

Via: web site portal “dimes”

May 16, 2023

City of Mesa Planning Division

Re: Project Narrative - Revised

**Prj: New Industrial Building – Greenfield Road and McDowell Road
2836 N. Greenfield Road
Mesa, Arizona 85215**

Introduction:

The project will consist of one (1) story industrial warehouse shell building with 40’-0” maximum height. The interior space will total 75,756 square feet. The project is located on the northwest corner of Greenfield Road and McDowell Road in Mesa, Arizona.

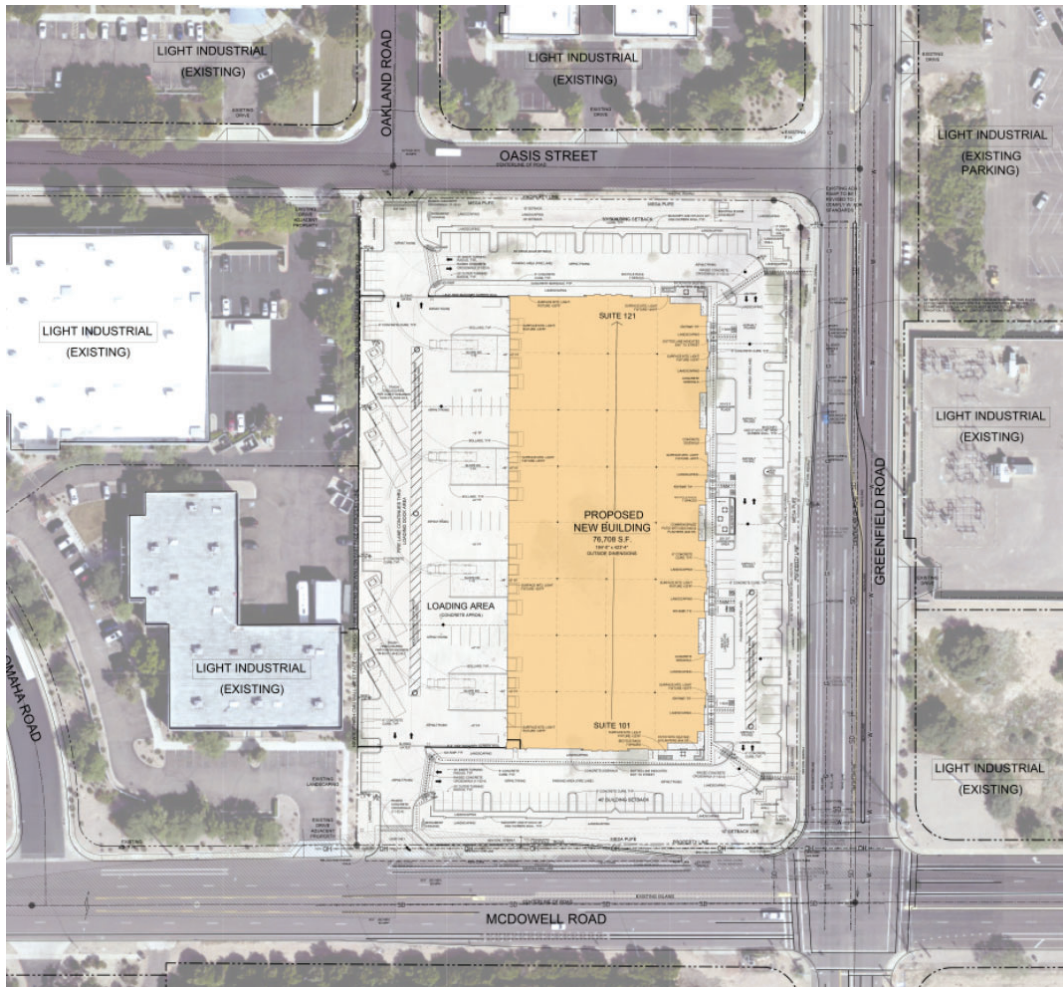
Context:

To the north Oasis Street, to the east Greenfield Road, to the south McDowell Road, and to the west is existing property zoned light industrial.



2100 West 15th Street
Tempe, Arizona 85281-6942

o. 480.285.3800
f. 480.285.3801
www.admgroupinc.com



Justification for reduced landscape setback and landscape material at the west property line and request for a parking reduction:

We are requesting that the city of Mesa reduce the landscape setback from 15' to 4' at the west property line as part of the rezone of the site from a Light Industrial zoning district to a Light Industrial with a Planned Area Development overlay (LI-PAD).

The distance between the west face of the building and the west property line is one-hundred and forty feet. We are requesting to have a four-foot-deep landscape setback with which is mostly a part of the fleet yard with trash enclosures and parking spaces running along the existing CMU wall. We feel that planting any vegetation between the CMU wall and the parking spaces is not necessary and not visible to the public and will have difficulty surviving over time. As shown on the site plan, the northwest and southwest corners of the west property will be fully landscaped. Furthermore, this request would prevent any further reduction of overall square footage of the proposed warehouse. The client has already lost considerable square footage in the building due to both Greenfield Rd. and McDowell Rd. rework with the addition of right turning lanes and street medians, along with the cities required parking, drive aisle, landscape, and site wall setbacks.

The justification for the reduction of the setback would be that this area is not seen by the public and due to the eight-foot-high CMU wall not seen by the adjacent property and will be used mainly for trash containment and truck traffic. Keeping healthy vegetation material will be difficult to maintain in this area.

In addition, we would like to request a total parking reduction to offset the requirement for landscape islands at the end of the parking spaces between the loading docks. Reducing the total number of parking spaces required would enable the removal of those spaces in the future depending on the tenant's preferences. We would like to maximize the area needed for truck turning, parking, fire lane and loading dock area. Based on our experience with industrial projects like this, the anticipated parking demand that will be generated by the proposed development will not exceed the proposed parking supply with the removal of the thirteen (13) parking spaces.

Architecture:

The proposed shell building shall have a group use warehouse and be divided, (in the future) into eight (8) tenant spaces. This building shall be constructed with concrete tilt-up walls, a hybrid steel/wood roof structure, and five (5) main storefront entrances accented with integral colored ground face block and metal canopies. Using a desert color palette, originating from the McDowell Mountain range, the warm tones will integrate and showcase this new building at the corner of Greenfield and McDowell roads. In addition, the exterior façade will include multi-height, undulating walls which will be patterned and painted. With horizontal canopies at the midpoints and at the entrances, this will break down

the overall length façade with varying shadows that will grow and shrink as the sun crosses the sky above.

Site Plan:

The site will include such amenities as: clear and easy to navigate access roads, adequate parking, beautiful landscaping, three (3) common open amenity spaces totaling 1,555 square feet, and retention areas. The common open space will be located conveniently at the major entrance on the east side of the building plus two others at the north and south areas of the building. The north and south amenity spaces located under the building's canopies will act as shade structures complimenting the architecture of the exterior of the building and providing welcoming spaces that include benches, tables, open space, and vibrant desert landscaping. There will be one entry only drive coming from McDowell Road and one exit drive exiting onto Oasis Street. Streetlight Photometrics will be provided with this submittal and the construction drawings, if applicable, will meet the required standard.

Parking Spaces: For shell Industrial (Non-specified Use)

Required: 1 space/500 sf at 75% = 57,544/500 =115 spaces

1 space/375 sf at 25% = 19,181/375 = 51 spaces

Total = 166 spaces includes 5 ADA

Provided: Total =153 spaces includes 6 ADA

As stated above, based on our experience with industrial projects like this, the anticipated parking demand that will be generated by the proposed development will not exceed the proposed parking supply with the removal of the thirteen (13) parking spaces.

Refer to Overall Site Plan / Project Information sheet.

Building Elevations:

Our team has worked hard to provide an acceptable design solution that meets the intent of the Ordinance while providing an appropriate design for the ultimate project use.

The North and *East Left/Right Elevations* has these materials which consist of:

1. Concrete tilt-up (smooth finish, panel reveals, painted multiple colors (3) – to express variety and movement)
2. Ground face masonry to express a texture change.
3. Glazing with anodized aluminum frame
4. Metal canopies
5. Metal door and frames.



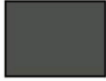





The *South and West Left/Right Elevations* has these materials which

consist of

1. Concrete tilt-up (smooth finish, panel reveals, painted multiple colors (3) – to express variety and movement)
2. Ground face masonry to express a texture change
3. Overhead metal doors – two heights
4. Metal canopies.
5. Metal door and frames.



Building Perspectives Exhibit

| EXTERIOR ELEVATION LEGEND | |
|--|--|
|  | <p>P-1 CONCRETE TILT PANEL, PAINTED - COLOR: DE6226 "FOGGY DAY" MFG: DUNN EDWARDS</p> |
|  | <p>P-2 CONCRETE TILT PANEL, PAINTED - COLOR: DE6228 "PLAY ON GRAY" MFG: DUNN EDWARDS</p> |
|  | <p>P-3 CONCRETE TILT PANEL, PAINTED - COLOR: DEA176 "IRON RIVER" MFG: DUNN EDWARDS</p> |
|  | <p>CMU-1 CMU-1 8"X4"X16", GROUND FACE UNITS COLOR: TRENDSTONE "BERKELEY" MFG: OLDCASTLE SUPERLITE - ECHELON</p> |
|  | <p>CMU-2 CMU-1 8"X4"X16", GROUND FACE UNITS COLOR: TRENDSTONE "SOUTHWEST GOLD" MFG: OLDCASTLE SUPERLITE - ECHELON</p> |
|  | <p>MTL-1 METAL WALL PANEL, SIG 300 LOW GLOSS COLOR: "MIDNIGHT BRONZE" MFG: MCBI</p> |
|  | <p>MTL-2 ANODIZED METAL FRAME COLOR: ARCADIA #11 CLEAR AC-2 MFG: ARCADIA</p> |
|  | <p>G-1 GLAZING - GRAYLITE II COLOR: SOLARBAN 70 MFG: VITRO GLASS</p> |

Building Materials Exhibit

In addition to the material and colors used to create a variety of interests across the elevations. There is angulation in the parapet's heights and setback of some of the panels which will give an additional appearance of material changes.

Our team feels that we meet the intent of the Ordinance while providing an appropriate design for the ultimate project use. Listed below are the percentages of material/ paint colors per elevation to show that we comply. These all reference the Exterior Material legend – seen above.

North Elevation:

| Color: | Square Footage: | Percentage: |
|-------------|-----------------|-------------|
| P-1 | 2,192 s.f. | 31.5 % |
| P-2 | 2,967 s.f. | 42.5 % |
| P-3 | 617 s.f. | 8.8 % |
| CMU-1 | 861 s.f. | 12.4 % |
| MTL-1 | 53 s.f. | 0.8 % |
| G-1 + MTL-2 | 283 s.f. | 4.0 % |

East Elevation:

| Color: | Square Footage: | Percentage: |
|--------|-----------------|-------------|
|--------|-----------------|-------------|

| | | |
|-------------|------------|--------|
| P-1 | 4,492 s.f. | 27.8 % |
| P-2 | 6995 s.f. | 43.3 % |
| P-3 | 1,183 s.f. | 7.3 % |
| CMU-1 | 1,838 s.f. | 11.4 % |
| MTL-1 | 202 s.f. | 1.3 % |
| G-1 + MTL-2 | 1444 s.f. | 8.9 % |

South Elevation:

| <u>Color:</u> | <u>Square Footage:</u> | <u>Percentage:</u> |
|---------------|------------------------|--------------------|
| P-1 | 2,192 s.f. | 31.5 % |
| P-2 | 2,967 s.f. | 42.5 % |
| P-3 | 617 s.f. | 8.8 % |
| CMU-1 | 837 s.f. | 11.9 % |
| MTL-1 | 77 s.f. | 1.3 % |
| G-1 + MTL-2 | 283 s.f. | 4.0 % |

West Elevation:

| <u>Color:</u> | <u>Square Footage:</u> | <u>Percentage:</u> |
|---------------|------------------------|--------------------|
| P-1 | 4,184 s.f. | 25.9 % |
| P-2 | 6,017 s.f. | 36.9 % |
| P-3 | 3,716 s.f. | 22.8 % |
| CMU-1 | 100 s.f. | 0.6 % |
| MTL-1 | 2,258 s.f. | 13.8 % |

Solid waste

Per COM detail M-62.02.2 note #19: Two sets of four solid waste and recyclable trash enclosures have been placed at two locations across the west side of the commercial property just west of the loading docks for easy tenant access.

Landscape Plan

The following six design principles which are listed in Section 11-33-7 of the MZO are being applied as a part of the proposed landscape plan for this project.

- *Plant Variety* – The landscape design for this new development includes a variety of plant material that provides a wide range of textural, form, and color differences. Plant material includes shrubs (ex: Torch Glow Bougainvillea, Dodonaea, and Muhlenbergia), cacti accents (ex: Agave, Hesperaloe, Opuntia and Yucca), and ground cover (ex: Lantana, Acacia, and Rosemary).
- *Naturalistic Design* – The landscape design makes use of naturalistic design principles such as variations in topography, and random meandering plantings within the site.
- *Water Efficiency* – The plantings will be watered with the use of a programmable smart controller, water efficient drip irrigation system.
- *Site-Specific Attributes* – The landscape design includes plant selections that are consistent with the character for the area and the approved plant palette for the Gateway Airport Landscape Master Plan.

- *Tree Substitution* – The landscape design for this project includes a quantity of trees and sizes which exceed the required minimums. For example, the project utilizes more 24” box trees than required when smaller 15-gallon size trees could be used.
- Plant Viability and Longevity - The landscape plan is laid out with consideration of the anticipated mature sizes for selected plants to be placed on site to promote the space needed for healthy, positive long-term growth for the plantings.
- Landscape planting islands have been provided at the ends of all of the parking rows.

The Mesa Fire Department section 503.8.3 requires a minimum of 30-feet between the fire lane and the face-of-building. Within this 30-feet, parking spaces 18 feet in depth are planned (as required by the Mesa Zoning Ordinance), resulting in 10-feet between the back-of-parking space and the face of the building for foundation base. As a result of the conflicting codes, it is physically impossible to provide a 15-foot foundation base.

Architecture, civil, landscape, structural, mechanical, electrical, and plumbing are included in this project.

Sincerely,

ADM Group, Inc.

LANDSCAPE SCHEDULE

| SYMBOL | BOTANICAL NAME | COMMON NAME | QTY * | CONTAINER SIZE | EST. MATURE SIZE | REMARKS |
|------------------------|---|---------------------------------|----------|----------------|------------------|---|
| TREES | | | | | | |
| | CAESALPINIA CACALACO 'SMOOTHIE' | CASCALOTE | 28 | 24" BOX | 15' x 15' | MULTI TRUNK |
| | CAESALPINIA CACALACO 'SMOOTHIE' | CASCALOTE | 1 | 36" BOX | 15' x 15' | MULTI TRUNK |
| | CAESALPINIA MEXICANA | MEXICAN BIRD OF PARADISE | 10 | 24" BOX | 15' x 15' | MULTI TRUNK |
| | CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' | LUCRETIA HAMILTON DESERT WILLOW | 29 | 24" BOX | 18' x 18' | STD TRUNK |
| | CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' | LUCRETIA HAMILTON DESERT WILLOW | 3 | 36" BOX | 18' x 18' | STD TRUNK |
| | PARKINSONIA PRAECOX THORNLESS HYBRID | THORNLESS PALO BREA | 9 | 24" BOX | 25' x 25' | STD TRUNK |
| | PARKINSONIA PRAECOX THORNLESS HYBRID | THORNLESS PALO BREA | 8 | 36" BOX | 25' x 25' | STD TRUNK |
| | QUERCUS VIRGINIANA | SOUTHERN LIVE OAK | 26 | 24" BOX | 25' x 25' | STD TRUNK |
| | QUERCUS VIRGINIANA | SOUTHERN LIVE OAK | 3 | 36" BOX | 25' x 25' | STD TRUNK |
| | EXISTING TREE | | | | | |
| ACCENTS | | | | | | |
| | CARNEGIEA GIGANTEA | SAGUARO | 8 | | | 10' MIN. HT |
| | FOQUIERIA SPLENDENS | OCOTILLO | 7 | 24" BOX | 20' X 15' | 8 CANE MIN. |
| | AGAVE DESMETTIANA | SMOOTH AGAVE | 9 | 5 GALLON | 3' X 3' | |
| | AGAVE DESMETTIANA VARIGATA | VARIGATED SMOOTH AGAVE | 37 | 5 GALLON | 3' X 3' | |
| | HESPERALOE PARVIFLORA | RED YUCCA | 92 | 5 GALLON | 4' X 4' | |
| | HESPERALOE FUNIFERA | GIANT HESPERALOE | 14 | 5 GALLON | 6' X 6' | |
| SHRUBS | | | | | | |
| | CALLIANDRA CALIFORNICA | BAJA FAIRY DUSTER | 154 | 5 GALLON | 5' X 5' | |
| | CHRYSANTHIA MEXICANA | DAMIANITA | 131 | 5 GALLON | 2' X 2' | |
| | LEUCOPHYLLUM ZYGOPHYLLUM | CIMMARRON SAGE | 236 | 5 GALLON | 3' X 3' | |
| | MUHLENBERGIA CAPILLARIS | REGAL MIST | 326 | 5 GALLON | 3' X 3' | |
| | TECOMA STANS 'GOLD STAR' | YELLOW BELLS | 152 | 5 GALLON | 6' X 6' | |
| | SALVIA X 'ULTRA VIOLET' | ULTRA VIOLET SALVIA | 29 | 5 GALLON | 2' X 2' | |
| GROUNDCOVERS | | | | | | |
| | LANTANA MONTEVIDENSIS 'TRAILING PURPLE' | TRAILING PURPLE LANTANA | 165 | 5 GALLON | 1' X 4' | |
| INERT MATERIALS | | | | | | |
| | BOULDERS, PIT-RUN 1' x 2' x 3' | | 16 | | | (MATCH DECOMPOSED GRANITE SOURCE) |
| | BOULDERS, PIT-RUN 2' x 3' x 3' | | 7 | | | (MATCH DECOMPOSED GRANITE SOURCE) |
| | DECOMPOSED GRANITE (PLACE IN ALL LANDSCAPE AREAS) | | 5,482 SY | | | NATURAL 3" MINUS, 3" DEPTH MEDIUM DENSITY COLOR: CARMEL ROCK PROS USA |

NOTE:
1. NO DEMOLITION OR CONSTRUCTION WORK NEAR THE ROW SHALL TAKE PLACE BEFORE HAVING A MEETING WITH THE TRANSPORTATION LANDSCAPE DEPARTMENT. SPECIAL ATTENTION MUST BE PAID TO THE EXISTING IRRIGATION, ELECTRICAL AND CONDUIT LINES IN THE ROW.

PLANT QUANTITY REQUIREMENT TABLE

| LOCATION | REQUIREMENT | FRONTAGE (LF) | TREES | | SHRUBS | |
|---------------------------------|--|---------------|-----------------|-----------------|-----------------|-----------------|
| | | | REQUIRED NUMBER | PROPOSED NUMBER | REQUIRED NUMBER | PROPOSED NUMBER |
| OASIS STREET STREET FRONTAGE | 4 TREE AND 24 SHRUBS PER 100 LF OF STREET FRONTAGE (25% OF TREES TO BE 36" BOX SIZE, 50% MIN 24" BOX, REMAINING 15 GAL MIN AND MIN 50% OF SHRUBS TO BE 5 GAL SIZE) | 371 | 15 | 15 | 90 | 105 |
| GREENFIELD ROAD STREET FRONTAGE | 4 TREE AND 24 SHRUBS PER 100 LF OF STREET FRONTAGE (25% OF TREES TO BE 36" BOX SIZE, 50% MIN 24" BOX, REMAINING 15 GAL MIN AND MIN 50% OF SHRUBS TO BE 5 GAL SIZE) | 565 | 23 | 23 | 138 | 287 |
| MCDOWELL ROAD STREET FRONTAGE | 4 TREE AND 24 SHRUBS PER 100 LF OF STREET FRONTAGE (25% OF TREES TO BE 36" BOX SIZE, 50% MIN 24" BOX, REMAINING 15 GAL MIN AND MIN 50% OF SHRUBS TO BE 5 GAL SIZE) | 371 | 15 | 15 | 90 | 122 |
| WEST PROPERTY LINE | 3 TREES AND 20 SHRUBS PER 100 LF OF PROPERTY LINE | 604 | 19 | 19 | 120 | 170 |

*STREET FRONTAGE SUBSTITUTIONS, MAX 10% OF REQUIRED TREES SUBSTITUTION
6 FT SAGUARO FOR 15 GAL TREE
10 FT SAGUARO FOR 24" BOX TREE
OCOTILLO, 2 PER REQUIRED TREE

PLANT QUANTITY REQUIREMENT TABLE

| LOCATION | REQUIREMENT | LENGTH (LF) | TREES | | SHRUBS | |
|-----------------|--|-------------|----------------------|----------------------|-----------------|-----------------|
| | | | REQUIRED NUMBER | PROPOSED NUMBER | REQUIRED NUMBER | PROPOSED NUMBER |
| FOUNDATION BASE | 1 TREE PER 30 LF OR LESS OF EXTERIOR WALL LENGTH | 803 | 27 | 23 | - | 205 |
| PARKING | 1 TREE & 3 SHRUBS PER PARKING ISLAND (10% TREES ARE TO BE 36" BOX, REMAINING TO BE 24" BOX, SHRUBS TO BE MIN. 5 GAL) | | 2-36" BOX 18-24" BOX | 3-36" BOX 17-24" BOX | 72 | 72 |

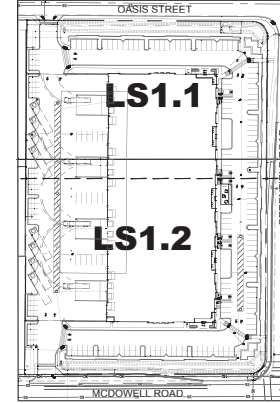
VEGETATIVE COVER CREDIT TABLE

| DESCRIPTION | S.F. CREDIT TOTAL | EVERGREEN | SHADE | ORNAMENTAL | | | | |
|---|-------------------|-----------|------------|------------|----------------|------------------------------------|----------------------|--|
| TREE | | | | | | | | |
| CAESALPINIA CACALACO-SMOOTHIE CASCALOTE | 1,450 | 0 | 29 | 0 | | | | |
| CAESALPINIA MEXICANA-MEXICAN BIRD OF PARADISE | 250 | 0 | 0 | 8 | | | | |
| PARKINSONIA PRAECOX HYBRID-THORNLESS PALO BREA | 850 | 0 | 17 | 0 | | | | |
| CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'-DESERT WILLOW HYBRID | 1,600 | 0 | 32 | 0 | | | | |
| QUERCUS VIRGINIANA-SOUTHERN LIVE OAK | 1,450 | 0 | 29 | 0 | | | | |
| SUBTOTAL | 5,600 SF | | | | | | | |
| SHRUBS/ACCENTS | | LG. SHRUB | MED. SHRUB | SM. SHRUB | EVERGREEN G.C. | PERENNIAL, G.C. & ORNAMENTAL GRASS | LG. ORNAMENTAL GRASS | |
| AGAVE DESMETTIANA-SMOOTH AGAVE | 90 | 0 | 0 | 9 | 0 | 0 | 0 | |
| AGAVE DESMETTIANA-VARIEGATED SMOOTH AGAVE | 370 | 0 | 0 | 37 | 0 | 0 | 0 | |
| CALLIANDRA CALIFORNICA-BAJA FAIRY DUSTER | 3,850 | 0 | 154 | 0 | 0 | 0 | 0 | |
| CHRYSANTHIA MEXICANA-DAMIANITA | 1,310 | 0 | 0 | 131 | 0 | 0 | 0 | |
| FOQUIERIA SPLENDENS-OCOTILLO | 350 | 7 | 0 | 0 | 0 | 0 | 0 | |
| HESPERALOE PARVIFLORA-RED YUCCA | 920 | 0 | 0 | 92 | 0 | 0 | 0 | |
| HESPERALOE FUNIFERA-GIANT HESPERALOE | 350 | 0 | 14 | 0 | 0 | 0 | 0 | |
| LANTANA MONTEVIDENSIS-TRAILING PURPLE LANTANA | 825 | 0 | 0 | 0 | 0 | 165 | 0 | |
| LEUCOPHYLLUM ZYGOPHYLLUM 'CIMMARRON'-CIMMARRON SAGE | 5,900 | 0 | 236 | 0 | 0 | 0 | 0 | |
| MUHLENBERGIA CAPILLARIS 'REGAL MIST'-REGAL MIST | 1,630 | 0 | 0 | 0 | 0 | 326 | 0 | |
| SALVIA X 'ULTRA VIOLET'-ULTRA VIOLET SALVIA | 290 | 0 | 0 | 29 | 0 | 0 | 0 | |
| TECOMA STANS 'GOLD STAR'-YELLOW BELLS | 3,800 | 0 | 152 | 0 | 0 | 0 | 0 | |
| SUBTOTAL | 19,685 SF | | | | | | | |
| TOTAL | 25,285 SF | | | | | | | |
| TOTAL LANDSCAPE AREA | 45,029 SF | | | | | | | |
| % OF VEGETATED COVERAGE PROVIDED | 56% | | | | | | | |

SHEET INDEX

LS0.1 LANDSCAPE SUMMARY SHEET
LS1.1-LS1.2 LANDSCAPE PLAN

SHEET KEY MAP



AZTEC
TYP SA
501 N 44TH ST, SUITE 300
PHOENIX, AZ 85007
TEL: 602-546-0402

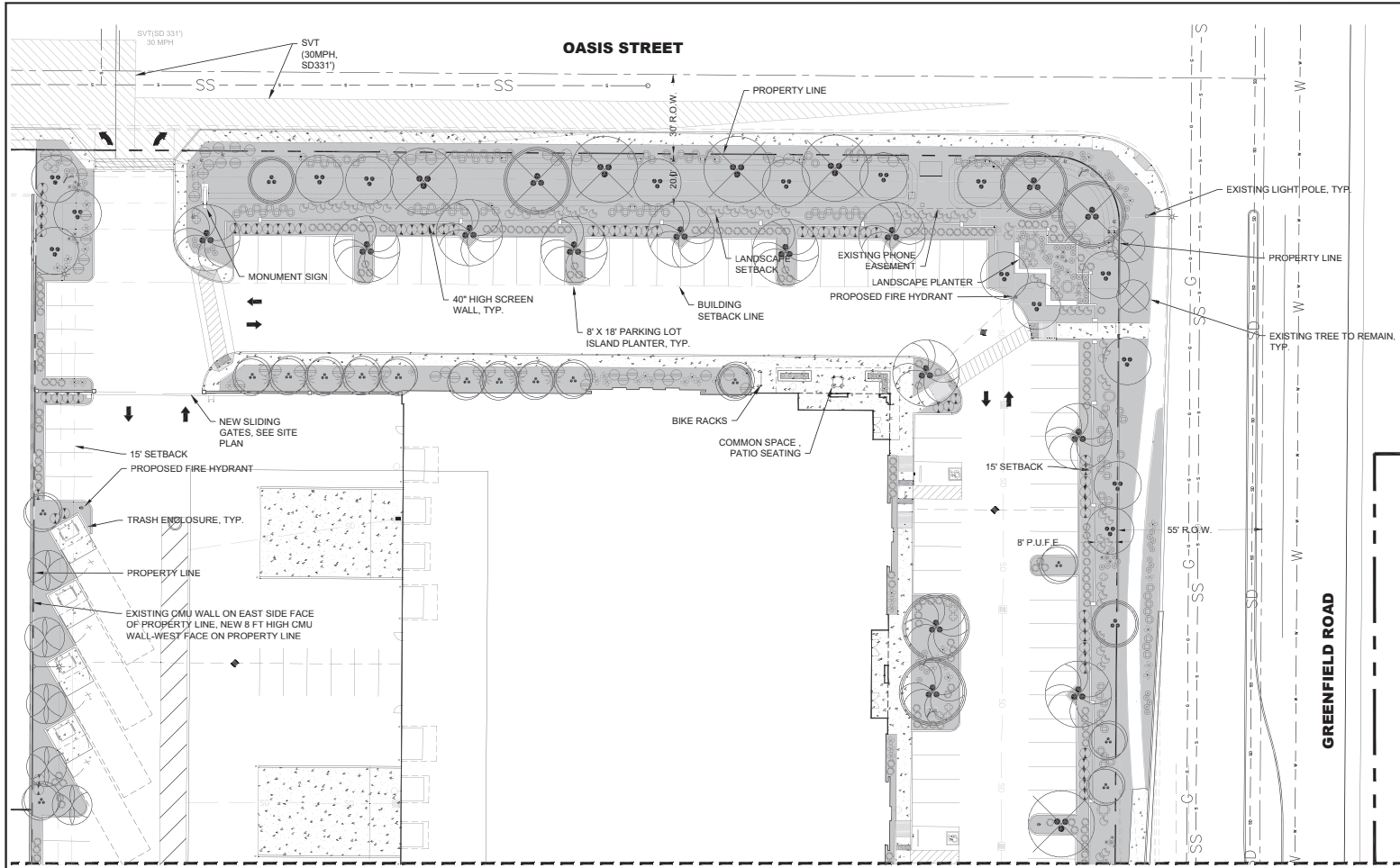
PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORDING

GREENFIELD ROAD
AND
MCDOWELL ROAD
INDUSTRIAL PROJECT
2835 N. GREENFIELD RD.
MESA, ARIZONA 85215
WESTERN
SEMI SOLUTIONS
LANDSCAPE SUMMARY SHEET

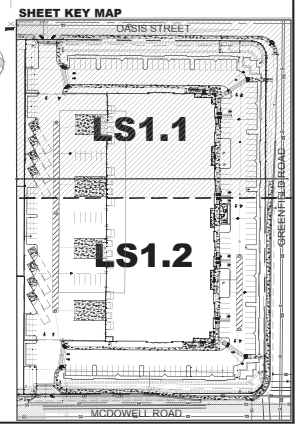
| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |

| | | | |
|----------------------------|-------------------|-------------------|-------------------|
| Project Number 7133-100 | Date 4-17-2023 | Drawn By JH/KA | Checked By GZW |
|----------------------------|-------------------|-------------------|-------------------|

LS0.1



| LANDSCAPE SCHEDULE | |
|------------------------|---|
| SYMBOL | BOTANICAL NAME |
| TREES | |
| | CAESALPINIA CACALACO 'SMOOTHIE' |
| | CAESALPINIA CACALACO 'SMOOTHIE' |
| | CAESALPINIA MEXICANA |
| | CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' |
| | CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' |
| | PARKINSONIA PRAECOX THORNLESS HYBRID |
| | PARKINSONIA PRAECOX THORNLESS HYBRID |
| | QUERCUS VIRGINIANA |
| | QUERCUS VIRGINIANA |
| | EXISTING TREE |
| ACCENTS | |
| | CARNEGIEA GIGANTEA |
| | FOUQUIERIA SPLENDENS |
| | AGAVE DESMETTIANA |
| | AGAVE DESMETTIANA VARIIGATA |
| | HESPERALOE PARVIFLORA |
| | HESPERALOE FUNIFERA |
| SHRUBS | |
| | CALLIANDRA CALIFORNICA |
| | CHRYSANTINIA MEXICANA |
| | LEUCOPHYLLUM ZYGOPHYLLUM |
| | MUHLENBERGIA CAPILLARIS |
| | TECOMA STANS 'GOLD STAR' |
| | SALVIA X 'ULTRA VIOLET' |
| GROUNDCOVERS | |
| | LANTANA MONTEVIDENSIS |
| | 'TRAILING PURPLE' |
| INERT MATERIALS | |
| | BOULDERS, PIT-RUN 1' x 2' x 3' |
| | BOULDERS, PIT-RUN 2' x 3' x 3' |
| | DECOMPOSED GRANITE (PLACE IN ALL LANDSCAPE AREAS) |



AZTEC TYP SA
 501 N 44TH ST, SUITE 300
 PHOENIX, AZ 85007
 TEL: 602-546-0402

PRELIMINARY
 NOT FOR
 CONSTRUCTION
 OR RECORDING

GREENFIELD ROAD
 AND
 MCDOWELL ROAD
 INDUSTRIAL PROJECT
 2835 N. GREENFIELD RD.
 MESA, ARIZONA 85215
WESTERN SEMI SOLUTIONS
 LANDSCAPE PLAN

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |

| | | | |
|----------------------------|-------------------|-------------------|-------------------|
| Project Number 7133-100 | Date 4-17-2023 | Drawn By JH/KA | Checked By GDW |
|----------------------------|-------------------|-------------------|-------------------|

LS1.1

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EXISTING LEGEND

- ASPHALT EDGE
- BUILDING EDGE
- BUILDING OVERHANG
- CENTERLINE
- CHAIN LINKED FENCE
- CONCRETE EDGE
- CONCRETE SURFACE
- FIRE HYDRANT
- IRRIGATION PIPE
- SEWER PIPE
- WATER PIPE
- MAJOR/MINOR CONTOURS
- OVERHEAD ELECTRICAL LINE
- PROPERTY LINE
- STREET SIGN
- UTILITY POLE

PROPOSED LEGEND

- ASPHALT EDGE
- BUILDING EDGE
- BUILDING OVERHANG
- CENTERLINE
- CONCRETE SURFACE
- FIRE HYDRANT
- IRRIGATION PIPE
- SEWER PIPE
- WATER PIPE
- MAJOR/MINOR CONTOURS
- OVERHEAD ELECTRICAL LINE
- PROPERTY LINE
- STREET SIGN
- DRY WELL
- WATER METER
- WATER VALVE
- GRADE BREAK

ABBREVIATIONS

- P.U.F.E. PUBLIC UTILITY FACILITIES EASEMENT
- C.V.A.E. CONTROLLED VEHICULAR ACCESS EASEMENT
- W.L.E. WATER LINE EASEMENT
- D.I.P. DUCTILE IRON PIPE
- R/W RIGHT OF WAY

LEGAL DESCRIPTION

LOTS 35 AND 36, DOVER INDUSTRIAL PARK UNIT THREE, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED AS BOOK 696 OF MAPS, PAGE 17.

**WESTERN SEMI SOLUTIONS
PRELIMINARY GRADING & DRAINAGE PLANS**

MARICOPA COUNTY ASSESSOR'S PARCELS:
No. 141-25-192 & 141-25-193

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 33,
TOWNSHIP 2 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE
AND MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER

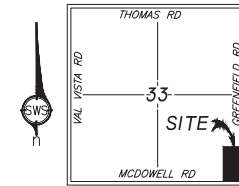
STEPHEN M. JAVNETT LIVING TRUST
2962 N. NORFOLK
MESA AZ, 85215

ENGINEER

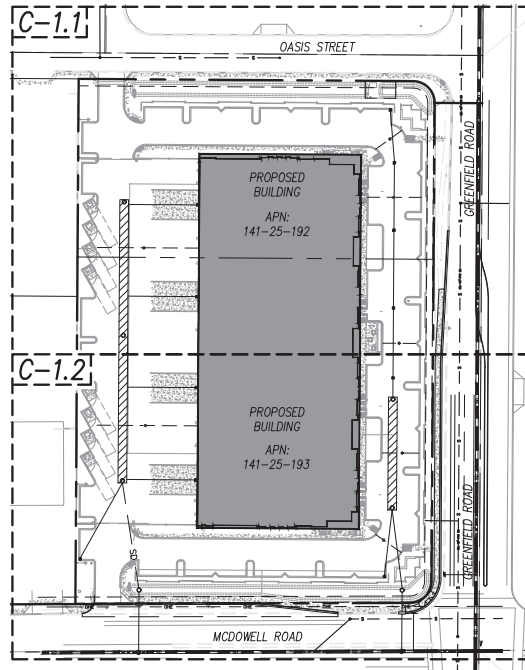
SWS ENGINEERING
4001 N. 3RD STREET, UNIT 165
PHOENIX, AZ 85012
PHONE: 602.848.0249
EMAIL: adam.m@sws-engr.com

ARCHITECT

ADM GROUP, INC.
2100 W. 15TH STREET
TEMPE, AZ 85281
PHONE: 480.285.3800
EMAIL: GKLUFFEL@ADMGROUPINC.COM



VICINITY MAP
NOT TO SCALE



KEY MAP
1"=200'

SITE AREA

APN 141-25-192
AREA = 83,635 SF (1.92 Acres)

APN 141-25-193
AREA = 162,766 SF (3.74 Acres)

BASIS OF BEARING

SOUTH SECTION LINE OF SECTION 33
S 89°48'14" W, 2644.22 R

BENCHMARK

CITY OF MESA BENCHMARK, FOUND BRASS TAG ON
TOP OF CURB, SW COR OF GREENFIELD RD AND
MCDOWELL RD
ELEV=1365.04 NAVD 88 DATUM

SITE BENCHMARK: SW PROPERTY CORNER
FOUND 1" REBAR
ELEV= 1360.59 NAVD 88 DATUM

FLOOD ZONE

ACCORDING TO THE FLOOD INSURANCE RATE MAP
#04013C2280L, EFFECTIVE 10/16/2013, THIS
PROPERTY IS LOCATED IN FLOOD ZONE "X".

ZONE "X" IS DEFINED AS AREA/S OF 0.2% ANNUAL
CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE
FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT
OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE
MILE; AND AREAS PROTECTED BY LEVEES FROM 1%
ANNUAL CHANCE FLOOD.

SHEET INDEX

COVER SHEET C-1.0
PRELIMINARY GRADING & DRAINAGE PLAN C-1.1
PRELIMINARY GRADING & DRAINAGE PLAN C-1.2

| RETENTION CALCULATIONS | | | | | | |
|-------------------------|----------|-------------|-----------------|-------------------|-------------------|--------------|
| DRAINAGE ID | AREA TOP | AREA BOTTOM | DEPTH/LENGTH UG | VOL REQUIRED (CF) | VOL PROVIDED (CF) | EXCESS/SHORT |
| UG 1 (10' DIA) | | | 330 | 25,493 | 25,918 | 425 |
| UG 2 (10' DIA) | | | 120 | 6,824 | 9,425 | 2,600 |
| RETENTION BASINS | | | | | | |
| BASIN 1 | 3,952 | 613 | 1.5 | 4,159 | 3,424 | -735 |
| BASIN 2 | 913 | 377 | 1 | 645 | 645 | 0 |
| BASIN 3 | 5,138 | 2346 | 1 | 4,868 | 3,742 | -1,126 |
| SUMMARY: | | | | 41,990 | 43,154 | 1,164 |

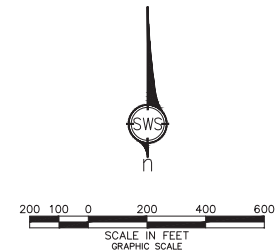
**CONCEPTUAL
DRAINAGE CALCULATIONS**

TOTAL AREA 246,6972 SF

RAINFALL DEPTH: 2.15
C COEFF: 0.85 (HARDSCAPE) / 0.5 (LANDSCAPE)

TOTAL RETENTION REQUIRED (CONCEPTUAL): 41,990 CF
TOTAL RETENTION PROVIDED (CONCEPTUAL): 43,154 CF

NOTE: DRAINAGE AREAS AND UNDERGROUND RETENTION
SIZING WILL BE REFINED FURTHER DURING FINAL DESIGN.



SWS ENGINEERING, INC.
Professional Engineers
1801 North 33rd Street, Suite 105
Phoenix, AZ 85018
P: 602.848.0249
F: 602.848.0249
www.sws-engr.com
SWS BLDG. • MARIQUETA • PHOENIX
PHOTO: JAVNETT LIVING TRUST • 14125-192-193 - 08.dwg

PRELIMINARY GRADING &
DRAINAGE PLANS
COVER SHEET

**WESTERN SEMI
SOLUTIONS**
2836 N. GREENFIELD ROAD
MESA, ARIZONA 85215

| DATE | REVISIONS |
|----------|----------------------------|
| 9/17/22 | DESIGN REVIEW SUBMITTAL |
| 10/21/22 | DESIGN REVIEW RE-SUBMITTAL |

PA / PM: ASM
DRAWN BY: RS
JOB NO.: 22-330P

SHEET 1 of 3
C-1.0

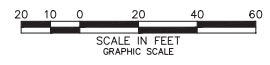
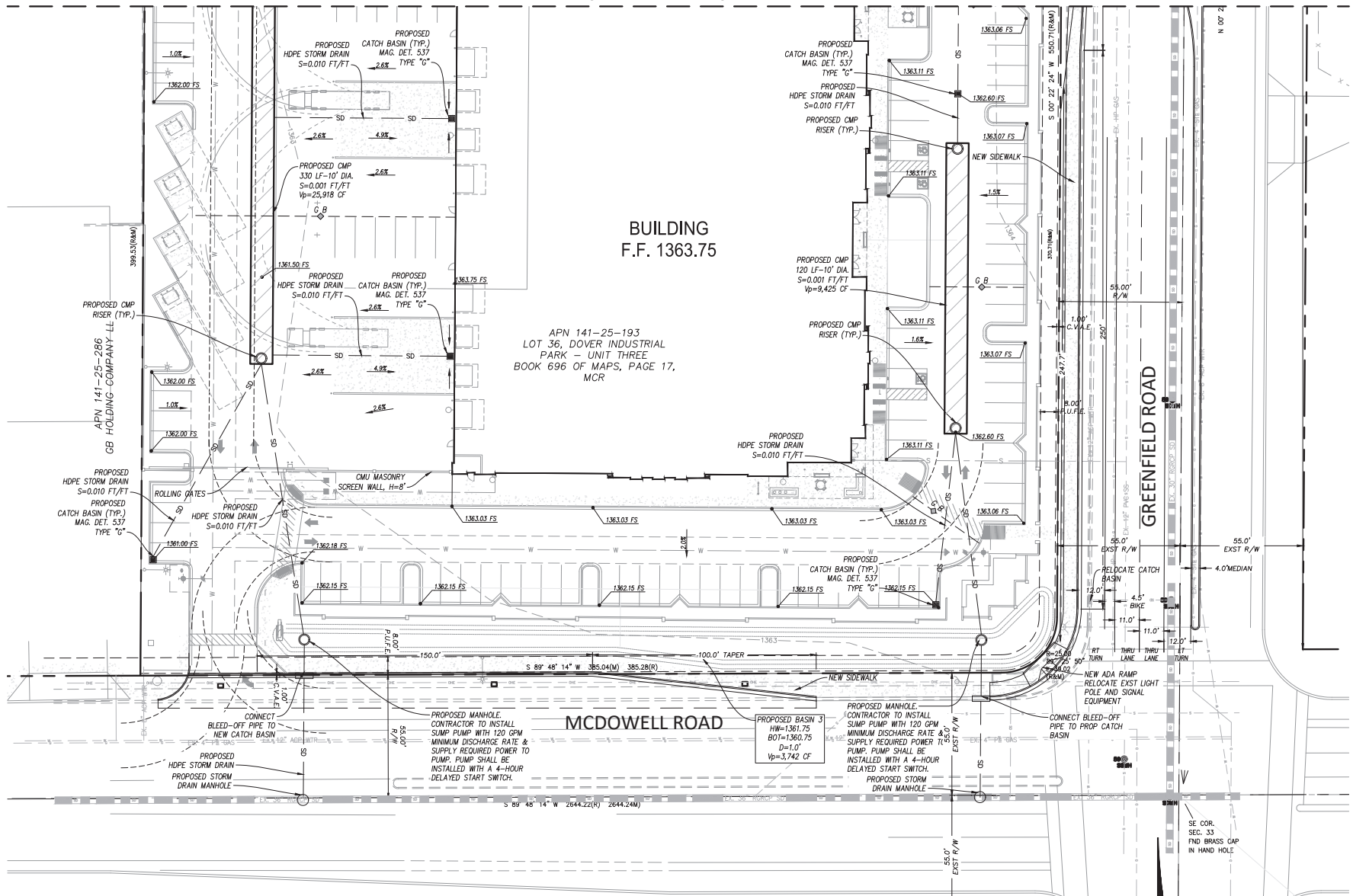
MATCHLINE - SEE SHEET C1.1

BUILDING
F.F. 1363.75

APN 141-25-193
LOT 36, DOVER INDUSTRIAL
PARK - UNIT THREE
BOOK 696 OF MAPS, PAGE 17,
MCR

MCDOWELL ROAD

GREENFIELD ROAD



PRELIMINARY
NOT FOR
CONSTRUCTION

SWS ENGINEERING, INC.
1800 North 13th Street, Suite 105
Phoenix, AZ 85016
TEL: 602.952.4861
FAX: 602.952.4861
SAN DIEGO • MARIETTA • PHOENIX

SWS
EXPERIENCE. INTEGRITY. INNOVATION.

PH: 602.952.4861
FAX: 602.952.4861
WWW.SWSENG.COM

PRELIMINARY
GRADING & DRAINAGE
PLANS

WESTERN SEMI
SOLUTIONS
2836 N. GREENFIELD ROAD
MESA, ARIZONA 85215

| DATE | REVISIONS |
|----------|----------------------------|
| 9/17/22 | DESIGN REVIEW SUBMITTAL |
| 10/21/22 | DESIGN REVIEW RE-SUBMITTAL |

PA / PM: ASM
DRAWN BY: RS
JOB NO.: 22-330P

SHEET 3 of 3
C-1.2

H:\2022\22-330P - Greenfield & McDowell\PRCD\Planning\DRG\22-330P_DRG01.dwg



EXTERIOR PERSPECTIVE RENDERING
- SOUTHEAST CORNER OF GREENFIELD AND MCDOWELL ROAD



EXTERIOR PERSPECTIVE RENDERING
- SOUTHWEST CORNER ALONG MCDOWELL ROAD

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |
| | | |
| | | |

| | |
|----------------|------------|
| Project Number | 7/20/21 |
| Date | 02/02/2023 |
| Drawn By | |
| Checked By | |



NORTH ELEVATION

EAST ELEVATION - LEFT

EAST ELEVATION - RIGHT

- KEYNOTES:**
- CONCRETE TILT PANEL, PAINTED BODY COLOR P-1 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
 - CONCRETE TILT PANEL, PAINTED ACCENT COLOR P-2 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
 - CONCRETE TILT PANEL, PAINTED ACCENT COLOR P-3 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
 - NEW 8" PRE-CAST CONCRETE TILT UP PANEL
 - 8"x8"x18" CMU VENEER WALL - CMU-1 - SEE EXTERIOR ELEVATIONS AND FINISH SCHEDULE
 - ANCOIZED ALUMINUM STOREFRONT FRAME AND GLAZING SYSTEM - G-1
 - ANCOIZED ALUMINUM STOREFRONT FRAME WITH DOOR AND GLAZING SYSTEM - G-1 - MTL-2
 - METAL PANEL CANOPY AND FRAME - MTL-1
 - 1" RECESSED IN CONCRETE TILT PANEL - PAINTED ACCENT COLOR P-2
 - METAL WALL PANEL
 - HORIZONTAL REVEAL
 - VERTICAL REVEAL
 - EXTERIOR TILT PANEL MOUNTED LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
 - 8" LOPR METAL BIKE RACK
 - METAL TUBE POST - PAINTED ACCENT COLOR P-3
 - HOLLOW METAL DOOR AND FRAME ASSEMBLY - SEE DOOR AND FRAME SCHEDULE FOR SIZE
 - 12"x14"x14" ROLL-UP ACCESS DOOR - PAINTED TO MATCH MTL-1
 - 12"x14"x14" ROLL-UP ACCESS DOOR - PAINTED TO MATCH MTL-1
 - 12"x14"x14" ROLL-UP ACCESS DOOR - PAINTED TO MATCH MTL-1
 - EXPOSED ROOF DRAIN LEADERS "LAMB TONGUE" COVER - SEE PLUMBER DRAWINGS
 - 8" CONCRETE LOADING DOCK RETAINING WALL
 - LOADING DOCK RETAINING WALL GUARDRAIL
 - FIRE DEPARTMENT CONNECTION - SIZING AS REQUIRED FOR CITY OF MESA FIRE DEPARTMENT

EXTERIOR ELEVATION CALCULATIONS

| NORTH ELEVATION | | |
|-----------------|----------|---------------|
| | P-1 | 2192 SF 31.5% |
| | P-2 | 2967 SF 42.5% |
| | P-3 | 617 SF 8.8% |
| | CMU-1 | 861 SF 12.4% |
| | MTL-1 | 53 SF 0.8% |
| | G1 MTL-2 | 263 SF 4.0% |
| EAST ELEVATION | | |
| | P-1 | 4492 SF 27.8% |
| | P-2 | 6955 SF 43.3% |
| | P-3 | 1183 SF 7.3% |
| | CMU-1 | 1838 SF 11.4% |
| | MTL-1 | 202 SF 1.3% |
| | G1 MTL-2 | 1444 SF 8.9% |
| SOUTH ELEVATION | | |
| | P-1 | 2192 SF 31.5% |
| | P-2 | 2967 SF 42.5% |
| | P-3 | 617 SF 8.8% |
| | CMU-1 | 827 SF 11.9% |
| | MTL-1 | 77 SF 1.1% |
| | G1 MTL-2 | 263 SF 4.0% |
| WEST ELEVATION | | |
| | P-1 | 4184 SF 25.9% |
| | P-2 | 6017 SF 36.9% |
| | P-3 | 3716 SF 22.8% |
| | CMU-1 | 100 SF 0.6% |
| | MTL-1 | 2258 SF 13.8% |

EXTERIOR ELEVATION LEGEND

| | | |
|--|-------|--|
| | P-1 | CONCRETE TILT PANEL, PAINTED - COLOR: GREYS "ROOBY DART" MFG: DUNN EDWARDS |
| | P-2 | CONCRETE TILT PANEL, PAINTED - COLOR: GREYS "PLAY ON GRAY" MFG: DUNN EDWARDS |
| | P-3 | CONCRETE TILT PANEL, PAINTED - COLOR: GREYS "IRON RIVER" MFG: DUNN EDWARDS |
| | CMU-1 | 8"x8"x18" GROUND FACE UNITS COLOR: TRENCHING "REBELLY" MFG: OLDCASTLE SUPERLITE - ECHELON |
| | CMU-2 | 8"x8"x18" GROUND FACE UNITS COLOR: TRENCHING "ROCKYHIST GOLD" MFG: OLDCASTLE SUPERLITE - ECHELON |
| | MTL-1 | METAL WALL PANEL, 910 300 LOW GLOSS COLOR: "TWOUGHT BRONZE" MFG: MCB |
| | MTL-2 | ANCOIZED METAL FRAME COLOR: ARCADIA #11 CLEAR AC-2 MFG: ARCADIA |
| | G-1 | GLAZING: GRANULITE II COLOR: SOLARISAN 70 MFG: VITRO GLASS |

architecture.
design.
management.

2700 WEST 10TH STREET | TEMPE, AZ 85281 | 480.205.2800

NOT FOR CONSTRUCTION

GREENFIELD ROAD AND MCDOWELL ROAD INDUSTRIAL PROJECT

2626 N. GREENFIELD RD. MESA, ARIZONA 85205

WESTERN SEMI SOLUTIONS

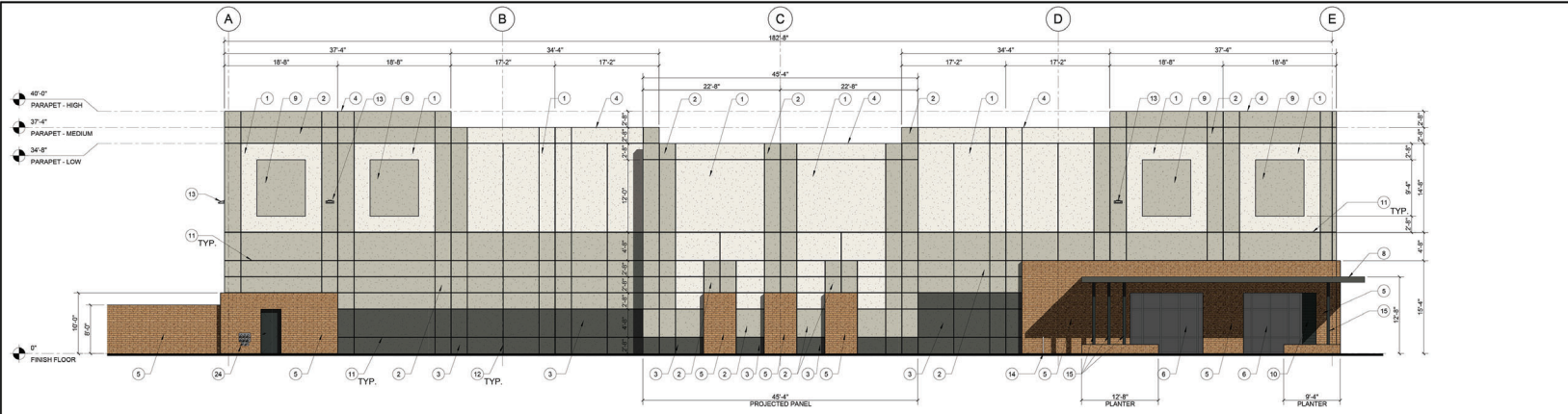
| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |
| | | |

Project Number: 7133-101
Date: 02.08.2023
Drawn By: CBJ/HB
Checked By: JF/JB

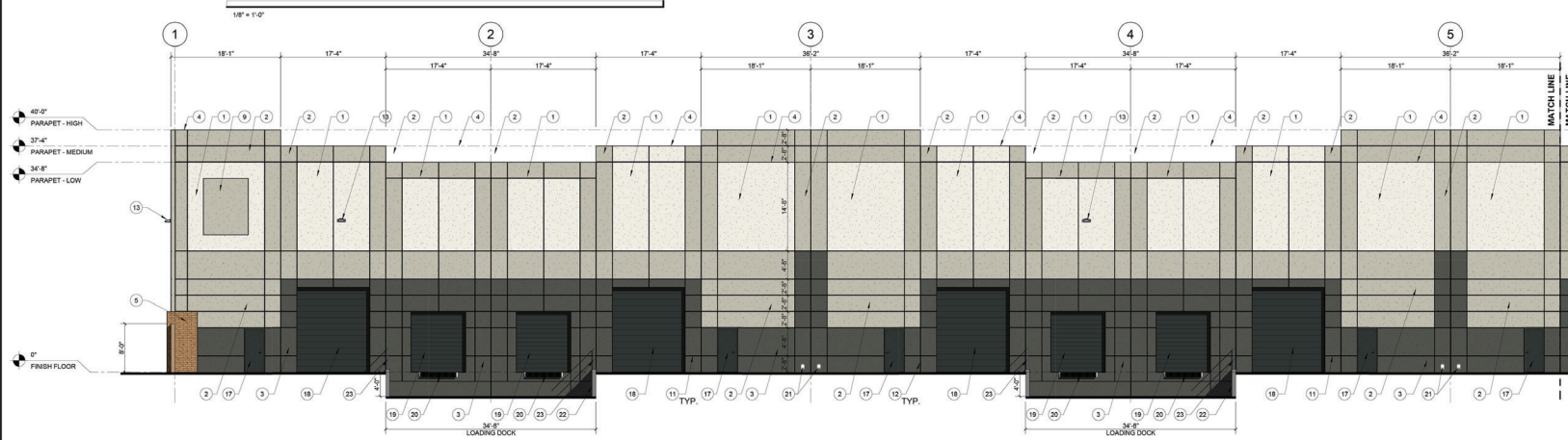
EXTERIOR ELEVATIONS

A6.1

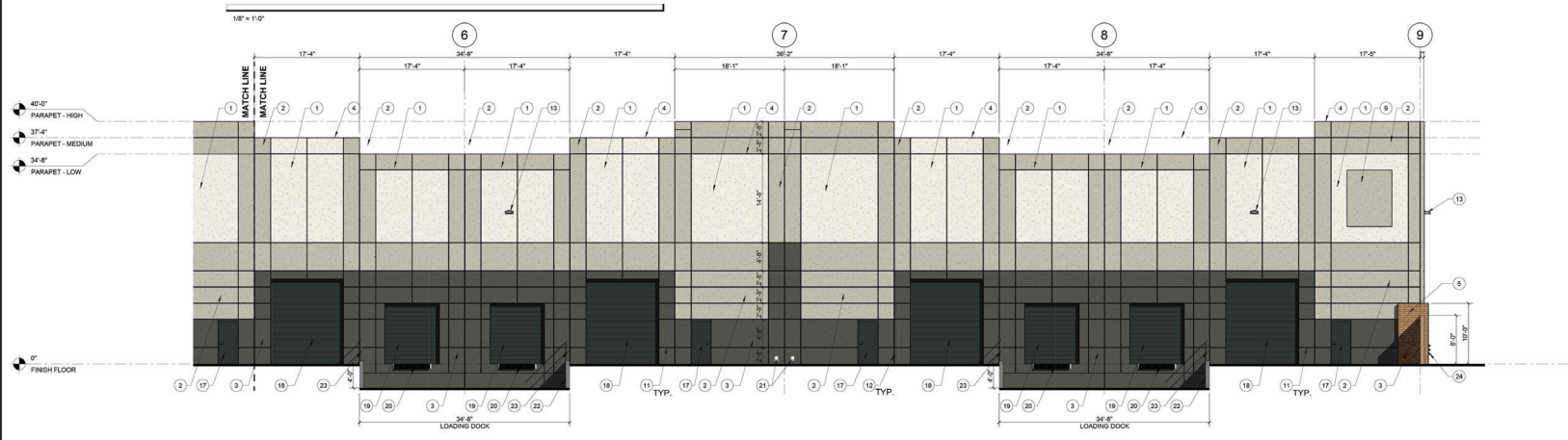
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SOUTH ELEVATION



WEST ELEVATION - LEFT



WEST ELEVATION - RIGHT

- KEYNOTES:**
- 1 CONCRETE TILT PANEL, PAINTED BODY COLOR P-1 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
 - 2 CONCRETE TILT PANEL, PAINTED ACCENT COLOR P-2 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
 - 3 CONCRETE TILT PANEL, PAINTED ACCENT COLOR P-3 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
 - 4 NEW 8\"/>

EXTERIOR ELEVATION CALCULATIONS

NORTH ELEVATION

| | | |
|-------|---------|-------|
| P-1 | 2192 SF | 31.5% |
| P-2 | 2967 SF | 42.5% |
| P-3 | 617 SF | 8.8% |
| CMU-1 | 867 SF | 12.4% |
| MTL-1 | 53 SF | 0.8% |
| G1 | 283 SF | 4.0% |

EAST ELEVATION

| | | |
|-------|---------|-------|
| P-1 | 4492 SF | 27.8% |
| P-2 | 6955 SF | 43.3% |
| P-3 | 1183 SF | 7.3% |
| CMU-1 | 1838 SF | 11.4% |
| MTL-1 | 202 SF | 1.3% |
| G1 | 1444 SF | 8.9% |

SOUTH ELEVATION

| | | |
|-------|---------|-------|
| P-1 | 2192 SF | 31.5% |
| P-2 | 2967 SF | 42.5% |
| P-3 | 617 SF | 8.8% |
| CMU-1 | 827 SF | 11.9% |
| MTL-1 | 77 SF | 1.3% |
| G1 | 283 SF | 4.0% |

WEST ELEVATION

| | | |
|-------|---------|-------|
| P-1 | 4184 SF | 25.9% |
| P-2 | 6017 SF | 36.9% |
| P-3 | 3716 SF | 22.8% |
| CMU-1 | 100 SF | 0.6% |
| MTL-1 | 2258 SF | 13.8% |

EXTERIOR ELEVATION LEGEND

| | |
|-------|---|
| P-1 | CONCRETE TILT PANEL, PAINTED - COLOR: GREYS "ROOBY DART" MFG: DUNN EDWARDS |
| P-2 | CONCRETE TILT PANEL, PAINTED - COLOR: GREYS "TRAY ON GRAY" MFG: DUNN EDWARDS |
| P-3 | CONCRETE TILT PANEL, PAINTED - COLOR: GREYS "IRON RIVER" MFG: DUNN EDWARDS |
| CMU-1 | 8"X4"X16" GROUND FACE UNITS COLOR: TRANSCENTIVE "REPERLY" MFG: OLDCASTLE SUPERLITE - ECHELON |
| CMU-2 | 8"X4"X16" GROUND FACE UNITS COLOR: TRANSCENTIVE "SOLTHREST GOLD" MFG: OLDCASTLE SUPERLITE - ECHELON |
| MTL-1 | METAL WALL PANEL, 910 300 LOW GLOSS COLOR: "IRONWRIGHT BRONZE" MFG: MCB |
| MTL-2 | ANODIZED METAL FRAME COLOR: ARCADIA #11 CLEAR AC-2 MFG: ARCADIA |
| G-1 | GLAZING: GRANULITE II COLOR: SOLARISAN 70 MFG: VITRO GLASS |

architecture. design. management.

dnoj6 adm

NOT FOR CONSTRUCTION

CONSULTANT LOGO

GREENFIELD ROAD AND MCDOWELL ROAD INDUSTRIAL PROJECT
2626 N. GREENFIELD RD. MESA, ARIZONA 85205

WESTERN SEMI SOLUTIONS

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |

Project Number: 7333-001
Date: 02.08.2023
Drawn By: CBJ/HB
Checked By: JF/JB

EXTERIOR ELEVATIONS

A6.2

C:\Users\jg\OneDrive\My Documents\7333-00 WESTERN SEMI SOLUTIONS BUILDING_southwest.dwg

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Citizen Participation Plan for Western Semi Solutions

Date: May 03, 2023

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, and businesses in the vicinity of the site of an application for the Western Semi Solutions new industrial warehouse. We have applied for rezoning for the property located within the 2800 to 2900 blocks of North Greenfield Road (west side), within the 4300 block of East McDowell Road (north side), and within the 4300 block of East Oasis Street (south side). This plan will ensure that those affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact: _____

Jeff Flemming

2100 W. 15th St.

Tempe, Arizona 85281

(480) 285-3828

[email: jflemming@admgroupinc.com](mailto:jflemming@admgroupinc.com)

Pre-submittal Meeting: The pre-application meeting with City of Mesa planning staff was held on June 23, 2022. Staff reviewed the application and recommended that adjacent businesses be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - Property owners within 1,000 feet from site but may include more.
2. All persons listed on the contact list will receive a letter describing the project, project schedule, site plan and invitation to a series of two meetings, location to be determined.
 - The first meeting will be an introduction to the project, and an opportunity to ask questions and state concerns. A sign-in list will be used, and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.
 - The second meeting (optional or as needed) will be held two weeks later and will include responses to questions and concerns of the first meeting. A sign-in list and comment cards will copied to the City of Mesa Planner.
3. Neighborhood Associations, Homeowners Associations and Neighbors within 1,000 feet of the site will be called by telephone to inform them personally of the project and receive comments (optional).
4. Presentations will be made to groups of citizens or neighborhood associations upon request.

[All materials such as sign-in lists, comments, and petitions received are copied to the City of Mesa]

Schedule: Pre-submittal meeting – June 23, 2022

Initial phone calls and door to door visits done – TBD

First neighborhood meeting – TBD

Application Submittal – September 19, 2022

Second neighborhood meeting – TBD

Submittal of Citizen Participation Report and Notification materials – TBD

Planning and Zoning Board Hearing – May 24, 2023

Citizen Participation Report for Western Semi Solutions ZON22-01003 & DRB22-01002

Date of Report : May 16, 2023

Overview: This report provides results of the implementation of the Citizen Participation Plan for subdivision Dover Industrial Park Unit 3. This site is located within the 2800 to 2900 blocks of North Greenfield Road (west side), and within the 4300 block of East Oasis Street (south side) is an application for the site plan review. This report provides evidence that citizens, neighbors, public agencies and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application. Comments, sign-in lists, petitions, letters, summary sheets, and other materials are attached.

Contact:

Jeff Flemming

2100 W. 15th Street

Tempe, Arizona 85281

(480) 285-3828

Email: jflemming@admgroupinc.com

1. First P & Z neighborhood notification letters were hand delivered to the city on April 24, 2023.
2. The property was posted with the city of Mesa standard notification on April 25, 2023.
3. Second P & Z neighborhood notification letters were hand delivered to the city on May 8, 2023.
4. Design Review Board neighborhood notification letters were hand delivered to the city on March 27, 2023. (See attached letters, addresses of properties 1000' from the property, along with site plan and building elevations).

Results:

There were zero comments received.

| Property Street Number | Property S | Property Street Name | Property Street Type | Property Street Suffix | Property Street Post Direction | Property Suite | Property C | Property Zip Code | Property Address |
|------------------------|------------|----------------------|----------------------|------------------------|--------------------------------|----------------|------------|-------------------|-------------------------------------|
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 129 | MESA | 85215 | 2942 N GREENFIELD RD 129 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | <Null> | MESA | 85215 | 2942 N GREENFIELD RD MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 133 | MESA | 85215 | 2942 N GREENFIELD RD 133 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 147 | MESA | 85215 | 2942 N GREENFIELD RD 147 MESA 85215 |
| 4250 | E | OASIS | ST | <Null> | <Null> | <Null> | MESA | 85215 | 4250 E OASIS ST MESA 85215 |
| <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | |
| 4603 | E | MALLORY | CIR | <Null> | <Null> | <Null> | MESA | 85215 | 4603 E MALLORY CIR MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 139 | MESA | 85215 | 2942 N GREENFIELD RD 139 MESA 85215 |
| 2725 | N | OGDEN | <Null> | <Null> | <Null> | <Null> | MESA | 85215 | 2725 N OGDEN MESA 85215 |
| 4350 | E | MCDOWELL | RD | <Null> | <Null> | <Null> | MESA | 85215 | 4350 E MCDOWELL RD MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 145 | MESA | 85215 | 2942 N GREENFIELD RD 145 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 149 | MESA | 85215 | 2942 N GREENFIELD RD 149 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 153 | MESA | 85215 | 2942 N GREENFIELD RD 153 MESA 85215 |
| <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 102 | MESA | 85215 | 2942 N GREENFIELD RD 102 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 155 | MESA | 85215 | 2942 N GREENFIELD RD 155 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 141 | MESA | 85215 | 2942 N GREENFIELD RD 141 MESA 85215 |
| 3055 | N | GREENFIELD | RD | <Null> | <Null> | <Null> | MESA | 85215 | 3055 N GREENFIELD RD MESA 85215 |
| 4355 | E | MCDOWELL | RD | <Null> | <Null> | <Null> | MESA | 85215 | 4355 E MCDOWELL RD MESA 85215 |
| <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | <Null> | |
| 4255 | E | MCDOWELL | RD | <Null> | <Null> | <Null> | MESA | 85215 | 4255 E MCDOWELL RD MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 131 | MESA | 85215 | 2942 N GREENFIELD RD 131 MESA 85215 |
| 4530 | E | MCDOWELL | RD | <Null> | <Null> | <Null> | MESA | 85215 | 4530 E MCDOWELL RD MESA 85215 |
| 2832 | N | OMAHA | <Null> | <Null> | <Null> | <Null> | MESA | 85215 | 2832 N OMAHA MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 143 | MESA | 85215 | 2942 N GREENFIELD RD 143 MESA 85215 |
| 4310 | E | MCDOWELL | RD | <Null> | <Null> | <Null> | MESA | 85215 | 4310 E MCDOWELL RD MESA 85215 |
| 2841 | N | GREENFIELD | RD | <Null> | <Null> | <Null> | MESA | 85215 | 2841 N GREENFIELD RD MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 127 | MESA | 85215 | 2942 N GREENFIELD RD 127 MESA 85215 |
| 2845 | N | OMAHA | <Null> | <Null> | <Null> | <Null> | MESA | 85215 | 2845 N OMAHA MESA 85215 |
| 4220 | E | MCDOWELL | RD | <Null> | <Null> | <Null> | MESA | 85215 | 4220 E MCDOWELL RD MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 137 | MESA | 85215 | 2942 N GREENFIELD RD 137 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 151 | MESA | 85215 | 2942 N GREENFIELD RD 151 MESA 85215 |
| 2942 | N | GREENFIELD | RD | <Null> | <Null> | 135 | MESA | 85215 | 2942 N GREENFIELD RD 135 MESA 85215 |
| 4345 | E | OASIS | ST | <Null> | <Null> | <Null> | MESA | 85215 | 4345 E OASIS ST MESA 85215 |

Planning & Zoning Board Hearing

Dear Neighbor,

We have applied for rezoning for the property located within the 2800 to 2900 blocks of North Greenfield Road (west side), within the 4300 block of East McDowell Road (north side), and within the 4300 block of East Oasis Street (south side). This request is for the development of a 78,449 square foot industrial building for Western Semi Solutions. The case number assigned to this project is **ZON22-01003**.

This letter is being sent to all property owners within 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 480.285.3832 or e-mail me at gklipfel@admgroupinc.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on May 24, 2023, in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **530 123 2921** and following the prompts. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at least **1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free)** using meeting ID **530 123 2921** and following the prompts, prior to the start of the meeting. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

The City of Mesa has assigned this case to Kwasi Abebrese of their Planning Division staff. He/she can be reached at 480-644-2764 or (Kwasi.Abebrese@mesaaz.gov), should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Glenn E. Klipfel
Project Architect ADM Group, Inc.



WESTERN SEMI SOLUTIONS NEW INDUSTRIAL WAREHOUSE BUILDING

2835 N. GREENFIELD RD.
MESA, ARIZONA 85215

CITY OF MESA P & Z SITE SUBMITTAL
FEBRUARY 13, 2023

P&Z SHEET INDEX:

| | |
|--------|-------------------------------------|
| A1.0 | COVER SHEET AND OVERALL SITE PLAN |
| A1.1 | ENLARGED SITE PLAN |
| A1.2 | ENLARGED DIMENSIONED SITE PLAN |
| A1.3 | ENLARGED OPEN SPACE PLANS |
| A1.5 | COLORS SITE DETAILS |
| A1.5.1 | COLORS SITE DETAILS |
| A1.6 | CITIZEN PARTICIPATION PLAN |
| C1.0 | PRELIMINARY G & D COVER SHEET |
| C1.1 | PRELIMINARY GRADING & DRAINAGE PLAN |
| C1.2 | PRELIMINARY GRADING & DRAINAGE PLAN |
| CJ-1.0 | PRELIMINARY UTILITY COVER SHEET |
| CJ-1.1 | PRELIMINARY UTILITY PLAN |
| CJ-1.2 | PRELIMINARY UTILITY PLAN |
| LS0.1 | CONCEPTUAL LANDSCAPE SUMMARY |
| LS1.1 | CONCEPT LANDSCAPE PLAN |
| LS1.2 | CONCEPT LANDSCAPE PLAN |
| A2.1 | DIMENSIONED FLOOR PLAN |
| A6.1 | COLORS EXTERIOR BUILDING ELEVATIONS |
| A6.2 | COLORS EXTERIOR BUILDING ELEVATIONS |

SITE INFORMATION:

| | |
|---|--|
| CLIENT: | STEPHAN M JAVINETT LIVING TRUST 2962 N. NORFOLK ST. MESA, ARIZONA 85215-1135 |
| PROJECT ADDRESS: | 4345 E. OASIS ST. MESA, ARIZONA 85215 |
| APN: | 141-25-192-141-25-193 |
| CONSTRUCTION TYPE: | NEW-V-B |
| ZONING: | LIGHT INDUSTRIAL (LI) |
| OCCUPANCY: | F-2 LOW HAZARD INDUSTRIAL |
| FIRE SPRINKLERS: | FULLY SPRINKLERED |
| FIRE ALARMS: | YES |
| FIRE EXTINGUISHERS: | YES |
| EMERGENCY LIGHTING: | YES |
| STAND PIPES: | NO |
| BUILDING DATA (TITLE 11 - ARTICLE 2 - CHAPTER 7 - TABLE 11-7-3) | |
| NEW BUILDING SQUARE FOOTAGE: | 76,725 S.F. |
| OVERHANGS: | 1,724 S.F. |
| TOTAL BUILDING AREA: | 78,449 S.F. |
| BUILDING STORIES: | 1 STORY |
| MAXIMUM BUILDING HEIGHT: | 40' ABOVE GRADE |
| ACTUAL HEIGHT: | MULTI-HEIGHT FROM 32' UP TO 40' (MAX) |
| SITE DATA (TITLE 11 - ARTICLE 2 - CHAPTER 7 - TABLE 11-7-3) | |
| GROSS ACREAGE (PROPERTY): | 246.763 S.F. (5.66 ACRES) |
| NET ACREAGE (MINUS PUFFE): | 207.830 S.F. (4.71 ACRES) |
| ALLOWABLE BUILDING AREA: | UNLIMITED (FULLY SPRINKLED) |
| ACTUAL BUILDING AREA: | 76,725 S.F. + 1,724 S.F. = 78,449 S.F. |
| ALLOWABLE LOT COVERAGE: | 99% |
| ACTUAL LOT COVERAGE: | 84.22% |
| (MZO TABLE 11-7-3 IMPERVIOUS SURFACES) | |
| LANDSCAPE AREA: | 43,473 S.F. |
| LANDSCAPE PERCENTAGE: | 20.92% |
| BUILDING SETBACK: | |
| EAST SETBACK (GREENFIELD RD): | 50' |
| NORTH SETBACK (OASIS STREET): | 30' |
| SOUTH SETBACK (MCDOWELL RD): | 40' |
| PARKING DATA (TABLE 11-32-3.A) | |
| SHELL INDUSTRIAL: (NON-SPECIFIED USE) | |
| (75%) 1 SPACE PER 500 S.F.: | 57,544 / 500 = 115 SPACES REQUIRED |
| (25%) 1 SPACE PER 375 S.F.: | 19,181 / 375 = 51 SPACES REQUIRED |
| TOTAL SPACES REQUIRED: | 166 SPACES |
| TOTAL SPACES PROVIDED: | 170 SPACES |
| ADA SPACES REQUIRED: | 6 SPACES |
| ADA SPACES PROVIDED: | 6 SPACES (1 VAN) |
| BICYCLE SPACES REQUIRED: | 17 SPACES |
| BICYCLE SPACES PROVIDED: | 21 SPACES |
| LOADING DOCKS PROVIDED: | 8 SPACES |
| COMMON OPEN SPACE: | |
| REQUIRED: 1% OF 76,725 S.F.: | 767 S.F. MIN. - 1,555 S.F. PROVIDED |
| NORTH PATIO: | 454 S.F. |
| SOUTH PATIO: | 454 S.F. |
| EAST PATIO: | 647 S.F. |
| TOTAL: | 1,555 S.F. |
| APPLICABLE CODES - CITY OF MESA | |
| 2018 IBC: | 2018 IRC |
| 2018 IECC: | 2018 IMC |
| 2018 IFC: | 2018 IPC |
| 2010 ADAAG: | 2017 NEC |
| GUIDELINES | |
| CITY OF MESA - 2021 MESA STANDARD DETAILS AND SPECIFICATIONS | |
| CITY OF MESA - 2021 ENGINEERING AND DESIGN STANDARDS | |
| PLANS SHALL BE DESIGNED PER NFPA 13. | |

SITE GENERAL NOTES:

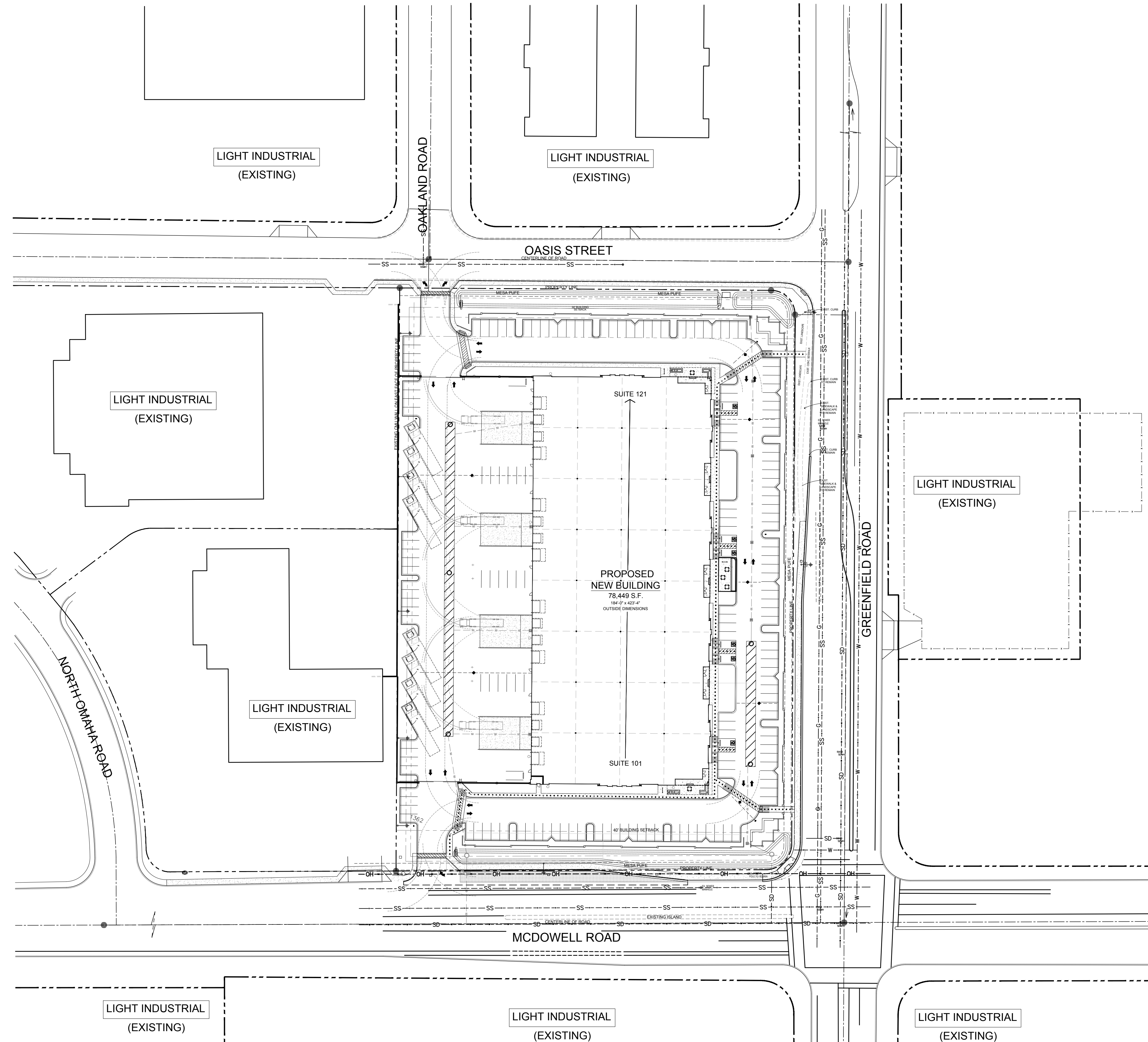
- ALL WORK DONE IN THE PUBLIC RIGHT OF WAY REQUIRES A SEPARATE PERMIT.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION, TYPICAL.
- CONTRACTOR SHALL MAINTAIN A SAFE AND CLEAR SITE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, TYPICAL.
- ALL MATERIALS TO BE REMOVED FROM THE SITE SHALL BE DISPOSED OF IN THE PROPER MANNER IN THE APPROPRIATE AREA.
- CONTRACTOR SHALL MAINTAIN FIRE LANE ACCESS DURING THE COURSE OF CONSTRUCTION. FIRE LANE ACCESS SHALL MEET REQUIREMENTS PUT FORTH BY THE CITY OF MESA.
- THE USE OF ANY PROFANITY, TOBACCO, ALCOHOL OR OTHER DRUGS WILL NOT BE ALLOWED ON THIS SITE. FAILURE TO ADHERE TO THESE RULES SHALL RESULT IN REMOVAL FROM THE PROJECT SITE.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES IMMEDIATELY.
- DEVELOPMENT AND USE OF THIS SITE SHALL CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, AND GUIDELINES.
- ALL NEW AND RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND.
- COORDINATE NEW LIGHT POLE LOCATIONS WITH ELECTRICAL AND ARCHITECTURAL DRAWINGS.
- PROVIDE HORIZONTAL AND VERTICAL CONTROL JOINTS AT ALL FLATWORK TRANSITIONS SHOWN ON PLANS, TYPICAL.
- EXPANSION JOINTS IN FLATWORK SHALL BE 20'-0" SPACING, TYPICAL.
- SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION ON GRADING AND DRAINAGE DESIGN.

CONSTRUCTION NOTES:

- "COMPLY WITH ALL PROVISIONS AND REQUIREMENTS OF MESA BUILDING CODE (MBC) CHAPTER 33 - SAFEGUARDS DURING CONSTRUCTION, MESA FIRE CODE (MFC), FIRE SAFETY DURING CONSTRUCTION, AND NFPA 241 FOR ITEMS NOT SPECIFICALLY ADDRESSED BY MFC CHAPTER 33."
"FIRE APPARATUS ROADS ARE ESSENTIAL DURING CONSTRUCTION TO ALLOW EMERGENCY RESPONSE TO THE SITE FOR BOTH FIRE AND MEDICAL EMERGENCIES. ACCESS ROADS SHALL BE IN PLACE PRIOR TO THE START OF VERTICAL CONSTRUCTION. IT IS IMPORTANT TO DEVELOP ACCESS ROADS AT AN EARLY STAGE OF CONSTRUCTION TO ALLOW FOR FIRE DEPARTMENT ACCESS TO THE SITE IN CASE OF FIRE OR INJURY."
- "REQUIRED FIRE APPARATUS ACCESS ROAD DURING CONSTRUCTION OR DEMOLITION SHALL COMPLY WITH MESA FIRE AND MEDICAL DEPARTMENT STANDARD DETAIL FPD 3310.1."
"THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FEET WIDE OF ALL-WEATHER DRIVING SURFACE, GRADED TO DRAIN STANDING WATER AND ENGINEERED TO BEAR THE IMPOSED LOADS OF FIRE APPARATUS. (78,000 LBS. / 24,000 LBS. FRONT AXLE, 54,000 LBS. REAR AXLE)
"WHEN ROADS ARE WET, ALL OPEN TRENCHES THAT CROSS AN ACCESS ROAD SHALL HAVE STEEL PLATES CAPABLE OF MAINTAINING THE INTEGRITY OF THE ACCESS ROAD DESIGN. THESE ACCESS ROADS MAY BE TEMPORARY OR PERMANENT. THIS POLICY ONLY APPLIES DURING CONSTRUCTION AND/OR DEMOLITION. PERMANENT ACCESS PER THE MFC SHALL BE IN PLACE PRIOR TO ANY FINAL INSPECTION OR CERTIFICATE OF OCCUPANCY."
- "WATER SUPPLY FOR FIRE PROTECTION, AN APPROVED WATER SUPPLY FOR CONSTRUCTION SITE SHALL MEET THE REQUIREMENTS OF MFC APPENDIX CHAPTERS B AND C. THE MINIMUM FIRE FLOW REQUIREMENT WHEN CONTRACTOR OR DEVELOPER BRINGS COMBUSTIBLE MATERIALS ON SITE IS 1,500 GPM AT 20 PSI. AT LEAST ONE FIRE HYDRANT SHALL BE WITHIN 500 FEET OF ANY COMBUSTIBLE MATERIAL AND CAPABLE OF DELIVERING THE MINIMUM FIRE FLOW REQUIREMENT. THIS HYDRANT OR HYDRANTS MAY BE EITHER TEMPORARY OR PERMANENT AS THE PROJECT SCHEDULE PERMITS.
"IN ADDITION, THERE ARE TIMES WHEN HYDRANTS AND VALVES MUST BE CLOSED TEMPORARILY FOR REPAIR WORK OR CONSTRUCTION OF THE WATER SYSTEM. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE WATER SUPPLY IS ALWAYS AVAILABLE. WHEN THE WORK IS COMPLETE, DEVELOPER/CONTRACTOR SHALL MAKE SURE THAT THE FIRE HYDRANTS ARE ACTIVE, AND THE VALVES ARE OPEN."

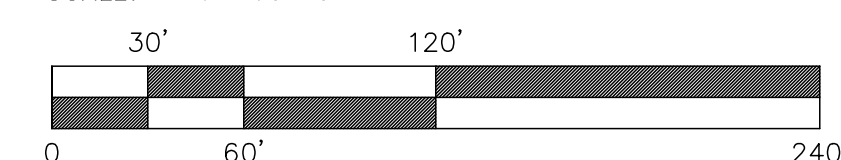
SITE PLAN NOTES:

- NO DEMOLITION OR CONSTRUCTION WORK NEAR ROW SHALL TAKE PLACE BEFORE HAVING A MEETING WITH THE TRANSPORTATION LANDSCAPE DEPARTMENT. SPECIAL ATTENTION MUST BE PAID TO THE EXISTING IRRIGATION, ELECTRICAL AND CONDUIT LINES IN THE ROW.
- ALL GROUND MOUNTED EQUIPMENT FACING A STREET SHALL BE SCREENED TO A HEIGHT OF AT LEAST 12 INCHES ABOVE THE EQUIPMENT PER CITY OF MESA SECTION 11-30-9(A)(2).
- ALL WALL MOUNTED EQUIPMENT THAT FACE A STREET OR PUBLIC PARKING SHALL BE SCREENED PER CITY OF MESA SECTION 11-30-9(A)(3).

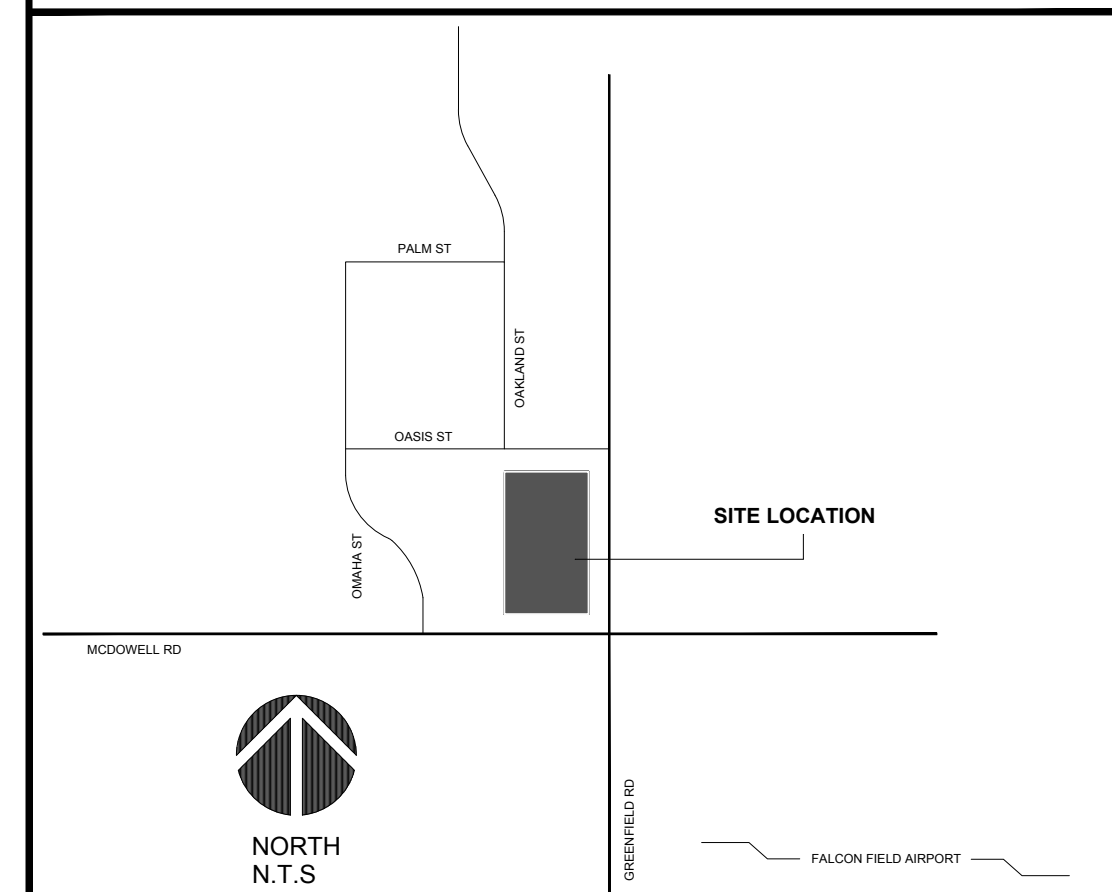


SITE PLAN

SCALE: 1"=60'-0"



VICINITY MAP:



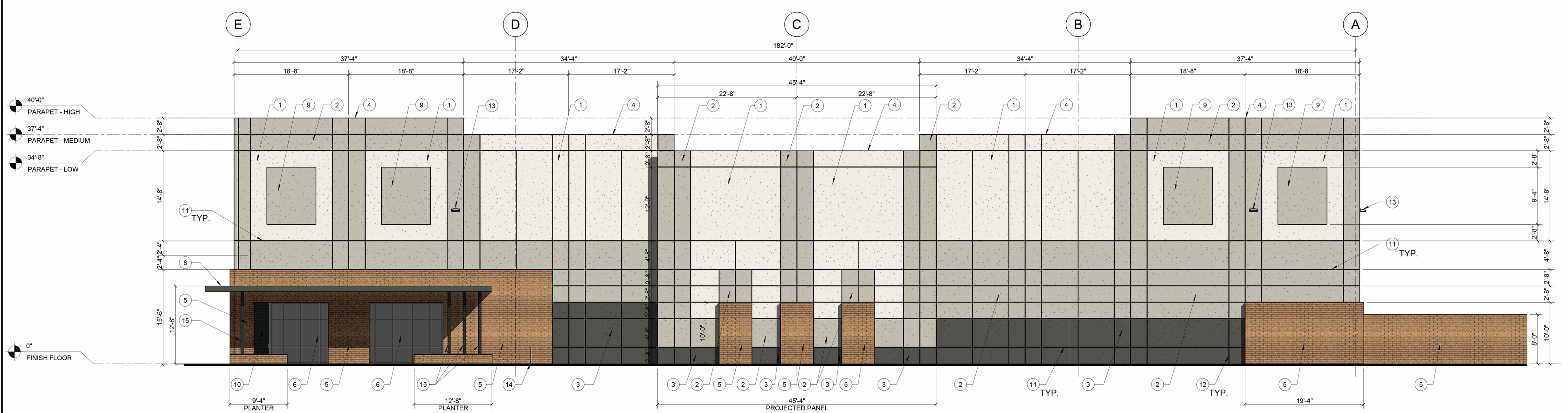
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design -
management -
adm
2100 WEST 15TH STREET | TEMPE, AZ 85281 | 480.285.3900



GREENFIELD ROAD
AND
MCDOWELL ROAD
INDUSTRIAL PROJECT
2835 N. GREENFIELD RD.
MESA, ARIZONA 85215
WESTERN
SEMI SOLUTIONS

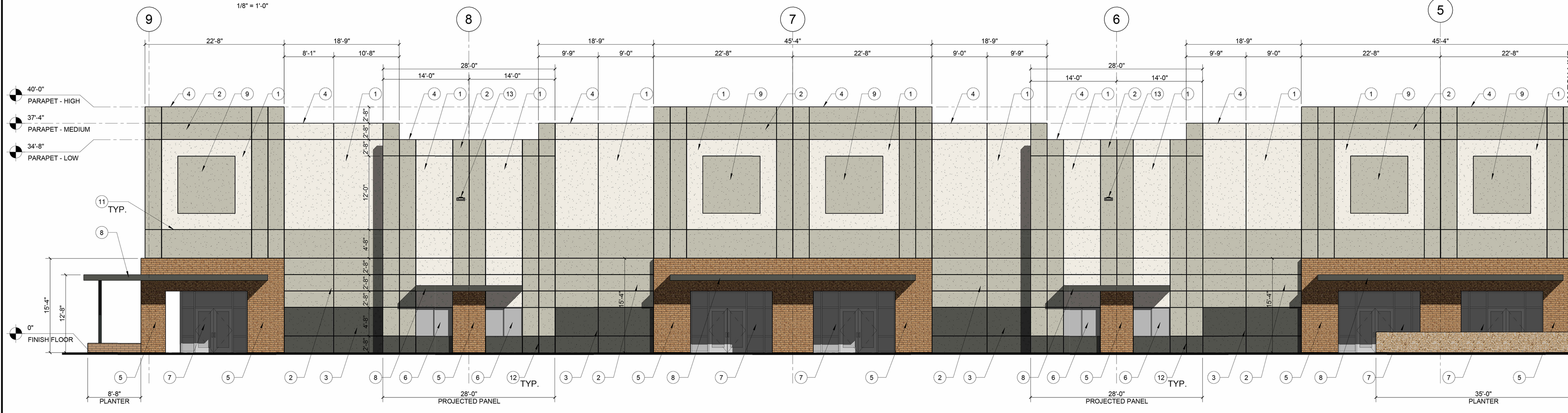
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Project Number:
7133-100
Date:
09.15.2022
Drawn By:
GK
Checked By:
JS
SITE PLAN &
PROJECT INFORMATION
A1.0



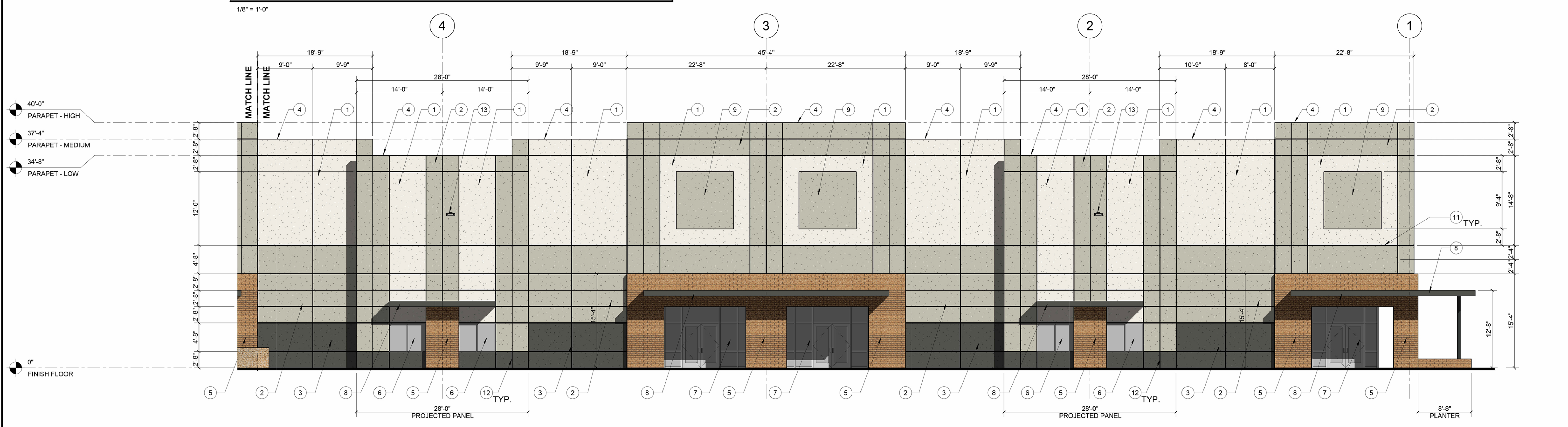
NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION - LEFT

1/8" = 1'-0"



EAST ELEVATION - RIGHT

1/8" = 1'-0"

KEYNOTES:

- 1 CONCRETE TILT PANEL, PAINTED BODY COLOR P-1 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
- 2 CONCRETE TILT PANEL, PAINTED ACCENT COLOR P-2 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
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- 4 NEW 8" PRE-CAST CONCRETE TILT UP PANEL
- 5 8"x4"x16" CMU VENEER WALL - CMU-1 - SEE EXTERIOR ELEVATIONS AND FINISH SCHEDULE
- 6 ANODIZED ALUMINUM STOREFRONT FRAME AND GLAZING SYSTEM - G-1 ANODIZED ALUMINUM STOREFRONT FRAME WITH DOOR AND GLAZING SYSTEM - G-1, MTL-2
- 7 METAL PANEL CANOPY AND FRAME - MTL-1
- 8 1" RECESS IN CONCRETE TILT PANEL - PAINTED ACCENT COLOR P-2
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- 10 HORIZONTAL REVEAL
- 11 VERTICAL REVEAL
- 12 EXTERIOR TILT PANEL MOUNTED LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
- 13 5 LOOP METAL BIKE RACK
- 14 METAL TUBE POST - PAINTED ACCENT COLOR P-3
- 15 HOLLOW METAL DOOR AND FRAME ASSEMBLY - SEE DOOR AND FRAME SCHEDULE FOR SIZE
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- 18 EXPOSED ROOF DRAIN LEADERS "LAMB TONGUE" COVER - SEE PLUMBING DRAWINGS
- 19 8" CONCRETE LOADING DOCK RETAINING WALL
- 20 LOADING DOCK RETAINING WALL GUARDRAIL
- 21 FIRE DEPARTMENT CONNECTION - SIZING AS REQUIRED FOR CITY OF MESA FIRE DEPARTMENT
- 22
- 23
- 24

EXTERIOR ELEVATION CALCULATIONS

| NORTH ELEVATION | | | |
|-----------------|-------|---------|-------|
| | P-1 | 2192 SF | 31.5% |
| | P-2 | 2967 SF | 42.5% |
| | P-3 | 617 SF | 8.8% |
| | CMU-1 | 861 SF | 12.4% |
| | MTL-1 | 53 SF | 0.8% |
| | G1 | 283 SF | 4.0% |
| | MTL-2 | | |

| EAST ELEVATION | | | |
|----------------|-------|---------|-------|
| | P-1 | 4492 SF | 27.8% |
| | P-2 | 6995 SF | 43.3% |
| | P-3 | 1183 SF | 7.3% |
| | CMU-1 | 1838 SF | 11.4% |
| | MTL-1 | 202 SF | 1.3% |
| | G1 | 1444 SF | 8.9% |
| | MTL-2 | | |

| SOUTH ELEVATION | | | |
|-----------------|-------|---------|-------|
| | P-1 | 2192 SF | 31.5% |
| | P-2 | 2967 SF | 42.5% |
| | P-3 | 617 SF | 8.8% |
| | CMU-1 | 837 SF | 11.9% |
| | MTL-1 | 77 SF | 1.3% |
| | G1 | 283 SF | 4.0% |
| | MTL-2 | | |

| WEST ELEVATION | | | |
|----------------|-------|---------|-------|
| | P-1 | 4184 SF | 25.9% |
| | P-2 | 6017 SF | 36.9% |
| | P-3 | 3716 SF | 22.8% |
| | CMU-1 | 100 SF | 0.6% |
| | MTL-1 | 2258 SF | 13.8% |

EXTERIOR ELEVATION LEGEND

| | | |
|--|-------|--|
| | P-1 | CONCRETE TILT PANEL, PAINTED - COLOR: DE6226 "FOGGY DAY" MFG: DUNN EDWARDS |
| | P-2 | CONCRETE TILT PANEL, PAINTED - COLOR: DE6228 "PLAY ON GRAY" MFG: DUNN EDWARDS |
| | P-3 | CONCRETE TILT PANEL, PAINTED - COLOR: DE4176 "IRON RIVER" MFG: DUNN EDWARDS |
| | CMU-1 | 8"x4"x16" GROUND FACE UNITS COLOR: TRENDSSTONE "BERKELEY" MFG: OLDCASTLE SUPERLITE - ECHELON |
| | CMU-2 | 8"x4"x16" GROUND FACE UNITS COLOR: TRENDSSTONE "SOUTHWEST GOLD" MFG: OLDCASTLE SUPERLITE - ECHELON |
| | MTL-1 | METAL WALL PANEL, SIG 300 LOW GLOSS COLOR: "MIDNIGHT BRONZE" MFG: MCSI |
| | MTL-2 | ANODIZED METAL FRAME COLOR: ARCADIA #11 CLEAR AC-2 MFG: ARCADIA |
| | G-1 | GLAZING - GRAYLITE II COLOR: SOLARBAN 70 MFG: VITRO GLASS |

architecture.
design.
management.

adm

2100 WEST 15TH STREET | TEMPE, AZ 85281 | 480.265.3800

NOT FOR CONSTRUCTION

CONSULTANT LOGO

GREENFIELD ROAD AND MCDOWELL ROAD INDUSTRIAL PROJECT

WESTERN SEMI SOLUTIONS

2838 N. GREENFIELD RD. MESA, ARIZONA 85215

| REVISION | DATE | DESCRIPTION |
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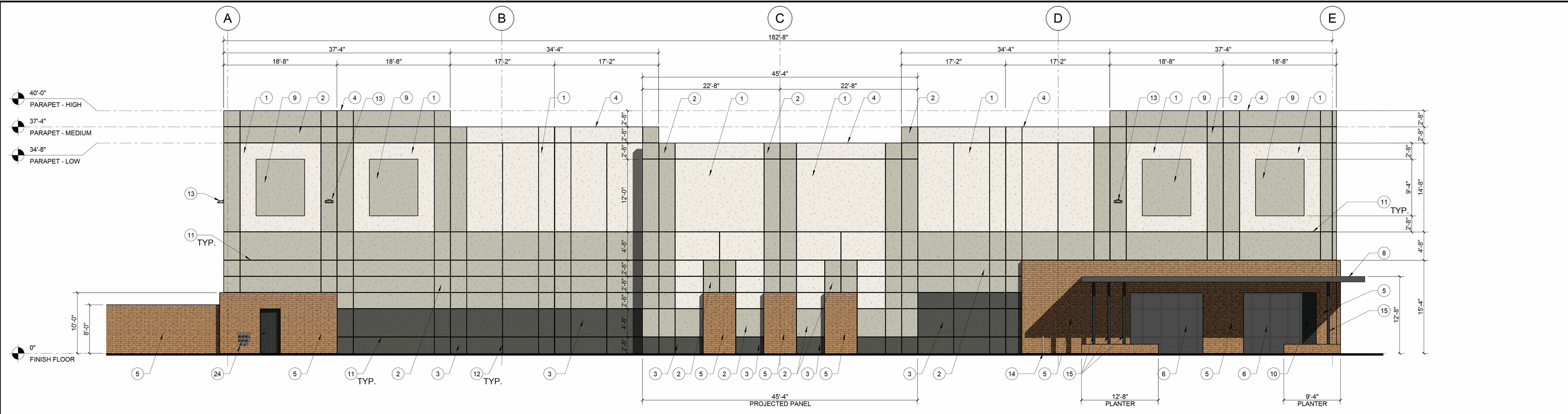
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| Date | 02.02.2023 |
| Drawn By | CB/MS |
| Checked By | JF/JIS |

EXTERIOR ELEVATIONS

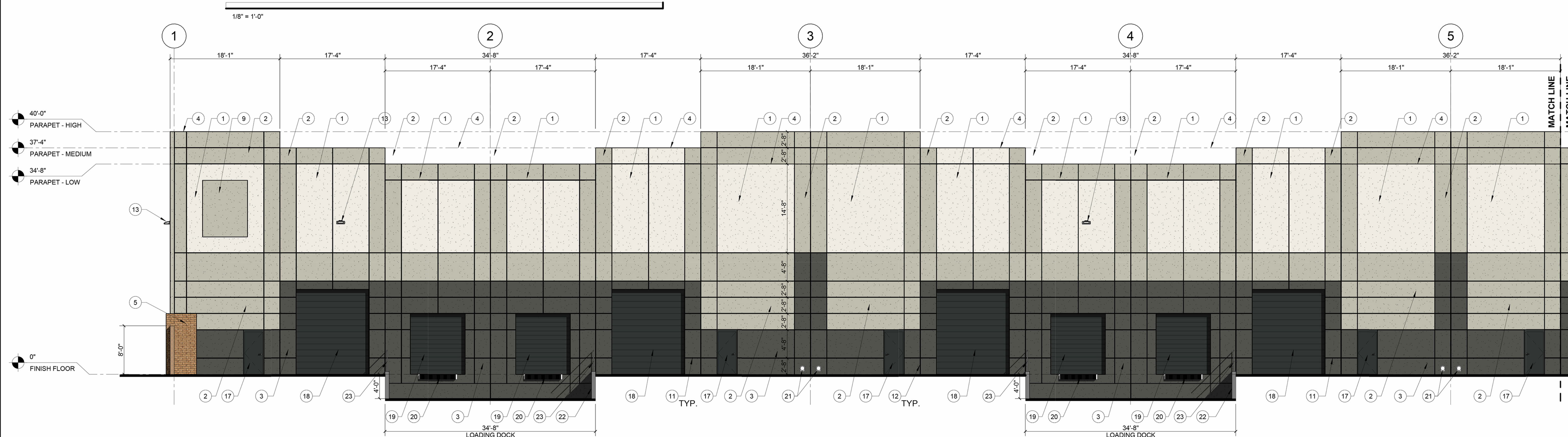
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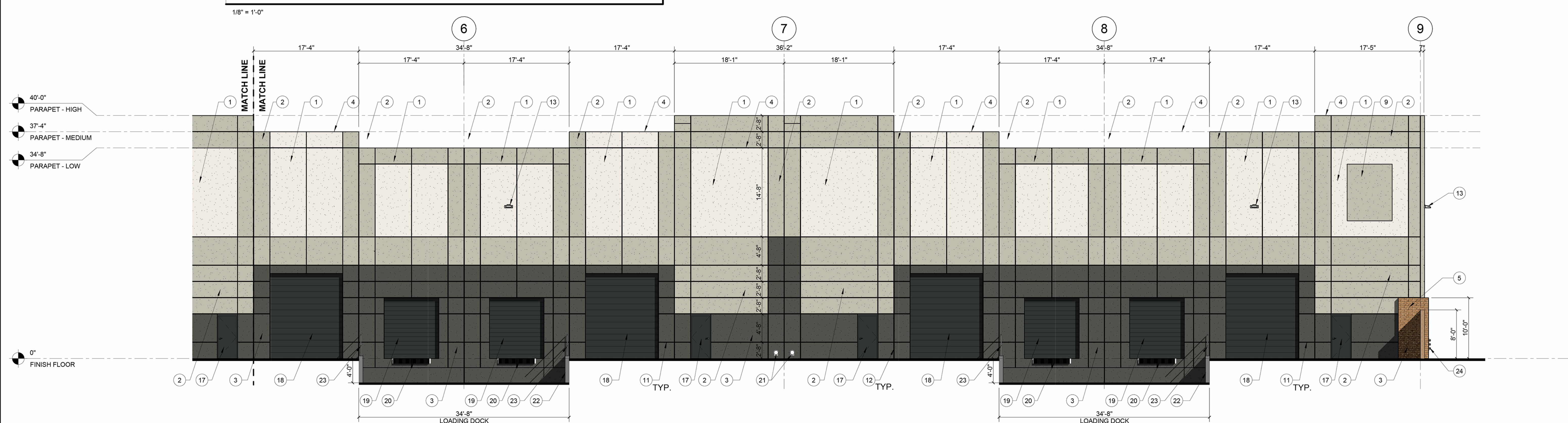
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SOUTH ELEVATION



WEST ELEVATION - LEFT



WEST ELEVATION - RIGHT

- KEYNOTES:**
- 1 CONCRETE TILT PANEL, PAINTED BODY COLOR P-1 - SEE EXTERIOR ELEVATION AND FINISH SCHEDULE
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 - 24

EXTERIOR ELEVATION CALCULATIONS

| NORTH ELEVATION | | |
|-----------------|----------|---------------|
| | P-1 | 2192 SF 31.5% |
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| | G1 MTL-2 | 283 SF 4.0% |

| EAST ELEVATION | | |
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EXTERIOR ELEVATION LEGEND

| | | |
|--|-------|--|
| | P-1 | CONCRETE TILT PANEL, PAINTED - COLOR: DE6226 "FOGGY DAY" MFG: DUNN EDWARDS |
| | P-2 | CONCRETE TILT PANEL, PAINTED - COLOR: DE6228 "PLAY ON GRAY" MFG: DUNN EDWARDS |
| | P-3 | CONCRETE TILT PANEL, PAINTED - COLOR: DE4176 "IRON RIVER" MFG: DUNN EDWARDS |
| | CMU-1 | 8"x4"x16" GROUND FACE UNITS COLOR: TRENDSSTONE "BERKELEY" MFG: OLDCASTLE SUPERLITE - ECHELON |
| | CMU-2 | 8"x4"x16" GROUND FACE UNITS COLOR: TRENDSSTONE "SOUTHWEST GOLD" MFG: OLDCASTLE SUPERLITE - ECHELON |
| | MTL-1 | METAL WALL PANEL, SIG 300 LOW GLOSS COLOR: "MIDNIGHT BRONZE" MFG: MGBI |
| | MTL-2 | ANODIZED METAL FRAME COLOR: ARCADIA #11 CLEAR AC-2 MFG: ARCADIA |
| | G-1 | GLAZING - GRAYLITE II COLOR: SOLARBAN 70 MFG: VITRO GLASS |

architecture.
design.
management.
adm
 2100 WEST 15TH STREET | TEMPE, AZ 85281 | 480.265.3800

NOT FOR CONSTRUCTION

CONSULTANT LOGO

GREENFIELD ROAD AND MCDOWELL ROAD INDUSTRIAL PROJECT
 2838 N. GREENFIELD RD. MESA, ARIZONA 85215

WESTERN SEMI SOLUTIONS

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |

Project Number: 7133-101
 Date: 02.02.2023
 Drawn By: CB/MS
 Checked By: JF/JS

EXTERIOR ELEVATIONS
A6.2

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