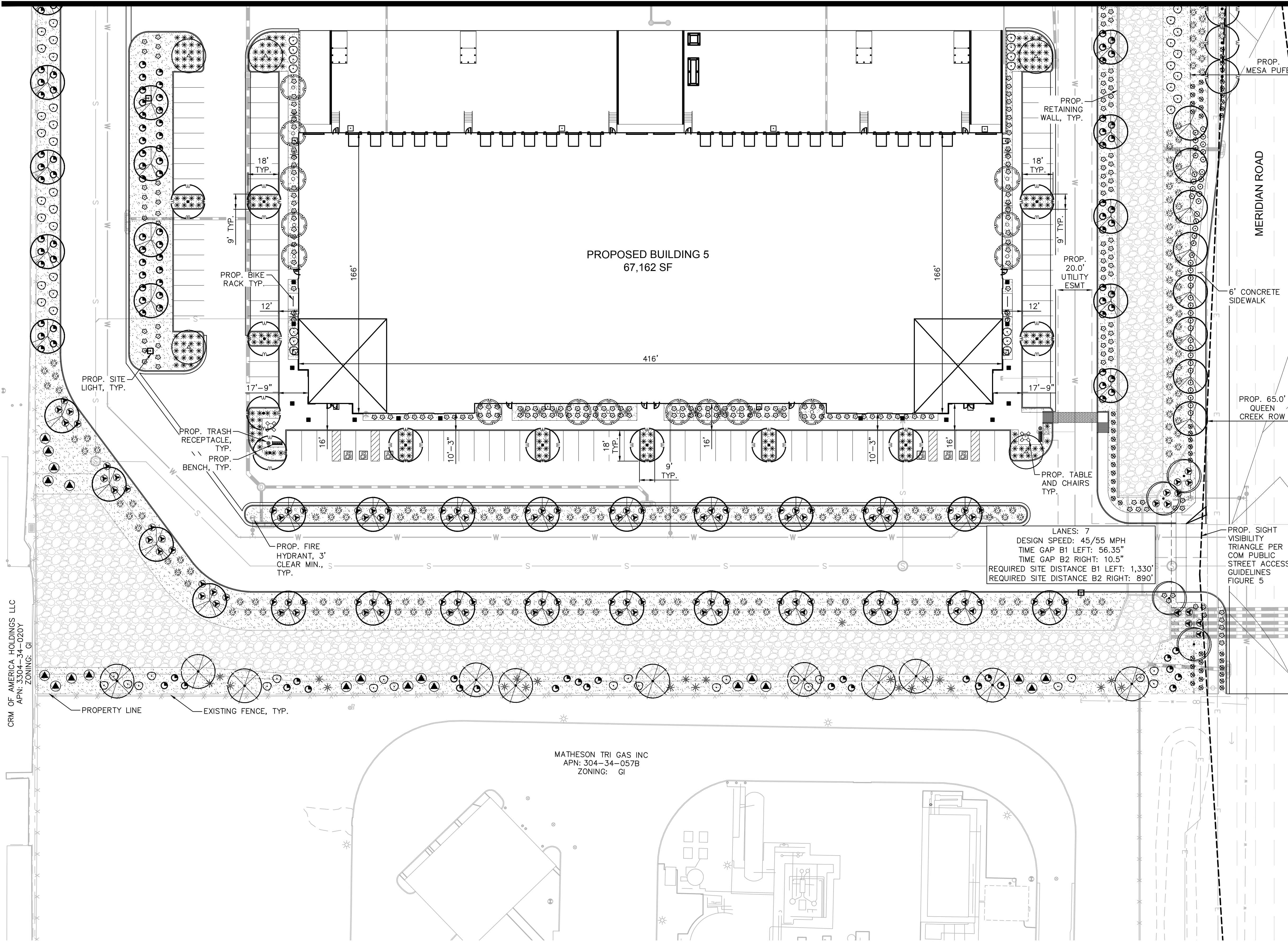
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PRELIMINARY LANDSCAPE PLAN

PROJECT NO.
191759003

DRAWING NAME
LS3

3 OF 7



PLANTING LEGEND

TREES

- BOTANICAL NAME / COMMON NAME
Acacia aneura
Mulga
- Parkensonia x 'Desert Museum'
Desert Museum Palo Verde
- Pistacia chinensis
Red Push Pistache
- Prosopis x 'Leslie Roy'
Leslie Roy Mesquite
- Oliveya tesota
Ironwood
- Sophora secundiflora
Texas Mountain Laurel

SHRUBS

- BOTANICAL NAME / COMMON NAME
Bougainvillea x 'Torch Glow'
Torch Glow Bougainvillea
- Dodonea viscosa
Green Hopseed Bush
- Eremophila hygrophana
Bluebells
- Melaleuca viminalis
Little John Bottlebrush
- Ruellia peninsularis
Baja Ruellia
- Tecoma stans 'Gold Star'
Yellow Bells

ACCENTS

- BOTANICAL NAME / COMMON NAME
Hesperaloe funifera
Giant Yucca
- Hesperaloe parviflora 'MSWNPENMA'
Desert Dusk Red Yucca
- Muhlenbergia rigens
Deer Grass

GROUNDCOVERS

- BOTANICAL NAME / COMMON NAME
Eremophila glabra 'Mingenew'
Outback Sunrise Emu

MATERIALS

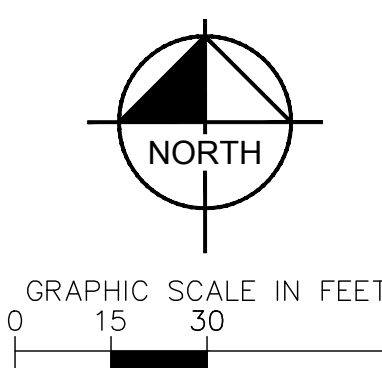
- DESCRIPTION
Decomposed Granite
3" Minus, Express Caramel, 2" Depth Min.

LANES: 7
DESIGN SPEED: 45/55 MPH
TIME GAP B1 LEFT: 56.35"
TIME GAP B2 RIGHT: 10.5"
REQUIRED SITE DISTANCE B1 LEFT: 1,330'
REQUIRED SITE DISTANCE B2 RIGHT: 890'

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CRM OF AMERICA HOLDINGS LLC
APN: 3304-34-020Y
ZONING: GI

MATHESON TRI GAS INC
APN: 304-34-057B
ZONING: GI



GRAPHIC SCALE IN FEET
0 15 30 60

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DESIGNED BY: JAJ
DRAWN BY: JMW
CHECKED BY: JAAV
DATE: 11/20/2023

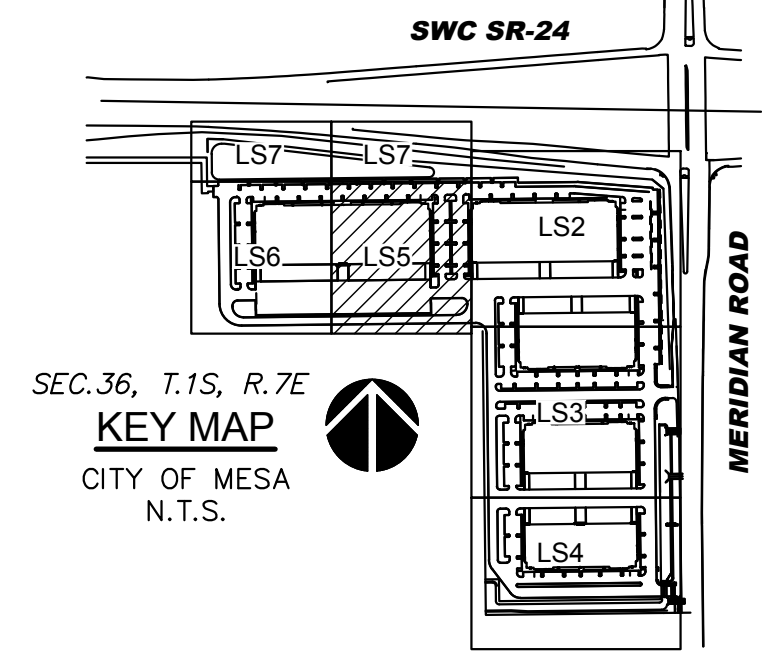
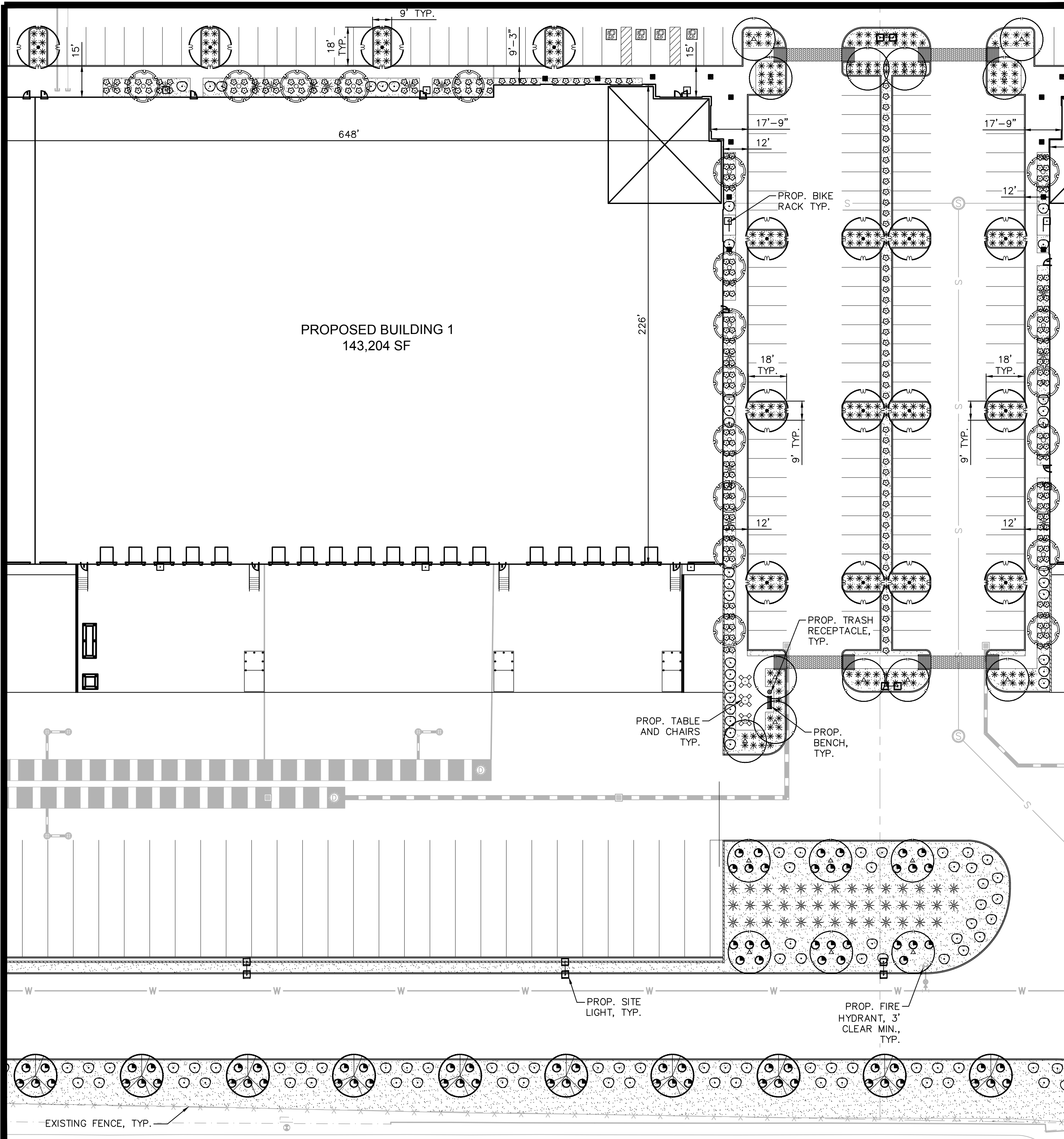
6550 S. MERIDIAN ROAD, MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY LANDSCAPE PLAN



PROJECT NO.
191759003

DRAWING NAME
LS4

MATCH LINE - SEE SHEET LS7



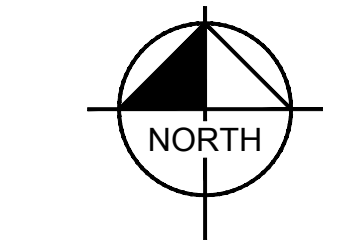
PLANTING LEGEND

TREES	
BOTANICAL NAME / COMMON NAME	SYMBOL
Acacia aneura Mulga	Circle with star
Parkensonia x 'Desert Museum' Desert Museum Palo Verde	Circle with triangle
Pistacia chinensis Red Push Pistache	Circle with horizontal lines
Prosopis x 'Leslie Roy' Leslie Roy Mesquite	Circle with vertical lines
Oleaya tesota Ironwood	Circle with dots
Sophora secundiflora Texas Mountain Laurel	Circle with cross
SHRUBS	
BOTANICAL NAME / COMMON NAME	SYMBOL
Bougainvillea x 'Torch Glow' Torch Glow Bougainvillea	Circle with star
Dodonea viscosa Green Hopseed Bush	Circle with triangle
Eremophila hygrophana Bluebells	Circle with horizontal lines
Melaleuca viminalis Little John Bottlebrush	Circle with vertical lines
Ruellia peninsularis Baja Ruellia	Circle with dots
Tecoma stans 'Gold Star' Yellow Bells	Circle with cross
ACCENTS	
BOTANICAL NAME / COMMON NAME	SYMBOL
Hesperaloe funifera Giant Yucca	Star
Hesperaloe parviflora 'MSWNPERRMA' Desert Dusk Red Yucca	Star with dot
Muhlenbergia rigens Deer Grass	Star with horizontal lines
GROUNDCOVERS	
BOTANICAL NAME / COMMON NAME	SYMBOL
Eremophila glabra 'Mingenew' Outback Sunrise Emu	Star with vertical lines
MATERIALS	
DESCRIPTION	SYMBOL
Decomposed Granite 3" Minus, Express Caramel, 2" Depth Min.	Stippled pattern

MATCH LINE - SEE SHEET LS6

MATCH LINE - SEE SHEET LS2

K:\VHX_Civil\191759003 - Meridian Commerce Park\CAAD\Improvement Plans\Preliminary\LS.dwg Nov 20, 2023 Jacob Argents
 XREFS: KSM_CAD_AUT.dwg Preliminary.dwg
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GRAPHIC SCALE IN FEET
0 15 30 60



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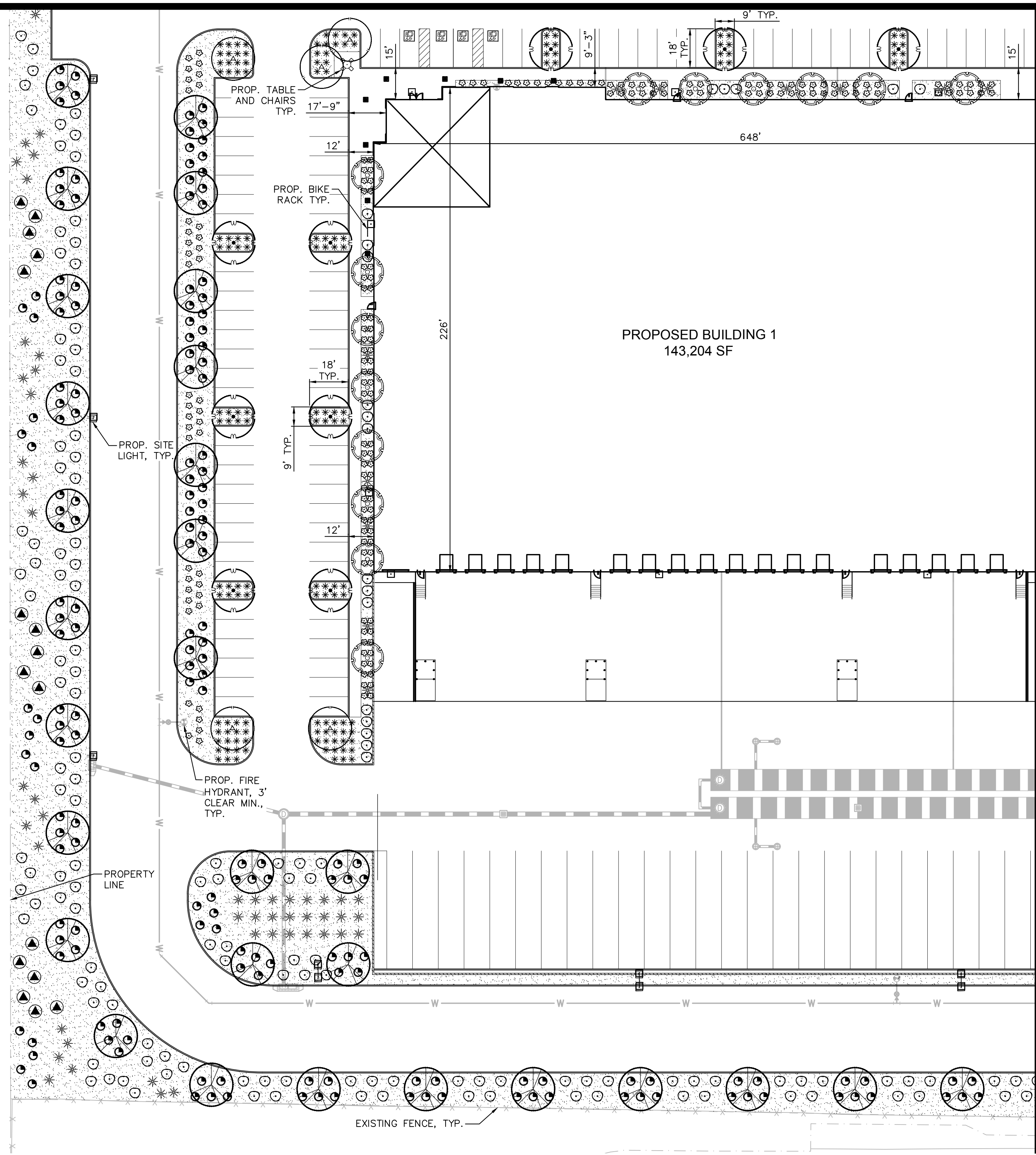
6850 S. MERIDIAN ROAD MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY LANDSCAPE PLAN



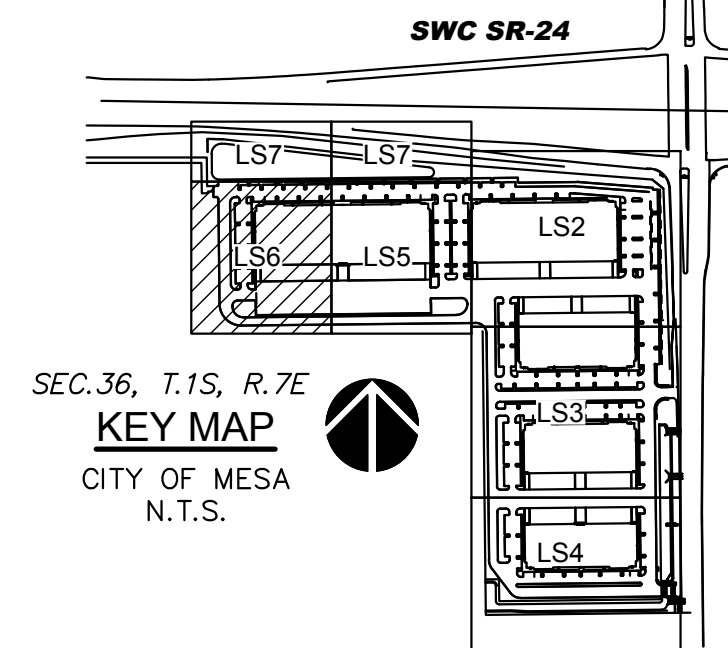
PROJECT NO.
191759003
DRAWING NAME
LS5
5 OF 7

MATCH LINE - SEE SHEET LS7

ALLIED WASTE TRANSPORTATION INC
APN: 301-33-036A
ZONING: G1



MATCH LINE - SEE SHEET LS5

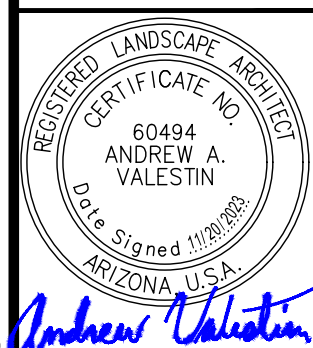
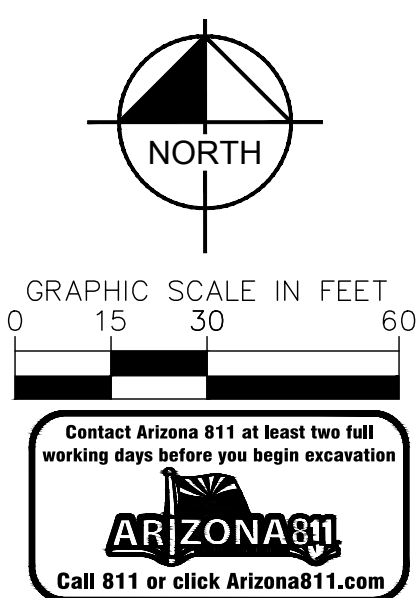


SEC. 36, T. 1S, R. 7E
CITY OF MESA
N.T.S.

PLANTING LEGEND

- TREES**
- Acacia aneura
 - Mulga
 - Parkensonia x 'Desert Museum'
 - Desert Museum Palo Verde
 - Pistacia chinensis
 - Red Push Pistache
 - Prosopis x 'Leslie Roy'
 - Leslie Roy Mesquite
 - Olneya tesota
 - Ironwood
 - Sophora secundiflora
 - Texas Mountain Laurel
- SHRUBS**
- Bougainvillea x 'Torch Glow'
 - Torch Glow Bougainvillea
 - Dodonea viscosa
 - Green Hopseed Bush
 - Eremophila hygrophana
 - Bluebells
 - Melaleuca viminalis
 - Little John Bottlebrush
 - Ruellia peninsularis
 - Baja Ruellia
 - Tecoma stans 'Gold Star'
 - Yellow Bells
- ACCENTS**
- Hesperaloe funifera
 - Giant Yucca
 - Hesperaloe parviflora 'MSWNPERRMA'
 - Desert Dusk Red Yucca
 - Muhlenbergia rigens
 - Deer Grass
- GROUNDCOVERS**
- Eremophila glabra 'Mingenew'
 - Outback Sunrise Emu
- MATERIALS**
- Decomposed Granite
 - 3" Minus, Express Caramel, 2" Depth Min.

K:_PHX_Civil\191759003 - Meridian Commerce Park\CAAD\Improvement\Plans\Preliminary\LS.dwg Nov 20, 2023, Jacob Argueta
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PROJECT NO.
191759003
DRAWING NAME
LS6
6 OF 7

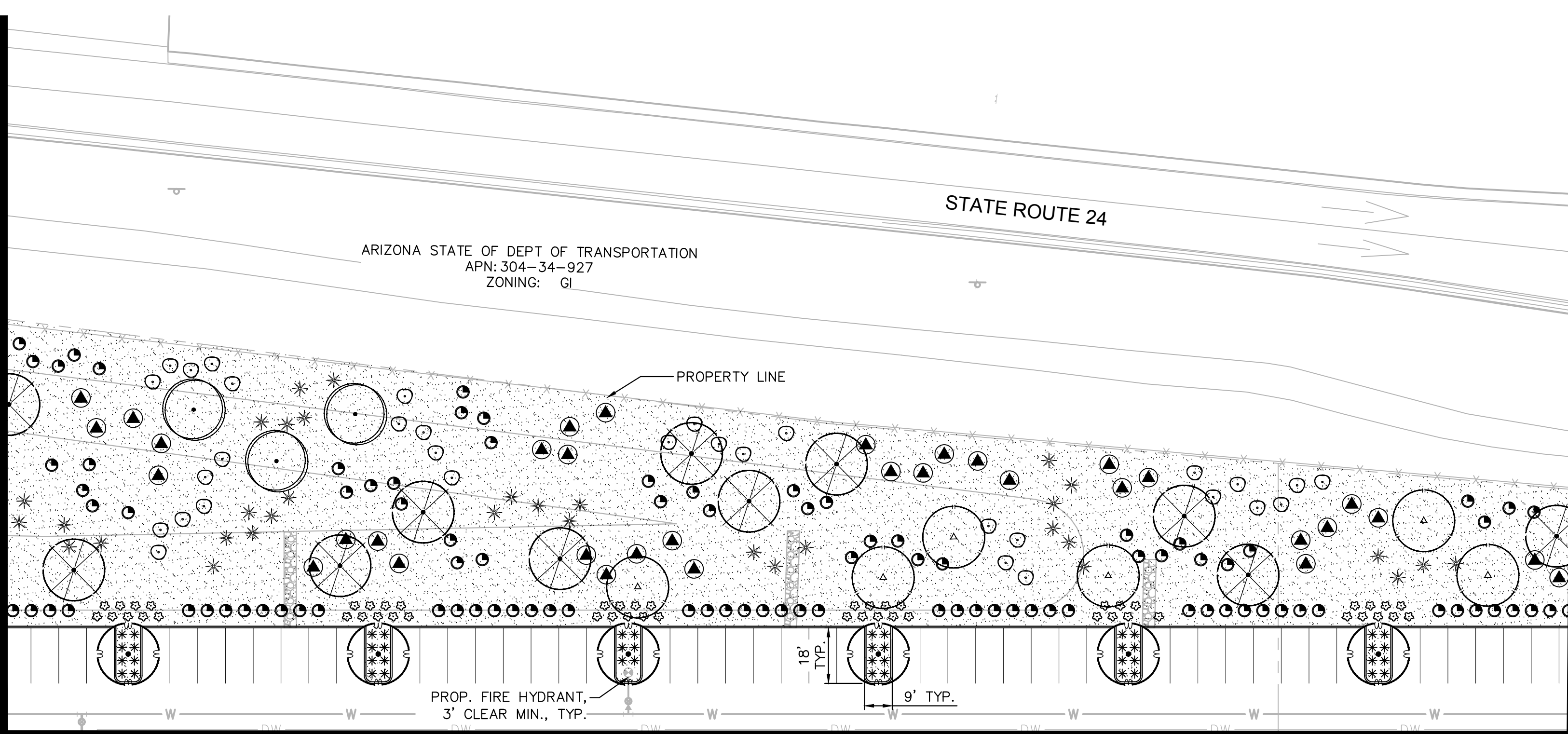
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MERIDIAN COMMERCE PARK
PRELIMINARY LANDSCAPE PLAN

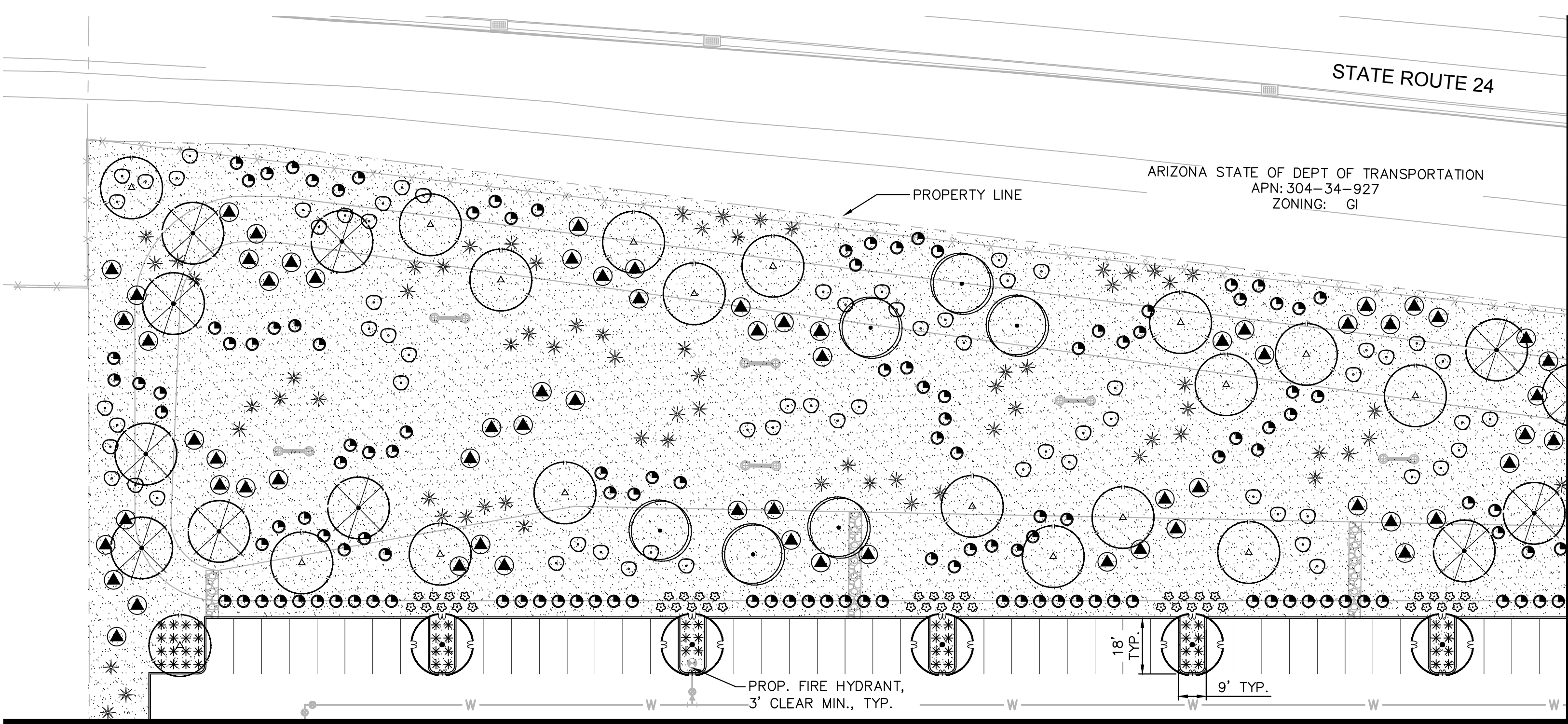
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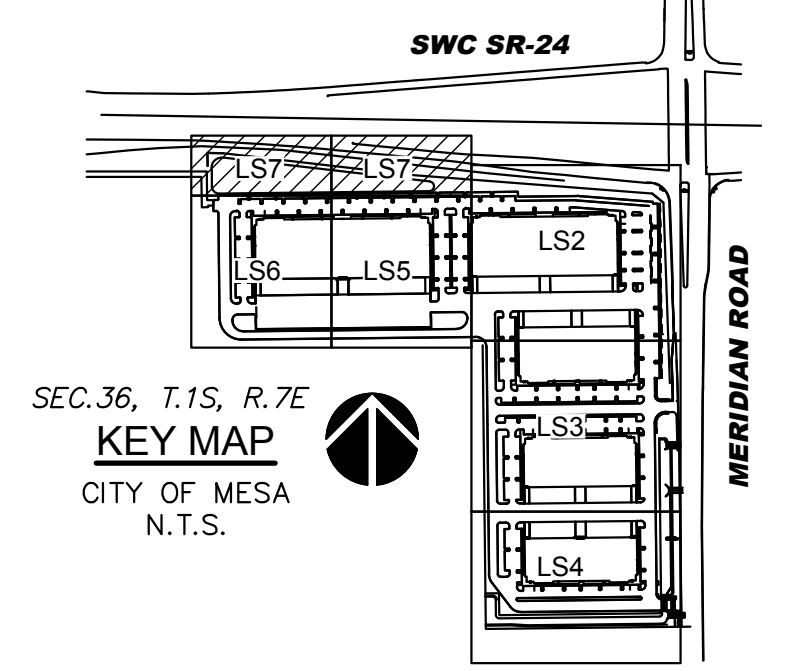
MATCH LINE - SEE BELOW RIGHT



MATCH LINE - SEE SHEET LS5



MATCH LINE - SEE ABOVE LEFT



PLANTING LEGEND

- TREES**
- | BOTANICAL NAME / COMMON NAME |
|---|
| Acacia aneura
Mulga |
| Parkensonia x 'Desert Museum'
Desert Museum Palo Verde |
| Pistacia chinensis
Red Push Pistache |
| Prosopis x 'Leslie Roy'
Leslie Roy Mesquite |
| Olneya tesota
Ironwood |
| Sophora secundiflora
Texas Mountain Laurel |

- SHRUBS**
- | BOTANICAL NAME / COMMON NAME |
|--|
| Bougainvillea x 'Torch Glow'
Torch Glow Bougainvillea |
| Dodonea viscosa
Green Hopseed Bush |
| Eremophila hygrophana
Bluebells |
| Melaleuca viminalis
Little John Bottlebrush |
| Ruellia peninsularis
Baja Ruellia |
| Tecoma stans 'Gold Star'
Yellow Bells |

- ACCENTS**
- | BOTANICAL NAME / COMMON NAME |
|---|
| Hesperaloe funifera
Giant Yucca |
| Hesperaloe parviflora 'MSWNPERRMA'
Desert Dusk Red Yucca |
| Muhlenbergia rigens
Deer Grass |

- GROUNDCOVERS**
- | BOTANICAL NAME / COMMON NAME |
|---|
| Eremophila glabra 'Mingenew'
Outback Sunrise Emu |

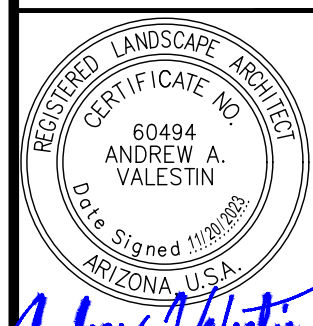
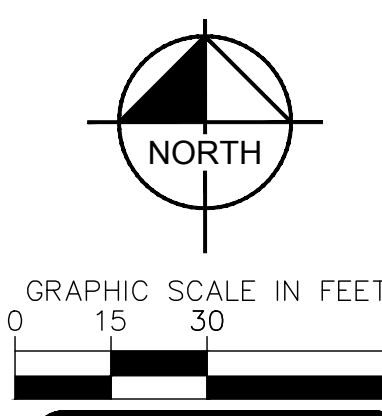
- MATERIALS**
- | DESCRIPTION |
|--|
| Decomposed Granite
3" Minus, Express Caramel, 2" Depth Min. |

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 Phoenix, Arizona 85020 (602) 944-9500

SCALE (H)1"=30'
 SCALE (V)NONE
 DESIGNED BY: JAJ
 DRAWN BY: JMW
 CHECKED BY: AAV
 DATE: 11/20/2023

6550 S. MERIDIAN ROAD, MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY LANDSCAPE PLAN

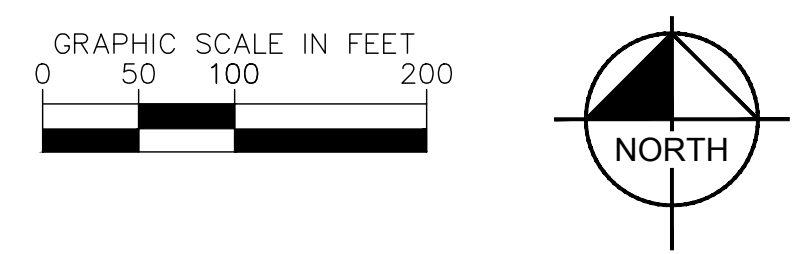
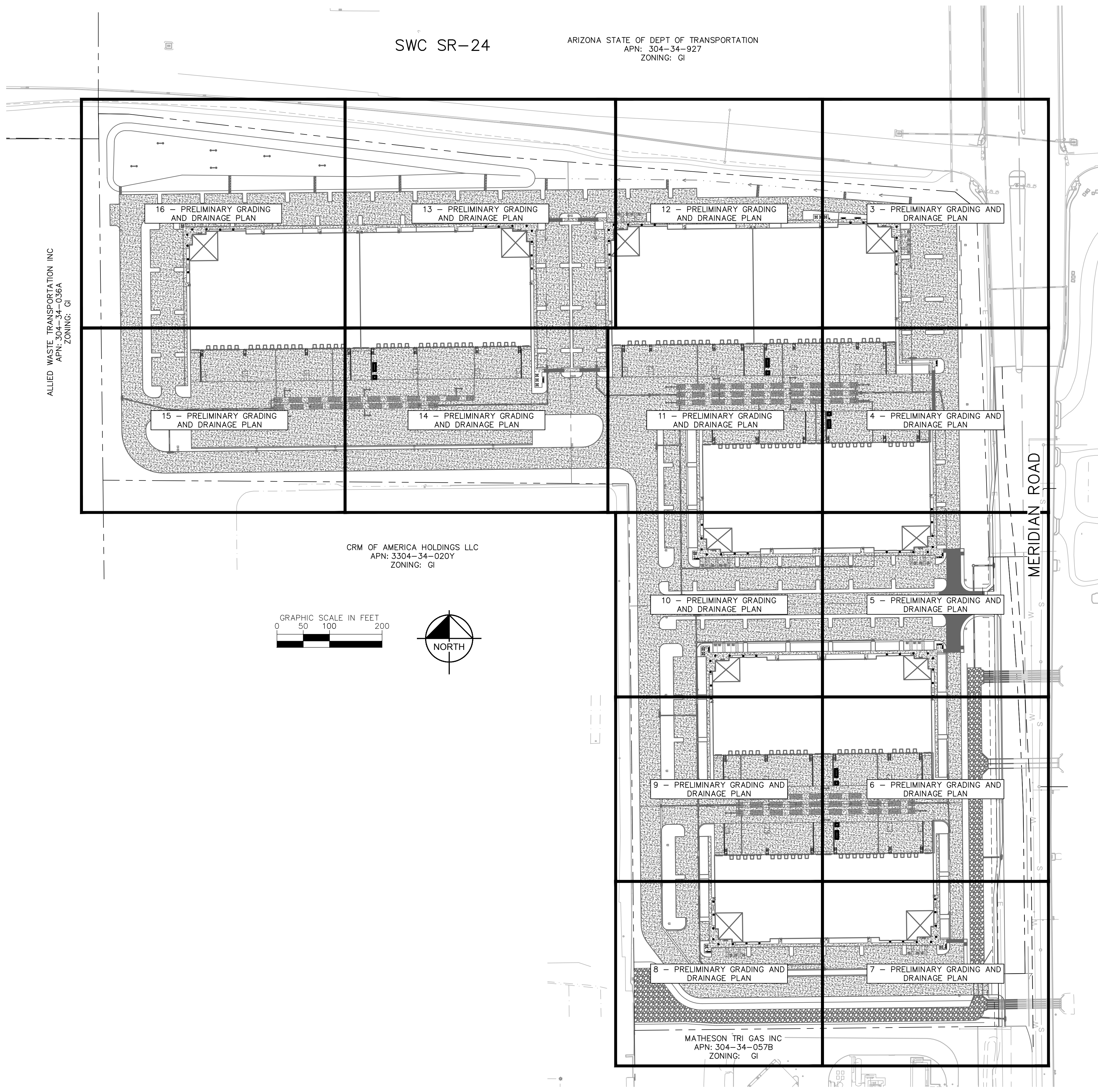


PROJECT NO.
 191759003

DRAWING NAME
 LS7



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SWC SR-24

ARIZONA STATE OF DEPT OF TRANSPORTATION
 APN: 304-34-927
 ZONING: GI

ALLIED WASTE TRANSPORTATION INC
 APN: 304-34-036A
 ZONING: GI

CRM OF AMERICA HOLDINGS LLC
 APN: 3304-34-020Y
 ZONING: GI

MATHESON TRI GAS INC
 APN: 304-34-057B
 ZONING: GI

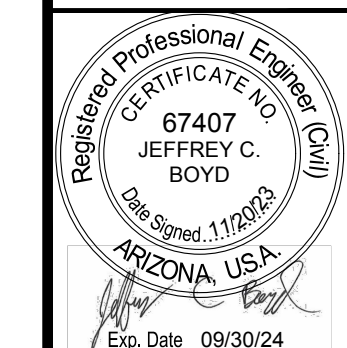
MERIDIAN ROAD

NO.	REVISION	BY	DATE	APPR.

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SCALE (H): 1"=100'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

6550 S. MERIDIAN ROAD, MESA, ARIZONA 85212
**MERIDIAN COMMERCE PARK
 PRELIMINARY GRADING AND
 DRAINAGE PLAN KEY MAP**

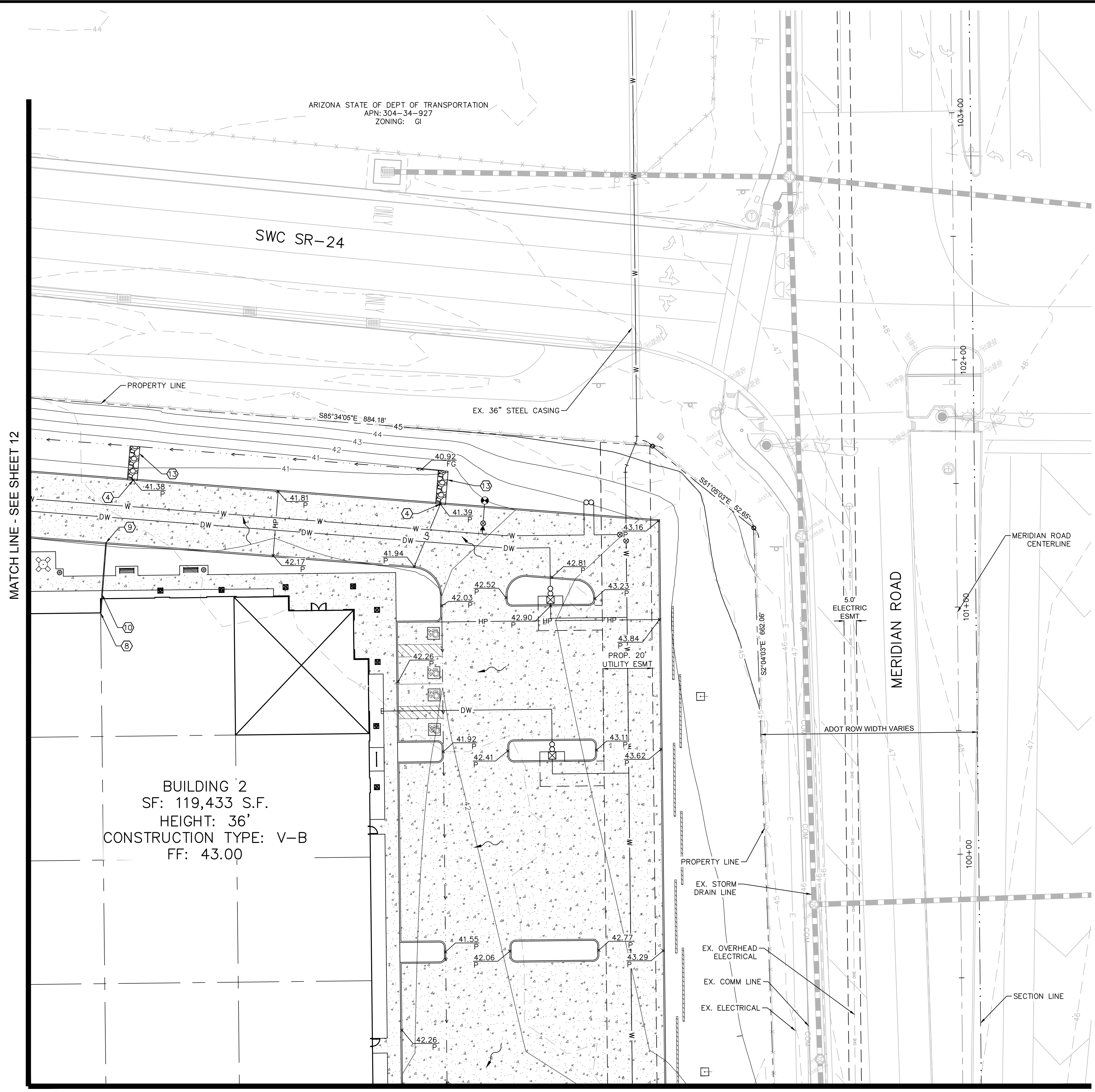


PROJECT NO.
191759003

DRAWING NAME
GD2



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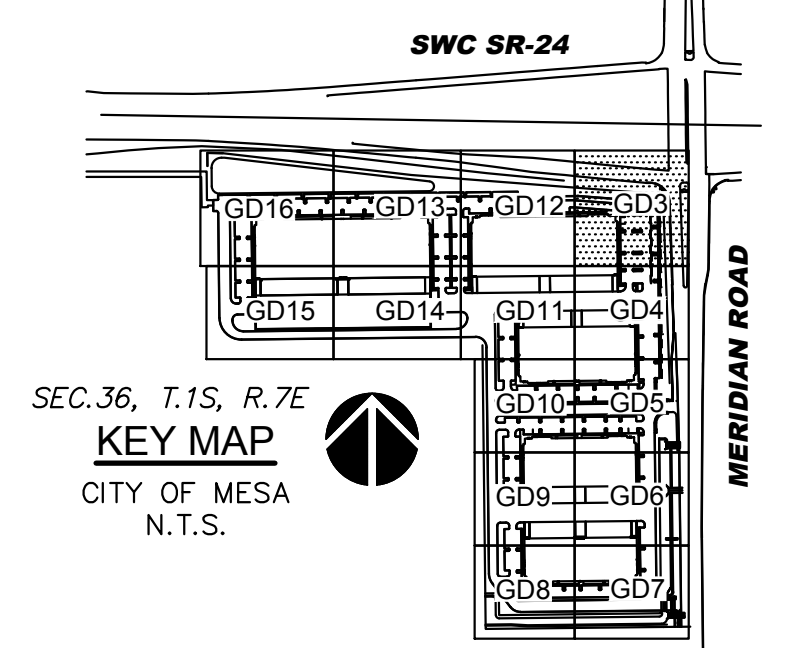


MATCH LINE - SEE SHEET 12

MATCH LINE - SEE SHEET 4

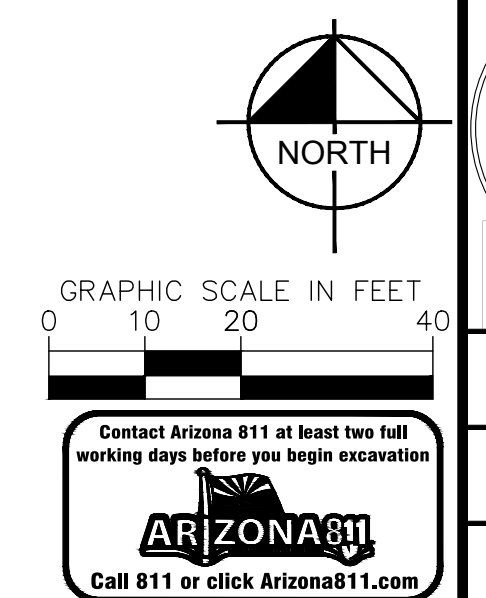
BUILDING 2
 SF: 119,433 S.F.
 HEIGHT: 36'
 CONSTRUCTION TYPE: V-B
 FF: 43.00

ARIZONA STATE OF DEPT OF TRANSPORTATION
 APN: 304-34-927
 ZONING: GI



GRADING AND DRAINAGE NOTES

- ④ PROPOSED MAG CURB CUT.
- ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
- ⑨ PROPOSED CURB FACE ROOF DRAIN OUTLET.
- ⑩ PROPOSED PRIVATE 4" HDPE STORM DRAIN PIPE.
- ⑬ PROPOSED GROUTED RIPRAP SPILLWAY.

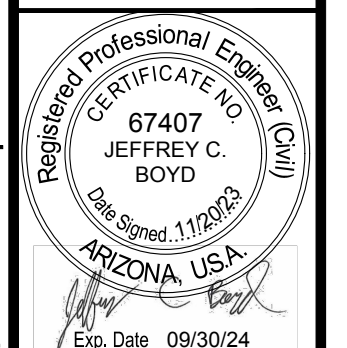


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SCALE (H): 1"=20'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

6550 S. MERIDIAN ROAD, MESA, ARIZONA 85212
**MERIDIAN COMMERCE PARK
 PRELIMINARY GRADING AND
 DRAINAGE PLAN**



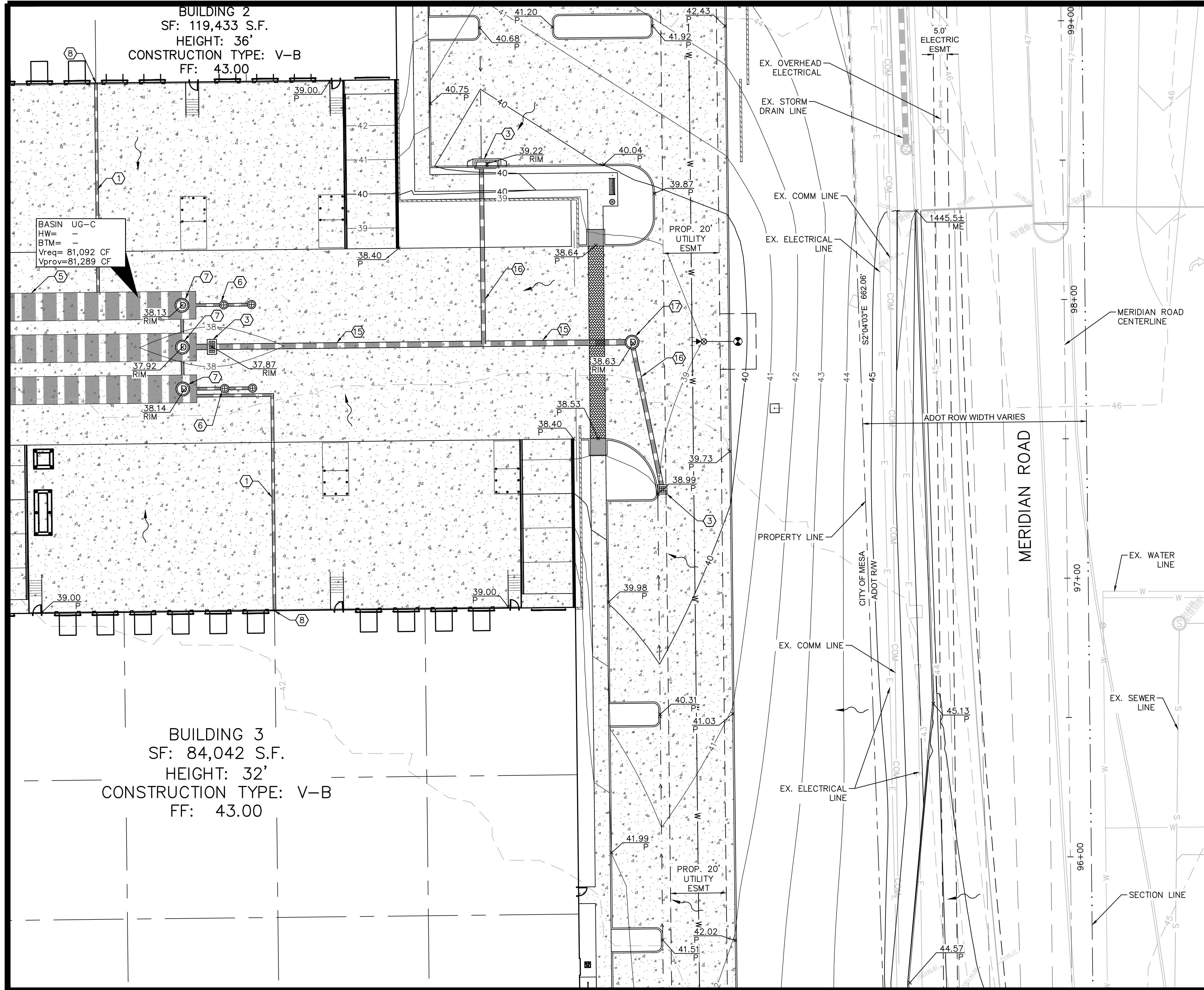
PROJECT NO.
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DRAWING NAME
GD3



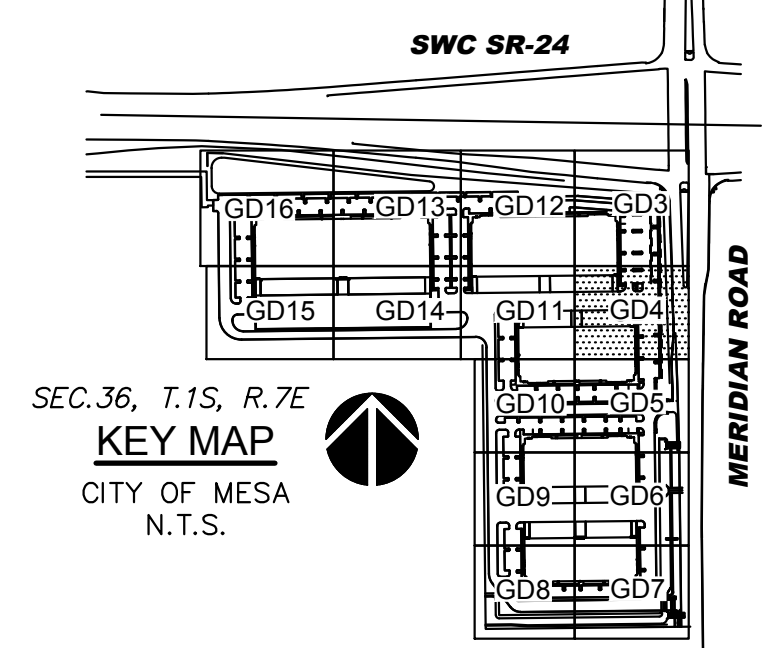
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MATCH LINE - SEE SHEET 3

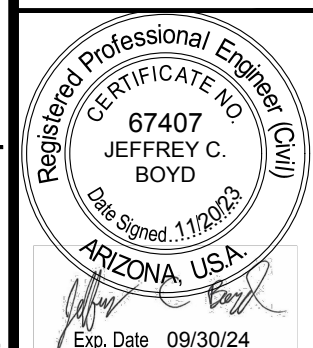
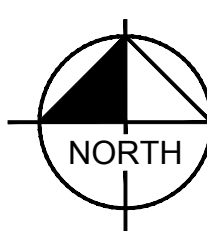


MATCH LINE - SEE SHEET 11

MATCH LINE - SEE SHEET 5



- GRADING AND DRAINAGE NOTES**
- ① PROPOSED PRIVATE 12" HDPE STORM DRAIN PIPE.
 - ③ PROPOSED MAG CATCH BASIN.
 - ⑤ PROPOSED 10' CMP UNDERGROUND RETENTION TANK SYSTEM, VOLUME PER PLAN.
 - ⑥ PROPOSED DUAL CHAMBER DRYWELL.
 - ⑦ PROPOSED RETENTION VAULT ACCESS RISER WITH SOLID LID.
 - ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
 - ⑬ PROPOSED PRIVATE 24" HDPE STORM DRAIN PIPE.
 - ⑭ PROPOSED PRIVATE 18" HDPE STORM DRAIN PIPE.
 - ⑰ PROPOSED STORM DRAIN MANHOLE.



PROJECT NO.
191759003

DRAWING NAME
GD4

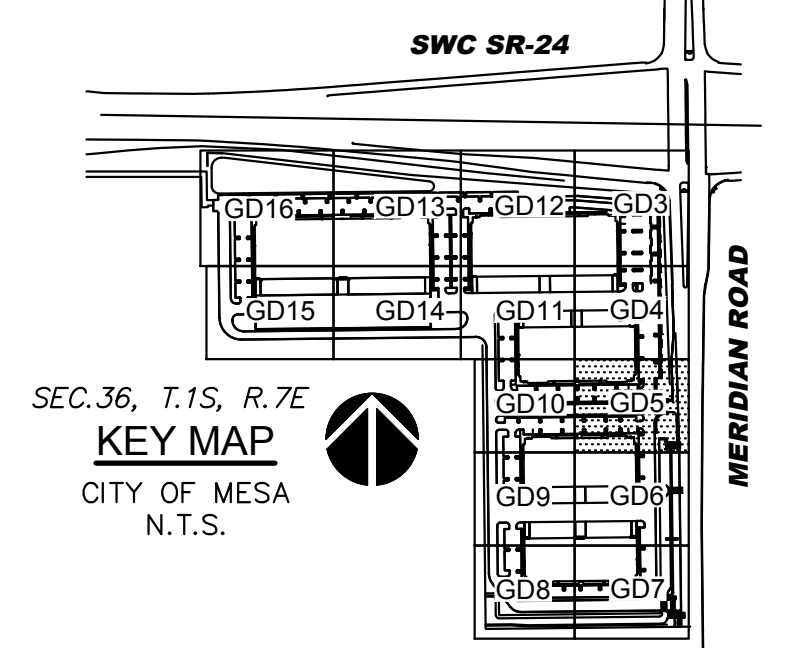
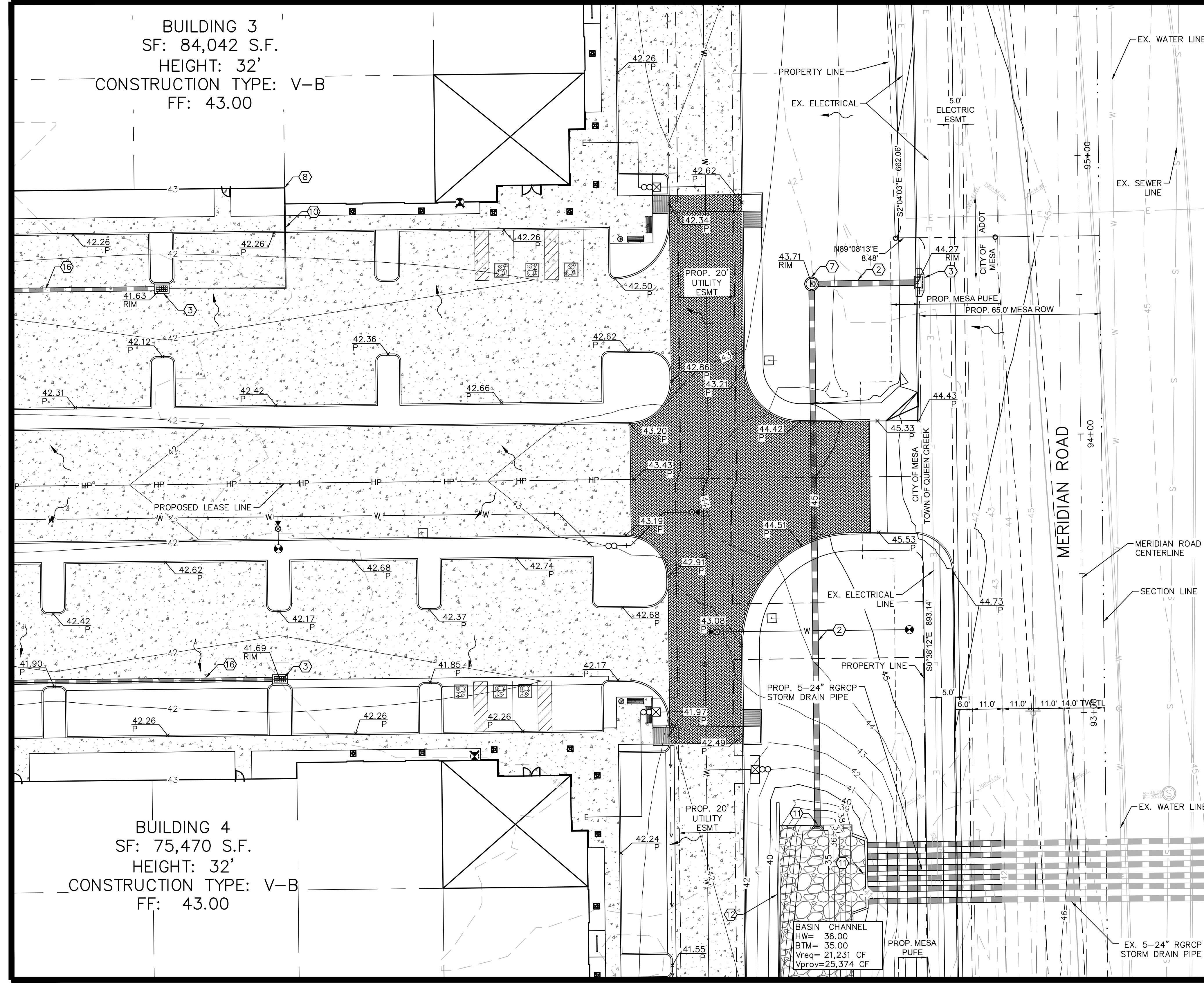
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MERIDIAN COMMERCE PARK
PRELIMINARY GRADING AND DRAINAGE PLAN

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MATCH LINE - SEE SHEET 10



GRADING AND DRAINAGE NOTES

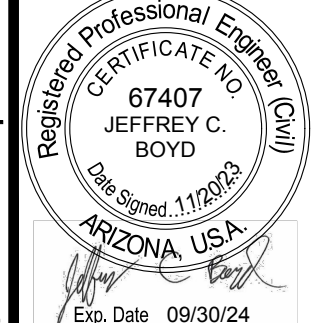
- ② PROPOSED PUBLIC 24" HDPE STORM DRAIN PIPE.
- ③ PROPOSED MAG CATCH BASIN.
- ⑦ PROPOSED RETENTION VAULT ACCESS RISER WITH SOLID LID.
- ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
- ⑩ PROPOSED PRIVATE 4" HDPE STORM DRAIN PIPE.
- ⑪ PROPOSED MAG HEADWALL.
- ⑫ PROPOSED RETAINING WALL.
- ⑯ PROPOSED PRIVATE 18" HDPE STORM DRAIN PIPE.

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SCALE (H): 1"=20'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

6550 S. MERIDIAN ROAD, MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY GRADING AND DRAINAGE PLAN



PROJECT NO.
191759003

DRAWING NAME
GD5



MATCH LINE - SEE SHEET 5

BUILDING 4
SF: 75,470 S.F.
HEIGHT: 32'
CONSTRUCTION TYPE: V-B
FF: 43.00

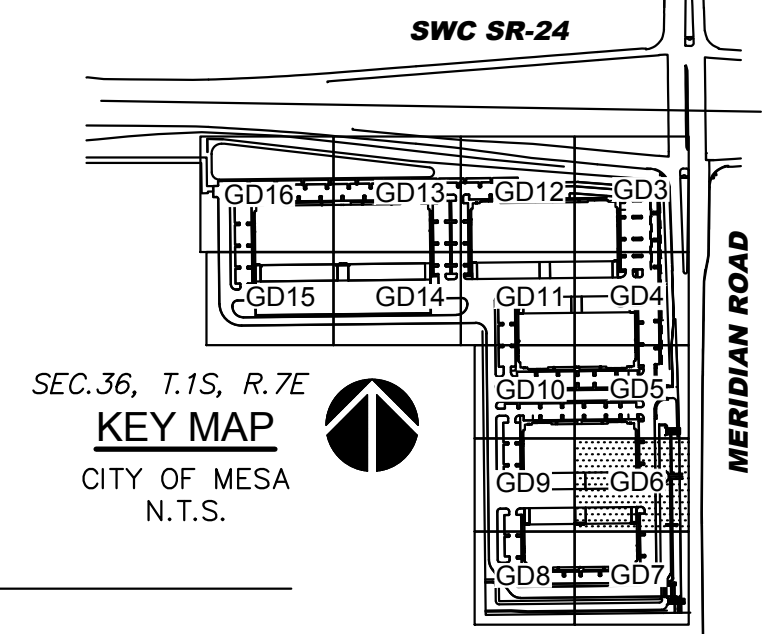
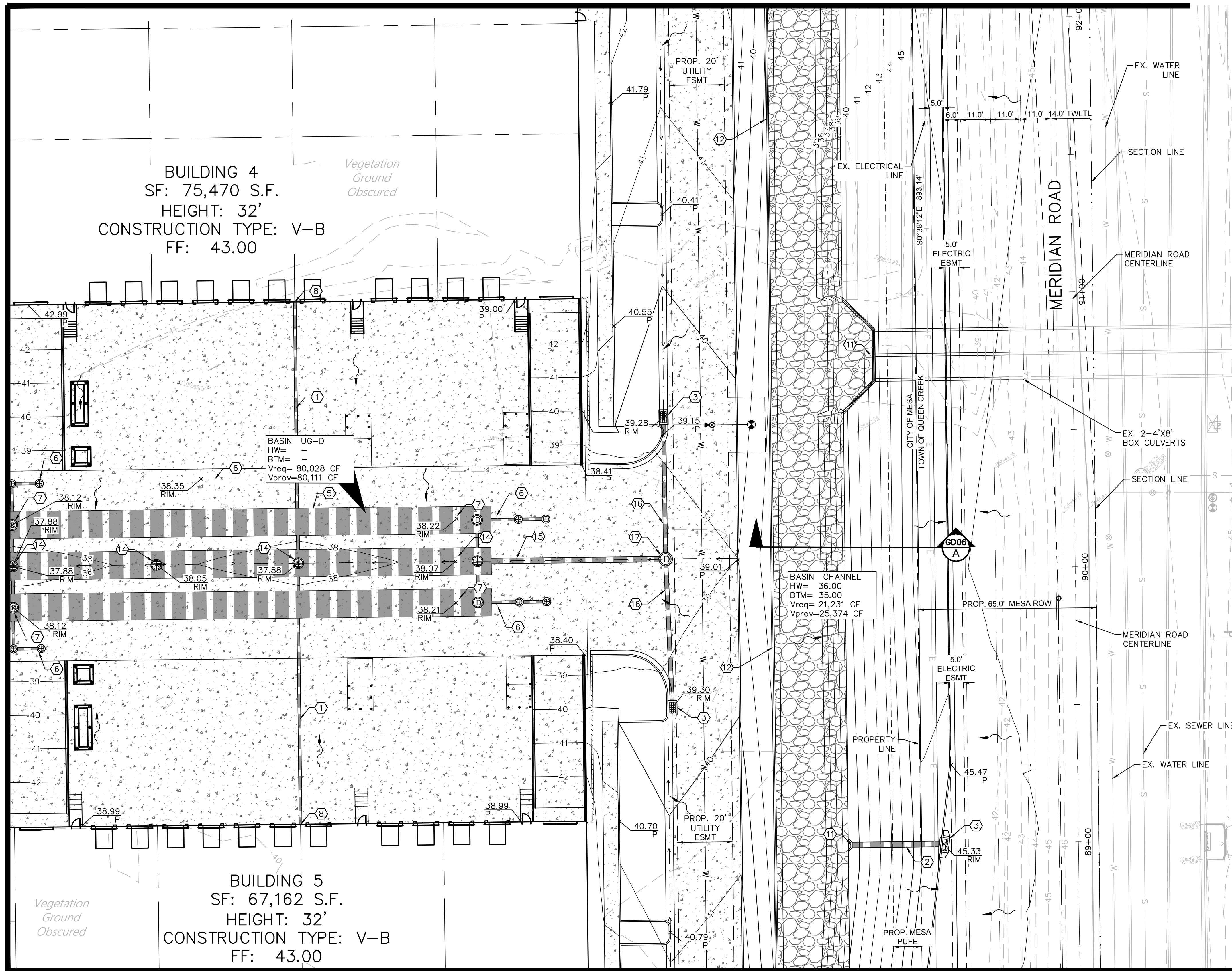
Vegetation
Ground
Obscured

BUILDING 5
SF: 67,162 S.F.
HEIGHT: 32'
CONSTRUCTION TYPE: V-B
FF: 43.00

Vegetation
Ground
Obscured

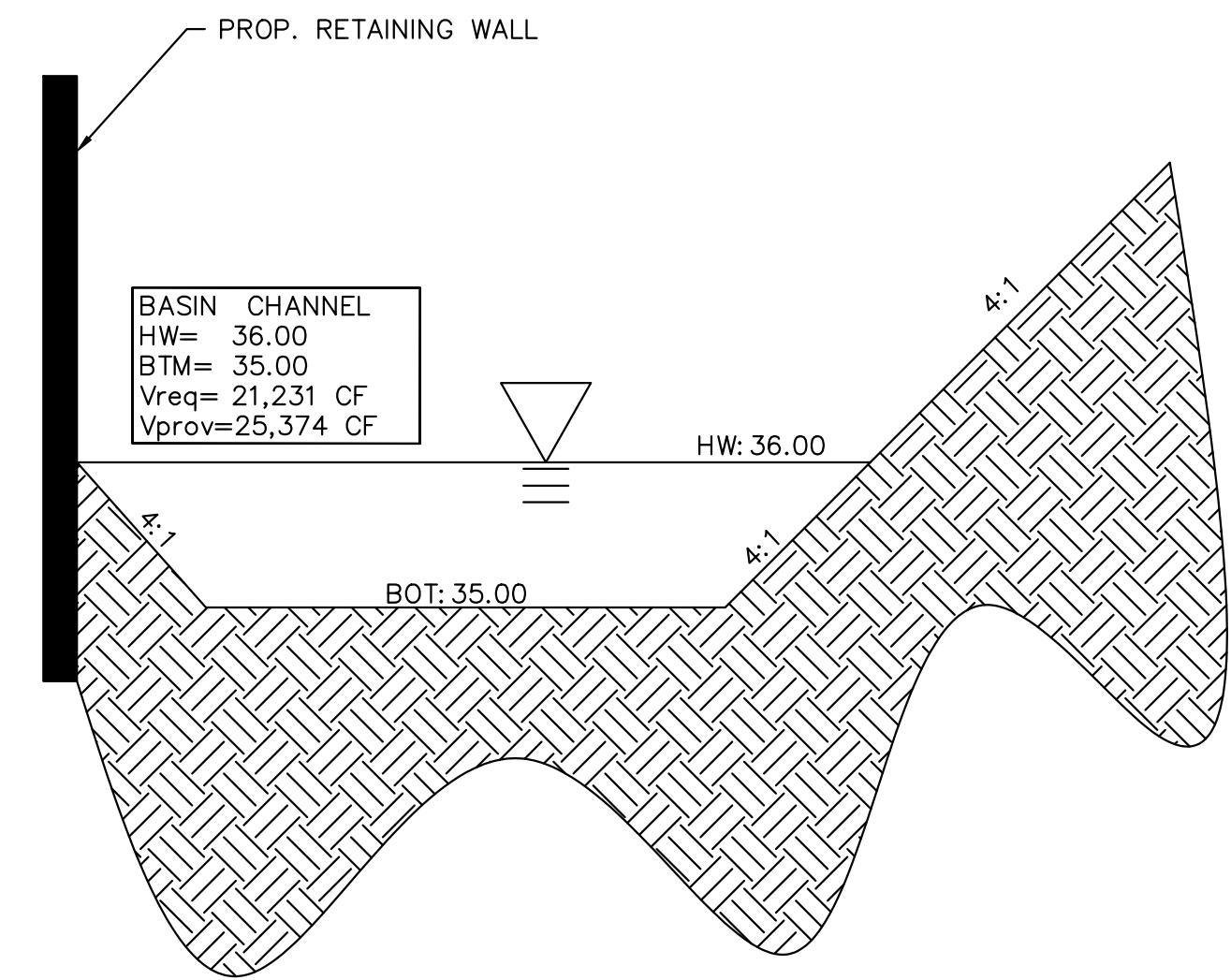
MATCH LINE - SEE SHEET 9

MATCH LINE - SEE SHEET 7



GRADING AND DRAINAGE NOTES

- ① PROPOSED PRIVATE 12" HDPE STORM DRAIN PIPE.
- ② PROPOSED PUBLIC 24" HDPE STORM DRAIN PIPE.
- ③ PROPOSED MAG CATCH BASIN.
- ⑤ PROPOSED 10'CMP UNDERGROUND RETENTION TANK SYSTEM, VOLUME PER PLAN.
- ⑥ PROPOSED DUAL CHAMBER DRYWELL.
- ⑦ PROPOSED RETENTION VAULT ACCESS RISER WITH SOLID LID.
- ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
- ⑩ PROPOSED MAG HEADWALL.
- ⑫ PROPOSED RETAINING WALL.
- ⑭ PROPOSED RETENTION VAULT ACCESS RISER WITH GRATED LID.
- ⑮ PROPOSED PRIVATE 24" HDPE STORM DRAIN PIPE.
- ⑯ PROPOSED PRIVATE 18" HDPE STORM DRAIN PIPE.
- ⑰ PROPOSED STORM DRAIN MANHOLE.



SECTION A
N.T.S

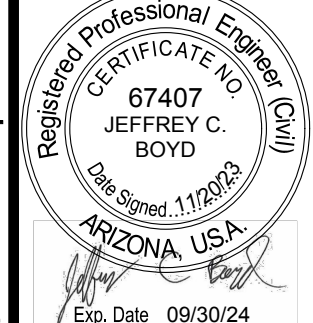
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XREFS: XSM CDD XTB Preliminary AUT XSEC XLF Preliminary
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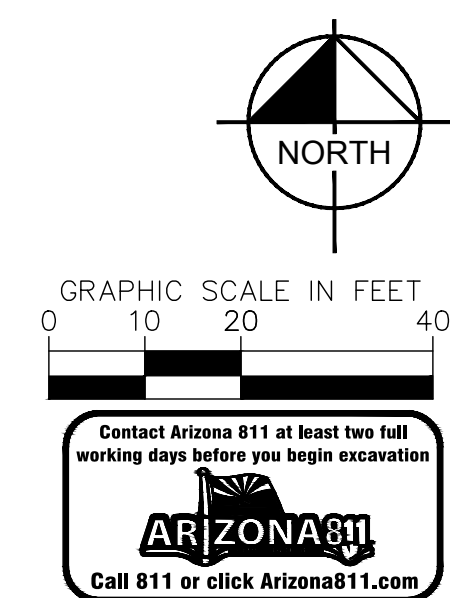
SCALE (H): 1"=20'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
**MERIDIAN COMMERCE PARK
 PRELIMINARY GRADING AND
 DRAINAGE PLAN**

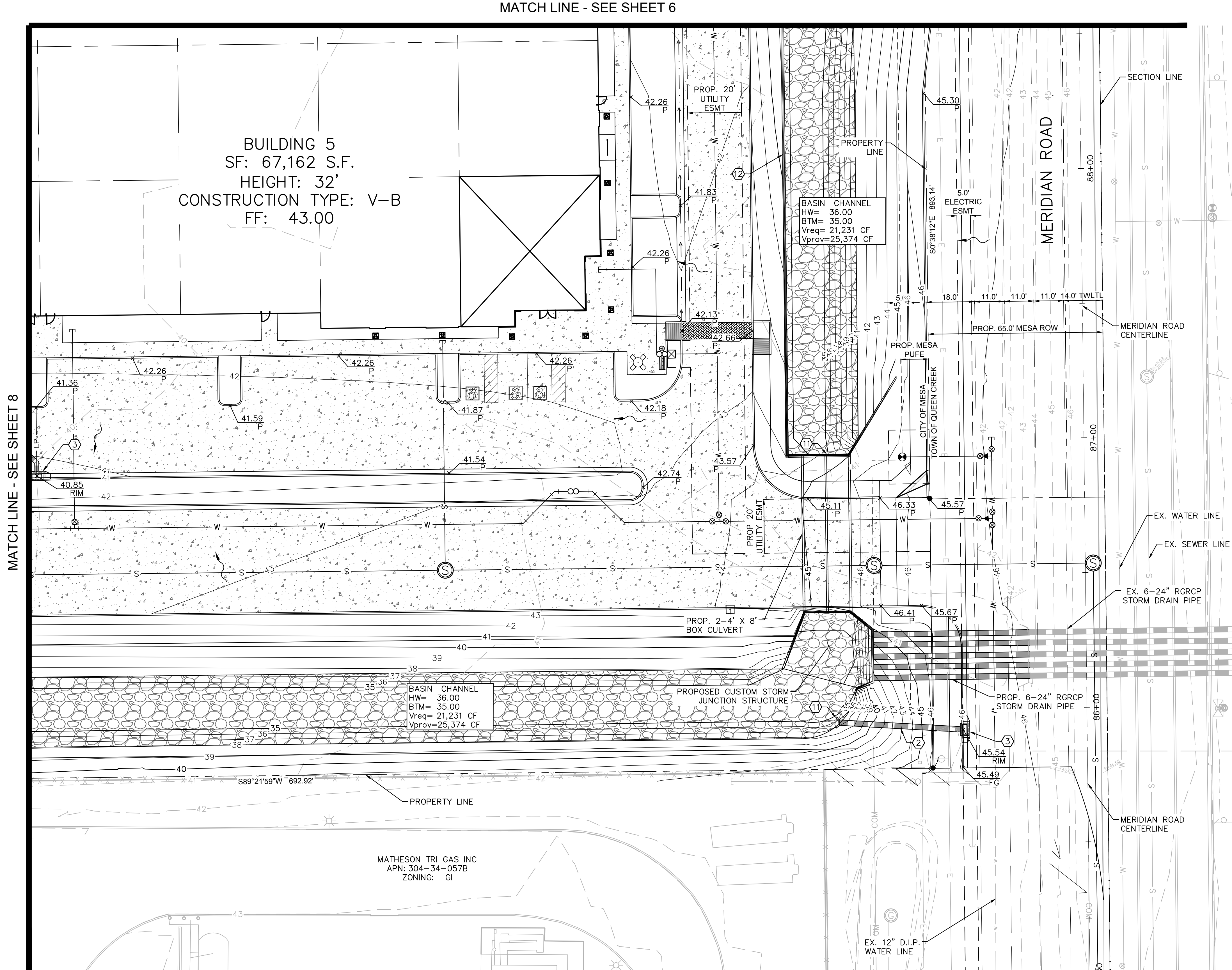


PROJECT NO. 191759003

DRAWING NAME **GD6**



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BUILDING 5
 SF: 67,162 S.F.
 HEIGHT: 32'
 CONSTRUCTION TYPE: V-B
 FF: 43.00

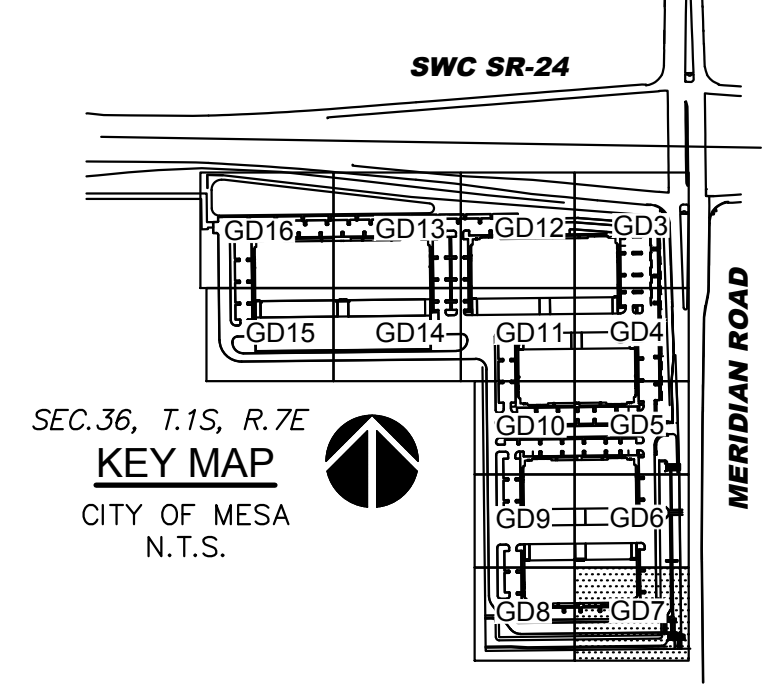
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 HW= 36.00
 BTM= 35.00
 Vreq= 21,231 CF
 Vprov=25,374 CF

BASIN CHANNEL
 HW= 36.00
 BTM= 35.00
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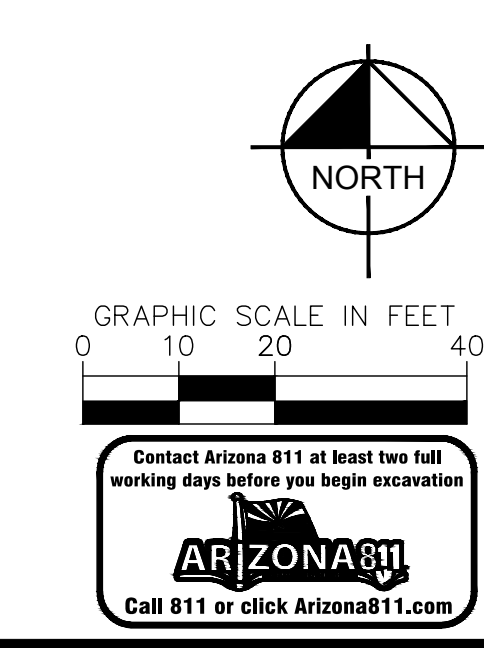
MATHESON TRI GAS INC
 APN: 304-34-057B
 ZONING: GI

MATCH LINE - SEE SHEET 8

MATCH LINE - SEE SHEET 6



- GRADING AND DRAINAGE NOTES**
- ② PROPOSED PUBLIC 24" HDPE STORM DRAIN PIPE.
 - ③ PROPOSED MAG CATCH BASIN.
 - ⑪ PROPOSED MAG HEADWALL.
 - ⑫ PROPOSED RETAINING WALL.



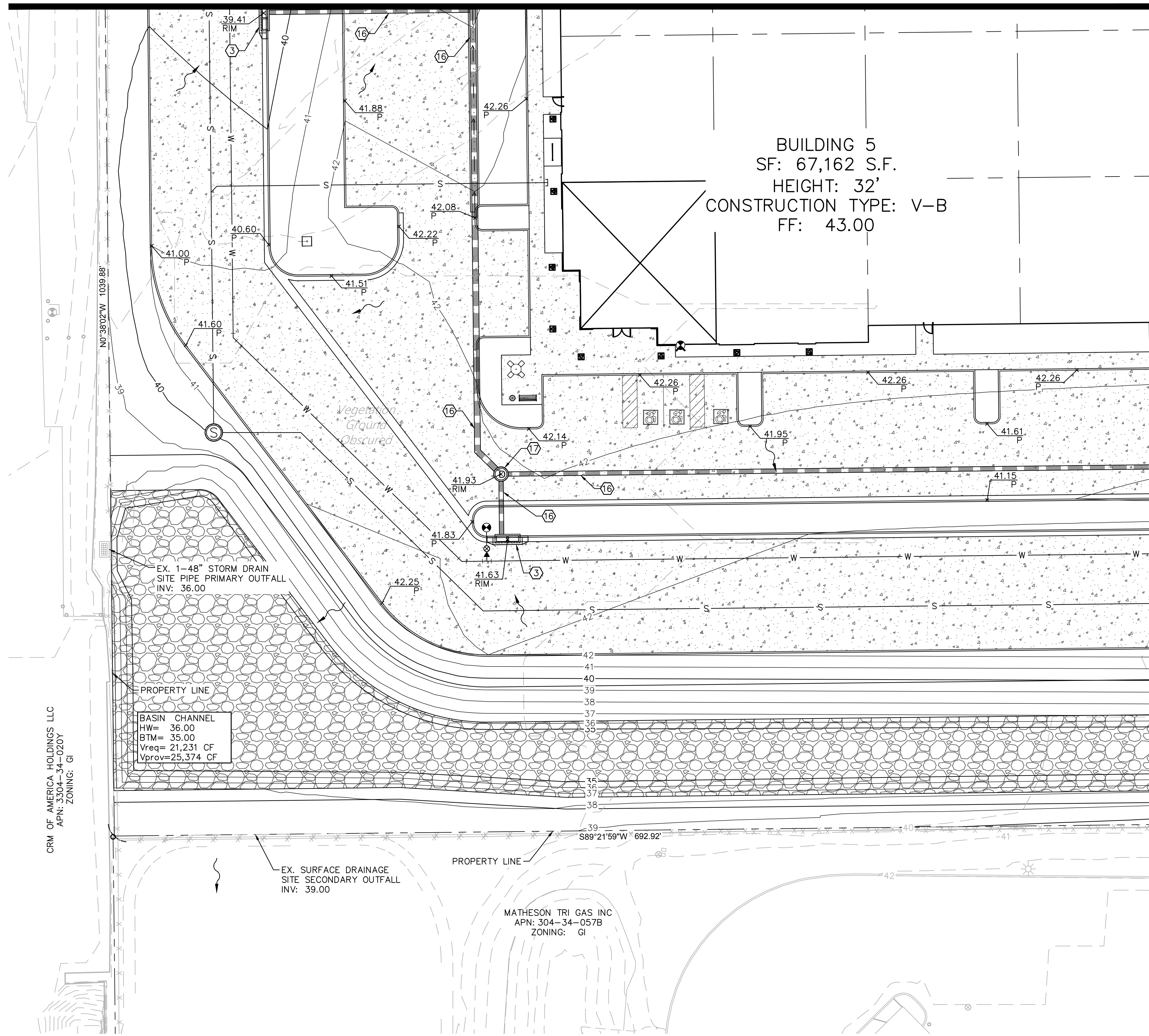
Registered Professional Engineer (C.E.)
 67407
 JEFFREY C. BOYD
 Exp. Date: 09/30/24
 ARIZONA USA
 PROJECT NO. 191759003
 DRAWING NAME GD7
 7 OF 16

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
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 7740 North 16th Street, Suite 300
 Phoenix, Arizona 85020 (602) 944-5500

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY GRADING AND DRAINAGE PLAN

MATCH LINE - SEE SHEET 9



BUILDING 5
 SF: 67,162 S.F.
 HEIGHT: 32'
 CONSTRUCTION TYPE: V-B
 FF: 43.00

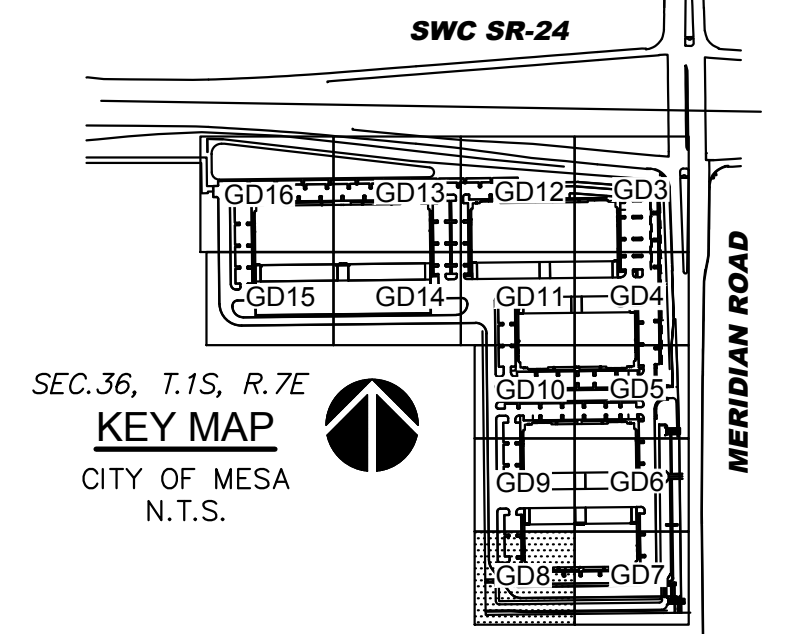
BASIN CHANNEL
 HW= 36.00
 BTM= 35.00
 Vreq= 21,231 CF
 Vprov= 25,374 CF

CRM OF AMERICA HOLDINGS LLC
 APN: 3304-34-020Y
 ZONING: GI

MATHESON TRI GAS INC
 APN: 304-34-057B
 ZONING: GI

EX. SURFACE DRAINAGE
 SITE SECONDARY OUTFALL
 INV: 39.00

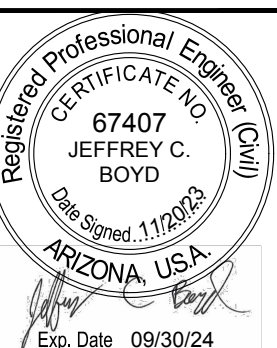
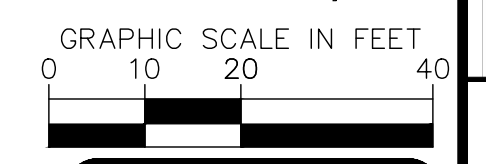
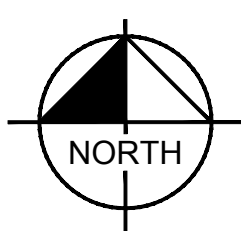
EX. 1-48" STORM DRAIN
 SITE PIPE PRIMARY OUTFALL
 INV: 36.00



GRADING AND DRAINAGE NOTES

- ③ PROPOSED MAG CATCH BASIN.
- ⑯ PROPOSED PRIVATE 18" HDPE STORM DRAIN PIPE.
- ⑰ PROPOSED STORM DRAIN MANHOLE.

MATCH LINE - SEE SHEET 7



PROJECT NO.
191759003

DRAWING NAME
GD8

8 OF 16

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY GRADING AND DRAINAGE PLAN

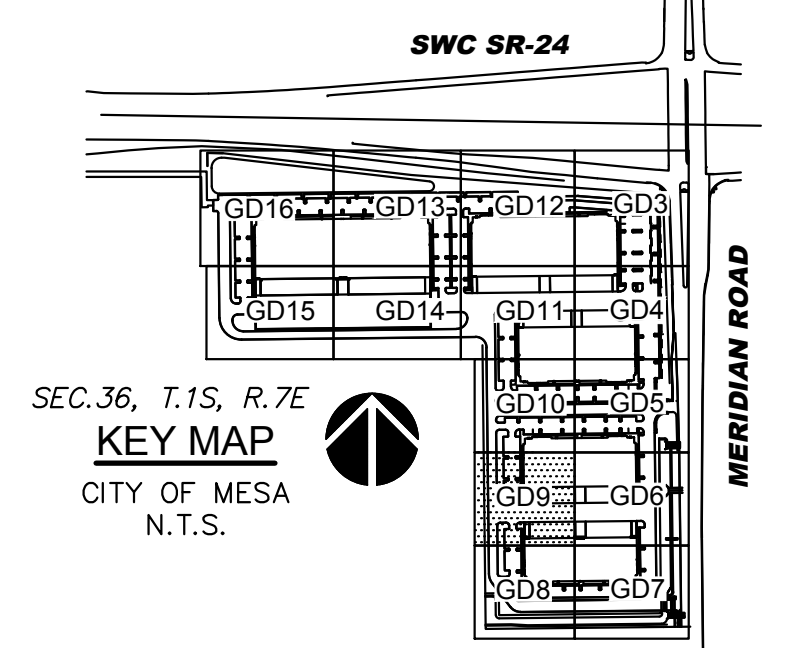
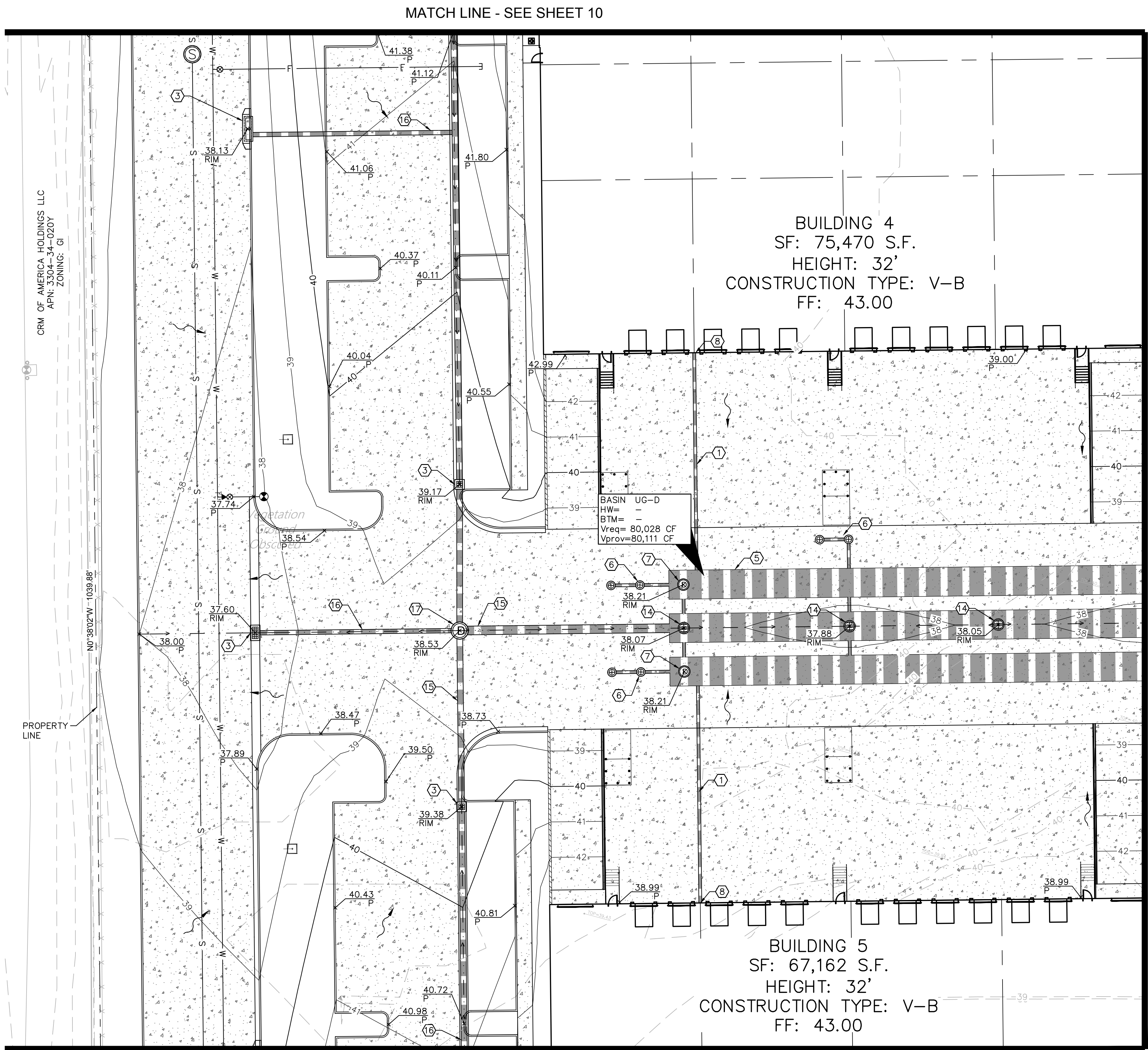
SCALE (H): 1"=20'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

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NO.	REVISION	BY	DATE	APPR.

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- GRADING AND DRAINAGE NOTES**
- ① PROPOSED PRIVATE 12" HDPE STORM DRAIN PIPE.
 - ③ PROPOSED MAG CATCH BASIN.
 - ⑤ PROPOSED 10' CMP UNDERGROUND RETENTION TANK SYSTEM, VOLUME PER PLAN.
 - ⑥ PROPOSED DUAL CHAMBER DRYWELL.
 - ⑦ PROPOSED RETENTION VAULT ACCESS RISER WITH SOLID LID.
 - ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
 - ⑭ PROPOSED RETENTION VAULT ACCESS RISER WITH GRATED LID.
 - ⑮ PROPOSED PRIVATE 24" HDPE STORM DRAIN PIPE.
 - ⑯ PROPOSED PRIVATE 18" HDPE STORM DRAIN PIPE.
 - ⑰ PROPOSED STORM DRAIN MANHOLE.

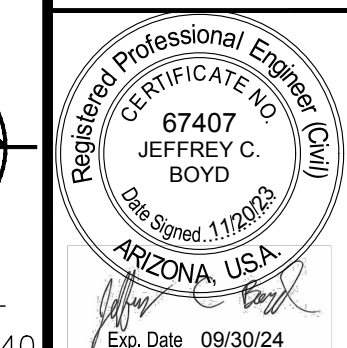
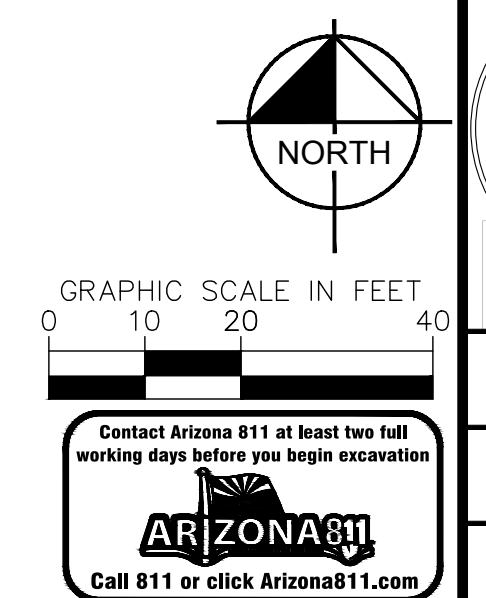
MATCH LINE - SEE SHEET 6

NO.	REVISION	BY	DATE	APPR.

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 Phoenix, Arizona 85020 (602) 944-5500

SCALE (H)=1"=20'
 SCALE (V)=NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
**MERIDIAN COMMERCE PARK
 PRELIMINARY GRADING AND
 DRAINAGE PLAN**

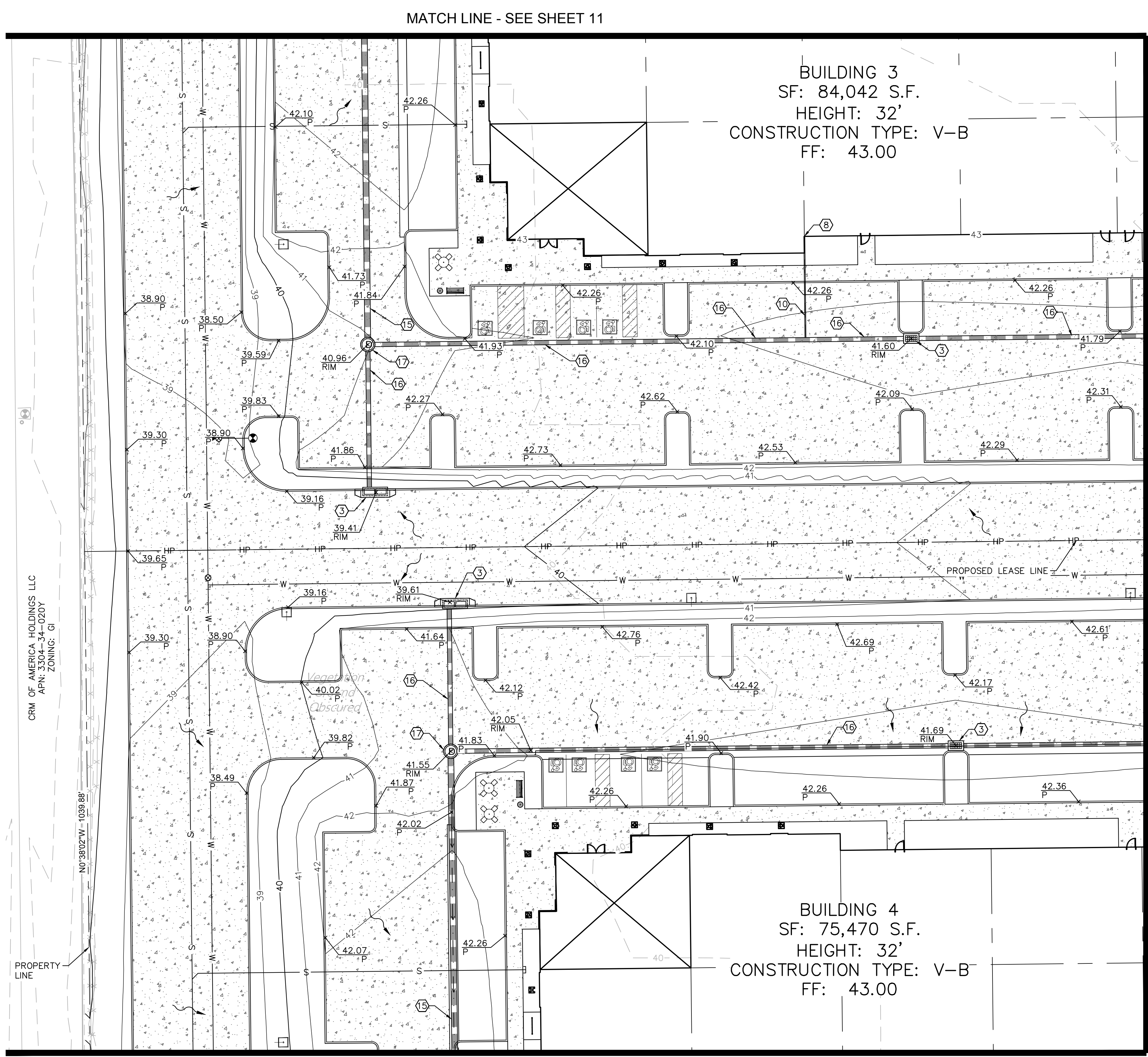


PROJECT NO.
 191759003

DRAWING NAME
GD9



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MATCH LINE - SEE SHEET 11

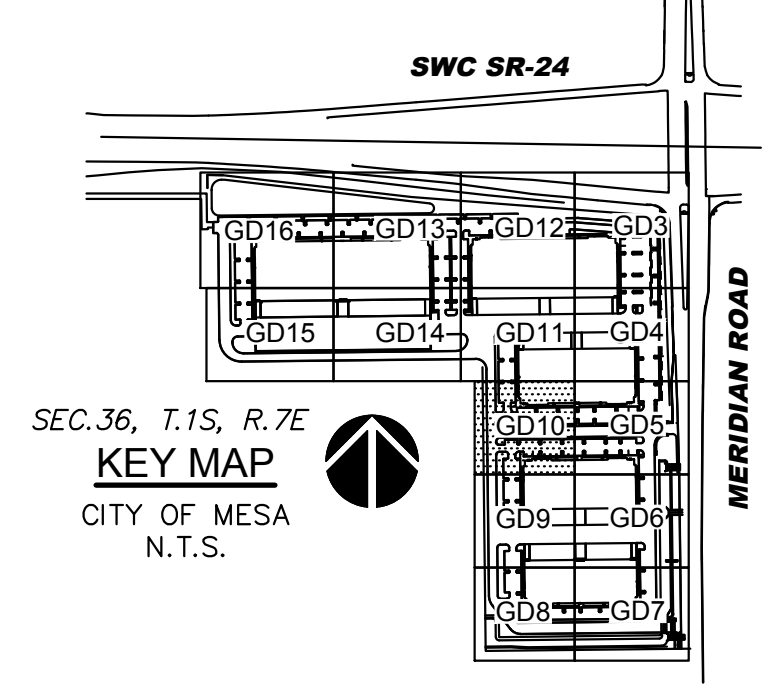
MATCH LINE - SEE SHEET 9

BUILDING 3
 SF: 84,042 S.F.
 HEIGHT: 32'
 CONSTRUCTION TYPE: V-B
 FF: 43.00

BUILDING 4
 SF: 75,470 S.F.
 HEIGHT: 32'
 CONSTRUCTION TYPE: V-B
 FF: 43.00

CRM OF AMERICA HOLDINGS LLC
 APN: 3304-34-020Y
 ZONING: GI

PROPERTY LINE



GRADING AND DRAINAGE NOTES

- ③ PROPOSED MAG CATCH BASIN.
- ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
- ⑩ PROPOSED PRIVATE 4" HDPE STORM DRAIN PIPE.
- ⑮ PROPOSED PRIVATE 24" HDPE STORM DRAIN PIPE.
- ⑯ PROPOSED PRIVATE 18" HDPE STORM DRAIN PIPE.
- ⑰ PROPOSED STORM DRAIN MANHOLE.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
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 7740 North 16th Street, Suite 300
 Phoenix, Arizona 85020 (602) 944-5500

SCALE (H): 1"=20'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

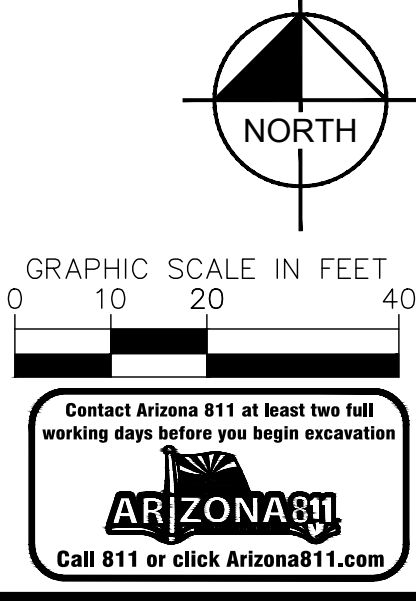
6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY GRADING AND
DRAINAGE PLAN



PROJECT NO.
191759003

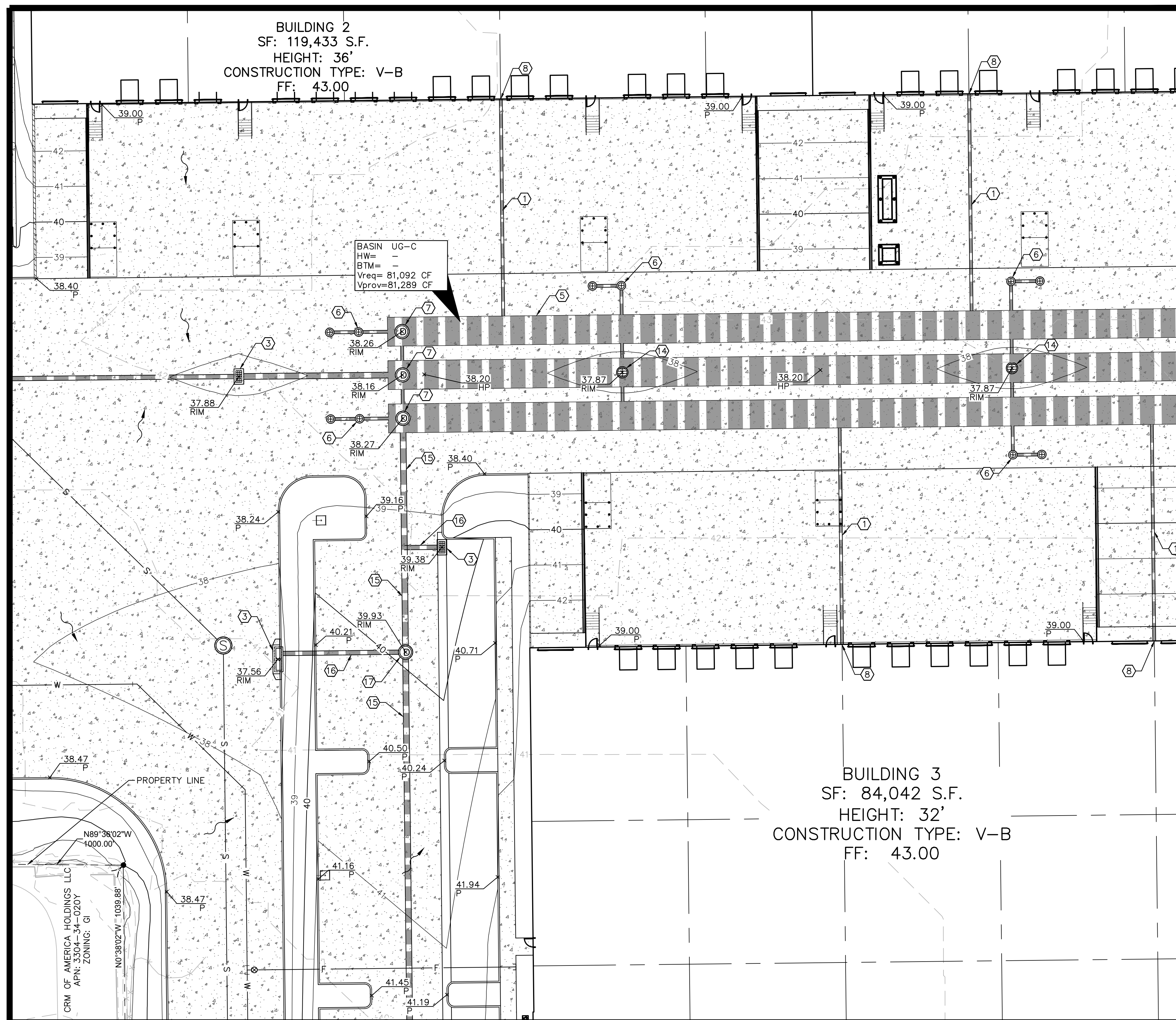
DRAWING NAME
GD10

10 OF 16

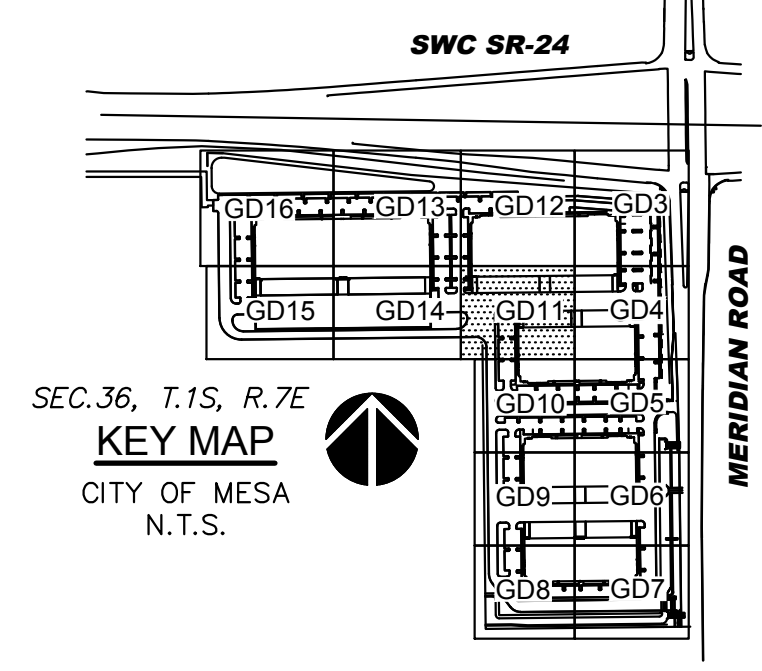


K:\VHK_Civil\191759003 - Meridian Commerce Park\CAD\Improvement\Plans\ Preliminary\GD.dwg Nov 20, 2023, William Fellhoelter
 XREFS: XBM CDD XIB Preliminary AUT XSEC XLF Preliminary AUT
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MATCH LINE - SEE SHEET 14

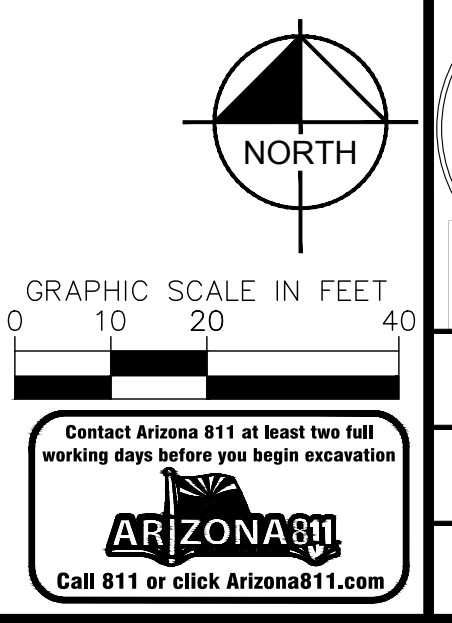


MATCH LINE - SEE SHEET 10



- GRADING AND DRAINAGE NOTES
- ① PROPOSED PRIVATE 12" HDPE STORM DRAIN PIPE.
 - ③ PROPOSED MAG CATCH BASIN.
 - ⑤ PROPOSED 10' CMP UNDERGROUND RETENTION TANK SYSTEM, VOLUME PER PLAN.
 - ⑥ PROPOSED DUAL CHAMBER DRYWELL.
 - ⑦ PROPOSED RETENTION VAULT ACCESS RISER WITH SOLID LID.
 - ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
 - ⑭ PROPOSED RETENTION VAULT ACCESS RISER WITH GRATED LID.
 - ⑮ PROPOSED PRIVATE 24" HDPE STORM DRAIN PIPE.
 - ⑯ PROPOSED PRIVATE 18" HDPE STORM DRAIN PIPE.
 - ⑰ PROPOSED STORM DRAIN MANHOLE.

MATCH LINE - SEE SHEET 4

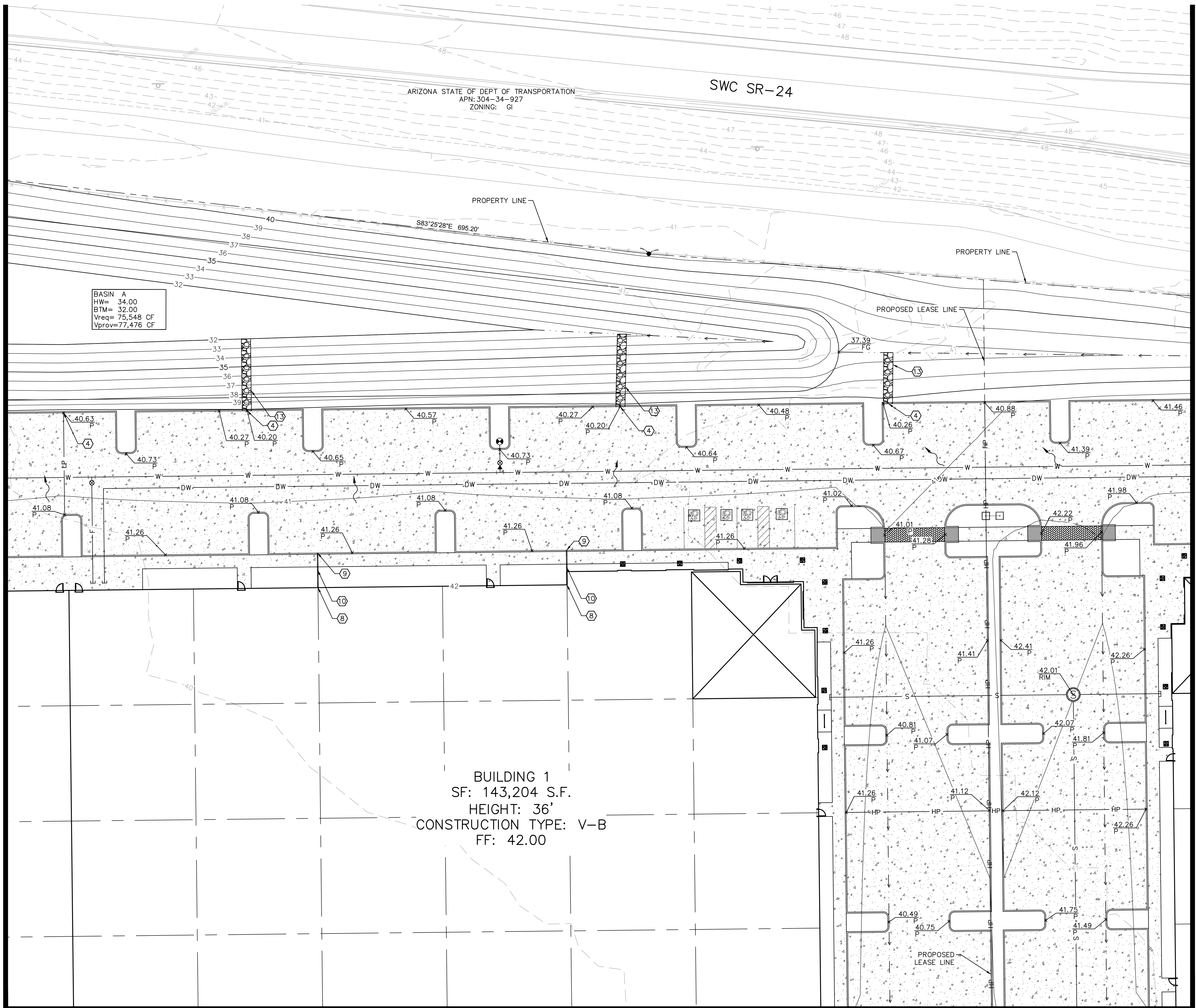


6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
 MERIDIAN COMMERCE PARK
 PRELIMINARY GRADING AND DRAINAGE PLAN

Scale: (H) 1" = 20' (V) NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

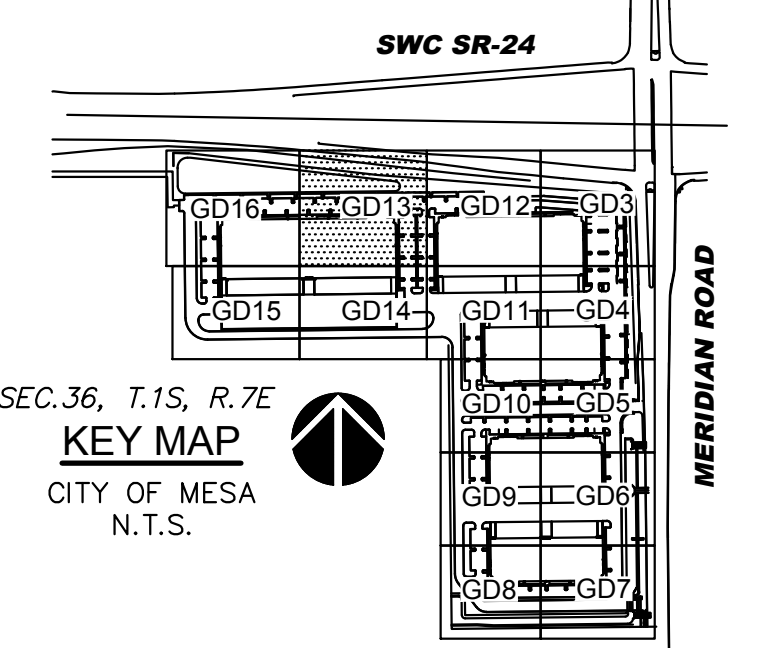
PROJECT NO. 191759003
 DRAWING NAME GD11
 11 OF 16

K:\VHK\Civil\191759003 - Meridian Commerce Park\CAD\Improvement\Plans\Preliminary\GD.dwg Nov 20, 2023, William Follhoelter
 XREFS: XSM_GD.dwg XTB_Preliminary_AUT_xref.dwg
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BASIN A
 HW= 34.00
 BTM= 32.00
 Vreq= 75,548 CF
 Vprov=77,476 CF

BUILDING 1
 SF: 143,204 S.F.
 HEIGHT: 36'
 CONSTRUCTION TYPE: V-B
 FF: 42.00



SEC. 36, T. 1S, R. 7E
KEY MAP
 CITY OF MESA
 N.T.S.

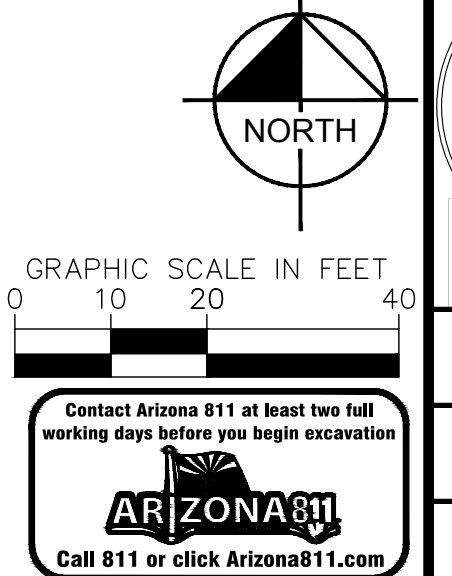
GRADING AND DRAINAGE NOTES

- (4) PROPOSED MAG CURB CUT.
- (8) PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
- (9) PROPOSED CURB FACE ROOF DRAIN OUTLET.
- (10) PROPOSED PRIVATE 4" HDPE STORM DRAIN PIPE.
- (13) PROPOSED GROUTED RIPRAP SPILLWAY.

MATCH LINE - SEE SHEET 16

MATCH LINE - SEE SHEET 12

MATCH LINE - SEE SHEET 14



Contact Arizona 811 at least two full working days before you begin excavation.
ARIZONA 811
 Call 811 or click Arizona811.com

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212

MERIDIAN COMMERCE PARK

PRELIMINARY GRADING AND DRAINAGE PLAN

Kimley»Horn

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NO.	REVISION	BY	DATE	APPR.

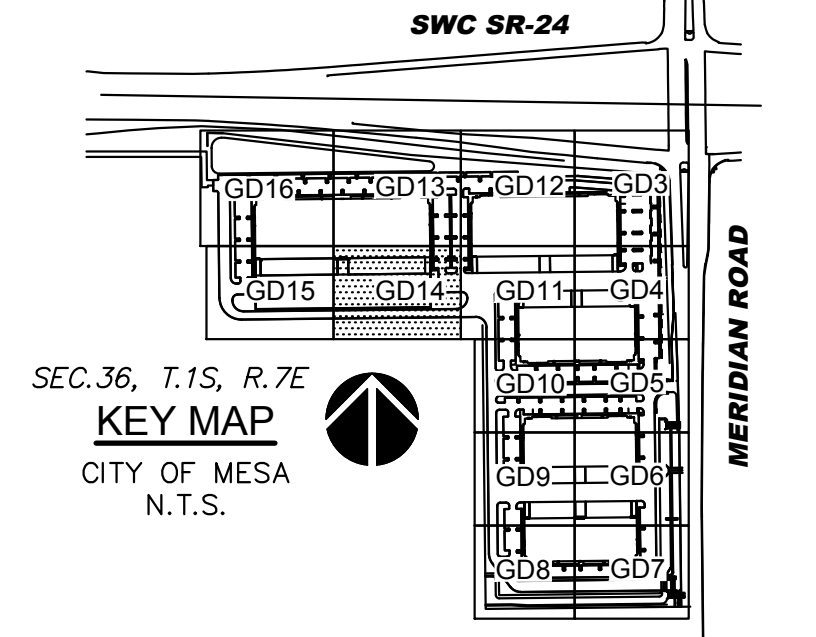
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 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

PROJECT NO.
 191759003
 DRAWING NAME
GD13
 13 OF 16

MATCH LINE - SEE SHEET 13

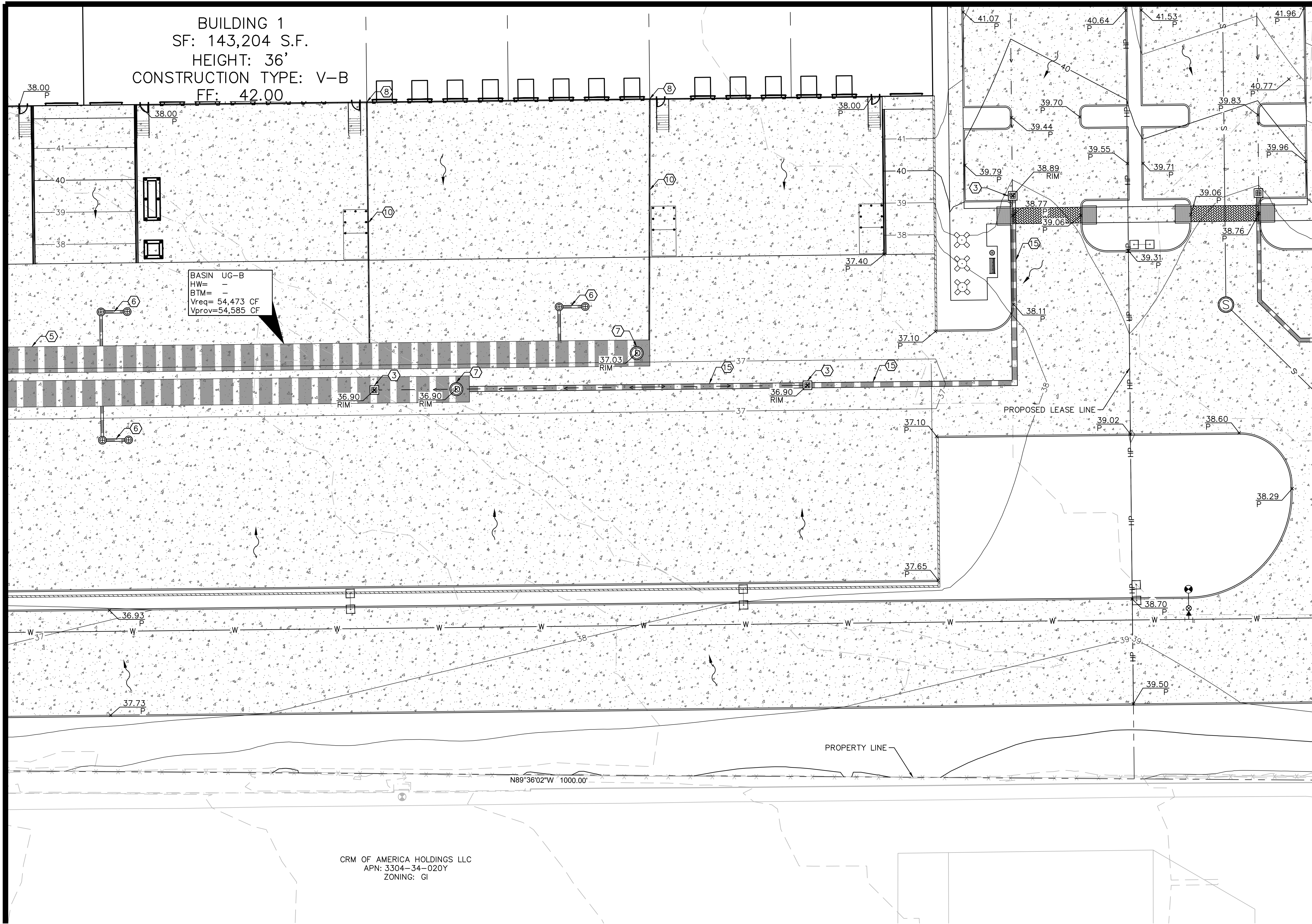
BUILDING 1
 SF: 143,204 S.F.
 HEIGHT: 36'
 CONSTRUCTION TYPE: V-B
 FF: 42.00

BASIN UG-B
 HW= -
 BTM= -
 Vreq= 54,473 CF
 Vprov= 54,585 CF



MATCH LINE - SEE SHEET 15

MATCH LINE - SEE SHEET 11



CRM OF AMERICA HOLDINGS LLC
 APN: 3304-34-020Y
 ZONING: G1

GRADING AND DRAINAGE NOTES

- (3) PROPOSED MAG CATCH BASIN.
- (5) PROPOSED 10' CMP UNDERGROUND RETENTION TANK SYSTEM, VOLUME PER PLAN.
- (6) PROPOSED DUAL CHAMBER DRYWELL.
- (7) PROPOSED RETENTION VAULT ACCESS RISER WITH SOLID LID.
- (8) PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
- (10) PROPOSED PRIVATE 4" HDPE STORM DRAIN PIPE.
- (15) PROPOSED PRIVATE 24" HDPE STORM DRAIN PIPE.

NORTH

GRAPHIC SCALE IN FEET
 0 10 20 40

Arizona 811
 Call 811 or click Arizona811.com

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212
MERIDIAN COMMERCE PARK
PRELIMINARY GRADING AND
DRAINAGE PLAN

Registered Professional Engineer (Civil)
 67407
 JEFFREY C. BOYD
 Exp. Date 09/30/24

PROJECT NO.
 191759003

DRAWING NAME
GD14

14 OF 16

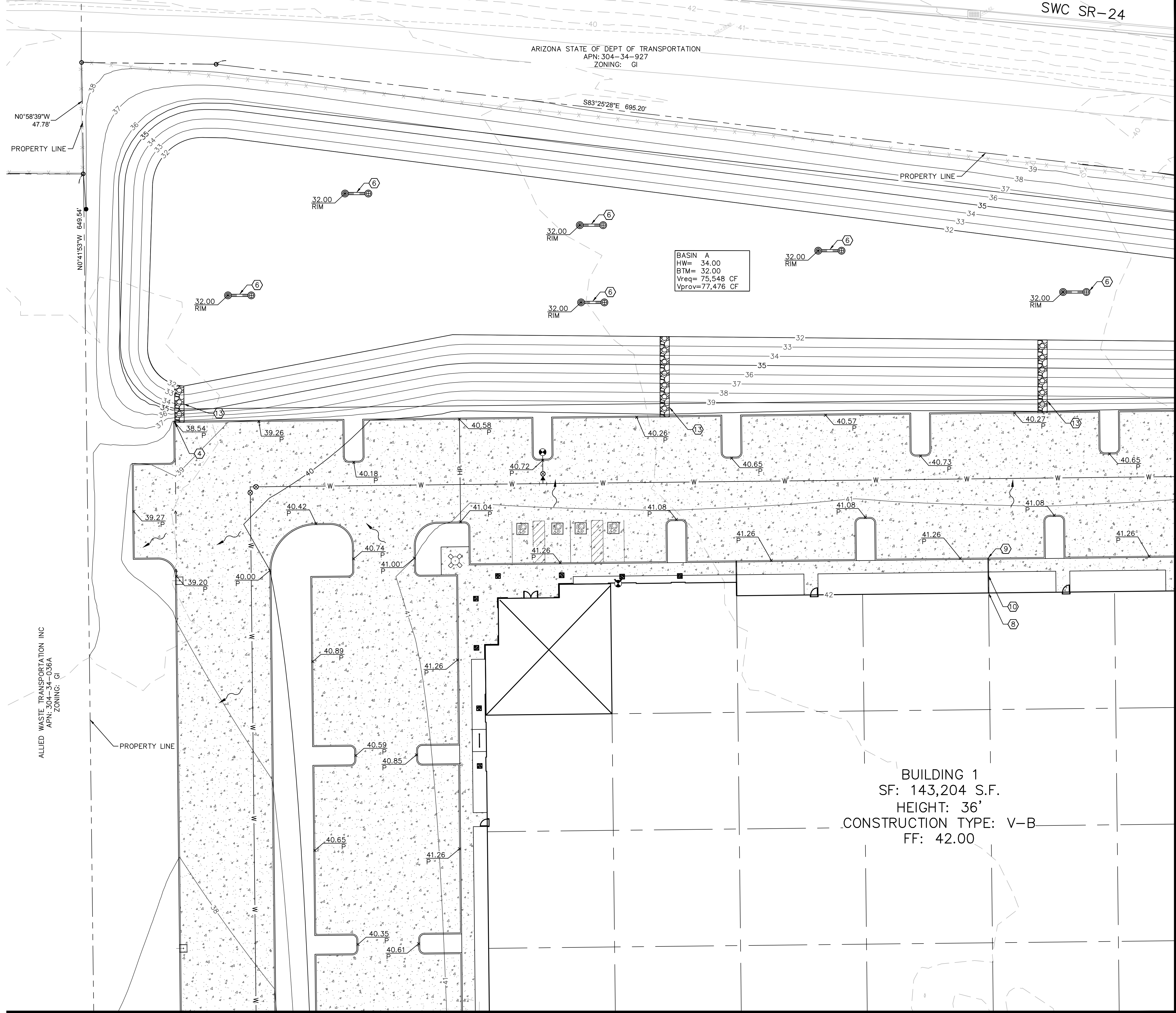
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 Phoenix, Arizona 85020 (602) 944-5500

SCALE (H): 1"=20'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB
 DATE: 11/20/2023

NO.	REVISION	BY / DATE / APPR.

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 XREFS: K:_VHK_Civil\191759003 - Meridian Commerce Park\191759003.dwg Nov 20, 2023 William F. Foltz
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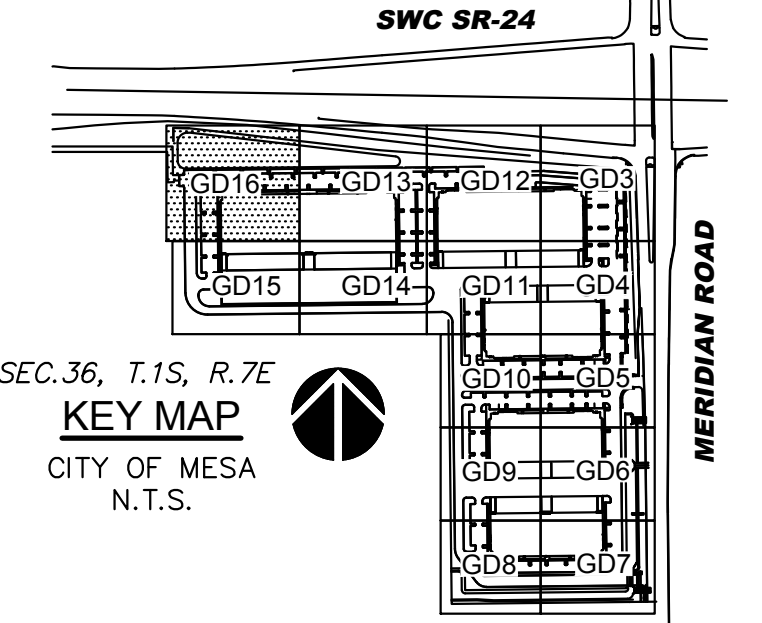


ALLIED WASTE TRANSPORTATION INC
 APN: 304-34-036A
 ZONING: GI

ARIZONA STATE OF DEPT OF TRANSPORTATION
 APN: 304-34-927
 ZONING: GI

BASIN A
 HW= 34.00
 BTM= 32.00
 Vreq= 75,548 CF
 Vprov=77,476 CF

BUILDING 1
 SF: 143,204 S.F.
 HEIGHT: 36'
 CONSTRUCTION TYPE: V-B
 FF: 42.00



- GRADING AND DRAINAGE NOTES**
- ④ PROPOSED MAG CURB CUT.
 - ⑥ PROPOSED DUAL CHAMBER DRYWELL.
 - ⑧ PROPOSED ROOF DRAIN CONNECTION TO BUILDING.
 - ⑨ PROPOSED CURB FACE ROOF DRAIN OUTLET.
 - ⑩ PROPOSED PRIVATE 4" HDPE STORM DRAIN PIPE.
 - ⑬ PROPOSED GROUTED RIPRAP SPILLWAY.

MATCH LINE - SEE SHEET 14

MATCH LINE - SEE SHEET 15

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 Phoenix, Arizona 85020 (602) 944-5500

DATE: 11/20/2023

SCALE (H): 1"=20'
 SCALE (V): NONE
 DESIGNED BY: WEF
 DRAWN BY: MKC
 CHECKED BY: JCB

6550 S. MERIDIAN ROAD MESA, ARIZONA 85212

MERIDIAN COMMERCE PARK

PRELIMINARY GRADING AND DRAINAGE PLAN

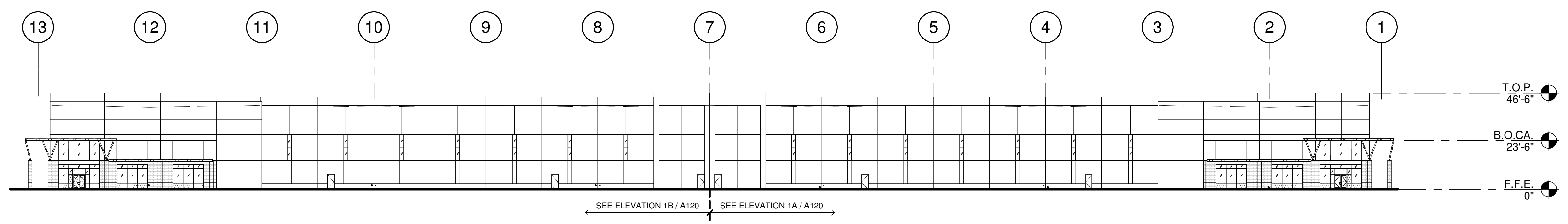
GRAPHIC SCALE IN FEET

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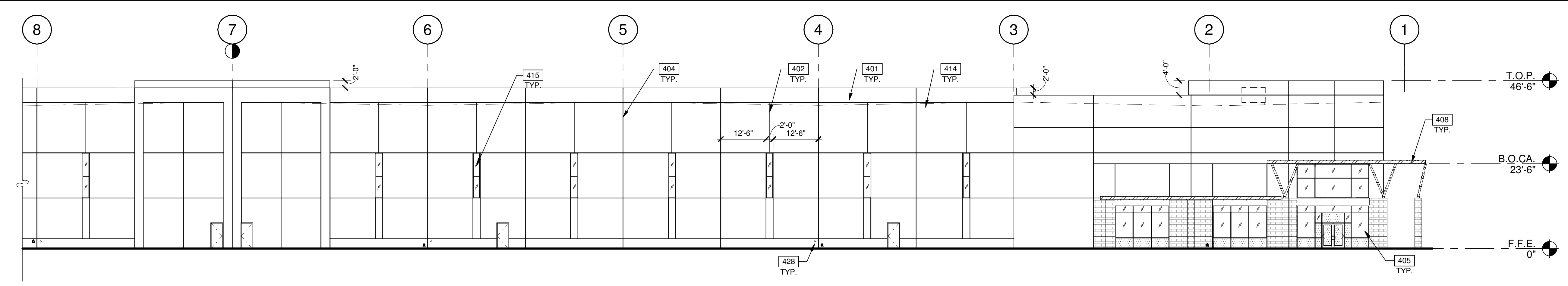
PROJECT NO. 191759003

DRAWING NAME **GD16**

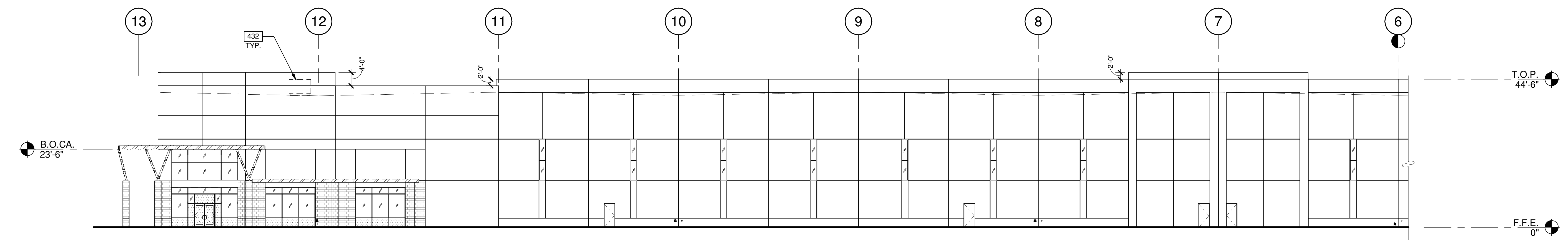
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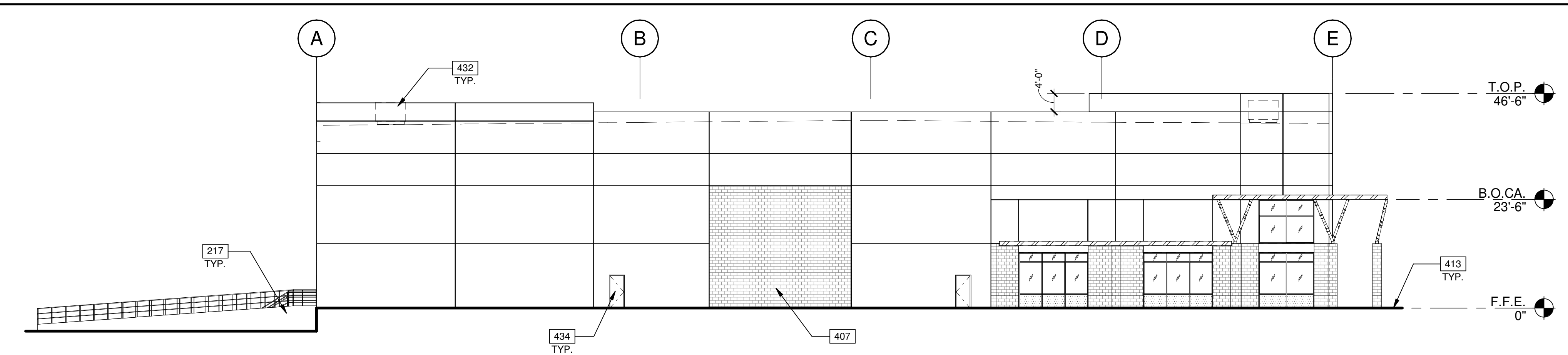
BUILDING 1 - OVERALL NORTH EXTERIOR ELEVATION
SCALE: 1" = 30'-0" (1)



BUILDING 1 - PARTIAL NORTH EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0" (1A)



BUILDING 1 - PARTIAL NORTH EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0" (1B)



BUILDING 1 - EAST EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0" (2)

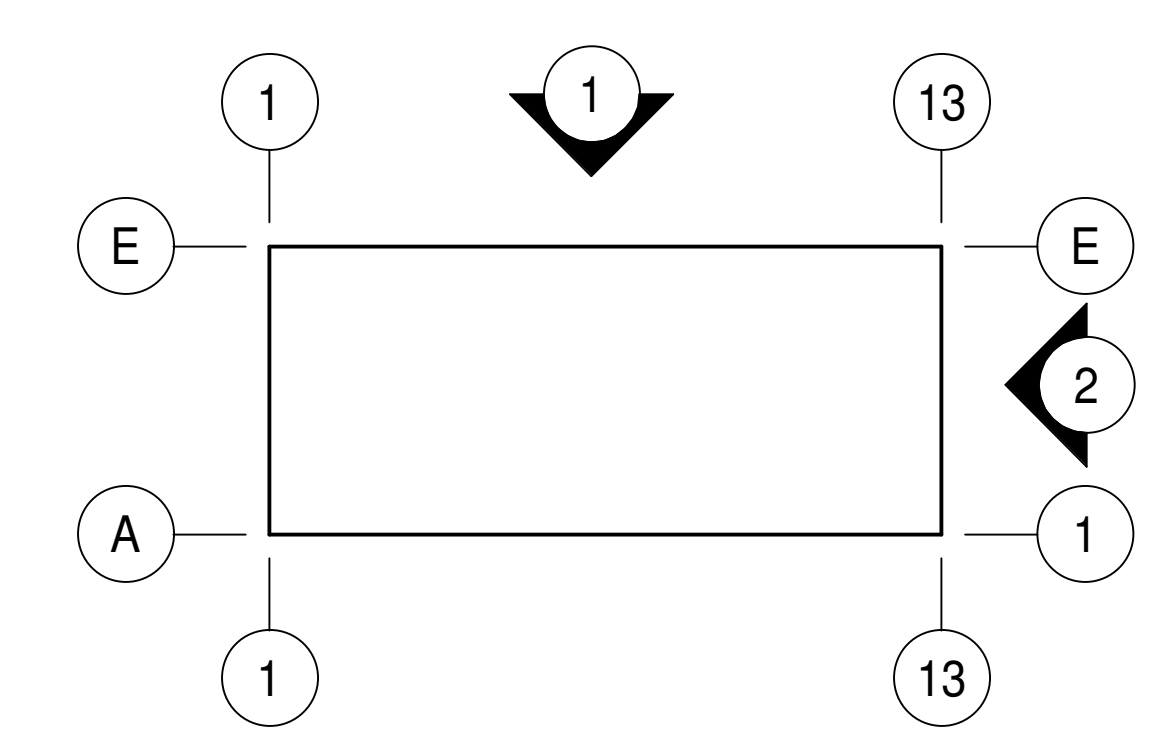
LEGEND

- MATERIALS:**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

KEYNOTES:

- 217 CONCRETE RETAINING WALL.
- 401 CONCRETE WALL, PAINTED.
- 402 3/4" REVEAL.
- 404 CONCRETE WALL JOINT.
- 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
- 408 METAL CANOPY, PAINTED.
- 413 FINISH GRADE VARIES.
- 414 LINE OF ROOF BEYOND.
- 415 CLERESTORY WINDOW.
- 428 OVERFLOW DAYLIGHT.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

KEY PLAN



WARE MALCOMB
ARCHITECTURE
CIVIL ENGINEERING
PLANNING
BRANDING
INTERIORS
BUILDING MEASUREMENT

2777 E Camelback Rd. Suite 602S
Phoenix, AZ 85016
P: 480.767.7001



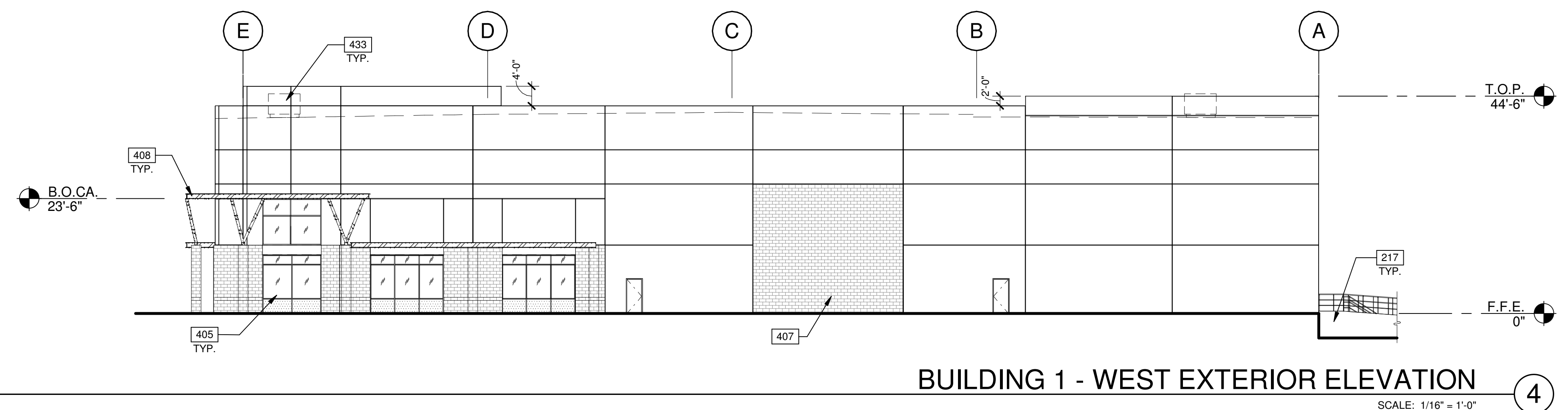
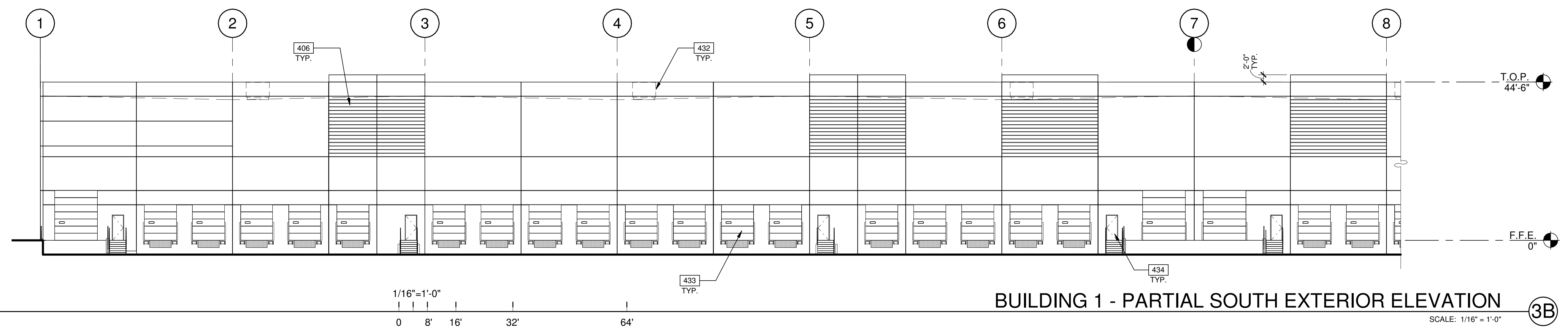
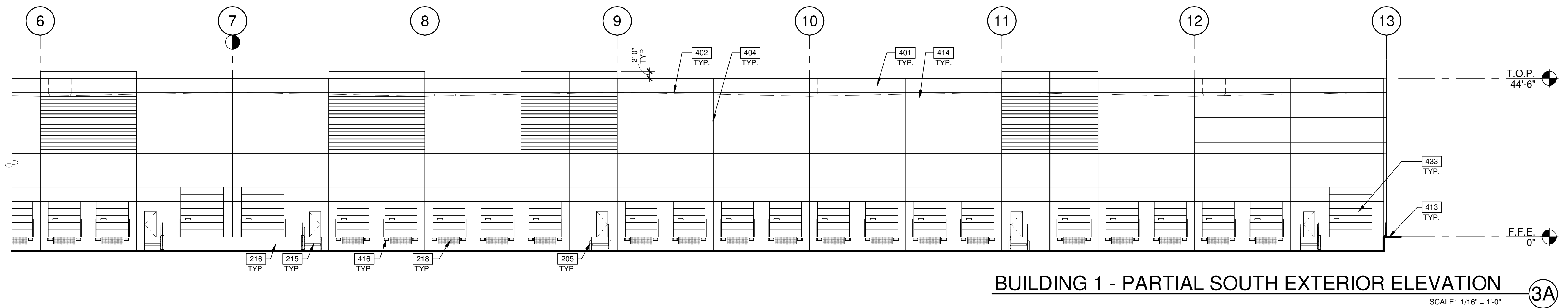
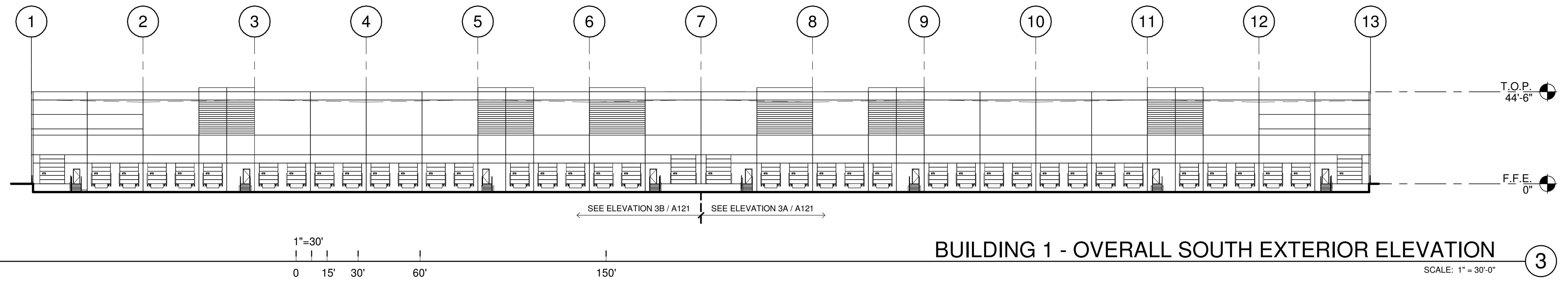
MERIDIAN 24
6450 S. MERIDIAN ROAD
MESA, ARIZONA 85212

BUILDING 1 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAPM: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

SHEET
A120



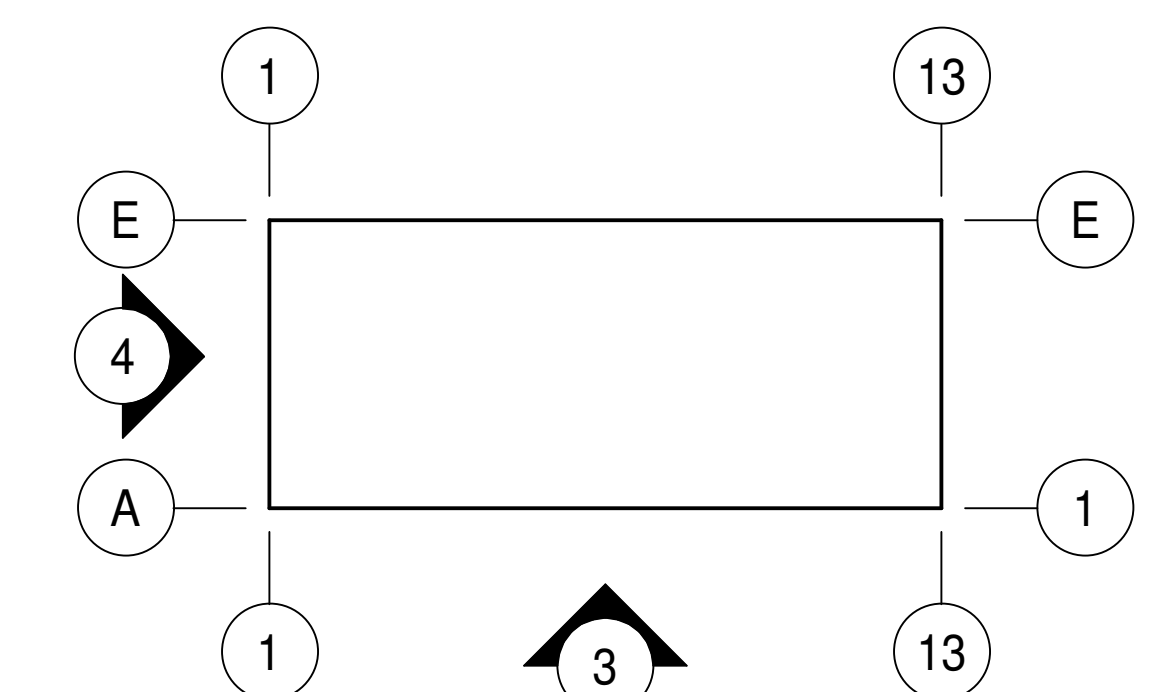
LEGEND

- MATERIALS:**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

KEYNOTES:

- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 215 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
- 216 CONCRETE RAMP.
- 217 CONCRETE RETAINING WALL.
- 218 6'X8' HYDRAULIC DOCK LEVELER.
- 401 CONCRETE WALL, PAINTED.
- 402 3/4" V-REVEAL.
- 404 CONCRETE WALL JOINT.
- 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 406 CONCRETE FORM LINER.
- 407 CONCRETE FORM LINER 8'x16" SPLIT FACE MASONRY RUNNING BOND PATTERN. PAINTED TO MATCH EXTERIOR CMU.
- 408 METAL CANOPY, PAINTED.
- 413 FINISH GRADE VARIES.
- 414 LINE OF ROOF BEYOND.
- 416 DOCK BUMPER.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

KEY PLAN



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BUILDING MEASUREMENT

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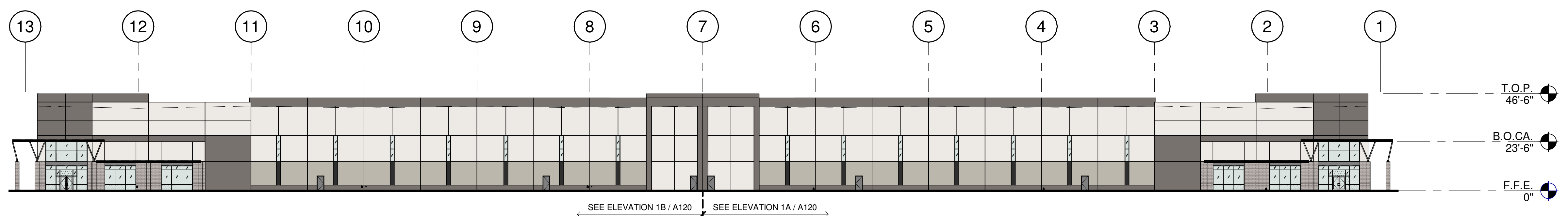
MERIDIAN 24
6450 S. MERIDIAN ROAD
MESA, ARIZONA 85212

BUILDING 1 - EXTERIOR ELEVATIONS

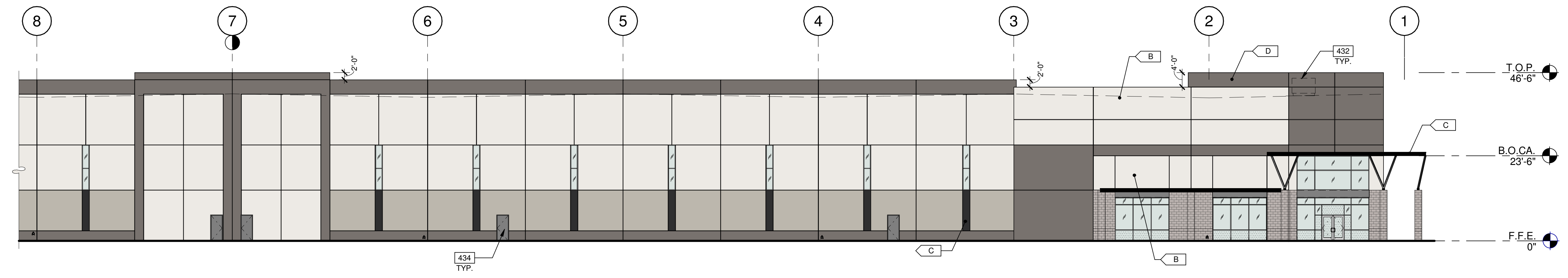
DATE	REVISIONS

PAPM: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

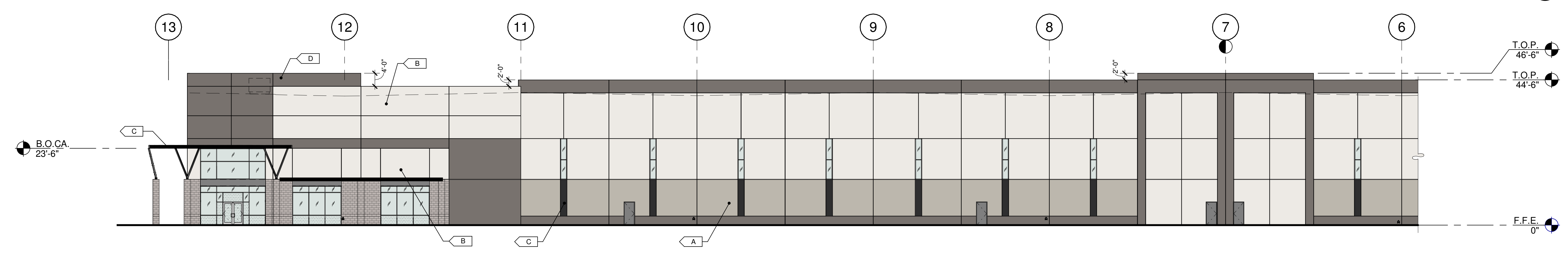
SHEET
A121



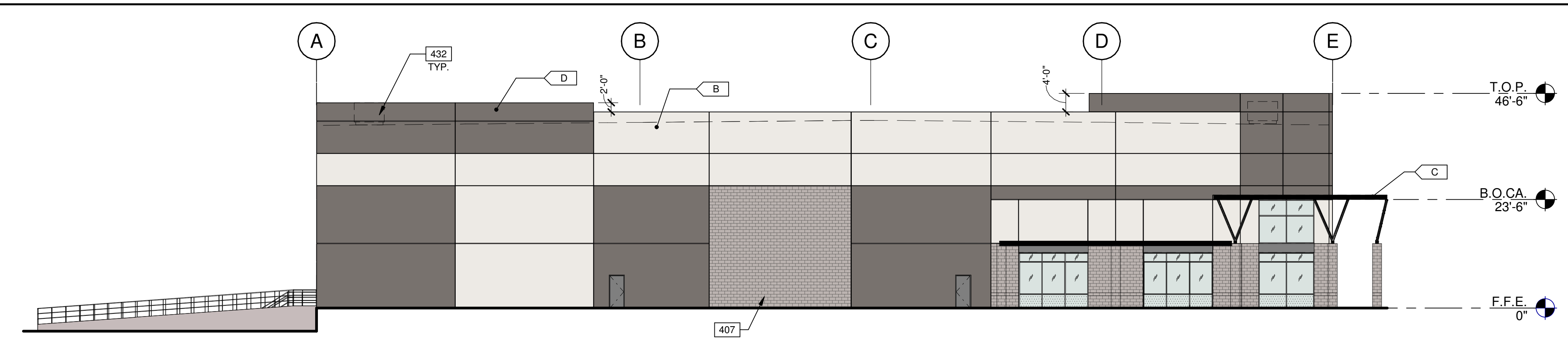
BUILDING 1 - OVERALL NORTH EXTERIOR ELEVATION
SCALE: 1" = 30'-0" **1**



BUILDING 1 - PARTIAL NORTH EXTERIOR ELEVATION 1A
SCALE: 1/16" = 1'-0" **1A**



BUILDING 1 - PARTIAL NORTH EXTERIOR ELEVATION 1B
SCALE: 1/16" = 1'-0" **1B**



BUILDING 1 - EAST EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0" **2**

MATERIALS PERCENTAGES

MATERIALS:	NORTH:	SOUTH:	EAST:	WEST:
MINDFUL GRAY SW 7019	5%	0%	0%	0%
SNOWBOUND SW 7004	49%	44%	41%	41%
TRICORN BLACK SW 6258	2%	0%	1%	1%
GAUNTLET GRAY SW 7019	23%	47%	38%	38%
EXTERIOR SPLIT CMU WALL	4%	0%	13%	13%
VISION GLASS	7%	0%	7%	7%
FORMLINER	0%	9%	0%	0%

LEGEND

COLORS:
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A BASE COLOR: MINDFUL GRAY SW 7019
- B SECONDARY COLOR: SNOWBOUND SW 7004
- C ACCENT COLOR: TRICORN BLACK SW 6258
- D ACCENT COLOR: GAUNTLET GRAY SW 7019

MATERIALS:

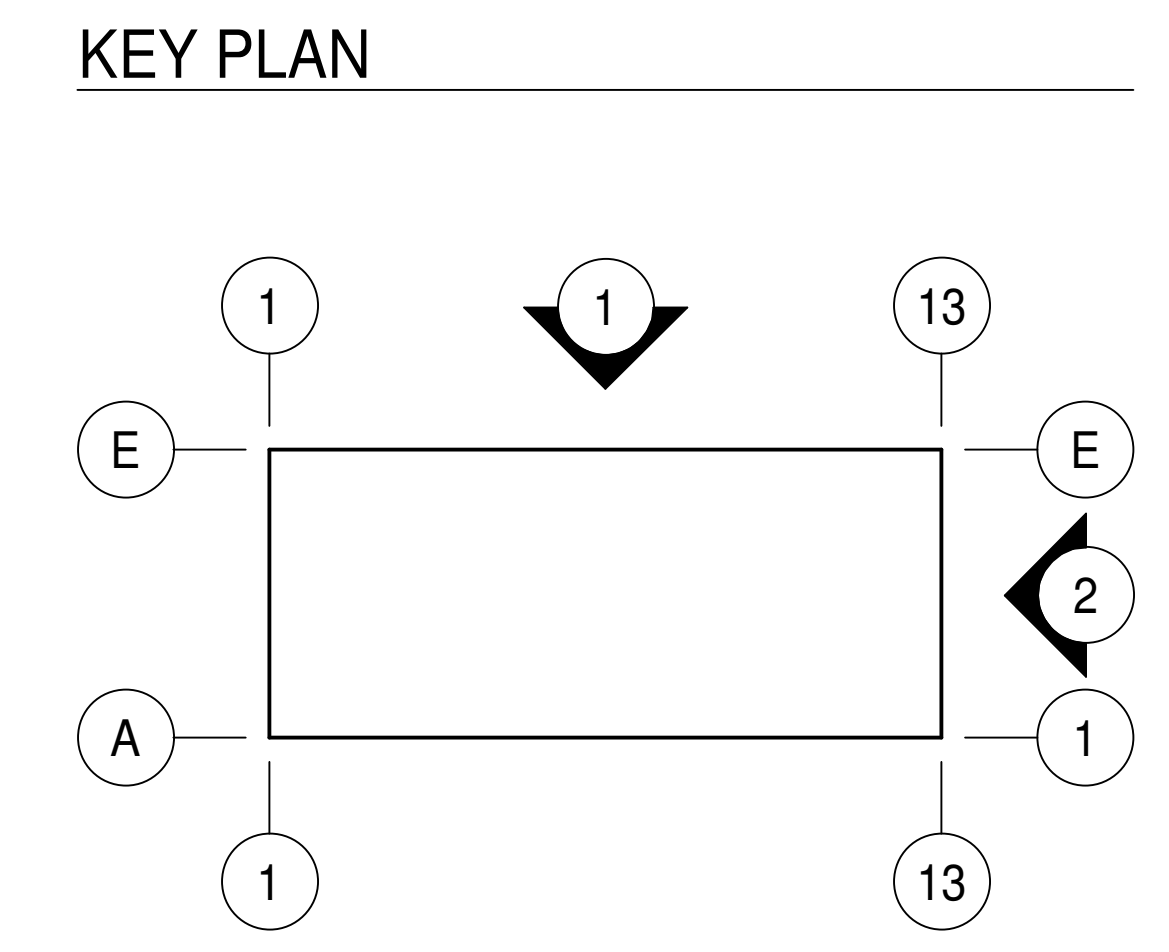
- METAL CANOPY, PAINTED
- EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

KEYNOTES:

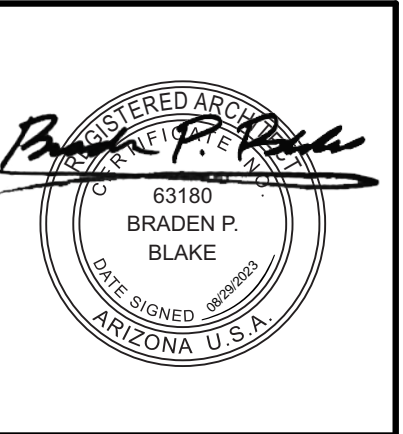
- 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN. PAINTED TO MATCH EXTERIOR CMU.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.



ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

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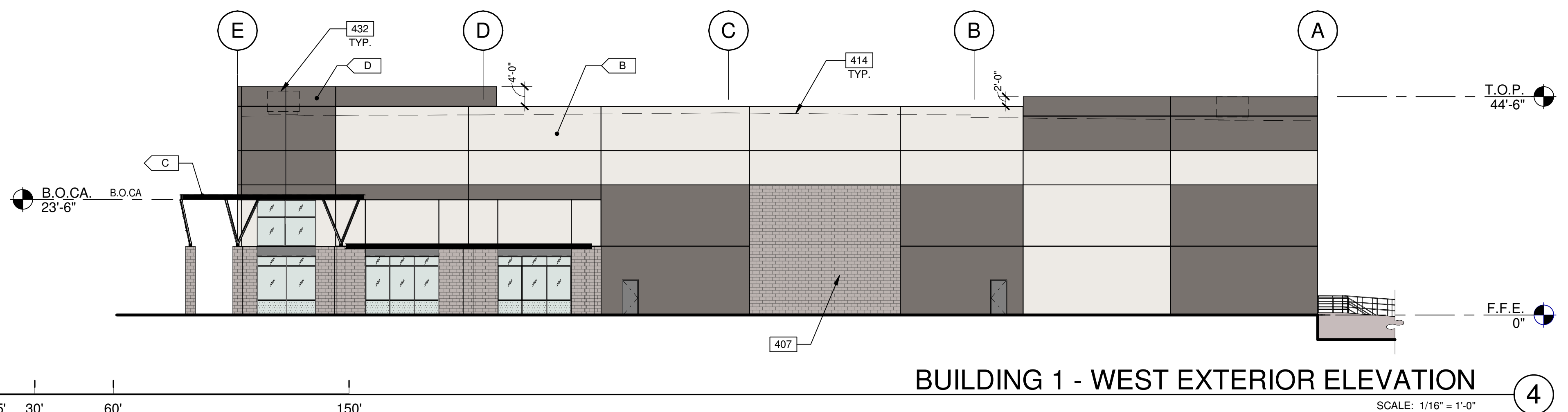
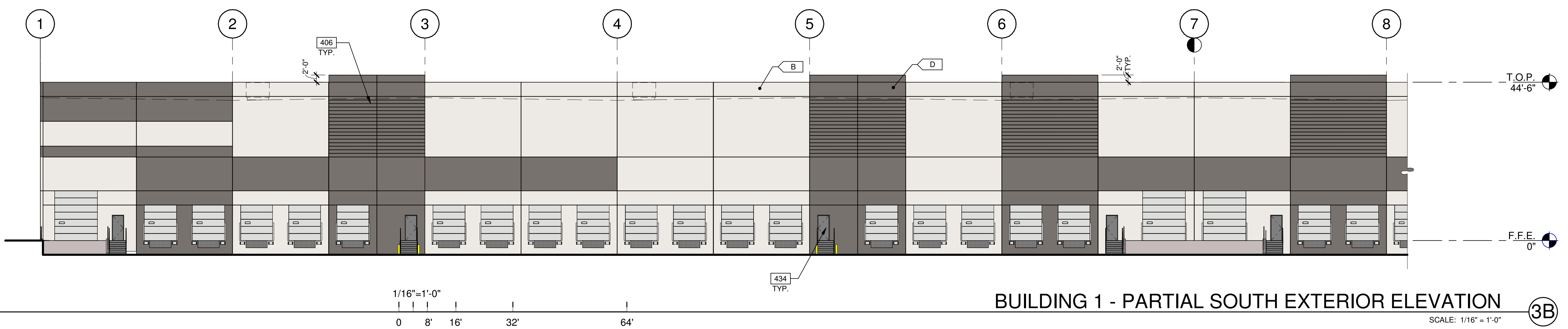
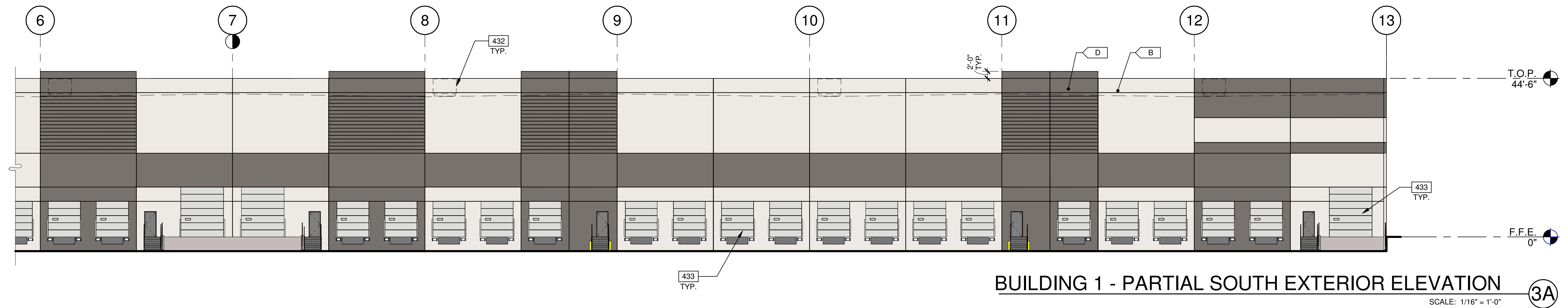
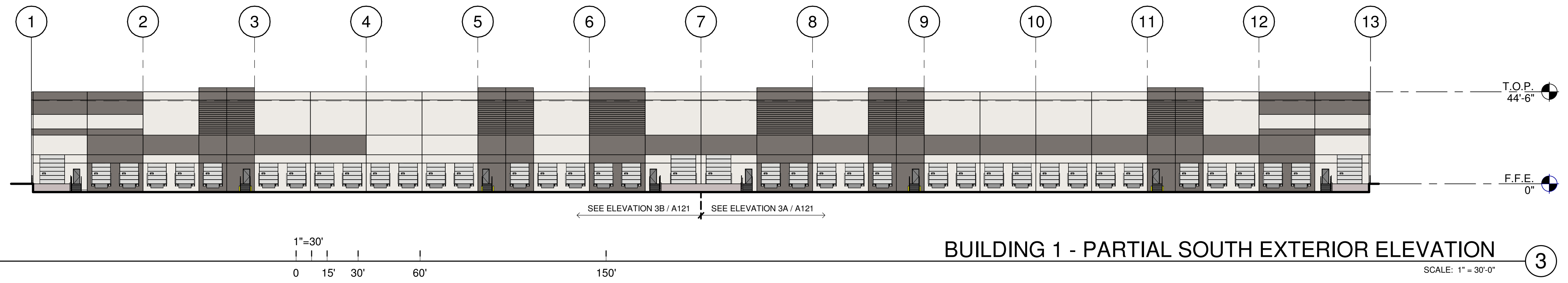
MERIDIAN 24
6450 S. MERIDIAN ROAD
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BUILDING 1 - EXTERIOR ELEVATIONS

DATE	REVISIONS

P.A.P.M.: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

SHEET
A122



MATERIALS PERCENTAGES

MATERIALS:	NORTH:	SOUTH:	EAST:	WEST:
MINDFUL GRAY SW 7019	5%	0%	0%	0%
SNOWBOUND SW 7004	49%	44%	41%	41%
TRICORN BLACK SW 6258	2%	0%	1%	1%
GAUNTLET GRAY SW 7019	23%	47%	38%	38%
EXTERIOR SPLIT CMU WALL	4%	0%	13%	13%
VISION GLASS	7%	0%	7%	7%
FORMLINER	0%	0%	0%	0%

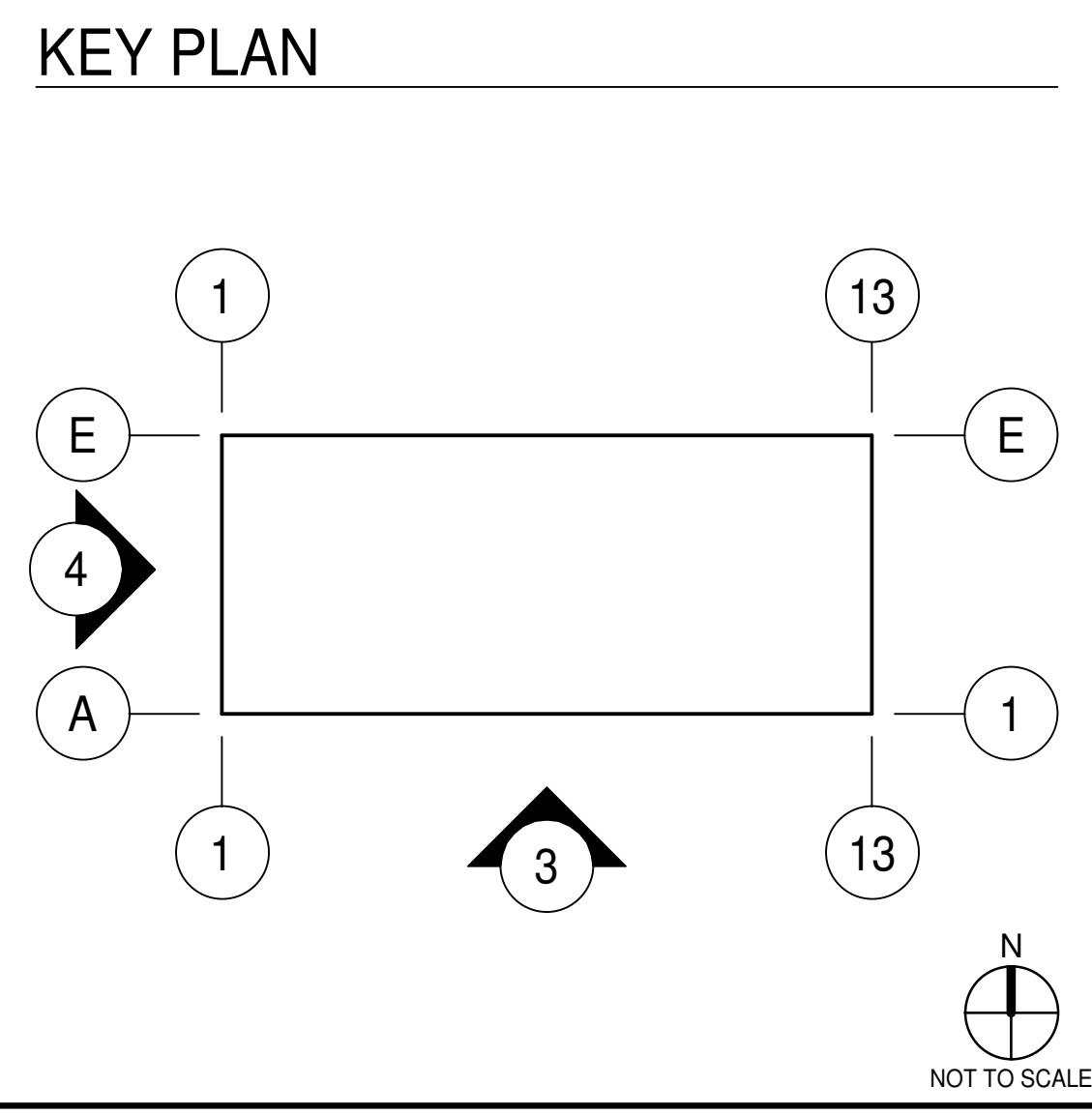
LEGEND

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

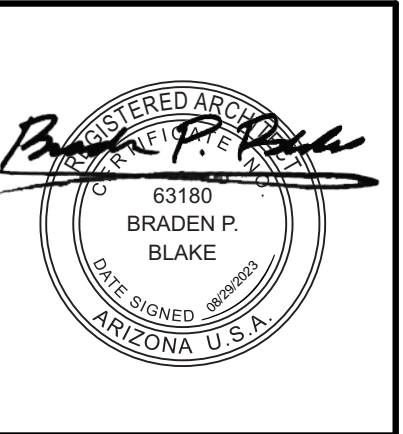
COLORS:	DESCRIPTION:
A	BASE COLOR: MINDFUL GRAY SW 7016
B	SECONDARY COLOR: SNOWBOUND SW 7004
C	ACCENT COLOR: TRICORN BLACK SW 6258
D	ACCENT COLOR: GAUNTLET GRAY SW 7019

KEYNOTES:

406	CONCRETE FORM LINER.
407	CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
414	LINE OF ROOF BEYOND.
432	FUTURE MECHANICAL EQUIPMENT.
433	OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
434	HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.



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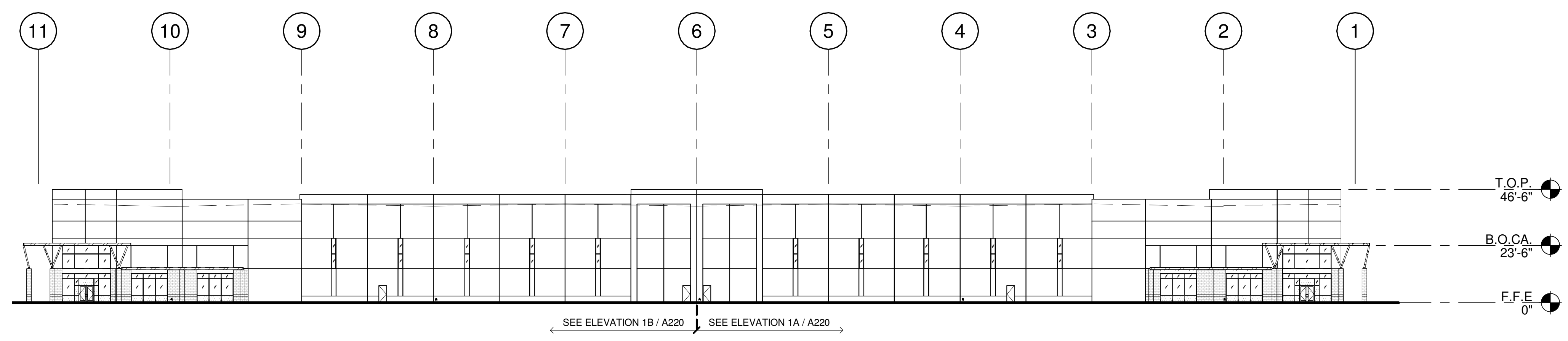
MERIDIAN 24
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BUILDING 1 - EXTERIOR ELEVATIONS

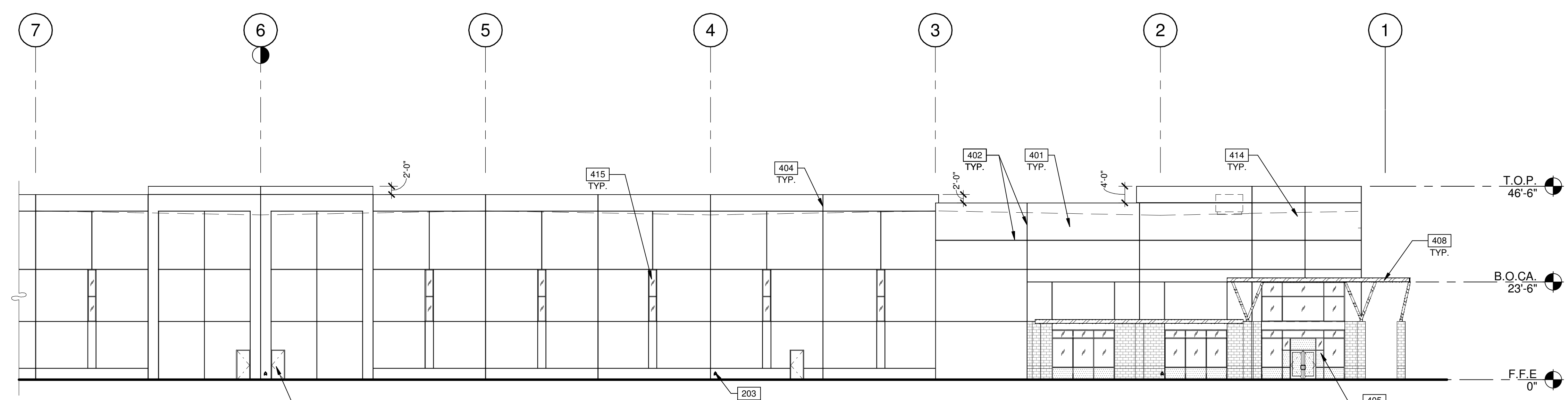
DATE	REVISIONS

P.A.P.M.: M. RETZLAFF
 DRAWN BY: J.O. / T.D. / M.M.O.
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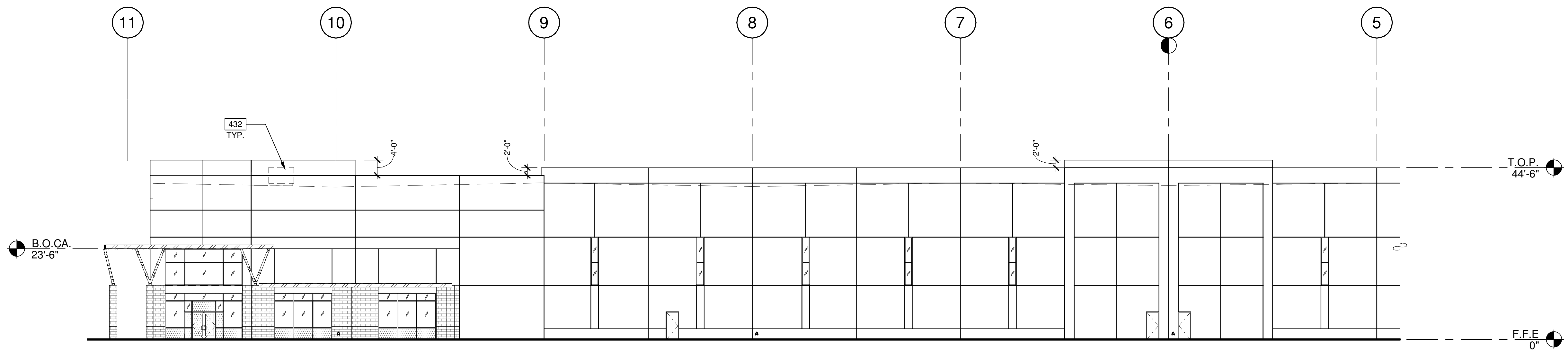
SHEET
A123



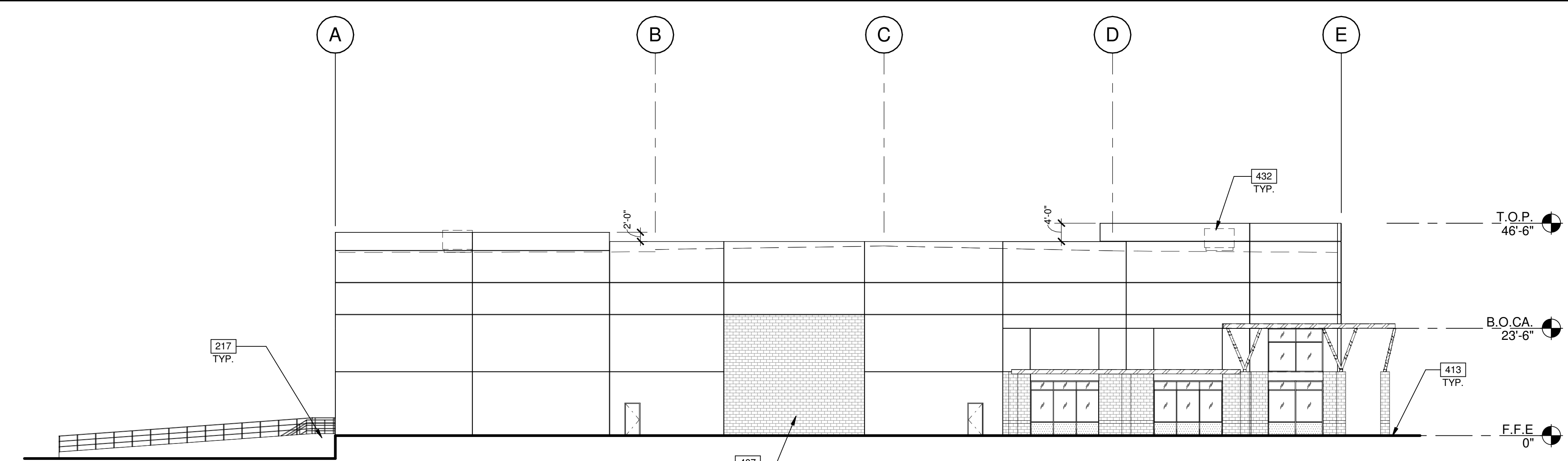
BUILDING 2 - OVERALL NORTH EXTERIOR ELEVATION 1
SCALE: 1" = 30'-0"



BUILDING 2 - PARTIAL NORTH EXTERIOR ELEVATION 1A
SCALE: 1/16" = 1'-0"



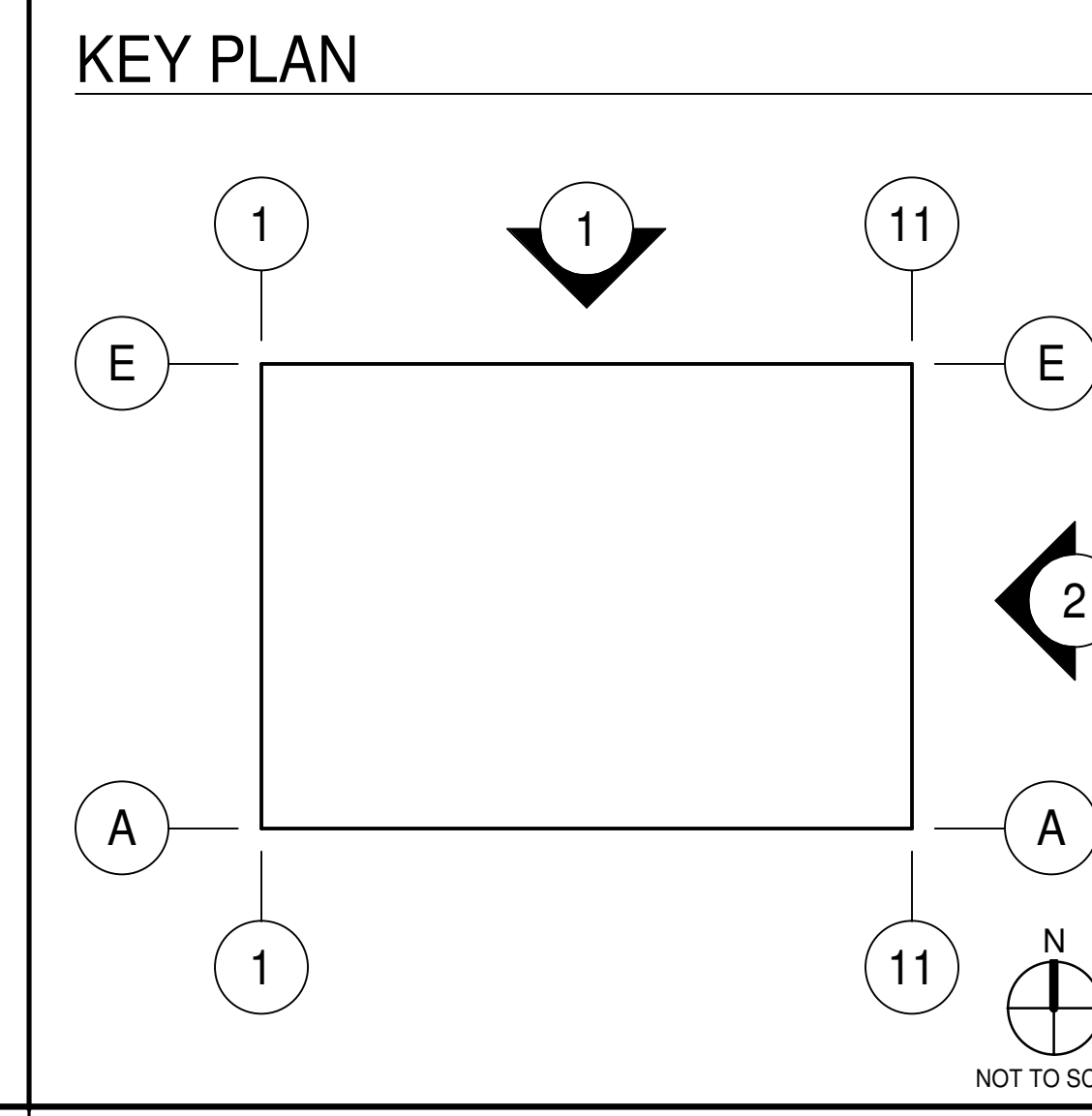
BUILDING 2 - PARTIAL NORTH EXTERIOR ELEVATION 1B
SCALE: 1/16" = 1'-0"



BUILDING 2 - EAST EXTERIOR ELEVATION 2
SCALE: 1/16" = 1'-0"

- KEYNOTES:**
- 203 LAMB TONGUE OVERFLOW.
 - 217 CONCRETE RETAINING WALL.
 - 401 CONCRETE WALL, PAINTED.
 - 402 3/4" V-REVEAL.
 - 404 CONCRETE WALL JOINT.
 - 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
 - 408 METAL CANOPY, PAINTED.
 - 413 FINISH GRADE VARIES.
 - 414 LINE OF ROOF BEYOND.
 - 415 CLERESTORY WINDOW.
 - 432 FUTURE MECHANICAL EQUIPMENT.
 - 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

- LEGEND**
- MATERIALS:**
- [Pattern] METAL CANOPY, PAINTED
 - [Pattern] EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:**
- [Pattern] VISION GLASS
 - [Pattern] SPANDREL GLASS
 - [Pattern] TEMPERED GLASS
- ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 XXXXXXX
 U FACTOR = 0.28 AND SHGC = 0.28
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT



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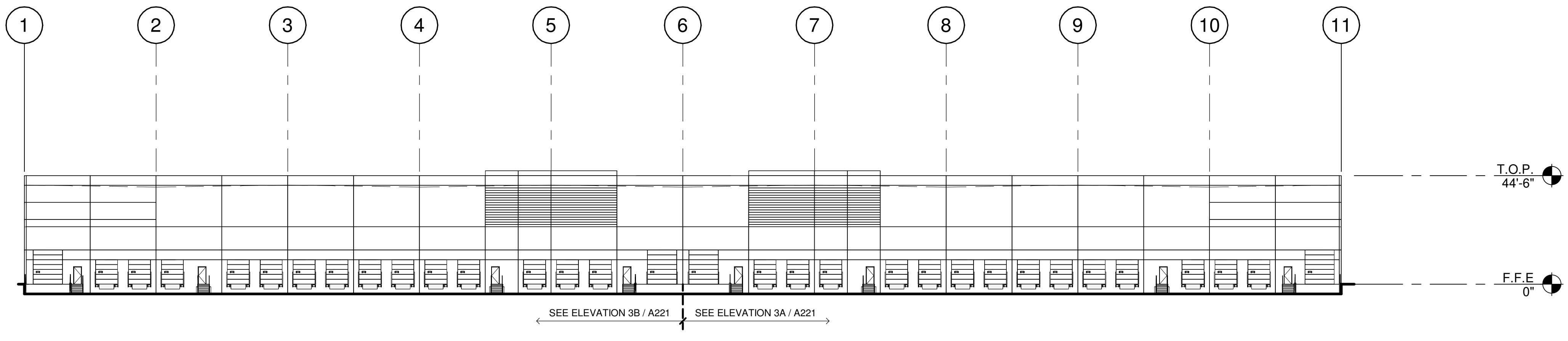
MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 2 - EXTERIOR ELEVATIONS

DATE	REVISIONS

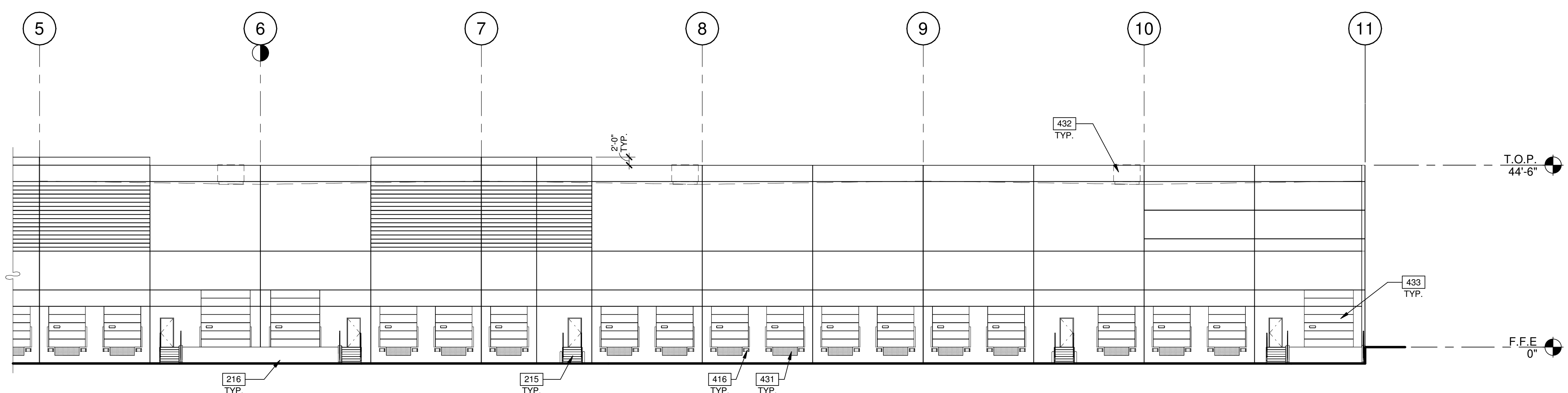
PAPM: M. RETZLAFF
 DRAWN BY: J.O. / T.D. / M.M.O.
 JOB NO.: PHX22-0015-00

SHEET
A220

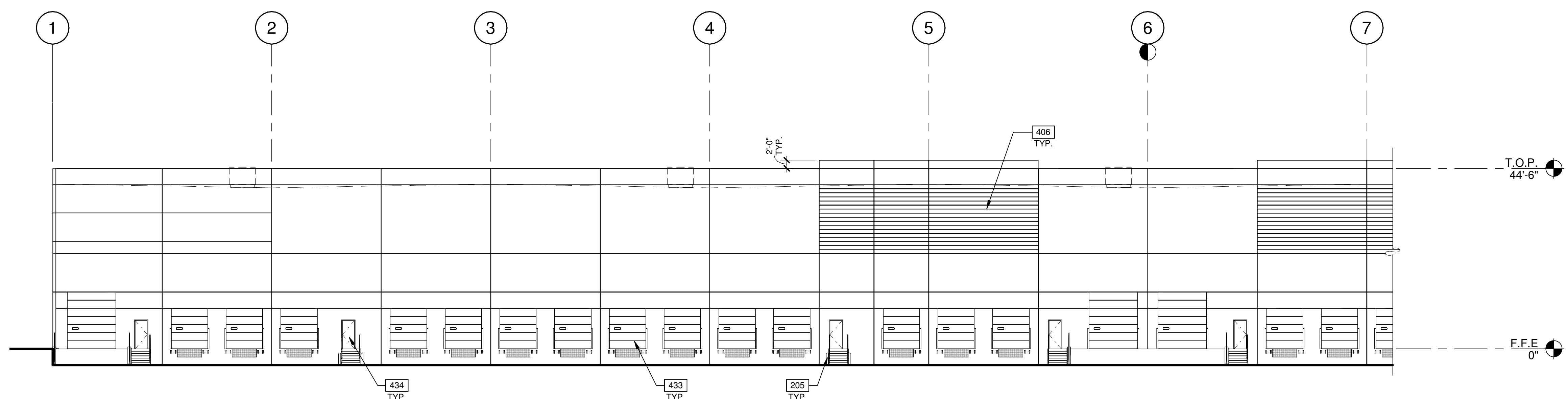


1"=30'
0 15' 30' 60' 150'

BUILDING 2 - OVERALL SOUTH EXTERIOR ELEVATION ③
SCALE: 1" = 30'-0"

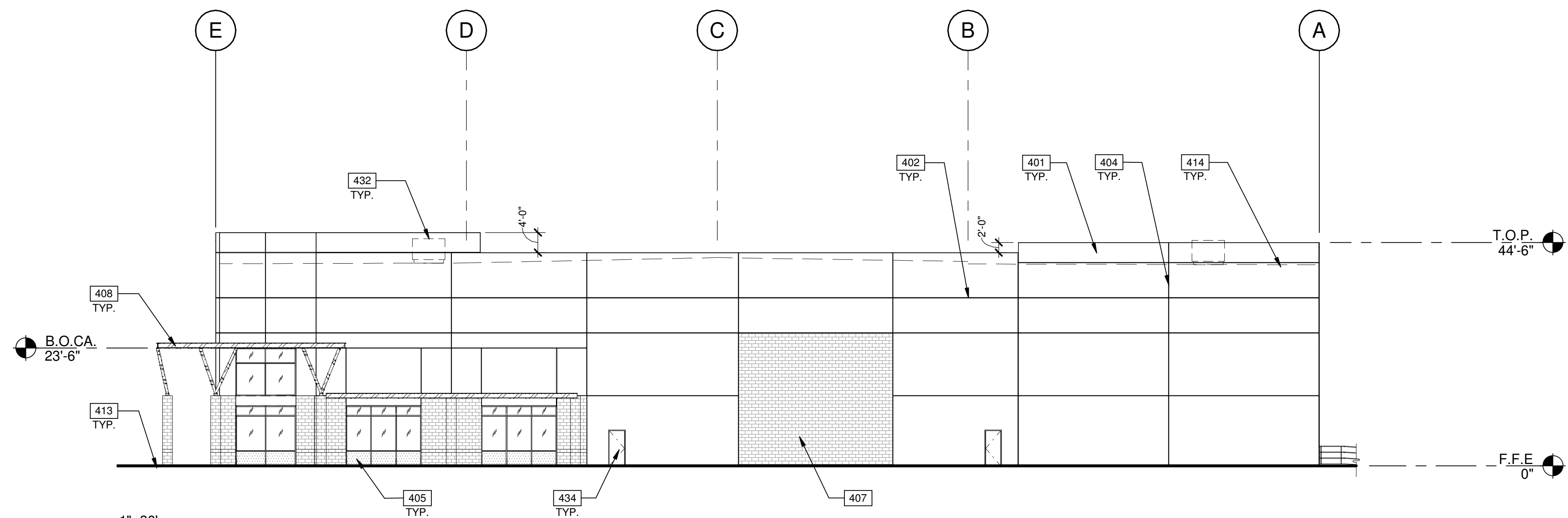


BUILDING 2 - PARTIAL SOUTH EXTERIOR ELEVATION ③A
SCALE: 1/16" = 1'-0"



1/16"=1'-0"
0 8' 16' 32' 64'

BUILDING 2 - PARTIAL SOUTH EXTERIOR ELEVATION ③B
SCALE: 1/16" = 1'-0"

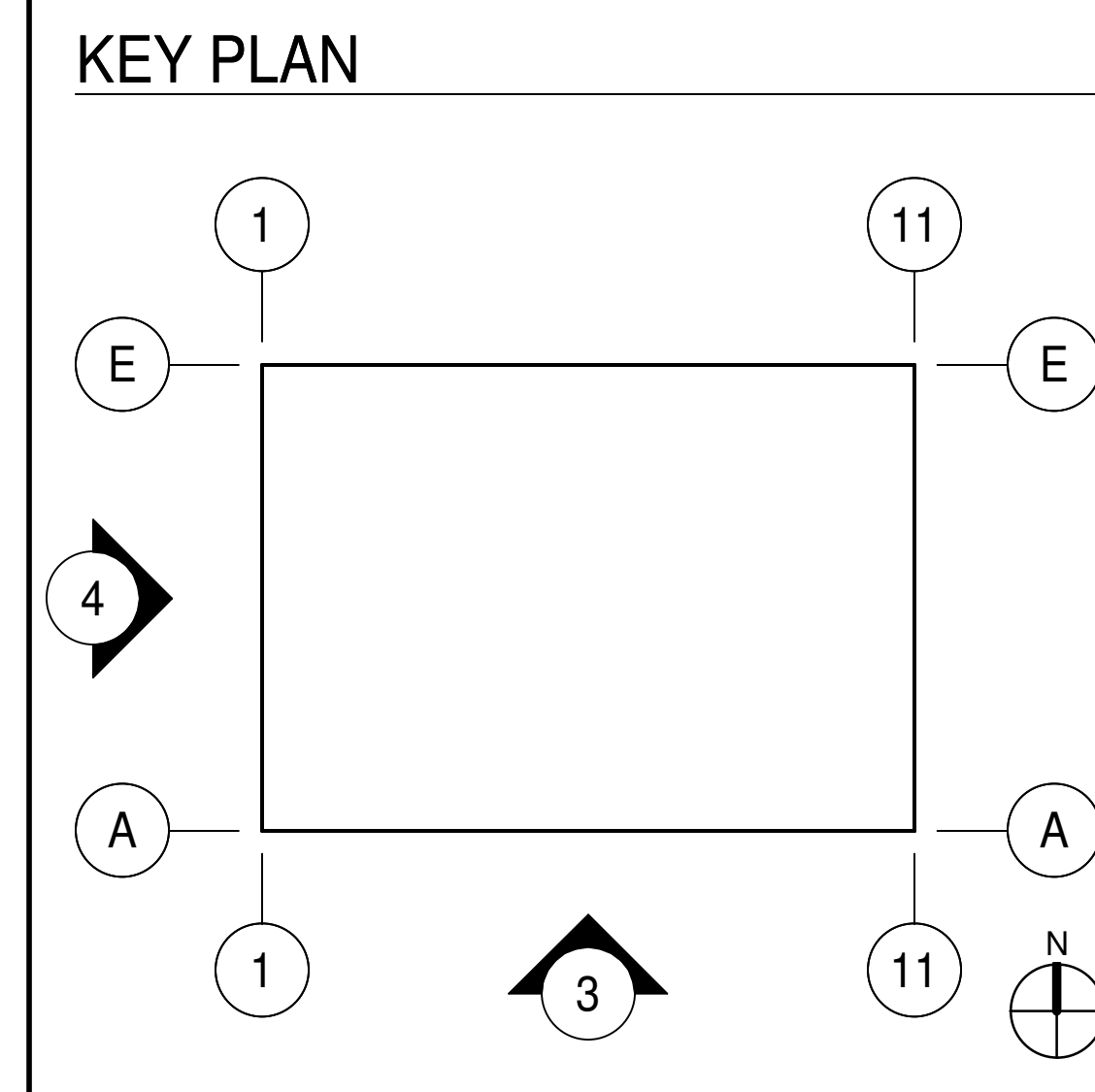


1"=30'
0 15' 30' 60' 150'

BUILDING 2 - WEST EXTERIOR ELEVATION ④
SCALE: 1/16" = 1'-0"

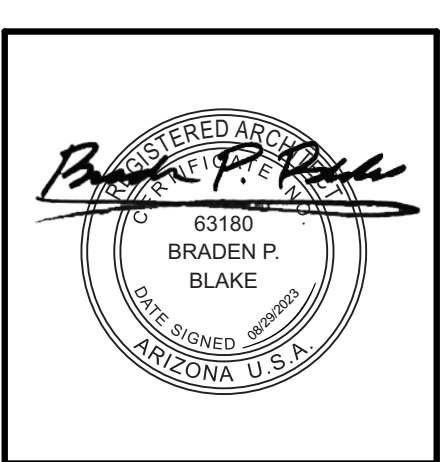
- KEYNOTES:**
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 215 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
 - 216 CONCRETE RAMP.
 - 401 CONCRETE WALL, PAINTED.
 - 402 3/4" V-REVEAL.
 - 404 CONCRETE WALL JOINT.
 - 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 406 CONCRETE FORM LINER.
 - 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
 - 408 METAL CANOPY, PAINTED.
 - 413 FINISH GRADE VARIES.
 - 414 LINE OF ROOF BEYOND.
 - 416 DOCK BUMPER.
 - 431 9'X10' HYDRAULIC DOCK LEVELER.
 - 432 FUTURE MECHANICAL EQUIPMENT.
 - 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
 - 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

- LEGEND**
- MATERIALS:**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS
- ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT



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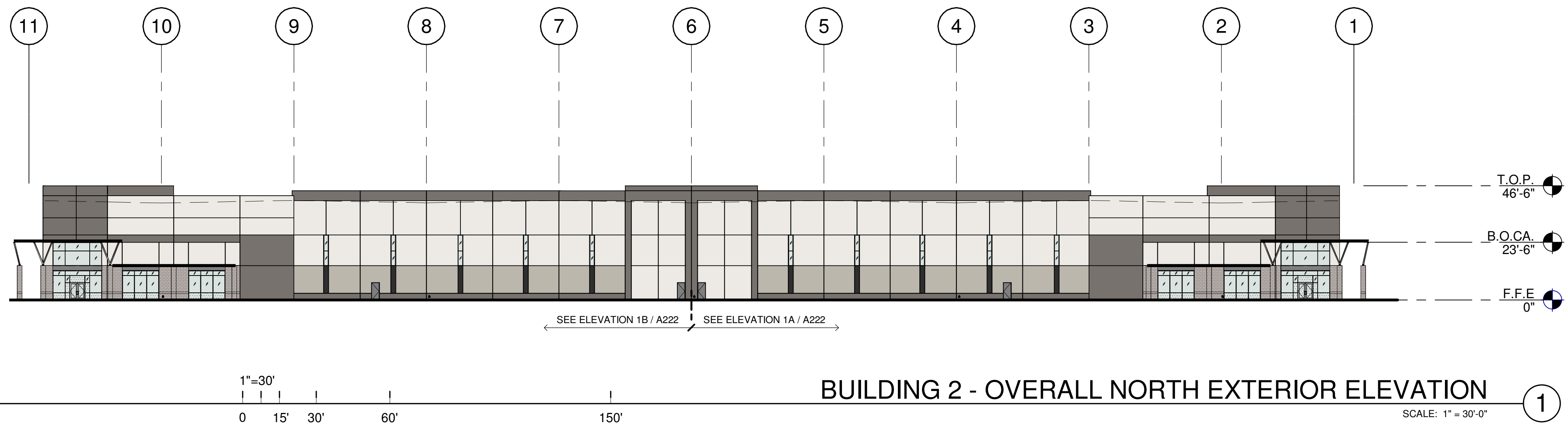


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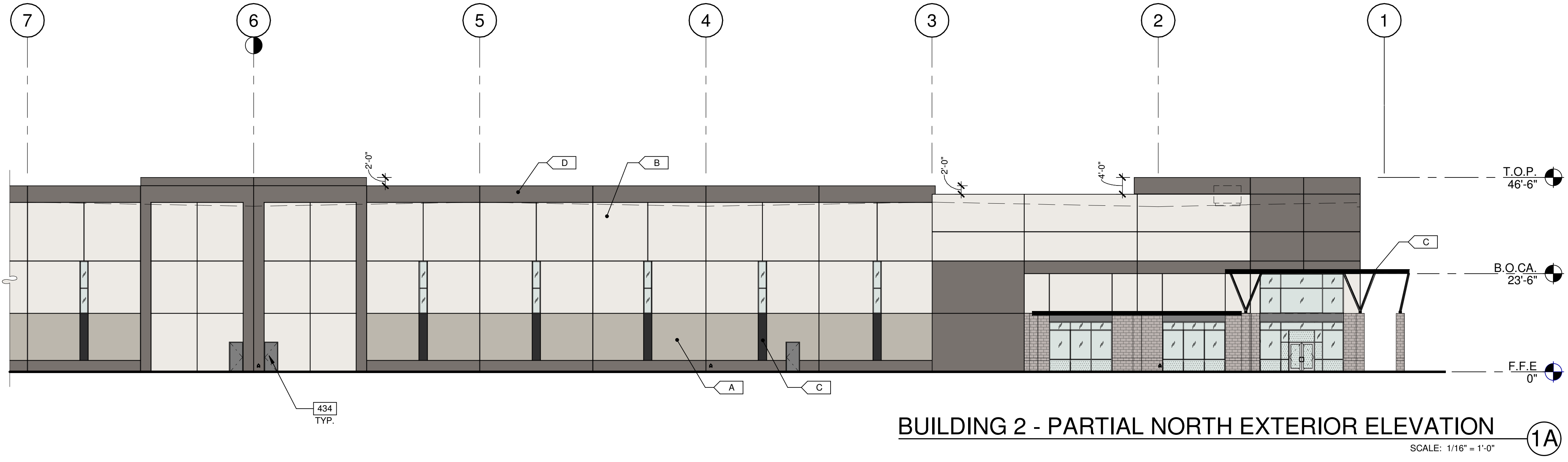
BUILDING 2 - EXTERIOR ELEVATIONS	
DATE	REMARKS

PAPM: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

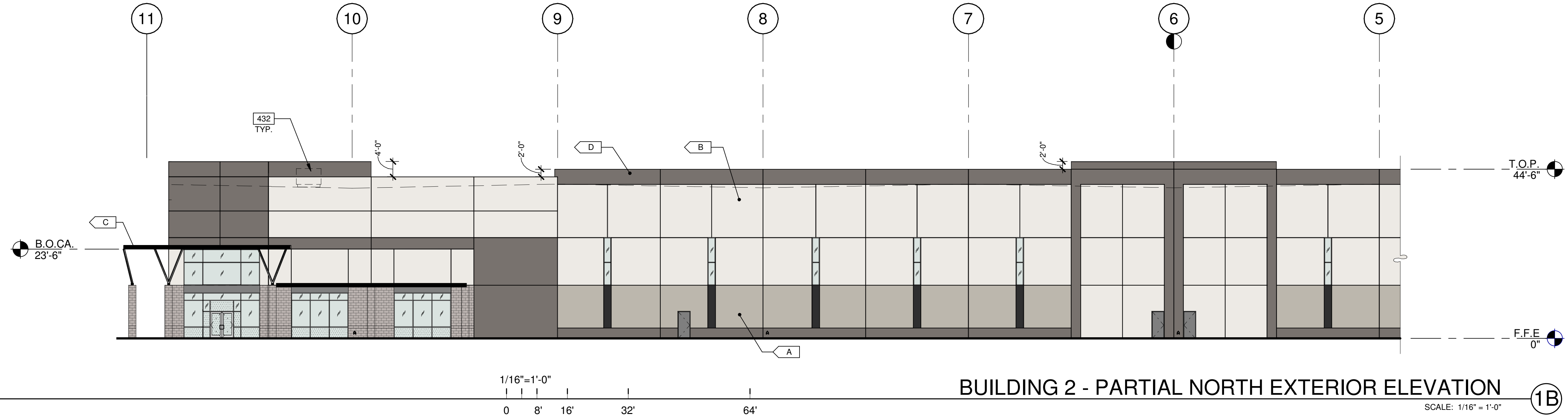
SHEET
A221



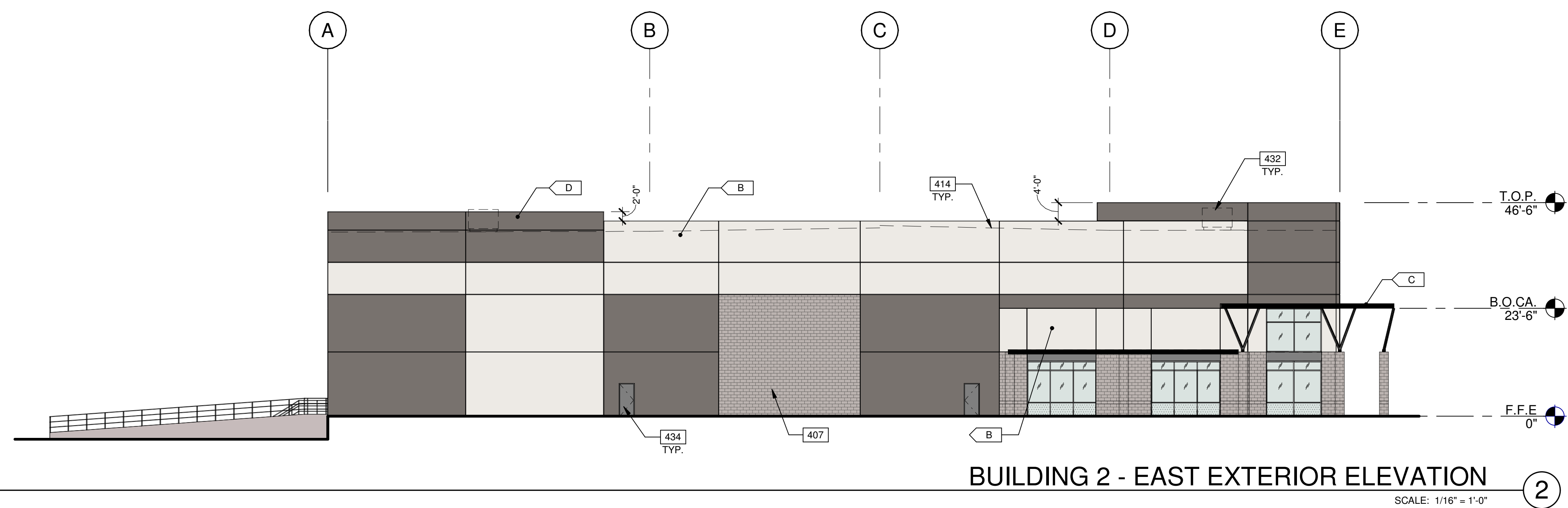
BUILDING 2 - OVERALL NORTH EXTERIOR ELEVATION 1
SCALE: 1" = 30'-0"



BUILDING 2 - PARTIAL NORTH EXTERIOR ELEVATION 1A
SCALE: 1/16" = 1'-0"



BUILDING 2 - PARTIAL NORTH EXTERIOR ELEVATION 1B
SCALE: 1/16" = 1'-0"



BUILDING 2 - EAST EXTERIOR ELEVATION 2
SCALE: 1/16" = 1'-0"

KEYNOTES:

- 407 CONCRETE FORM LINER 6"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
- 414 LINE OF ROOF BEYOND.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

MATERIALS:

- METAL CANOPY, PAINTED
- EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

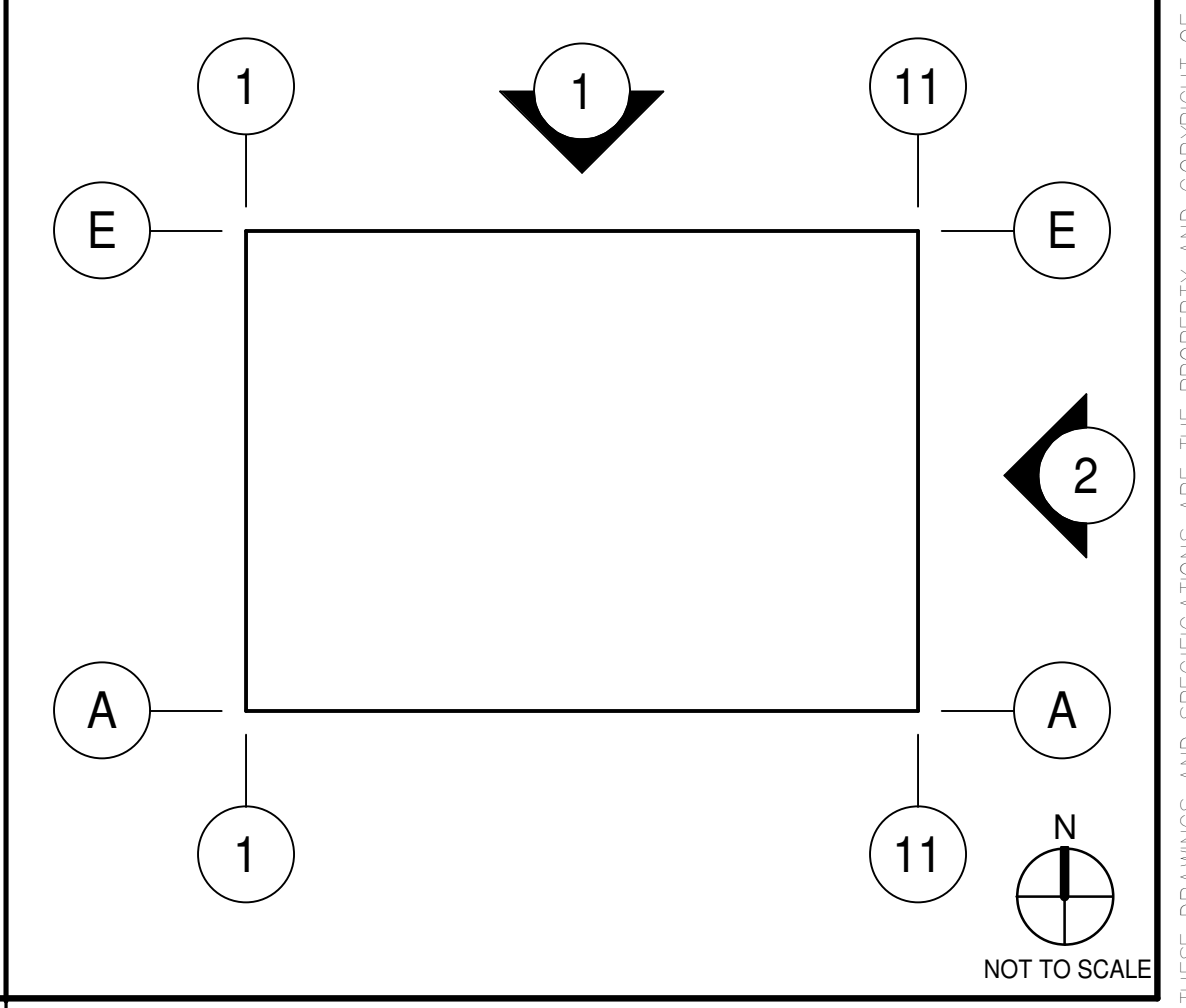
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A BASE COLOR: MINDFUL GRAY SW 7016
- B SECONDARY COLOR: SNOWBOUND SW 7004
- C ACCENT COLOR: TRICORN BLACK SW 6258
- D ACCENT COLOR: GAUNTLET GRAY SW 7019

MATERIALS PERCENTAGES

MATERIALS:	NORTH:	SOUTH:	EAST:	WEST:
MINDFUL GRAY SW 7016	12%	0%	0%	0%
SNOWBOUND SW 7004	49%	49%	42%	42%
TRICORN BLACK SW 6258	2%	0%	1%	1%
GAUNTLET GRAY SW 7019	24%	41%	37%	37%
EXTERIOR SPLIT CMU WALL	4%	0%	13%	13%
VISION GLASS	9%	0%	7%	7%
FORMLINER	0%	10%	0%	0%

KEY PLAN



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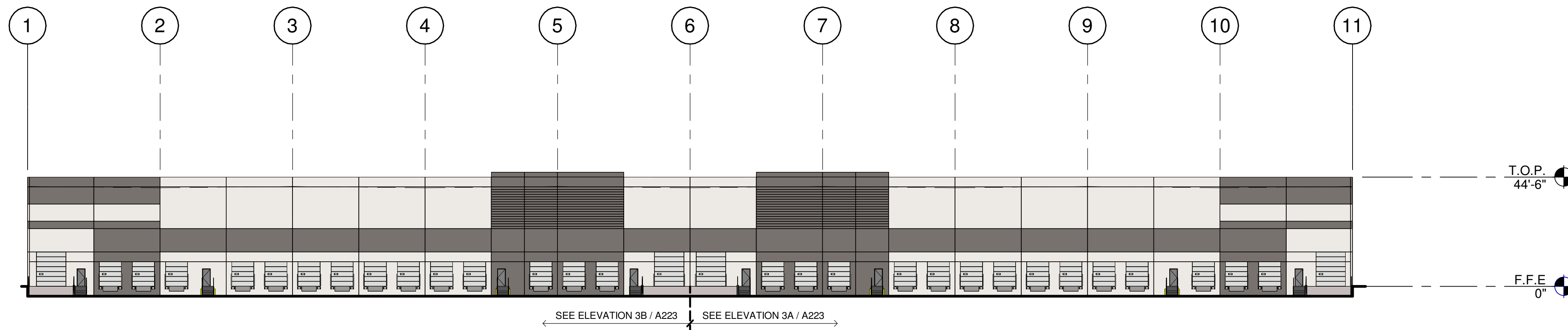
MERIDIAN 24
6550 S. MERIDIAN ROAD
MESA, ARIZONA 85212

BUILDING 2 - EXTERIOR ELEVATIONS

DATE	REVISIONS

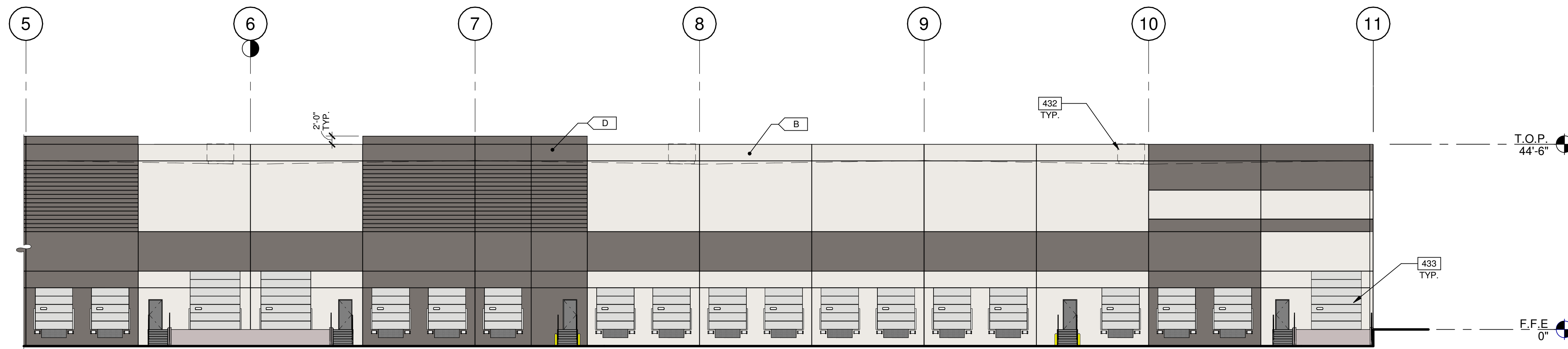
PAPM: M. RETZLAFF
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A222



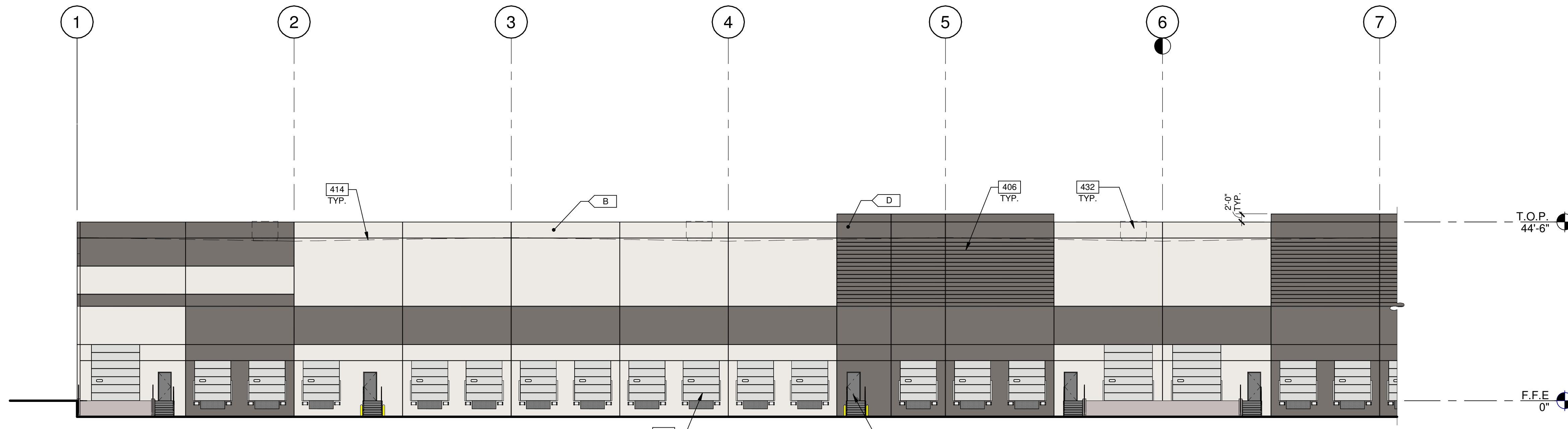
BUILDING 2 - OVERALL SOUTH EXTERIOR ELEVATION

SCALE: 1" = 30'-0"



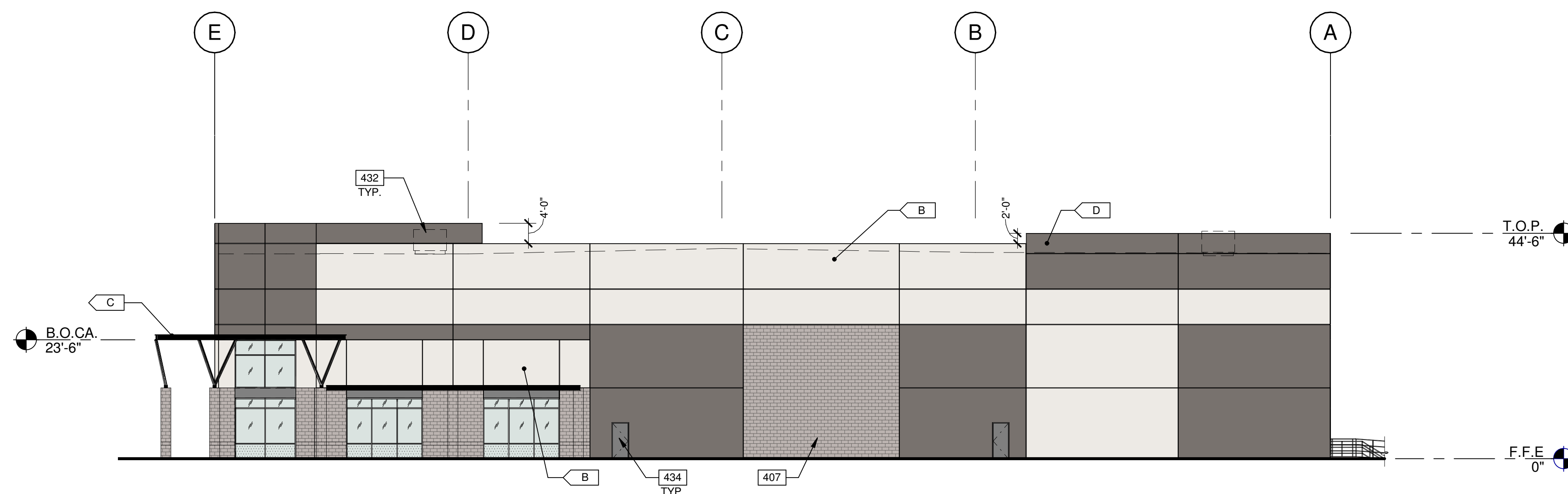
BUILDING 2 - PARTIAL SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



BUILDING 2 - PARTIAL SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



BUILDING 2 - WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

KEYNOTES:

- 406 CONCRETE FORM LINER
- 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
- 414 LINE OF ROOF BEYOND.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

MATERIALS:

- METAL CANOPY, PAINTED
- EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:
- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 XXXXXX
 U FACTOR = 0.28 AND SHGC = 0.28
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

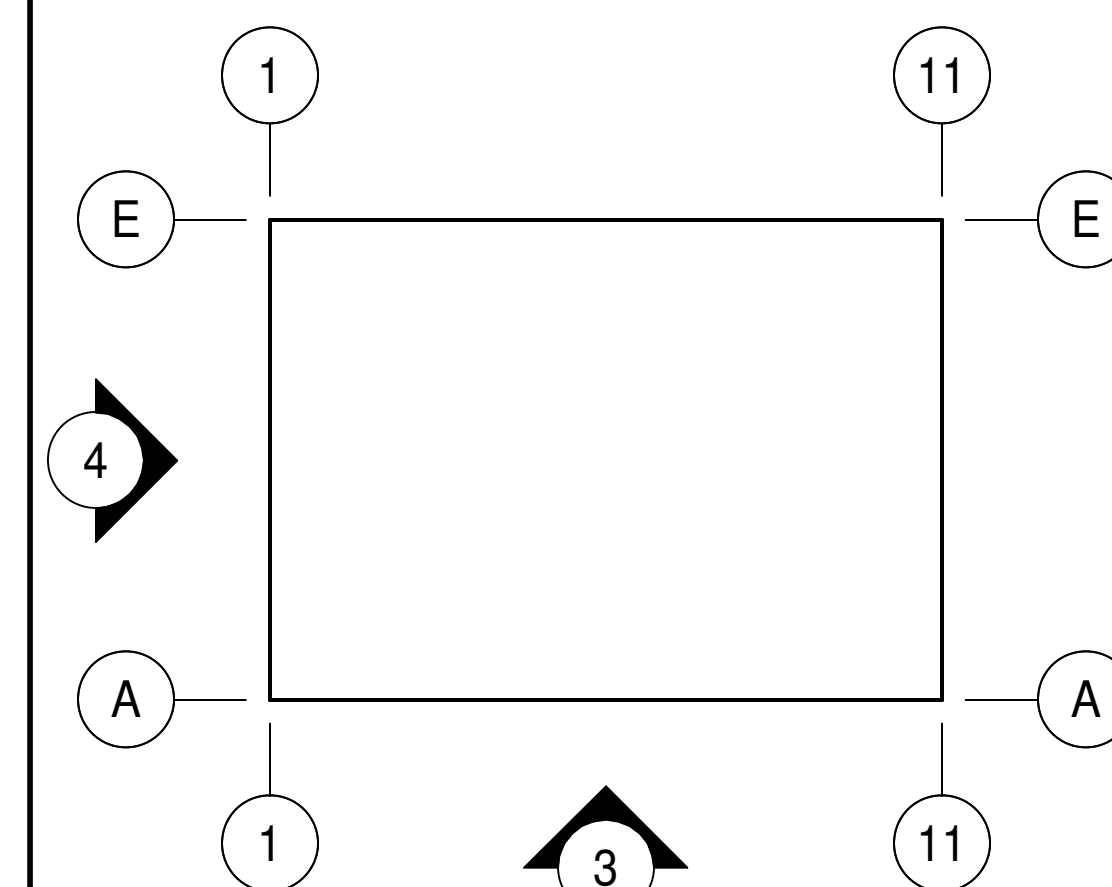
PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- A BASE COLOR: MINDFUL GRAY SW 7016
- B SECONDARY COLOR: SNOWBOUND SW 7004
- C ACCENT COLOR: TRICORN BLACK SW 6258
- D ACCENT COLOR: GAUNTLET GRAY SW 7019

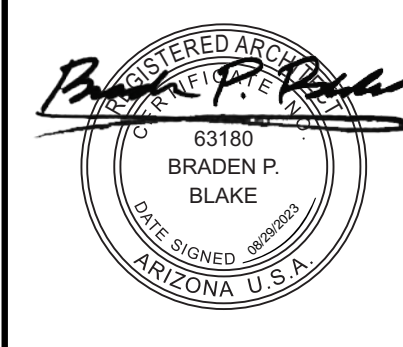
MATERIALS PERCENTAGES

MATERIALS:	NORTH:	SOUTH:	EAST:	WEST:
MINDFUL GRAY SW 7016	12%	0%	0%	0%
SNOWBOUND SW 7004	49%	49%	42%	42%
TRICORN BLACK SW 6258	2%	0%	1%	1%
GAUNTLET GRAY SW 7019	24%	41%	37%	37%
EXTERIOR SPLIT CMU WALL	4%	0%	13%	13%
VISION GLASS	9%	0%	7%	7%
FORMLINER	0%	10%	0%	0%

KEY PLAN



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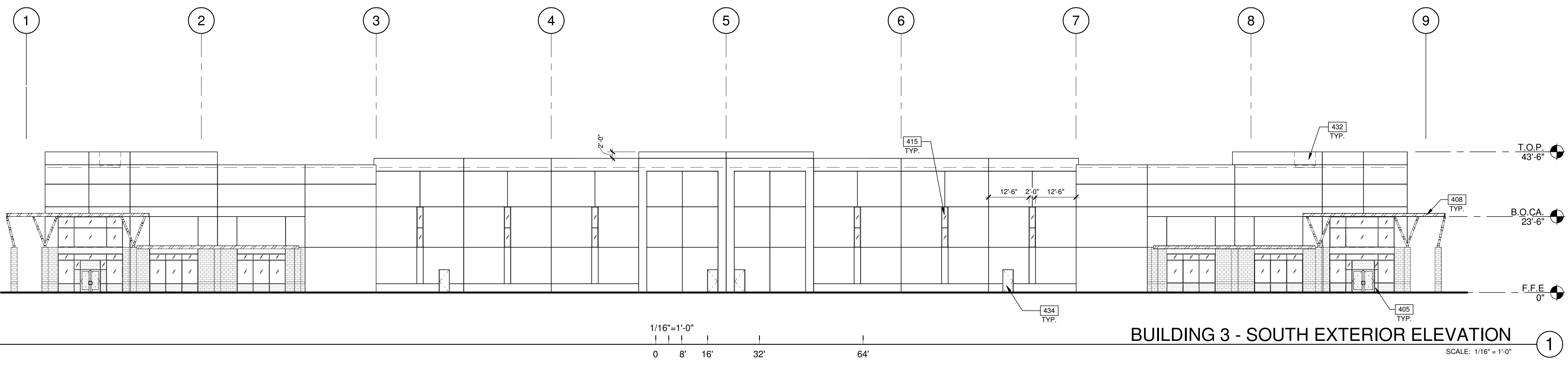
MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 2 - EXTERIOR ELEVATIONS

DATE	REVISIONS

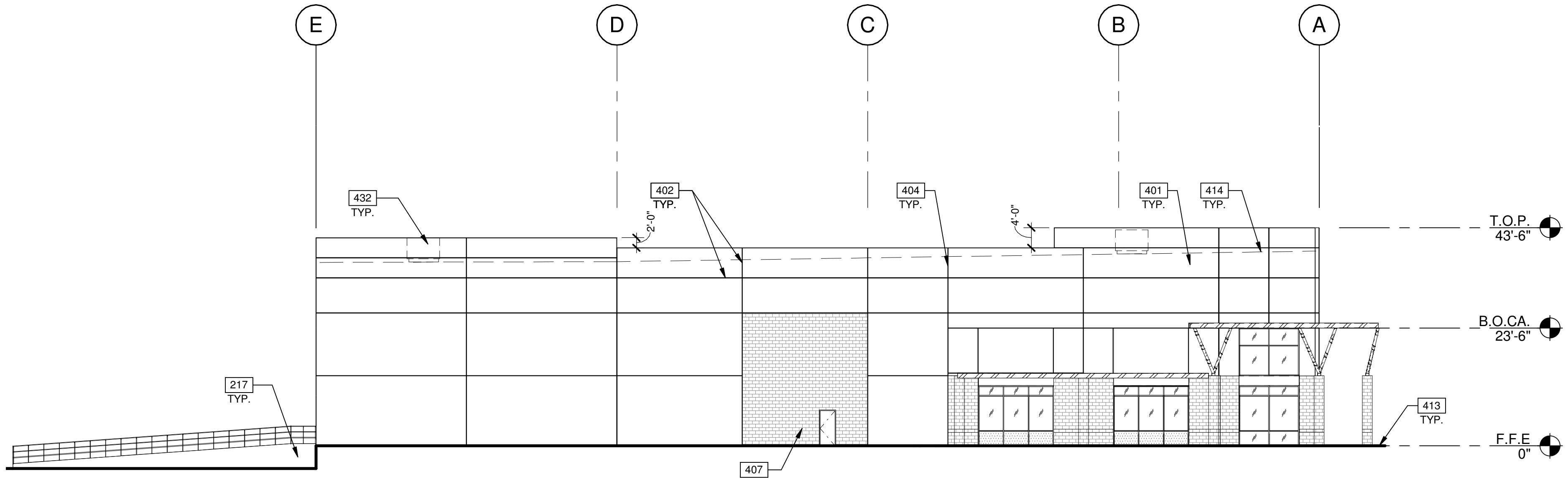
PAPM: M. RETZLAFF
 DRAWN BY: J.O. / T.D. / M.M.O.
 JOB NO.: PHX22-0015-00

SHEET
A223



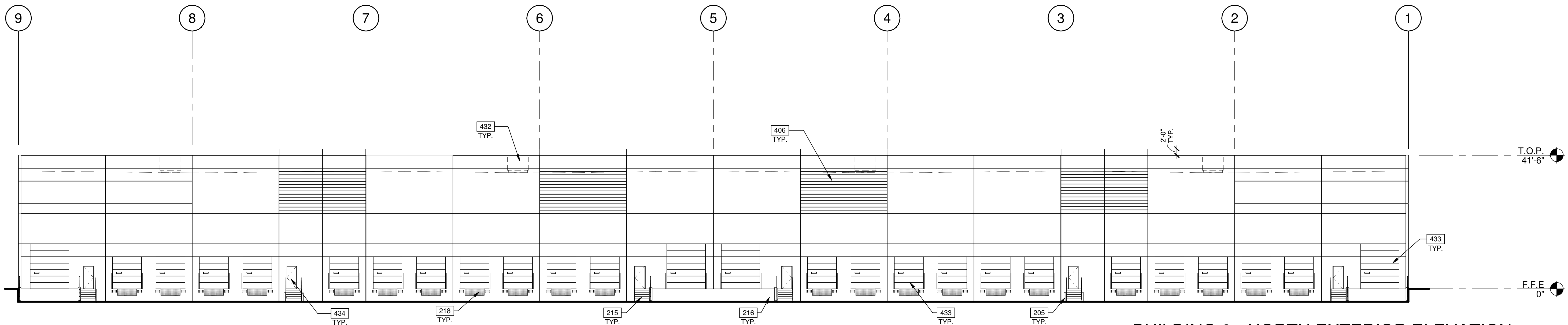
BUILDING 3 - SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ①



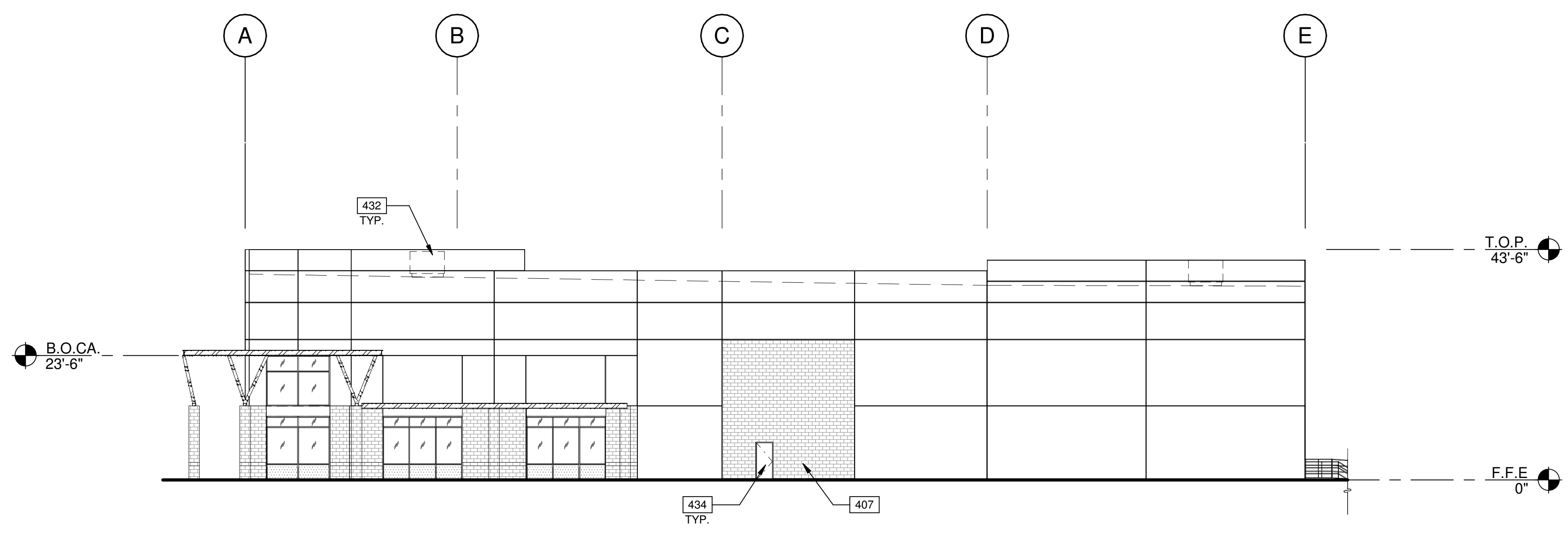
BUILDING 3 - WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ②



BUILDING 3 - NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ③



BUILDING 3 - EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ④

KEYNOTES:

- SEE SHEET A110 FOR GENERAL NOTES
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 215 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
 - 216 CONCRETE RAMP.
 - 217 CONCRETE RETAINING WALL.
 - 218 6'X8' HYDRAULIC DOCK LEVELER.
 - 401 CONCRETE WALL, PAINTED.
 - 402 3/4" V-REVEAL.
 - 404 CONCRETE WALL JOINT.
 - 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 406 CONCRETE FORM LINER.
 - 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
 - 408 METAL CANOPY, PAINTED.
 - 413 FINISH GRADE VARIES.
 - 414 LINE OF ROOF BEYOND.
 - 415 CLERESTORY WINDOW.
 - 432 FUTURE MECHANICAL EQUIPMENT.
 - 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
 - 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

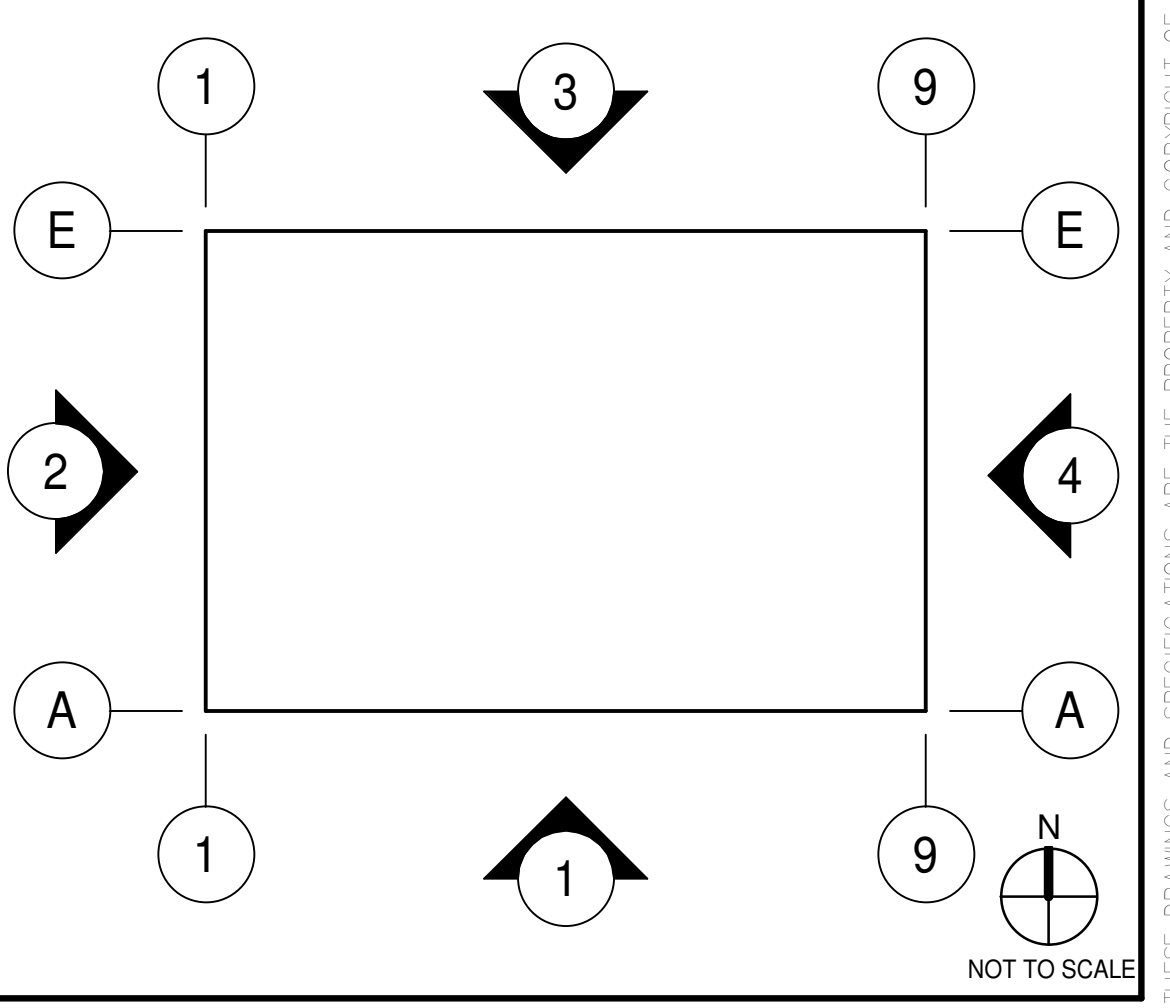
- METAL CANOPY, PAINTED
- EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:**
- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- BASE COLOR: MINDFUL GRAY SW 7016
- SECONDARY COLOR: SNOWBOUND SW 7004
- ACCENT COLOR: TRICORN BLACK SW 6258
- ACCENT COLOR: GAUNTLET GRAY SW 7019

KEY PLAN



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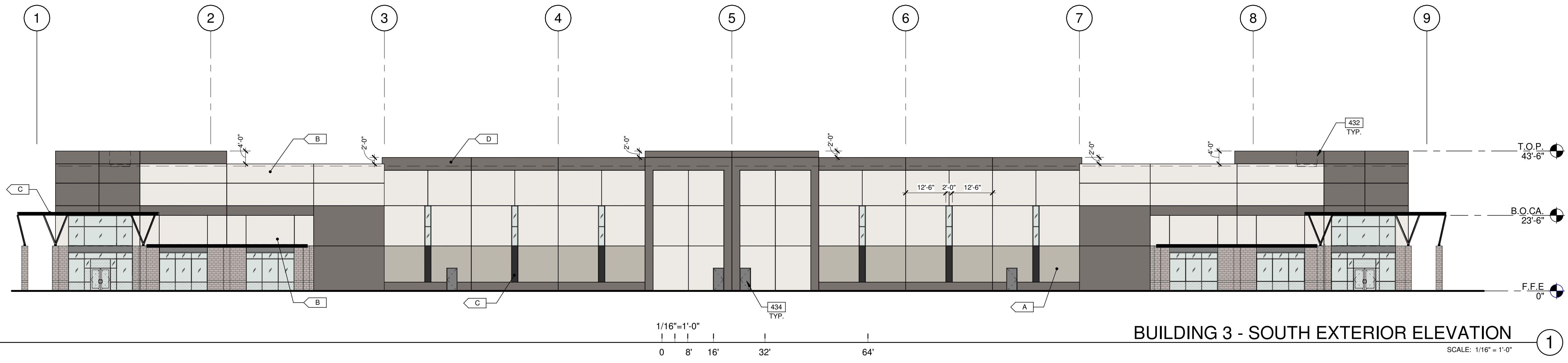


MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 3 - EXTERIOR ELEVATIONS

PAPM: M. RETZLAFF
 DRAWN BY: J.O. / T.D. / M.M.O.
 JOB NO.: PHX22-0015-00

SHEET
A320



BUILDING 3 - SOUTH EXTERIOR ELEVATION

KEYNOTES:

- 406 CONCRETE FORM LINER
- 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
- 414 LINE OF ROOF BEYOND.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

- METAL CANOPY, PAINTED
- EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- BASE COLOR: MINDFUL GRAY SW 7016
- SECONDARY COLOR: SNOWBOUND SW 7004
- ACCENT COLOR: TRICORN BLACK SW 6258
- ACCENT COLOR: GAUNTLET GRAY SW 7019

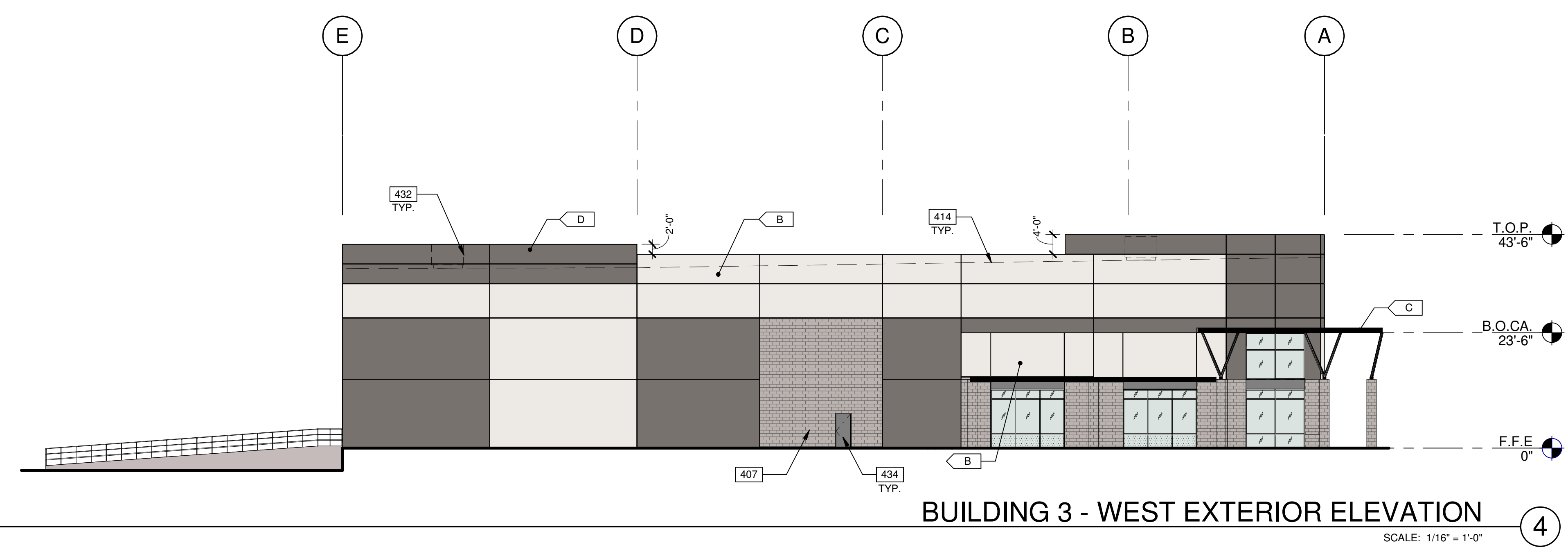
MATERIALS PERCENTAGES

MATERIALS:	NORTH:	SOUTH:	EAST:	WEST:
MINDFUL GRAY SW 7016	0%	10%	0%	0%
SNOWBOUND SW 7004	50%	48%	40%	40%
TRICORN BLACK SW 6258	0%	1%	1%	1%
GAUNTLET GRAY SW 7019	50%	25%	38%	38%
EXTERIOR SPLIT CMU WALL	0%	6%	13%	13%
VISION GLASS	0%	10%	8%	8%

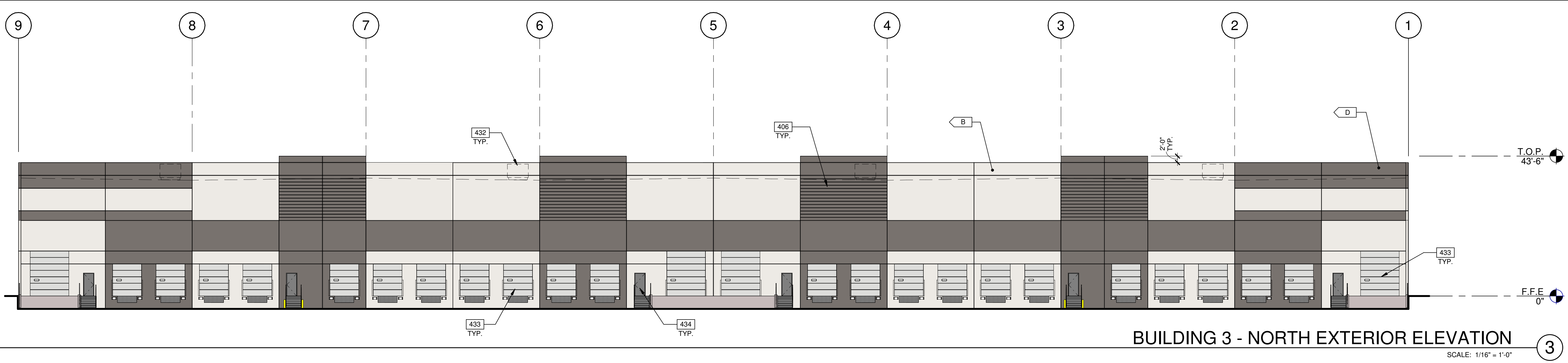
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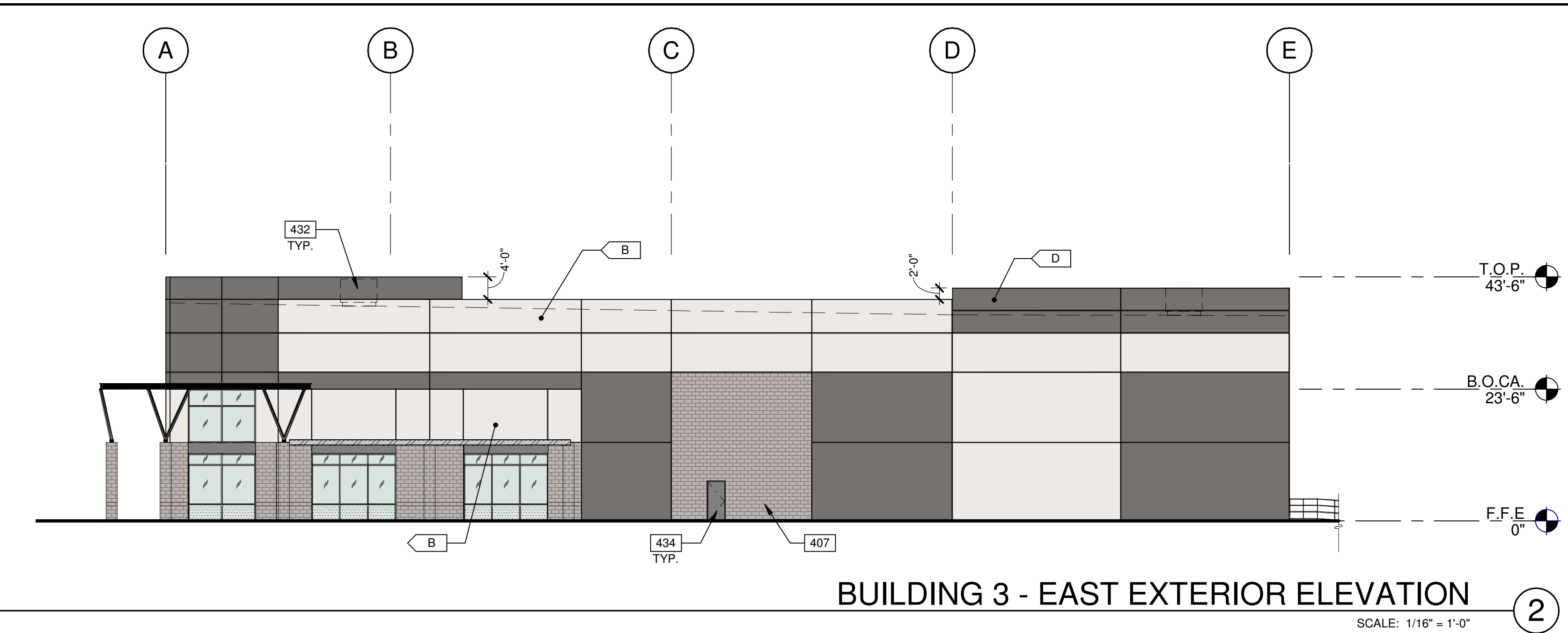
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P: 480.767.1001



BUILDING 3 - WEST EXTERIOR ELEVATION



BUILDING 3 - NORTH EXTERIOR ELEVATION



BUILDING 3 - EAST EXTERIOR ELEVATION

KEY PLAN

NOT TO SCALE

MERIDIAN 24

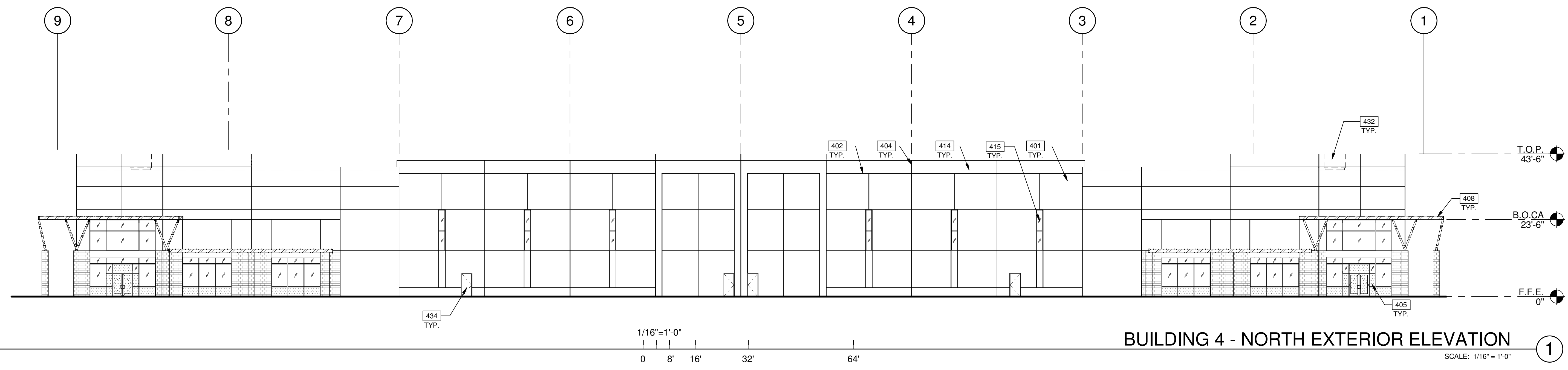
6550 S. MERIDIAN ROAD
MESA, ARIZONA 85212

BUILDING 3 - EXTERIOR ELEVATIONS

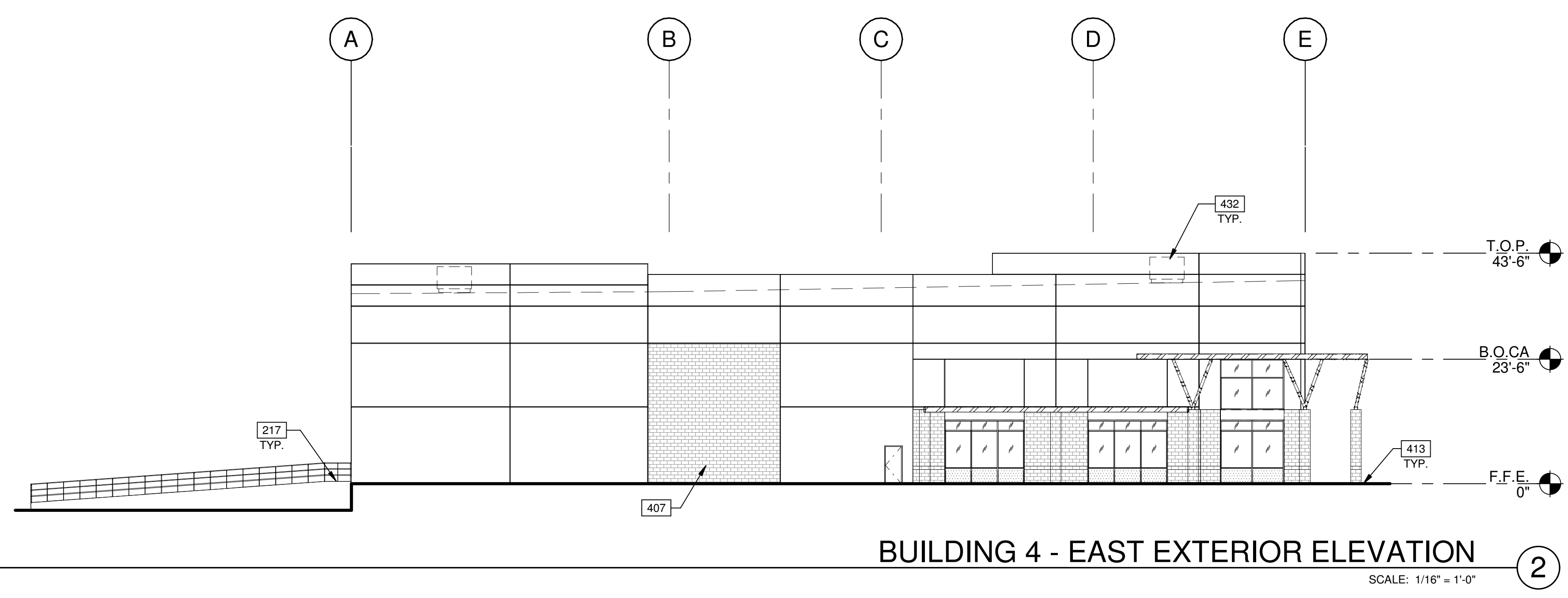
DATE	REVISIONS

PAPM: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

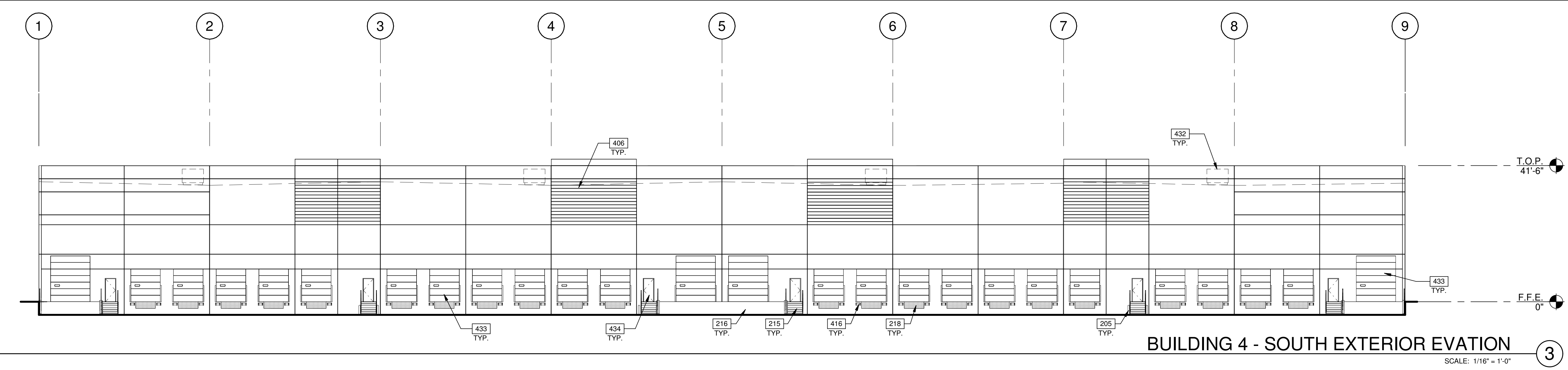
SHEET
A321



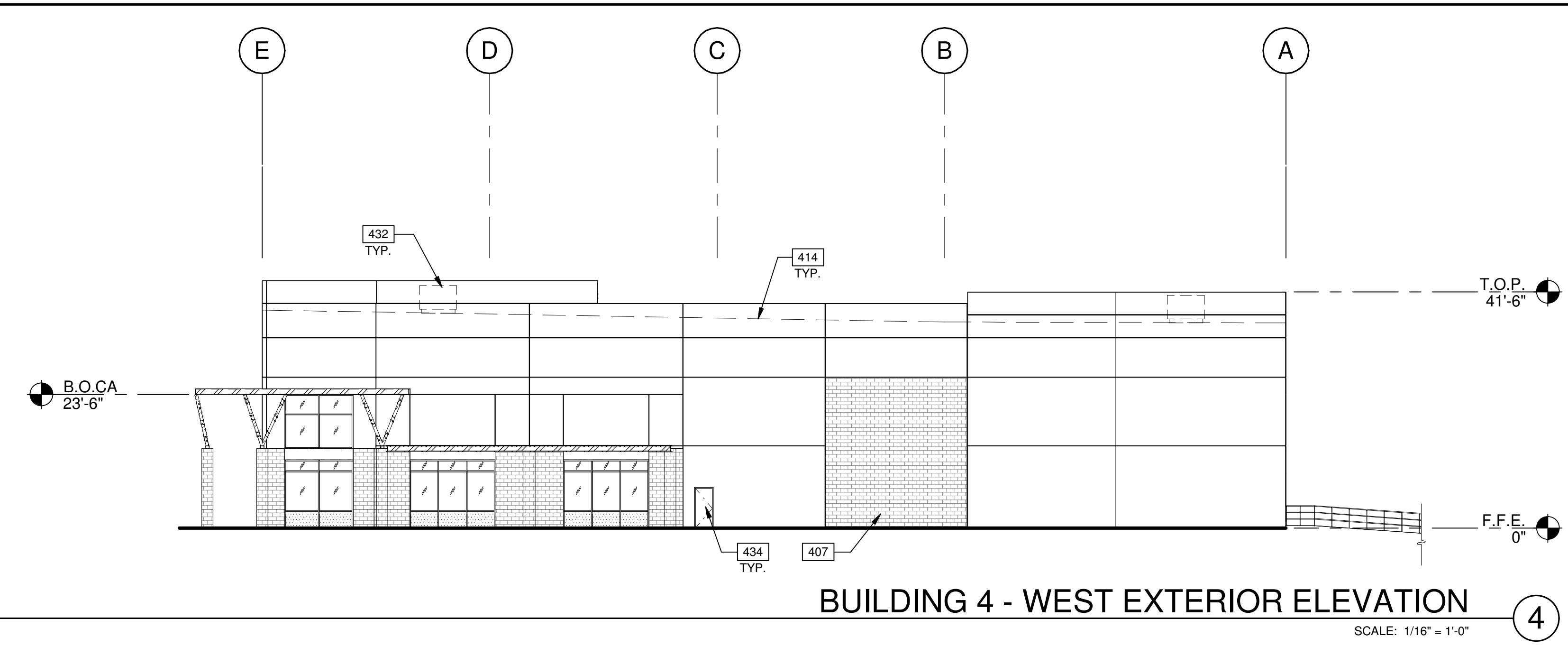
BUILDING 4 - NORTH EXTERIOR ELEVATION ①
SCALE: 1/16" = 1'-0"



BUILDING 4 - EAST EXTERIOR ELEVATION ②
SCALE: 1/16" = 1'-0"



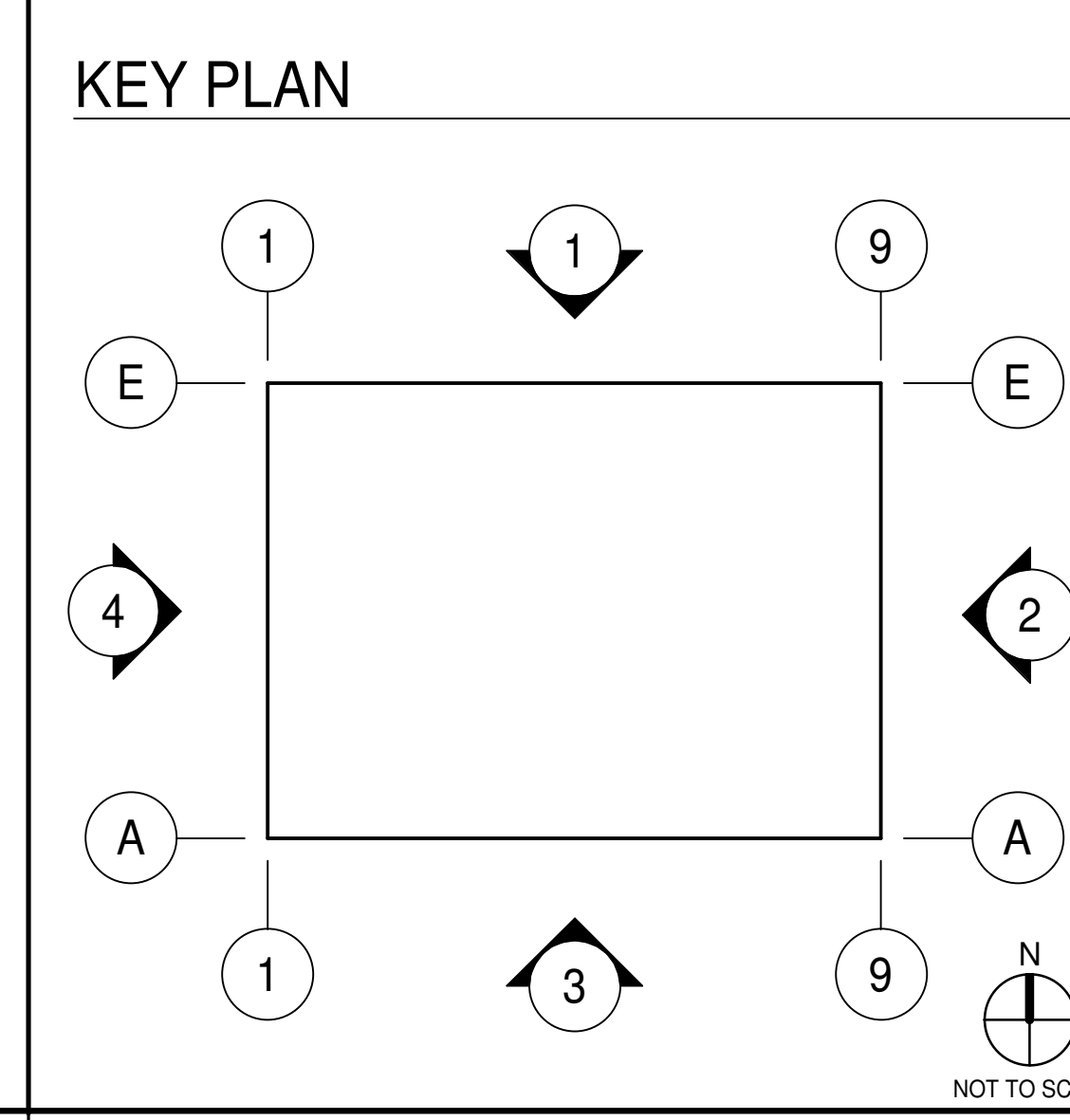
BUILDING 4 - SOUTH EXTERIOR ELEVATION ③
SCALE: 1/16" = 1'-0"



BUILDING 4 - WEST EXTERIOR ELEVATION ④
SCALE: 1/16" = 1'-0"

- KEYNOTES:**
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 215 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
 - 216 CONCRETE RAMP.
 - 217 CONCRETE RETAINING WALL.
 - 218 6"x8" HYDRAULIC DOCK LEVELER.
 - 401 CONCRETE WALL, PAINTED.
 - 402 3/4" V-REVEAL.
 - 404 CONCRETE WALL JOINT.
 - 405 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 406 CONCRETE FORM LINER.
 - 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
 - 408 METAL CANOPY, PAINTED.
 - 413 FINISH GRADE VARIES.
 - 414 LINE OF ROOF BEYOND.
 - 415 CLERESTORY WINDOW.
 - 416 DOCK BUMPER.
 - 432 FUTURE MECHANICAL EQUIPMENT.
 - 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
 - 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

- LEGEND**
- MATERIALS:**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS



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F: 480.767.1001



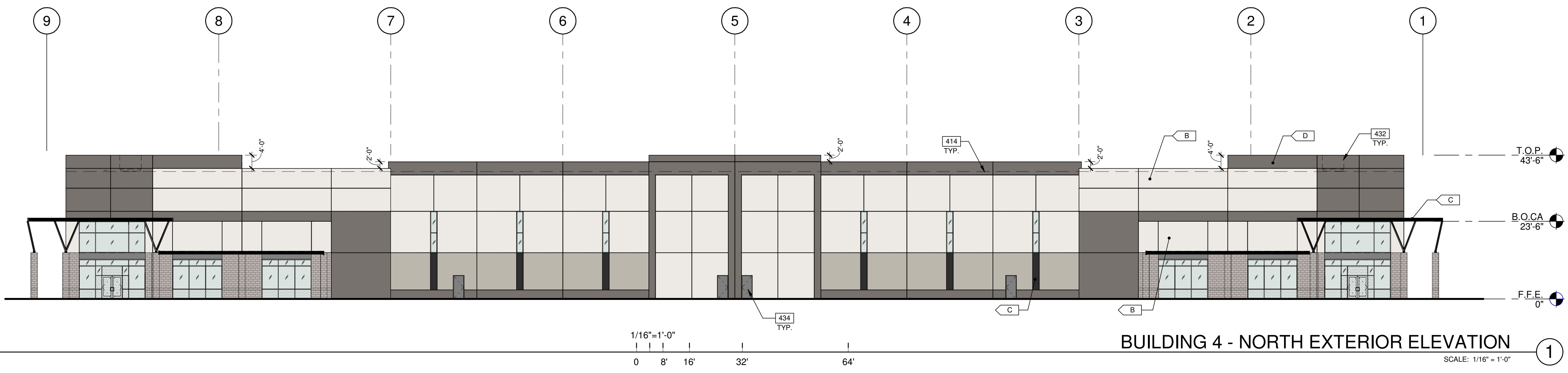
MERIDIAN 24
6550 S. MERIDIAN ROAD
MESA, ARIZONA 85212

BUILDING 4 - EXTERIOR ELEVATIONS

DATE	REVISIONS

P.A.P.M.: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

SHEET
A420



BUILDING 4 - NORTH EXTERIOR ELEVATION

KEYNOTES:

- 406 CONCRETE FORM LINER
- 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
- 414 LINE OF ROOF BEYOND.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

MATERIALS:

- [Pattern] METAL CANOPY, PAINTED
- [Pattern] EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT

GLASS:

- [Pattern] VISION GLASS
- [Pattern] SPANDREL GLASS
- [Pattern] TEMPERED GLASS

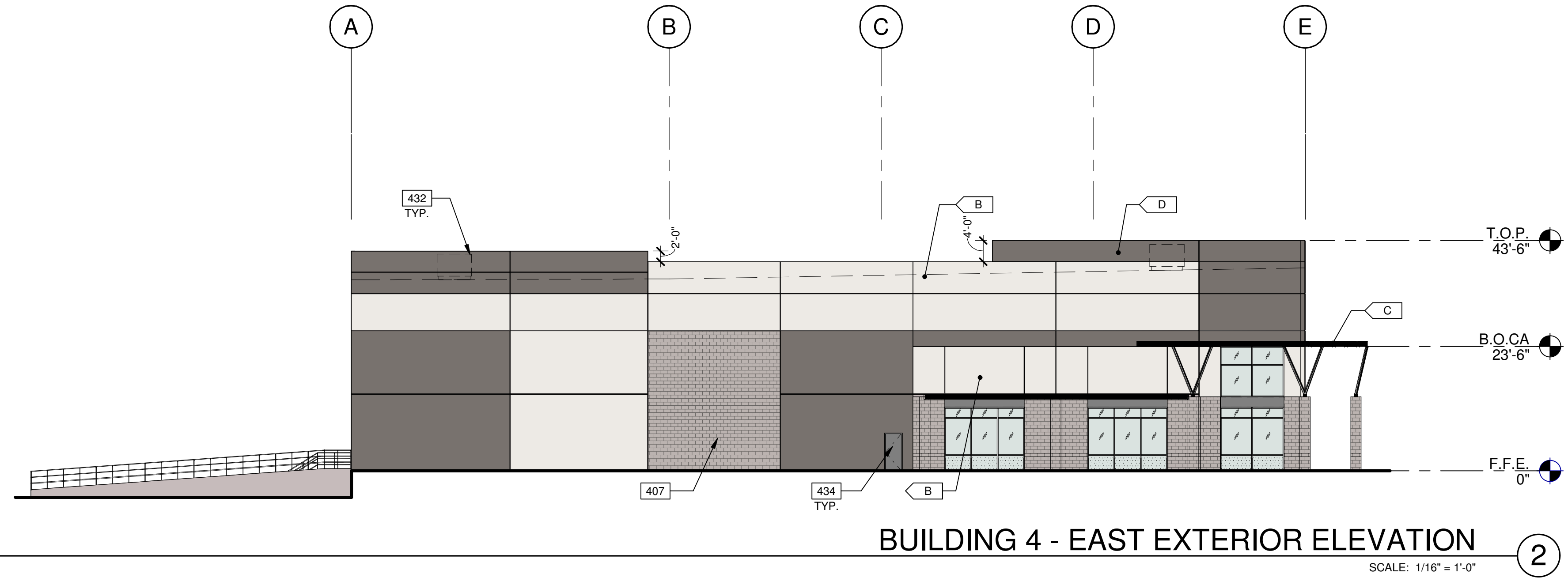
COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

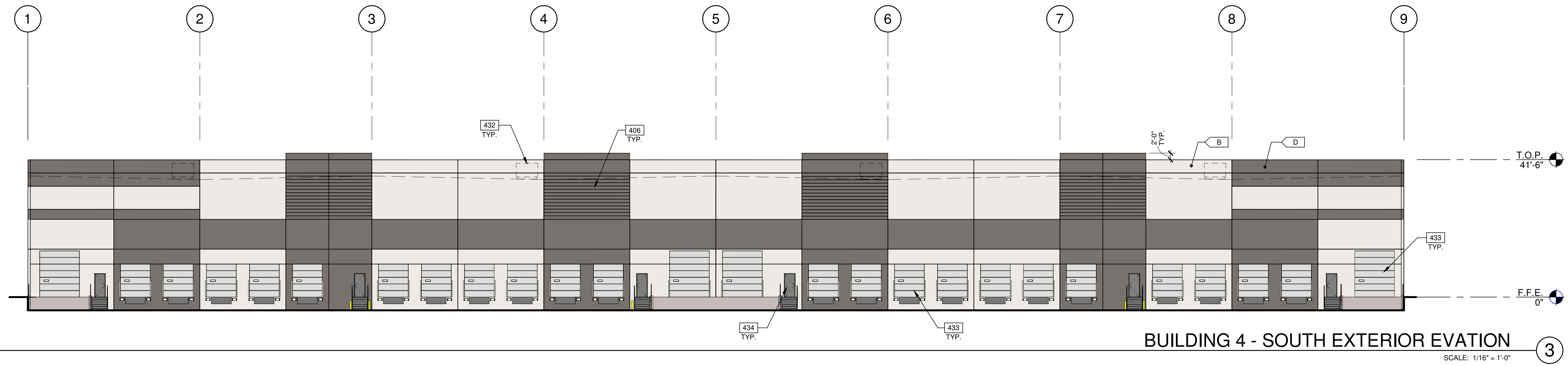
- [Color A] BASE COLOR: MINDFUL GRAY SW 7016
- [Color B] SECONDARY COLOR: SNOWBOUND SW 7004
- [Color C] ACCENT COLOR: TRICORN BLACK SW 6258
- [Color D] ACCENT COLOR: GALUNTLET GRAY SW 7019

MATERIALS PERCENTAGES

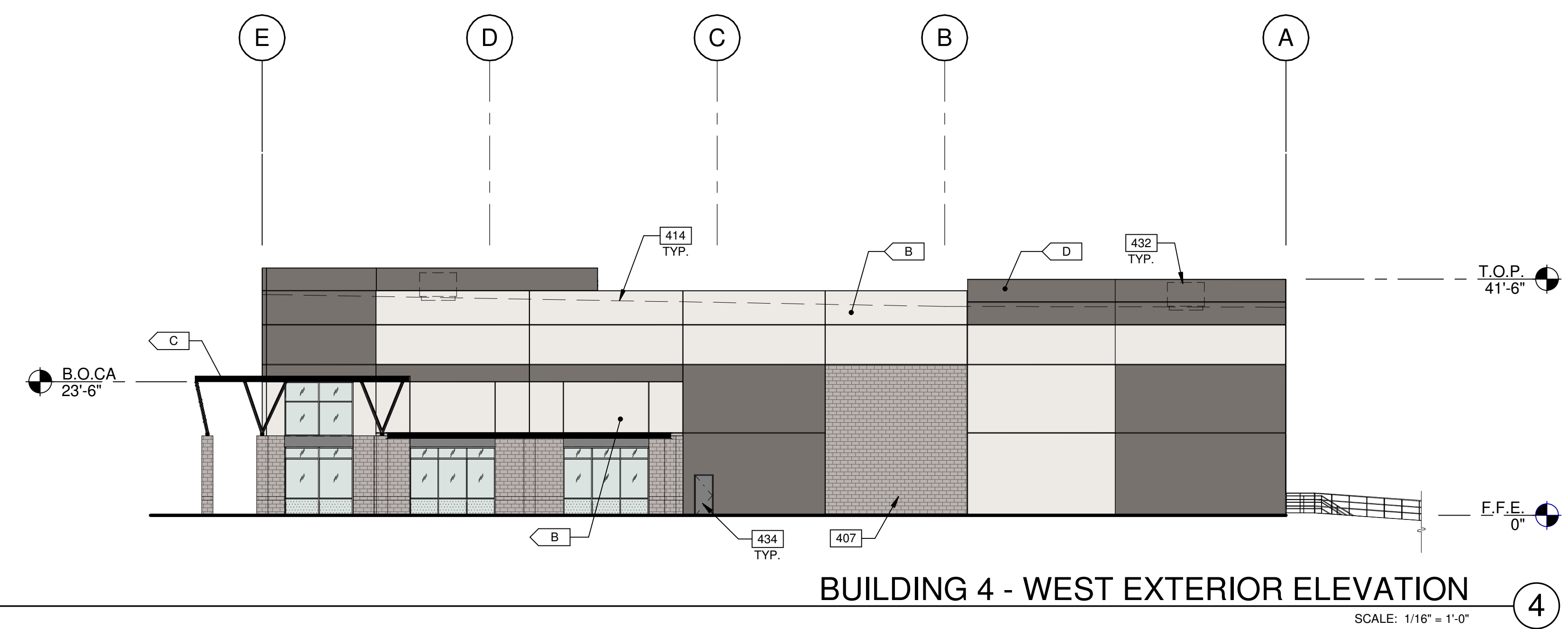
MATERIAL:	NORTH:	SOUTH:	EAST:	WEST:
MINDFUL GRAY SW 7016	0%	10%	0%	0%
SNOWBOUND SW 7004	50%	48%	40%	40%
TRICORN BLACK SW 6258	0%	1%	1%	1%
GALUNTLET GRAY SW 7019	50%	25%	38%	38%
EXTERIOR SPLIT CMU WALL	0%	6%	13%	13%
VISION GLASS	0%	10%	8%	8%



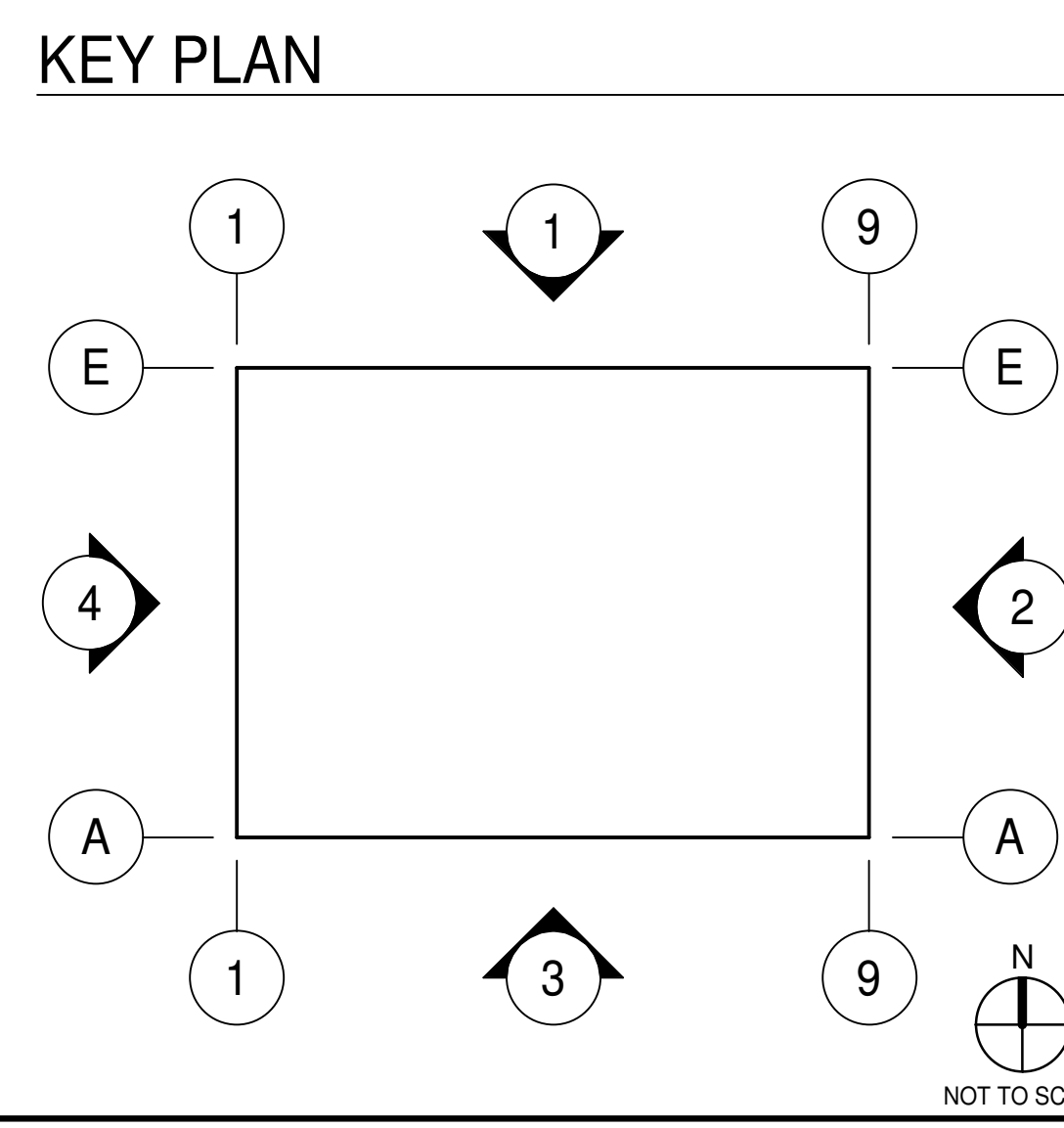
BUILDING 4 - EAST EXTERIOR ELEVATION



BUILDING 4 - SOUTH EXTERIOR ELEVATION



BUILDING 4 - WEST EXTERIOR ELEVATION



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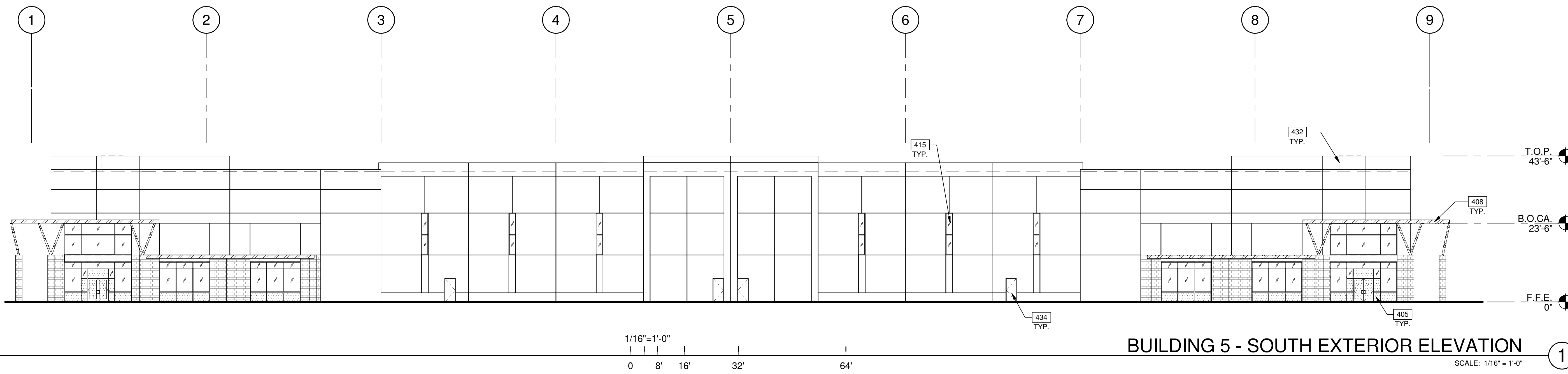
MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 4 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAPM: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

SHEET
A421



BUILDING 5 - SOUTH EXTERIOR ELEVATION

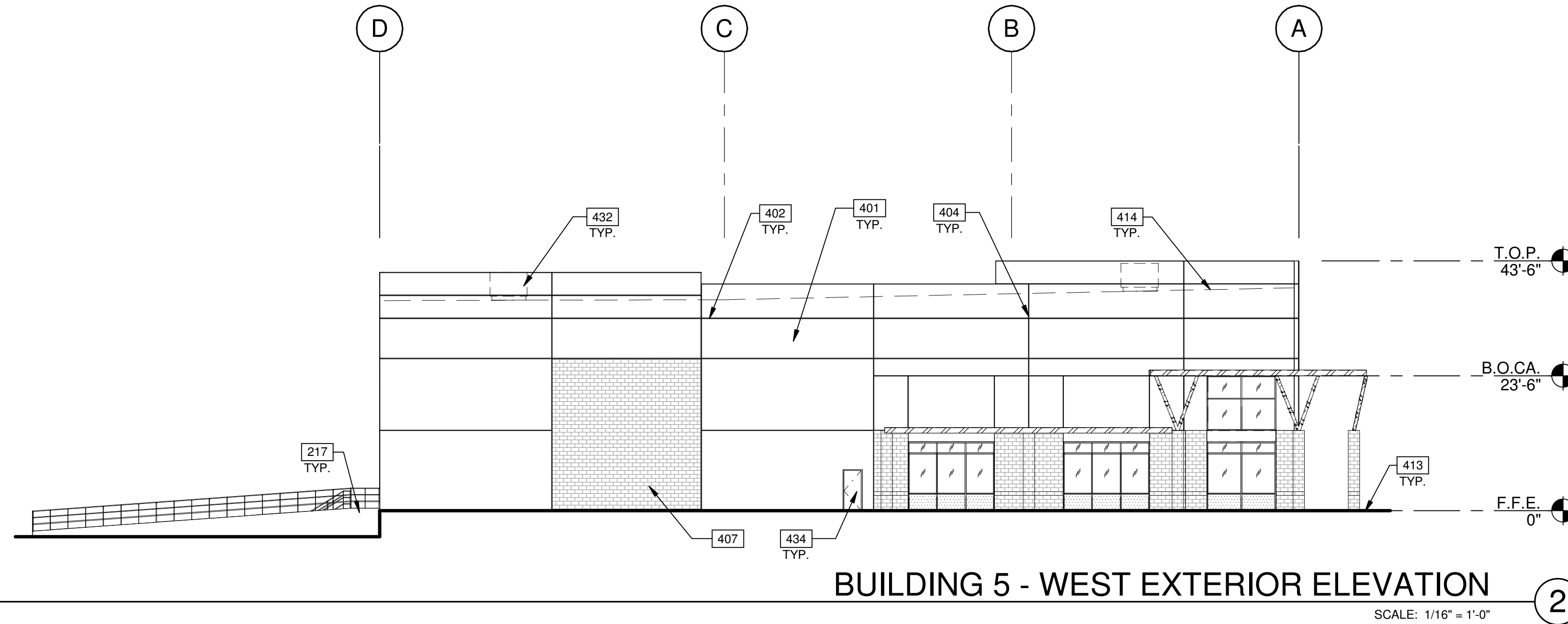
SCALE: 1/16" = 1'-0" ①

KEYNOTES:

- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 211 EXTERIOR CONCRETE STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 216 CONCRETE RAMP.
- 217 CONCRETE RETAINING WALL.
- 401 CONCRETE WALL, PAINTED.
- 402 3/4" V-REVEAL.
- 404 CONCRETE WALL JOINT.
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- 406 CONCRETE FORM LINER.
- 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
- 408 METAL CANOPY, PAINTED.
- 413 FINISH GRADE VARIES.
- 414 LINE OF ROOF BEYOND.
- 415 CLERESTORY WINDOW.
- 416 DOCK BUMPER.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

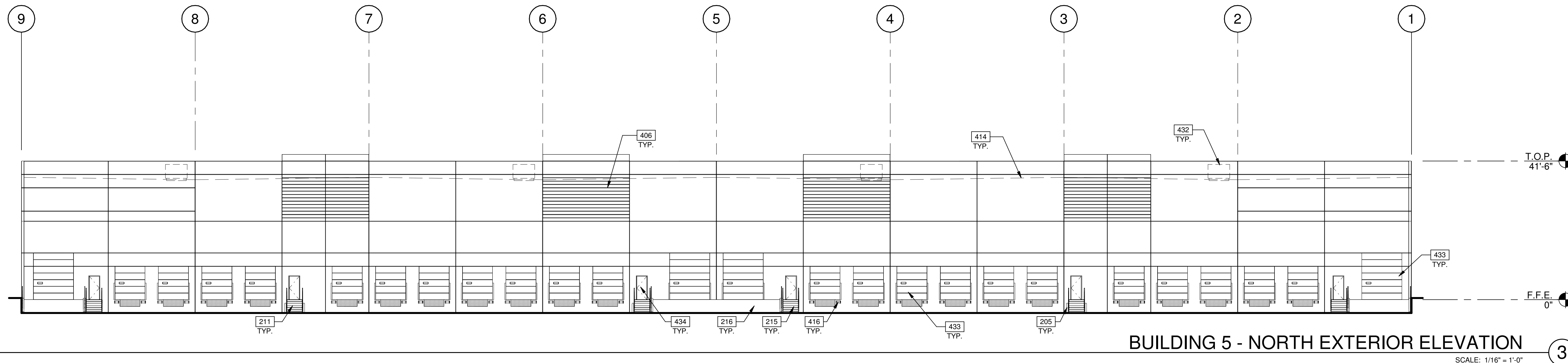
LEGEND

- MATERIALS:**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS



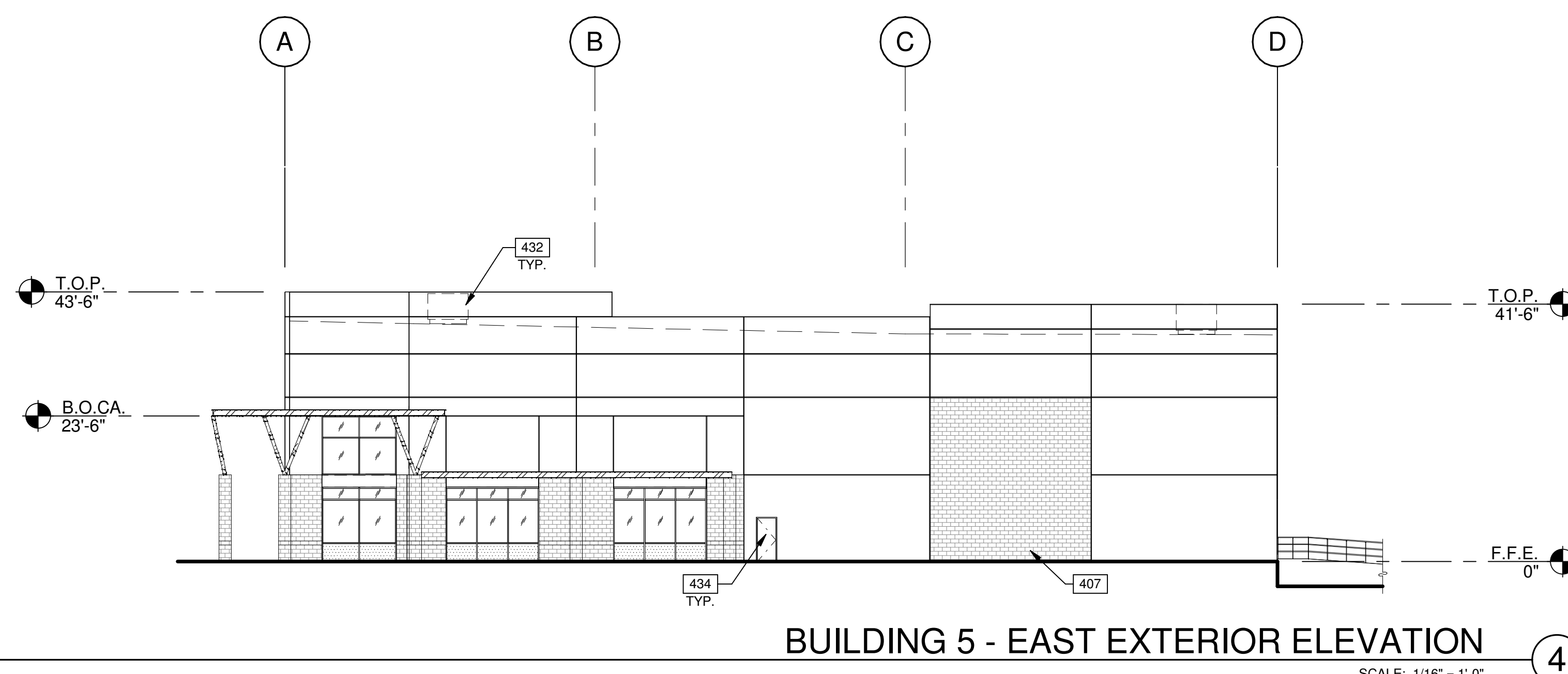
BUILDING 5 - WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" ②



BUILDING 5 - NORTH EXTERIOR ELEVATION

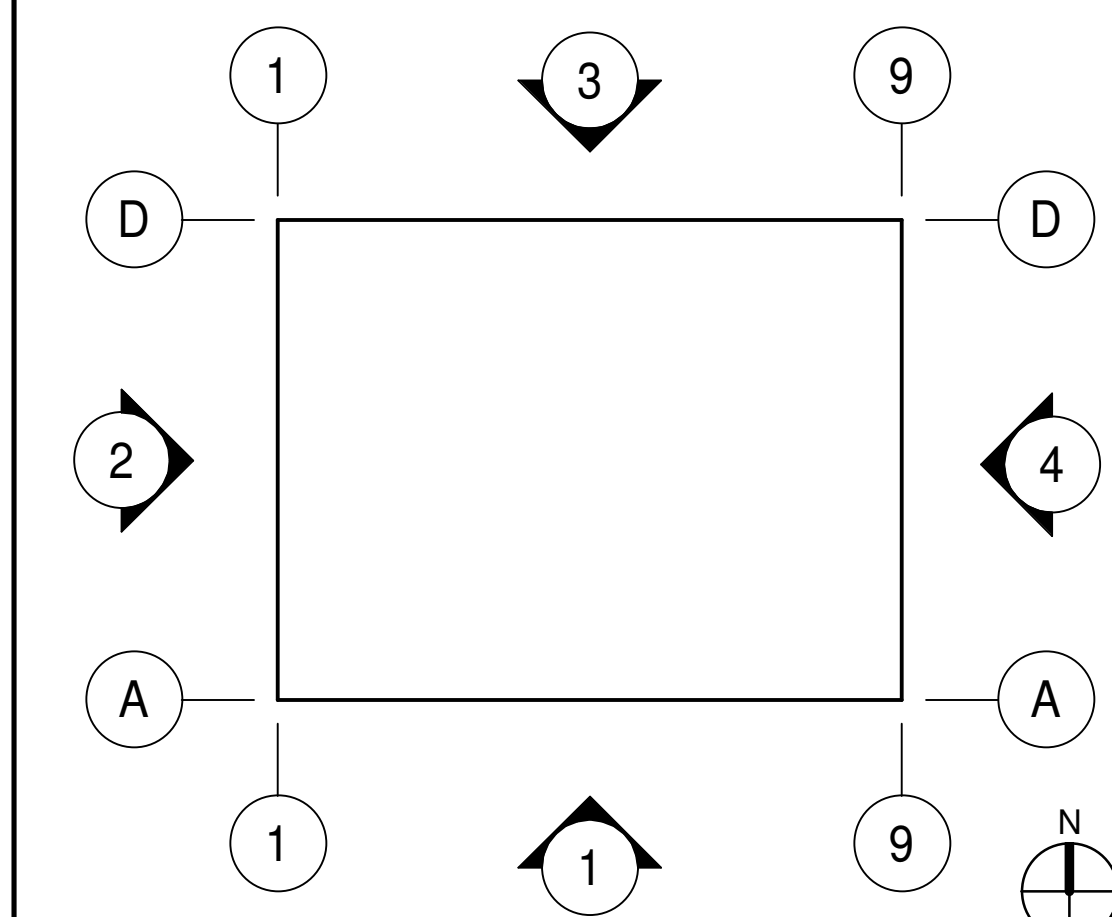
SCALE: 1/16" = 1'-0" ③



BUILDING 5 - EAST EXTERIOR ELEVATION

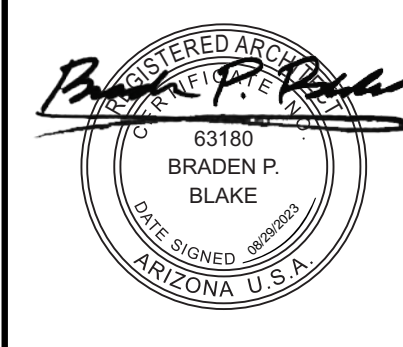
SCALE: 1/16" = 1'-0" ④

KEY PLAN



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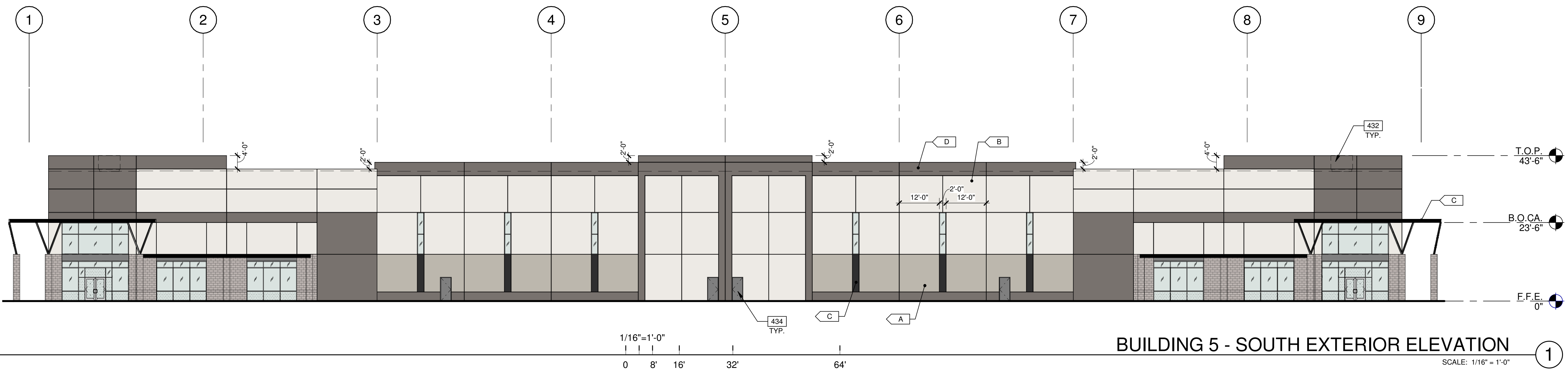
MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 5 - EXTERIOR ELEVATIONS

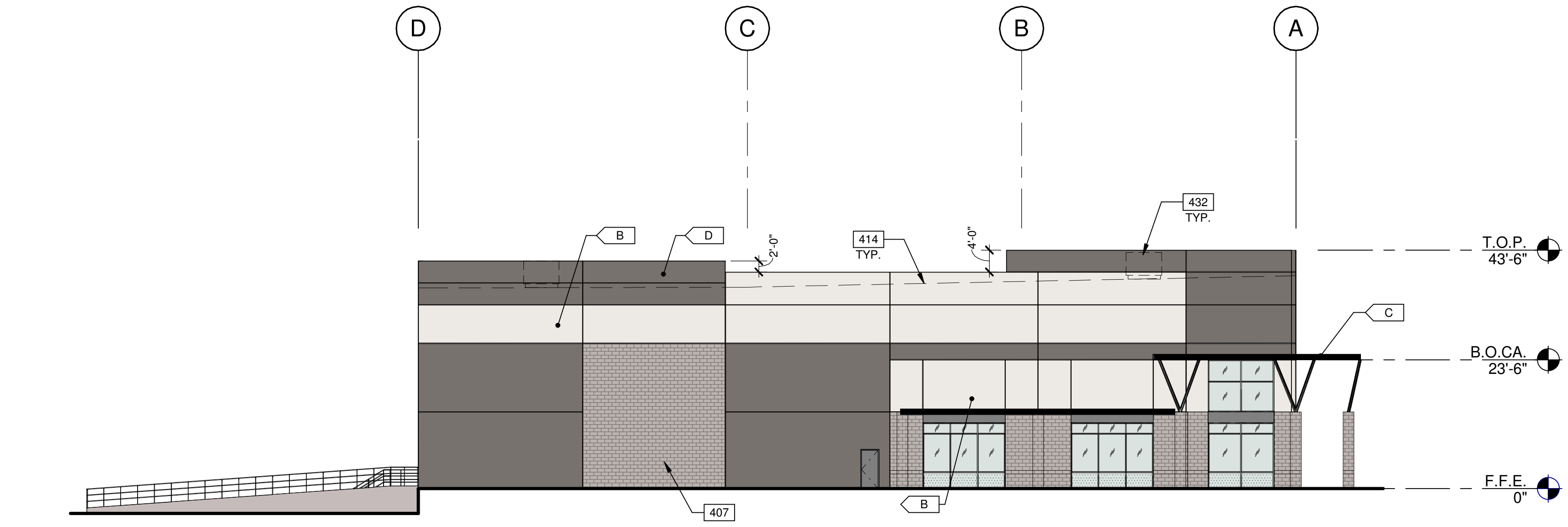
DATE	REVISIONS

PAPM: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

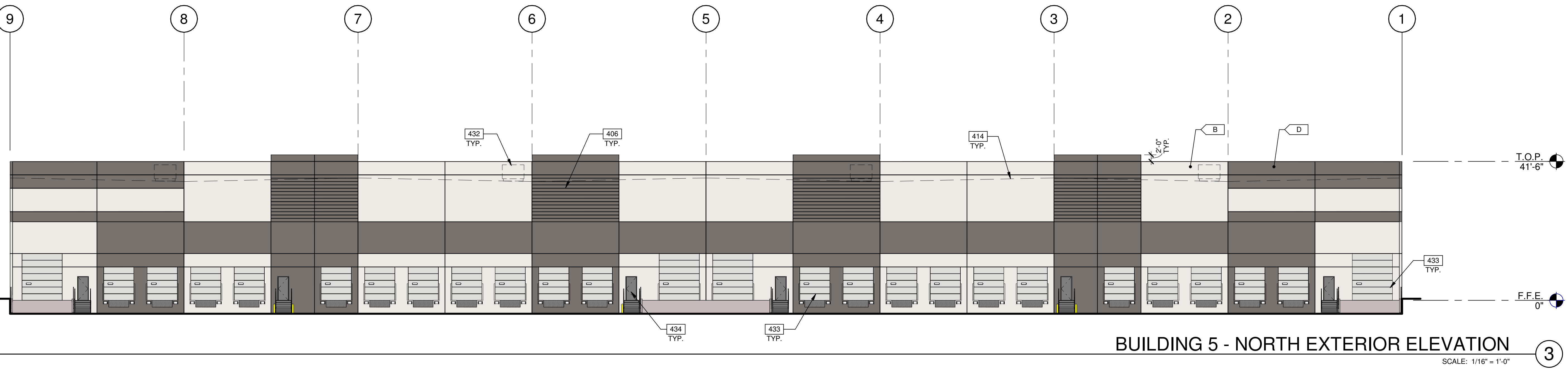
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A520



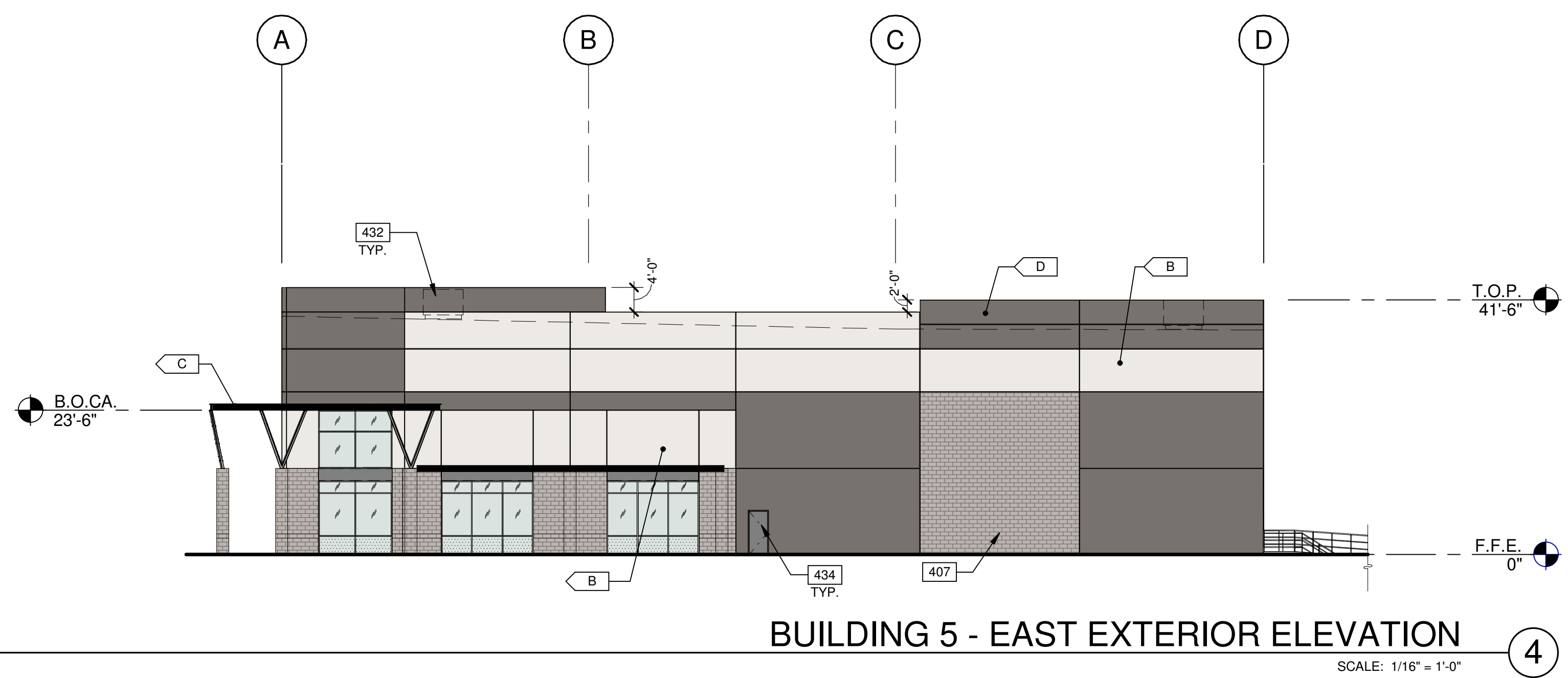
BUILDING 5 - SOUTH EXTERIOR ELEVATION ①
SCALE: 1/16" = 1'-0"



BUILDING 5 - WEST EXTERIOR ELEVATION ②
SCALE: 1/16" = 1'-0"



BUILDING 5 - NORTH EXTERIOR ELEVATION ③
SCALE: 1/16" = 1'-0"



BUILDING 5 - EAST EXTERIOR ELEVATION ④
SCALE: 1/16" = 1'-0"

KEYNOTES:

- 406 CONCRETE FORM LINER
- 407 CONCRETE FORM LINER 8"x16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CMU.
- 414 LINE OF ROOF BEYOND.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

MATERIALS:

- METAL CANOPY, PAINTED
- EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

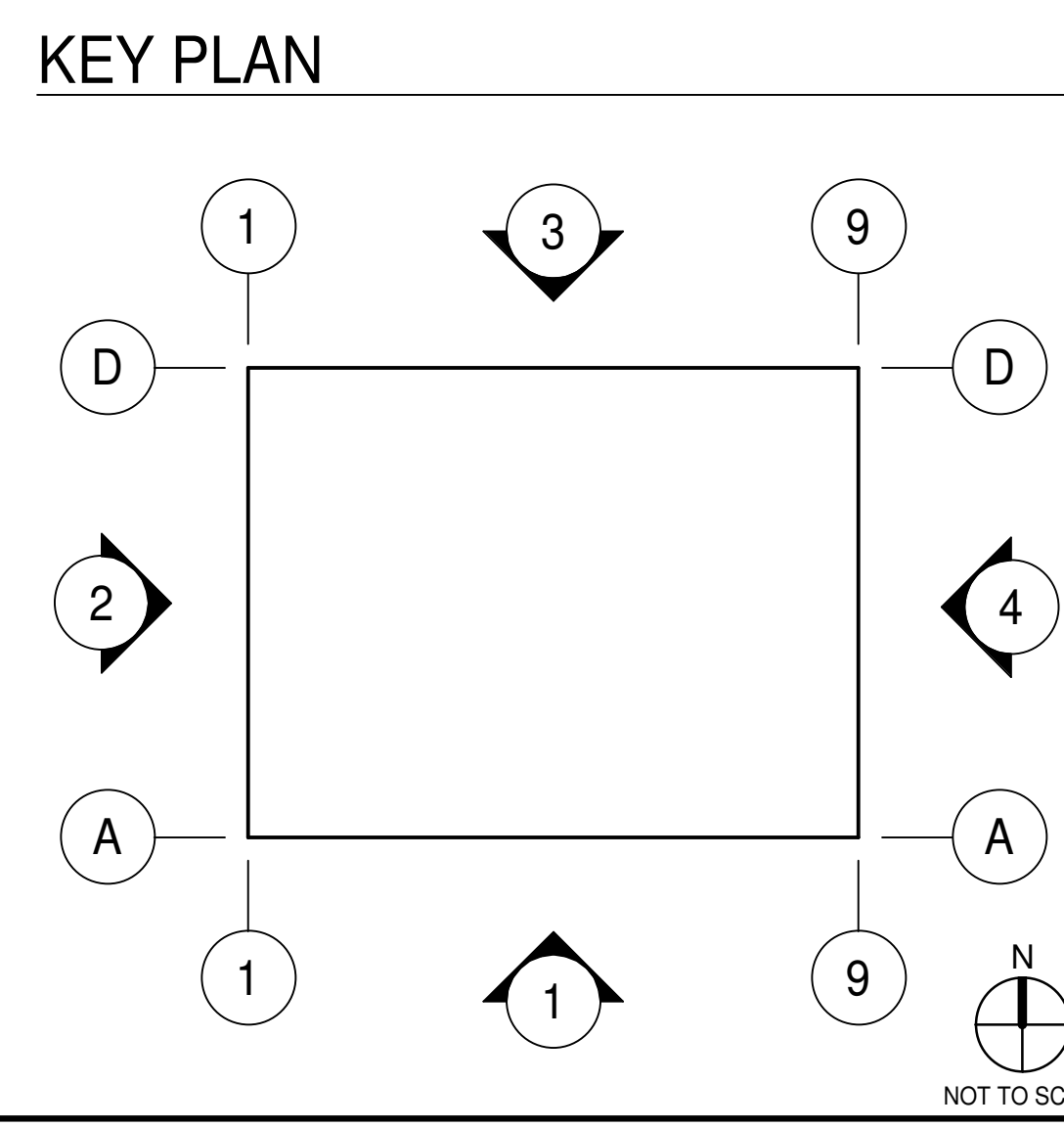
COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- BASE COLOR: MINDFUL GRAY SW 7016
- SECONDARY COLOR: SNOWBOUND SW 7004
- ACCENT COLOR: TRICORN BLACK SW 6258
- ACCENT COLOR: GALUNTLET GRAY SW 7019

MATERIALS PERCENTAGES

MATERIALS:	NORTH:	SOUTH:	EAST:	WEST:
MINDFUL GRAY SW 7016	0%	10%	0%	0%
SNOWBOUND SW 7004	50%	48%	40%	40%
TRICORN BLACK SW 6258	0%	1%	1%	1%
GALUNTLET GRAY SW 7019	50%	25%	38%	38%
EXTERIOR SPLIT CMU WALL	0%	6%	13%	13%
VISION GLASS	0%	10%	8%	8%



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MESA, ARIZONA 85212

BUILDING 5 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAPM: M. RETZLAFF
DRAWN BY: J.O. / T.D. / M.M.O.
JOB NO.: PHX22-0015-00

SHEET
A521



CORNER PERSPECTIVE VIEW (BLDG 2)

MESA, ARIZONA

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01.30.2023

PAGE
4



CORNER PERSPECTIVE VIEW (BLDG 5)

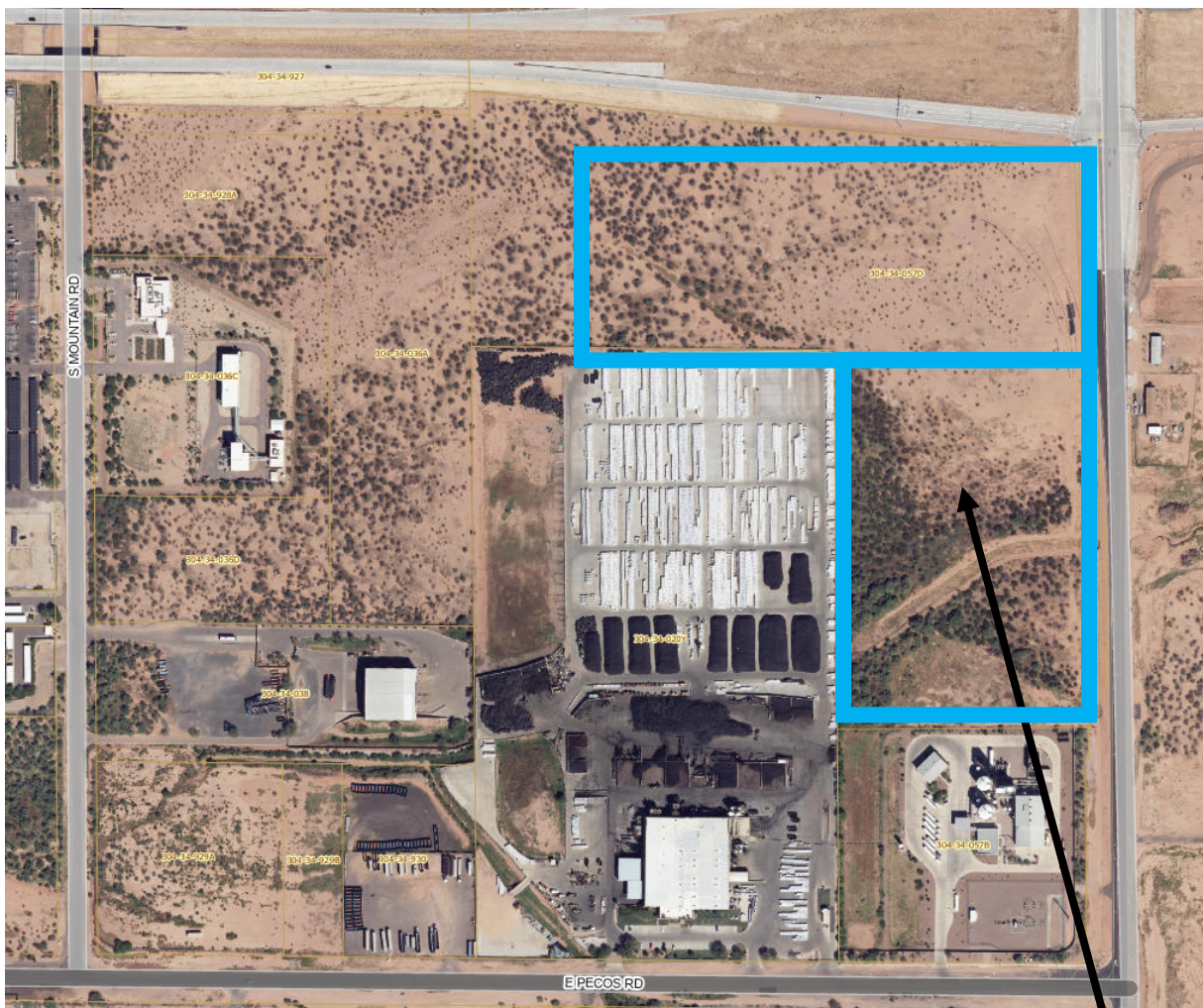
MESA, ARIZONA

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01.30.2023

PAGE
5

CITIZEN PARTICIPATION PLAN to support and obtain SITE PLAN APPROVAL For MERIDIAN 24



On approximately 42 acres located at the
SWC of Meridian Road & State Road 24
Mesa, Arizona

Meridian 24

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PURPOSE OF THE CITIZENS PARTICIPATION

On behalf of Merit Partners (Owner), Ware Malcomb (Applicant) presents this Citizen Participation Plan (CPP) in conjunction with a Site Plan Approval for Pecos One, an approximate 42-acre light industrial project located at the southwest corner of Meridian Road and State Road 24, APN 304-34-057D.

The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, and other registered groups in the vicinity of the Property of this proposed project. This CPP is intended to notify the surrounding property owners and encourage them to participate in the process by providing an opportunity to learn about, comment, and share concerns.

Applicant for the Owner:

Morgan Retzlaff
Ware Malcomb
2777 E. Camelback Road, Suite 325
Phoenix, Arizona 85016
(480) 580-3716
e-mail: mretzlaff@waremalcomb.com

Pre-application Meeting: The pre-application meeting with City of Mesa planning staff occurred on June 27, 2023 (PRS23-00466). In accordance with the CCP process, notification letters will be sent to residents within 1000', as well as to the registered HOA's and neighborhood interest groups encouragement to call and send e-mails with questions.

Action Plan: In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts of the development that members of the community may have including:

1. A contact list will be developed for citizens and agencies in this area including all property owners within 1000' of the Property. A surrounding 1000' ownership map with corresponding mailing labels will also be prepared and attached with this report. It is understood that the City will issue the letters of notification with related exhibits seeking public comment for consideration prior to any public hearings. Public comments and questions may be directed to the applicant, Morgan Retzlaff, or to the designated Staff Planner for the City of Mesa, Sean Pesek. Contacts will be recorded and notes prepared for consideration and inclusion within the Citizen Participation Report.
2. All persons listed on the contact list will receive a letter describing the project, site plan, typical building elevation, and an invitation to call or contact our office to answer any questions regarding the proposed

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project. As the Applicant, Ware Malcomb will prepare a record of calls and correspondence from the surrounding property owners, neighbors and any of the registered interest groups. This record will be included with the Citizen Participation Report.

3. Depending on the character of responses to the letters of notification, Ware Malcomb will review the comments with our clients and determine their appropriate impact. Ware Malcomb will include copies of requests and our responses and include those in the Citizens Participation Report.
4. Presentations will be made to groups of citizens or neighborhood associations upon request by virtual meetings. All materials such as sign-in lists, comments, and petitions received will be copied to the City of Mesa and included in the Citizen Participation Report.

Schedule to Complete the Citizen Participation Plan

	<u>Date</u>
1. Pre-Application Meeting:	June 27, 2023
2. Site Plan Application Submittal:	July 24, 2023
3. First Review Comments	August 8, 2023
4. Post Application Meeting:	August 14, 2023
5. Follow-up Submittal:	August 28, 2023
6. Submit Citizen Participation Plan:	August 28, 2023
7. 2nd Review Comments	September 11, 2023
8. Follow-up Submittal:	January 8, 2024
9. Submit Citizen Participation Report:	January 23, 2024
11. Submit notification letters to the Planning Dept.	January 29, 2024
13. Design Review Board Hearing:	February 13, 2024
13. Post Property:	February 13, 2024
12. Submit notification letters to the Planning Dept.	February 13, 2024
13. Planning and Zoning Hearing:	February 28, 2024

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CIVIL ENGINEERING

BUILDING MEASUREMENT

Communication and Feedback with the Neighbors: With the distribution of the initial Notification Letter, neighbors, registered groups, and any other interested groups or individuals will be encouraged to call, e-mail, or schedule an appointment to meet with the Applicant, Morgan Retzlaff. Our experience has taught us that open communication that responds quickly to these types of inquiries can be very effective in resolving issues and well as exposing legitimate site planning issues that warrant further consideration within the application. Recording these inquiries and responses is an effective check and balance when these same respondents appear at the public hearings. This first letter will typically include notification that the Property will be posted with signs indicating the dates for the Public Hearings.

Communication with the Mesa Planning Staff: As the Applicant, our office will record all incoming correspondence including: telephone calls (dates, names, and issues), e-mails, and letters received from neighbors and interested groups. Copies will be scanned and forwarded to Sean Pesek, our designated Staff Planner assigned as the City's liaison for this Rezone and Site Plan Review Application.

**Citizen Participation Report for 6550 South Meridian Road
Case # DRB23-00592 / ZON23-00594**

February 20, 2023

Overview: This report provides results of the implementation of the Citizen Participation Plan for 6550 South Meridian Road. This site is located at SWC of State Road 24 E & Meridian Road and is an application for approval. This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application.

Contact:

Morgan Retzlaff
Ware Malcomb
2777 E Camelback Road, Suite 325
Phoenix, Arizona 85016
(480) 550-3716
mretzlaff@waremalcomb.com

Correspondence and Telephone Calls:

1. 1st letters mailed to contact list (1,000 feet of the subject site), including homes, apartments, HOAs, schools, and Neighborhood Associations on 1/29/23 (see attached list and example of materials mailed).

Results:

1. Only received 1 email from neighbor:
 - a. Property owner North of the site on the North side of State Rd 24
Lisa & Greg Sims
6303 S. Clancy
Mesa, AZ 85212
Email: lisasims1963@gmail.com
Inquiring on project location with no further correspondence.

Sincerely,

Morgan Retzlaff
Senior Project Manager
Ware Malcomb

Dear Neighbor,

We have applied for Design Review approval for the property located at 6550 South Meridian Rd, Mesa AZ 85212. This request is for development of (5) five new industrial buildings. The case number assigned to this project is DRB23-00592.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at (480) 550-3716 or e-mail me at mretzlaff@waremalcomb.com.

This application will be scheduled for consideration by the Mesa Design Review Board at their meeting held on February 13th, 2024 in the City Council Chambers located at 57 East First Street. The Work Session will begin at 4:30 p.m. The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched via zoom <https://mesa11.zoom.us/j/82508085605>, or listened to by **calling 888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts.**

If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/board-of-adjustment/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting.** If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099 or 877-853-5247 (toll free) using meeting ID 825 0808 5605 and following the prompts, prior to the start of the meeting.** You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Sean Pesek of their Planning Division staff. He/she can be reached at 480-644-6716 or sean.pesek@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,



Morgan Retzlaff
Senior Project Manager
Ware Malcomb



PROPERTY DATA

GROSS SITE AREA: 1,791,359 SF (41.12 ACRES)
 NET SITE AREA: 1,691,684 SF (38.84 ACRES)
 SITE COVERAGE: SITE AREA GROSS = 1,791,359 SF
 BUILDING COVERAGE = 492,311 SF
 PAVED SURFACE = 872,744 SF
 TOTAL COVERAGE = 1,365,055 SF
 PERCENTAGE COVERAGE = 73% (80% MAX.)

ADDRESS: N MERIDIAN RD & STATE RD 24 E, MESA, AZ 85212

APR: 304-34-033C & 304-34-027D
 ZONING: 304-34-033C & 304-34-027D
 CONSTRUCTION TYPE: V-B UNLIMITED AREA

LOT 1: BUILDING 1 = 585,855 SF (13.45 ACRES)
 LOT 2: BUILDING 2 & 3 = 810,112 SF (18.60 ACRES)
 LOT 3: BUILDING 4 & 5 = 598,234 SF (12.80 ACRES)

BUILDING 1:
 BUILDING AREA: WAREHOUSE 136,044 SF
 OFFICE 2,100 SF
 TOTAL FOOTPRINT: 138,144 SF

SITE PARKING TOTALS:
 REQUIRED: WAREHOUSE (1:800) 151 SPACES
 SETBACK (0.3/20): 19 SPACES
 TOTAL: 170 SPACES

PROVIDED:
 STANDARD 24 SPACES
 ACCESSIBLE VAN 6 SPACES
 ACCESSIBLE VAN 2 SPACES
 TRAILER (OUTDOOR STOR.) 53 SPACES

BICYCLE SPACE:
 (BASED ON 170 REQUIRED PARKING SPACES)
 REQUIRED: 17 SPACES
 PROVIDED: 20 SPACES

BUILDING 2:
 BUILDING AREA: 115,441 SF
 OFFICE 3,872 SF
 TOTAL FOOTPRINT: 119,313 SF

SITE PARKING TOTALS:
 REQUIRED: WAREHOUSE (1:800) 126 SPACES
 SETBACK (0.3/20): 16 SPACES
 TOTAL: 142 SPACES

PROVIDED:
 STANDARD 176 SPACES
 ACCESSIBLE VAN 6 SPACES
 ACCESSIBLE VAN 2 SPACES
 TRAILER (OUTDOOR STOR.) 0 SPACES

BICYCLE SPACE:
 (BASED ON 142 REQUIRED PARKING SPACES)
 REQUIRED: 14 SPACES
 PROVIDED: 20 SPACES

BUILDING 3:
 BUILDING AREA: 82,830 SF
 OFFICE 4,202 SF
 TOTAL FOOTPRINT: 87,032 SF

SITE PARKING TOTALS:
 REQUIRED: WAREHOUSE (1:800) 92 SPACES
 SETBACK (0.3/20): 12 SPACES
 TOTAL: 104 SPACES

PROVIDED:
 STANDARD 164 SPACES
 ACCESSIBLE VAN 6 SPACES
 ACCESSIBLE VAN 2 SPACES
 TRAILER (OUTDOOR STOR.) 0 SPACES

BICYCLE SPACE:
 (BASED ON 104 REQUIRED PARKING SPACES)
 REQUIRED: 11 SPACES
 PROVIDED: 20 SPACES

BUILDING 4:
 BUILDING AREA: 82,600 SF
 OFFICE 4,202 SF
 TOTAL FOOTPRINT: 86,802 SF

SITE PARKING TOTALS:
 REQUIRED: WAREHOUSE (1:800) 80 SPACES
 SETBACK (0.3/20): 11 SPACES
 TOTAL: 91 SPACES

PROVIDED:
 STANDARD 128 SPACES
 ACCESSIBLE VAN 4 SPACES
 ACCESSIBLE VAN 2 SPACES
 TRAILER (OUTDOOR STOR.) 0 SPACES

BICYCLE SPACE:
 (BASED ON 91 REQUIRED PARKING SPACES)
 REQUIRED: 10 SPACES
 PROVIDED: 20 SPACES

BUILDING 5:
 BUILDING AREA: 63,924 SF
 OFFICE 3,978 SF
 TOTAL FOOTPRINT: 67,902 SF

SITE PARKING TOTALS:
 REQUIRED: WAREHOUSE (1:800) 71 SPACES
 SETBACK (0.3/20): 10 SPACES
 TOTAL: 81 SPACES

PROVIDED:
 STANDARD 96 SPACES
 ACCESSIBLE VAN 4 SPACES
 ACCESSIBLE VAN 2 SPACES
 TRAILER (OUTDOOR STOR.) 0 SPACES

BICYCLE SPACE:
 (BASED ON 81 REQUIRED PARKING SPACES)
 REQUIRED: 8 SPACES
 PROVIDED: 20 SPACES

SITE PLAN KEYNOTES

- 1) PROPERTY LINE (———)
- 2) BUILDING SET BACK (--- --)

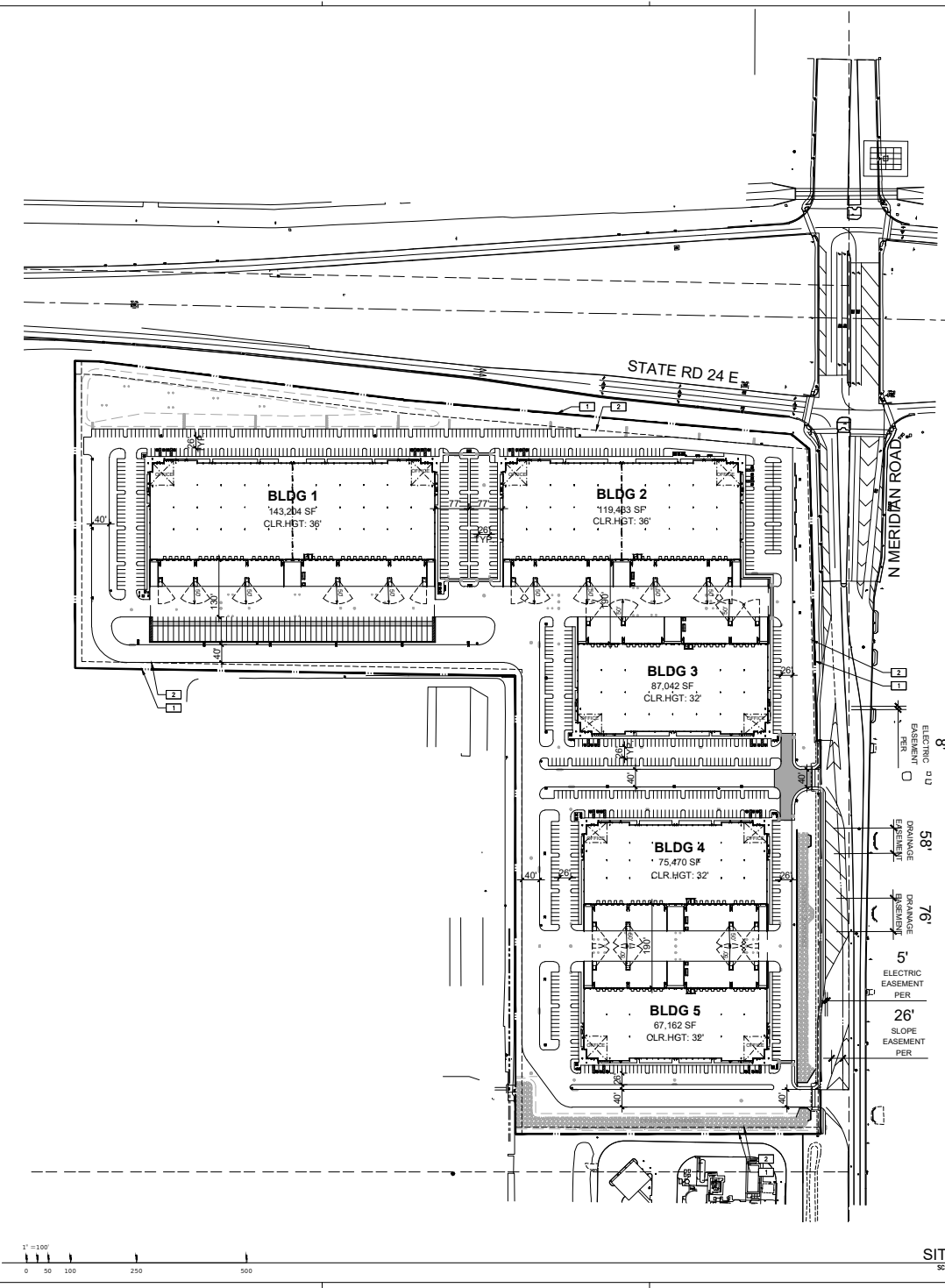
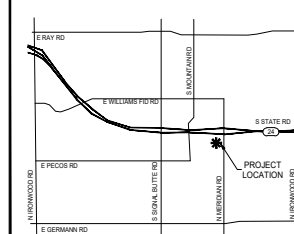
SITE LEGEND

- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- ▣ DECORATIVE CONCRETE

PROJECT DESCRIPTION

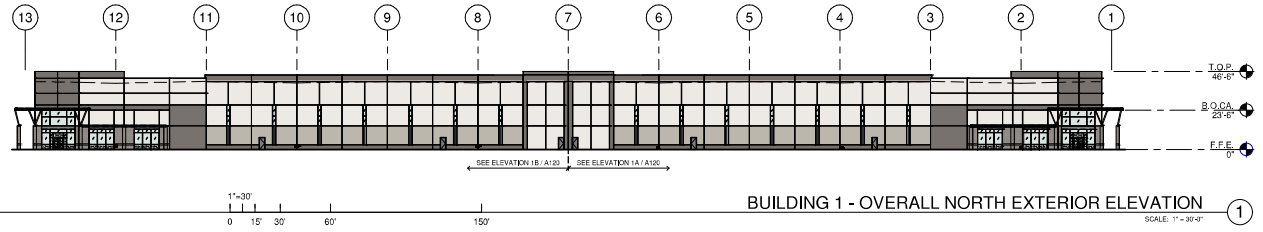
THIS PROJECT INVOLVES THE ERECTION OF FIVE NEW INDUSTRIAL WAREHOUSE BUILDINGS, ROAD IMPROVEMENTS, AND PARKING ACCOMMODATION. ADDITIONAL WORK WILL CONSIST OF CIVIL, LANDSCAPE, STRUCTURAL, PLUMBING, & ELECTRICAL TRADE WORK.

VICINITY MAP

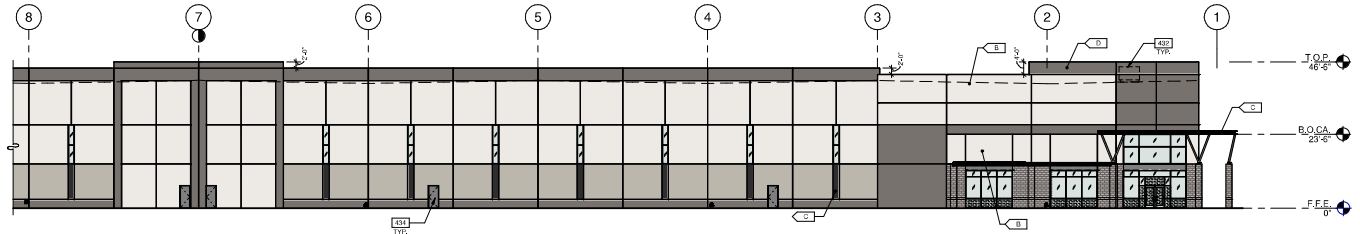


SITE PLAN

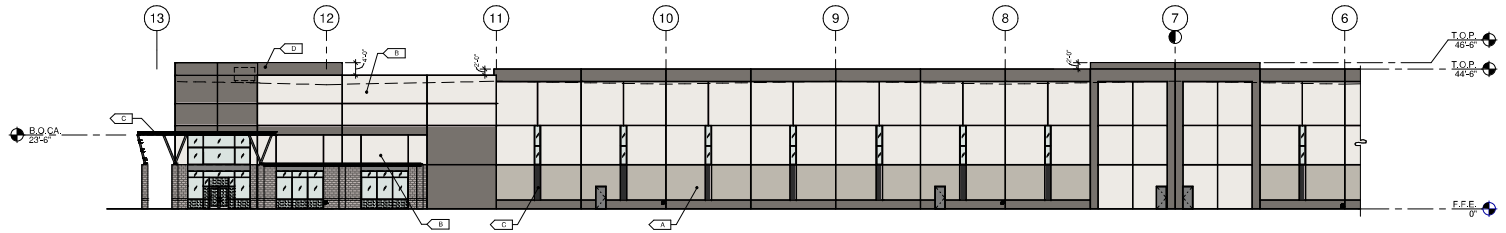
SCALE: 1"=100'-0"



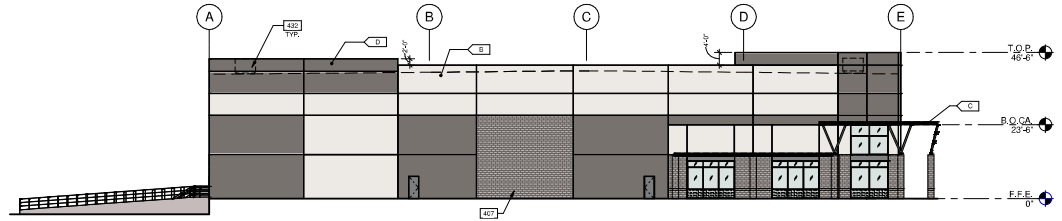
BUILDING 1 - OVERALL NORTH EXTERIOR ELEVATION ①
SCALE: 1" = 30'-0"



BUILDING 1 - PARTIAL NORTH EXTERIOR ELEVATION ①A
SCALE: 1/16" = 1'-0"



BUILDING 1 - PARTIAL NORTH EXTERIOR ELEVATION ①B
SCALE: 1/16" = 1'-0"



BUILDING 1 - EAST EXTERIOR ELEVATION ②
SCALE: 1/16" = 1'-0"

MATERIALS PERCENTAGES

MATERIALS	NORTH	SOUTH	EAST	WEST
MEDIUM GRAY SW 610	2%	2%	3%	2%
CONCRETE DARK	4%	4%	1%	4%
BLACK SW 603	2%	1%	1%	1%
CHALKLINE SW 604	2%	1%	3%	3%
EXTRUDABLE STEEL	4%	1%	1%	1%
METAL GLASS	7%	7%	7%	7%
FORMER	1%	1%	1%	1%

LEGEND

- COLORS**
PROVIDE AND WEAVE PAINT COLOR MOCKUP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- ◀ BASE COLOR: MINDFUL GRAY SW 7016
 - ◀ SECONDARY COLOR: SNOWSAND SW 7004
 - ◀ ACCENT COLOR: THEOPH BLACK SW 6084
 - ◀ ACCENT COLOR: GAUNTLET GRAY SW 7018

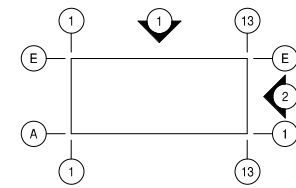
- MATERIALS**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
 - VERION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
3000000
U FACTOR = 0.25 AND SHGC = 0.25
GLASS WIND USETANCE CALCULATIONS ARE UNDER DEVELOPMENT

KEYNOTES:

- 407 CONCRETE FORM LINER 5/16" SPLIT FACE MASONRY RUNNING BOND PATTERN, PAINTED TO MATCH EXTERIOR CUR.
- 432 REPAIR MECHANICAL EQUIPMENT.
- 434 HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT WALL.

KEY PLAN



WARE MALCOLM
ARCHITECTURE INTERIORS PLANNING INTERIORS
2775 COMMERCE BLVD. SUITE 400
PHOENIX, AZ 85016
P: 602.998.1001



MERIDIAN 24
6450 S. MERIDIAN ROAD
MESA, ARIZONA 85212

BUILDING 1 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAPER:	M. SETZLAFF
DRAWN BY:	J.O., T.D., J.M.M.O.
JOB NO.:	PHSD-2015-00

SHEET
A122

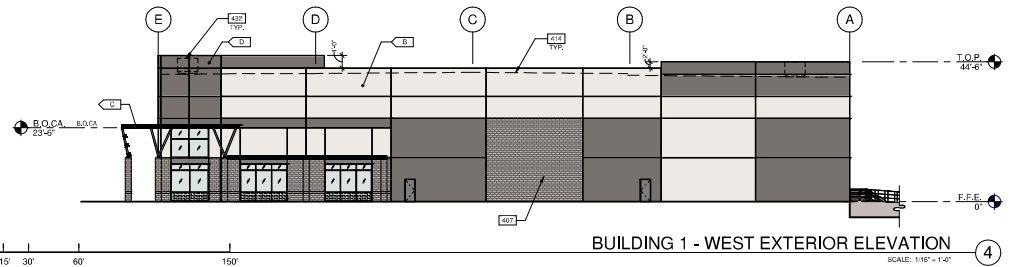
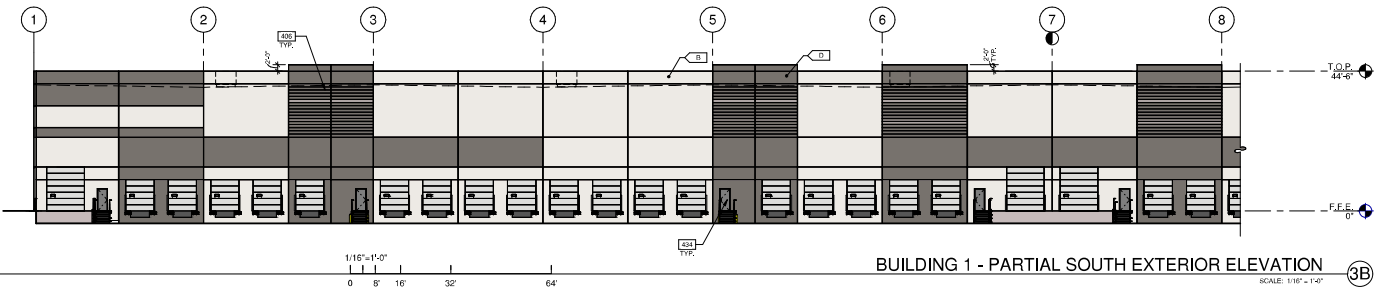
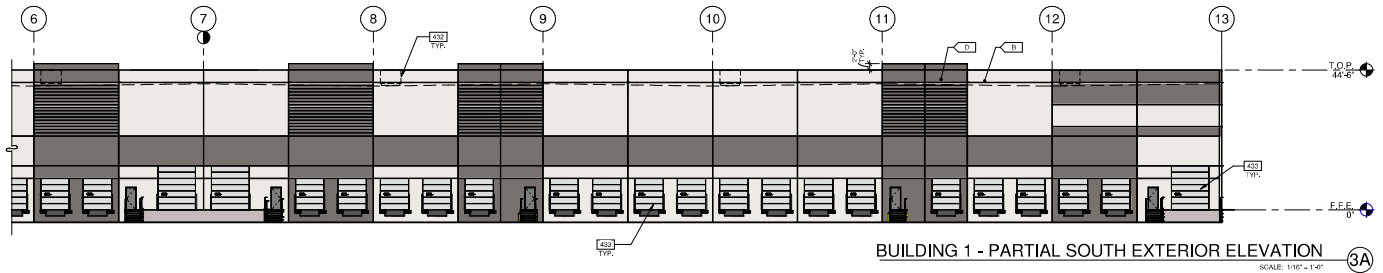
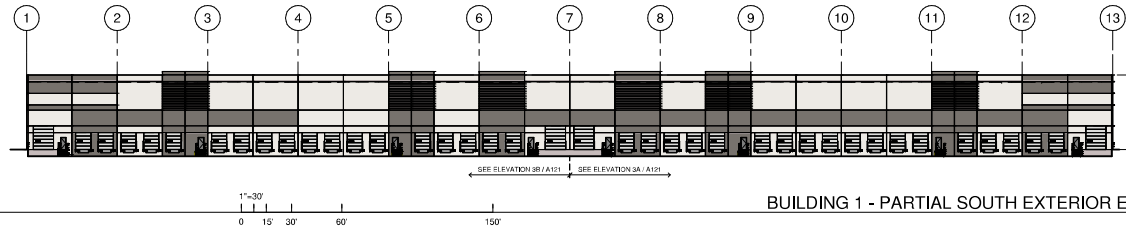


BUILDING 1 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAPER:	M. SETZLAPP
DRAWN BY:	J.O./T.D./M.M.O.
JOB NO.:	PHS20-001-500

SHEET
A123



MATERIALS PERCENTAGES

MATERIALS	NORTH	SOUTH	EAST	WEST
MEDIUM GRAY (S-01)	2%	2%	2%	2%
CONCRETE (S-02)	4%	4%	4%	4%
BRICK (S-03)	2%	2%	2%	2%
CHALK LIT (S-04)	2%	2%	2%	2%
EXTRUSION (S-05)	4%	4%	4%	4%
METAL (S-06)	2%	2%	2%	2%
FORMER	2%	2%	2%	2%

LEGEND

- COLORS**
 PROVIDE AND WEDE PAINT COLOR MOCKUP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- ◀ BASE COLOR: MINGUL GRAY SW 7116
 - ◀ SECONDARY COLOR: SNOWFLAKE SW 7004
 - ◀ ACCENT COLOR: TRODOR BLACK SW 6894
 - ◀ ACCENT COLOR: GAUNTLET GRAY SW 7018

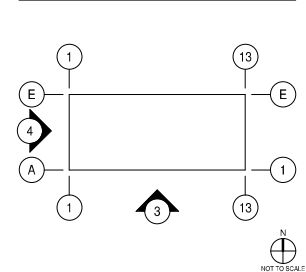
- MATERIALS**
- METAL CANOPY, PAINTED
 - EXTERIOR SPILT FACE CONCRETE MASONRY UNIT
 - VENETIAN GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

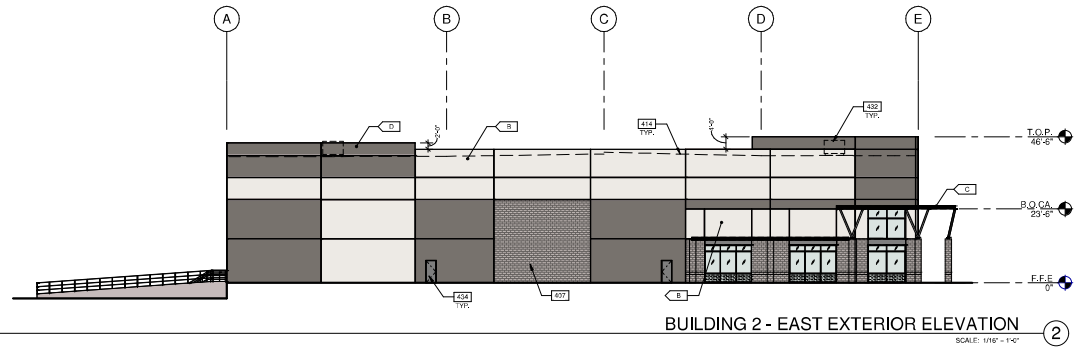
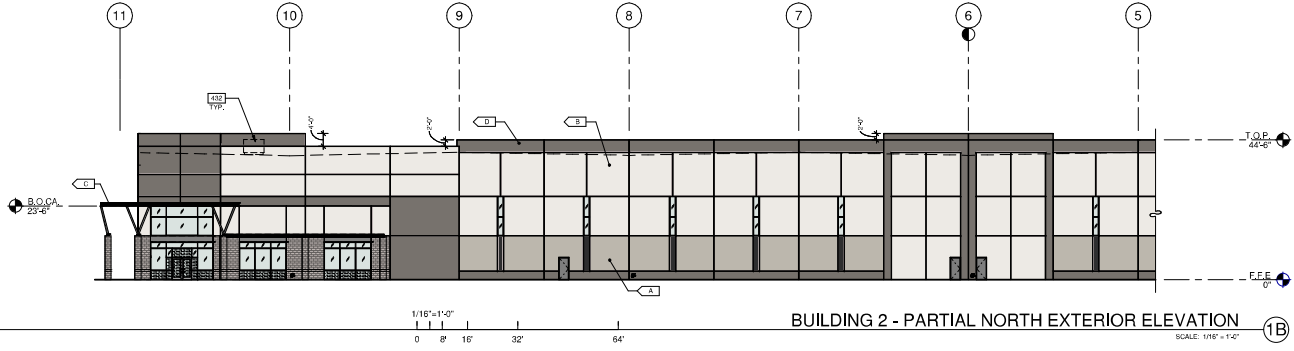
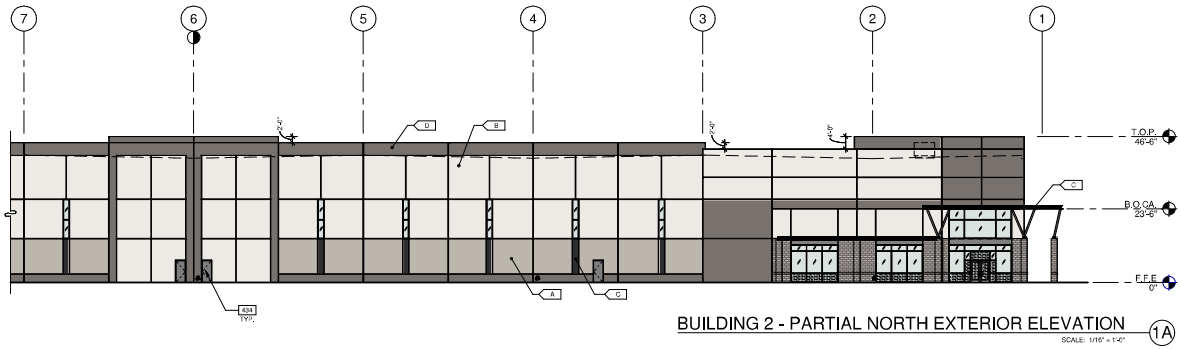
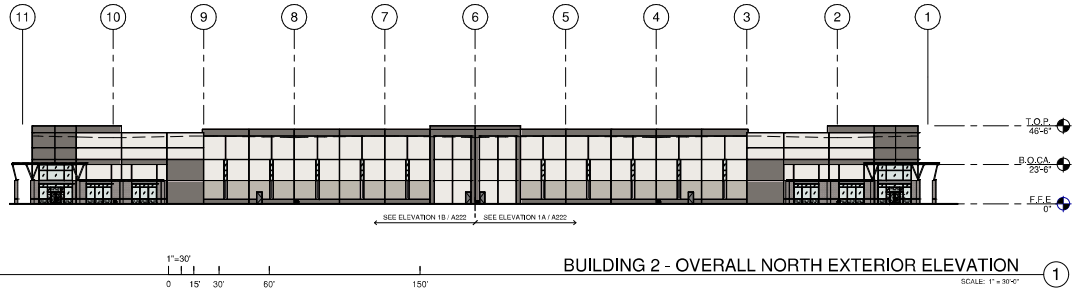
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
 U-FACTOR: 0.28 AND SHGC: 0.28
 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

KEYNOTES:

- 406 CONCRETE FORM LINER
- 407 CONCRETE FORM LINER (1/4" SPLIT FACE MASONRY RUNNING BOND PATTERNS PAINTED TO MATCH EXTERIOR WALL)
- 414 LINE OF ROOF BEYOND
- 432 FUTURE MECHANICAL EQUIPMENT
- 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL

KEY PLAN





KEYNOTES:

- 407 CONCRETE FORM LINER 2"X10" SPLIT FACE MASONRY RUNNING BOND PATTERNS PAINTED TO MATCH EXTERIOR CMU.
- 414 LINE OF ROOF BEYOND.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

MATERIALS:

- [Pattern] METAL CANOPY, PAINTED
- [Pattern] EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT

GLASS:

- [Pattern] VISION GLASS
- [Pattern] SPANDREL GLASS
- [Pattern] TONEMERED GLASS

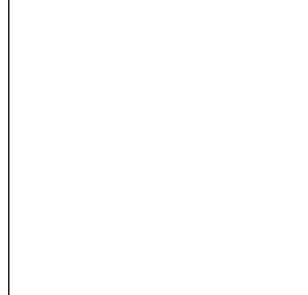
ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE 3000000 LBS AND SHGC = 0.28 GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

COLORS:

- [Color] PROVIDE 6"X WHITE PAINT COLOR MOCKUP FULL HEIGHT OF BUILDING FOR OWNER/SUBJECT REVIEW.
- [Color] BASE COLOR: MINERAL GRAY SW 7019
- [Color] SECONDARY COLOR: SNOWBOUND SW 7004
- [Color] TERTIARY COLOR: TRICOIN BLACK SW 6584
- [Color] ACCENT COLOR: GAUNTLET GRAY SW 7019

MATERIALS PERCENTAGES

MATERIALS	NORTH	SOUTH	EAST	WEST
MINERAL GRAY SW 7019	1%	0%	1%	1%
SNOWBOUND SW 7004	49%	49%	49%	49%
TRICOIN BLACK SW 6584	7%	0%	1%	1%
GAUNTLET GRAY SW 7019	34%	47%	37%	37%
EXTERIOR SPLIT FACE MASONRY	4%	0%	1%	1%
VISION GLASS	1%	0%	1%	1%
FURNACE	0%	1%	0%	1%



WARE MALCOLM
ARCHITECTURE
PLANNING
INTERIOR

1000 W. WASHINGTON
PHOENIX, AZ 85001
P 602.251.1001



MERIDIAN 24
6550 S. MERIDIAN ROAD
MESA, ARIZONA 85212

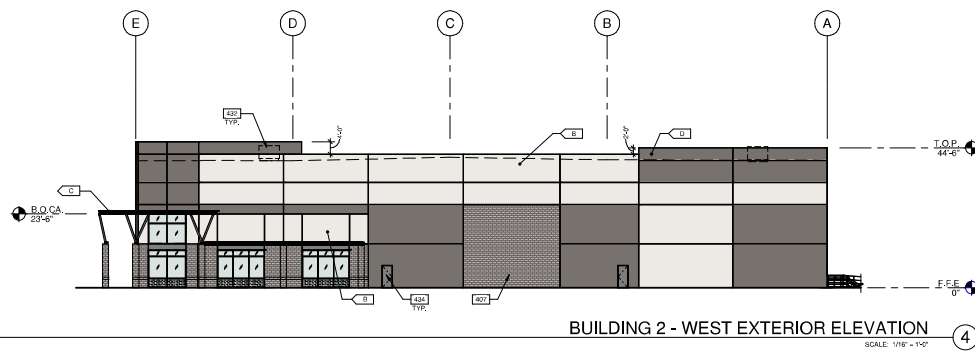
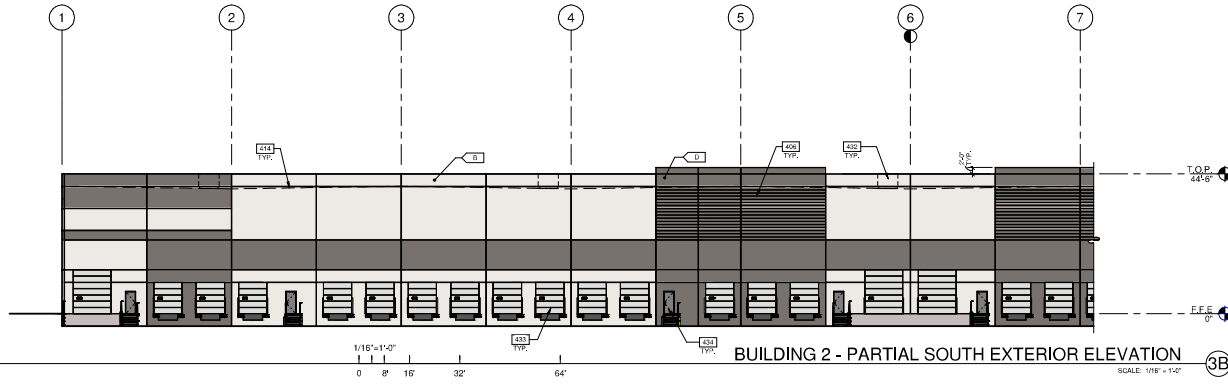
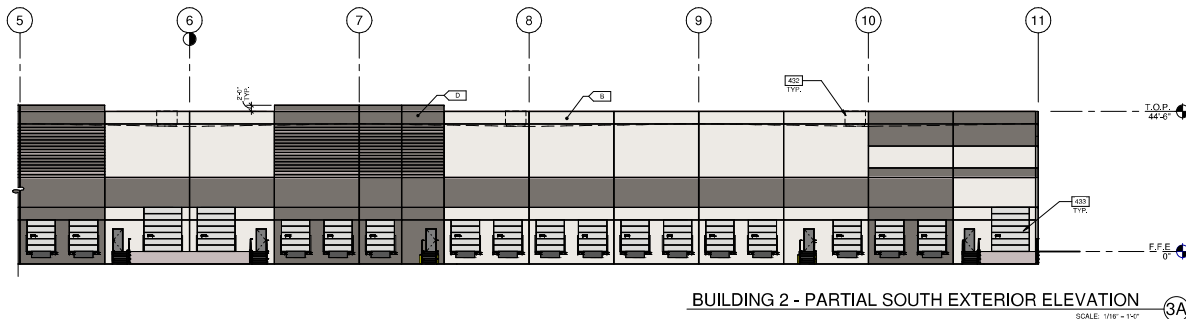
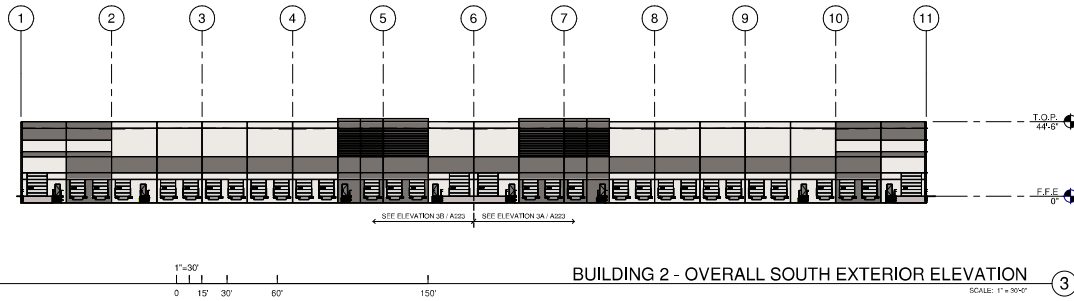
BUILDING 2 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAPER: M. SETZLAPP
DRAWN BY: J.D., T.B., J.M.M.O.
JOB NO.: PHNS-2015-00

SHEET
A222

NOT TO SCALE



- KEYNOTES:**
- 406 CONCRETE FORM LINER,
 - 407 CONCRETE FORM LINER IN 4:1 SLOPE FACI MASONRY RUNNING BOND PATTERN PAINTED TO MATCH EXTERIOR CMU.
 - 414 LINE OF ROOF BEYOND,
 - 432 FUTURE MECHANICAL EQUIPMENT,
 - 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR,
 - 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

- LEGEND**
- MATERIALS:**
- METAL CANOPY, PAINTED
 - EXTERIOR SPILT FACE CONCRETE MASONRY UNIT
- GLASS:**
- VEHION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE 5000000 LBS AND 5/8" AND 3/4" 1/2" GLASS WIND LOAD RESISTANT CALCULATIONS ARE UNDER SEPARATE PERMIT

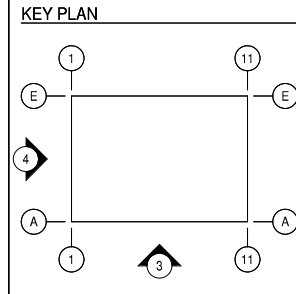
COLORS:

PROVIDE 6" WIDE PAINTY COLOR MOCKUP FULL HEIGHT OF BUILDING FOR OWNER'S SELECT REVIEW.

- BASE COLOR: MINICOLOR GRAY SW 7016
- SECONDARY COLOR: SNOWBOUND SW 7004
- ACCENT COLOR: TRICOIN BLACK SW 6584
- ACCENT COLOR: GAUNTLET GRAY SW 7019

MATERIALS PERCENTAGES

MATERIALS	NORTH	SOUTH	EAST	WEST
MINICOLOR GRAY SW 7016	75%	75%	75%	75%
SNOWBOUND SW 7004	45%	45%	45%	45%
TRICOIN BLACK SW 6584	7%	7%	7%	7%
GAUNTLET GRAY SW 7019	24%	24%	24%	24%
EXTERIOR SPILT FACE CMU	4%	4%	4%	4%
VEHION GLASS	7%	7%	7%	7%
FURNACE	0%	15%	0%	0%



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS

2777 E. Camelback Rd., Suite 400
Phoenix, AZ 85016
P: 602.731.1001



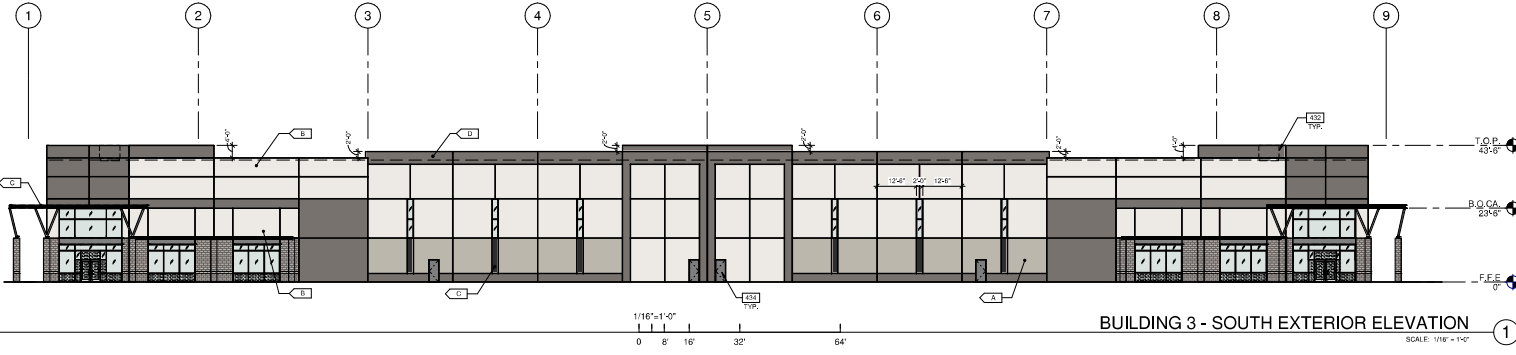
MERIDIAN 24
6550 S. MERIDIAN ROAD
MESA, ARIZONA 85212

BUILDING 2 - EXTERIOR ELEVATIONS

DATE	REVISIONS

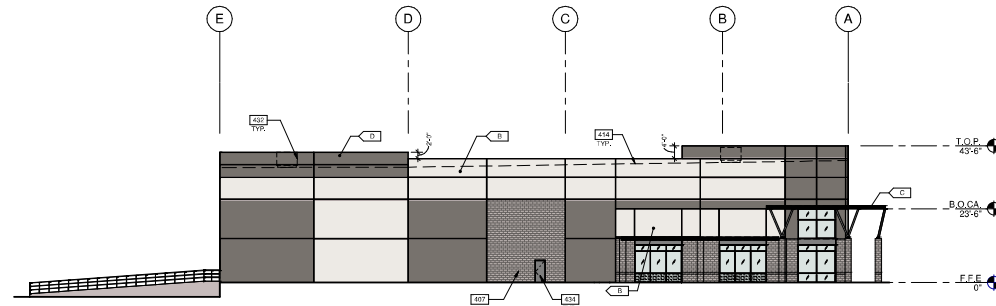
PAPER: M. SETZLAPP
DRAWN BY: J.D. / T.B. / M.M.O.
JOB NO.: PHNS-2015-00

SHEET
A223



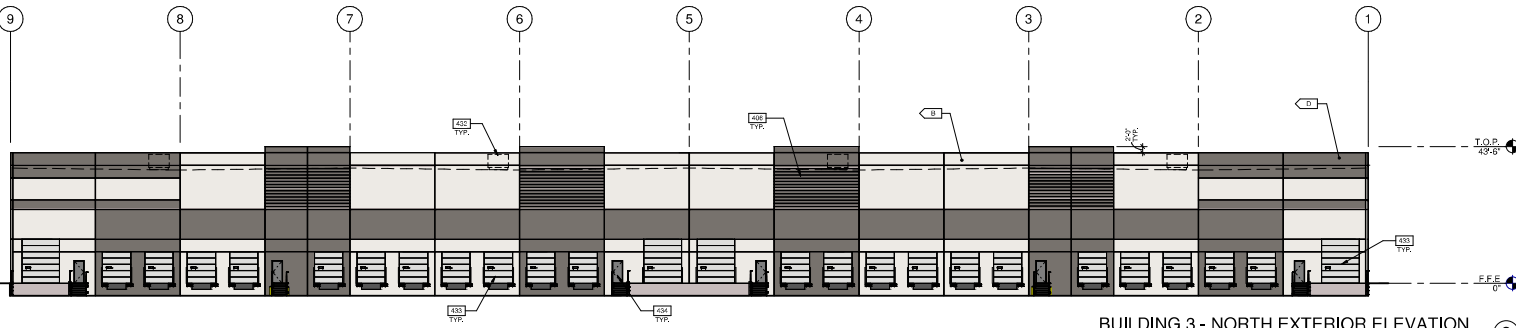
BUILDING 3 - SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



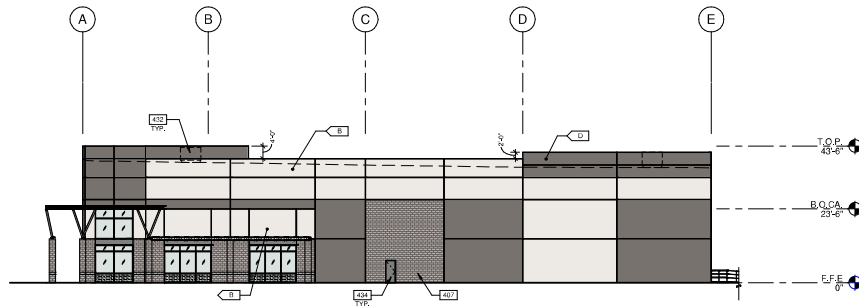
BUILDING 3 - WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



BUILDING 3 - NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



BUILDING 3 - EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

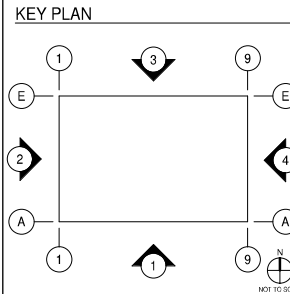
- KEYNOTES:**
- 406 CONCRETE FORM LINER.
 - 407 CONCRETE FORM LINER w/ 1/4" SPLIT FACED MASONRY RUNNING BOND PATTERN PAINTED TO MATCH EXTERIOR GULL.
 - 414 LINE OF ROOF BEYOND.
 - 422 FUTURE MECHANICAL EQUIPMENT.
 - 433 OVERHEAD SECTIONAL DOOR, INTEGRAL COLOR.
 - 424 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

- LEGEND**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
 - GLASS
 - WIRIN GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

- COLORS:**
- PRODUCE 6" X 6" WIRE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER'S PROJECT REVIEW.
- A BASE COLOR: MINERAL GRAY SW 7016
 - B SECONDARY COLOR: SNOWBOUND SW 7024
 - C ACCENT COLOR: THEBORN BLACK SW 6558
 - D ACCENT COLOR: SAUNTLIT GRAY SW 7019

MATERIALS PERCENTAGES

MATERIAL	NORTH	SOUTH	EAST	WEST
MINERAL GRAY SW 7016	7%	10%	7%	1%
SNOWBOUND SW 7024	30%	48%	48%	40%
THEBORN BLACK SW 6558	7%	1%	1%	1%
SAUNTLIT GRAY SW 7019	56%	25%	25%	30%
EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT	1%	1%	1%	1%
WIRIN GLASS	1%	1%	1%	1%



WARE MALCOLM
 ARCHITECTURE
 INTERIORS
 PLANNING
 MARKING
 BUILDING MEASUREMENT

2777 E. CAMPANILE BLVD. STE. 200
 PHOENIX, AZ 85049
 P. 602.755.0501



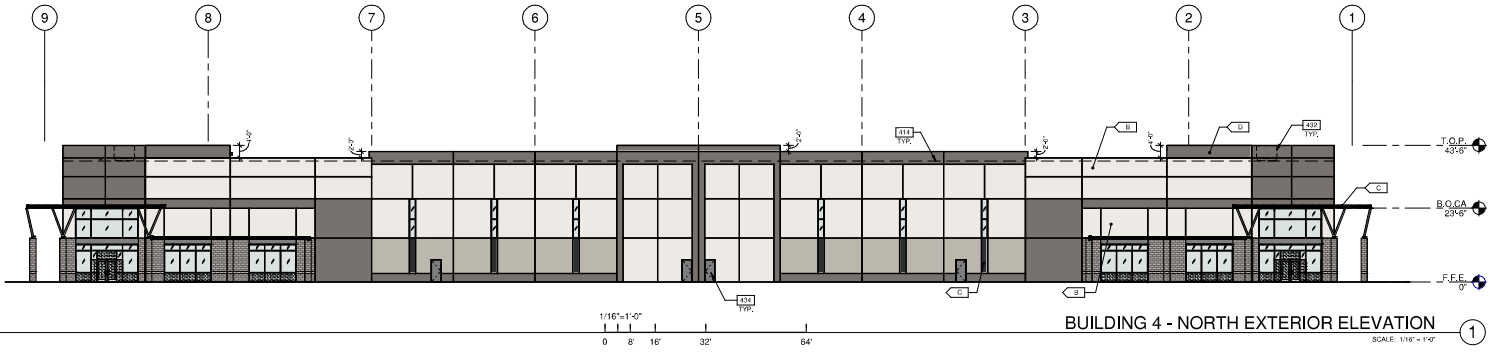
MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 3 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAP: M. SETZLAPP
 DRAWN BY: J.D., T.D., M.M.M.
 JOB NO.: PHNS-2015-00

SHEET
A321



BUILDING 4 - NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

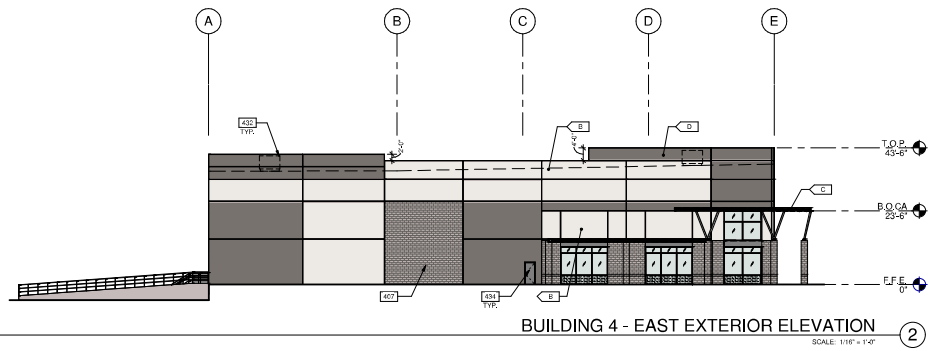
- KEYNOTES:**
- 426 CONCRETE FORM LINER.
 - 427 CONCRETE FORM LINER IN 4\"/>

- LEGEND**
- MATERIALS:**
- METAL CANOPY, PAINTED
 - EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
 - VIBRON GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

- COLORS:**
- PROVIDE 2'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER ARCHITECT REVIEW.
- BASE COLOR: MINIFUL GRAY SW 7016
 - SECONDARY COLOR: SNOWBOUND SW 7004
 - ACCENT COLOR: THICORN BLACK SW 6258
 - ACCENT COLOR: SAUNTLIGHT GRAY SW 7019

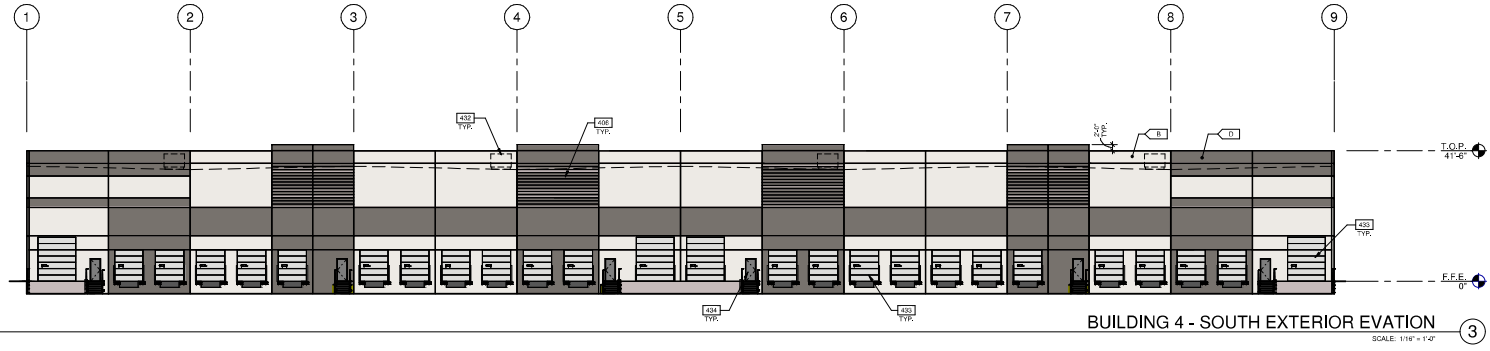
MATERIALS PERCENTAGES

MATERIALS	NORTH	SOUTH	EAST	WEST
MINIFUL GRAY SW 7016	1%	1%	1%	1%
SNOWBOUND SW 7004	30%	40%	40%	40%
THICORN BLACK SW 6258	0%	1%	1%	1%
SAUNTLIGHT GRAY SW 7019	0%	25%	25%	25%
EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT	0%	0%	1%	1%
VIBRON GLASS	1%	1%	1%	1%



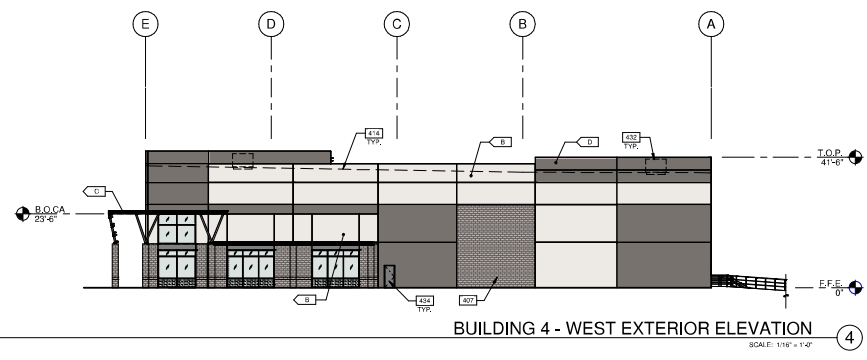
BUILDING 4 - EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



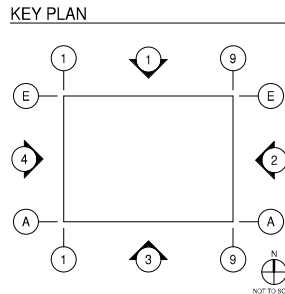
BUILDING 4 - SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



BUILDING 4 - WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



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 INTERIORS

2777 E. CAMPBELL BLVD. SUITE 200
 PHOENIX, AZ 85048
 P: 602.735.0001



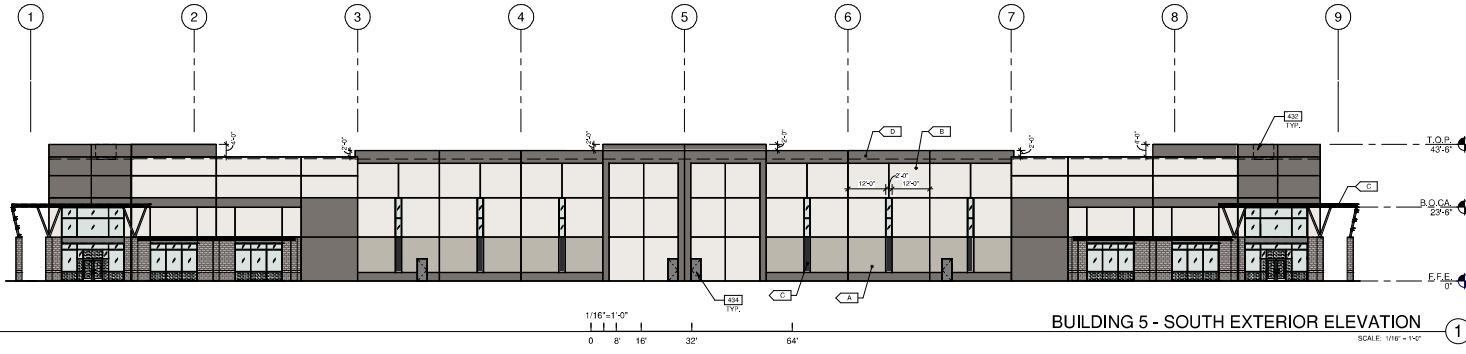
MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 4 - EXTERIOR ELEVATIONS

DATE	REVISIONS

PAPER: M. SETZLAPP
 DRAWN BY: J.L. TOLSON
 JOB NO.: PRS20-001-500

SHEET
A421



BUILDING 5 - SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

KEYNOTES:

- 406 CONCRETE FORM LINER.
- 407 CONCRETE FORM LINER IN 4" SPLIT FACE MASONRY RUNNING BOND PATTERN PAINTED TO MATCH EXTERIOR GULL.
- 414 LINE OF ROOF BEING.
- 432 FUTURE MECHANICAL EQUIPMENT.
- 433 OVER-HEAD SECTIONAL DOOR, INTEGRAL COLOR.
- 434 HOLLOW METAL DOOR, PAINTED TO MATCH ADJACENT WALL.

LEGEND

MATERIALS:

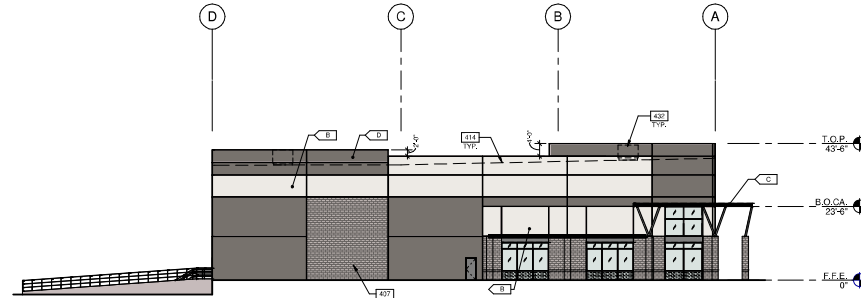
- METAL CANOPY, PAINTED
- EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT
- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLORS:

- PROVIDE 2'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER ARCHITECT REVIEW.
- A** BASE COLOR: MINIFUL GRAY SW 7016
 - B** SECONDARY COLOR: SNOWBOUND SW 7004
 - C** ACCENT COLOR: THORN BLACK SW 6258
 - D** ACCENT COLOR: GAUNTLET GRAY SW 7019

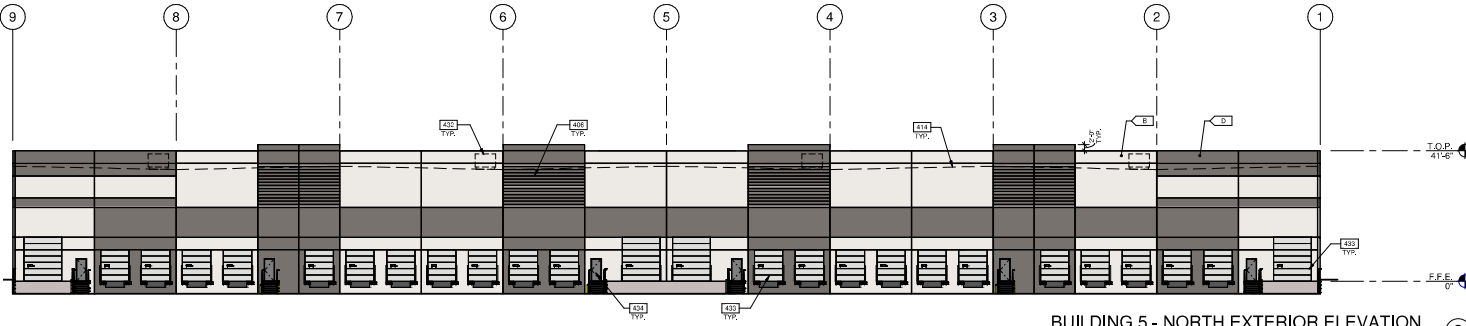
MATERIALS PERCENTAGES

MATERIALS	NORTH	SOUTH	EAST	WEST
MINIFUL GRAY SW 7016	1%	10%	1%	1%
SNOWBOUND SW 7004	10%	40%	40%	40%
THORN BLACK SW 6258	0%	1%	1%	1%
GAUNTLET GRAY SW 7019	0%	25%	25%	25%
EXTERIOR SPLIT FACE CONCRETE MASONRY UNIT	1%	1%	1%	1%
VISION GLASS	1%	1%	1%	1%



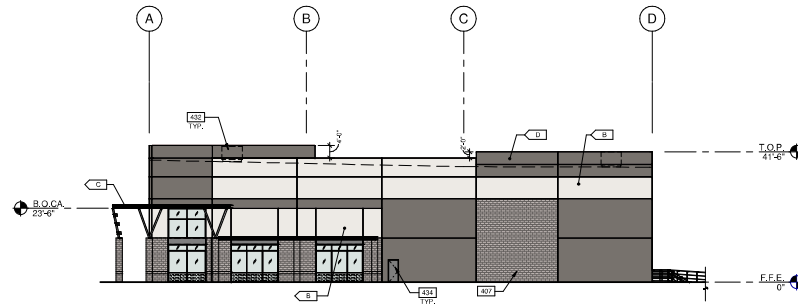
BUILDING 5 - WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



BUILDING 5 - NORTH EXTERIOR ELEVATION

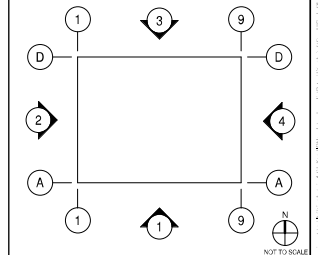
SCALE: 1/16" = 1'-0"



BUILDING 5 - EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

KEY PLAN



WARE MALCOLM
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 BUILDING MEASUREMENT

2777 E. CAMPBELL BLVD. SUITE 200
 PHOENIX, AZ 85048
 P: 602.735.0001



MERIDIAN 24
 6550 S. MERIDIAN ROAD
 MESA, ARIZONA 85212

BUILDING 5 - EXTERIOR ELEVATIONS

DATE:	
-------	--

PAPER:	M. SETZLAPP
DRAWN BY:	L.J., T.P., M.M.O.
JOB NO.:	PHNS-2015-00

SHEET
A521

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

To be submitted to the Planning Division by February 13, 2024

Date: 2-14-2024

I, DANIEL A. ZEMEL, being the owner or authorized applicant for the zoning case below, do hereby affirm that I have posted the property related to Case #ZON23-00594 on the 13TH day of FEB, 2024. At least one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5" BY 11" SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant's/Representative's signature: _____



SUBSCRIBED AND SWORN before me this 14 day of 02, 2024.

[Signature]
Notary Public



Case Number: ZON23-00594

Project Name: _____

CITY OF MESA
PUBLIC NOTICE

ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

6:00 PM DATE: FEBRUARY 28, 2024
CASE: ZON40-0094

Request: Site Plan Review and approval and
conditions of approval for Case No. ZP-044. This
request is for an industrial development.

Applicant: Morgan Bakstall
Phone: 480-767-0021 x. 1009
Planning Division (480) 544-2383

Approved: February 12, 2024