

Design Review Board



Meeting Minutes

**Mesa City Council Chambers - Lower Level, 20 East Main Street
Date: March 10, 2026 Time: 4:30 p.m.**

A meeting of the Design Review Board was held at 4:30 p.m.

MEMBERS PRESENT:

Chair Dane Astle
Vice Chair Ryan Circello
Boardmember Shelly Udall
Boardmember David Winstanley
Boardmember Megan Neal

MEMBERS ABSENT:

Boardmember Denise Dunlop

STAFF PRESENT:

Cassidy Welch
Chloe Durfee Daniel
Kwasi Abebrese
Sergio Solis
Vanessa Felix

OTHERS PRESENT:

(*indicates Boardmember or staff participated in the meeting using audio conference equipment)

1 Call meeting to order.

Chair Astle excused Boardmember Dunlop and welcomed everyone to the meeting at 4:30PM.

2 Consider the Minutes from February 10, 2026, Design Review Board Meeting.

A motion to approve the Minutes from the February 10, 2026, Design Review Board Meeting was made by Boardmember Neal and seconded by Vice Chair Circello.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Udall – Winstanley – Neal

NAYS – None

ABSENT – Dunlop

ABSTAINED – None

3 Discuss and take action on the following Design Review cases:

- 3a DRB25-00916. "Longbow Mixed-Use,"** 3.4± acres located approximately 1,700 feet west of the southwest corner of North Recker Road and East Longbow Parkway. Design review to allow for a 56,360± square foot Hotel and future commercial development. **(District 5)**

Staff Planner: Cassidy Welch

Recommendation: Approval with Conditions

See attached presentation.

The Board approved DRB25-00916 with the following conditions:

1. Compliance with the building elevations and landscape plans submitted
2. Design Review required for future commercial building pad site.
3. Compliance with all conditions of approval of Ordinance No. 4897 Case No. ZON25-00917.
4. Compliance with all City development codes and regulations, except as modified by Case No. ZON25-00917.
5. All signage requires separate review and approval.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Udall – Winstanley – Neal

NAYS – None

ABSENT – Dunlop

ABSTAINED – None

- 3b DRB26-00001. "Lot 19 - Gateway Airport Commerce Park,"** 1± acres located approximately 400 feet from the southeast corner of East Pecos Road and South 89th Place. Site Plan Modification and Design Review to allow for a 13,673± square foot Industrial development. **(District 6)**

Staff Planner: Sergio Solis

Recommendation: Approval with Conditions

See attached presentation.

The Board approved DRB26-00001 with the following conditions:

1. Compliance with the site plan, landscape plan, and elevations submitted with this request.
2. Compliance with all requirements of Case No. Z05-090 and DR07-057.
3. Compliance with all applicable City of Mesa Development Codes and Regulations.
4. The addition of any signage on the site will require review and approval of a separate permit per Section 11-47-3 of the MZO.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Udall – Winstanley – Neal

NAYS – None

ABSENT – Dunlop

ABSTAINED – None

4 Discuss and provide direction on the following Preliminary Design Review cases: *

4a DRB21-00065. "Greenfield Multifamily," 1.9± acres located approximately 2,000 feet north of the northwest corner of East Brown Road and North Greenfield Road. Design Review to allow for a 30-unit Multiple Residence development. **(District 2)**

Continued to April 14, 2026, Design Review Board Meeting

4b DRB25-00828. "Mesa Store Front," 3.9± acres located at 2849 East Main Street. Design Review to allow for a 2,093± square foot Automobile/Vehicle Sales development. **(District 2)**

Staff planner Kwasi Abebrese presented the case.
See attached presentation.

Staff planner Kwasi Abebrese summarized the case:

- Change the century stone to a different material that provides a modern look.
- Change the color of the proposed clear anodized metal framing to dark bronze.
- Incorporate some form of wall articulation in the proposed building design where there is a change in material.

4c DRB25-00969 "Power Village," 10± acres located at the northwest corner of East Broadway Road and South Power Road. Design Review to allow for modification to an existing Group Commercial development. **(District 2)**

Staff planner Chloe Durfee Daniel presented the case.
See attached presentation.

Staff planner Chloe Durfee Daniel summarized the case:

- No comments

5 Staff Update:

- No update

6 Adjournment: Boardmember Udall moved to adjourn the meeting and was seconded by Vice Chair Circello.

Vote: 6 – 0

Upon tabulation of votes, it showed:

AYES – Astle – Circello – Udall – Winstanley – Neal

NAYS – None

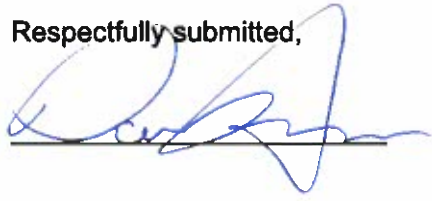
ABSENT – Dunlop

ABSTAINED – None

The meeting was adjourned at 5:21 p.m.

City of Mesa – Design Review Board – March 10, 2026 – Meeting Minutes

Respectfully submitted,



Chair Dane Astle



DRB25-00916

Longbow Mixed-Use

Mallory Ress, Senior Planner

March 11, 2026



Request

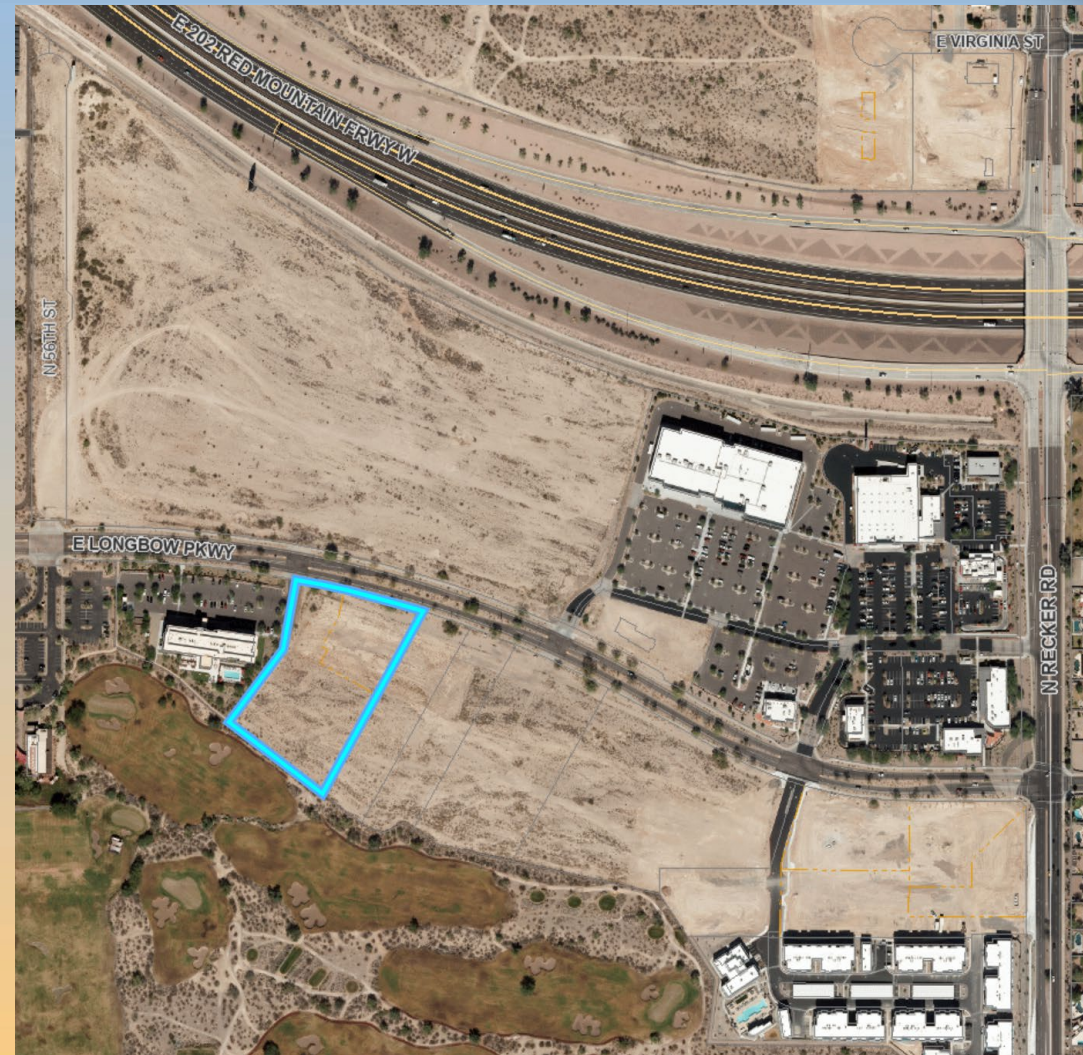
- Design Review
- To allow for a 56,360 sq. ft. Hotel and future commercial development





Location

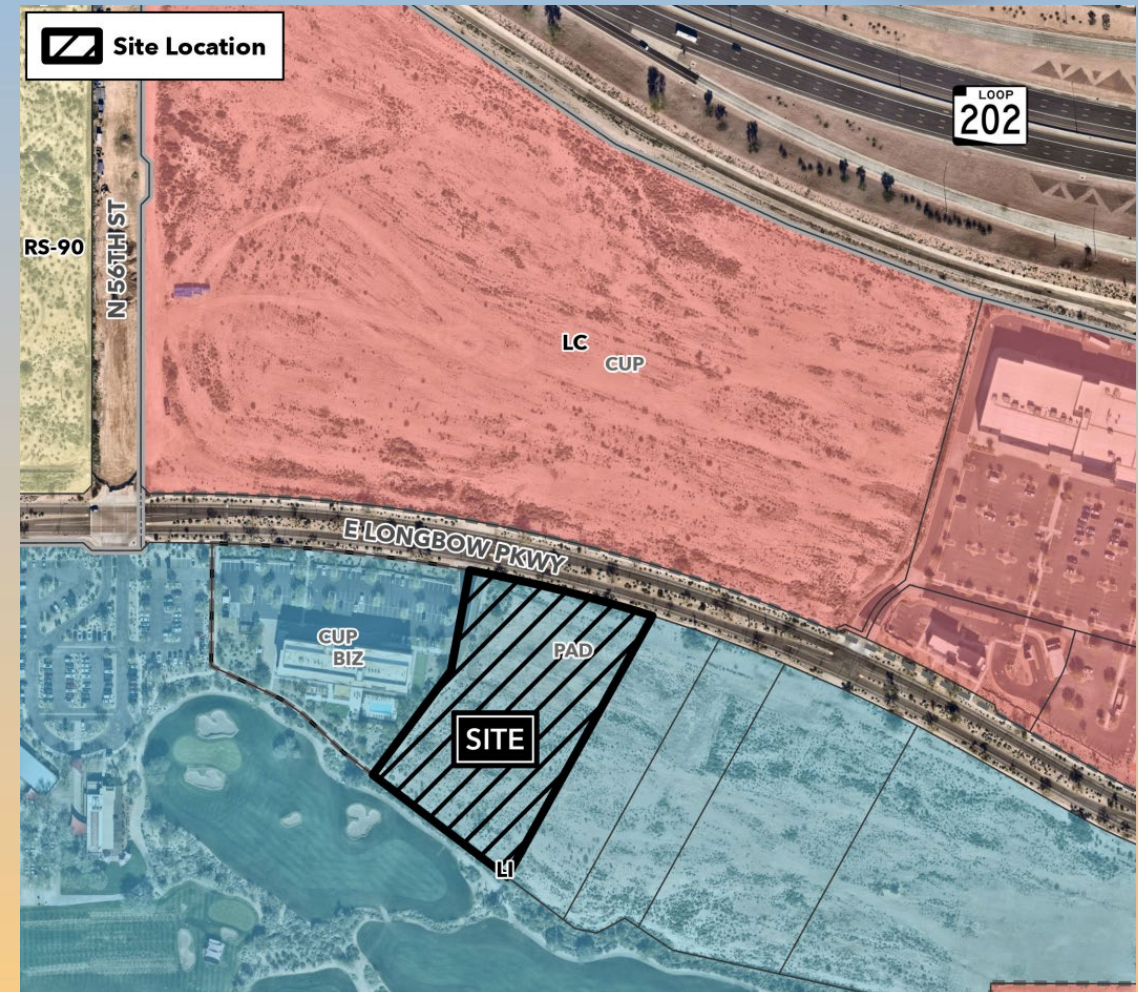
- South of Loop 202 Freeway
- West of Recker Road
- South of Longbow Parkway





Zoning

- Existing: Light Industrial with a Planned Area Development Overlay (LI-PAD)
- Proposed: Light Industrial with a Planned Area Development Overlay and a Bonus Intensity Zone Overlay (LI-PAD-BIZ)





Site Photos



Looking south towards the site



Site Plan

- 56,360 sq. ft. 4-story Hotel
- Future commercial pad
- Existing shared access from Longbow Parkway
- 183 parking spaces required; 131 spaces proposed with AUP





Landscape Plan



PLANT SCHEDULE

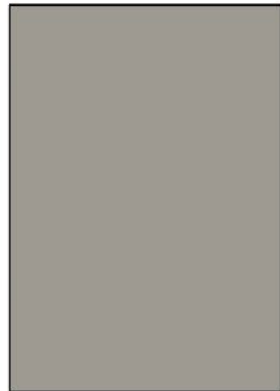
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES				
(Symbol)	Existing Tree (To Remain)			7
(Symbol)	Acacia Aneura	Mulga	24" Box	7
(Symbol)	Cercidium praecox	Palo Brea	24" Box	24
(Symbol)	Chilopsis linearis	Desert Willow	15 Gal	9
(Symbol)	Olneya tesota	Ironwood Tree	24" Box	15
(Symbol)	Olneya tesota	Ironwood Tree	36" Box	4
(Symbol)	Prosopis velutina 'Rio Salado'	'Rio Salado' Native Mesquite	24" Box	14
ACCENTS				
(Symbol)	Aloe barbadensis	Medicinal Aloe	5-Gal	46
(Symbol)	Dasyliion wheeleri	Desert Spoon	5-Gal	21
(Symbol)	Fouquieria splendens	Ocotillo	15-Gal	9
(Symbol)	Hesperaloe parviflora	Red Yucca	5-Gal	61
GRASSES				
(Symbol)	Muhlenbergia capillaris	Regal Mist Grass	5-Gal	130
SMALL SHRUBS				
(Symbol)	Ambrosia deltoidea	Bursage	5-Gal	18
(Symbol)	Encelia farinosa	Brittlebush	5-Gal	42
(Symbol)	Justicia spicigera	Mexican Honeysuckle	5-Gal	34
(Symbol)	Ruellia peninsularis	Baja Ruellia	5-Gal	134
TALL SHRUBS				
(Symbol)	Caesalpinia mexicana	Mexican Bird of Paradise	5-Gal	11
(Symbol)	Dodonaea viscosa	Hopseed Bush	5-Gal	36
(Symbol)	Larrea tridentata	Creosote Bush	5-Gal	15
(Symbol)	Leucophyllum frutescens 'Compacta'	Texas Sage	5-Gal	124
GROUND COVERS				
(Symbol)	Acacia 'Desert Carpet'	Desert Carpet Acacia	1-Gal	33
(Symbol)	Lantana montevidensis	Purple Lantana	1-Gal	37
(Symbol)	Lantana 'New Gold'	'New Gold' Lantana	1-Gal	27
PERENNIAL WILDFLOWERS				
(Symbol)	Hymenoxys acaulis	Angelita Daisy	1-Gal	12
(Symbol)	Penstemon parryi	Parry's Penstemon	1-Gal	17
(Symbol)	Ruellia Brittonia 'Katie'	'Katie' Ruellia	1-Gal	13
MISCELLANEOUS				
(Symbol)	Decomposed Granite - (Size: 1/2" Screened - Color: 'Desert Gold') 2" depth in all planting areas (typ)			
(Symbol)	Stabilized Decomposed Granite - (Size: 1/4" Minus - Color: 'Desert Gold') 3" compacted min. depth (with 1/2" x 8" deep steel plate edge on both sides of path)			
(Symbol)	SYNTHETIC TURF Synthetic Turf- Coronado Platinum By Arizona Artificial Lawns *1-2,462 SF			



Colors and Materials



**EL DORADO STONE
MADRONA
"CUT COARSE STONE"**



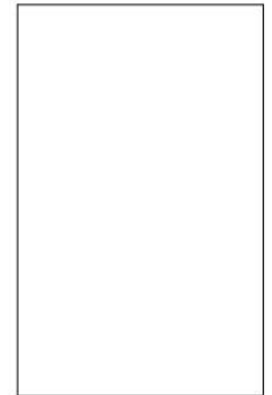
**STUCCO, SMOOTH
SW 9170
"ACIER"**



**CEMENT BOARD
SW 7068
"GRIZZLE GRAY"**



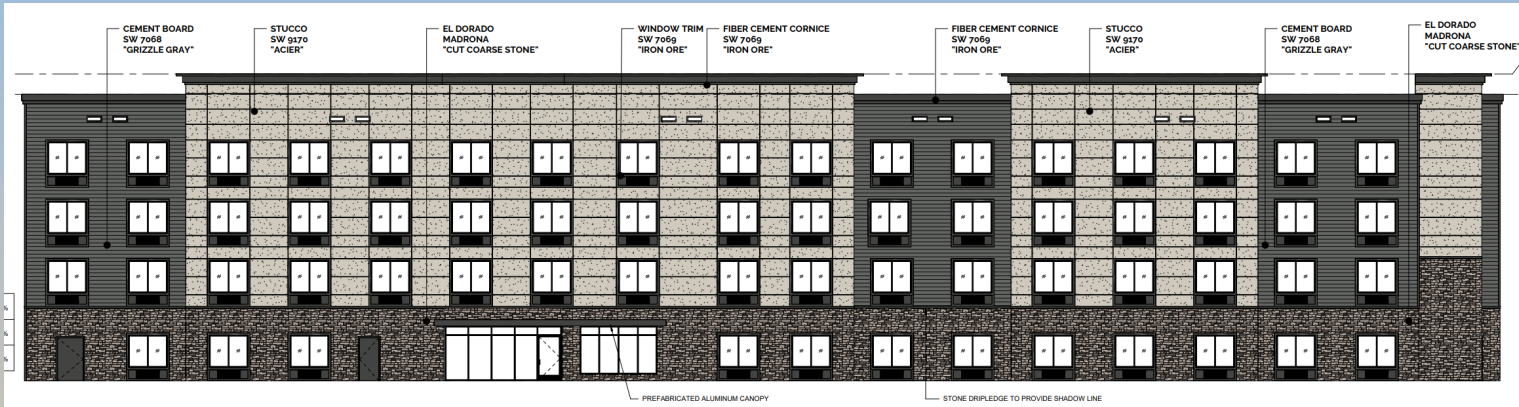
**CEMENT BOARD
WOODTONE
"WINCHESTER BROWN"**



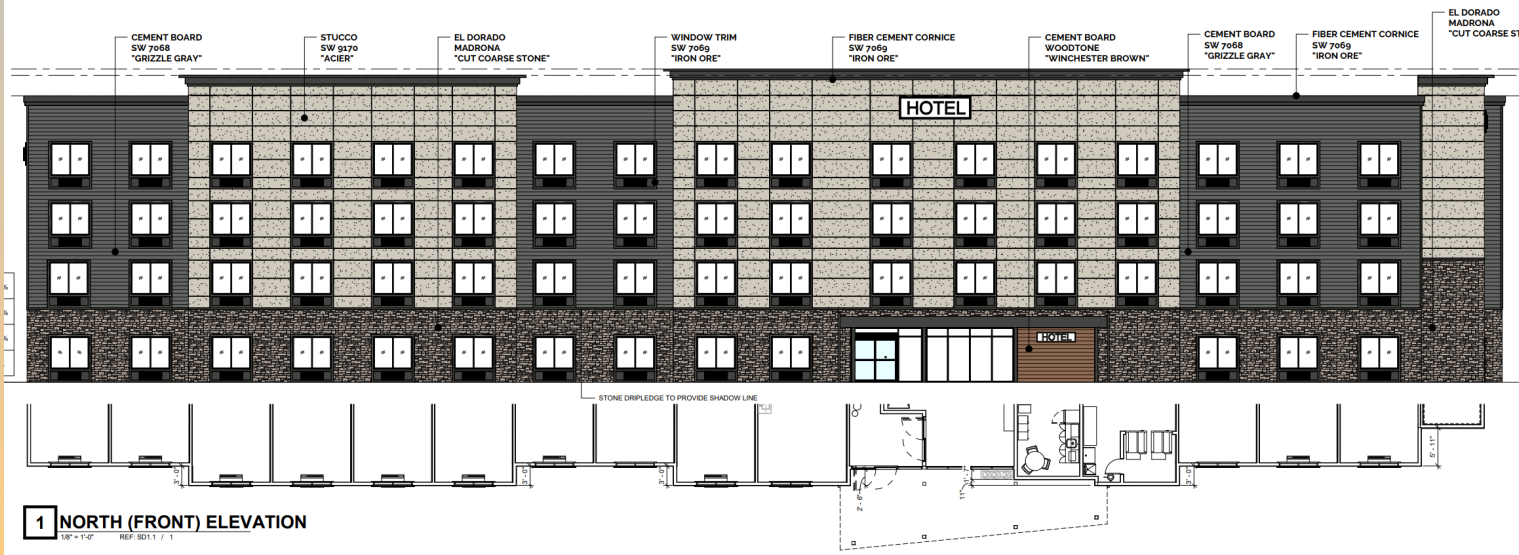
**ROOFING
WHITE TPO**



Elevations



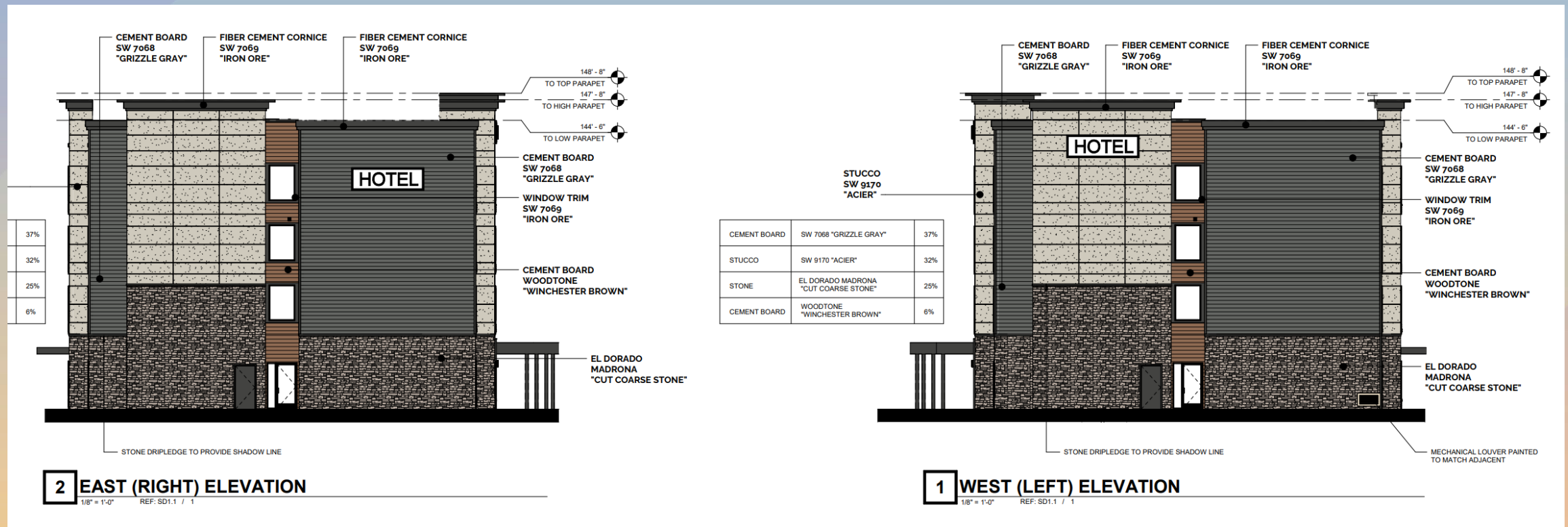
2 SOUTH (REAR) ELEVATION
1/8" = 1'-0" REF: S01.1 7 1



1 NORTH (FRONT) ELEVATION
1/8" = 1'-0" REF: S01.1 7 1



Elevations





Renderings





Renderings





Findings

Staff is seeking your review and decision on the following:

- ✓ Proposed building elevations and landscape plan

Staff recommends Approval with Conditions



DRB26-00001

Lot 19 - Gateway Airport Commerce Park

Sergio Solis, Planner I

March 10, 2026



Request

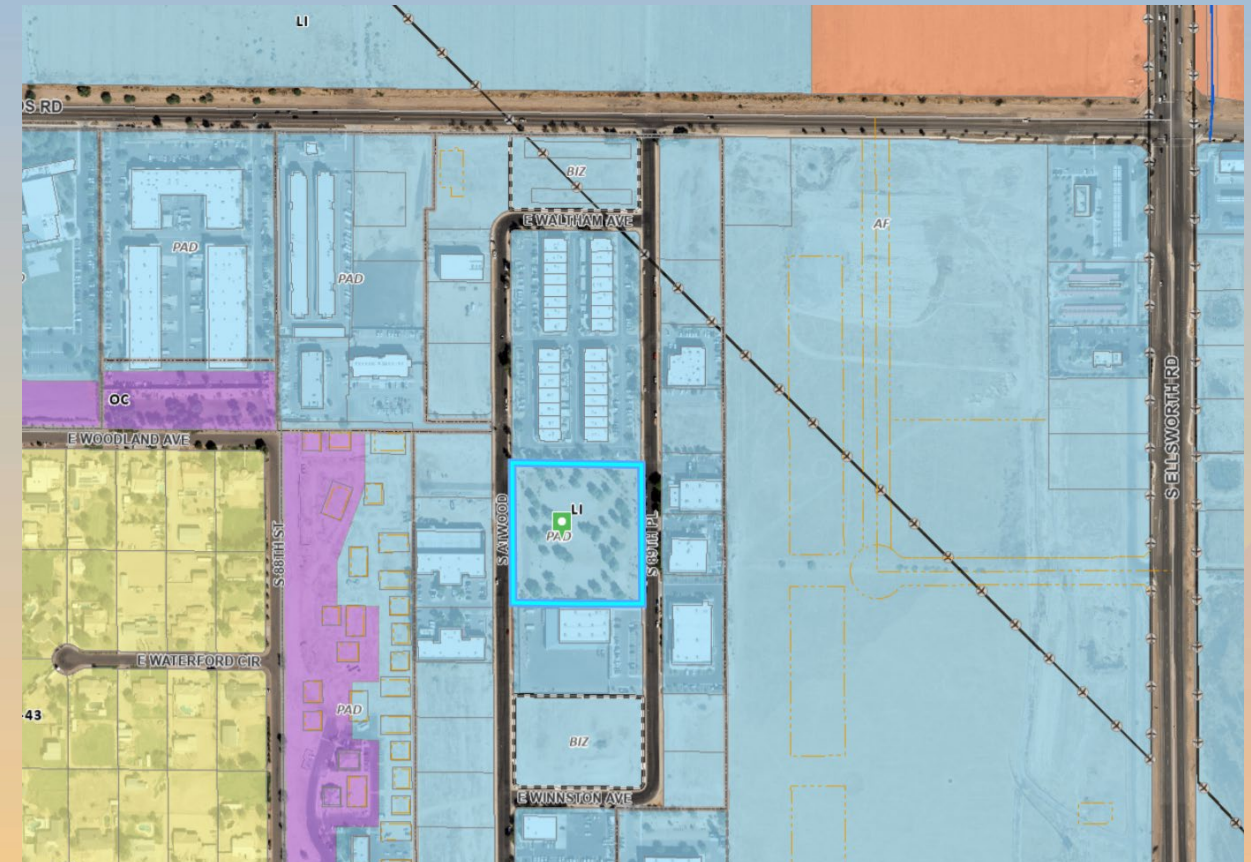
- Design Review
- Major Site Plan Modification
- To allow for a 13,673± square foot Industrial development





Zoning

- Light Industrial with a Planned Area Development Overlay (LI-PAD)
- Indoor Warehousing and Storage and Light-Industrial uses are permitted within the LI District.





Site Photo

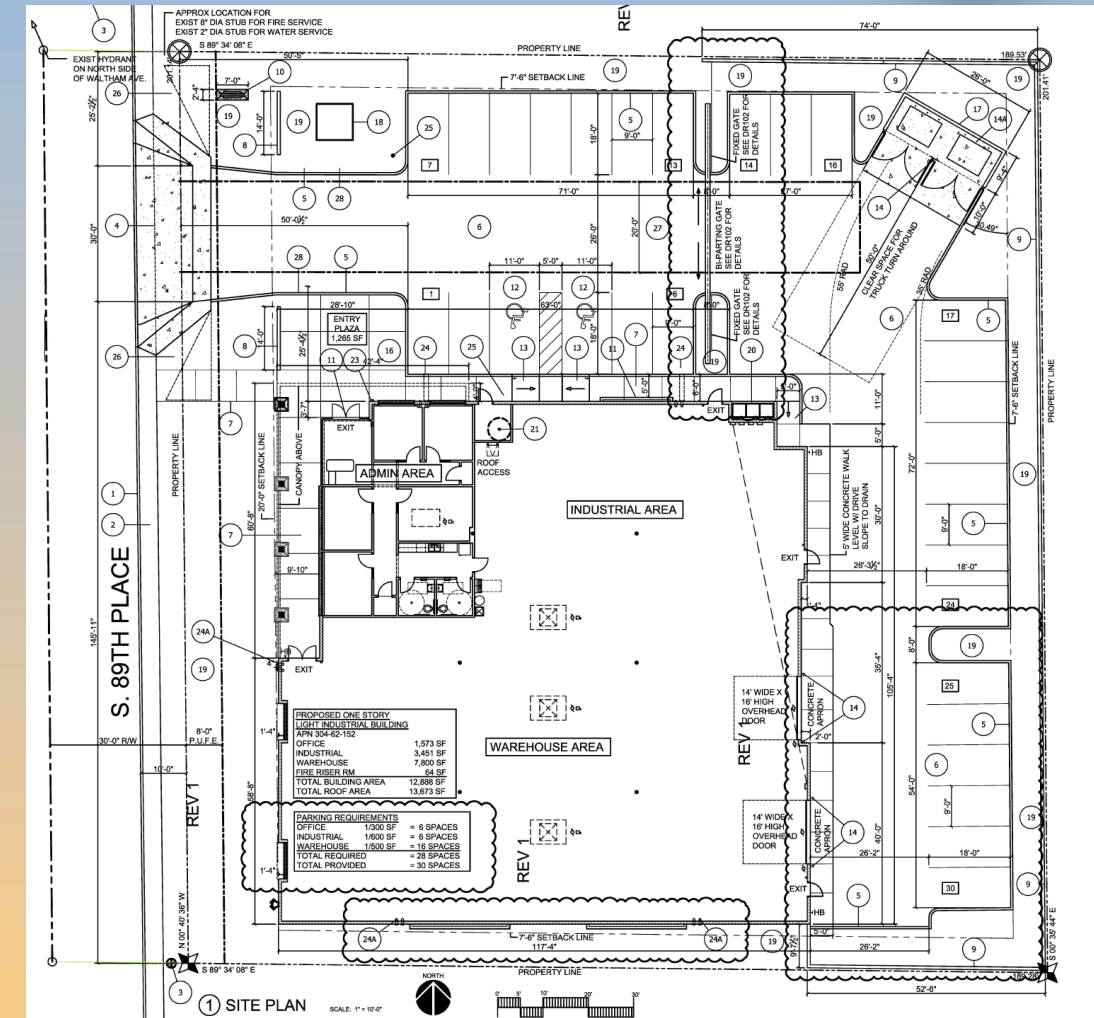


Looking east towards the vacant site



Proposed Site Plan

- 13,673± sq. ft. office/warehouse, industrial building
- Access provided from 89th Place via one ingress/egress drive aisle along the north side of the site
- Parking: 28 spaces required; 30 spaces provided

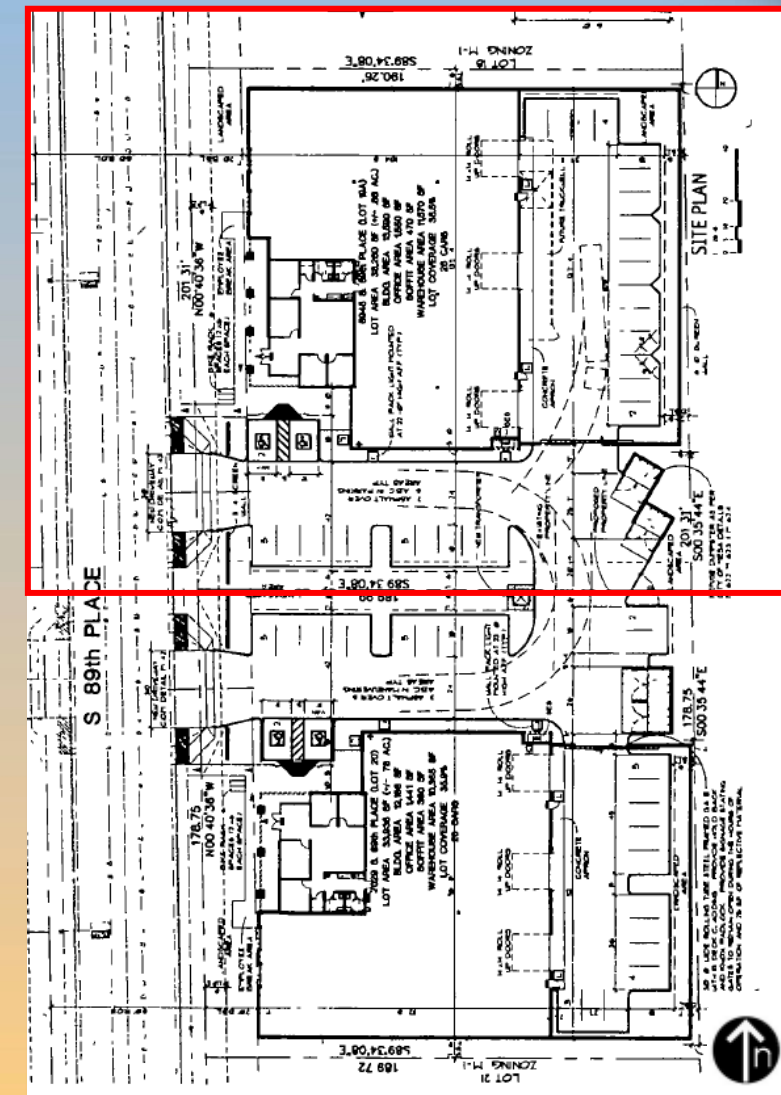




Previously Approved Site Plan

Case No. DR07-057

1. The south drive aisle will be modified to be at the north portion of the lot.
2. The location of the office will be modified to face north.









Landscape Plan

LANDSCAPE LEGEND

TREES

-  Parkinsonia hybrid
Desert Museum Multi trunk
24"/36" Box Multi trunk
-  Ulmus parvifolia
Chinese elm
24" Box
-  Acacia salicina
Willow acacia
24" Box

GROUND COVER

-  Lantana montevidensis
Gold Mound'
1 Gallon

D.G. 1/2" Screened Express Painted Desert
2" min thickness in all landscape areas

89TH PLACE

PROPERTY LINE = 201'
8 TREES REQUIRED
8 TREES PROVIDED (ALL 24" BOX OR LARGER)
48 SHRUBS REQUIRED
48 SHRUBS PROVIDED

NORTH PROPERTY LINE

PROPERTY LINE = 190'
8 TREES REQUIRED
8 TREES PROVIDED (ALL 24" BOX OR LARGER)
32 SHRUBS REQUIRED
32 SHRUBS PROVIDED







SOUTH PROPERTY LINE

PROPERTY LINE = 190'
8 TREES REQUIRED
8 TREES PROVIDED (ALL 24" BOX OR LARGER)
32 SHRUBS REQUIRED
32 SHRUBS PROVIDED

EAST PROPERTY LINE

PROPERTY LINE = 201'
8 TREES REQUIRED
8 TREES PROVIDED (ALL 24" BOX OR LARGER)
32 SHRUBS REQUIRED
32 SHRUBS PROVIDED

SHRUBS

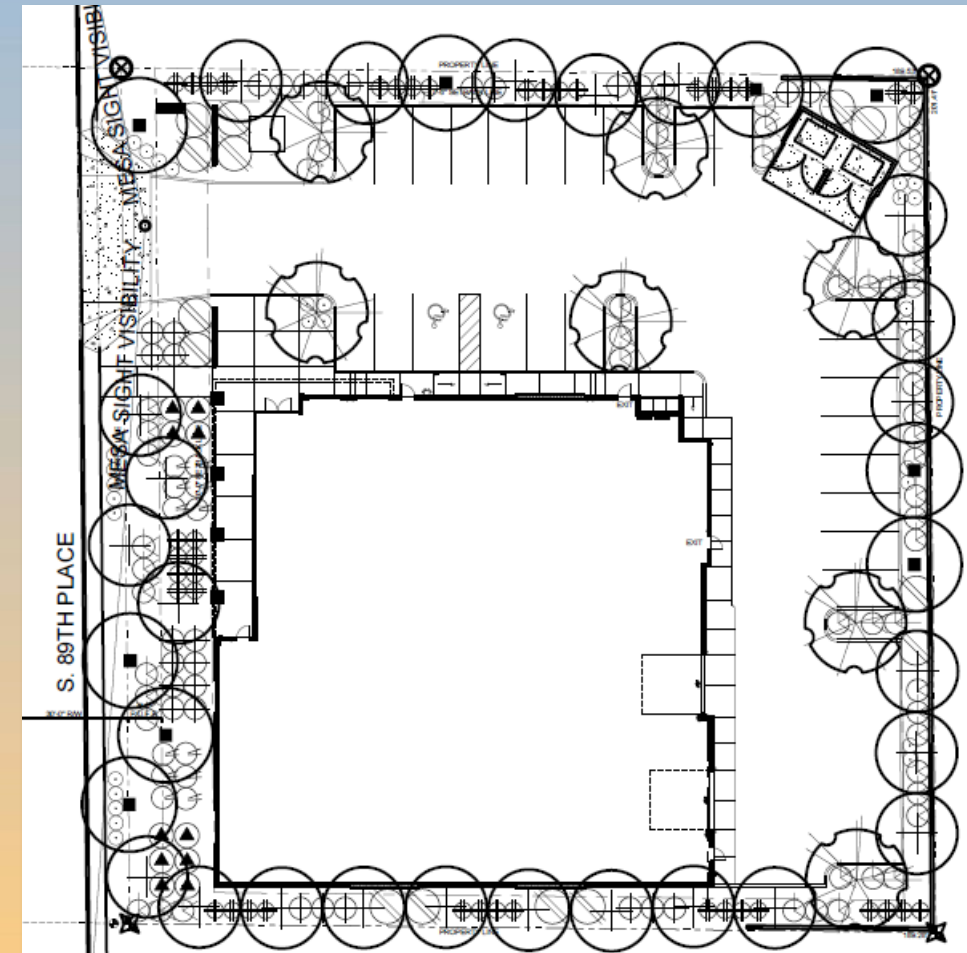
-  Dasylirion wheeleri
Desert spoon
5 Gallon
-  Agave webberii
Webber's agave
5 Gallon
-  Baccharis hybrid 'Starn'
Starn's Coyote Bush
5 Gallon
-  Tecoma stans
Orange Jubilee
5 Gallon
-  Hesperaloe parviflora
Red Yucca
5 Gallon
-  Lantana montevidensis
Dallas Red Lantana
5 Gallon

PARKING LOT

PROPERTY LINE = 649'
8 TREES REQUIRED
8 TREES PROVIDED
24 SHRUBS REQUIRED
24 SHRUBS PROVIDED

LANDSCAPE COVERAGE

LANDSCAPE AREA: 8,714 SQ.FT.
LANDSCAPE COVERAGE REQUIRED: 4,357 SQ.FT. (50%)
LANDSCAPE COVERAGE PROVIDED: 5,054 SQ.FT. (58%)



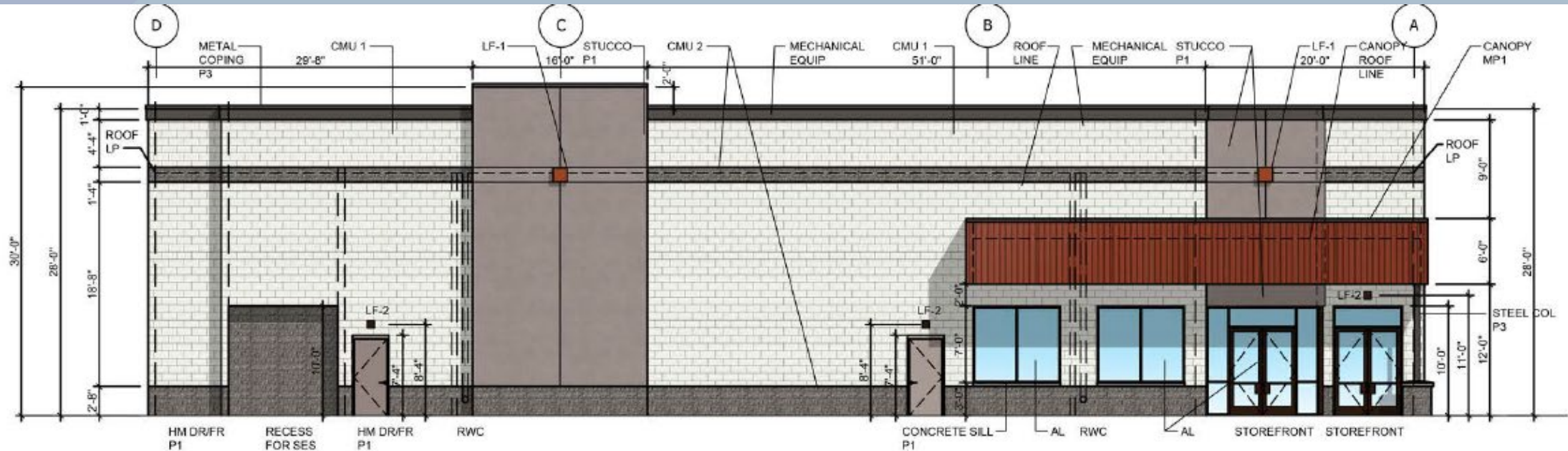


Colors & Materials

<p>ALUMINUM STOREFRONT SYSTEM</p> <p>MANU: ARCADIA AFG451T (FRAMING WITH THERMAL BREAK) TYPE: MEDIUM STYLE DOOR COLOR: AB-5, MEDIUM BRONZE GLAZING: VITRO SOLORGRAY 90 1" INSULATING GLASS UNIT VLT 25%, EXT. REFL. 8%, INT. REFL. 11% U-VALUE (ARGON) 0.24, SHGC 0.22, LSG 1.14</p>	<p>CONCRETE MASONRY</p> <p>MANU: OLD CASTLE - ECHELON TYPE: PRECISION (GROUND FACE MASONRY UNIT) COLOR: ASPEN INSULATED CMU WITH CORE-FILL 500 FOAM INSULATION 8" CMU, R-8, 12" CMU, R-10</p>	<p>CONCRETE MASONRY</p> <p>MANU: OLD CASTLE - ECHELON TYPE: SPLIT FACE COLOR: RUTHERFORD GREY INSULATED CMU WITH CORE-FILL 500 FOAM INSULATION 8" CMU, R-8, 12" CMU, R-10</p>	<p>ALUM COPING & FASCIA</p> <p>ATAS INTERNATIONAL, 0.040 PRE-FINISHED 4" HIGH, WITH 12" HIGH FASCIA CONTINUOUS 22 GA. CLEAT SEALANT AT ALL SPLICES</p>
<p>PAINT</p> <p>(STUCCO FIELD, HM DOORS/FRAME, OVERHEAD DOORS) MANU: SHERWIN WILLIAMS COLOR: POISED TAUPE SW 6039 232-C5</p>	<p>PAINT</p> <p>(CONCRETE SILL) MANU: SHERWIN WILLIAMS COLOR: URBANE BRONZE SW7048 245-C7</p>	<p>PAINT</p> <p>(ALUM COPING, COLUMNS) MANU: SHERWIN WILLIAMS COLOR: URBANE BRONZE SW7048 245-C7</p>	<p>PAINT</p> <p>(BOLLARDS) MANU: SHERWIN WILLIAMS COLOR: SUNFLOWER SW6678 133-C7</p>
<p>METAL PANEL FASCIA</p> <p>MANU: PAC CLAD MATERIAL: BOX RIB 1, 24 GA. ALUMINUM REFLECTIVITY 0.49, 3 YEAR EXPOSURE 0.50 EMISSIONS 0.86, SRI 56 COLOR: SHERWIN WILLIAMS SIERRA REDWOOD SW7598 125-C7</p>	<p>LIGHT FIXTURE</p> <p>VISA LIGHTING OW 1725 - SOUTHRIDGE - DECORATIVE SCONCE 18"W X 18"H X 5.5"D SOURCE L30K(L), CCT 3000K, DELIVERED LUMENS 1400, POWER 31 WATTS COLOR: TRCN - TERRACOTTA CANYON</p>	<p>LIGHT FIXTURE</p> <p>LITHONIA LIGHTING - D SERIES SIZE 2 LED WALL LUMINAIRE 5.5"W X 4"H X 1.5"D SERIES DSXW2LED, LUMEN PACKAGE P4 7200 LUMENS, CCT 30K 3000K COLOR: DDXB - DARK BRONZE</p>	<p>DOWNSPOUT NOZZLE</p> <p>JOSAM 25010 DOWNSPOUT NOZZLE MATERIAL: BRONZE SIZE: 6" OVERFLOW DRAIN, LOCATE 18" A.F.</p>

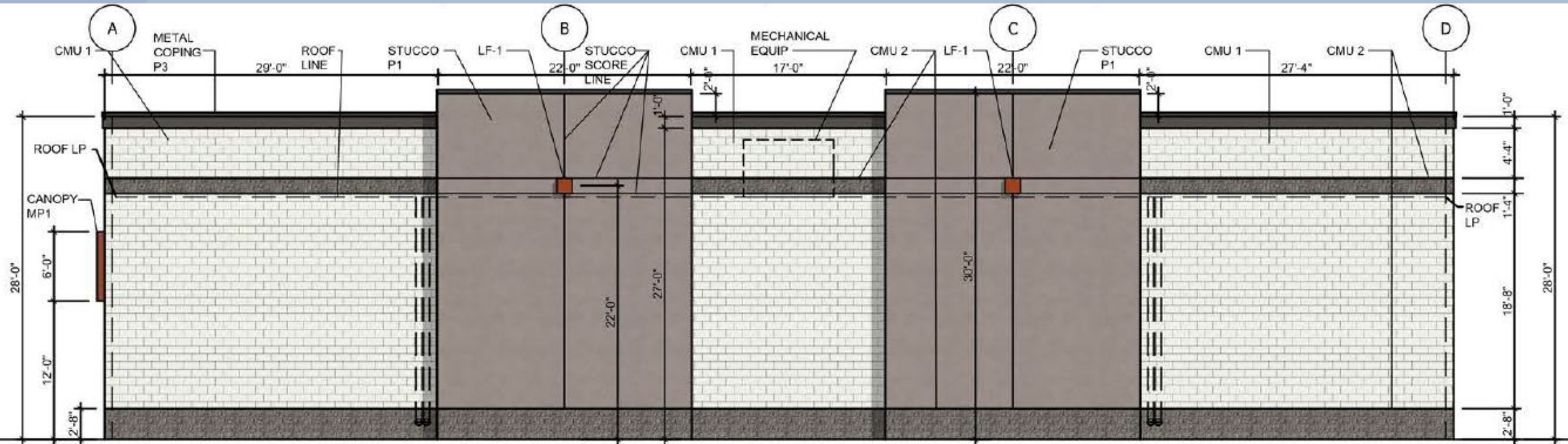


North Elevation



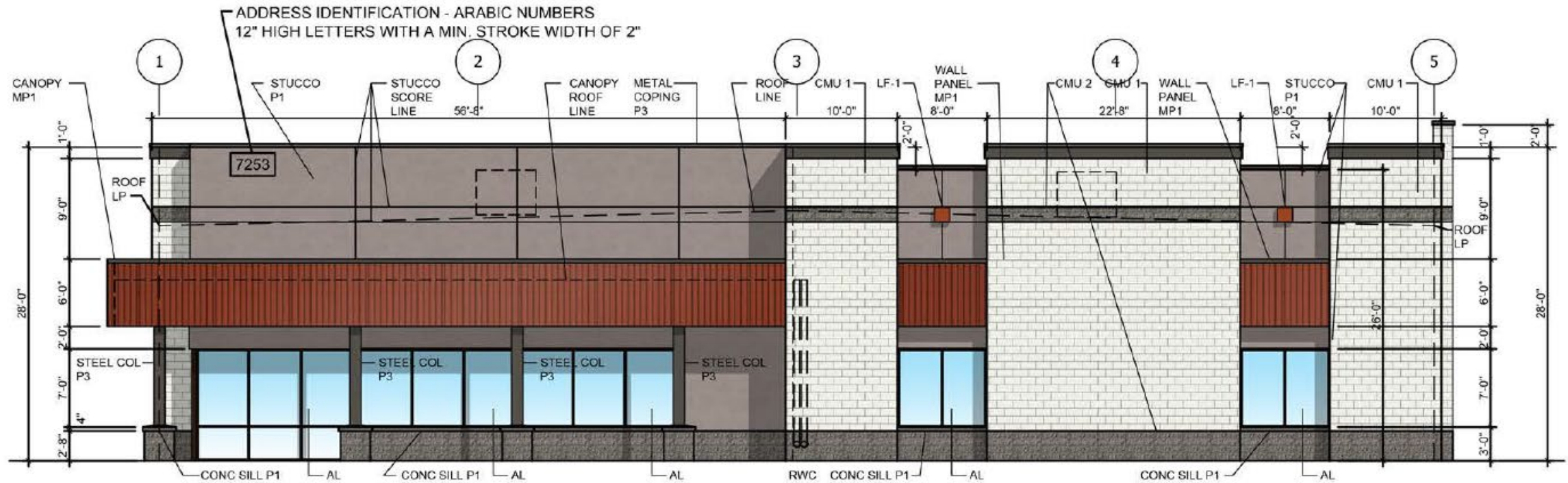


South Elevation





West Elevation





Renderings





Renderings





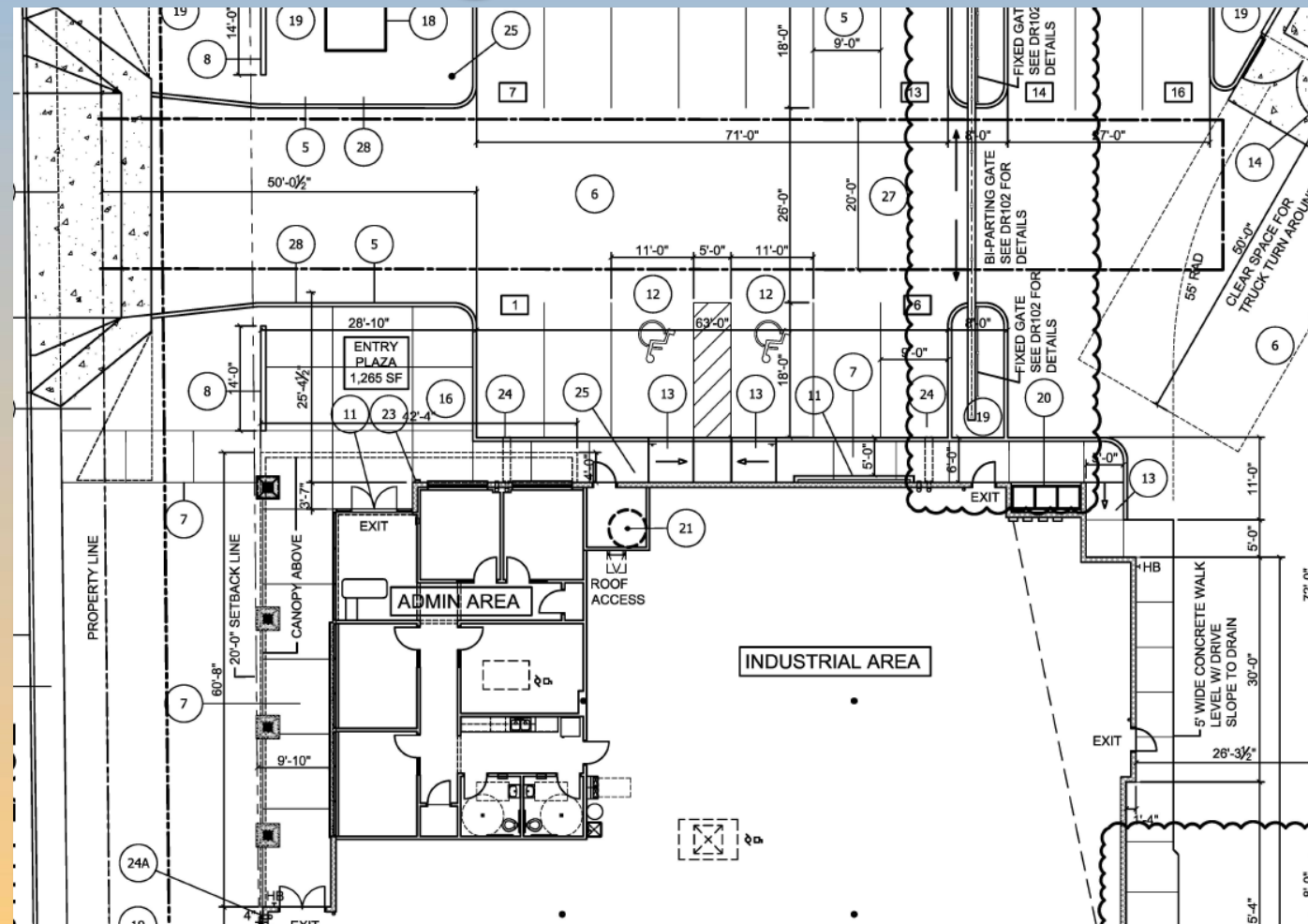
Findings

- ✓ Complies with the 2050 Mesa General Plan
- ✓ Complies with the Mesa Gateway Strategic Development Plan
- ✓ Meets the review criteria for Site Plan Review outlined in Section 11-69-5 of the MZO

Staff recommends Approval with Conditions



Enlarged Site Plan





DRB25-00828

Mesa Store Front

Kwasi Abebrese, Planner II

March 10, 2026



Request

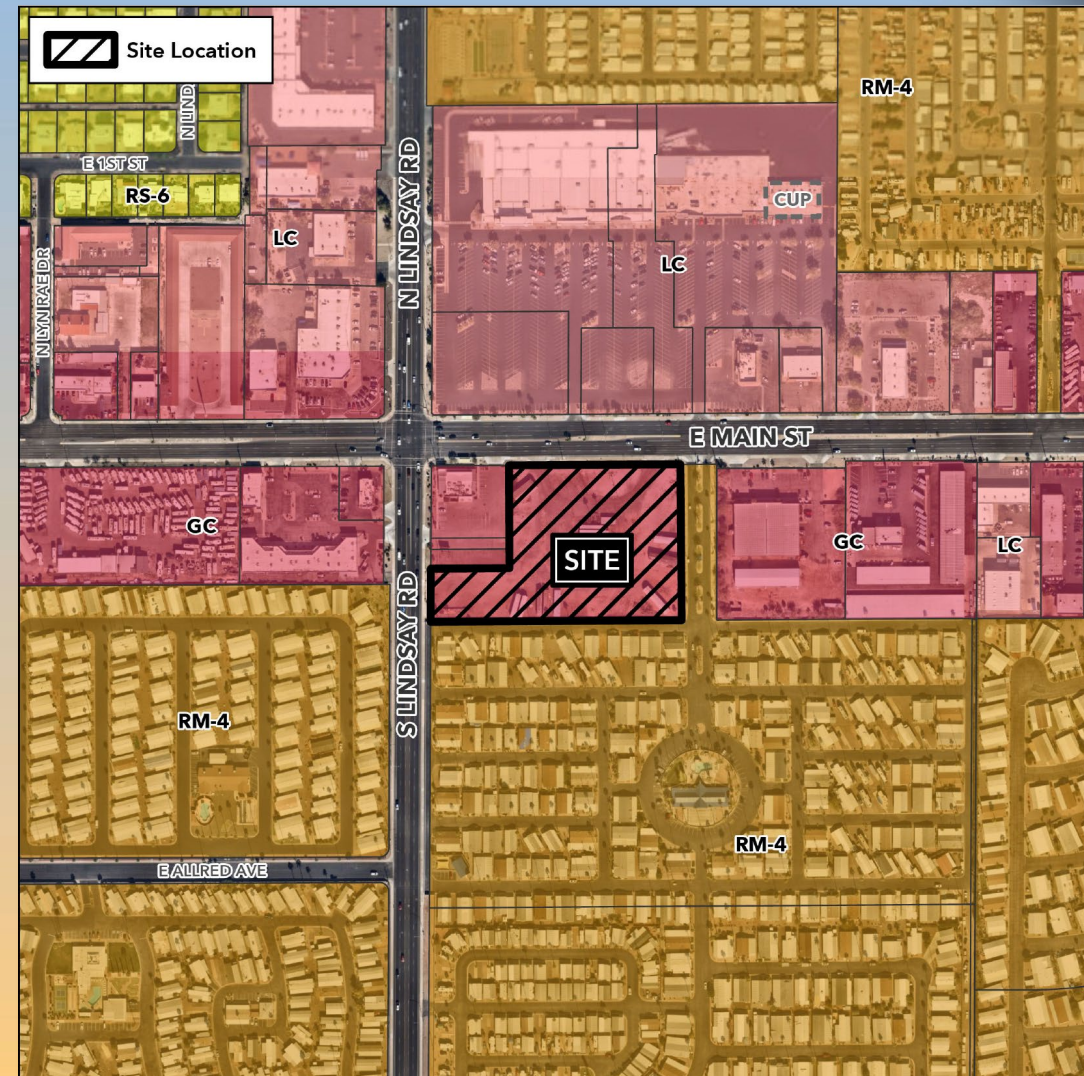
- Design Review
- To allow for a 2,093± square foot Automobile/Vehicle Sales development





Location

- South side of Main Street
- East side of Lindsay Road





Site Photo

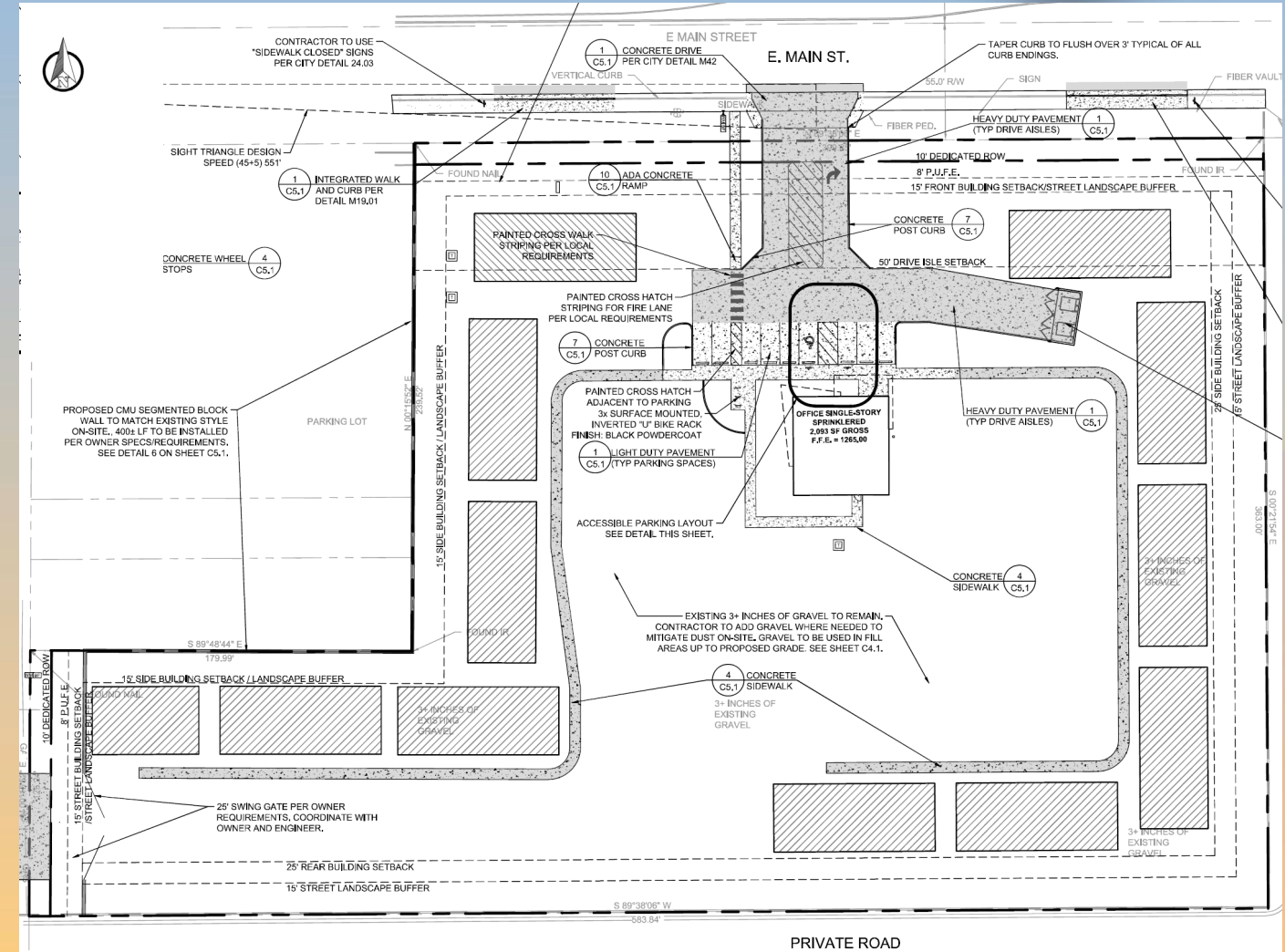


Looking south towards the site from Main Street



Site Plan

- Approx. 2,093 square foot office building
- Access from Main Street
- 6 parking spaces required; 8 spaces provided





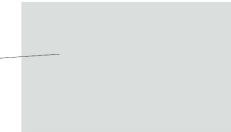
Color & Material Board



Architectural powder coated metal panel systems



UNITED STEEL CEDAR DISTRESSED



UNITED STEEL REGAL WHITE



UNITED STEEL LIGHT GRAY



UNITED STEEL TRUE BLUE



UNITED STEEL MATTE BLACK



Arcadia Glass Clear Anodized framing w/
Solar Ban 60 glass



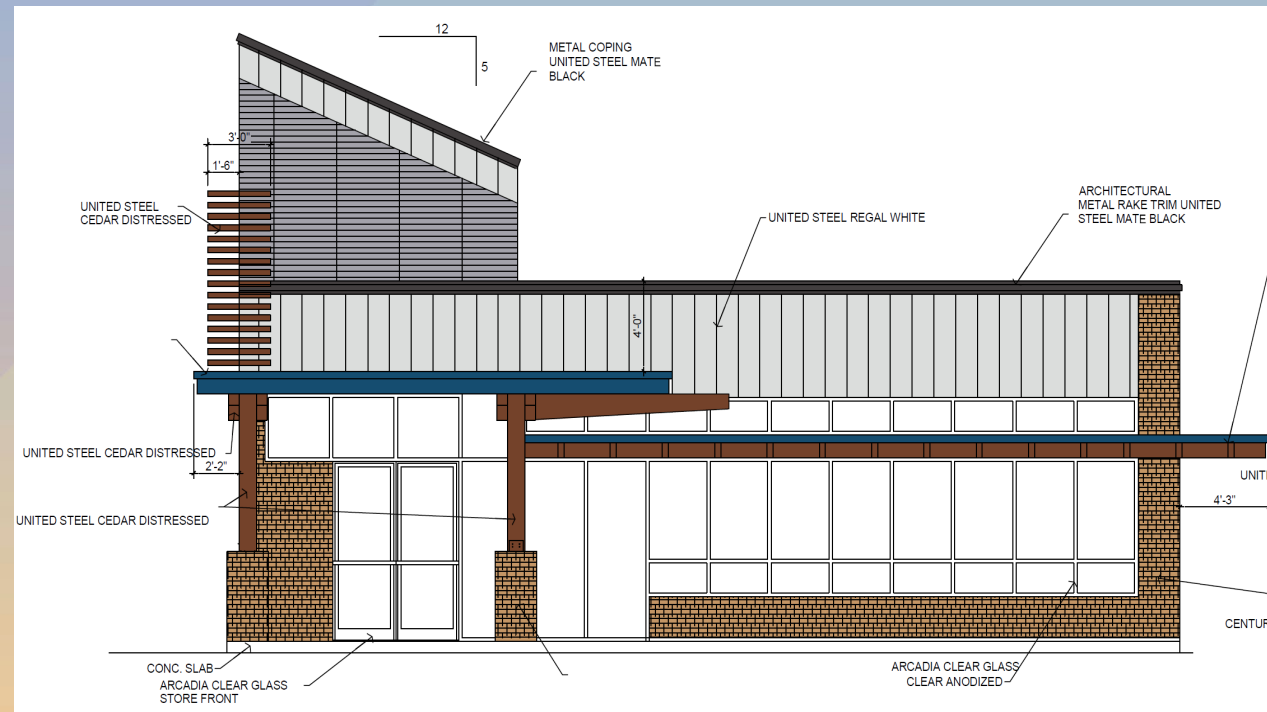
Solarban® 60 Starphor® Glass



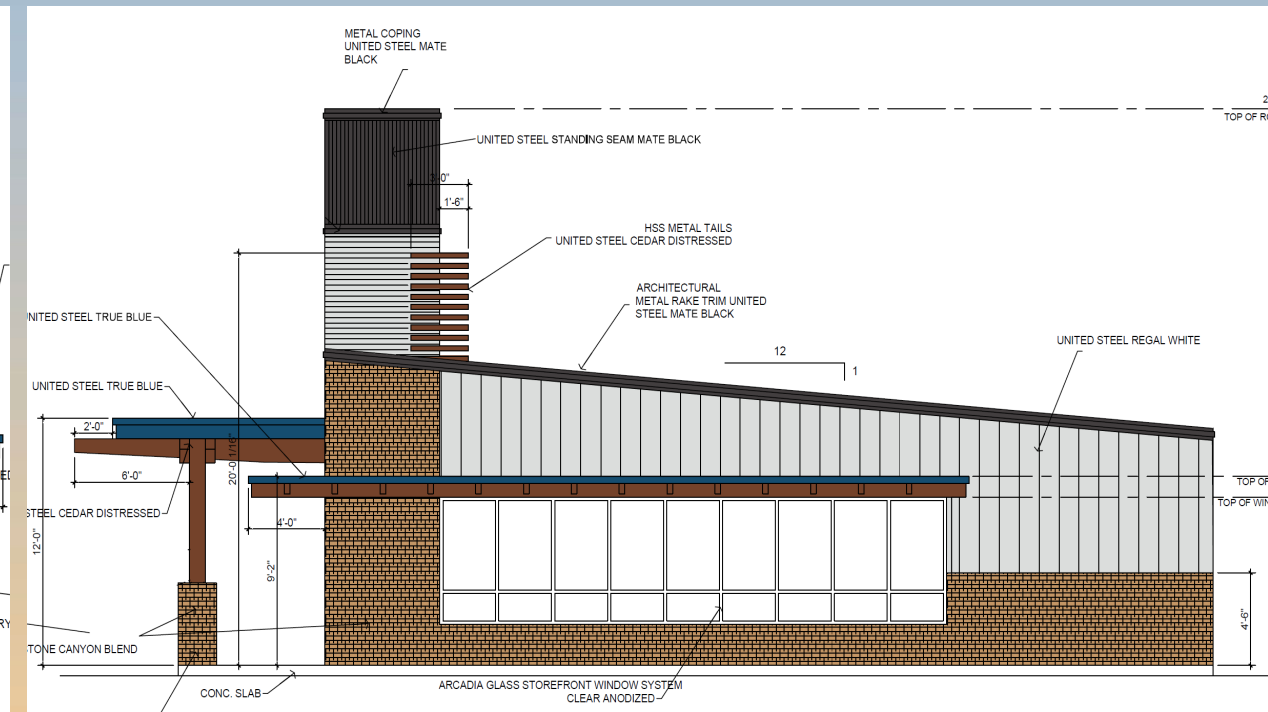
CENTURY STONE CANYON BLEND



Elevations



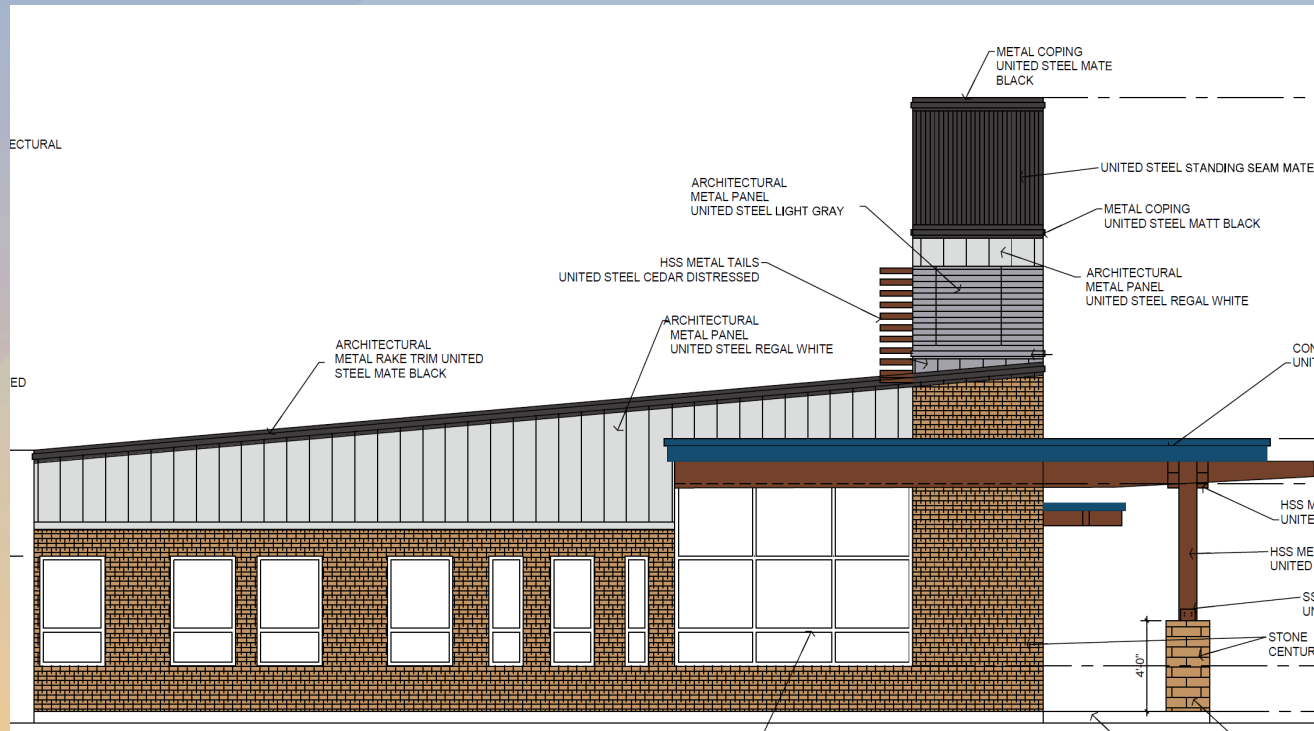
North Elevation



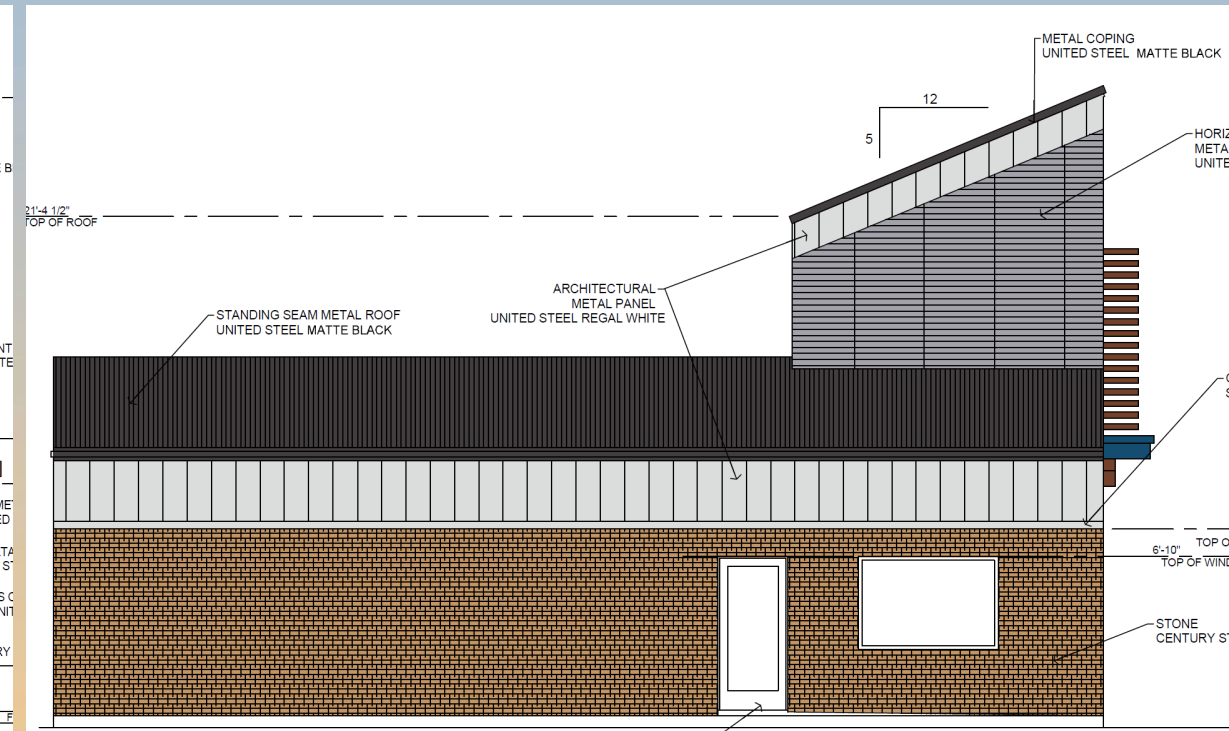
West Elevation



Elevations



East Elevation



South Elevation



Renderings





Renderings





Alternative Compliance

- ✓ Roof Articulation. Minimum vertical modulation is 2 feet or $1/10$ multiplied by the wall height, not to exceed $1/3$ the height of the supporting wall



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape design
- ✓ Alternative compliance request

Staff welcomes any feedback



DRB25-00969

Power Village

Chloe Durfee Daniel, Planner II

March 10, 2026



Request

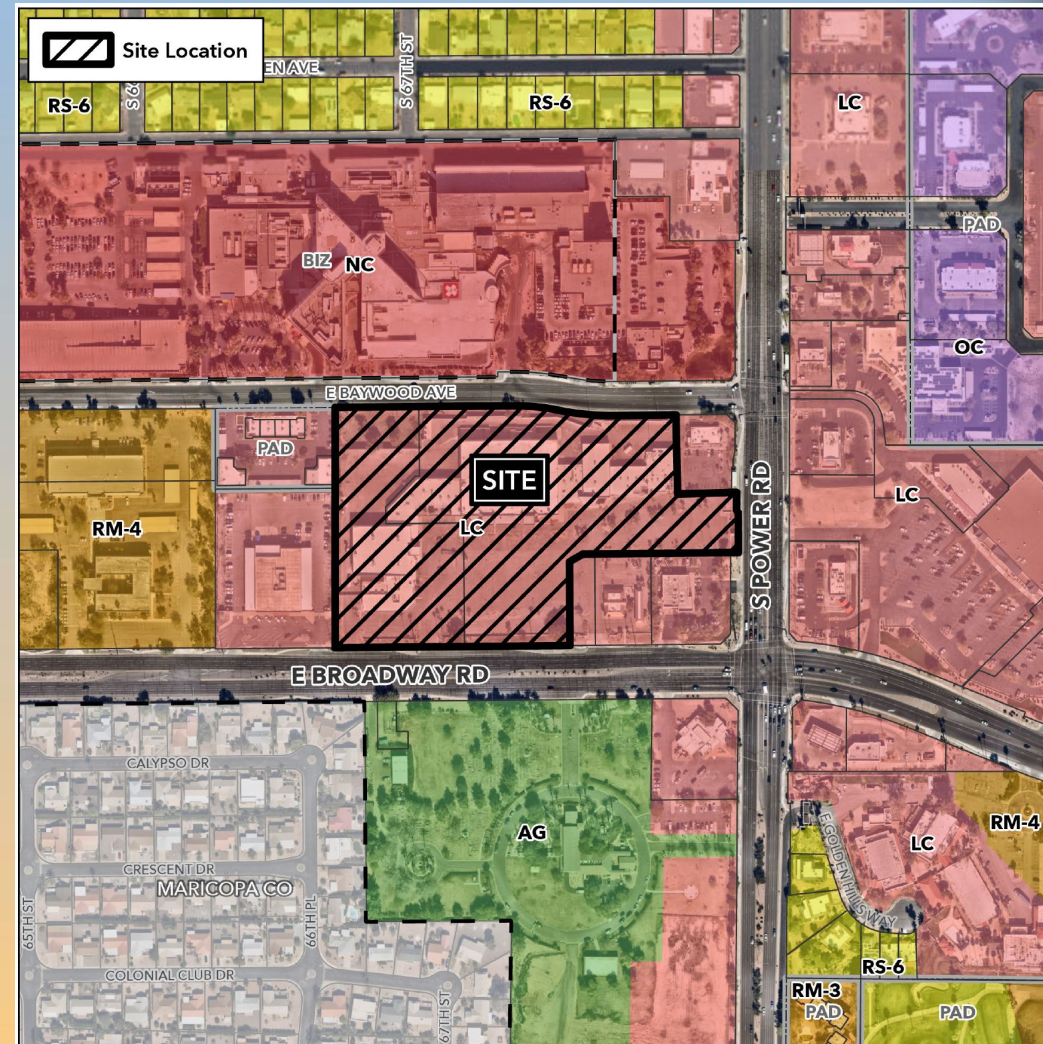
- Design Review
- To allow for modification to an existing Group Commercial development





Location

- North side of Broadway Road
- West of South Power Road





Site Photo



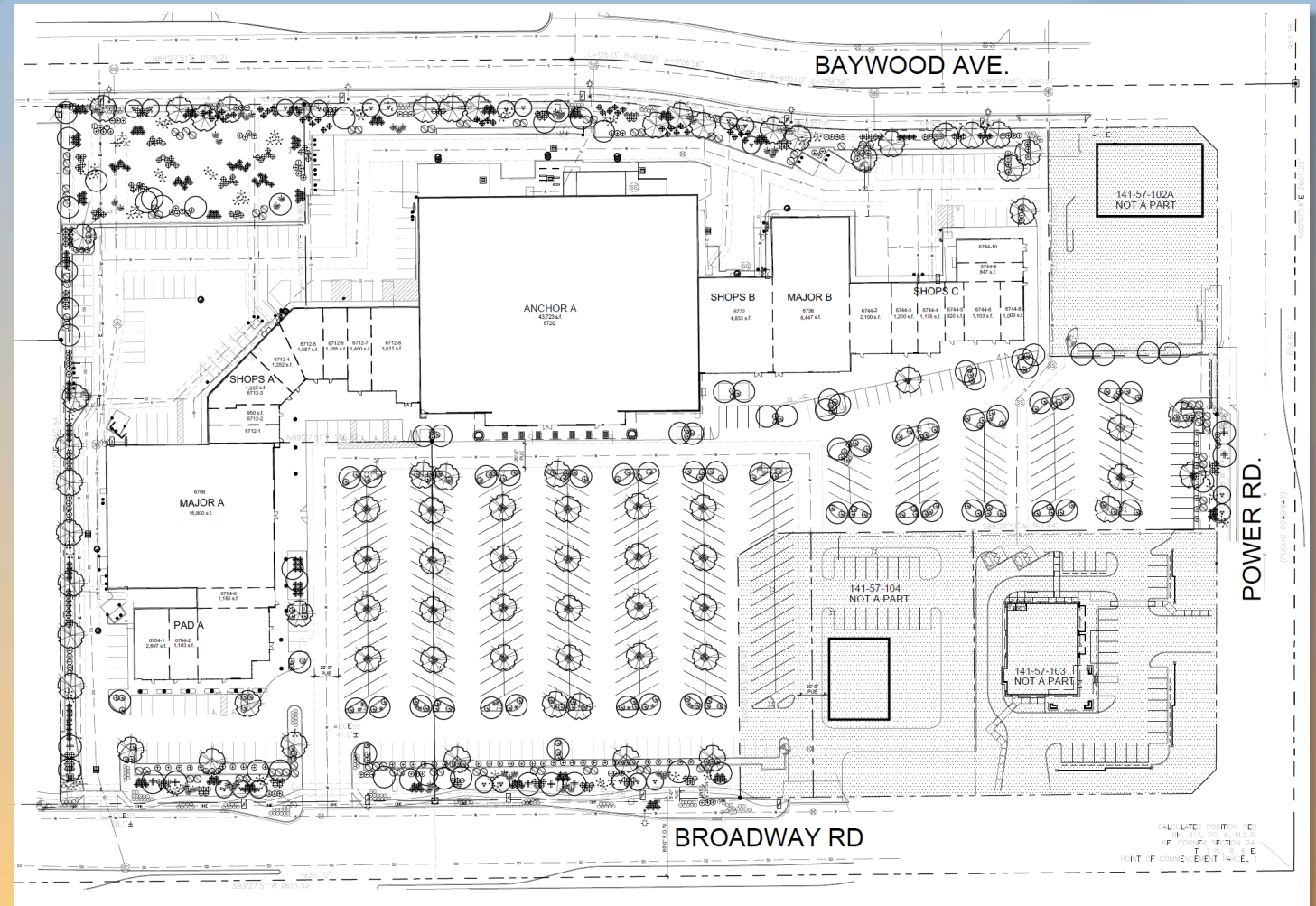
Looking northwest on the site



Landscape Plan

LANDSCAPE LEGEND

	OLEA EUROPEA 'WILSONII' FRUITLESS / POLLENLESS OLIVE 3/4" BOX (MATCHING) (67) MATURE CANOPY: 600 SQ.FT
	PISTACIA X 'RED-PUSH' RED PUSH PISTACHE 3/6" BOX (9) MATURE CANOPY: 600 SQ.FT
	CAESALPINIA CASCALACO 'SMOOTHIE' CASCALOTE 3/6" BOX (22) MATURE CANOPY: 450 SQ.FT
	EXISTING TREE PROTECT FROM CONSTRUCTION MATURE CANOPY: 600 SQ.FT
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' 5 GALLON
	EREMOPHILA MACULATA VALENTINE EMU BUSH 5 GALLON
	AGAVE DESMETTIANA SMOOTH AGAVE 5 GALLON
	HESPERALOE PARVIFLORA RED YUCCA 5 GALLON
	HESPERALOE PARVIFLORA YELLOW YUCCA 5 GALLON
	TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON
	CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON
	DASYLERION LONGISSIMA TOOTHLESS DESERT SPOON 5 GALLON
	ROSEMARINUS PROSTRATA TRAILING ROSMARY 5 GALLON
	LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON
	LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON
1/2" SCREENED TABLE MESA BROWN DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS	





Building Elevations

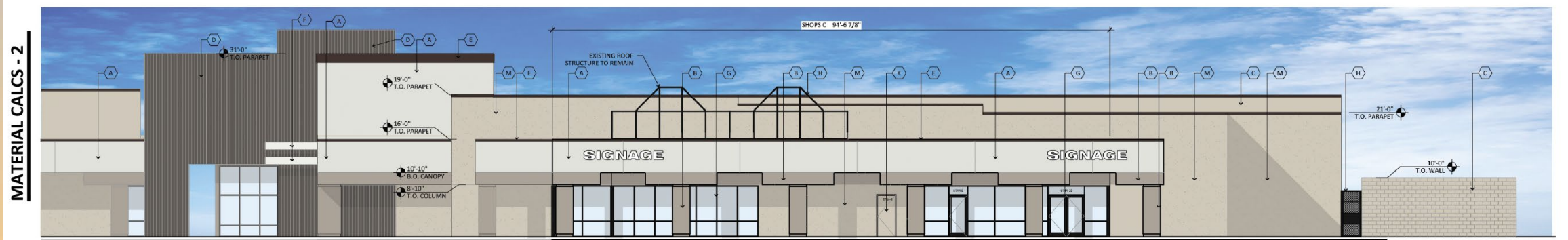




Building Elevations



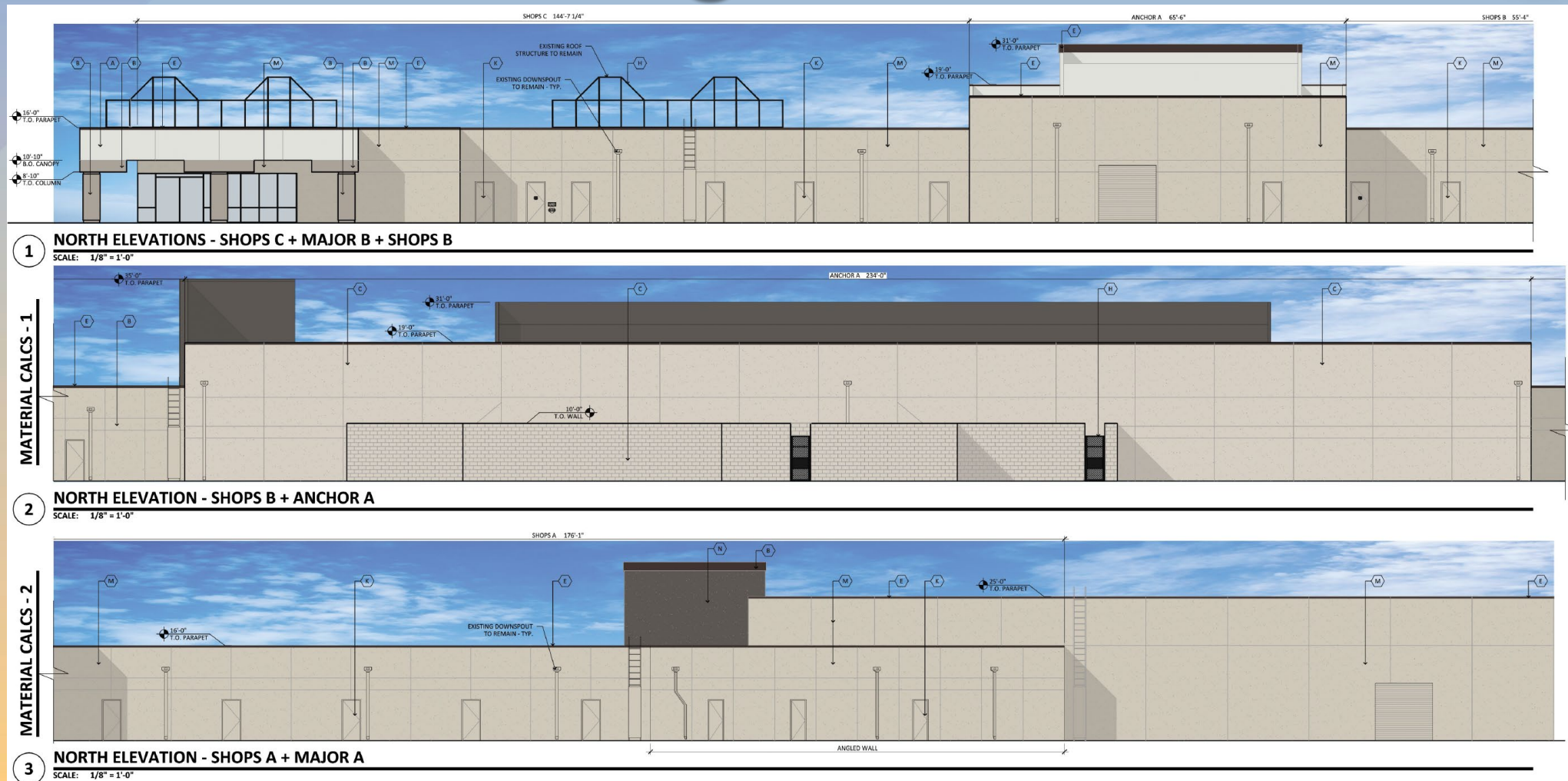
1 EAST ELEVATIONS - MAJOR A + SHOPS
SCALE: 1/8" = 1'-0"



2 EAST ELEVATIONS - SHOPS C
SCALE: 1/8" = 1'-0"

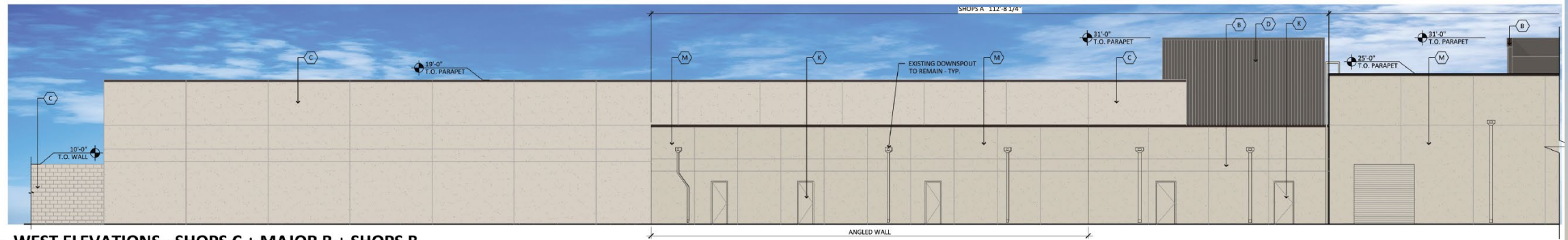


Building Elevations

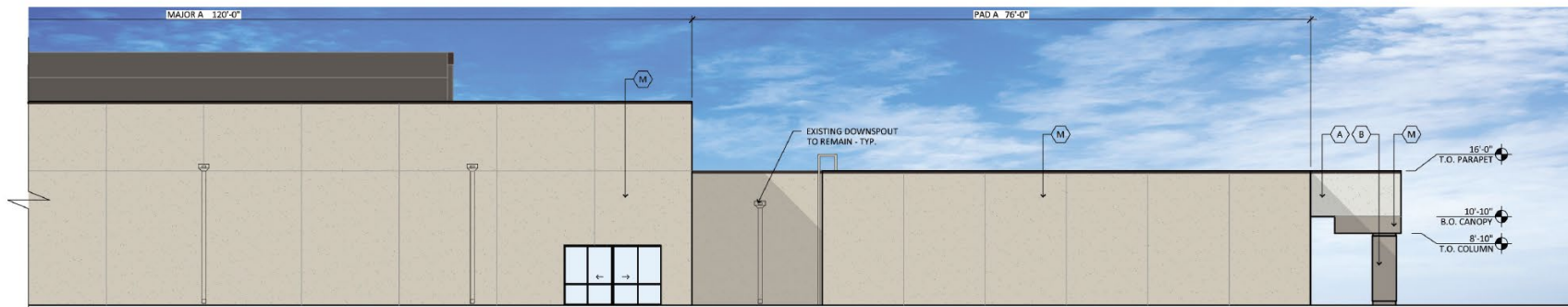




Building Elevations



1 WEST ELEVATIONS - SHOPS C + MAJOR B + SHOPS B
SCALE: 1/8" = 1'-0"



2 WEST ELEVATIONS - SHOPS C + MAJOR B + SHOPS B
SCALE: 1/8" = 1'-0"



Renderings





Renderings





Renderings





Renderings





Colors and Materials

<p>A - PAINT: STUCCO MFG : GLIDDEN GLIDDEN COLOR : TUNDRA FROST</p>	<p>B - PAINT: STUCCO/CMU/CONCRETE MFG : SHERWIN WILLIAMS COLOR : FUNCTIONAL GRAY SPEC : SW 7024</p>	<p>C - PAINT: STUCCO MFG : SHERWIN WILLIAMS COLOR : MODERN GRAY SPEC : SW 7632</p>	<p>D - VERTICAL WOOD SIDING: MFG : FIBERON STYLE : WILDWOOD CLADDING COLOR : PALO</p>
<p>E - PAINT: MFG : SHERWIN WILLIAMS COLOR : BLACK BEAN SPEC : SW 6006</p>	<p>F - PAINT: METAL MFG : SHERWIN WILLIAMS COLOR : EXTRA WHITE SPEC : SW 7006</p>	<p>G - STOREFRONT: MFG : EXISTING COLOR : BLACK</p>	<p>H - PAINT: MFG : GLIDDEN COLOR : BLACK GLOSS</p>
<p>K - METAL DOORS PAINTED: MFG : SHERWIN WILLIAMS COLOR : MATCH ADJACENT WALL</p>	<p>L - TILE VENEER: MFG : PORTOBELLO AMERICA COLOR : AETERNA AVORIO STYLE : AETERNA COATING (POLISHED)</p>	<p>M - PAINT: CMU/STUCCO MFG : GLIDDEN PPG COLOR : MOTH GRAY SPEC : PPG1024-4</p>	<p>N - PAINT: STUCCO MFG : GLIDDEN PPG COLOR : UNDERCOVER SPEC : PPG0998-7</p>



Alternative Compliance

- ✓ Materials. No more than 50% of the total façade may be covered with one (1) single material.
 - ❖ This is a request for all elevations.
- ✓ Wall Articulation. Publicly visible facades may not have uninterrupted wall lengths exceeding 50 feet This is a request for the existing north and west elevations.
 - ❖ This is a request for the existing north and west elevations.
- ✓ Roof Articulation. Flat roofs or facades with a horizontal eave, fascia, or parapet, in excess of one hundred feet in length, must provide vertical modulation.
 - ❖ This is a request for the existing north and west elevations.



Findings

Staff is seeking your review and recommendation on the following:

- ✓ Proposed building elevations and landscape plan
- ✓ Proposed alternative compliance

Staff welcomes any feedback