

# Planning and Zoning Board



## *Study Session Minutes*

Mesa City Council Chambers – Lower Level, 57 East 1<sup>st</sup> Street

Date: October 23, 2024 Time: 3:00 p.m.

### **MEMBERS PRESENT:**

Jeff Pitcher  
Troy Peterson  
Genessee Montes  
Jayson Carpenter  
Jamie Blakeman  
Chase Farnsworth

(\*Boardmembers and staff participated in the meeting through the use of telephonic and video conference equipment)

### **MEMBERS ABSENT**

Benjamin Ayers

### **STAFF PRESENT:**

Mary Kopaskie-Brown  
Rachel Nettles  
Cassidy Welch  
Jennifer Merrill  
Charlotte Bridges  
Emily Johnson  
Kirstin Dvorchak  
Alexis Wagner  
Evan Balmer

### **OTHERS PRESENT:**

#### **1 Call meeting to order.**

Vice Chair Pitcher excused Chair Ayers and declared a quorum present, the meeting was called to order at 3:02 pm.

#### **2 Review items on the agenda for the October 23, 2024, regular Planning and Zoning Board Hearing.**

**Staff Planner Charlotte Bridges presented case ZON23-00771. See attached presentation.**

Boardmember Farnsworth expressed concern with the proposed number of visitor parking.

Ms. Bridges explained that the project does meet the parking requirements per the Mesa Zoning Ordinance.

**Staff Planner Evan Balmer presented case ZON23-000859. See attached presentation.**

Boardmember Peterson asked if the plan includes any options for owner-occupied housing or other alternatives to address housing shortages.

## MINUTES OF THE OCTOBER 23, 2024 PLANNING & ZONING STUDY SESSION

Mr. Balmer explained that it could include single family residential, plated town homes or condos. It does not have to be only multiple residential.

Further discussion ensued around the housing for this development.

**Staff Planner Charlotte Bridges presented case ZON23-00935. See attached presentation.**

The Board had no questions for staff.

**Staff Planner Emily Johnson presented case ZON23-00994. See attached presentation.**

The Board had no questions for staff.

**Staff Planner Jennifer Merrill presented case ZON24-00602. See attached presentation.**

The Board had no questions for staff.

**Staff Planner Cassidy Welch presented case ZON24-00649. See attached presentation.**

The Board had no questions for staff.

**Assistant Planning Director Rachel Nettles presented the proposed amendments to Chapters 6, 7, 8, 81, and 87 of Title 11 of the Mesa City Code pertaining to adaptive reuse. See attached presentation.**

Ms. Nettles clarified that the bill did not distinguish between owner-occupied and rental units, the only requirement is that 10% of the units be affordable housing for 20 years.

Boardmember Peterson suggested attaching the relevant state legislation to the packet when presenting on text amendments related to state laws, for reference.

Vice Chair Pitcher suggested implementing a first-come, first-served system for building permits to prevent individuals from blocking multiple buildings without taking action. This would ensure that if someone is not actively pursuing their permit, they don't hold up opportunities for others to develop.

**Proposed amendments to Chapter 67 and 87 of Title 11 of the Mesa City Code pertaining to residential zoning application review timeframes was continued to the November 13, 2024, Planning and Zoning Board meeting.**

**3 Planning Director Update:** Upcoming Special meetings

**4 Adjournment.**

Boardmember Farnsworth motioned to adjourn the study session. The motion was seconded by Boardmember Montes.

The study session was adjourned at 4:43 pm.

**Note:** Audio recordings of the Planning & Zoning Board Meetings are available in the Planning Division Office for review. They are also "live broadcasted" through the City of Mesa's website at [www.mesaaz.gov](http://www.mesaaz.gov)



MINUTES OF THE OCTOBER 23, 2024 PLANNING & ZONING STUDY SESSION

**Vote (6 – 0; Chair Ayers, absent)**

Upon tabulation of vote, it showed:

AYES – Pitcher, Peterson, Montes, Carpenter, Blakeman, Farnsworth

NAYS – None

Respectfully submitted,

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Evan Balmer, Principal Planner

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# ZON23-00771

## The Five Six

Charlotte Bridges, Planner II

October 23, 2024



# Request

- Rezone from LC to RM-4-PAD
- Site Plan Review
- New 32-unit multiple, 3-story residence development

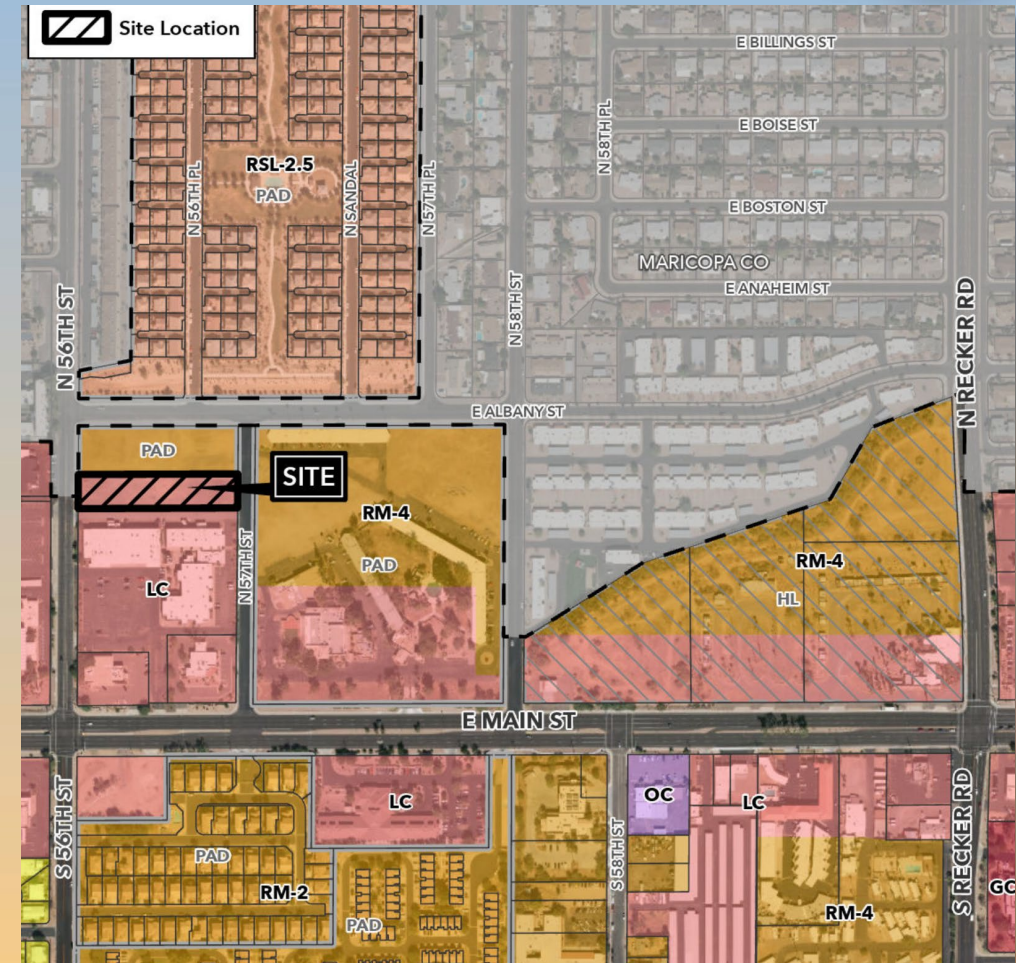






# Location

- West of Recker Road
- Approximately 600 feet north of Main Street
- Between 56<sup>th</sup> and 57<sup>th</sup> Streets



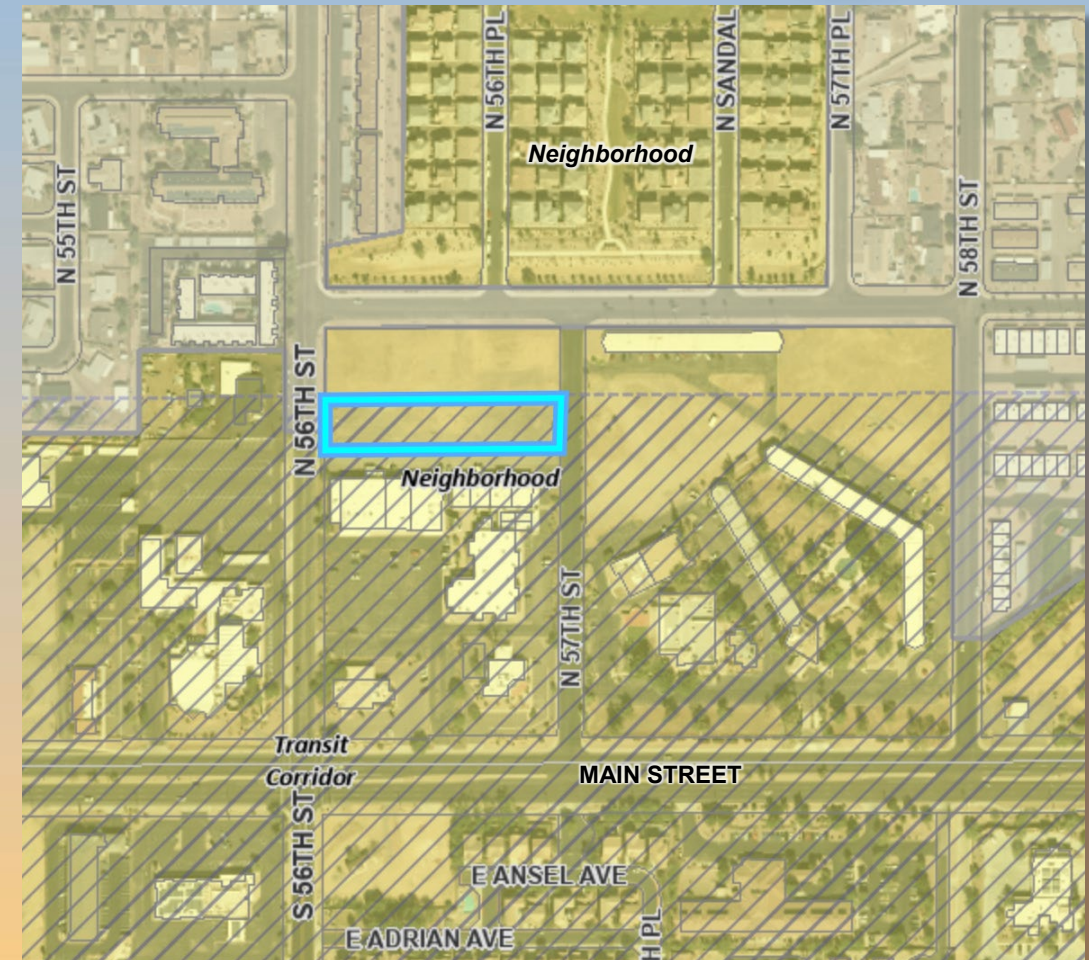




# General Plan

## Neighborhood with a Suburban Sub-type and Transit Corridor

- Safe places to live and enjoy surrounding community
- Variety of housing types and associated non-residential uses
- Develop a mixed-use, pedestrian-oriented, urban environment within walking distance of transit stops.
- RM-4 is a secondary zoning district
- Majority of the character area established with primary zoning

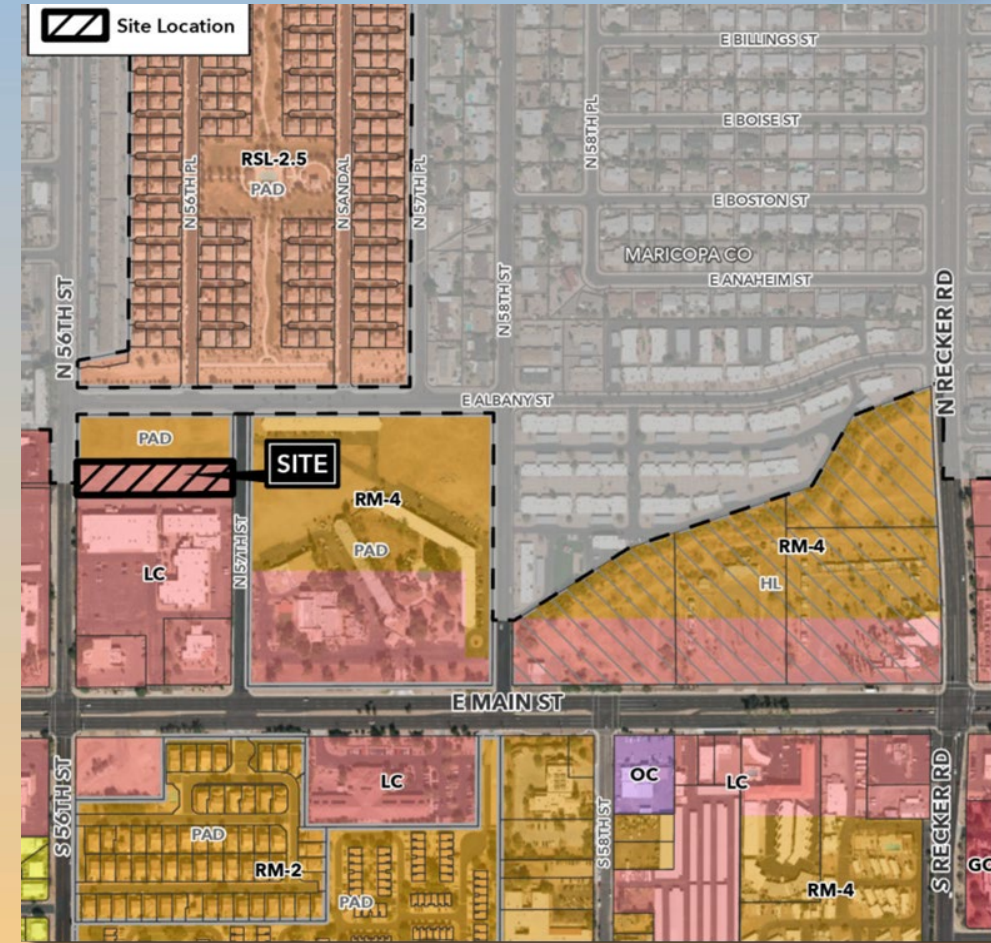






# Zoning

- Current Zoning
  - LC
- Proposed Zoning
  - RM-4-PAD







# Site Photo



Looking east from 56<sup>th</sup> Street





# Site Photo



Looking north from Palm Street





# Site Photo

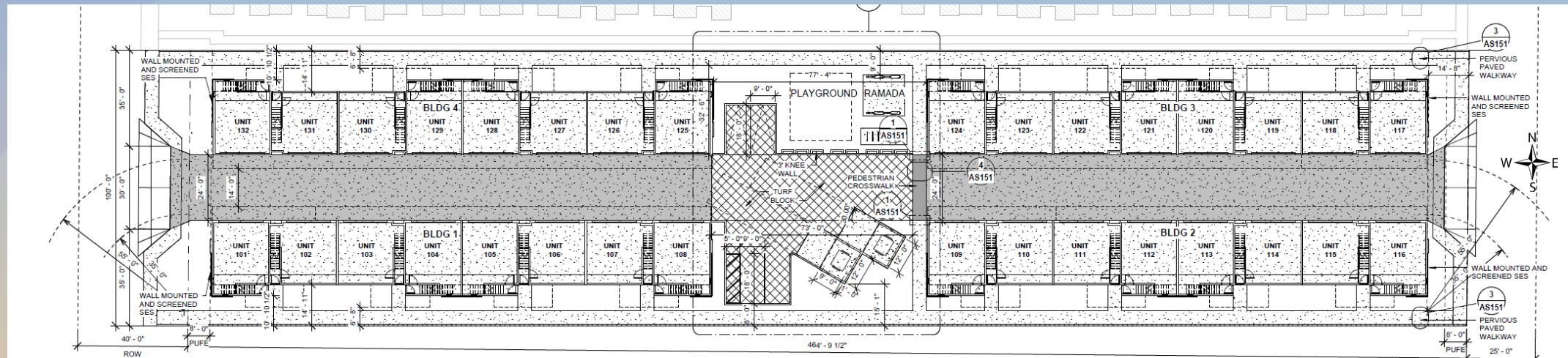


Looking west from 57<sup>th</sup> Street





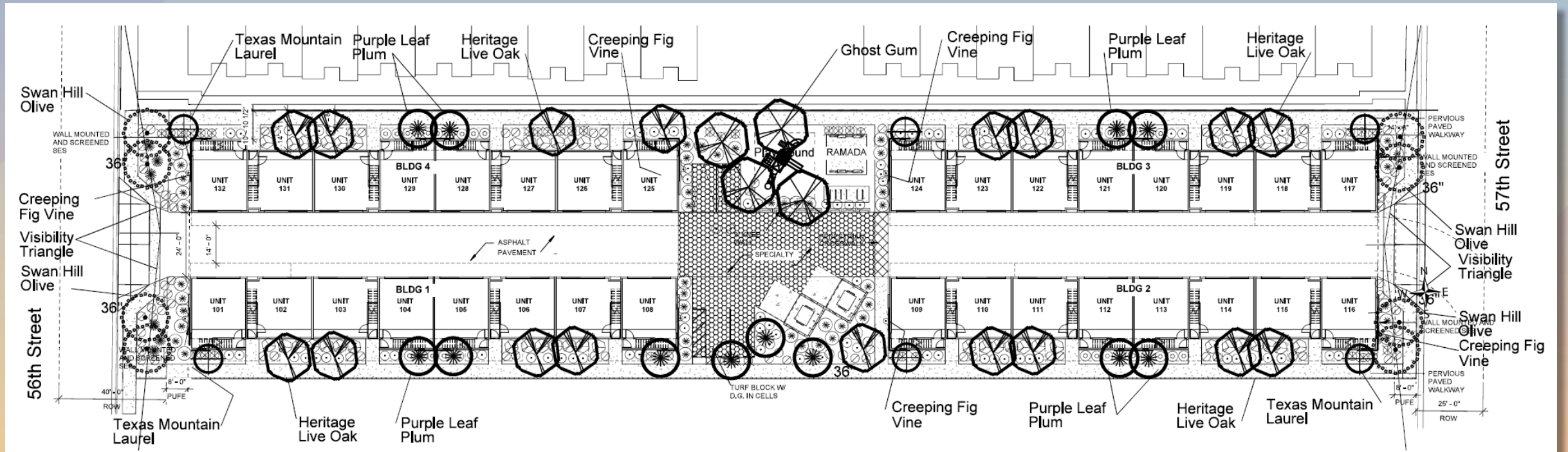
# Site Plan



- 32 three-story dwelling units
- Access from 56<sup>th</sup> and 57<sup>th</sup> Street
- 68 parking spaces required
- Double car garage per unit, plus 4 visitor spaces, total of 68 spaces provided
- Centralized amenity area



# Landscape Plan







# Planned Area Development (PAD) Overlay

## Development Standard

## MZO Required

## PAD Proposed

### Minimum Yards –

*MZO Table 11-5-5:*

- Front and Street Facing Side:

56<sup>th</sup> Street (Collector):

25 feet

**8 feet**

57<sup>th</sup> Street (Local):

20 Feet

**14 feet, 8 inches**

- Interior Sides and Rear (3 or more units on lot):

North property line:

15 feet per story (45 feet total)

**2 feet, 2.66 inches per story (minimum)  
6 feet, 8 inches total to 2<sup>nd</sup> floor balcony)**

South property line:

15 feet per story (45 feet total)

**2 feet, 2.66 inches per story (minimum)  
6 feet, 8 inches total to 2<sup>nd</sup> floor balcony)**



# PAD Overlay – Cont'd

Development Standard	MZO Required	PAD Proposed
<p><u>Required Landscape Yards – MZO Table 11-5-5:</u></p> <ul style="list-style-type: none"> <li>- Front and Street Facing Side:</li> <li>56<sup>th</sup> Street (Collector):</li> <li>57<sup>th</sup> Street (Local):</li> </ul>	<p>25 feet</p> <p>20 feet</p>	<p><b>8 feet</b></p> <p><b>14 feet, 8 inches</b></p>
<p><u>Minimum Separation Between Buildings on Same Lot – MZO Table 11-5-5:</u></p> <ul style="list-style-type: none"> <li>- Three-story buildings:</li> </ul>	<p>35 feet</p>	<p><b>14 feet, minimum</b> <b>(Across the drive aisle at third story)</b></p>



# PAD Overlay – Cont'd

## Development Standard

## MZO Required

## PAD Proposed

Off-site Access – MZO Section 11-5-5(B)(4)(b):

Drive aisles leading to main entrances shall have walkways on both sides of the drive aisle

**Drive aisles leading to main entrances do not have walkways on the sides of the drive aisle**

Attached Garages – MZO Section 11-5-5(B)(4)(f)(iii):

When multiple garage doors are located within 1 building, the maximum number of garage doors adjacent to one another shall be limited to 3, unless there is a break in the building façade between garage doors. The break shall contain a major architectural feature, such as a building entrance or equivalent feature

**When multiple garage doors are located within 1 building, the maximum number of garage doors adjacent to one another shall be limited to 8 garages doors with a 4-foot-wide, 1-foot-deep recessed niche between every pair of garage doors**





# PAD Overlay – Cont'd

## Development Standard

Setback to Cross Drive Aisles – MZO  
*Section 11-32-4(A):*

## MZO Required

Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 ft from the property line abutting the street

## PAD Proposed

**Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 11 ft from the property line abutting 56<sup>th</sup> Street and 17 feet, 4 inches from the property line abutting 57<sup>th</sup> Street**



# PAD Overlay – Cont'd

Development Standard	MZO Required	PAD Proposed
<p>Required Landscape Yards – <i>MZO Section 1133-3(B)(2)(a)(ii)</i>:</p> <ul style="list-style-type: none"> <li>- Non-Single Residential Uses Adjacent to Other Non-Single Residence Uses or Districts, Non-Group C-O-I:</li> </ul> <p>North property line:</p> <p>South property line:</p>	<p>15 feet</p> <p>15 feet</p>	<p><b>6 feet, 8 inches to 2<sup>nd</sup> floor balcony</b></p> <p><b>6 feet, 8 inches to 2<sup>nd</sup> floor balcony</b></p>





# PAD Overlay – Cont'd

## Development Standard

Interior Parking Lot Landscaping – MZO

*Section 11-33-4(B)(2):*

- Landscape Islands width:

*MZO Section 11-33-4(D)(1)(a):*

- Plant Materials:

## MZO Required

8 feet

1 shade tree and 3 shrubs for every  
15-foot parking island

## PAD Proposed

**4 feet where adjacent to the buildings**

**0 shade trees and 4 shrubs for islands  
adjacent to the buildings**



# Renderings







# Renderings

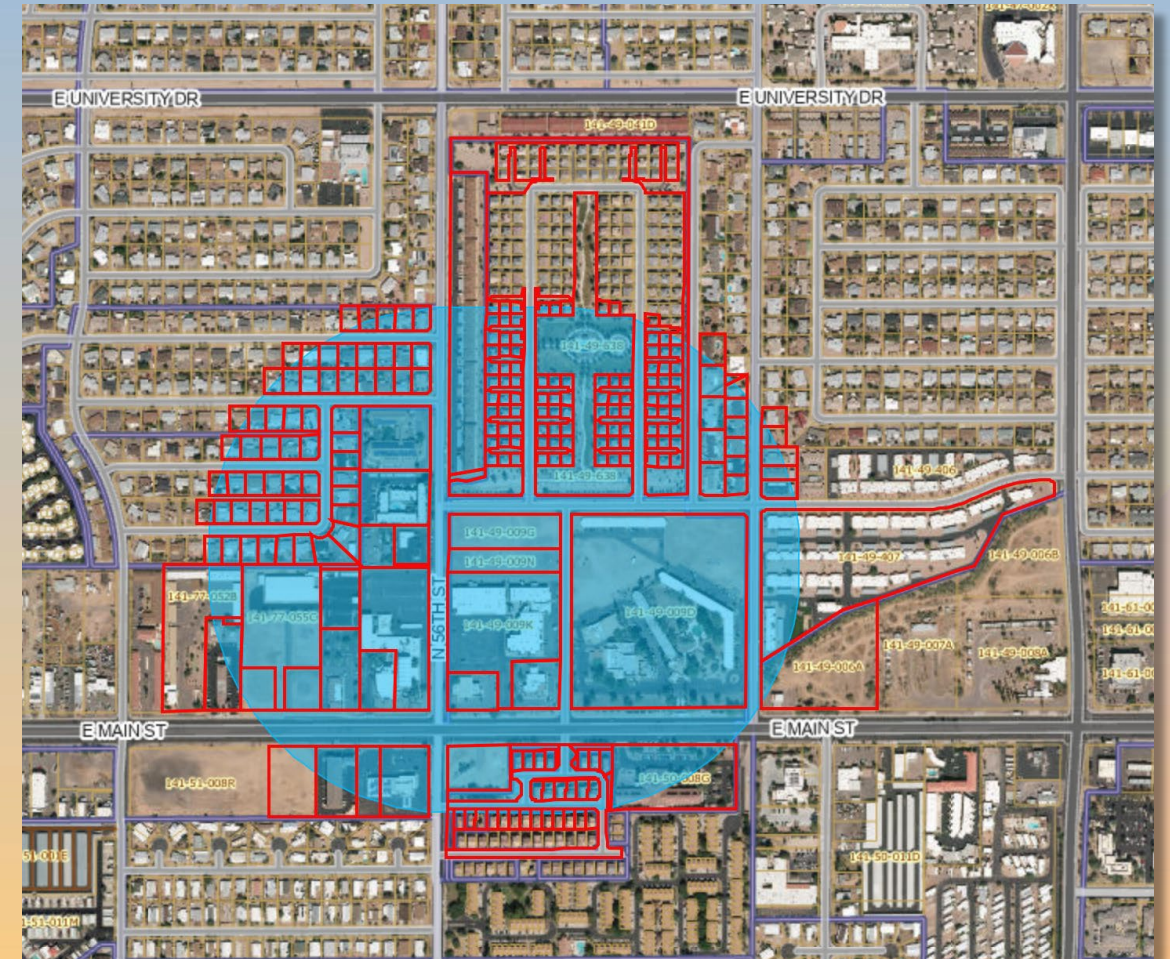






# Citizen Participation

- Notified property owners within 1000 feet, HOAs and registered neighborhoods
- Staff has not received any comments at this time





# Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Chapter 69 of the MZO for Site Plan Review
- ✓ Complies with Chapter 22 of the MZO for a PAD overlay

***Staff recommends Approval with Conditions***





# Elevations



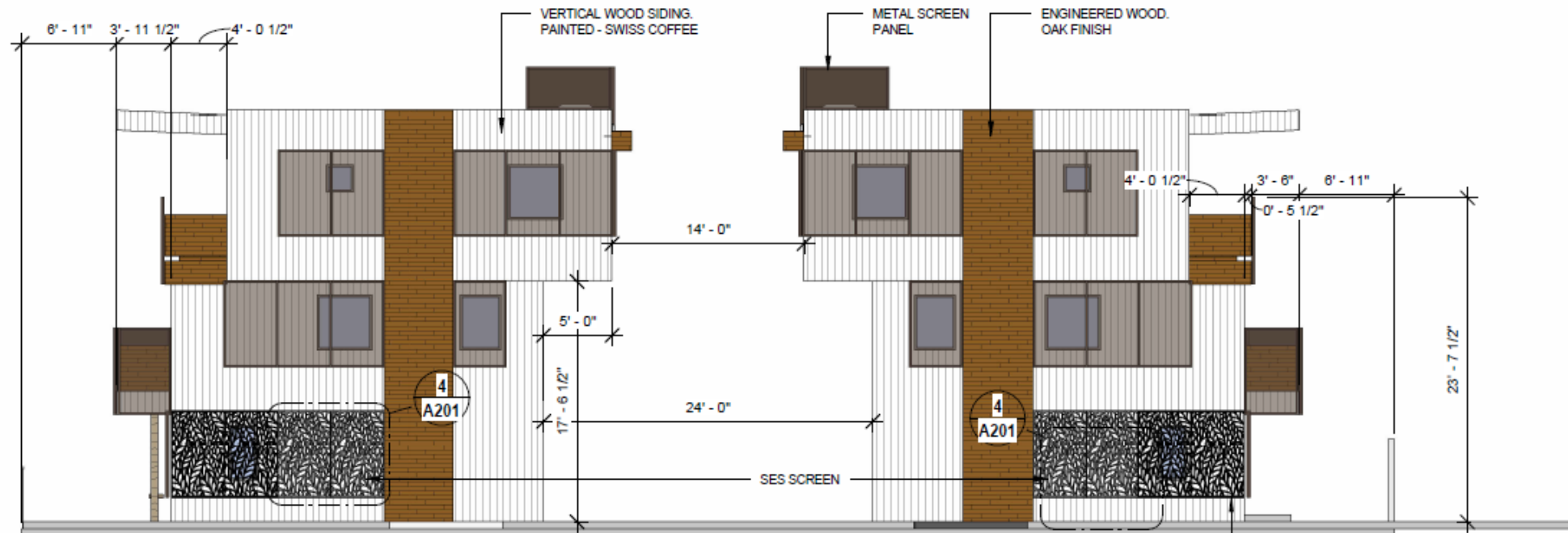
③ ENTRANCE ELEVATION  
1/16" = 1'-0"



② GARAGE ELEVATION  
1/16" = 1'-0"



# Elevations

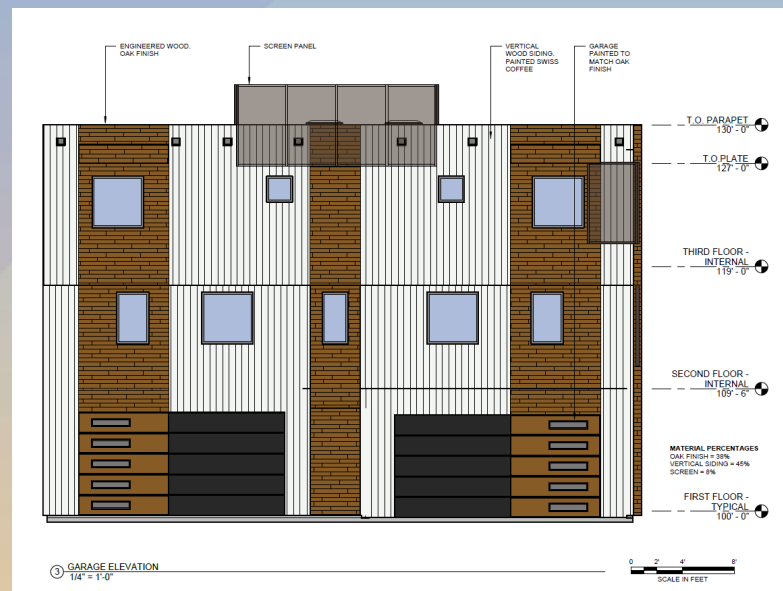


① END UNIT ELEVATION  
1/8" = 1'-0"

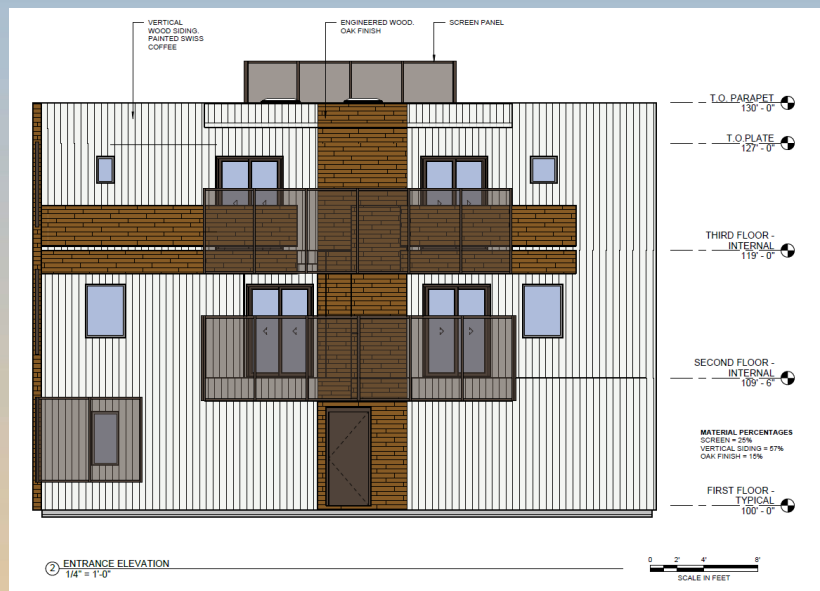
SES SHALL BE WALL MOUNTED BEHIND OPERABLE METAL PANEL CLOSET



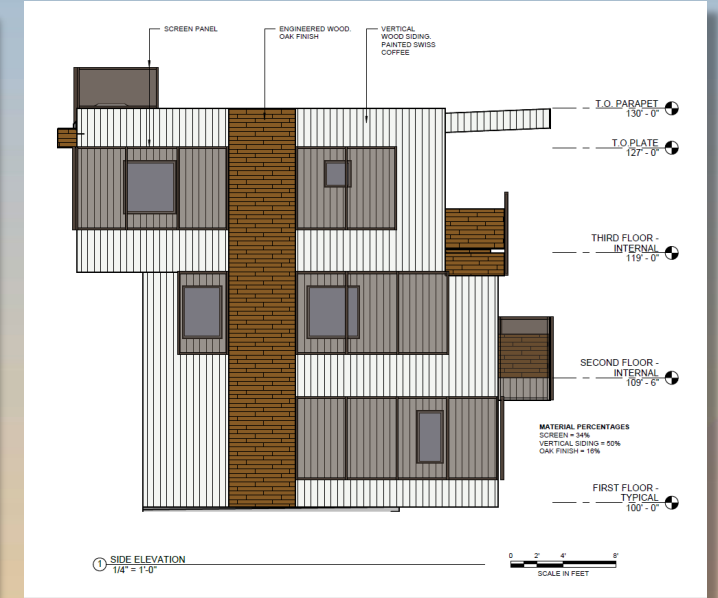
# Elevations



**MATERIAL PERCENTAGES**  
 OAK FINISH = 38%  
 VERTICAL SIDING = 45%  
 SCREEN = 8%

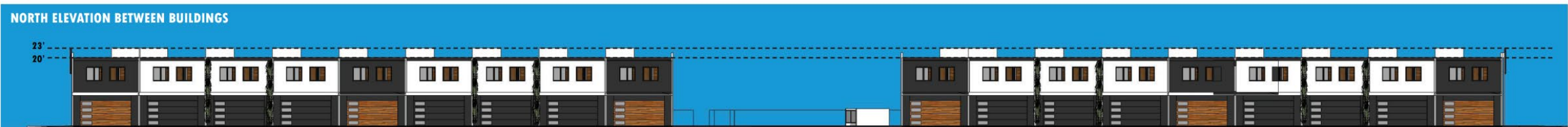
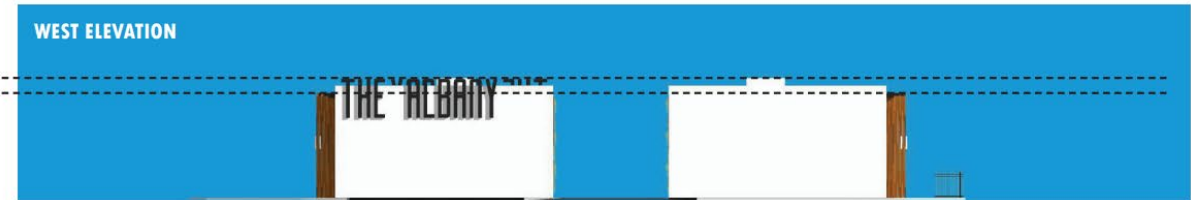
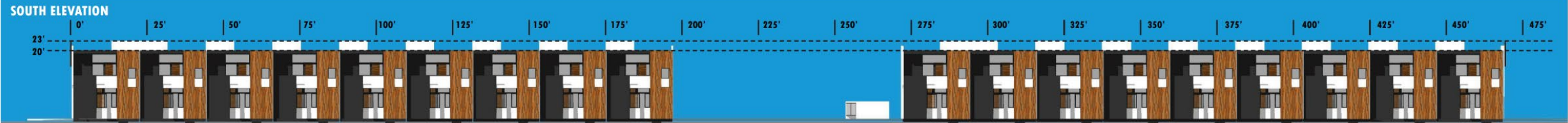


**MATERIAL PERCENTAGES**  
 SCREEN = 25%  
 VERTICAL SIDING = 57%  
 OAK FINISH = 15%



**MATERIAL PERCENTAGES**  
 SCREEN = 34%  
 VERTICAL SIDING = 50%  
 OAK FINISH = 16%







# ZON23-00859

Evan Balmer, Principal Planner

October 23, 2024





# Request

- Rezone from Limited Commercial (LC) to Infill Development District-2 (ID-2)
- To allow for a mixed-use development

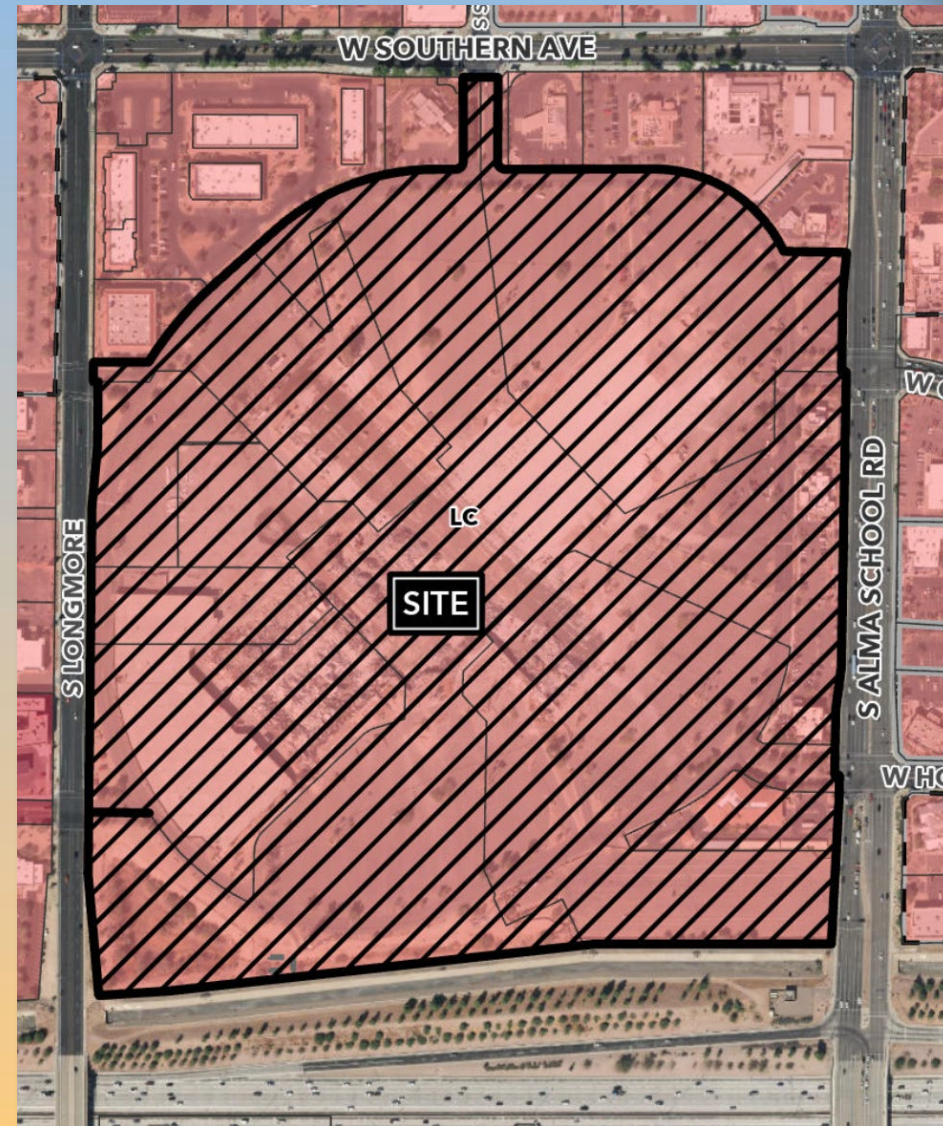






# Location

- South of Southern Avenue
- West of Alma School Road







# General Plan

## Mixed Use Activity District

- Large-scale community and regional activity area

## Regional Scale Sub-Type

- Regional-Scale larger than 60 acres
- Significant areas devoted to commercial and supporting, integrated residential uses.

## Fiesta Sub-Area

- Pedestrian-friendly environment with an integrated mix of land uses.

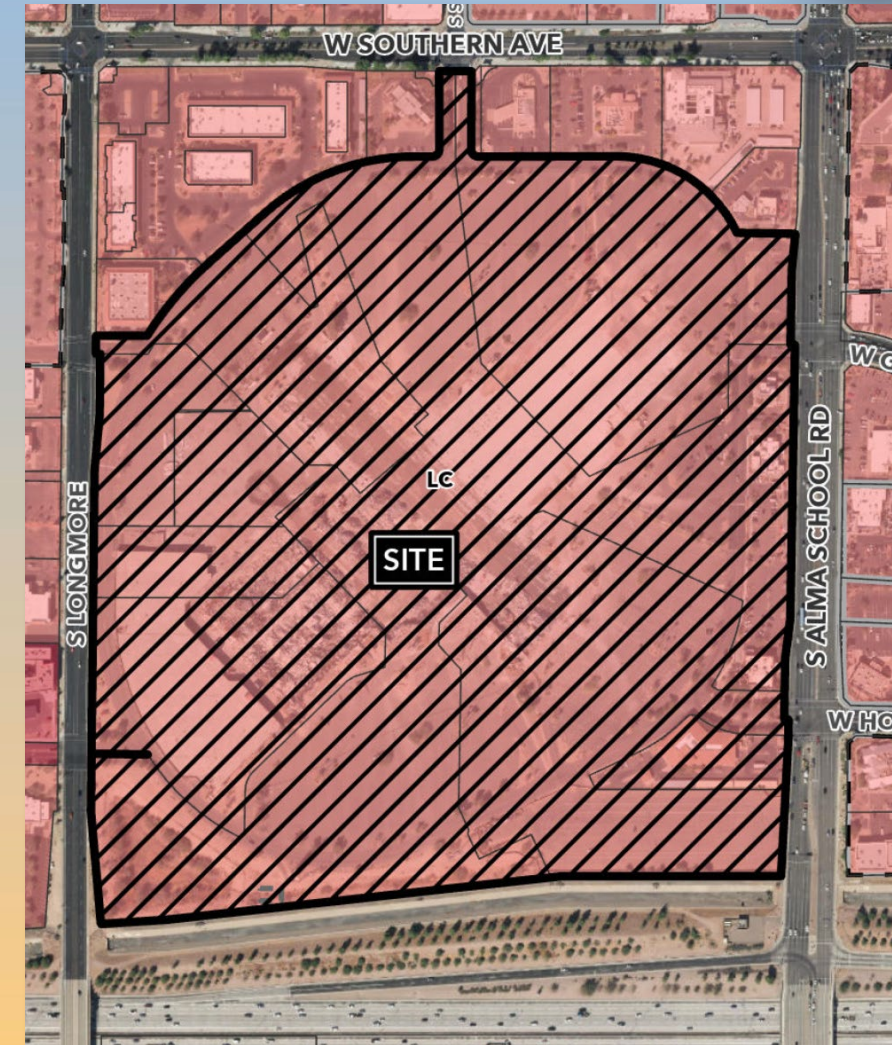






# Zoning

- Rezone from LC to ID-2
- ID districts facilitate the development and redevelopment of by-passed, underutilized, or abandoned properties.
- Applicability:
  - By-passed parcel
  - Additional Infill District requirements

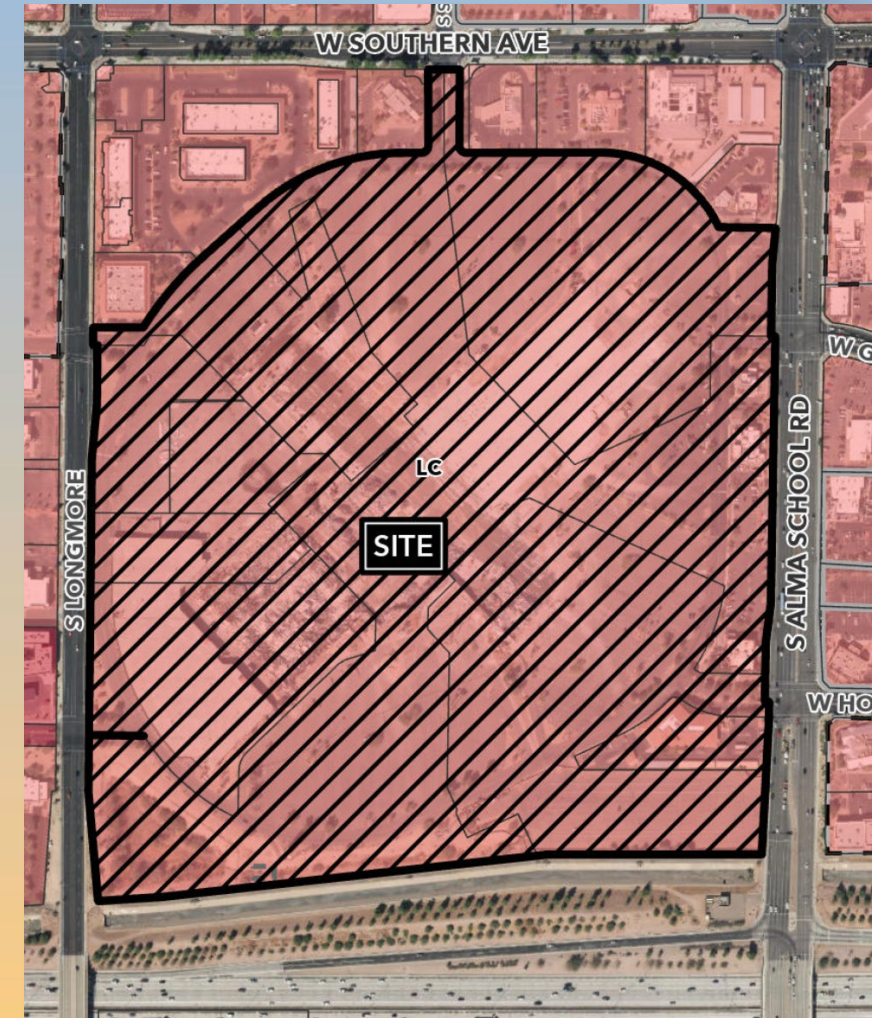






# Zoning – By Passed Parcel

- By-passed parcel:
  - The total developable land area within 1,200' is not more than 25% vacant; and
  - Greater than 50% of the total number of lots or parcels have been developed 15 or more years ago.







# Zoning – By Passed Parcel



## Fiesta Land Development Comparison

The City of Mesa makes no claims concerning the accuracy of the data on this map nor assumes any liability resulting from the use of the information herein.  
 The data on this map is the property of the City of Mesa and is not to be distributed in any form nor used in any manner not authorized by the City of Mesa in writing.  
 COPYRIGHT © 1988, 2024 CITY OF MESA, ARIZONA

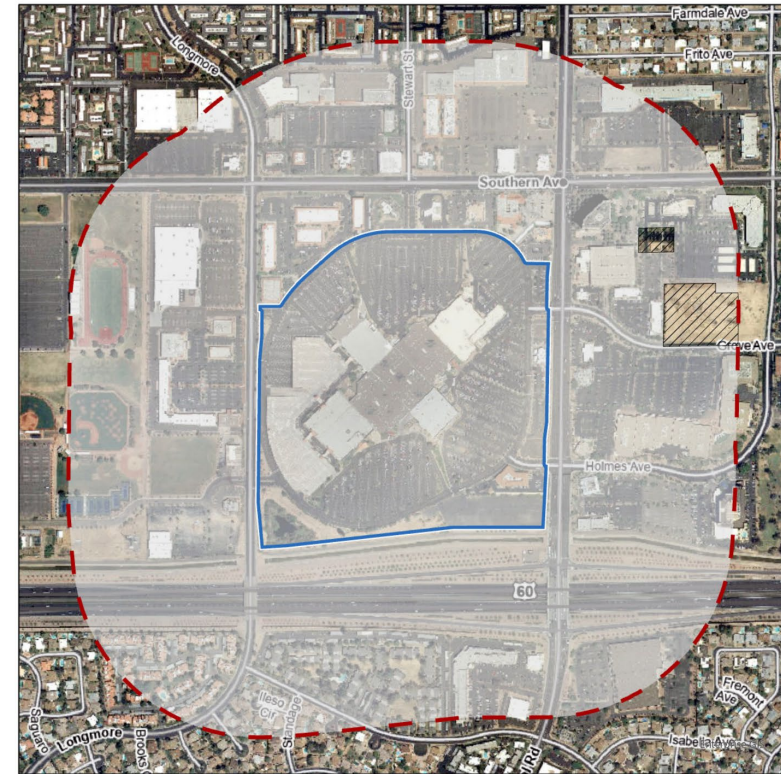
1200-ft Buffer  
 Site  
**Development Status**  
 Developed -- 98.8%  
 Vacant -- 1.2%

### Current



1200-ft Buffer  
 Site  
**Development Status**  
 Developed -- 98.4%  
 Vacant -- 1.6%

### 2009







# Zoning – Infill district Requirements

- There is a high percentage of vacant older or dilapidated buildings or structures;
- There is a high percentage of vacant or underused parcels of property, obsolete or inappropriate lot or parcel sizes, buildings designed for obsolete land uses, or environmentally contaminated sites;
- There is a high percentage of buildings or other places where nuisances exist or occur;
- There is an absence of development and investment activity compared to other areas in the City;
- There is a high occurrence of crime; or,
- There is a continuing decline in population.



# Infill Incentive Plan

- Required for ID-2 districts
- Regulatory document for the ID district
- Modifications:
  - Development regulations – land uses
  - Development standards – setbacks, height, etc.
  - Review and development procedures – processes, timeframes, etc.
- Design guidelines

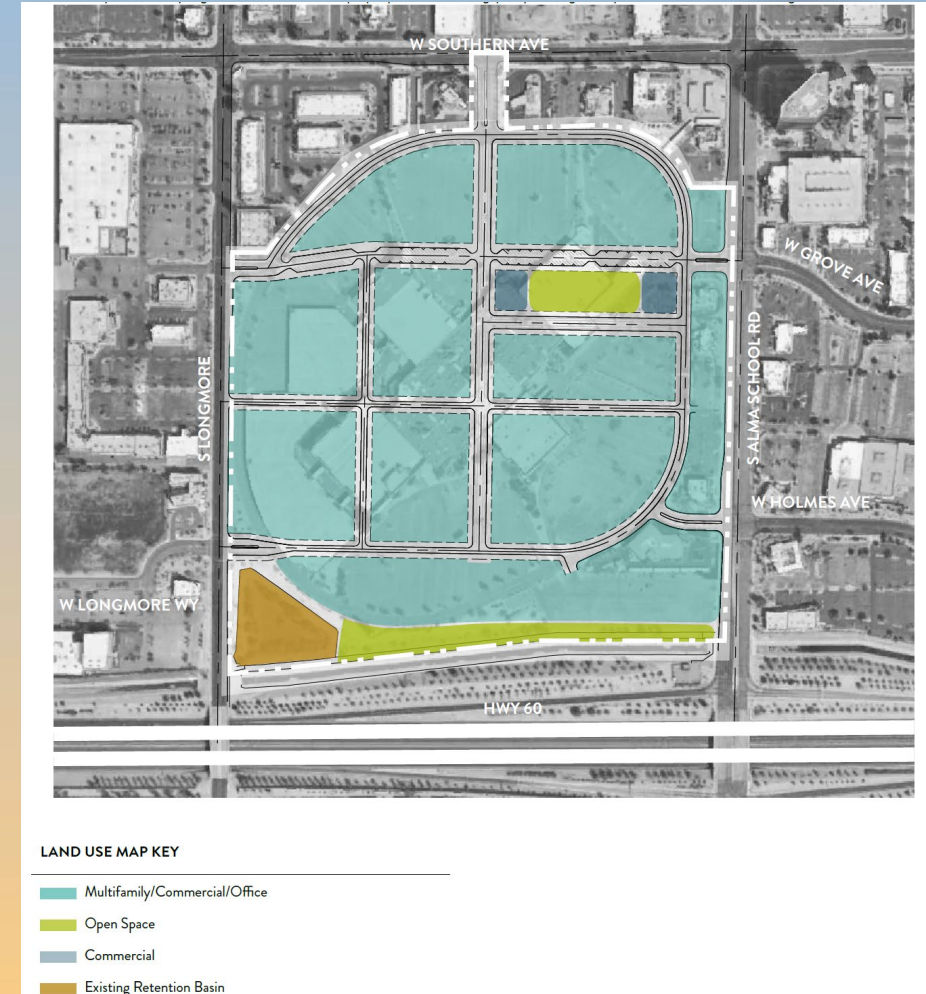






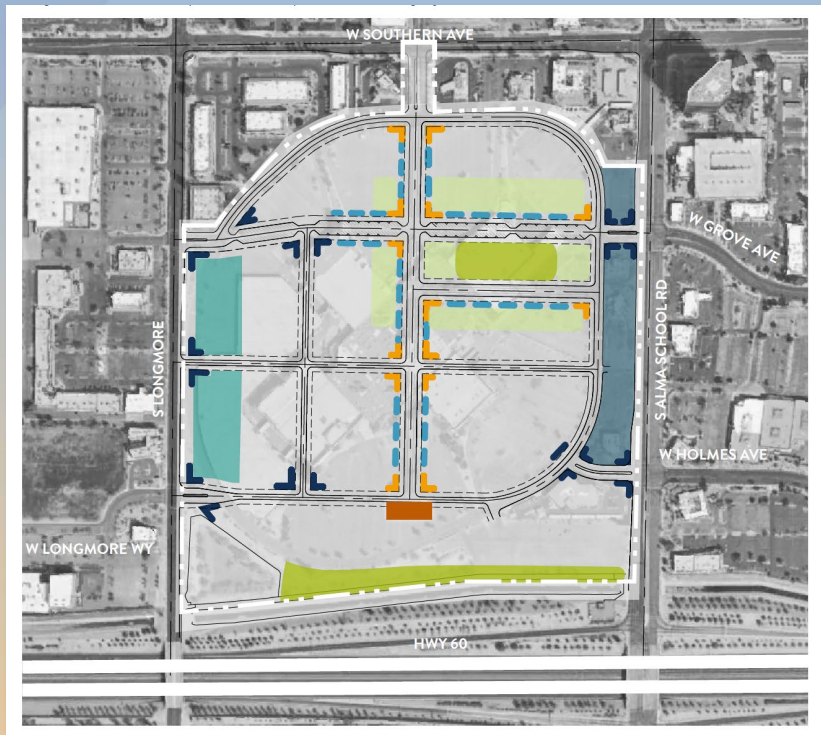
# Development Blocks

- Set framework for future development
- Allows for flexibility to react to market conditions
- Ensures pedestrian friendly environment and a mixture of uses



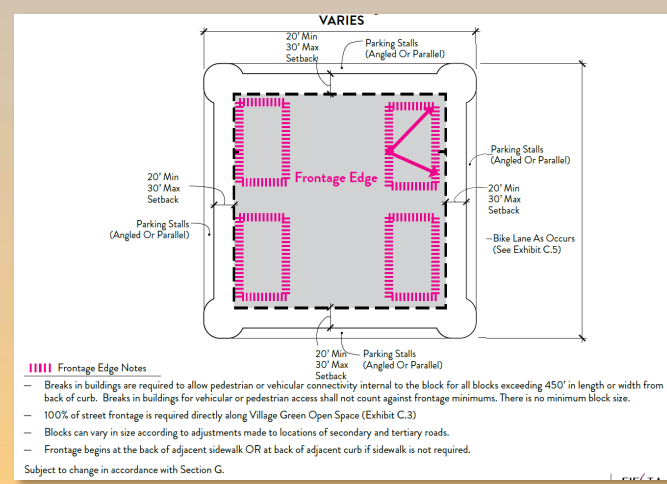
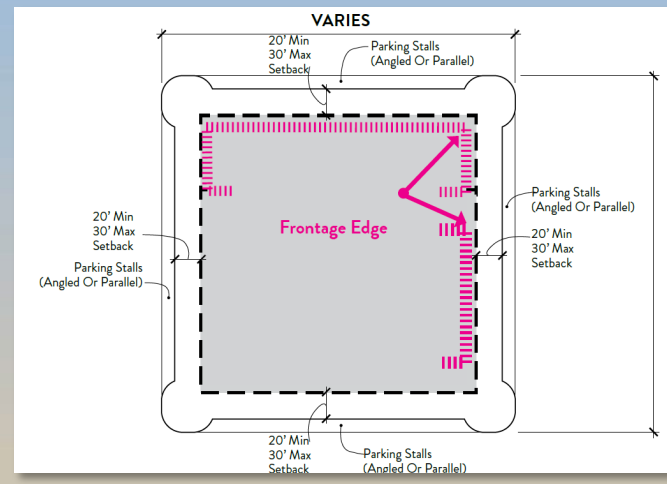


# Development Blocks



**CONCEPTUAL GROUND LEVEL USE AND REQUIRED BUILDING HEIGHT KEY**

<ul style="list-style-type: none"> <li><span style="color: #90EE90;">■</span> <b>Primary Ground Level Commercial Zone</b> This zone allows for neighborhood service retail with surface parking to be aligned with the existing Longmore retail corridor.</li> <li><span style="color: #20B2AA;">■</span> <b>Secondary Ground Level Commercial Zone</b> This zone allows for neighborhood service retail with surface parking to be aligned with the existing Longmore retail corridor.</li> <li><span style="color: #00008B;">■</span> <b>Existing Ground Level Commercial Zone</b></li> <li><span style="color: #00008B;">■</span> <b>Pedestrian Streetscape Enhancement</b> May include but not limited to: seat walls, accent walls, pedestrian shade device(s), hardscape accents asphalt accents.</li> <li><span style="color: #FF8C00;">■</span> <b>Terminus Location</b> This area is intended to be used as a Park, Pavilion, Art Installation, Water Feature, or similar to emphasize the terminus of the Primary North/South Road. The minimum size of the Terminus shall be 20' by 50'.</li> </ul>	<ul style="list-style-type: none"> <li><span style="color: #FF8C00;">■</span> <b>Building Wall (30' minimum)(Restaurant and Grocer Uses Excluded)</b></li> <li><span style="color: #00008B;">■</span> <b>Building Wall (30' minimum) for 85%** of Active Use Frontage* (Restaurant and Grocer Uses Excluded)</b></li> </ul> <p><small>*Qualifying Active Use Frontages include: -Commercial Use Storefronts, Entries, or Windows -Residential Units with Primary or Secondary Entries that Address the Street Frontage -Auxiliary or Amenity Uses Associated with Residential</small></p> <p><small>**Driveways Excluded</small></p>
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# Land Use Regulations

- Uses permitted in LC but restricted in IIP:
  - Boarding House
  - Community Residences
  - Industrial Trade Schools, Public
  - Industrial Trade Schools, Private
  - K-12 Schools, Public
  - K-12 Schools, Private
  - Skilled Nursing Facility
  - Social Service Facilities
  - Kennels
  - All auto related uses including sales, rentals, vehicle washing and auto repair
- Building Materials and Services
- Funeral Parlors and Mortuaries
- Light Fleet Based Services
- Maintenance and Repair Services
- Non-Chartered Financial Institutions
- Pawn Shop
- Tattoo and Body Piercing Parlor
- Handicraft/Custom Manufacturing
- Light Assembly/Cabinetry
- Recycling Facilities
- Warehousing and Storage
- Mini-storage
- Boat and RV storage
- Wholesale



# Land Use Budget

- 4,000 dwelling units max
- 500,000 square feet of non-residential uses
- Publicly accessible amenities required as development progresses
- Village Green constructed after construction of 2,000 dwelling units

TABLE D.5 LAND USE BUDGET		
In addition to the list of permitted uses, a Land Use Budget has been created. This Land Use Budget will help ensure a balance of uses needed to create a vibrant, block development.		
USES	DWELLING UNITS	MAXIMUM
Residential	4,000 max.	4,000 units.
Non-Residential	N/A	1,100,000 sq.ft.
Non-residential Minimums based on number of dwellings		
Up to 700 units	No minimum non-residential sq.ft. required. Maintain existing commercial area.	
701-1,200 units	Minimum of 25,000 sq. ft. non-residential uses* A minimum of 3 points from the Qualifying List of Publicly Accessible Non-Residential Amenities on a minimum 500 sq. ft. publicly accessible open space.	
1,201-2,000 units	Minimum of 50,000 sq. ft. non-residential uses* A minimum of 5 total points (including existing) from the Qualifying List of Publicly Accessible Non-Residential Amenities on a minimum 500 sq. ft. publicly accessible open space.	
2001-3000 units	Minimum of 150,000 sq. ft. non-residential uses* Village Green Open Space A minimum of 7 total points (including existing) from the Qualifying List of Publicly Accessible Non-Residential Amenities on a minimum 500 sq. ft. publicly accessible open space.	
3001-4000 units	500,000 SF non residential uses min.* A minimum of 10 total points (including existing) from the Qualifying List of Publicly Accessible Non-Residential Amenities	

\*If any abutting parcels directly adjacent to the Village Green Open Space (Exhibit C.4) are developed, it is mandatory that the Village Green Open Space be built concurrently.  
 \*Existing commercial area shall count towards commercial square footage.  
 \*The residential units and commercial ground floor area will be based on the issuance of a Certificate of Occupancy.

QUALIFYING LIST OF PUBLICLY ACCESSIBLE NON-RESIDENTIAL AMENITIES		
3 POINTS	2 POINTS	1 POINT
Park	Public Seating	Bicycle Repair Station
Public Art	Shade Structure	Library Stand
Community Garden	Water Feature	Charging Stations
Playground and Play Equipment	Fitness Station	Water Filling Station





# Development Standards

- No maximum height
- 30' minimum height per Exhibit C.3 of the MZO
- 20' minimum and 30' maximum front setback
- Common amenities for residential development

TABLE E.1 NON- RESIDENTIAL DEVELOPMENT STANDARDS	
Maximum Height	No Maximum
Maximum Lot Coverage	100% of Overall Net Site Plan Area <sup>1</sup>
Overall Site Minimum Open Space	15% of Overall Net Site Plan Area <sup>1,3</sup>
Open Space Requirement Village Green	Refer to Section E.8-Open Space
Minimum Lot Width and Depth	No Minimum
Minimum Height	No Minimum (30' minimum required in areas designated in Exhibit C.3: Ground Level Use and Building Height)
BUILDING AND LANDSCAPE SETBACKS Setbacks are measured from back of curb	
Arterial (Alma School, Longmore)	20 foot minimum, 30 foot maximum, with exception for patios
Primary	20 foot minimum, 30 foot maximum, with exception for patios
Secondary and Loop Road	20 foot minimum, 30 foot maximum, with exception for patios
Tertiary	20 foot minimum, 30 foot maximum, with exception for patios
Internal, Side, and Rear Property Lines	0 foot minimum
NOTES 1. Net Site Plan Area measured from back of curb. 2. Setbacks are measured from back of curb. 3. Refer to Section 8 - Open Space for additional information. 4. Zero Setback at Property Line not adjacent to roadways.	

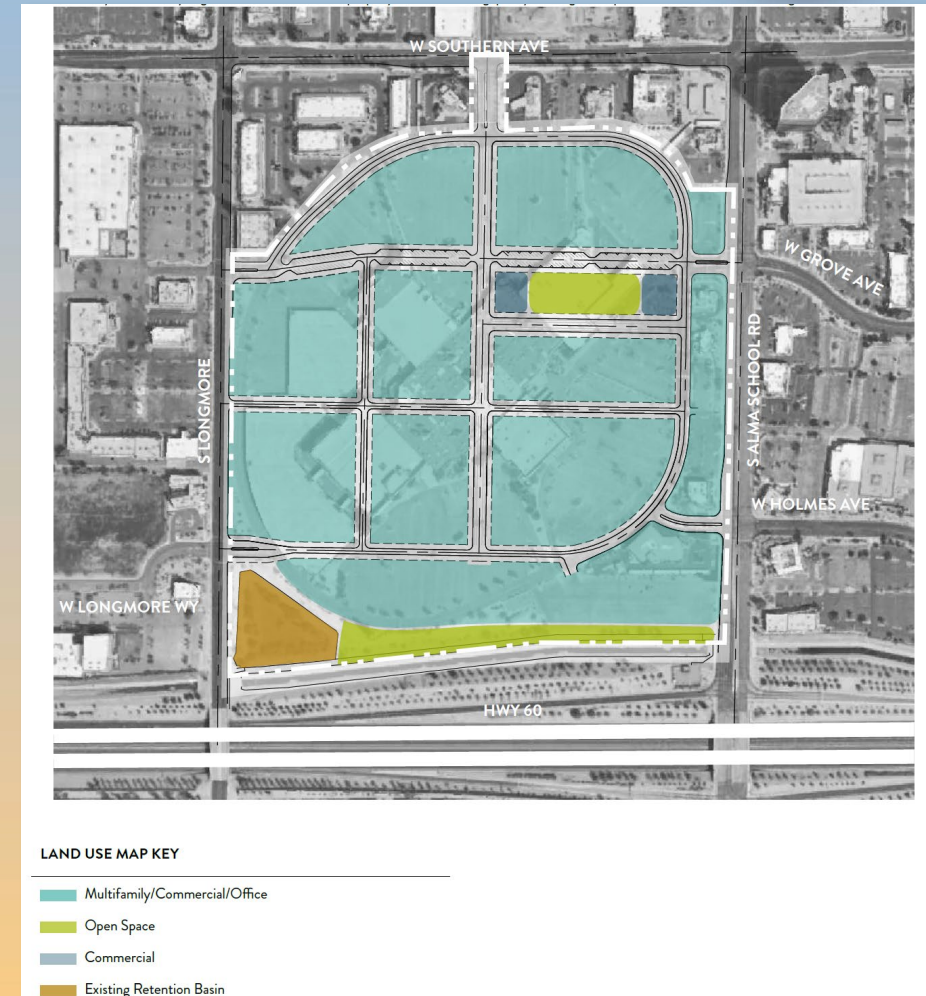
SHADE STANDARDS	
Minimum of 50% of private on-site sidewalks, pedestrian pathways, and common amenity areas shall be shaded through the use of landscaping, architectural features or projections, shade cast from a building, or other stand-alone structural shading devices.	
Shade calculation shall be based on tree maturity during the summer solstice at 12:00pm.	

TABLE E.2 RESIDENTIAL DEVELOPMENT STANDARDS	
Maximum Height	No Maximum
Maximum Lot Coverage	100% of Overall Net Site Plan Area <sup>1</sup>
Overall Site Minimum Open Space	15% of Overall Net Site Plan Area <sup>1,4</sup>
Open Space Requirement Private	Minimum 50 square feet with a minimum depth of 5 feet
Minimum Lot Width and Depth	No Minimum
Minimum Height	No Minimum (30' minimum required in areas designated in Exhibit C.3: Ground Level Use and Building Height)
Open Space Requirement Private	50 square feet on 50% of units <sup>3</sup>
Open Space Requirement Common	Minimum of three common open space amenities required (list of available amenity options located at bottom of page)
Open Space Requirement Village Green	Refer to Section E.8-Open Space
Density	4,000 maximum units, no specific project density
BUILDING AND LANDSCAPE SETBACKS Setbacks are measured from back of curb	
Arterial (Alma School, Longmore)	20 foot minimum, 30 foot maximum, with exception for patios
Primary	20 foot minimum, 30 foot maximum, with exception for patios
Secondary and Loop Road	20 foot minimum, 30 foot maximum, with exception for patios
Tertiary	20 foot minimum, 30 foot maximum, with exception for patios
Internal, Side, and Rear Property Lines	0 foot minimum
NOTES 1. Net Site Plan Area measured from back of curb. 2. Setbacks are measured from back of curb. 3. Private Open space can be reduced to 40 square feet/unit, if a rooftop or above ground common open space is provided. 4. Refer to Section 8 - Open Space for additional information.	
SHADE STANDARDS	
Minimum of 50% of private on-site sidewalks, pedestrian pathways, and common amenity areas shall be shaded through the use of landscaping, architectural features or projections, shade cast from a building, or other stand-alone structural shading devices.	
Shade calculation shall be based on tree maturity during the summer solstice at 12:00pm.	
COMMON OPEN SPACE AMENITY OPTIONS	
Indoor Bicycle Storage, Craft Room, Turf Area, Nursery, Art Installation, Co-Working Space, Water Feature, Covered Pedestrian Ways, Bicycle Path, Bicycle Repair Station, Swimming Pool, Tennis Court or similar, Barbecue Area, Playground, Gazebo or similar, Dog Park, Fitness Center, Media Room, Rooftop Deck or Observatory	



# Open Space

- Village Green – focal point of development
  - 100% of building frontage adjacent to Village Green
- Common open space and amenities
- Private open space







# Design Standards and Guidelines

- Residential Site Design
  - Focus on creating development that is accessible and pedestrian friendly
  - Pedestrian walkways that connect with surrounding amenities and developments
  - specialty landscape, hardscape, and architectural features used to highlight building and site elements to create a strong sense of place
  - building entrances that face primary streets
  - Porches and balconies to create building articulation
  - Facades that are offset from each other to create a more vibrant street edge
  - Minimum and maximum setbacks to better define the public and private realms



# Design Standards and Guidelines

## Residential Architectural Standards

- Allow for a variety of architectural styles that incorporate local materials and reflect the desert climate through form and design
- Large buildings to change materials or massing every 240 feet to prevent the appearance of a contiguous development
- Wall plane offsets or step back on upper levels to provide spaces for balconies and to reduce the perceived size of the structure
- Building facades composed of a variety of materials, colors, textures, artwork, pilasters, building lines, window articulation, etc.
- Interesting window treatments such as awnings and trim for facades facing streets, pedestrian walkways, or public spaces.





# Design Standards and Guidelines

## Commercial Site Design

- Focus on creating development that contributes to a sense of place, is pedestrian-friendly, and compatible with adjacent uses
- Buildings on the interior of a lot to provide pedestrian-friendly facade designs along the street front
- Architectural elements that anchor the building and create attractive paths to entries
- Entrances, windows, and openings that face main streets and pedestrian walkways
- Street-adjacent facades that provide pedestrian-scaled elements such as entrances, windows, and openings
- Buildings to be the focal point of each site with parking treated as a supplemental amenity



# Design Standards and Guidelines

## Commercial Architectural Standards

- Focus on massing and scale, articulation, material selection, and screening to guide high-quality design.
- Entrances to use architectural elements to delineate hierarchy such as overhangs, recesses, projections, unique roof design, display windows, etc.
- Multi-tenant buildings to provide unique entrances for each tenant with a storefront;
- Massing variations along pedestrian levels such as porticoes, single-story protruding lobbies, and transparent vestibules in pedestrian-heavy areas.





# Review and Development Procedures

- Per Section 11-12-5 of the MZO, review and development procedures can be modified through the IIP.
- Processes and timeframes proposed in the IIP are largely consistent with customary City processes
- Administrative review and approval for all site plan review and design review requests, and modifications.
- Applicant required to mail notice letters and post the site for all site plan and design review applications.
- Referral provisions that allow the Planning Director to refer a case to the Planning and Zoning Board under certain circumstances.



# Site Photo



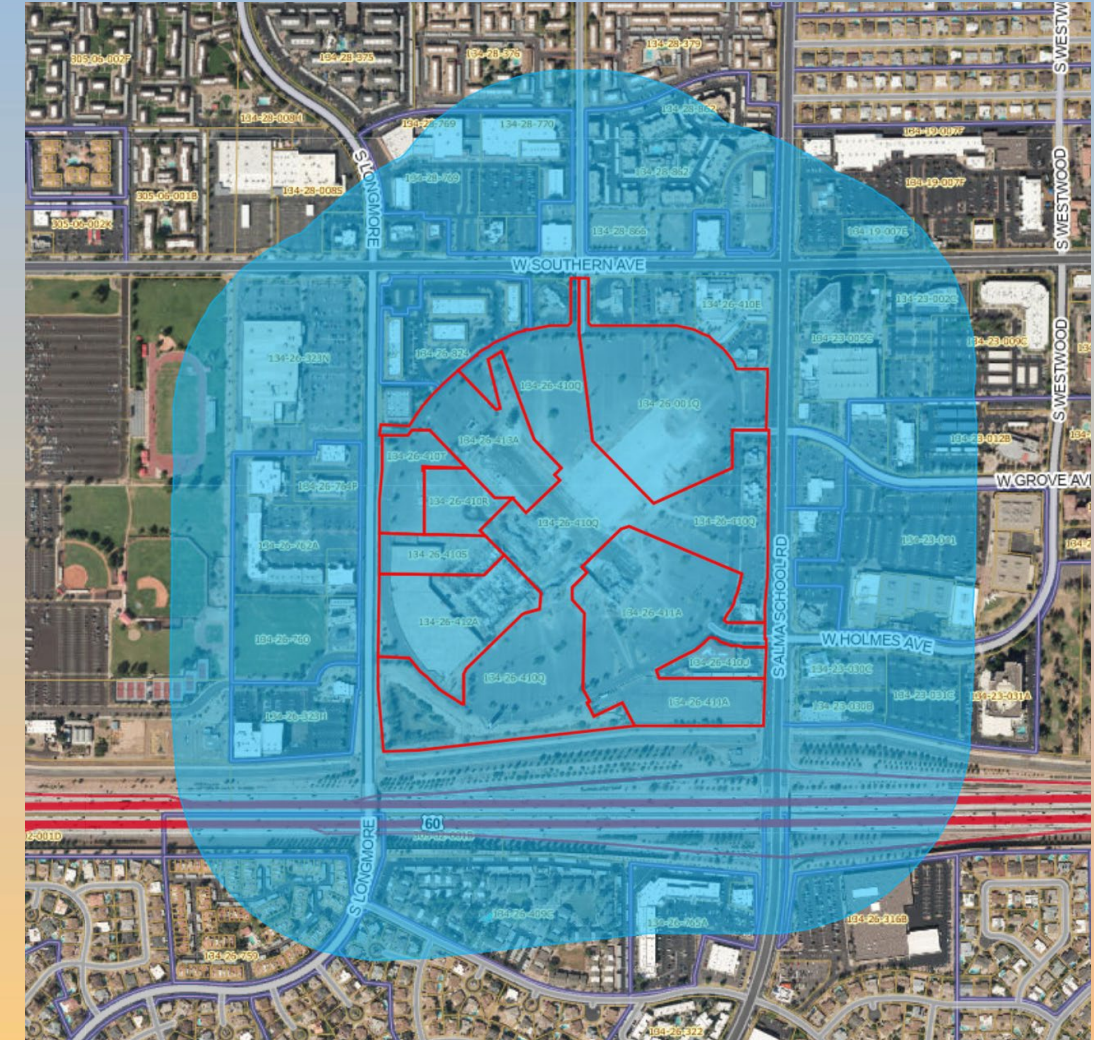
Looking west from Norwalk





# Citizen Participation

- Extensive outreach including:
- Notified property owners within 1,000', HOAs and registered neighborhoods
- Neighborhood meeting April 23, 2024
- Project website
- Multiple small group and one-on-one meetings





# Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Section 11-12-6 of the MZO for Infill Development Districts

*Staff recommend Approval with Conditions*





# Planning & Zoning Board



# ZON23-00935

## Mesa Shopping Center – Final Phase

Charlotte Bridges, Planner II

October 23, 2024





# Request

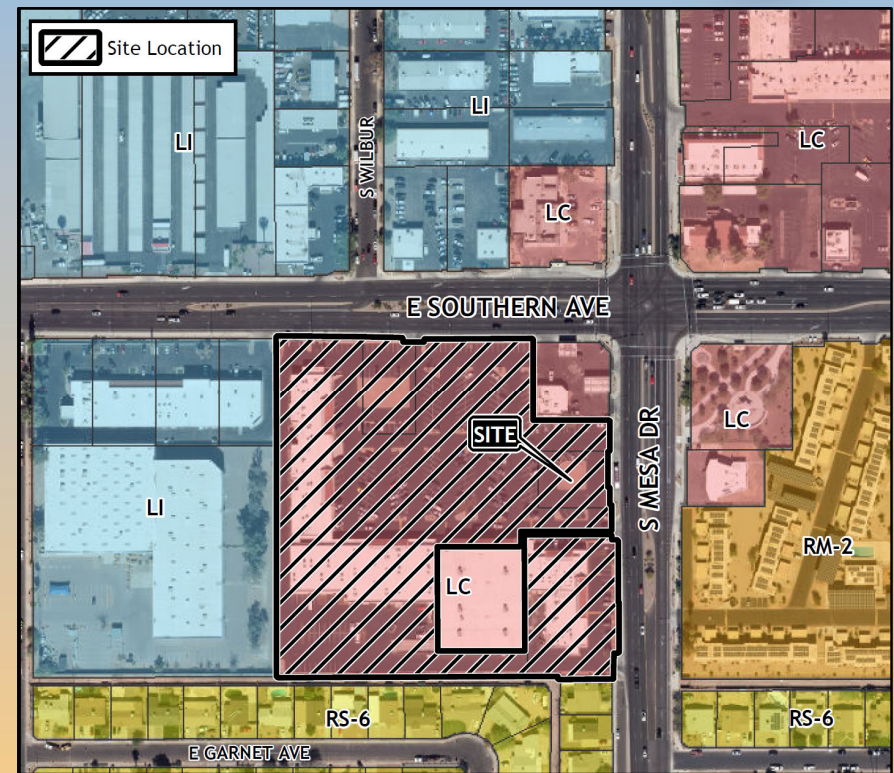
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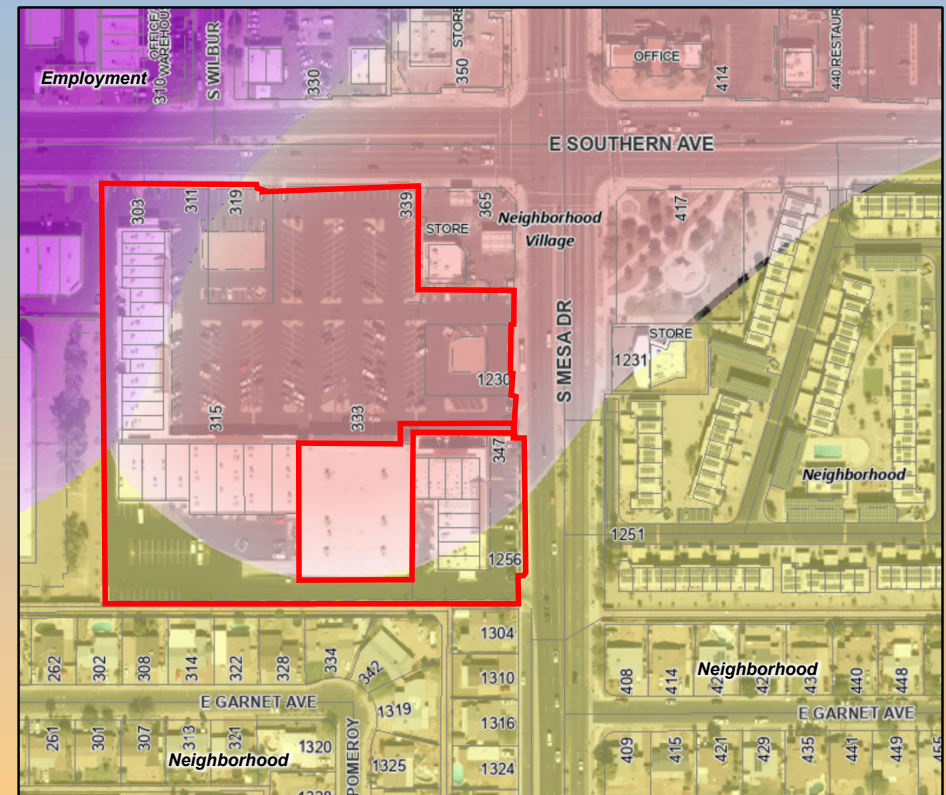




# General Plan

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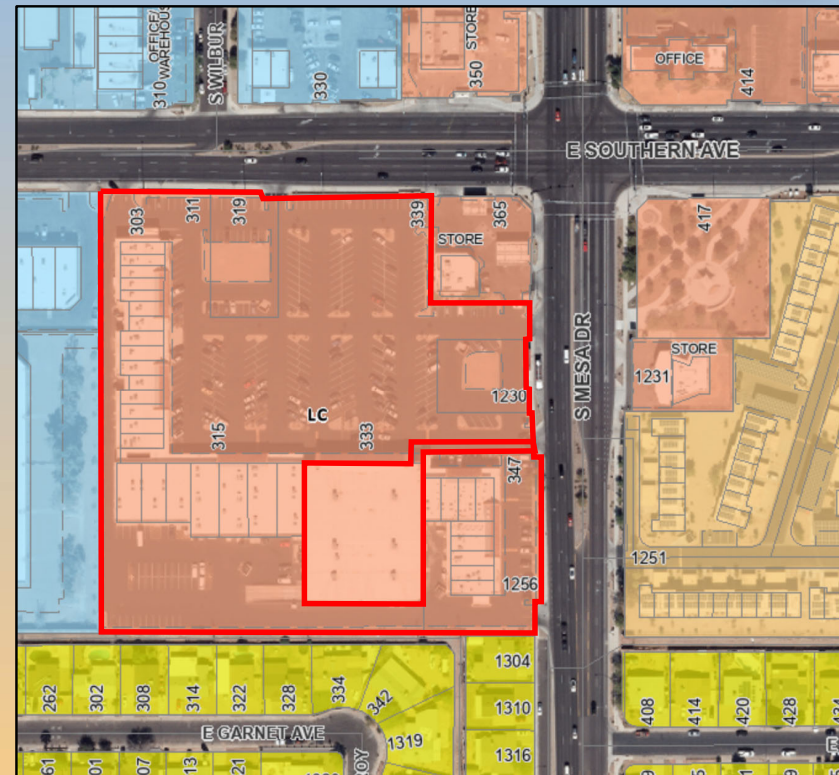
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# Site Photo



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# Site Photo



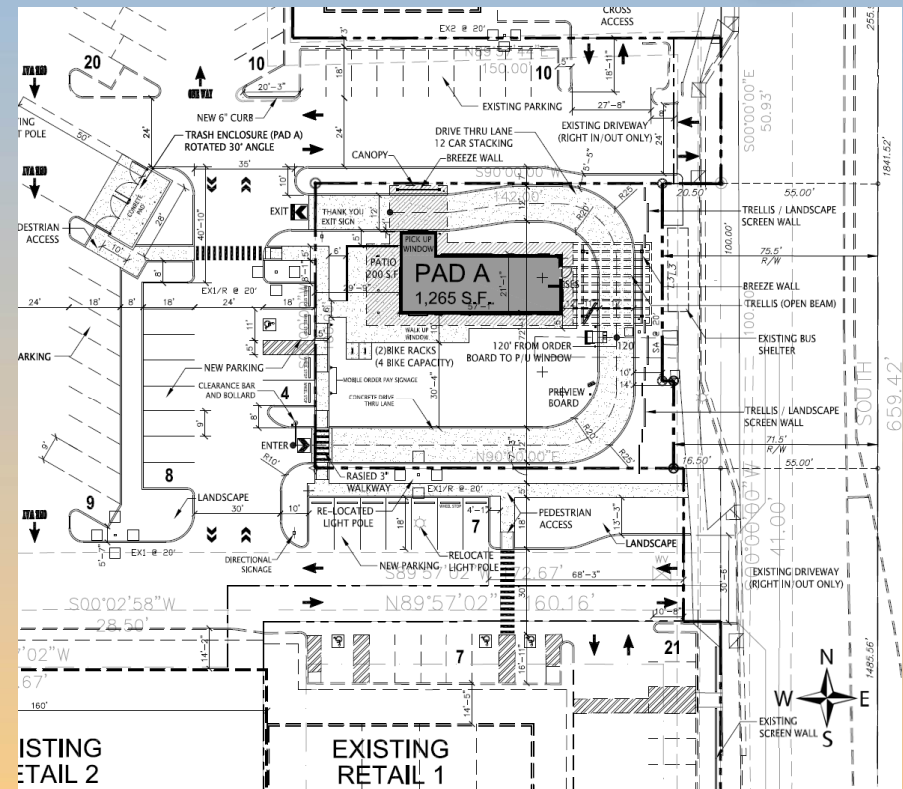
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# Site Plan- Pad A

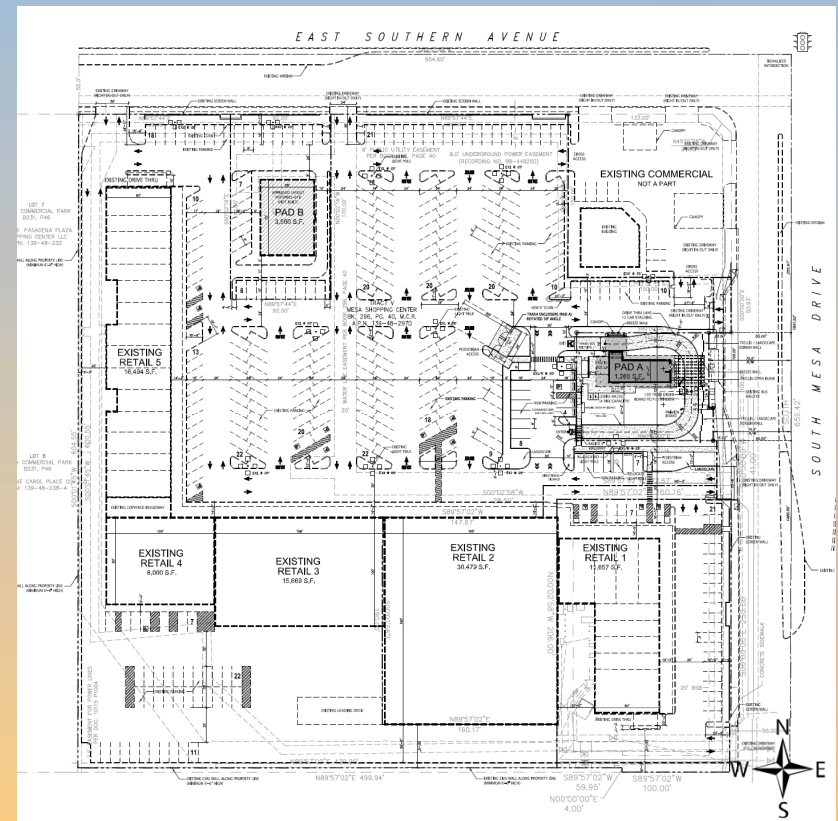
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# Site Plan – Shopping Center

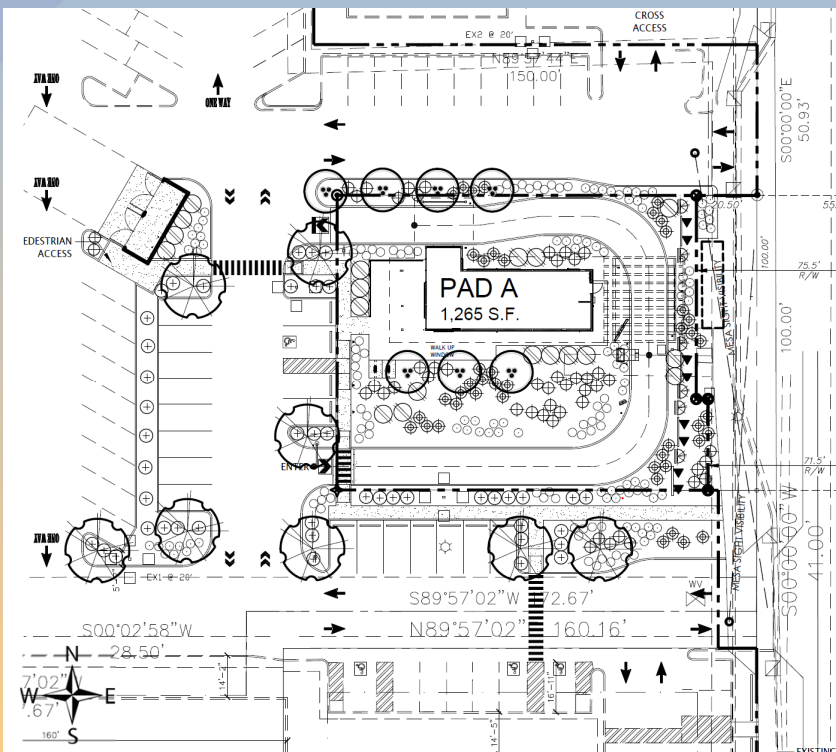
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# Landscape Plan – Pad A



## LANDSCAPE LEGEND

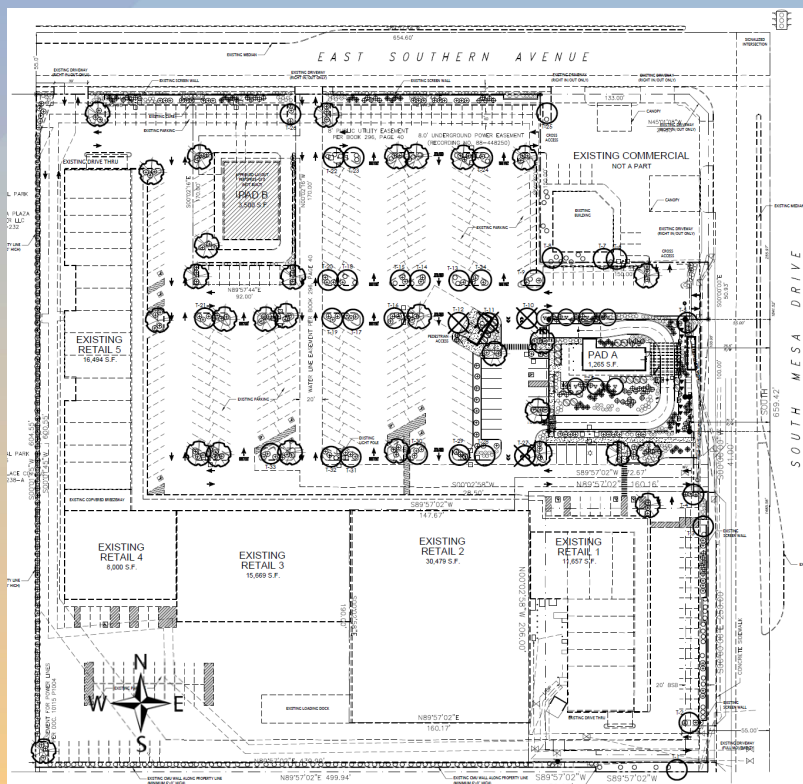
-  QUERCUS VIRGINIANA  
'LIVE OAK'  
36" BOX (8)
  -  CAESALPINIA CACALACO  
'CASCALOTE'  
36" BOX (7)
  -  TECOMA 'ORANGE JUBILEE'  
'ORANGE JUBILEE'  
5 GALLON (19)
  -  EREMOPHILA MACULATA  
'VALENTINE EMU BUSH'  
5 GALLON (45)
  -  HESPERALOE PARVIFLORA  
'RED YUCCA'  
5 GALLON (49)
  -  HESPERALOE PARVIFLORA  
'YELLOW YUCCA'  
5 GALLON (45)
  -  LANTANA MONTEVIDENSIS  
'GOLD MOUND'  
1 GALLON (90)
  -  LANTANA MONTEVIDENSIS  
'TRAILING PURPLE'  
1 GALLON (63)
  -  PODRANEA RICASOLINA  
'PINK TRUMPET VINE'  
5 GALLON (6)
  -  BOUGAINVILLEA 'BARBARA KARST'  
'BOUGAINVILLEA'  
5 GALLON (8)
- 1/2" MINUS MADISON GOLD  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS







# Landscape Plan – Shopping Center



LANDSCAPE LEGEND	
	QUERCUS VIRGINIANA LIVE OAK 36" BOX (29)
	CAESALPINIA CACALACO CASCALOTE 36" BOX (7)
	EXISTING TREE PROTECT FROM CONSTRUCTION
	TREE BEING REMOVED DUE TO NEW CONSTRUCTION
	EXISTING SHRUB PROTECT FROM CONSTRUCTION
	TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON (27)
	EREMOPHILA MACULATA VALENTINE EMU BUSH 5 GALLON (293)
	HESPERALOE PARVIFLORA RED YUCCA 5 GALLON (79)
	HESPERALOE PARVIFLORA YELLOW YUCCA 5 GALLON (60)
	PODRANEA RICASOLINA PINK TRUMPET VINE 5 GALLON (6)
	BOUGAINVILLEA 'BARBARA KARST' BOUGAINVILLEA 5 GALLON (8)
	LANTANA MONTEVIDENSIS 'GOLD MOUND' 1 GALLON (218)
	LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON (112)
	1/2" MINUS MADISON GOLD DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS



# Renderings







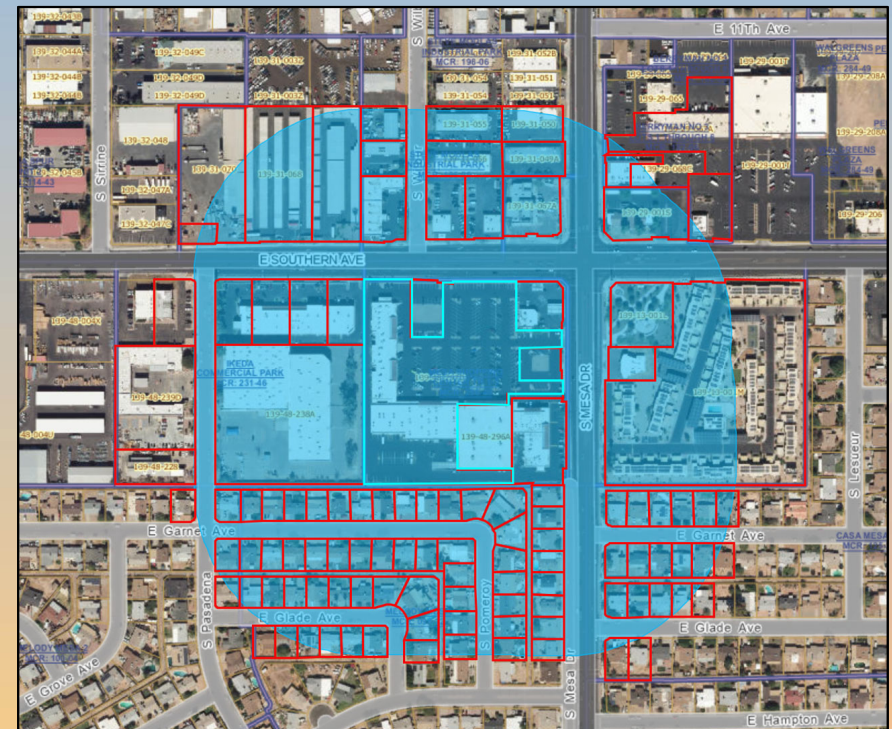
# Renderings





# Citizen Participation

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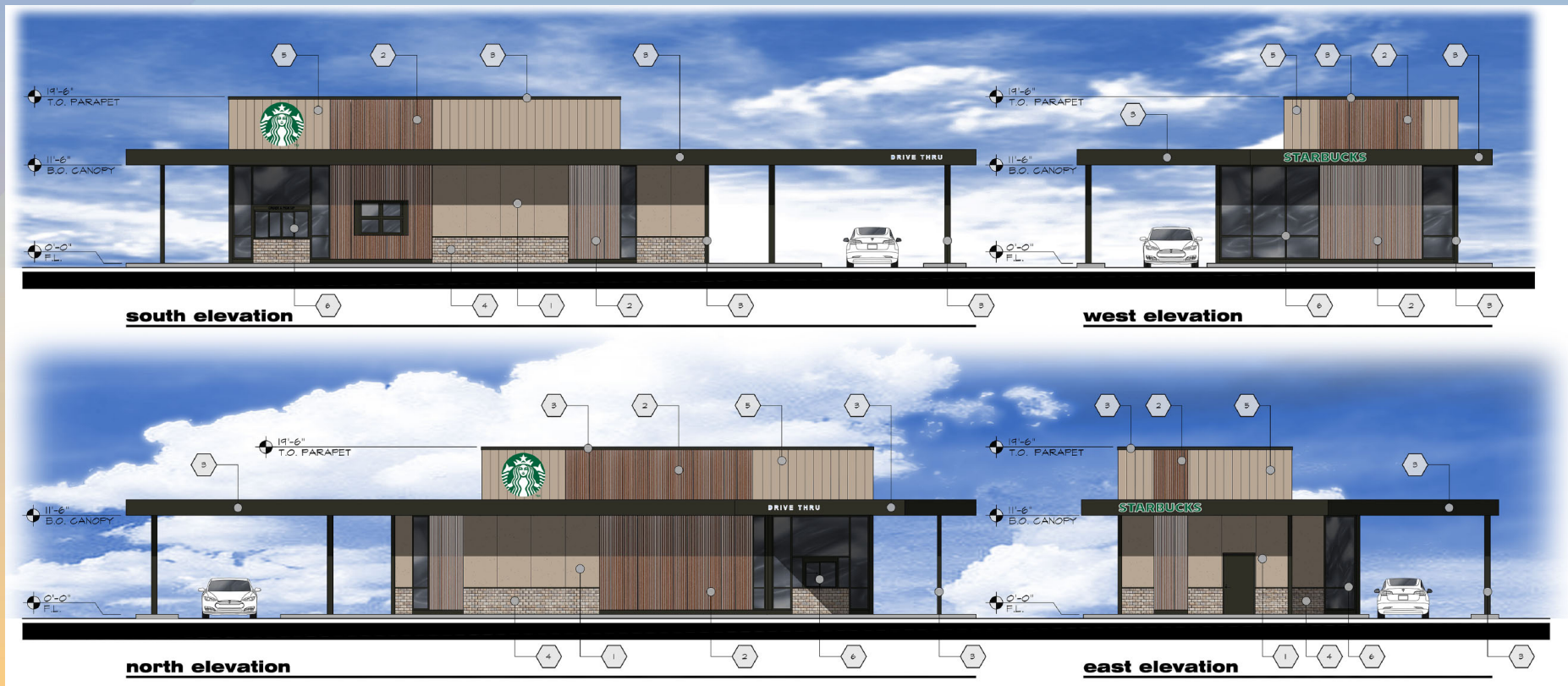
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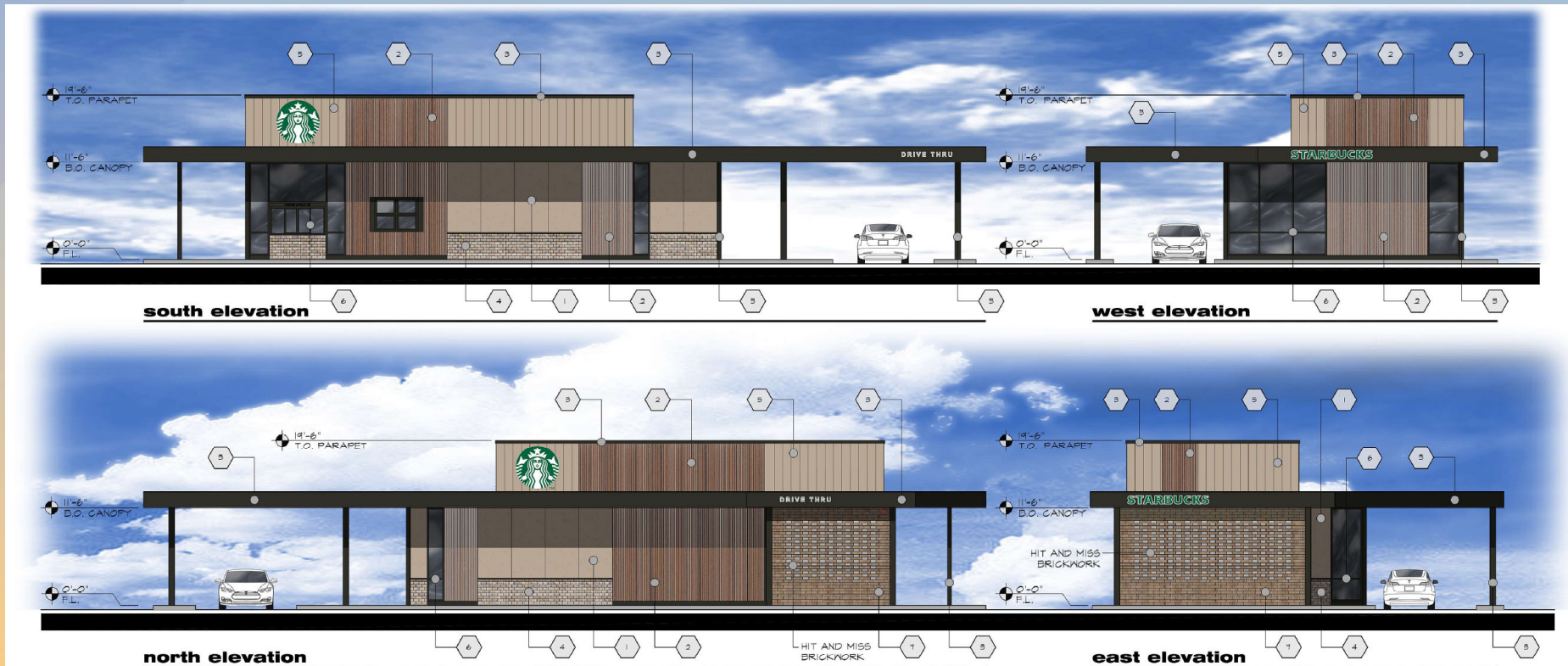
# Elevations







# Elevations





# ZON23-00994

Emily Johnson, Planner I

October 23, 2024





# Request

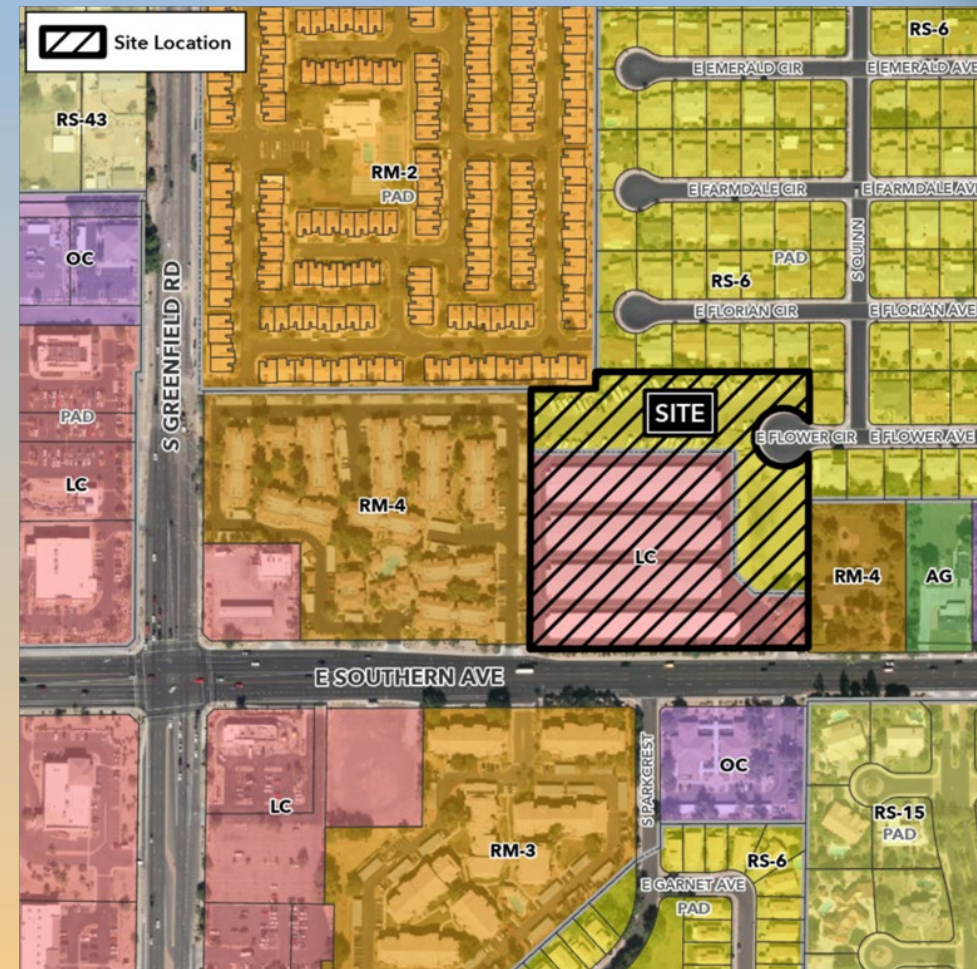
- Rezone from RS-6-PAD and LC to LC-PAD
- Council Use Permit
- Major Site Plan Modification
- To allow for the expansion of a mini-storage facility





# Location

- North side of Southern Ave
- East of Greenfield Rd



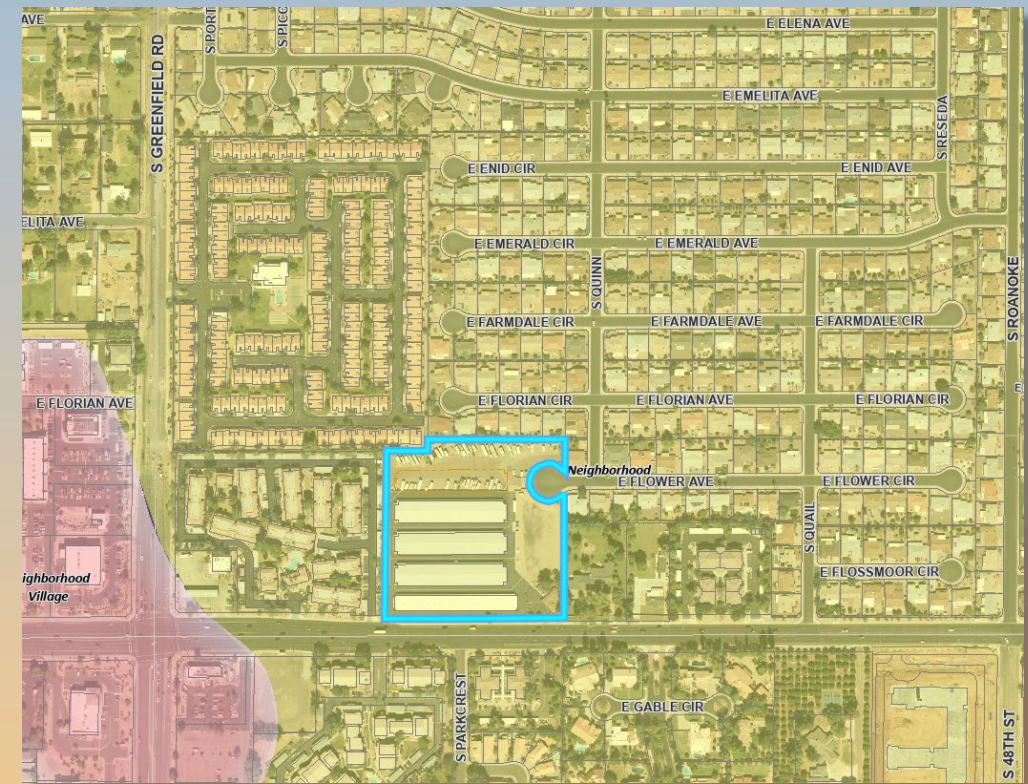




# General Plan

## Neighborhood - Suburban Sub-Type

- Safe places for people to live with a wide range of housing options
- May contain areas of multi-residence and commercial uses along arterial frontages and major intersections

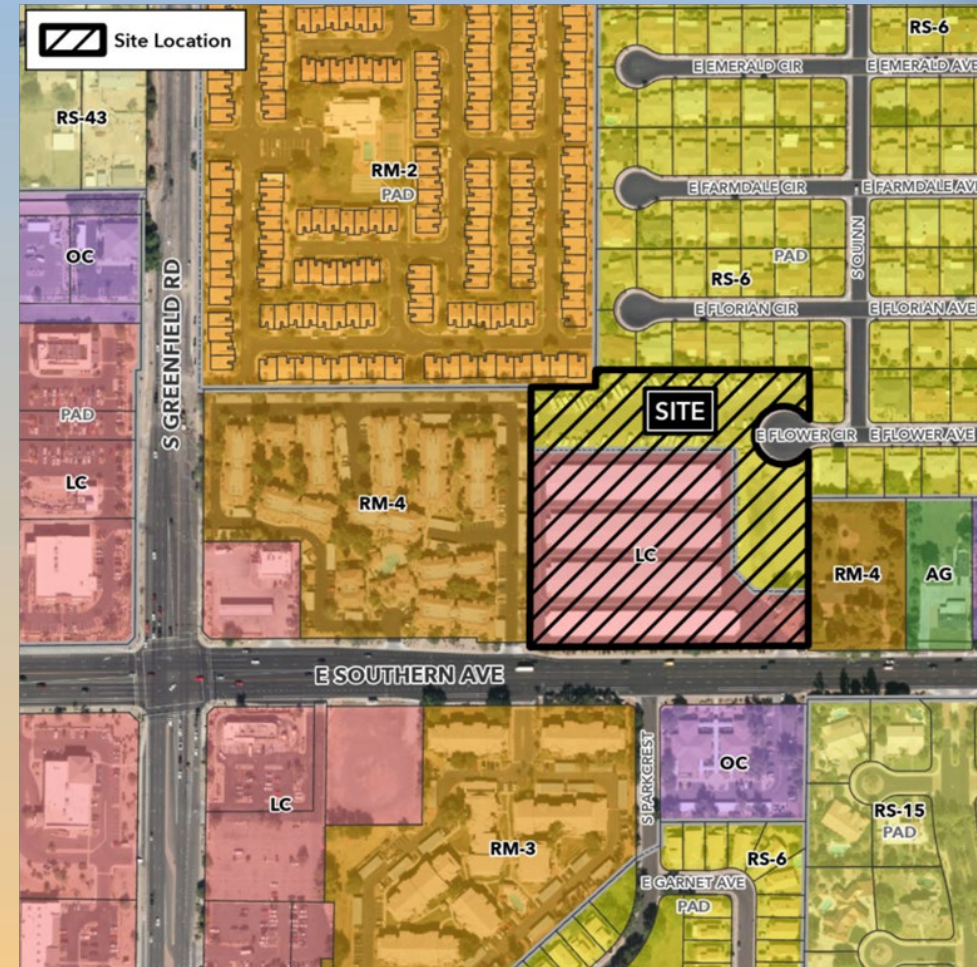






# Zoning

- Rezone from RS-6-PAD and LC to LC-PAD
- Mini-Storage facilities are permitted in the LC district with the approval of a CUP







# Site Photo



Looking north from Southern Avenue





# Site Photo



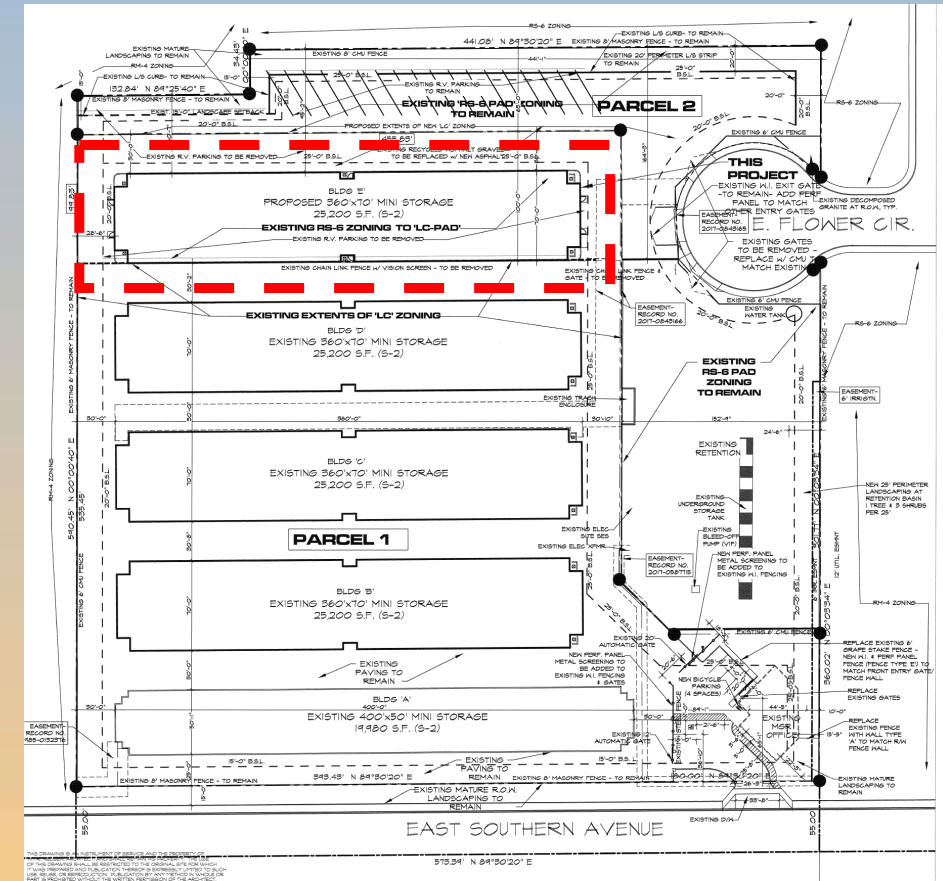
Looking west from Flower Circle





# Site Plan

- New 25,200 sq. ft. mini-storage building to match existing
- RV Storage to the north
- 5 parking spaces existing, 6 required
- Primary access from Southern Avenue and gated access from Flower Circle





# Landscape Plan

**Site Area (Net) - Parcel 1:**  
23,146 S.F. (5.306 Acres)

**Landscape Area - Parcel 1:**  
22,070 S.F.

**Landscape Coverage:**  
9.5%

**Plant Quantities:**

**Right of Way- Existing- Off Site**

Southern Ave. Frontage (573 L.F.)  
1 tree per 25 L.F.  
6 shrubs per 25 L.F.

Required  
23 trees  
96 shrubs

Provided  
13 trees  
64 shrubs

**Bldg Foundation- Mgr's Office**

Foundation Planting (106 L.F.)  
1 tree per 50 L.F. of ext. wall  
10% of trees to be 36" box

Required  
2 trees  
1 tree

Provided  
2 trees  
Existing Mature

**Bldg Foundation- Building 'E'**

Foundation Planting (140 L.F.)  
1 tree per 50 L.F. of ext. wall  
10% of trees to be 36" box

Required  
3 trees  
1 tree

Provided  
None- to match existing

**Perimeter**

Adj. Property Line (113 L.F.)  
3 Non-Deciduous Trees &  
20 shrubs per 100 L.F. of  
adjacent property line

Required  
2 trees  
24 shrubs

Provided  
3 trees  
3 shrubs

**Parking Lot**

Parking Islands (2)  
1 tree per 15' parking islands  
3 shrubs per 15' parking islands

Required  
1 trees  
10 shrubs

Provided  
0 trees  
4 shrubs

**Tree Sizes:**

**Right of Way (29 Total)**

36" box (25% Min.)  
24" box (50% Min.)

Required  
3 trees  
15 trees

Provided  
Existing Mature

**Perimeter (4 Total)**

36" box (25% Min.)  
24" box (50% Min.)

Required  
1 tree  
2 trees

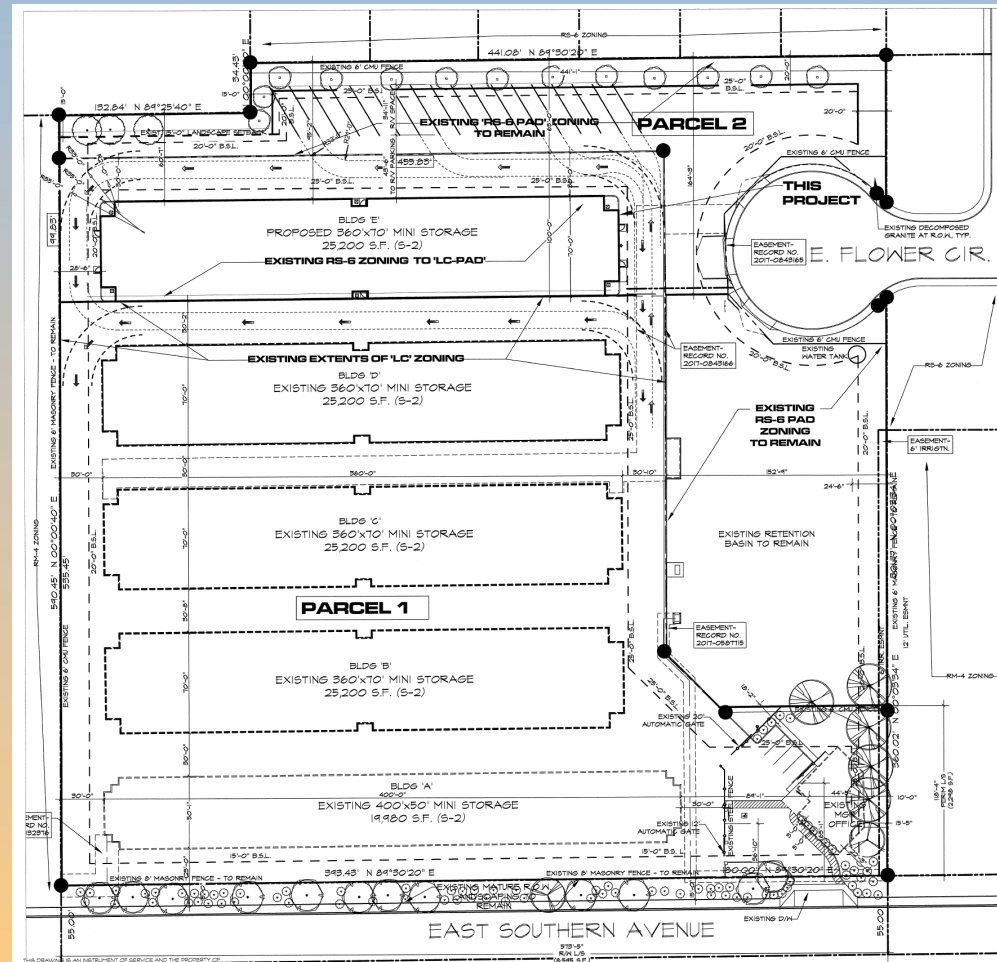
Provided  
Existing Mature

**Parking Lot (3 Total)**

36" box (10% Min.)  
24" box (all others req'd)

Required  
1 tree  
2 trees

Provided  
Existing Mature







# PAD Overlay

Development Standard	MZO Required	PAD Proposed
<u>Maximum Lot Coverage –</u> <i>MZO Section 11-6-3</i>	<p>80 percent</p>	<p><b>91 percent (existing)</b></p>
<u>Fence and Freestanding Walls Maximum Height: Front Yards and Required Street Side Yards –</u> <i>MZO Section 11-30-4(B)(1)</i>	<p>No fence or freestanding wall within or along the exterior boundary of the required front yard shall exceed a height of 3.5-feet.</p>	<p><b>8 feet (existing)</b></p>



# PAD Overlay

## Development Standard

Screening – Common Property Lines –  
*MZO Section 11-30-9(I)*

- North Property Line
- East Property Line

## MZO Required

A screening wall of 6 feet in height shall be provided on the interior lot lines of any lot that contains any commercial use, industrial use, public or semi-public use (except Cemetery or Public Park and Recreation Facility), or transportation, communication and utilities use and abuts a residential district or residential use.

## PAD Proposed

**No wall**

**No wall**





# PAD Overlay

Development Standard	MZO Required	PAD Proposed
<p><u>Trash and Refuse Collection Areas –</u>  <i>MZO Section 11-30-12(B)(1)</i></p>	<p>The solid waste and recycling storage area shall not be located within any required front yard, street side yard, any required parking and landscaped areas</p>	<p><b>Solid waste located in required landscape yard</b></p>
<p><u>Setback of Cross Drive Aisles –</u>  <i>MZO Section 11-32-4(A)</i></p>	<p>Parking spaces along main drive aisles connecting directly to a street and drive aisles that cross such main drive aisles shall be set back at least 50 ft from the property line abutting the street</p>	<p><b>36 feet 10 inches (existing)</b></p>



# PAD Overlay

Development Standard	MZO Required	PAD Proposed
<u>Screening – Parking Areas –</u> <i>MZO Section 11-30-9(H)(1)</i>	Screen walls shall vary in height from 32 to 40 inches and shall be offset or staggered by at least 24 inches at intervals of no more than 50 feet	<b>No screen wall (existing)</b>
<u>Minimum Parking Requirements –</u> <i>MZO Table 11-32-3(A)</i>	4 spaces plus 2 for manager’s quarters	<b>A total of 5 spaces (existing)</b>
<u>Required Landscape Yards –</u> <i>MZO Table 11-6-3</i>	15 feet	<b>0 feet (existing)</b>





# PAD Overlay

Development Standard	MZO Required	PAD Proposed
<p><u>Interior Parking Lot Landscaping – Landscape Islands –</u>  <i>MZO Section 11-33-4(B)</i></p>	<p>Parking lot landscape islands shall be installed at each end of a row of stalls and in between for maximum 8 contiguous parking spaces.</p>	<p><b>One landscape island, remainder are absent (existing)</b></p>
<p><u>Interior Parking Lot Landscaping – Plant Materials –</u>  <i>MZO Section 11-33-4(D)</i></p> <p><i>- Parking lot landscape islands. One shade tree and three shrubs shall be provided for every 15-foot parking island</i></p>	<p>4 trees, 12 shrubs</p>	<p><b>0 trees, 3 shrubs (existing)</b></p>



# PAD Overlay

Development Standard	MZO Required	PAD Proposed
<p><u>Required Foundation Base –</u>  <i>MZO Section 11-33-5(A)(1)</i></p> <p>- Exterior wall with public entrance            (northwest elevation of office building)</p>	<p>15 feet</p>	<p><b>4 feet (existing)</b></p>
<p><u>Required Foundation Base –</u>  <i>MZO Section 11-33-5(A)(2)(b)</i></p> <p>- Exterior walls without public entrance            from exterior wall to drive aisles (west and            east elevations of storage buildings)</p>	<p>5 feet per elevation</p>	<p><b>0 feet</b></p>





# PAD Overlay

## Development Standard

### Required Landscape Material in Foundation Base – MZO Section 11-33-5(B)(1)

- A minimum one (1) tree per 50 linear feet or less of exterior wall length of a building shall be provided. Trees in a parking lot and within 30 feet of the building may be counted toward this requirement. Any calculation resulting in a percentage of a whole tree shall be rounded up to the nearest whole (southwest elevation of office)
- (west and east elevations of storage buildings)

## MZO Required

2 trees

2 trees per elevation

## PAD Proposed

**0 trees (existing)**

**0 trees (existing)**



# PAD Overlay

## Development Standard

## MZO Required

## PAD Proposed

### Required Landscape Area in Foundation Base

—  
*MZO Section 11-33-5(B)(3)(b)*

- Exterior Walls Visible From Public Parking or Right-of-Way without Public Entrances. A landscape area shall be provided equal in length to 25 percent (minimum) of adjacent exterior wall (west and east elevations of storage buildings)

25 percent

**0 percent (existing)**





# PAD Overlay

Development Standard	MZO Required	PAD Proposed
<p><u>Required Landscape Yards</u> – MZO Section 11-33-3-(B)(1) &amp; MZO Section 11-33-3(B)(2)</p> <ul style="list-style-type: none"> <li>- Non-single residential uses adjacent to single residential uses or districts (north and east property lines)</li> <li>- Non-single residential uses adjacent to other non-single residential uses or districts (west property line)</li> </ul>	<p>25 feet</p> <p>15 feet</p>	<p><b>0 feet (existing)</b></p> <p><b>0 feet (existing)</b></p>
<p><u>Required Landscape Material</u> – MZO Table 11-33-3.A.4</p> <ul style="list-style-type: none"> <li>- 1 tree and 6 shrubs per 25 linear feet of street frontage</li> </ul>	<p>23 trees, 138 shrubs</p>	<p><b>13 trees, 64 shrubs (existing)</b></p>



# PAD Overlay

## Development Standard

### Required Landscape Material – *MZO Section 11-33-3(B)(1)(c)(ii)*

- Areas visible from public parking or drive aisles. A minimum of four (4) non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line shall be provided (north and east property lines)
  
- Northmost north property line
- Southernmost north property line
- Westernmost east property line
- Easternmost east property line

## MZO Required

- 17 trees, 35 shrubs
- 7 trees, 35 shrubs
- 14 trees, 70 shrubs
- 5 trees, 29 shrubs

## PAD Proposed

- 0 trees, 0 shrubs (existing)**
- 2 trees, 2 shrubs (existing)**
- 0 trees, 0 shrubs (existing)**
- 2 trees, 4 shrubs (existing)**





# PAD Overlay

## Development Standard

Required Landscape Material – *MZO Section 11-33-3(B)(1)(c)*

- A minimum of three (3) non-deciduous trees and 20 shrubs per 100 linear feet of adjacent property line shall be provided (west property line)

## MZO Required

16 trees, 101 shrubs

## PAD Proposed

**0 trees, 0 shrubs (existing)**



# Council Use Permit

## Section 11-70-6: Council Use Permit Required Findings

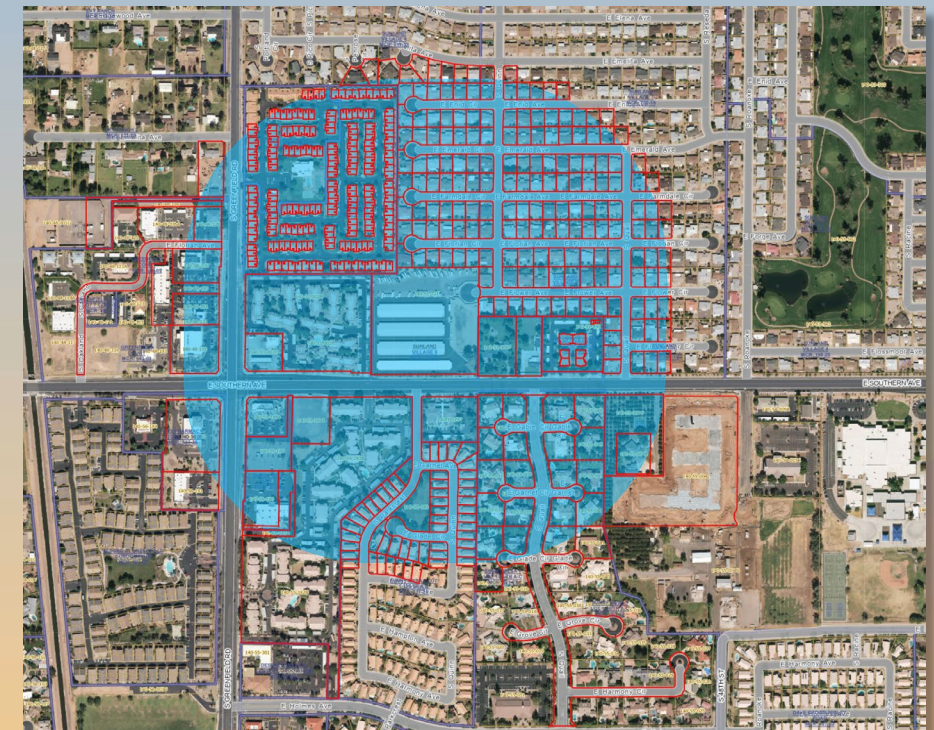
- ✓ Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
- ✓ The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies
- ✓ The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available to serve the proposed project.





# Citizen Participation

- Notified property owners within 1,000', HOAs and registered neighborhoods
- Several neighbors have reached out to the applicants with questions traffic on Flower Ave and wall heights





# Findings

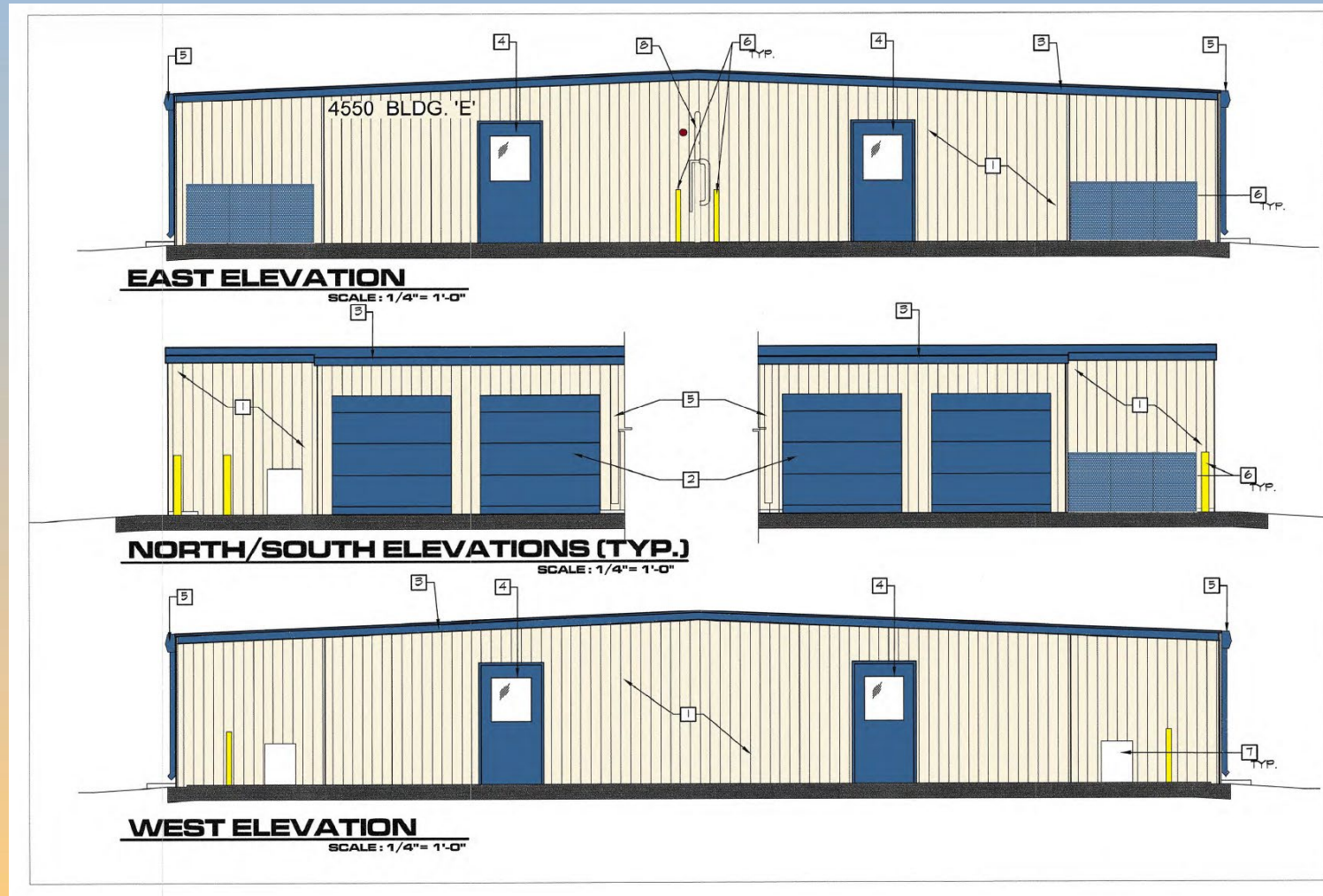
- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Chapter 69 of the MZO for Site Plan Review
- ✓ Complies with Chapter 22 of the MZO for a PAD Overlay
- ✓ Complies with the review criteria for a Council Use Permit outlined in Section 11-70-6 of the MZO

***Staff recommend Approval with Conditions***





# Elevations





# Elevations







# Existing Elevations





# ZON24-00602

Jennifer Merrill, Senior Planner

October 23, 2024





# Request

- Rezone 3.3+/- acres from General Commercial (GC) to GC with a Planned Area Development overlay (GC-PAD)
- Council Use Permit (CUP)
- Site Plan Review
- To allow for a multiple residence development







# Location

- West of Country Club Drive
- North side of Main Street







# Site Photo



Looking north from Main Street





# Site Photo



Looking north from Main Street





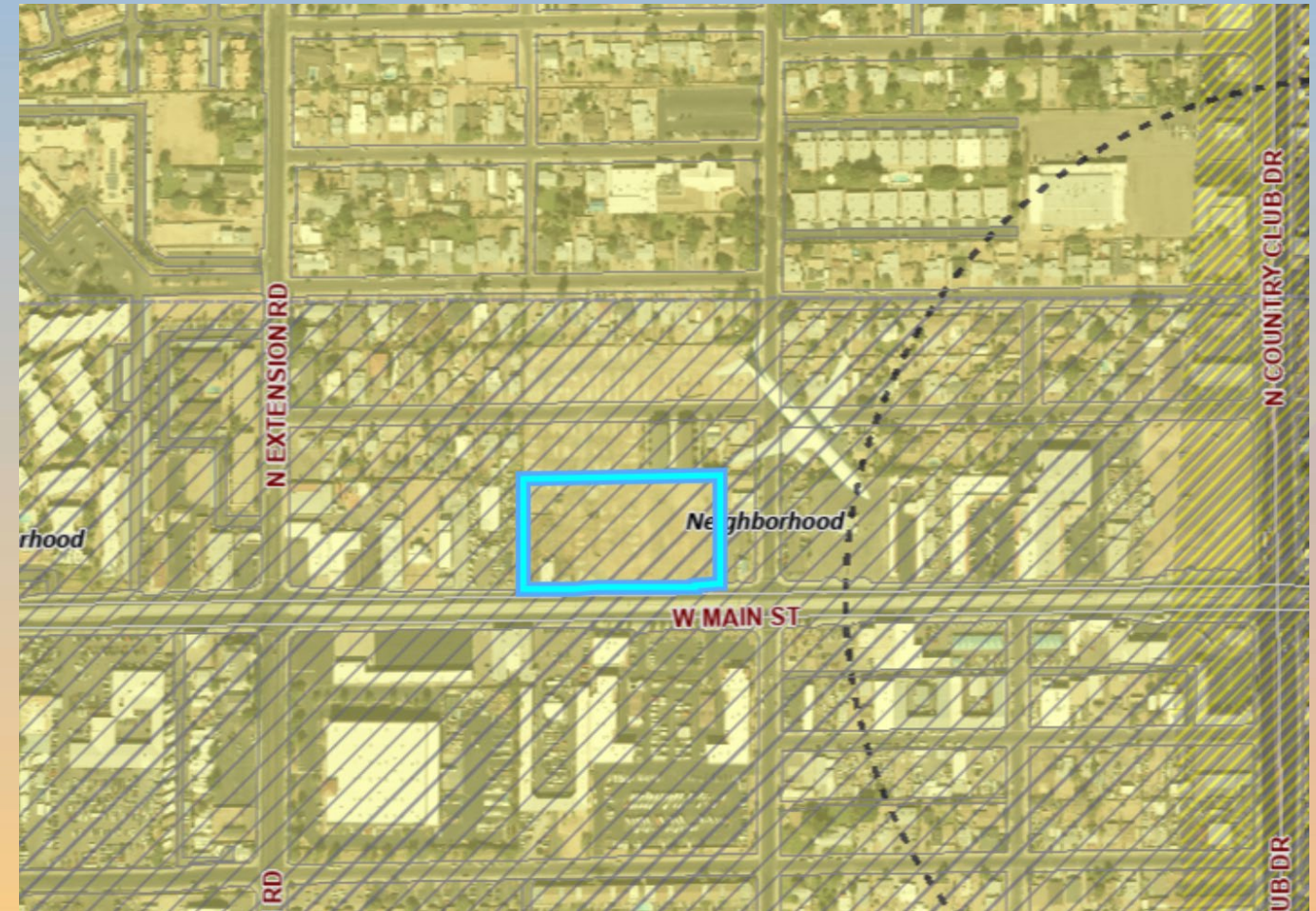
# General Plan

## Neighborhood, Traditional

- Safe places for people to live where they feel secure and enjoy their surrounding community
- Primary land uses include single and multi- residence

## Transit Corridor

- Mixed-use, pedestrian-oriented, urban environment, particularly within walking distance of transit stops







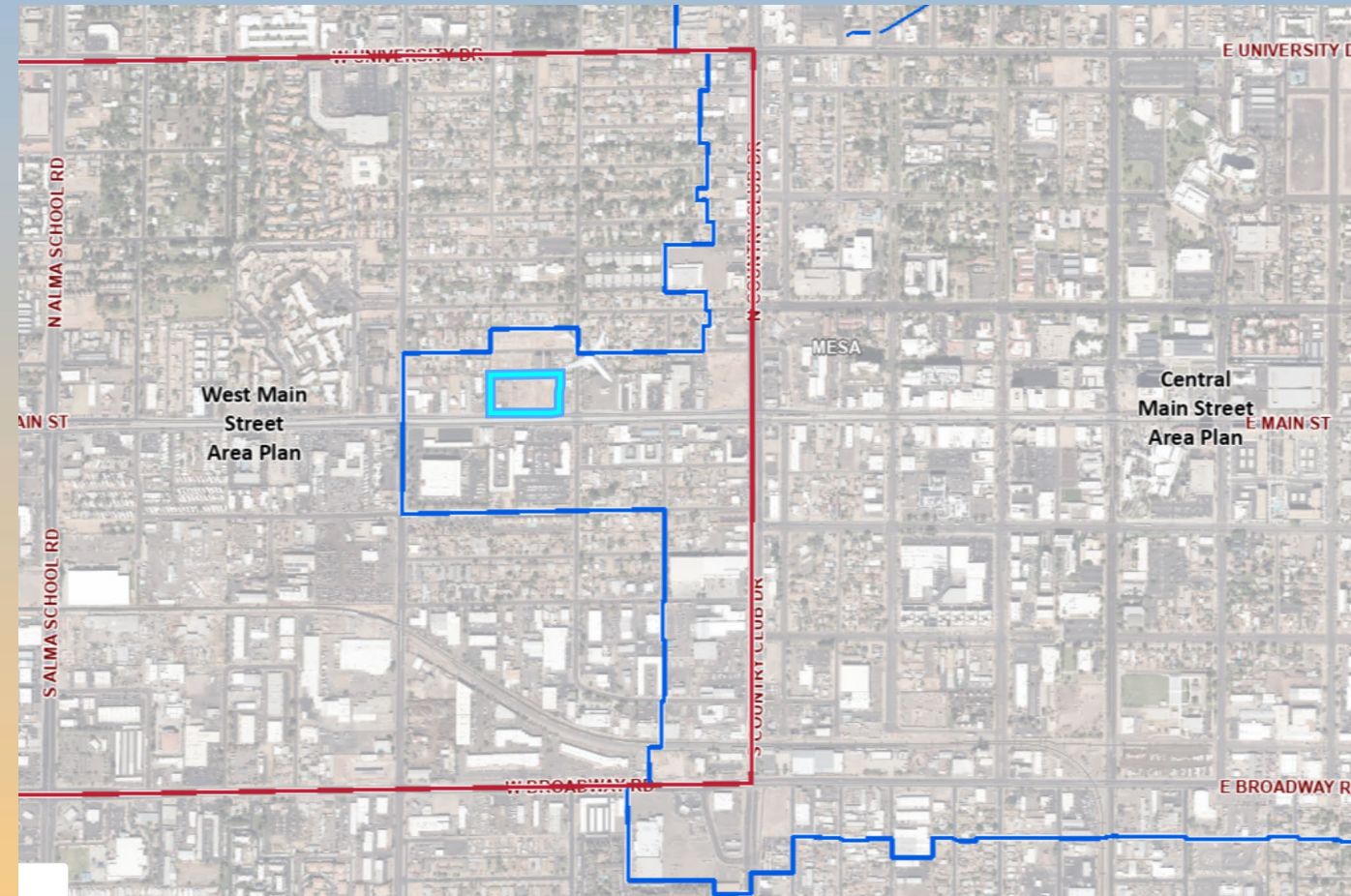
# Sub-Area Plans

## Central Main Street Area Plan

- Transit Adjacent – Residential Area
- Medium-high density residential
- Urban neighborhood development form

## West Main Street Area Plan

- Transit Oriented Development Corridor Area
- High-density multi-family residential uses
- 17+ du/ac

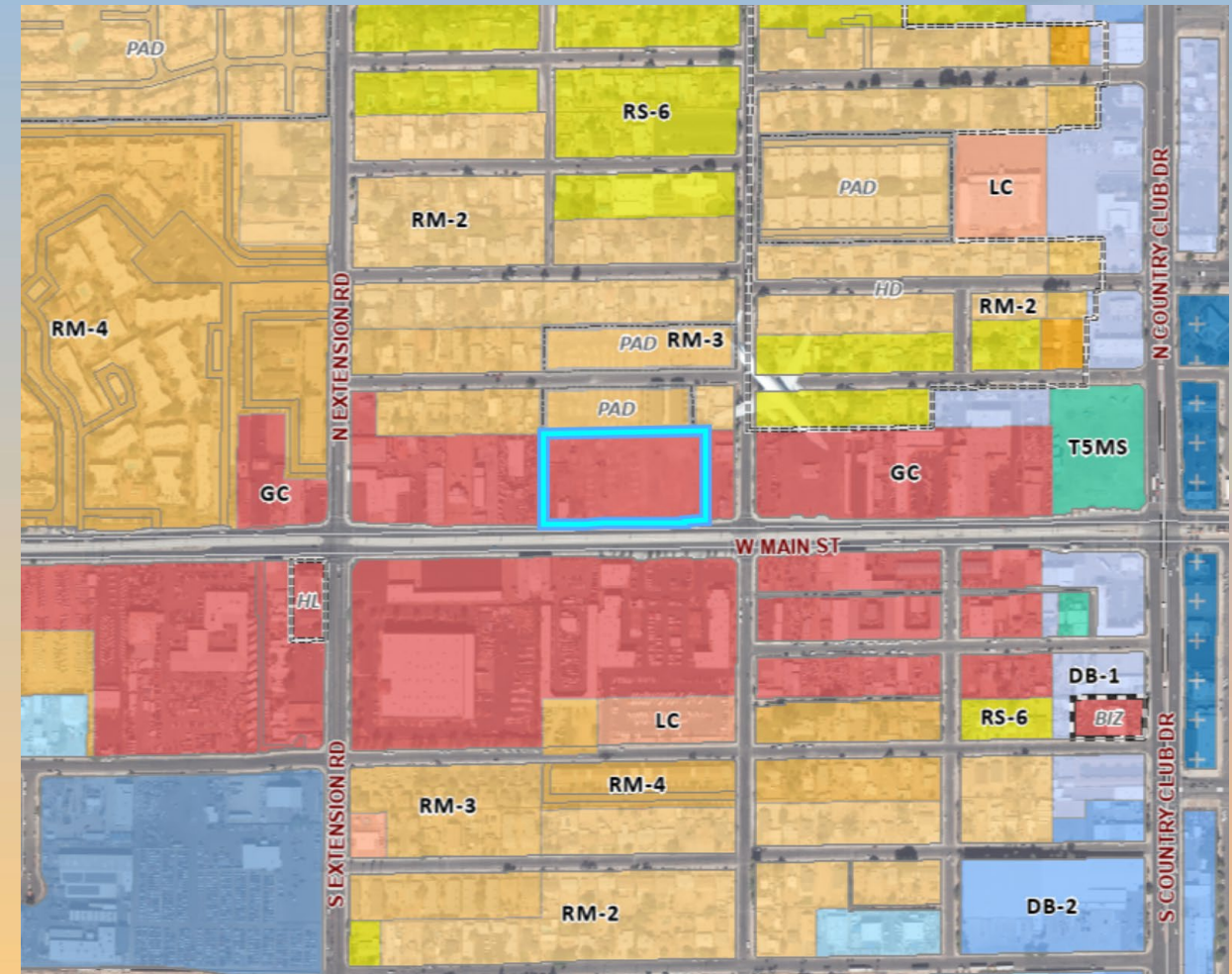






# Zoning

- Rezone from General Commercial (GC) to GC with a Planned Area Development overlay (GC-PAD)
- Indoor retail with limited outdoor display, and related service-oriented businesses
- Multi-residence permitted if meeting certain criteria
- PAD to allow modifications to development standards



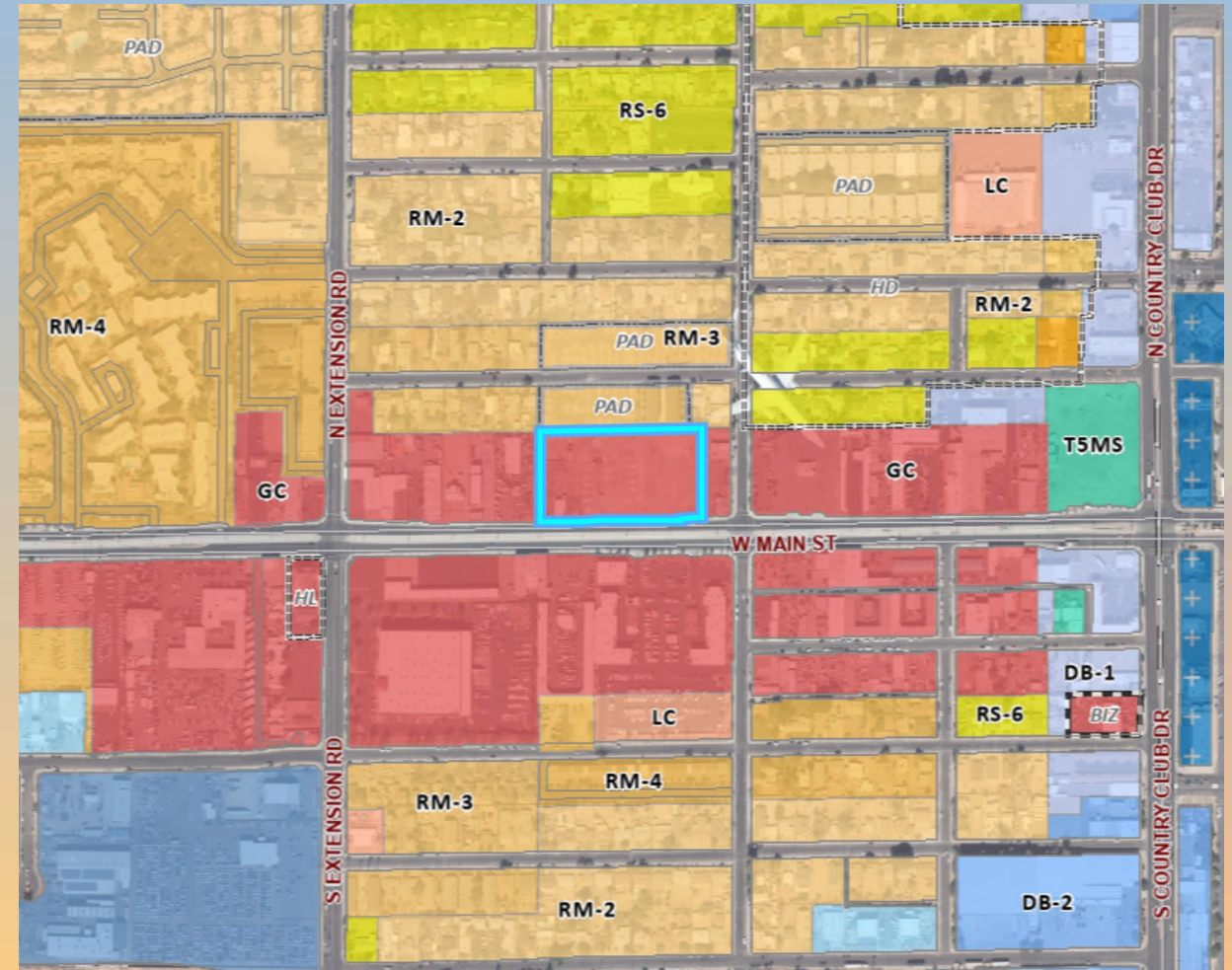




# Zoning

Multiple residence uses permitted in GC district if:

- $\geq 60\%$  GFA reserved for commercial uses,
  - $\geq 65\%$  of ground floor reserved for commercial use, and
  - $\leq 25$  du/ac
- 
- CUP required to modify these criteria







# Approval Criteria

## Council Use Permit for Residential Uses in Commercial Districts per MZO Section 11-31-31(F)

- ✓ A finding that a "good neighbor policy" in narrative form has been submitted, which includes, but is not limited to, descriptions of acceptable measures to ensure ongoing compatibility with adjacent uses; including measures to assure that commercial activity will remain as a viable activity on this site; and
- ✓ The use is found to be in compliance with the General Plan, Sub Area Plans and other recognized development plans or policies, and will be compatible with surrounding uses; and
- ✓ A finding that a plan of operation has been submitted, which includes, but is not limited to, acceptable evidence of compliance with all zoning, building, and fire safety regulations; and



# Approval Criteria

## Council Use Permit for Residential Uses in Commercial Districts per MZO Section 11-31-31(F)

- ✓ Evidence that acceptable documentation is present demonstrating that the building or site proposed for the use is in, or will be brought into, substantial conformance with all current City development standards, including, but not limited to, landscaping, parking, screen walls, signage, and design guidelines; and
- ✓ The overall project conforms to the intent and character of the zoning district and is part of a well integrated mixed use project.





# Approval Criteria

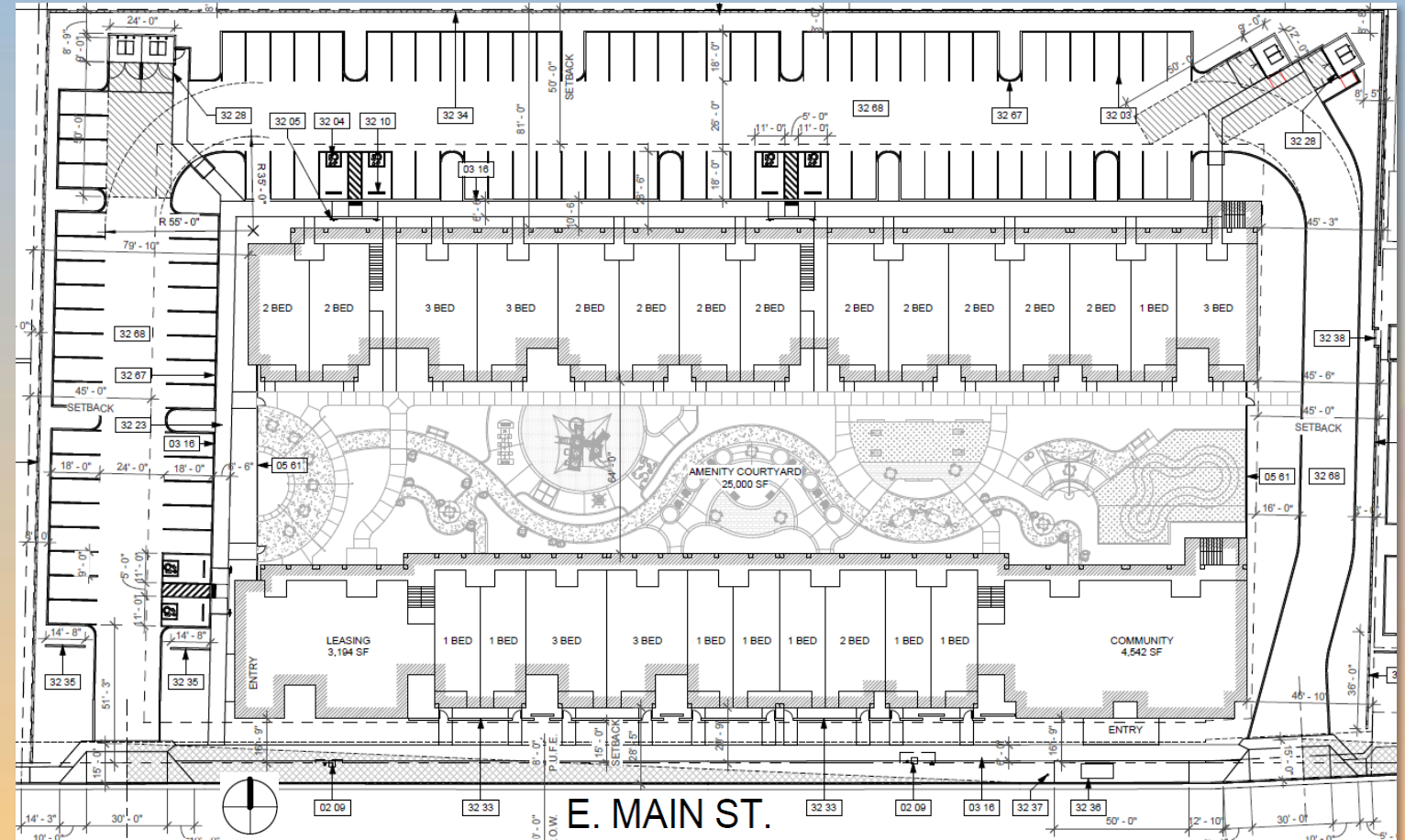
## Review Criteria for a Council Use Permit per MZO Section 11-70-6(D)

- ✓ Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable City plan and/or policies;
- ✓ The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the district where it is located and conform with the General Plan and with any other applicable City plan or policies;
- ✓ The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area of the proposed project or improvements in the neighborhood or to the general welfare of the City; and
- ✓ Adequate public services, public facilities and public infrastructure are available to serve the proposed project.



# Site Plan

- Two 3-story apartment buildings with 89 units
- 27 du/ac
- 25,000 square foot landscaped amenity area
- Community center
- Several pedestrian access points
- Two driveways on Main Street







# Planned Area Development

## Development Standard

## MZO Required

## PAD Proposed

Maximum Building Height  
– MZO Table 11-6-3.A

30 feet

**37 feet 4 inches**

Minimum Outdoor Living Area, Proportion of Private and Common Open Space  
– MZO Table 11-6-3.A & Section 11-5-5(A)(3)(a)

Open space may be provided in any combination of private and common open space, as long as studio and one (1) bedroom units have at least 60 square feet of private open space, two (2) bedroom units have at least 100 square feet of private open space and three (3) bedroom or more have at least 120 square feet of private open space

**Open space may be provided in any combination of private and common open space, as long as studio and one (1) bedroom units have at least 64 square feet of private open space, two (2) bedroom units have at least 67 square feet of private open space and three (3) bedroom or more have at least 70 square feet of private open space**



# Planned Area Development

## Development Standard

## MZO Required

## PAD Proposed

Minimum Outdoor Living Area, Accessibility and Location  
 – MZO Table 11-6-3.A & Section 11-5-5(A)(3)(e)(i)(1)

Private open space located at the ground level (e.g., yards, decks, patios) shall have no dimension less than ten (10) feet

**Private open space located at the ground level (e.g., yards, decks, patios) are permitted one dimension less than six (6) feet, all other dimensions shall have no less than (10) feet**

Materials and Colors – MZO Section 11-6-3(B)(5)(d)

No more than fifty percent (50%) of the total facade may be covered with one (1) single material

**No more than 67% of the east or west building elevations may be covered with one (1) single material**





# Planned Area Development

## Development Standard

## MZO Required

## PAD Proposed

### Required Parking Spaces by Use

– MZO Table 11-32-3.A

*-Apartments: Development site not located within ¼ mile radius (1320-feet) of bus rapid transit or light rail station, regardless of bedroom count*

Minimum of 2.1 spaces per dwelling unit (187 spaces)

**Minimum of 1.15 spaces per dwelling unit, including office/retail area (104 spaces)**

### Covered Spaces – MZO Section 11-32-3(D)(2)

Multiple-residence projects shall provide a minimum of 1 covered parking space per unit

**Multiple-residence projects shall provide a minimum of 0 covered parking space per unit**





# Landscape Plan



TREES			
	ACACIA ANEURA - MULGA ACACIA	15 GAL 24" BOX	58 17
	CHILTALPA TASHKENTENSIS - CHILTALPA	24" BOX 36" BOX	20 5
	PISTACIA CHINENSIS - CHINESE PISTACHE	24" BOX	11
	QUERCUS VIRGINIANA - SOUTHERN LIVE OAK	24" BOX 36" BOX	26 2
	ULMUS PARVIFOLIA 'ALLEE' - ALLEE ELM	24" BOX	11
SHRUBS			
	BOUGAINVILLEA SPP. - BUSH BOUG. 'FLAME'	5 GAL	67
	DODONAEA VISCOSA - HOP BUSH	5 GAL	26
	EREMOPHILA HYGROPHANA - BLUE BELLS	5 GAL	232
	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' - RIO BRAVO TEXAS SAGE	5 GAL	18
	OLEA EUROPAEA 'MONTRA' - LITTLE OLLIE DWARF OLIVE	5 GAL	104
	RUPELLIA BRITTONIANA - MEXICAN PETUNIA	5 GAL	75
	RUPELLIA EQUISETIFORMIS - CORAL FOUNTAIN	5 GAL	87
	RUPELLIA PENINSULARIS - DESERT RUELLIA	5 GAL	154
	SENNA ARTEMISIOIDES 'SILVER' - FEATHERY SENNA	5 GAL	36
	TECOMA STANS 'BELLS OF FIRE' - BELLS OF FIRE TECOMA	5 GAL	43
ACCENTS			
	ALOE BARBADENSIS - ALOE VERA	5 GAL	48
	BOUTELOUA GRACILIS - BLONDE AMBITION	5 GAL	15
	HESPERALOE PARVIFLORA - RED HESPERALOE	5 GAL	8
	MUHLENBERGIA CAPILARIS - PINK MUHLY	5 GAL	67
	PORTULACARIA AFRA - ELEPHANT FOOD	5 GAL	230
GROUND COVERS			
	EREMOPHILA GLABRA 'MINGENW GOLD' - OUTBACK SUNRISE EMU	5 GAL	205
	LATANA MONTEVIDENSIS - PURPLE TRAILING LANTANA	5 GAL	59
	LATANA X 'NEW GOLD' - NEW GOLD LANTANA	5 GAL	132
	1/2" SCREENED DECOMPOSED GRANITE - COLOR: 'MOUNTAIN VISTA BROWN' BY KILAUEA CRUSHERS. DG TO BE INSTALLED AT 2" DEPTH MINIMUM IN ALL LANDSCAPE AREAS. CONTRACTOR TO VERIFY EXISTING DEVELOPMENT DG SIZE AND COLOR PRIOR TO PURCHASING AND INSTALLING.		37,656 SQ. FT.
	1/4" MINUS DECOMPOSED GRANITE - COLOR: 'MOUNTAIN VISTA BROWN' BY KILAUEA CRUSHERS. DG TO BE INSTALLED AT 2" DEPTH MINIMUM IN ALL LANDSCAPE AREAS. CONTRACTOR TO VERIFY EXISTING DEVELOPMENT DG SIZE AND COLOR PRIOR TO PURCHASING AND INSTALLING.		3,679 SQ. FT.
	2' x 3' x 4' BOULDER - COLOR: 'AUTUMN' BY ROCK PROS		7
	3' x 3' x 3' BOULDER - COLOR: 'AUTUMN' BY ROCK PROS		2
	3' x 4' x 4' BOULDER - COLOR: 'AUTUMN' BY ROCK PROS		6





# Landscape Plan



BACKLESS BENCH (TYP.)



PLAYGROUND (TYP.)



TRASH RECEPTACLE (TYP.)



BENCH (TYP.)



TREES			
	ACACIA ANEURA - MULGA ACACIA	15 GAL. 24" BOX	58 17
	CHILTALPA TASHKENTENSIS - CHILTALPA	24" BOX 36" BOX	20 5
	PISTACIA CHINENSIS - CHINESE PISTACHE	24" BOX	11
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# Renderings







# Renderings







# Renderings

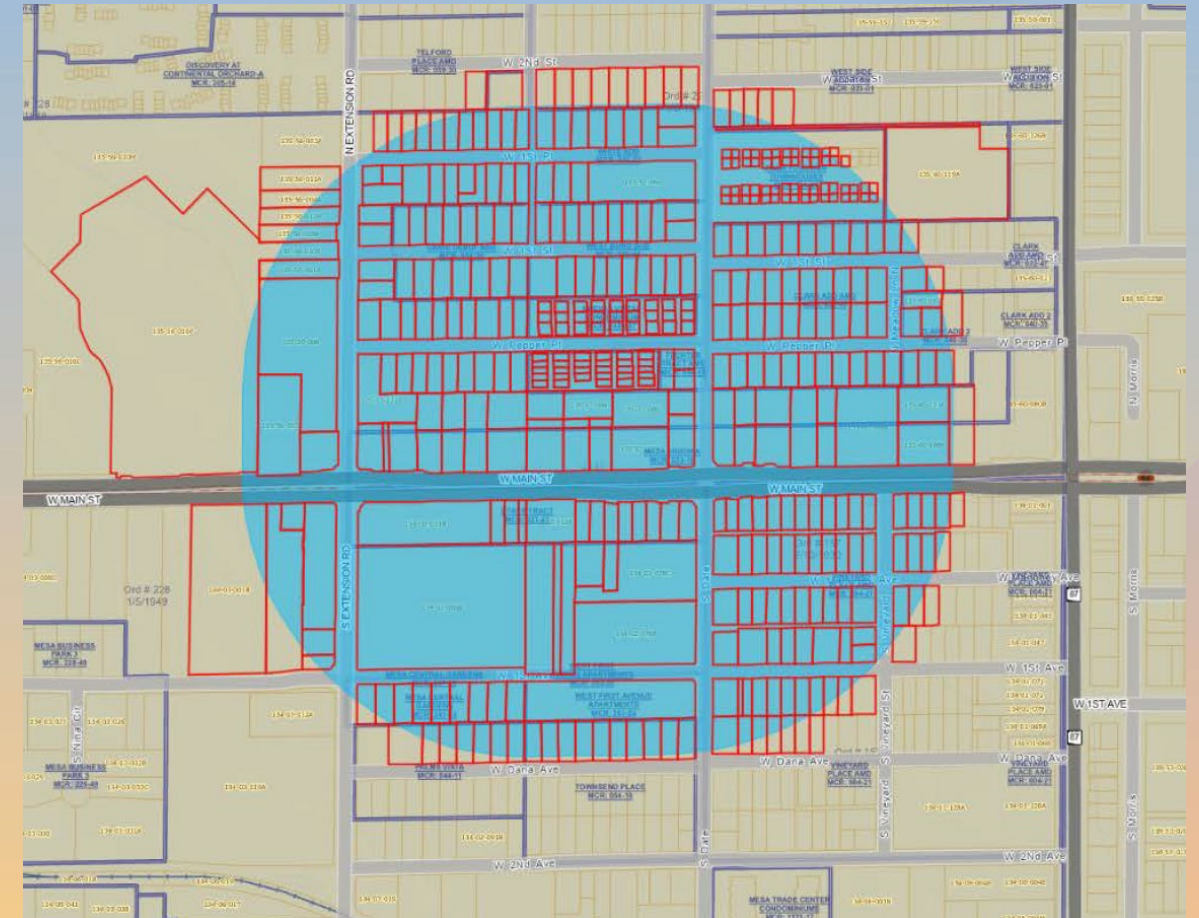






# Citizen Participation

- Notified property owners within 1,000', HOAs and registered neighborhoods
- Neighborhood meeting September 16, 2024
- Two emails to Planning Staff: concerns regarding overflow parking, construction traffic, noise, security





# Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with criteria for CUP for residential uses in commercial districts per Section 11-31-31(F) & criteria for CUP per Section 11-70-6(D) of the MZO
- ✓ Complies with Chapter 69 of the MZO for Site Plan Review
- ✓ Complies with Chapter 22 of the MZO for a PAD Overlay

***Staff recommend Approval with Conditions***





# Elevations – Bldg 1



SOUTH COLORED ELEVATION - BLDG 1 AREA 1B



② SOUTH COLORED ELEVATION - BLDG 1 AREA 1A





# Elevations – Bldg 1



**NORTH COLORED ELEVATION - BLDG 1 AREA 1A**



**NORTH COLORED ELEVATION - BLDG 1 AREA 1B**





# Elevations – Bldg 2



SOUTH COLORED ELEVATION - BLDG 2 AREA 2B



① SOUTH COLORED ELEVATION - BLDG 2 AREA 2A





# Elevations – Bldg 2



1 SOUTH COLORED ELEVATION - BLDG 2 AREA 2A

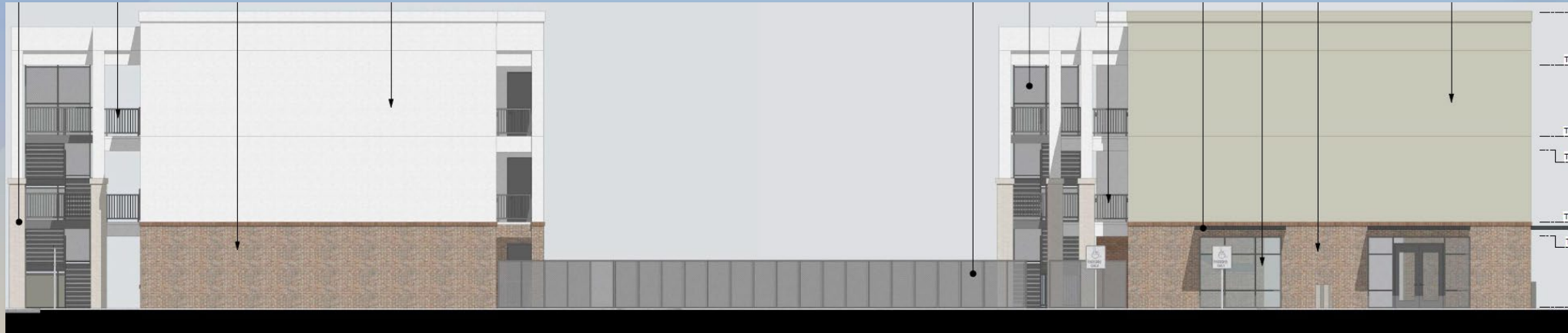


NORTH COLORED ELEVATION - BLDG 2 AREA 2B





# Elevations – Sides



3 WEST COLORED ELEVATION - BLDG 1 & 2



3 EAST COLORED ELEVATION - BLDG 1 & 2





# Renderings







# Renderings







# Renderings







# Renderings







# ZON24-00649

# Avalon Ranch

Cassidy Welch, Senior Planner

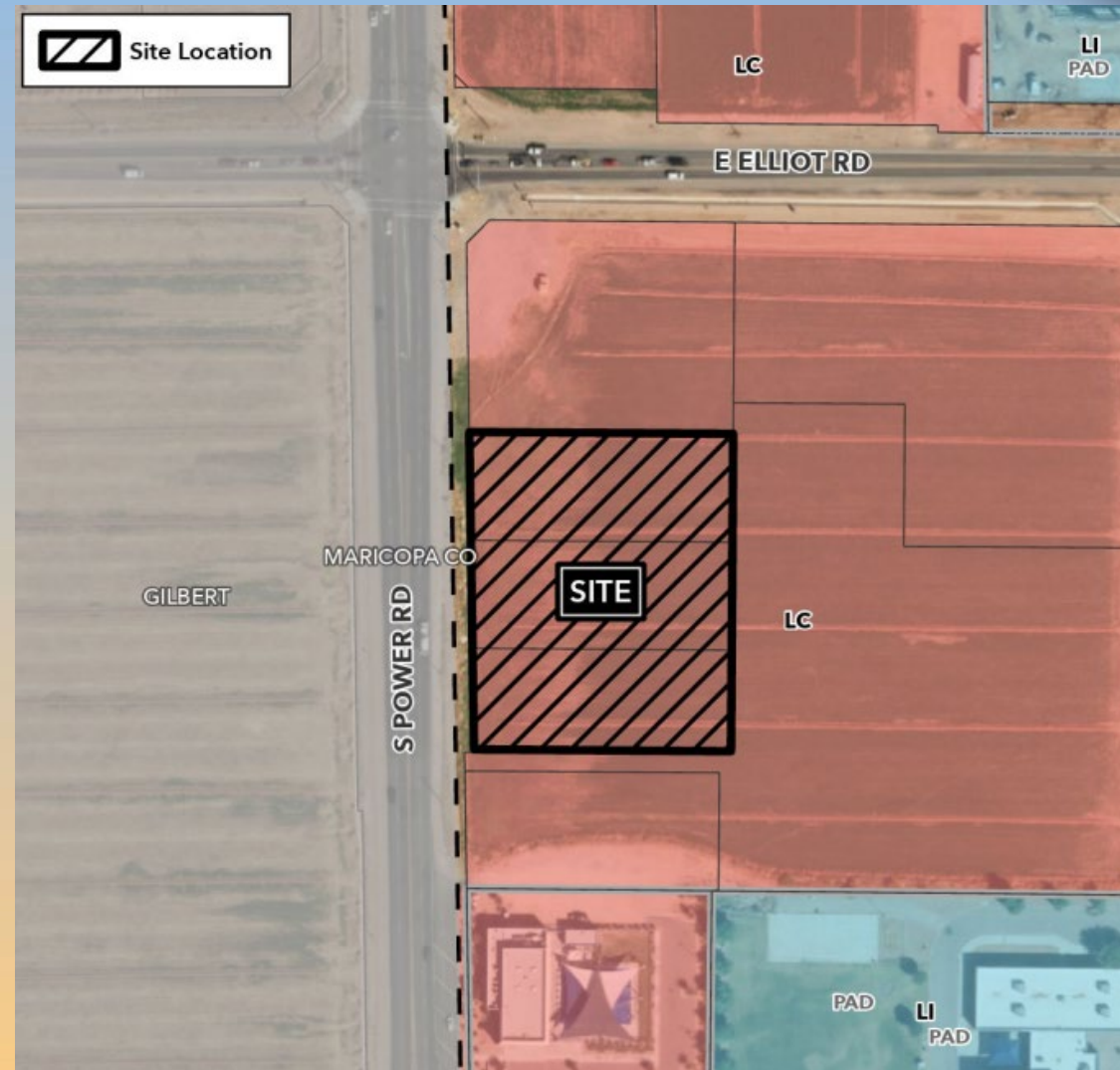
October 23, 2024





# Request

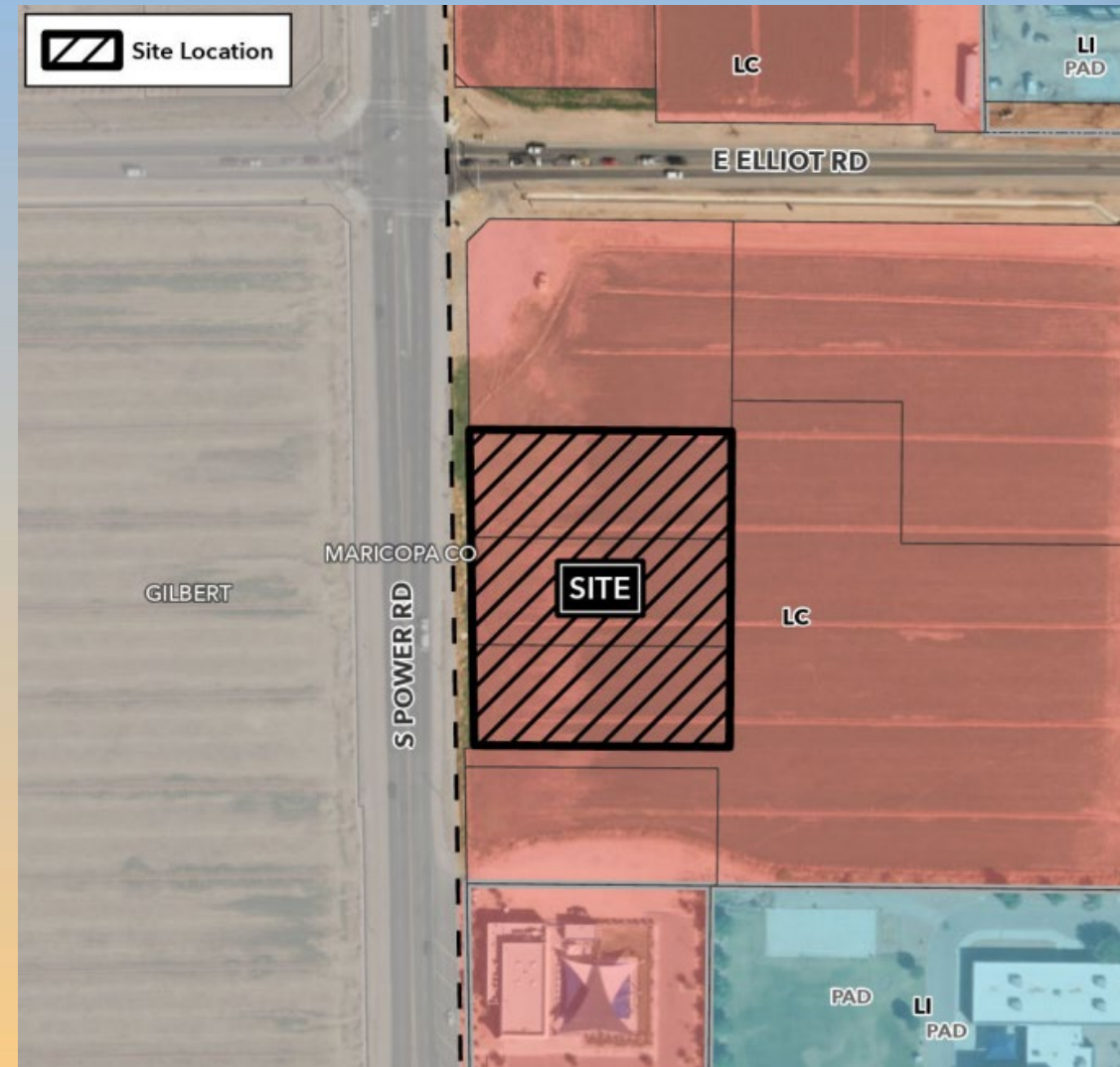
- Rezone from LC to LC-BIZ
- Major Site Plan Modification
- To allow for modification to a group commercial center





# Location

- South of Elliot Road
- East of Power Road



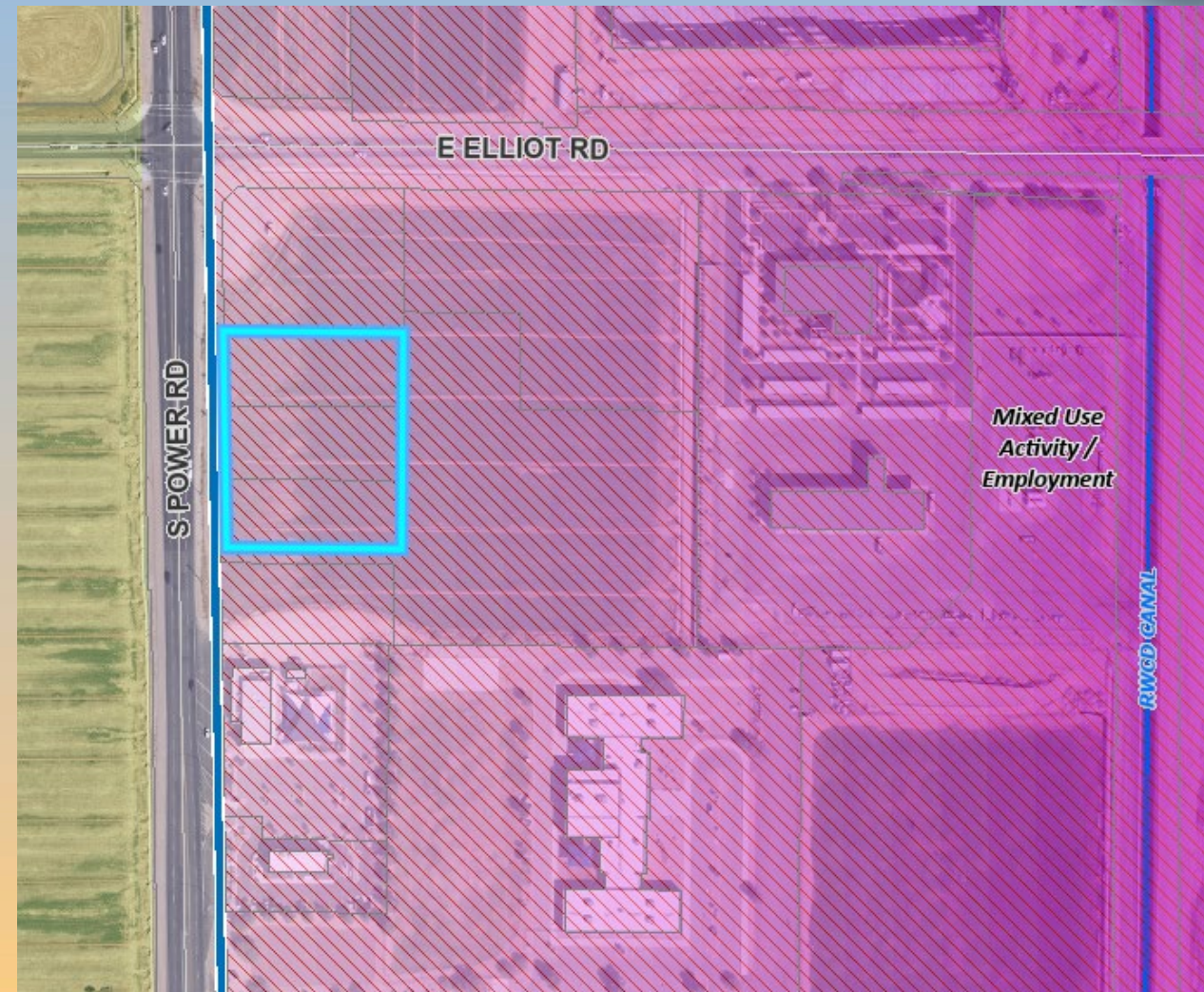




# General Plan

## Mixed Use Activity District with a Community-Scale subtype:

- Strong and viable centers of commercial activity to provide a location for businesses and attractions that brings people to Mesa from the larger region

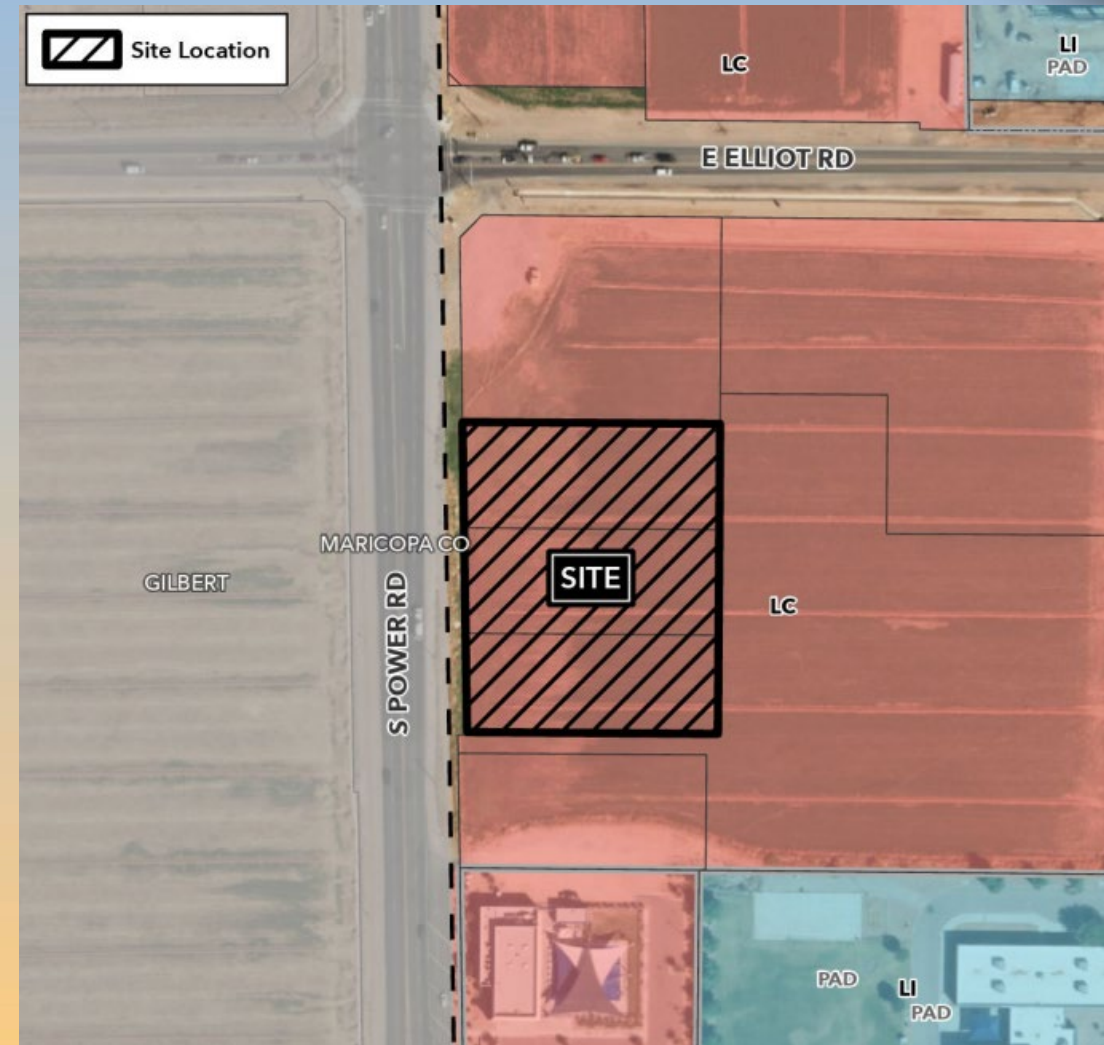






# Zoning

- Existing: Limited Commercial (LC)
- Proposed: Limited Commercial with a Bonus Intensity Zone Overlay (LC-BIZ)
- Restaurants with Drive-Thrus and Minor Automobile Repair are permitted uses







# Site Photo

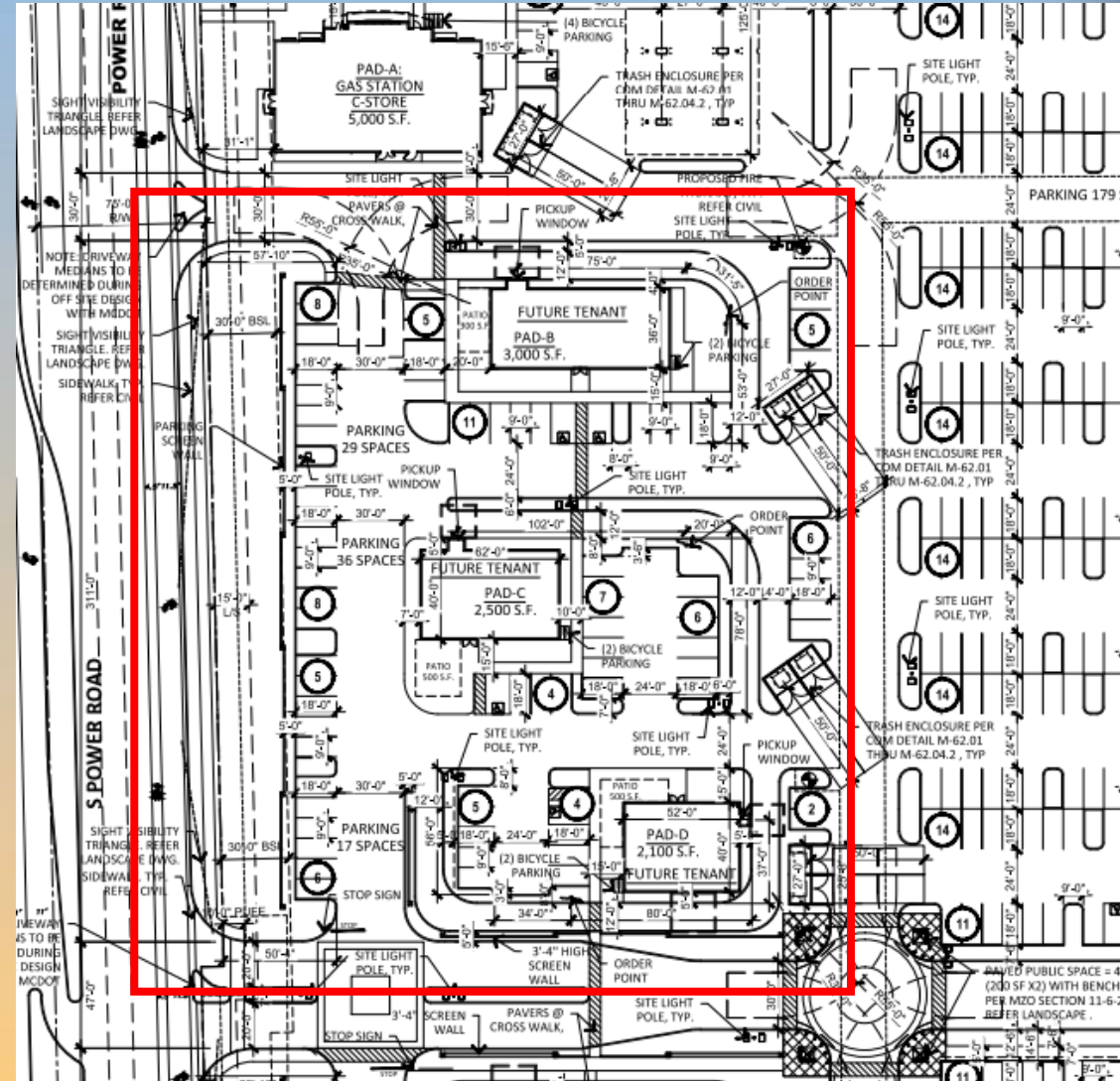


Looking east from Power Road



# Approved Site Plan

- 3 restaurants with drive-thrus
- 526 parking spaces required per SUP for parking reduction

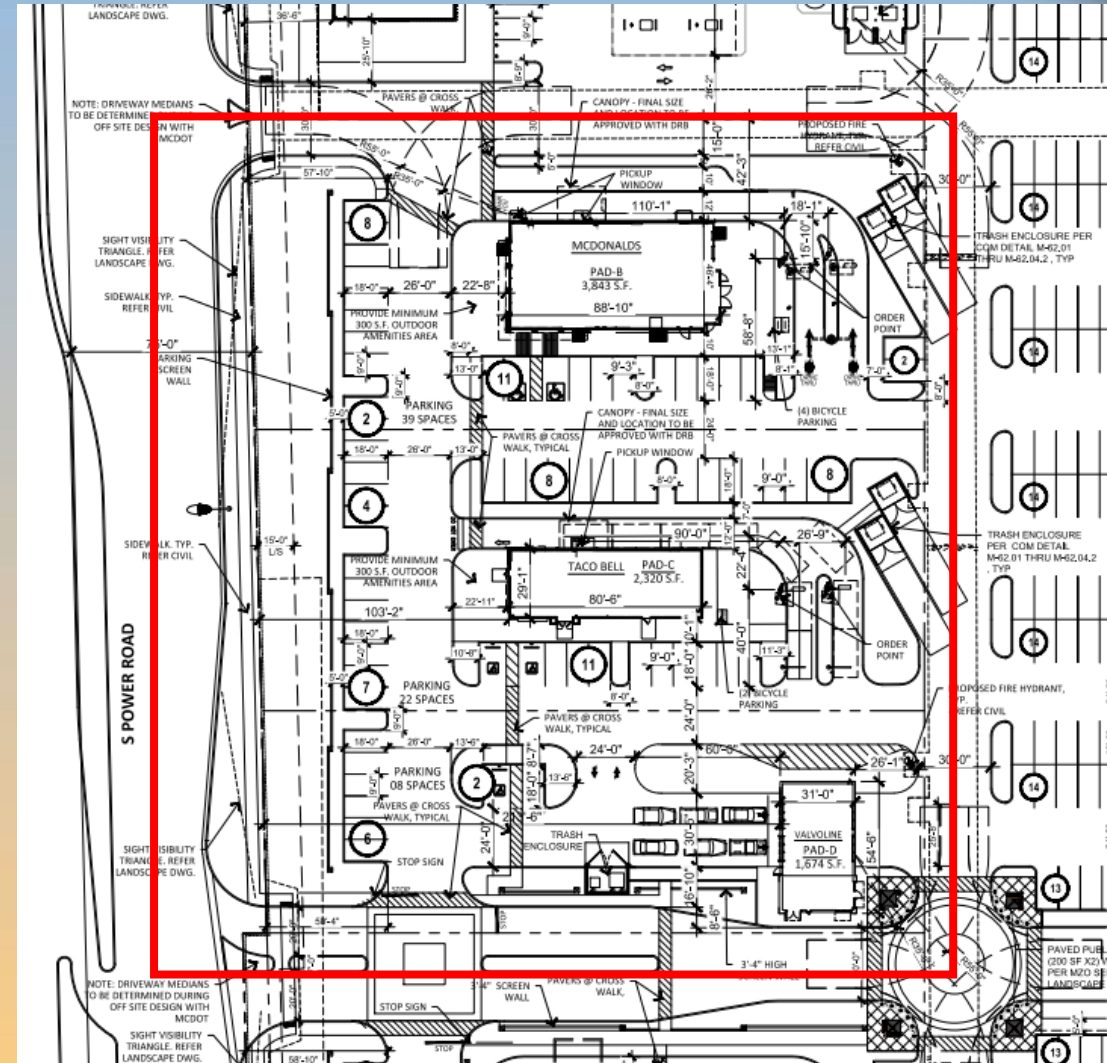






# Proposed Site Plan







- 2 restaurants with drive-thrus, 1 minor auto repair
- Modifications to building footprints
- 526 parking spaces required; 534 spaces provided

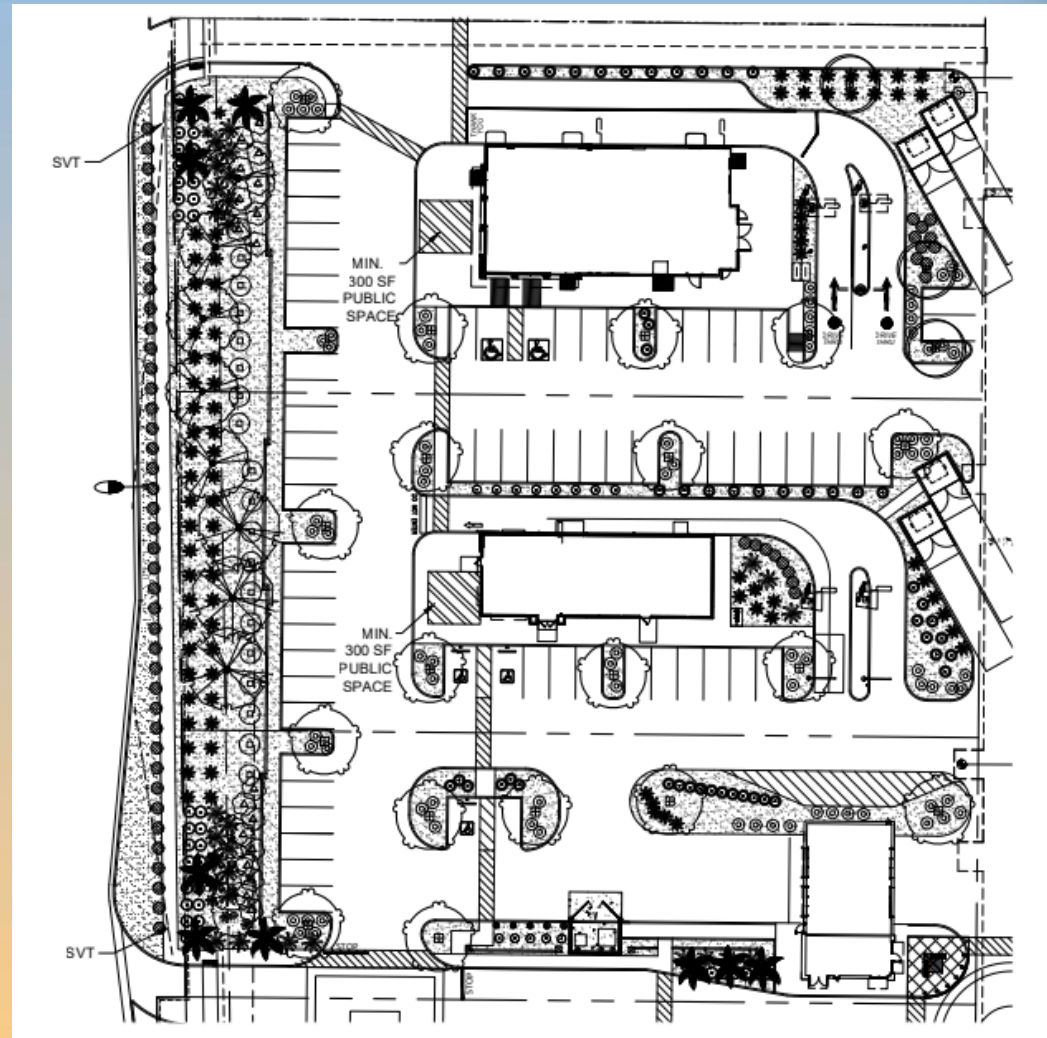




# Landscape Plan

## PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
<b>TREES</b>			
	<i>Ebenopsis ebano</i> Texas Ebony	24" Box	4
	<i>Olea europaea</i> 'Fruitless' Fruitless Olive	36" Box	5
	<i>Parkinsonia</i> x 'Desert Museum' Desert Museum Palo Verde	24"box	3
	<i>Phoenix dactylifera</i> Date Palm	15' Ht.	9
	<i>Pistacia</i> x 'Red Push' Pistache	24"box	3
	x <i>Chitalpa tashkentensis</i> 'Pink Dawn' Pink Dawn Chitalpa	36" Box	18







# BIZ Overlay

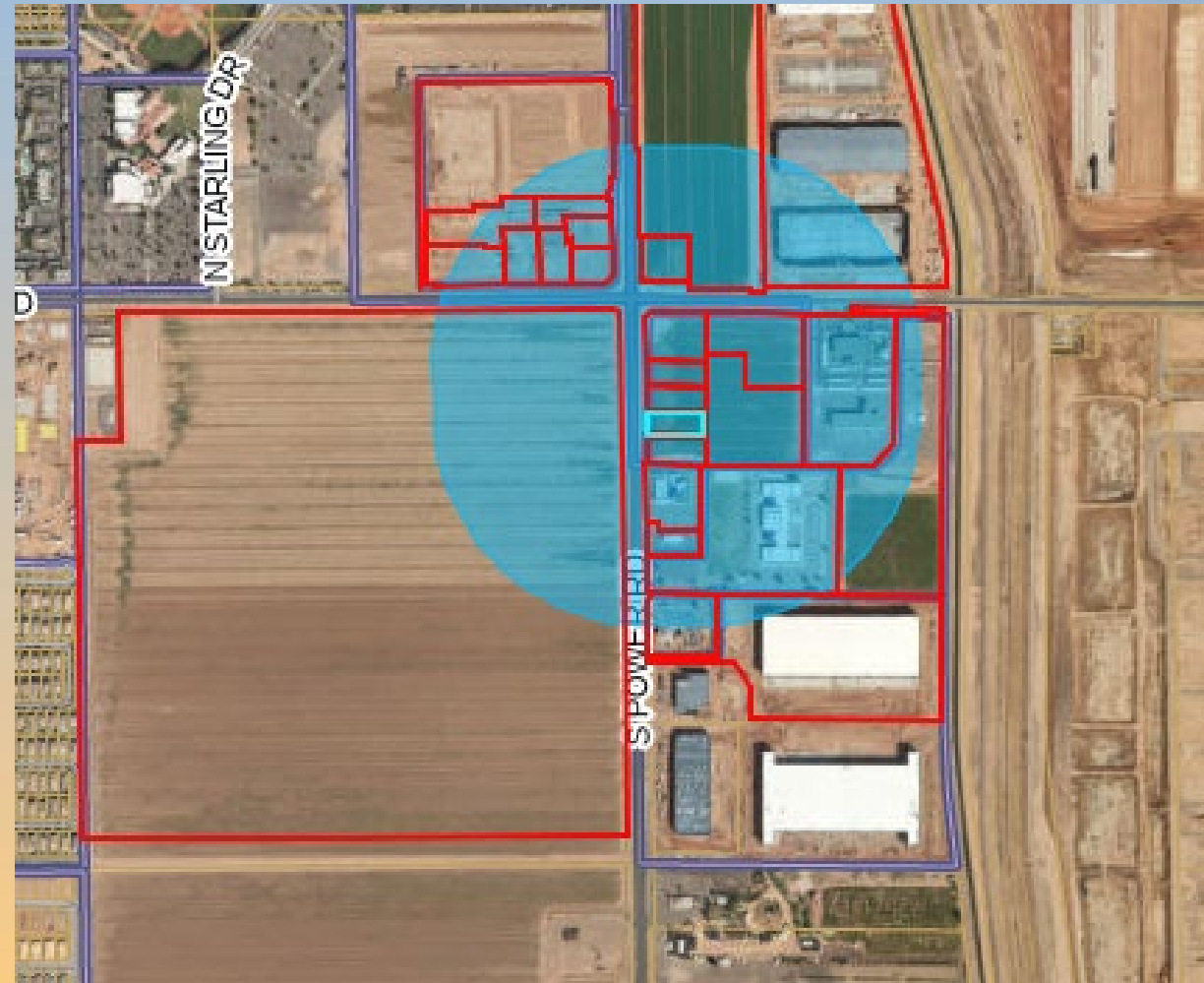
Development Standard	MZO Required	PAD Proposed
<u>Minimum Lot Width -</u> <i>MZO Section 11-6-3</i>	<p style="text-align: center;">100 feet</p>	<p style="text-align: center;"><b>90 feet</b></p>
<u>Minimum Foundation Base -</u> <i>MZO Section 11-33-5(A)</i>	<p style="text-align: center;">15 feet</p>	<p style="text-align: center;"><b>10 feet</b></p>

Justification: Min. 300 SF outdoor amenities areas for Pads B & C adjacent to Power Road



# Citizen Participation

- Notified property owners within 1000 feet, HOAs and registered neighborhoods
- Neither Staff nor the applicant has received any comments







# Findings

- ✓ Complies with the 2040 Mesa General Plan
- ✓ Complies with Chapter 21 of the MZO for BIZ Overlay
- ✓ Complies with Chapter 69 of the MZO for Site Plan Review

*Staff recommends Approval with Conditions*

# ADAPTIVE REUSE TEXT AMENDMENTS

Mary Kopaskie-Brown

Planning Director

Rachel Nettles

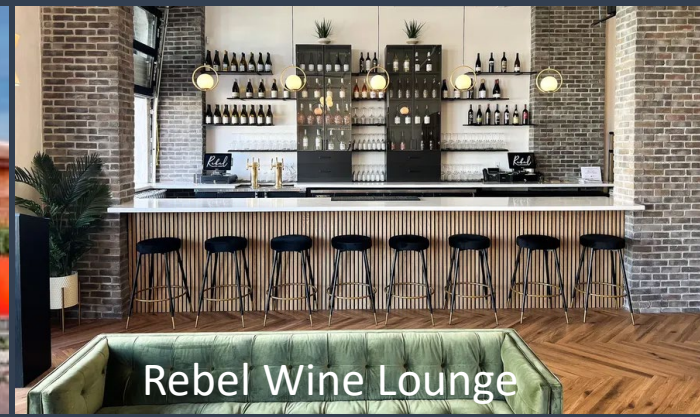
Assistant Planning Director





# ADAPTIVE REUSE IN MESA

"Adaptive Reuse"  
converting an existing  
structure from the use for  
which it was constructed to  
a new use.



# HB 2297 Requirements

- Signed by Governor Hobbs- May 2024
- Requires that on or before January 1, 2025, municipalities with a population of 150,000+ establish objective standards to:
  - Allow multi-family residential development (new use) or adaptive reuse
  - Of no more than 10% of existing commercial, office, or mixed-use buildings
  - Without requiring a conditional use permit or a public hearing





# WHAT THIS MEANS

- There are ~2,024 Commercial, Office, and Mixed-use Buildings in Mesa
  - 10% of buildings equals up to 202 buildings
- For Multi-Residential Projects
  - Multi-residential currently allowed in commercial zones but must be part of a mixed-use project or receive a CUP to deviate from commercial/residential ratios
  - Under HB 2297 approval would be administrative
  - Bill allows for complete demolition or reuse of existing building
- For Other Projects
  - Follow process required by zoning district
  - Bill allows for only partial demolition or reuse of existing building



# HB 2297 EXCLUSIONS

- Historic Districts and Historic Landmarks
- Land in the vicinity of a Military Airport or ancillary Military Facility (N/A in Mesa)
- Land in the vicinity of commercially licensed airport, general aviation airport, or public airport (AOA 1 & AOA 2)
- Commercial or Employment Hubs identified by the City
  - May not exceed 10% of the existing commercial, office, or mixed-use buildings in the city









# HB 2720 REQUIREMENTS

## Eligibility:

- Parcel Size - Parcel(s) of land at least 1-acre but no more than 20-acres in size
- Building Condition and Vacancy - Must be in a state of disrepair or have 50% vacancy in total leasable sq. ft.
- Affordable Housing - If adaptively reused for multi-family use, 10% or more must be set aside (moderate or low-income) for 20 yrs



# PROPOSED TEXT AMENDMENTS

- Create an Adaptive Reuse Permit
  - Allow for administrative site plan review
  - Establishment of development standards in compliance with HB 2297
  - Tracking
- Land Uses
  - Multiple residential uses permitted and will not require a Council Use Permit or Public Hearing
  - Other land uses based on the permitted, conditional, and prohibited land uses of the underlying zoning district







# PROPOSED TEXT AMENDMENTS

## Residential Adaptive Reuse Development Standards:

- Based on the development standards for the highest density Multiple Residential Zoning District within 1-mile of the project site (HB 2297)
- If no Multiple Residential Zoning District in 1-mile, based on the development standards for the next closest Multiple Residence Zoning District (HB 2297)
- Specific Height Restrictions:
  - May not exceed 5-stories (HB 2297)
  - Any portion of a project within 100 ft of a single residence zoning district or use may be limited to 2-stories (HB 2297)

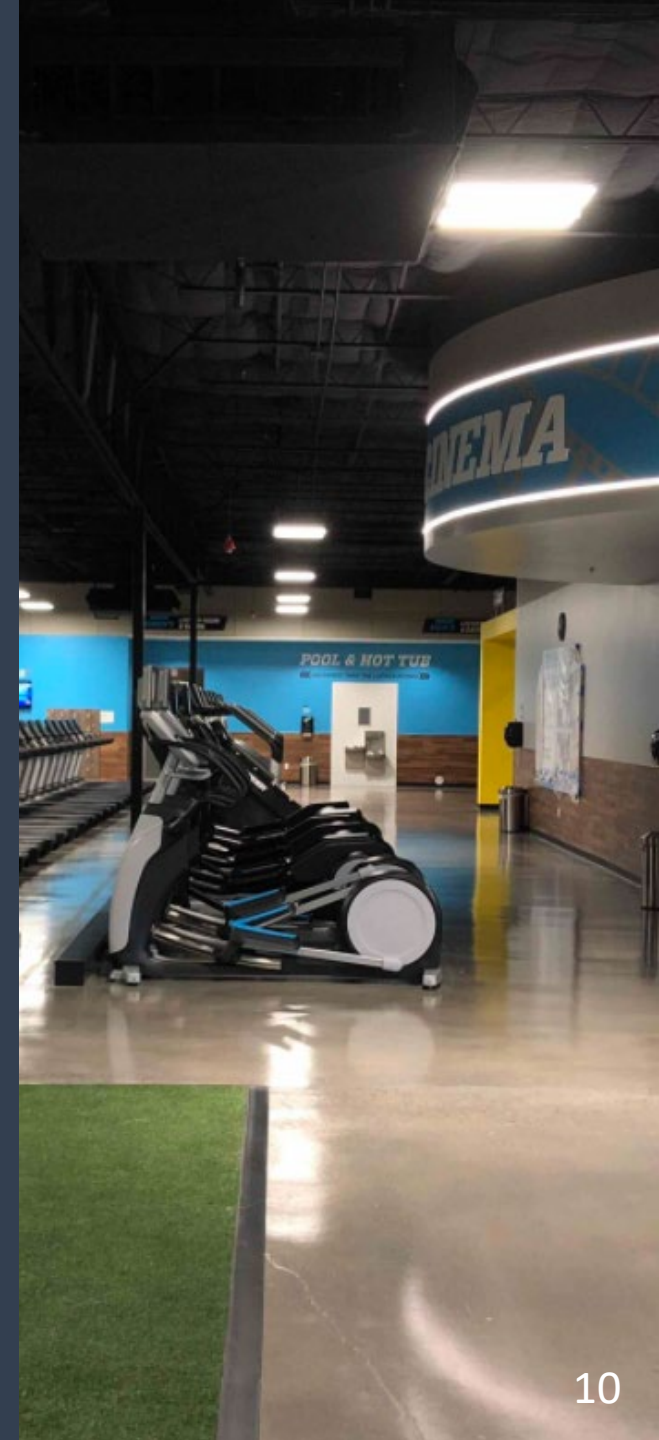
# PROPOSED TEXT AMENDMENTS

## Commercial Adaptive Reuse Development Standards:

- Based on the development standards for the underlying zoning district (HB 2297)

## Non-conforming Structures:

- Height - Existing buildings which exceed the max. height limit may remain and be expanded with a height matching the existing height (HB 2297)
- Setback - Existing buildings with a setback less than required may remain and be expanded with a setback matching the existing setback (HB 2297)







# QUESTIONS