

**Minor General Plan Amendment, Rezoning, Site
Plan, and Design Review Applications**

for

***Banner Gateway
Residences***

**West of the Northwest Corner of Banner Gateway Drive and
Pierpont Drive**

by:

Oakdale Realty

Case Nos.: ZON24-00752, DRB24-00753, ZON24-00894

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Banner Gateway Residences

I. INTRODUCTION

Oakdale Realty (“Oakdale”) is the proposed developer of 10.4± gross (9.5± net) acres located west of the northwest corner of Banner Gateway Drive and Pierpont Drive (the “Site”). Oakdale intends to develop this challenging infill Site with a high-quality residential community known as “Banner Gateway Residences.” Banner Gateway Residences will offer future residents the opportunity to live in a well-located residential community with a wide variety of amenities. This development is planned to contain approximately 260 residences with a density of approximately 27.3 du/net ac. Oakdale’s proposed community has been thoughtfully planned and will have distinct design features and exceptional lifestyle amenities. A high-quality, urban scale multi-family community is an excellent use of this vacant, infill Site and will benefit the adjacent properties and area.

The Site has failed to develop under its current General Plan designation and zoning. This challenging Site has limited street frontage due to its configuration (long and narrow) and does not have strong visibility from the US-60. This limited visibility makes the Site challenging for many uses. Additionally significant amounts of development—employment, commercial, and residential uses—have taken place in the area over the past 10-20 years. There have been considerable changes in the way people live, shop, and work over this same time period. Banner Gateway Residences is a viable and sustainable development that is a good transition between the various uses in the area including the Banner Medical Center east of the Site, existing employment use southeast of the Site, and residential uses south and west of the Site.

To achieve this, Oakdale requests the following:

- Minor General Plan Amendment (“GPA”) from Employment to Mixed-Use Activity District;
- Rezoning from Light Industrial to RM-4 PAD;
- Site Plan approval for the 260 residences; and
- Design Review approval for the Site Plan, Landscape Plan, Building Elevations, etc. for Banner Gateway Residences.

II. SITE AND SURROUNDING AREA

An aerial of the Site is included as *Exhibit 1*. The Site is designated on Mesa’s 2040 General Plan as “Employment” and is zoned Light Industrial (LI). The adjacent areas are designated on the General Plan and zoned as follows:

Direction	General Plan	Zoning
North (across the US 60)	Neighborhood	RS-6/PAD
West	Mixed-Use Activity District	RM-3/PAD
South (across Banner Gateway Dr)	Mixed-Use Activity District and Employment	RM-4/PAD and PEP/PAD
East	Employment	LI/PAD

III. PROPOSED MINOR GENERAL PLAN AMENDMENT

A minor amendment to the 2040 General Plan is necessary to allow the development of this high-quality community. Oakdale proposes to amend the General Plan designation on the Site from Employment to Mixed-Use Activity District. The Mixed-Use Activity District permits residential uses. This proposal complies with the purposes and objectives of the General Plan—which seeks to promote quality neighborhoods and well-planned land-use transitions.

This minor amendment will not significantly alter existing land use patterns, rather, it is appropriate for the area and will be compatible with neighboring multi-family developments and General Plan designations. This high-quality development will be beneficial to the area and will increase the health and safety of residents by providing an additional housing option that is well-located for many employment opportunities and by providing amenities for residents and their guests to recreate and socialize. Regarding impacts on infrastructure, this proposal will not generate a significant amount of traffic—especially compared to some uses that could be built by right. Further, there will not be a significant impact on public infrastructure, including schools. Multi-family developments such as this one do not typically have a large number of children and therefore this proposal will not create a negative impact on schools. Additionally, Oakdale’s proposed minor General Plan Amendment also meets the criteria provided in the City of Mesa’s General Plan:

1. Whether the proposed amendment to the General Plan character area will result in a shortage of land for other planned uses. For example, whether the change will result in a substantial and undesirable reduction in the amount of available land for employment or higher density housing development.

Response: This proposed amendment will not result in a shortage of land for other planned uses. This Site’s unsuitability for Employment and Light Industrial uses is demonstrated by its lack of development. Further, this Site is constrained by its relatively small size, its long and narrow shape, and access and visibility challenges. All of these factors have contributed to this Site failing to develop. This request will also provide the opportunity to utilize this Site for higher density housing and help to address housing shortages. Existing directly adjacent to the Site is approximately 19 acres of land zoned LI and 11 acres zoned PEP.

2. Whether events subsequent to the adoption of the Plan have changed the character or condition of the area making the proposed amendment appropriate.

Response: Events subsequent to the adoption of the General Plan have made this Minor GPA appropriate. This infill Site is now surrounded by multi-family development and Banner Hospital’s housing—leaving this Site as a challenging piece to develop. These surrounding land uses have changed the character of the area and make this Site challenging for employment or industrial development and ideal for multifamily development.

3. The degree to which the proposed amendment will impact the whole community or a portion of the community.

Response: This proposal will support a positive change in land use patterns and is supported by the General Plan as stated below. This minor amendment will not disrupt neighboring uses or land use patterns given that neighboring uses are also residential (to

the west and south) and residential-like with Banner Hospital's long-term housing development to the east.

- A. Altering acceptable existing land use patterns in a significant way that is contrary to the goals, policies, and strategies identified in the Plan.

Response: This Minor GPA does not significantly alter existing land use patterns and is supported by the General Plan. There are adjacent multi-family developments also designated Mixed-Use Activity District. This amendment will be in harmony with existing patterns and provide a critical transition to the Banner facilities east of the Site.

- B. Requiring larger or more extensive improvements to roads, sewer, or water systems than are necessary to support the prevailing land uses which may negatively impact development of other lands.

Response: No extensive improvements are needed as the area is built-out and has sufficient utilities to serve the Site's requirements.

- C. Adversely impacting existing uses due to increased traffic congestion that is not accommodated by planned roadway improvements or other planned transportation improvements such as non-motorized transportation alternatives and transit.

Response: This Site, located near arterials and a freeway, is well-suited for multi-family development. The surrounding roadway network is adequate to handle the traffic generated by this community.

- 4. Consistency of the proposed amendment with the vision, goals, policies, and strategies of the Plan.

Response: As detailed in Appendix A: General Plan Compatibility, this request is consistent with the General Plan.

- 5. Does the proposed amendment constitute an overall improvement to the General Plan and the City of Mesa.

Response: This proposal will constitute a positive amendment to the overall General Plan and City. It will facilitate quality development on an undeveloped and underutilized Site. This Minor GPA will facilitate a high-quality residential community that is appropriate for the area and surrounding uses and will be a benefit for the City and those wishing to live in the area.

- 6. The extent to which the benefits of the proposed amendment outweigh any of the impacts identified in this subsection.

Response: This amendment will not cause negative impacts. The amendment and this proposed community will be a benefit to the City by facilitating high-quality development that is compatible with the area. This community will provide additional housing and residents to support nearby businesses.

IV. PROPOSED REZONING

Oakdale is proposing the Site be rezoned to RM-4/PAD¹. As is detailed further below, Oakdale’s proposal and development plans for an upscale, high-quality multi-family development are compatible with the City’s General Plan and are a viable and sustainable solution on a challenging, underutilized Site. Additional housing opportunities in the area will sustain and support the surrounding nearby commercial and employment uses. Banner Gateway Residences will comply with the City’s RM-4 development standards except as modified below (changes noted in **bold**):

Regulation	City of Mesa RM-4 Development Regulations	Proposed Development Regulations
Max. Height	40	55
Carport Separation Distance	20	10

The proposed modification to the RM-4 development standard for building height is appropriate for the following reasons: The Site’s infill nature and proximity to the US-60 is an appropriate location to consider additional building height. The additional building height on this Site is consistent with good planning principles with the 4-story buildings located toward the US-60 and transition to 3- and 2-story buildings as one moves south on the Site. The four-story buildings adjacent to the US 60 will not visually impact passersby on Banner Gateway Drive. Regarding carport separation, the reduced distance allows for more landscaping and still allows for safe distancing.

An Alternative Landscape Plan (ALP) is also requested as reflected on *Exhibit 2*. The Alternative Landscape Plan Narrative and Standards can be found at *Exhibit 3*.

Oakdale’s proposed high-quality community likewise satisfies the PAD criteria found in Section 11-22-1 as detailed in Appendix B.

V. SITE PLAN AND DESIGN REVIEW

Careful consideration has gone into planning Banner Gateway Residences. Oakdale, as an experienced multi-family developer, has created a community that is attractively designed, aesthetically landscaped, and provides an appropriate use of this challenging, underutilized Site. *See Exhibit 4, Perspective and Exhibit 5, Site Plan*. Banner Gateway Residences will be a high-quality community consisting of approximately 260 residences at a density of approximately 27.3 du/net ac. The proposed design and layout will provide residents with convenient access to parking and ample amenities including a gym and clubhouse. Ingress and egress are proposed to be located on Banner Gateway Drive. A sense of arrival is created at the primary entrances through lush landscaping, and signage, at entryways. Well-planned circulation will allow convenient access to all units as well as the leasing and clubhouse building.

This proposed community is anticipated to contain a combination of 2-, 3-, and 4-story buildings. *See Exhibit 6, Building Elevations*. The 4-story buildings are located on the north side of the Site and adjacent to the US 60, transitioning to 3-story buildings near the center of the Site and 2-story buildings located adjacent to Banner Gateway Drive. There are a mix of 1-, 2-, and 3-

¹ Appendix B contains an analysis of the criteria for a PAD request.

bedroom residences ranging in size from 555 square feet to 1,415 square feet. *See Exhibit 7, Floor Plans.*

A. Landscaping, Amenities, and Open Space

The overall landscape theme is inspired by the Sonoran Desert with accents of lush, native and native adapted, desert oasis landscaping at focal points to create an environment of luxury resort living at Banner Gateway Residences. *See Exhibit 2, Landscape Plan.* As shown on the Conceptual Landscape Plan, the design, elements, and materials create a sense of community and neighborhood, both echoing the architectural character and responding to the desert landscape surrounding it. The elements and features are designed to create a “sense of place” and a permanence achieved by relating the elements to the “human scale” and integrating with the architecture.

The landscape palette is a combination of native and non-native plant material that draws from the lush desert look and feel of an adapted Sonoran Desert residential experience. Landscaping at the community entry and pool area creates a sense of priority and a resort-style look and feel. The landscape palette provides a diversity of colorful plant materials that enhance the community environment throughout the year with a variety of compositions, texture, and seasonal color. The hardscape and pedestrian amenities throughout the Site integrate design cues from the architectural vernacular and design elements of the building architecture. Together these elements embrace the architecture of the proposed buildings and blend with the existing built environment of the area.

Oakdale has been planned with quality amenities to create an upscale community where residents will be able to play, relax, or socialize. The amenity areas within the community are designed to enhance the community character and quality of life by providing recreational opportunities and connectivity for residents through the integration of amenities and open spaces. The amenity and theming elements have been designed to maintain the overall “sense of place” and the identity of the community. Banner Gateway Residences will contain a centrally located main amenity area that is connected through well-planned pedestrian connections.

B. Architecture

The proposed architecture for Banner Gateway Residences is appropriate for this Site and is compatible with the surrounding area. *See Exhibit 4, Perspective and Exhibit 6, Building Elevations.* Banner Gateway Residences has been designed with high-quality architecture to elevate the community and create an attractive presence for residents, guests, and passers-by. The community is conceived to be contemporary in nature, with nods to the desert environment featuring horizontal eyebrows, application of stone, extended balcony decks, recessed planes, and a light color palette. Building articulation, including varied roof heights and projections, breaks up building massing and creates a visually pleasing building form.

Emphasis was concentrated on articulated entries into each building, multiple residential buildings that provide unique mass and variation both in the facade and roof planes. A variety of colors, including neutral grays, bronze, and blacks, and materials such as stucco, stone veneer, and touches of metals will further serve to create visual interest. *See Exhibit 8, Color and Material Palette.* Banner Gateway Residences has been designed to meet the intent of the City’s Quality Development Design Guidelines.

C. Theme Walls, Entry Gates, and Entry Monument

The theme walls, view fencing, and entry monument have been designed to be consistent with the residential building elevations and landscaping theme. These elements transition into the landscape with the use of a strong foundation planting palette.

VI. MISCELLANEOUS

A. Phasing

It is anticipated that Banner Gateway Residences will be constructed in one phase.

B. Grading and Drainage

The Preliminary Grading and Drainage Plan is attached as **Exhibit 9**. All project drainage systems will be designed and constructed in accordance with the latest MAG Standard Specifications and Details and the latest City of Mesa Standard Details and Specifications.

VII. PROJECT TEAM

Developer:

Oakdale Communities
Attn: Jim Hinton
Bob Bussone
5773 Woodway Drive 415
Houston, Texas 77057

Architect:

AO Architects
Attn: Serafin Maranan
Aira Iglesias
144 N Orange Street
Orange, California 92866

Landscape:

Studio Sprawl
8321 East Evans Road, #101
Scottsdale, Arizona 85260

Civil Engineer:

Hubbard Engineering
1201 S. Alma School Road, Suite 12000
Mesa, Arizona 85210

Zoning & Entitlements:

Burch & Cracchiolo, P.A.
Attn: Brennan Ray
Madison Leake
1850 N. Central Avenue, Suite 1700
Phoenix, Arizona 85004
Phone: (602) 234-8794

VIII. CONCLUSION

Banner Gateway Residences will be an exciting, high-quality multi-family development that makes good use of this challenging infill Site. This vibrant community will offer a high-quality lifestyle for its residents and benefit the area. These requests are supported by the City's General

Plan and are compatible with the surrounding area. This community will create a sustainable solution for this Site and an attractive presence in the area. We request your approval.

Oakdale Realty

APPENDIX A – GENERAL PLAN COMPATIBILITY

Oakdale's requests are supported by the City's General Plan goals, objectives, and policies as follows:

Guiding Principle 1: Create and maintain a variety of great neighborhoods.

Key Element 1: Safe, Clean and Healthy Living Environment

- Initial site planning and design/redesign that includes application of Crime Prevention Through Environmental Design (CPTED) standards.
- Maintenance of streets, sidewalks, street lighting, etc. to ensure roadways, paths and trails are safe; improve lighting where needed.
- Avoiding incompatible land uses and/or providing appropriate transitions between uses.
- Locate and design public spaces so that there is a high degree of natural surveillance.
- Provision of active outdoor open space for all ages.

Key Element 3: Connectivity and Walkability

- It is also important to design and maintain neighborhoods to be walkable. Walkable neighborhoods have streets, sidewalks, and trails designed and maintained to help people feel safe and comfortable using them.
- Block lengths developed consistent with the character area standards.
- Trees and shade are provided along streets and pedestrian ways consistent with the character area standards in a way that does not interfere with nighttime lighting of the street, sidewalk and paths.
- Utilizing CPTED standards and techniques for the design of lighting, landscaping, and buildings along streets.
- Encouraging a development pattern that provides easy, multimodal access to shopping, work, recreation, and other nearby amenities.

Key Element 4: Provide for Diversity

- Having a variety of housing types provides interest to the built environment and provides the opportunity for differing people to live in close proximity to one another. The variety of housing also allows people to stay in the same neighborhood as their housing needs change throughout their life.
- Neighborhoods become an interesting place to live when you can encounter a variety of people. Diverse and inclusive neighborhoods allow people of different incomes, ages, races, and ethnicities to gather and get to know each other which make the community stronger.

Key Element 5: Neighborhood Character and Personality

- Reviewing new/reuse developments for the elements needed to add to the surrounding community and create a unique sense of place.

- Requiring the use of high-quality architecture, building materials and landscape design and maintenance in all developments.
- Creating neighborhood boundaries and limiting through traffic into the neighborhoods.
- Supporting new development and redevelopment projects that support the identity of the neighborhood, and rejecting proposals which fail to do this.

Key Element 6: Quality Design and Development

- Reviewing all development projects for conformance with high-quality design/construction standards.
- Requiring that all building facades that face a street or public space have architectural interest.
- Using a variety of high-quality, durable materials that are appropriate for this climate.
- Unique public or community spaces that provide a focal point to draw people together.
- Maintaining a pedestrian scale and attractiveness along streets

Neighborhoods Policy P1: Encourage the appropriate mix of uses that will bring life and energy to neighborhoods while protecting them from encroachment by incompatible development.

Neighborhoods Strategy S5: Investigate strategies and incentives to encourage appropriate infill and property reuse consistent with neighborhood goals and values.

Housing

- Providing a mix of high-quality housing options throughout the city, in conjunction with supporting uses and activities, is the key to achieving the goal of creating and monitoring a variety of great neighborhoods.
- Encouraging the integration of a mix of housing options in each area of the city.
- Requiring the application of CPTED principles to the development and redevelopment of multi residence projects.
- Requiring architectural design, outdoor space, and amenities that will maintain value over time, and including a requirement for perpetual maintenance of these original design features.

Redevelopment

- Redevelopment P2: Encourage and facilitate infill development that improves the quality of the neighborhood.

Transportation

Transportation Goal 2

- Objective 2 – Make walking safe, convenient and enjoyable while encouraging social interaction in public places.

APPENDIX B – PAD CRITERIA ANALYSIS

Oakdale’s proposed high-quality community likewise satisfies the PAD criteria found in Section 11-22-1.

A. Well designed and integrated open space and/or recreational facilities held in common ownership and of a scale that is proportionate to the use;

The design of layout of Oakdale’s proposed development creates unique and usable open space areas for residents and guests to enjoy. Appropriately designed amenity areas are conveniently located to provide opportunities for residents to socialize, interact, and recreate. Overall, approximately 136,698 square feet of common open space and approximately 21,693 square feet of private open space is planned to be provided.

B. Options for the design and use of private or public streets;

Banner Gateway Drive is built to its classification. No additional right-of-way is needed. The on-site internal drives will be appropriately designed to accommodate residents, guests, fire, solid waste, and delivery vehicles.

C. Preservation of significant aspects of the natural character of the land;

There is nothing significant about this vacant Site. As is shown on the exhibits, the proposed layout and elevations bring an exciting, fresh development to the area, that will provide housing and support nearby employment and commercial uses.

D. Building design, site design, and amenities that create a unique and more sustainable alternative to conventional development;

Oakdale has created a community that is attractively designed, aesthetically landscaped, and provides an appropriate use of this challenging, infill Site. Particular attention has also been given to providing pedestrians with convenient access to centrally located amenities and open space areas.

E. Sustainable property owners' associations;

The development will be professionally managed.

F. Maintenance of property held in common ownership through the use of recorded covenants, conditions, and restrictions;

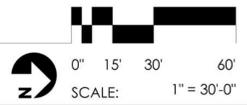
There is only one property owner for the Site, therefore there is no need for recorded covenants, conditions, and restrictions.

G. Single or multiple land use activities organized in a comprehensive manner, and designed to work together in common and in a synergistic manner to the benefit of both the project and the neighboring area.

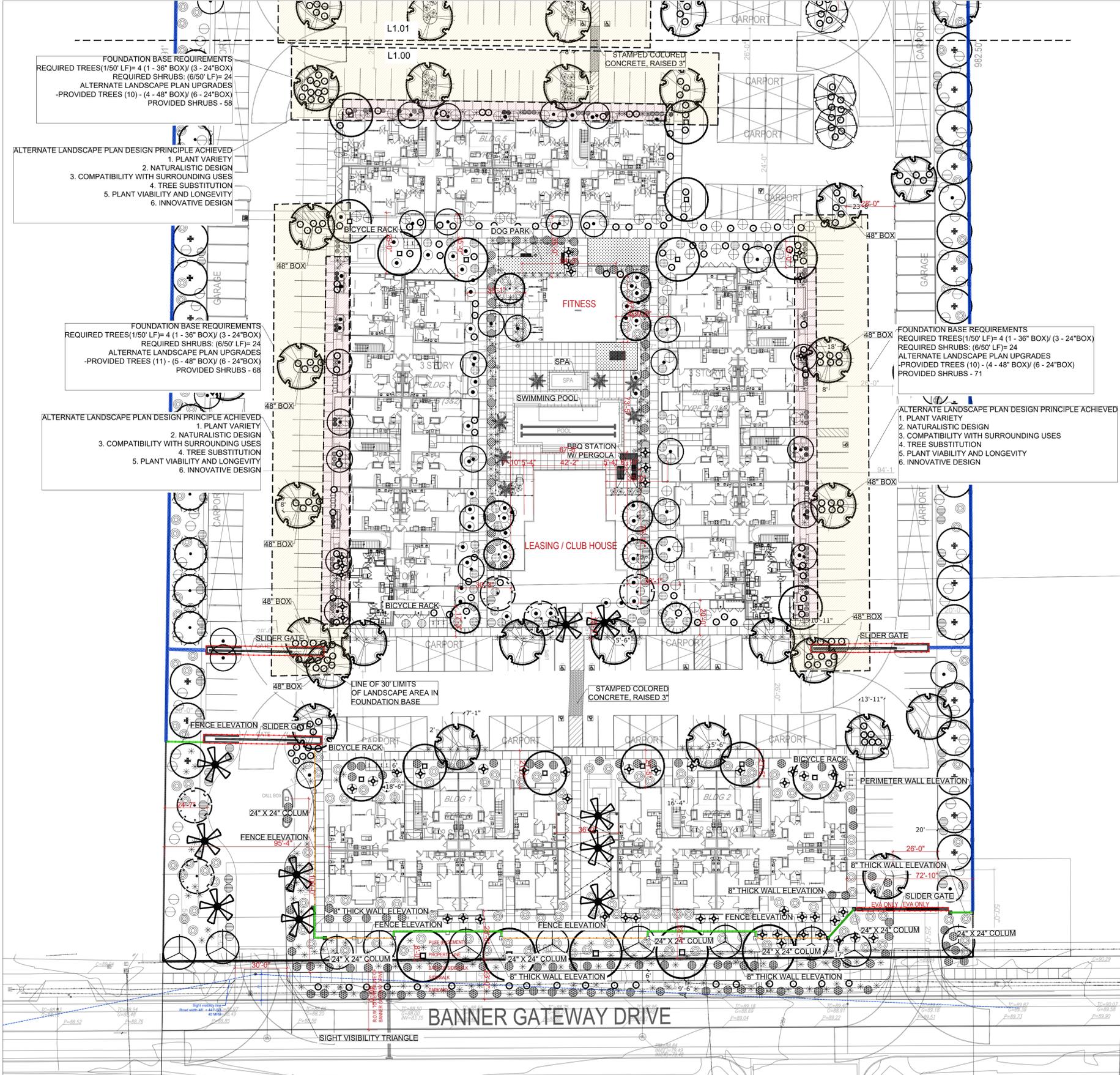
The location of the buildings throughout the Site creates a development that is appropriate for the Site and surrounding area, with the tallest buildings located adjacent to the US 60 and transitioning in height down to two stories adjacent to Banner Gateway Drive. The building layout has been designed for pedestrian connectivity and convenient access to amenities for all residents.

EXHIBIT 1

EXHIBIT 2



LANDSCAPE PLAN



PLANT PALETTE - OVERALL
 All trees shall comply with the latest amended edition of the "Arizona Nursery Association Recommended Tree Specifications." See Section 180305(a) Zoning Code. See official median landscaping/irrigation plans (CIV20-0098) for median improvements/landscape required as part of this project.

PLANT PALETTE - OVERALL

CANOPY TREES

NAME	QTY.	SIZE	CALIPER	COMMENTS
Acacia saligna	24	24" BOX	2" CAL. MIN.	10' - 15' HT. STANDARD
Acacia saligna	09	24" BOX	2" CAL. MIN.	10' - 12" HT.
Acacia saligna	62	36" BOX	2" CAL. MIN.	10' - 15' HT. STANDARD
Olea europaea 'Svan Hii'	09	24" BOX	2" CAL. MIN.	8' - 10' HT. STANDARD
Parkinsonia x 'Desert Museum'	05	30" BOX	2.5" CAL. MIN.	12' - 15' HT. MULTI-TRUNK
Quercus fusiformis	33	30" BOX	2.5" CAL. MIN.	12' HT. MULTI-TRUNK
Acacia saligna	53	30" BOX	2" CAL. MIN.	10' HT. MULTI-TRUNK
Acacia saligna	66	24" BOX	2" CAL. MIN.	10' HT. MULTI-TRUNK
Phoenix dactylifera	10	N/A	N/A	18" HT. DIAMOND CUT
Phoenix dactylifera	07	N/A	N/A	18" HT. DIAMOND CUT
Pistacia chinensis	11	24" BOX	2" CAL. MIN.	10' HT. STANDARD

SHRUBS

NAME	QTY.	SIZE	HEIGHT	COMMENTS
Callitriche palmeriana	236	5 GAL	30" HT.	HEAVY SPECIMENS
Callitriche palmeriana	123	5 GAL	30" HT.	HEAVY SPECIMENS
Bougainvillea 'Torch Glow'	64	5 GAL	30" HT.	HEAVY SPECIMENS
Eremophila maculata 'Valentine'	37	5 GAL	30" HT.	HEAVY SPECIMENS
Justice gregoriana	78	5 GAL	30" HT.	HEAVY SPECIMENS
Vauquelinia californica	71	5 GAL	30" HT.	HEAVY SPECIMENS
Acacia saligna	153	5 GAL	30" HT.	HEAVY SPECIMENS

ACCENTS

NAME	QTY.	SIZE	SPACING	COMMENTS
Muhlenbergia capillaris	340	5 GAL	30" O.C.	
Muhlenbergia capillaris	228	5 GAL	30" O.C.	
Hesperaloe parviflora	392	5 GAL	30" O.C.	

GROUNDCOVERS

NAME	QTY.	SIZE	SPACING	COMMENTS
Lantana 'New Gold'	197	1 GAL	12" O.C.	
Rosemarinus officinalis 'Prostratus'	28	1 GAL	12" O.C.	
Verbena peruviana	173	1 GAL	12" O.C.	
Lantana montevidensis	97	1 GAL	12" O.C.	

SURFACE MATERIALS

DESCRIPTION	QUANTITY
1/2" SCREENED GRANDE ROSE DECOMPOSED GRANITE (IN ALL NON-TURF AREAS)	
500 SQ. FT. ARTIFICIAL TURF BY SYNTHETIC GRASS WAREHOUSE DIAMOND PRO SPRING SERIES - LIME	
STAMPED COLORED CONCRETE (BY DAVIS) COLOR: BRICK RED #180 PATTERN: HERRINGBONE FINISH: BROOM / RAISED 3" ABOVE VEHICLE LANE	

LANDSCAPE CALCULATIONS

LANDSCAPE SETBACKS

PROJECT NAME	LINEAR FOOTAGE	BUFFER TREE REQ. / PROV. (125%)
MESA GATEWAY	450'	18/19
NORTH PROP. LINE	982'	40/40
EAST PROP. LINE	384'	15/17
SOUTH PROP. LINE	980'	39/42
WEST PROP. LINE		

LANDSCAPE BUFFERS

STREET NAME	LINEAR FOOTAGE	BUFFER TREE REQ. / PROV. (125%)
NORTH PROP. LINE	450'	18/19
EAST PROP. LINE	982'	40/40
SOUTH PROP. LINE	384'	15/17
WEST PROP. LINE	980'	39/42

PARKING LOT TREE CALCULATION (548 SPACES)

PARKING TREES REQUIRED (1 TREE/50 L.F.)	PARKING TREES PROVIDED (6 SHRUBS/50 L.F.)	PARKING TREE MIN. 30" REQ. (10%)	PARKING TREE MIN. 30" PROV.
62	74	40	34
372	488		

FOUNDATION CALCULATION (BLDG LENGTH: 3,954 L.F.)

FOUNDATION TREES REQUIRED (1 TREE/50 L.F.)	FOUNDATION TREES PROVIDED (24" BOX) PROV.	FOUNDATION TREE (36" BOX) PROV.
62	74	40

PERIMETER YARD CALCULATIONS (2,412 L.F.)

PERIMETER TREES REQUIRED (1 TREE/25 L.F.)	PERIMETER TREES PROVIDED (24" BOX) PROV.	PERIMETER TREE (36" BOX) PROV.
96	101	28
576		73

OPEN SPACE CALCULATIONS (129,478 S.F.)

TOTAL OPEN SPACE REQ. (50% LIVE MATERIAL)	TOTAL OPEN SPACE PROVIDED (LIVE MATERIAL)	SHRUBS PROVIDED (65,880 S.F. (50.9%))	ACCENTS PROVIDED (783)	EVERGREEN GROUNDCOVER PROVIDED (448)
64,739 S.F.	65,880 S.F.	65,880 S.F.	783	448

CITY CODE:
 Trees: A minimum of 25 percent of the total required trees shall be 36-inch or larger box trees. A minimum of 50 percent of the total required trees shall be 24-inch box trees. No trees shall be smaller than 15-gallon size.

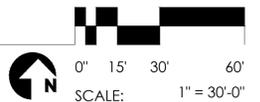
LIGHTING

FIXTURE TYPE	DESCRIPTION	QUANTITY
15" TALL PEDESTRIAN POLE LIGHT	GALAXY 100 (BY WWW.USALIT.COM) W/PHOTOCELL PRODUCT: GLX-100-100LED-1V-100LED-350mA-40K-120-1 COLOR: BLACK	QTY: 11
OVERHEAD STRING LIGHTS	SET ON PHOTOCELL (BY TOKSTAR.COM) PRODUCT #: EXB6-24-2H-514-C	115 L.F.

ALP LANDSCAPE COMPARISON

City of Mesa Standard	Proposed ALP Standard
Foundation Base Requirements	
Building 3	
Required Trees (1/50' LF) = 4 (1 - 36" box) / (3 - 24" box)	Provided Trees = 11 (5 - 48" box) / (6 - 24" box)
Required Shrubs (6/50' LF) = 24 shrubs	Provided Shrubs = 68
Building 4	
Required Trees (1/50' LF) = 4 (1 - 36" box) / (3 - 24" box)	Provided Trees = 10 (4 - 48" box) / (6 - 24" box)
Required Shrubs (6/50' LF) = 24 shrubs	Provided Shrubs = 71
Building 5	
Required Trees (1/50' LF) = 4 (1 - 36" box) / (3 - 24" box)	Provided Trees = 10 (4 - 48" box) / (6 - 24" box)
Required Shrubs (6/50' LF) = 24 shrubs	Provided Shrubs = 58
Building 6	
Required Trees (1/50' LF) = 5 (1 - 36" box) / (4 - 24" box)	Provided Trees = 8 (4 - 48" box) / (4 - 24" box)
Required Shrubs (6/50' LF) = 30 shrubs	Provided Shrubs = 72
Building 7	
Required Trees (1/50' LF) = 3 (1 - 36" box) / (2 - 24" box)	Provided Trees = 6 (3 - 48" box) / (3 - 24" box)
Required Shrubs (6/50' LF) = 18 shrubs	Provided Shrubs = 52
Building 8	
Required Trees (1/50' LF) = 5 (1 - 36" box) / (4 - 24" box)	Provided Trees = 10 (4 - 48" box) / (6 - 24" box)
Required Shrubs (6/50' LF) = 30 shrubs	Provided Shrubs = 64

LANDSCAPE PLAN



rev:

NO.	DESCRIPTION

Banner Gateway Residences
 4533 E. Banner Gateway Drive
 Mesa, AZ 85206

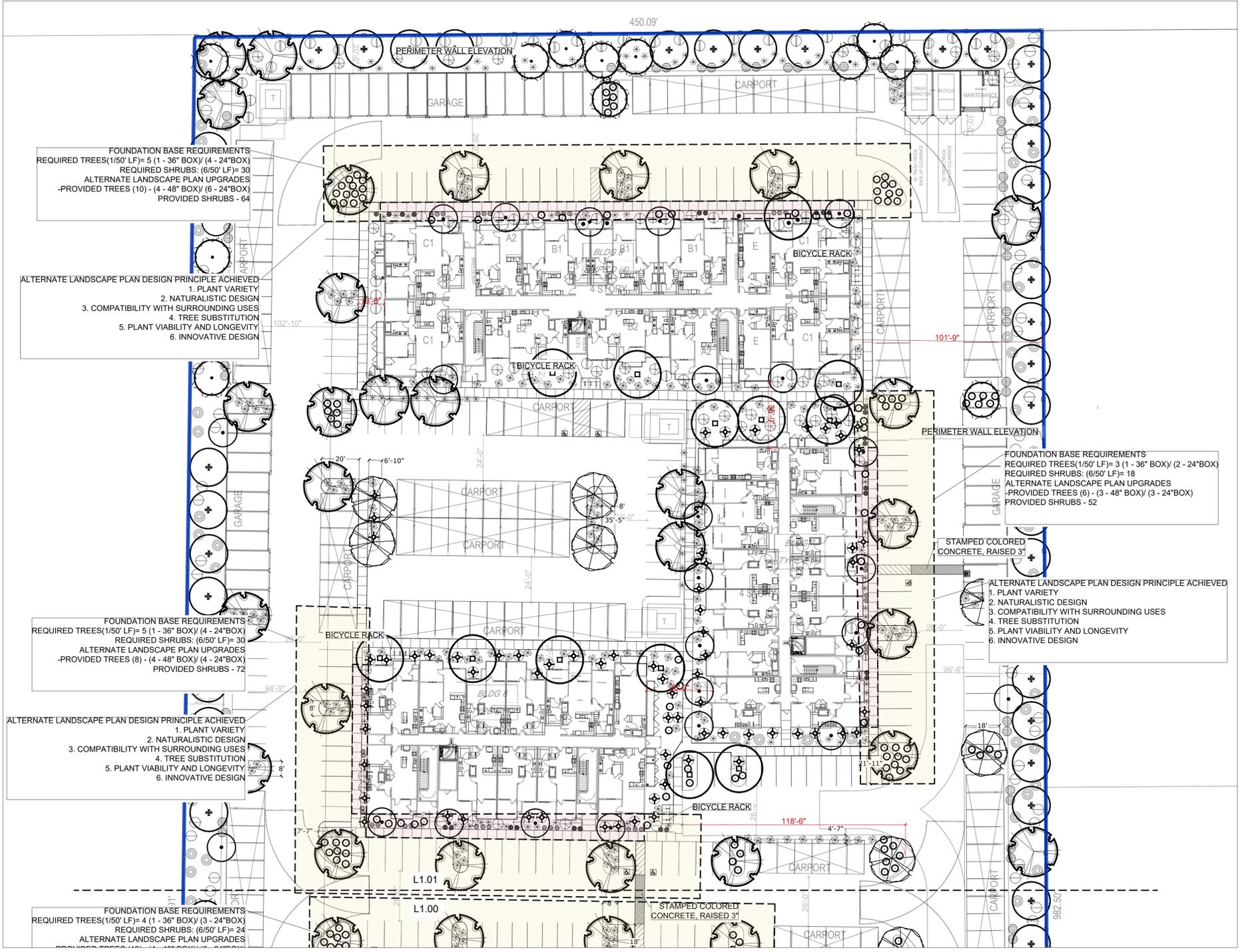


LANDSCAPE PLAN

project: S23-114
 date: 10.17.2024

L1.00

PRELIMINARY LANDSCAPE - 17-OCTOBER-2024



PLANT PALETTE - OVERALL

All trees shall comply with the latest amended edition of the "Arizona Nursery Association Recommended Tree Specifications." See Section 19000(4), Zoning Code. See office median landscaping plan (CI-20-0998) for median improvements/landscaping required as part of this project.

PLANT PALETTE - OVERALL

CANOPY TREES	NAME	QTY.	SIZE	CALIPER	COMMENTS
1	Acacia saligna	24	24" BOX	2" CAL. MIN.	10' - 15' HT. STANDARD
2	Urtica parvifolia	09	24" BOX	2" CAL. MIN.	10' - 12' HT.
3	CHINESE ELM	62	36" BOX	2" CAL. MIN.	10' - 15' HT. STANDARD
4	Acacia saligna	09	24" BOX	2" CAL. MIN.	8' - 10' HT. STANDARD
5	Swan Hill	05	36" BOX	2.5" CAL. MIN.	12' - 15' HT. MULTI-TRUNK
6	Quercus fusiformis	33	36" BOX	2.5" CAL. MIN.	12' HT. MULTI-TRUNK
7	Acacia saligna	53	36" BOX	2" CAL. MIN.	10' HT. MULTI-TRUNK
8	Acacia saligna	66	24" BOX	2" CAL. MIN.	10' HT. MULTI-TRUNK
9	Phoenix dactylifera	10	NA	NA	18' HT. DIAMOND CUT
10	DATE PALM	07	NA	NA	18' HT. DIAMOND CUT
11	Acacia saligna	11	24" BOX	2" CAL. MIN.	10' HT. STANDARD

SHRUBS	NAME	QTY.	SIZE	HEIGHT	COMMENTS
1	Casahuate pulcherrima	238	5 GAL	30" HT.	HEAVY SPECIMENS
2	RED BIRD OF PARADISE	126	5 GAL	30" HT.	HEAVY SPECIMENS
3	Calliandra eriophylla	64	5 GAL	30" HT.	HEAVY SPECIMENS
4	PINK FAIRY DUSTER	64	5 GAL	30" HT.	HEAVY SPECIMENS
5	Bougainvillea "Torch Glow"	37	5 GAL	30" HT.	HEAVY SPECIMENS
6	"TORCH GLOW" BOUGAINVILLEA	37	5 GAL	30" HT.	HEAVY SPECIMENS
7	Eremophila maculata "Valentine"	78	5 GAL	30" HT.	HEAVY SPECIMENS
8	"VALENTINE" EMU BUSH	78	5 GAL	30" HT.	HEAVY SPECIMENS
9	Justicia spiciger	71	5 GAL	30" HT.	HEAVY SPECIMENS
10	MEXICAN HONEYBUCKLE	153	5 GAL	30" HT.	HEAVY SPECIMENS
11	Desert Milkweed	153	5 GAL	30" HT.	HEAVY SPECIMENS

ACCENTS	NAME	QTY.	SIZE	SPACING	COMMENTS
1	Muhlenbergia capillaris	340	5 GAL	30" O.C.	REGAL MIST GRASS
2	Muhlenbergia rigens	228	5 GAL	30" O.C.	DEER GRASS
3	Hesperaloe parviflora	392	5 GAL	30" O.C.	RED YUCCA

GROUNDCOVERS	NAME	QTY.	SIZE	SPACING	COMMENTS
1	Lantana "New Gold"	197	1 GAL	12" O.C.	"NEW GOLD" LANTANA
2	Rousselia coccinea "Prostratus"	28	1 GAL	12" O.C.	TRAILING ROSEMARY
3	Verbena peruviana	173	1 GAL	12" O.C.	PERUVIAN VERBENA
4	Lantana montevidensis	97	1 GAL	12" O.C.	PURPLE TRAILING LANTANA

SURFACE MATERIALS	DESCRIPTION	QUANTITY
1	1/2" SCREENED GRANDE ROSE DECOMPOSED GRANITE IN ALL NON-TURF AREAS	
2	500 SQ.FT. ARTIFICIAL TURF BY: SYNTHETIC GRASS WAREHOUSE	
3	DIAMOND PRO SPRING SERIES - LINE	
4	WWW.SYNTHETICGRASSWAREHOUSE.COM - PH: 1(800) 730.2875	
5	STAMPED COLORED CONCRETE (BY: DAVIS)	
6	COLOR: BRICK RED #160 PATTERN: HERRINGBONE	
7	FINISH: BROOM RAISED 3" ABOVE VEHICLE LANE	

LANDSCAPE CALCULATIONS		
LANDSCAPE SETBACKS		
PROJECT NAME: MESA GATEWAY		
LANDSCAPE BUFFERS		
STREET NAME	LINEAR FOOTAGE	BUFFER TREE REQ. / PROV. (12%)
NORTH PROP. LINE	457	1819
EAST PROP. LINE	987	4040
SOUTH PROP. LINE	384	1517
WEST PROP. LINE	987	3842

PARKING LOT TREE CALCULATION (548 SPACES)			
PARKING TREES REQUIRED	PARKING TREES PROVIDED	PARKING TREE MIN. 36" REQ. (10%)	PARKING TREE MIN. 36" PROV.
68	68	5	48
PARKING SHRUBS REQUIRED	PARKING SHRUBS PROVIDED	TOTAL TREE CANOPY CALCULATION	
408	421	156,823 S.F. (35%)	

FOUNDATION CALCULATION (BLDG LENGTH: 3,954 L.F.)			
BUILDING LENGTH:	3,954 L.F.		
LANDSCAPE LENGTH:	3,124 L.F. (79%)		
FOUNDATION TREES REQUIRED (1 TREE/50 L.F.)	79	FOUNDATION TREES PROVIDED (24" BOX) PROV.	40
FOUNDATION SHRUBS REQUIRED (6 SHRUBS/50 L.F.)	474	FOUNDATION SHRUBS PROVIDED	372
PERIMETER TREES REQUIRED (1 TREE/25 L.F.)	158	PERIMETER TREES PROVIDED (24" BOX) PROV.	28
PERIMETER SHRUBS REQUIRED (6 SHRUBS/25 L.F.)	948	PERIMETER SHRUBS PROVIDED	576

PERIMETER YARD CALCULATIONS (2,412 L.F.)			
PERIMETER TREES REQUIRED (1 TREE/25 L.F.)	96	PERIMETER TREES PROVIDED (24" BOX) PROV.	73
PERIMETER SHRUBS REQUIRED (6 SHRUBS/25 L.F.)	576	PERIMETER SHRUBS PROVIDED	576

OPEN SPACE CALCULATIONS (129,478 S.F.)			
TOTAL OPEN SPACE REQ. (50% LIVE MATERIAL)	64,739 S.F. (50.8%)	TOTAL OPEN SPACE PROVIDED (LIVE MATERIAL)	65,880 S.F. (50.8%)
TREES PROVIDED (288)		SHRUBS PROVIDED (722)	
28,800 S.F.		18,050 S.F.	
		7,830 S.F.	
		11,220 S.F.	

City Code:
Trees - A minimum of 25 percent of the total required trees shall be 36-inch or larger box trees. A minimum of 50 percent of the total required trees shall be 24-inch box trees. No trees shall be smaller than 15-gallon size.

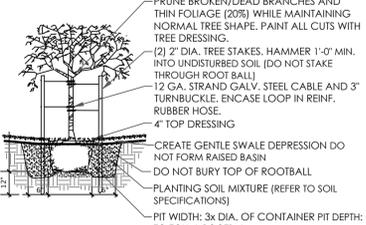
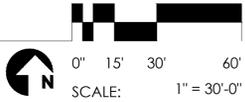
LIGHTING		
FIXTURE TYPE	DESCRIPTION	QUANTITY
15' TALL PEDESTRIAN POLE LIGHT	GALAXY 100 (BY: WWW.USALTO.COM) WIPHOTOCELL PRODUCT: GLX-VLED-IV-100LED-350MA-40K-120-1 COLOR: BLACK	QTY: 11
OVERHEAD STRING LIGHTS	SET ON PHOTOCELL BY: TOKI STAR.COM PRODUCT #: EXBK-24-24-S14-C	115 L.F.

ALP LANDSCAPE NARRATIVE

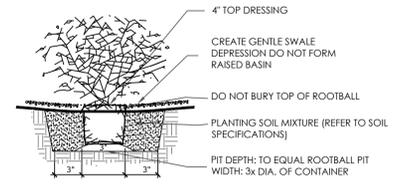
The alternative landscape plan was developed to address the foundation base deficiencies identified in the original site plan. The requirement is to maintain a minimum foundation base depth of 15 feet on the sides of buildings that contain an entrance. Additionally, exterior walls without an entrance must have a foundation base that is at least 10 feet wide. The proposed site plan falls short of the required foundation base for 6 out of the 15 buildings but still provides an average foundation base of 10 feet. To compensate for the 5-foot shortfall in the foundation base, we propose the following principles and design criteria within this alternative landscape plan to enhance the overall landscape design.

- Innovative Design:** The building's undulating foundation, shaped by patios and entrances, created unique planting pockets that accommodate a variety of low-water-use plants that bloom year-round. We selected large, medium, and small plants from the Arizona Department of Water Resources' drought-tolerant plant list to form a curated palette. The increase in plant variety from the previous plan allows for comprehensive landscaping, resulting in a fully planted building frontage with a colorful foreground, middle ground, and background.
- Plant variety:** In our design approach, we emphasize using a diverse array of plant materials, intentionally exceeding previous plans to create a vibrant and dynamic landscape. By incorporating plants with varied colors, unique forms, and distinct textures, we aim to enhance visual interest and depth. The repetitive palette around the buildings consists of five shrubs, two accent plants, and three groundcover species, creating a thoughtful selection of ecological diversity while cultivating a rich sensory experience. Our commitment to utilizing an extensive palette of plant species ensures a harmonious balance that thrives throughout the seasons, promoting both aesthetic appeal and environmental sustainability.
- Naturalistic Design:** Our plan thoughtfully incorporates naturalistic design principles by featuring loose, meandering, and curvilinear plantings. This approach creates a fluid and dynamic arrangement that evokes the essence of natural habitats. We strategically grouped dominant plant materials, such as desert-variety trees, large shrubs, and groundcovers, to reflect the patterns found in native vegetation. This enhances biodiversity and creates visually appealing focal points, fostering a sense of harmony with the environment.
- Compatibility with surrounding uses:** Our landscape plan prioritizes compatibility with the surrounding environment by thoughtfully selecting plant species and arrangements that are tailored to the local context, rather than following a rigid standard. By allowing the number of required trees to vary based on the specific types of trees planted, we ensure that each selection aligns with its intended purpose, whether it's providing shade for larger parking lots or enhancing aesthetics with smaller flowering trees for foundation planting. This flexible approach not only improves the overall coherence of the landscape but also fosters stronger connections with the adjacent areas.
- Tree Substitutions:** The number and size of the trees in the foundation plan zone have increased. The parking lot shade trees within the 30-foot area are now 48-inch box trees, while the smaller flowering trees are all 24-inch box. The updated plan shows fewer, larger, and more mature trees compared to the previous requirement for smaller varieties in the foundation perimeter areas. This approach enhances visual impact and improves shade. By selecting larger trees, we ensure quicker landscape maturity and a more robust presence, creating a more inviting and aesthetically pleasing environment.
- Plant Viability and Longevity:** The ALP is designed on a thorough understanding of how plants interact with their surroundings over time. Whether planting in the parking lot or adjacent to the foundation, we carefully select plant varieties that thrive in specific microclimates, ensuring they are well-suited to their locations for optimal growth and longevity. The ALP also takes into account the long-term effects of plant maturation, recognizing that larger trees and shrubs can provide shade and enhance the comfort of outdoor spaces.

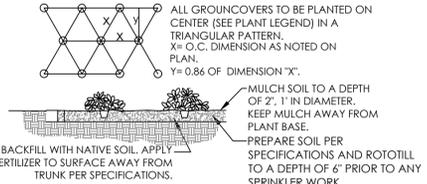
LANDSCAPE PLAN



TREE PLANTING (AT-GRADE)
NOT TO SCALE



SHRUB PLANTING (AT-GRADE)
NOT TO SCALE



GROUNDCOVER PLANTING (AT-GRADE)
NOT TO SCALE



REV.	DESCRIPTION

Banner Gateway Residences
4533 E. Banner Gateway Drive
Mesa, AZ 85206

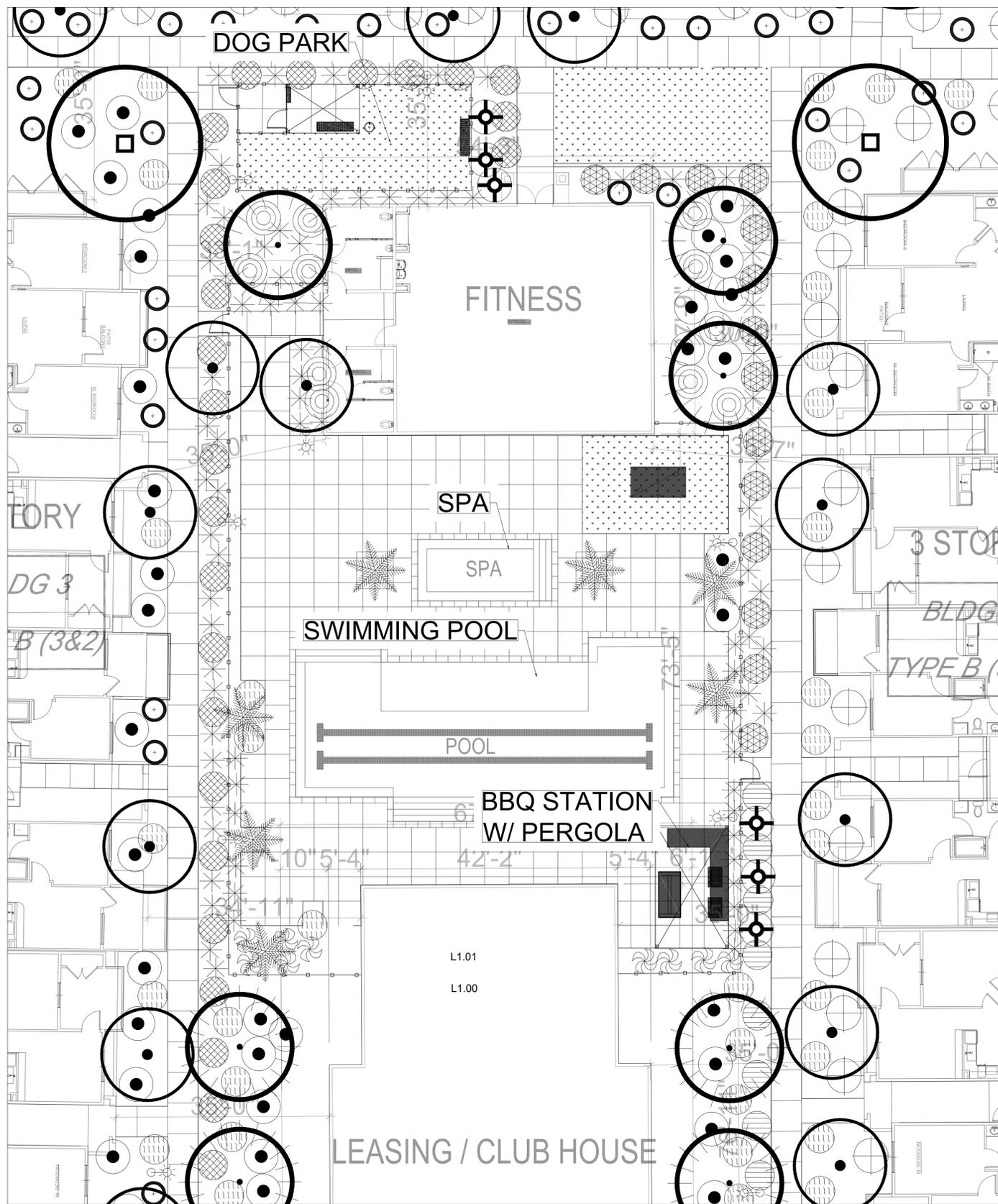


LANDSCAPE PLAN

project: S23-114
date: 10.17.2024

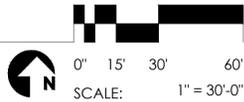
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PRELIMINARY LANDSCAPE - 17-OCTOBER-2024



LANDSCAPE PLAN

POOL AMENITY/ DOG PARK



PLANT PALETTE - OVERALL

All trees shall comply with the latest amended edition of the "Arizona Nursery Association Recommended Tree Specifications." See Section 1903(6)(a), Zoning Code. See offsite median landscape/irrigation plans (CIV20-0098) for median improvements/landscape required as part of this project.

PLANT PALETTE - OVERALL

CANOPY TREES

NAME	QTY.	SIZE	CALIPER	COMMENTS
<i>Acacia salicina</i> WEeping ACACIA	24	24" BOX	2" CAL. MIN.	10' - 15' HT. STANDARD
<i>Ulmus parvifolia</i> CHINESE ELM	09	24" BOX	2" CAL. MIN.	10 - 12' HT.
<i>Acacia stenophylla</i> SHOESTRING ACACIA	62	36" BOX	2" CAL. MIN.	10' - 15' HT. STANDARD
<i>Olea europaea</i> "Swan Hill" SWAN HILL OLIVE	09	24" BOX	2" CAL. MIN.	8 - 10' HT. STANDARD
<i>Parkinsonia x</i> "Desert Museum" DESERT MUSEUM PALO VERDE	05	36" BOX	2.5" CAL. MIN.	12' - 15' HT. MULTI-TRUNK
<i>Quercus fusiformis</i> SOUTHERN LIVE OAK	33	36" BOX	2.5" CAL. MIN.	12' HT. MULTI-TRUNK
<i>Acacia saligna</i> GOLDEN WREATH WATTLE	53	36" BOX	2" CAL. MIN.	10' HT. MULTI-TRUNK
<i>Acacia Willardiana</i> PALO BLANCO	66	24" BOX	2" CAL. MIN.	10' HT. MULTI-TRUNK
<i>Phoenix dactylifera</i> DATE PALM	10	N/A	N/A	18' HT. DIAMOND CUT
<i>Washingtonia robusta</i> MEXICAN FAN PALM	07	N/A	N/A	18' HT. DIAMOND CUT
<i>Pistacia chinensis</i> CHINESE PISTACHE	11	24" BOX	2" CAL. MIN.	10' HT. STANDARD

SHRUBS

NAME	QTY.	SIZE	HEIGHT	COMMENTS
<i>Caesalpinia pulcherrima</i> RED BIRD OF PARADISE	236	5 GAL	30" HT.	HEAVY SPECIMENS
<i>Calliandra eriophylla</i> PINK FAIRY DUSTER	123	5 GAL	30" HT.	HEAVY SPECIMENS
<i>Bougainvillea "Torch Glow"</i> "TORCH GLOW" BOUGAINVILLEA	64	5 GAL	30" HT.	HEAVY SPECIMENS
<i>Eremophila maculata</i> "Valentine" "VALENTINE EMU BUSH	37	5 GAL	30" HT.	HEAVY SPECIMENS
<i>Justicia spicigera</i> MEXICAN HONEYSUCKLE	78	5 GAL	30" HT.	HEAVY SPECIMENS
<i>Vauquelinia californica</i> ARIZONA ROSEWOOD	71	5 GAL	30" HT.	HEAVY SPECIMENS
<i>Asclepias subulata</i> DESERT MILKWED	153	5 GAL	30" HT.	HEAVY SPECIMENS

ACCENTS

NAME	QTY.	SIZE	SPACING	COMMENTS
<i>Muhlenbergia capillaris</i> REGAL MIST GRASS	340	5 GAL	30" O.C.	
<i>Muhlenbergia rigens</i> DEER GRASS	228	5 GAL	30" O.C.	
<i>Hesperaloe parviflora</i> RED YUCCA	392	5 GAL	30" O.C.	

GROUNDCOVERS

NAME	QTY.	SIZE	SPACING	COMMENTS
<i>Lantana "NewGold"</i> "NEW GOLD" LANTANA	197	1 GAL	12" O.C.	
<i>Rosmarinus officinalis</i> "Prostratus" TRAILING ROSEMARY	28	1 GAL	12" O.C.	
<i>Verbena peruviana</i> PERUVIAN VERBENA	173	1 GAL	12" O.C.	
<i>Lantana montevidensis</i> PURPLE TRAILING LANTANA	97	1 GAL	12" O.C.	

SURFACE MATERIALS

DESCRIPTION	QUANTITY
1/2" SCREENED GRANDE ROSE DECOMPOSED GRANITE IN ALL NON-TURF AREAS	
500 SQ.FT. ARTIFICIAL TURF. BY: SYNTHETIC GRASS WAREHOUSE DIAMOND PRO SPRING SERIES - LIME @: WWW.SYNTHETICGRASSWAREHOUSE.COM - PH: 1(800). 730.2675	
STAMPED COLORED CONCRETE (BY: DAVIS) COLOR: BRICK RED #160 PATTERN HERRINGBONE FINISH: BROOM RAISED 3" ABOVE VEHICLE LANE	

LANDSCAPE CALCULATIONS

LANDSCAPE SETBACKS

PROJECT NAME
MESA GATEWAY

LANDSCAPE BUFFERS	LINEAR FOOTAGE	BUFFER TREE REQ. / PROV. (1/25")
NORTH PROP. LINE	450'	18/19
EAST PROP. LINE	982'	40/40
SOUTH PROP. LINE	384'	15/17
WEST PROP. LINE	980'	39/42

PARKING LOT TREE CALCULATION (548 SPACES)

PARKING TREES REQUIRED	PARKING TREES PROVIDED	PARKING TREE MIN. 36" REQ. (10%)	PARKING TREE MIN. 36" PROV.
68	68	5	48
PARKING SHRUBS REQUIRED	PARKING SHRUBS PROVIDED	TOTAL TREE CANOPY CALCULATION	
408	421	158,923 S.F.	

FOUNDATION CALCULATION (BLDG LENGTH: 3,954 L.F.)

BUILDING LENGTH: 3,954 L.F.

LANDSCAPE LENGTH: 3,124 L.F. (79%)

FOUNDATION TREES REQUIRED (1 TREE/ 50 L.F.)	FOUNDATION TREES PROVIDED	FOUNDATION TREE (24" BOX) PROV.	FOUNDATION TREE (36" BOX) PROV.
62	74	40	34

FOUNDATION SHRUBS REQUIRED (6 SHRUBS/ 50 L.F.)	FOUNDATION SHRUBS PROVIDED
372	488

PERIMETER YARD CALCULATIONS (2,412 L.F.)

PERIMETER TREES REQUIRED (1 TREE/ 25 L.F.)	PERIMETER TREES PROVIDED	PERIMETER TREE (24" BOX) PROV.	PERIMETER TREE (36" BOX) PROV.
96	101	28	73

PERIMETER SHRUBS REQUIRED (6 SHRUBS/ 25 L.F.)	PERIMETER SHRUBS PROVIDED
576	576

OPEN SPACE CALCULATIONS (129,478 S.F.)

TOTAL OPEN SPACE REQ. (50% LIVE MATERIAL)	TOTAL OPEN SPACE PROVIDED (LIVE MATERIAL)	TREES PROVIDED (288)	SHRUBS PROVIDED (722)	ACCENTS PROVIDED (783)	EVERGREEN GROUNDCOVER PROVIDED (448)
64,739 S.F.	65,880 S.F. (50.8%)				
28,800 S.F.	18,050 S.F.		7,830 S.F.		11,200 S.F.

City Code:
Trees - i. A minimum of 25 percent of the total required trees shall be 36-inch or larger box trees.ii. A minimum of 50 percent of the total required trees shall be 24-inch boxtrees.iii. No trees shall be smaller than 15-gallon size.

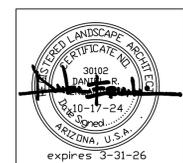
LIGHTING

FIXTURE TYPE	DESCRIPTION	QUANTITY
15' TALL PEDESTRIAN POLE LIGHT	GALAXY 100 (BY: WWW.USALTG.COM) W/PHOTOCELL PRODUCT: GLX-VLED-IV-100LED-350mA-40K-120-1 COLOR: BLACK	QTY: 11
OVERHEAD STRING LIGHTS	SET ON PHOTOCCELL(BY:TOKISTAR.COM) PRODUCT #: EXBK-24-2H-S14-C	115 L.F.



rev:

Banner Gateway Residences
4533 E. Banner Gateway Drive
Mesa, AZ 85206



PRELIMINARY LANDSCAPE - 17-OCTOBER-2024

LANDSCAPE PLAN - POOL AMENITY/ DOG PARK

project: S23-114
date: 10.17.2024

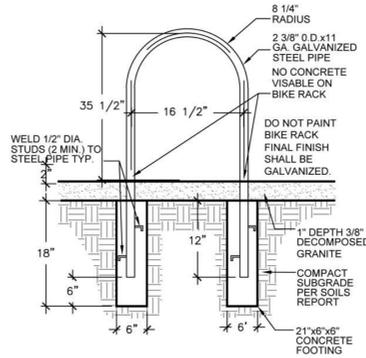
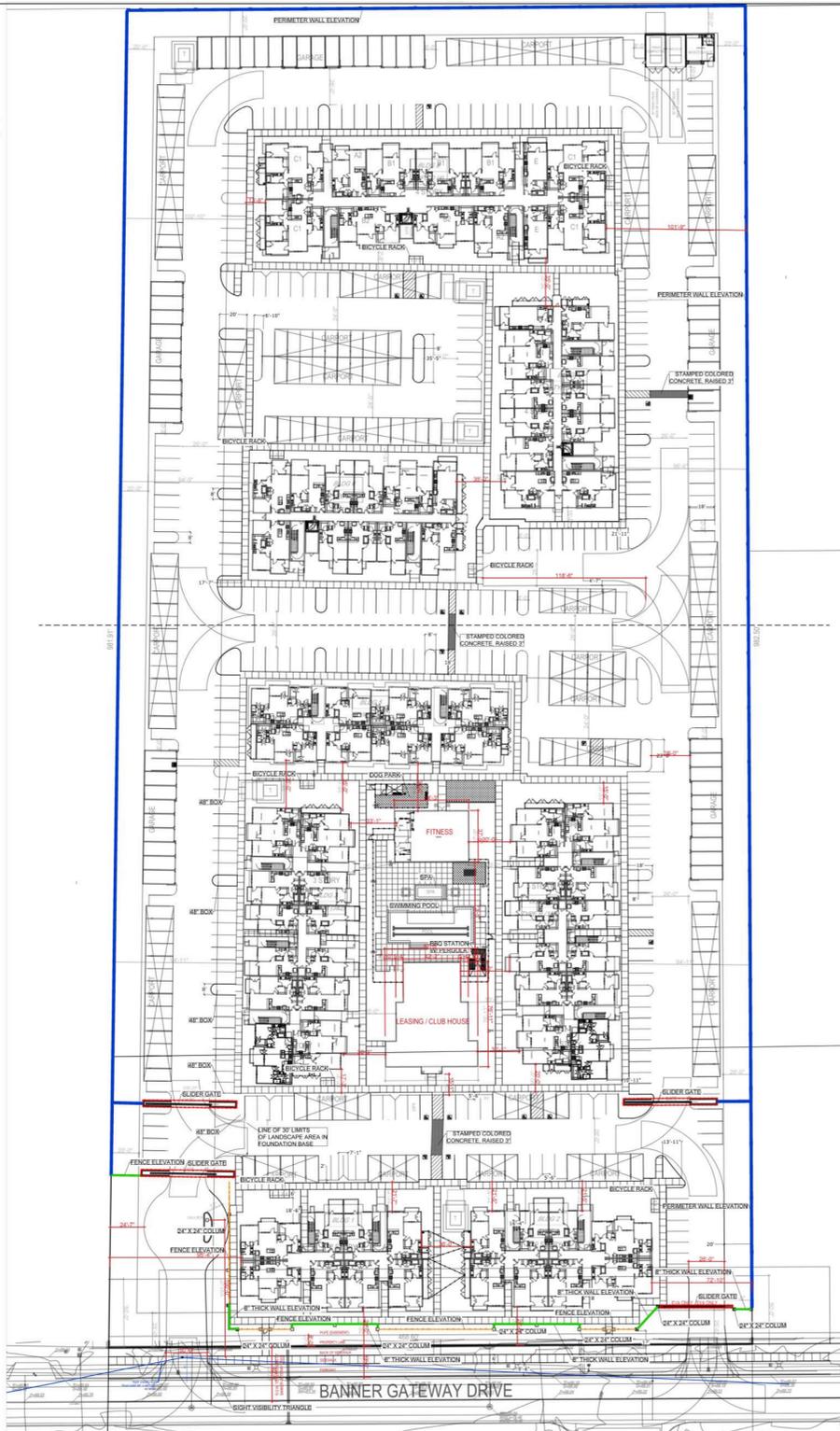
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GENERAL LANDSCAPE NOTES

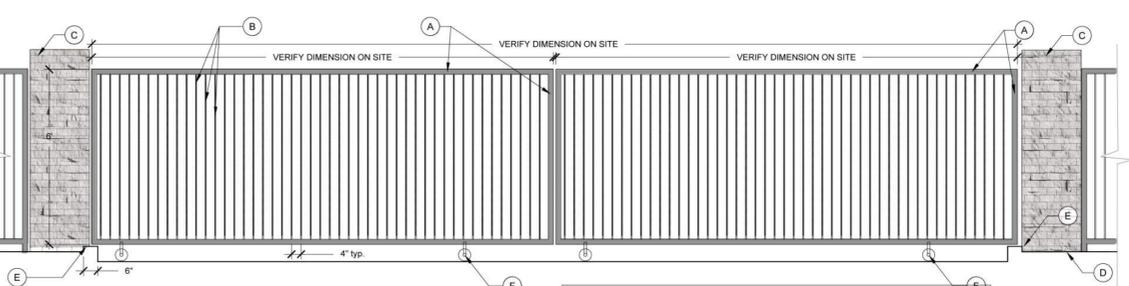
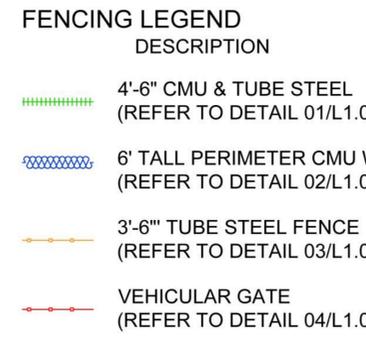
- All finished grades to be approved by the landscape architect prior to the installation of any plant material.
- Plant material to be approved by the landscape architect prior to installation.
- All tree locations to be staked by the landscape contractor and approved by the landscape architect prior to any holes being dug.
- The contractor is to provide a 2 lb. sample of the proposed mulch for review and approval by the landscape architect & owner. The contractor shall provide 100% coverage of non-paved areas within the limits of construction.
- For all tree planting that encounters hardpan/caliche, provide separate unit price to install trees with an auger.
- It is the responsibility of the landscape contractor to inform the landscape architect of any plant material concerns based on the planting season. (E.G. Summer vs. Winter) Should the landscape contractor have any concerns about the plant material due to heat or frost exposure, the installer shall request a substitution or delay in planting. Once planted, all plant material is subject to specified warranties.
- All deciduous trees to be unconditionally guaranteed for 1 year after installation. All other plants shall be guaranteed for a minimum period of 90 days from the date of final approval by the City/Owner. Any plant materials not approved by the City/Owner prior to October 1st of the calendar year (in which they are installed) shall be further guaranteed until May 20th of the following calendar year.
- Trees, shrubs, groundcovers, vines, and turf which have to be replaced under the terms of the guarantee shall be guaranteed for an additional 90 days from the date of replacement.
- The landscape contractor shall be responsible for providing all finished grades, and for maintaining positive drainage away from all buildings during the finish grading process. All slopes not to exceed 4:1 in landscape areas.
- Under no circumstance shall any tree be planted within 6'-0" of any building without the express written approval of the landscape architect.
- Trees and shrubs shall be placed a minimum of 6'-0" from public accessways, utility cabinets, and fire hydrants.
- Shrubs must be, at maturity, 6'-0" from the rear of a fire hydrant. No material, other than groundcovers, may be placed between a fire hydrant and the street or roadway, or 6'-0" on either side. Field verify all hydrant locations with the civil engineering plans.
- All site improvements, including landscape and site clean-up, must be completed prior to final approval or certificate of occupancy.
- Trees adjacent to pedestrian walkways should have a minimum canopy clearance of 6'-8".
- The landscape contractor shall coordinate all construction with the appropriate utility companies and shall be responsible for all damage to utilities.
- The landscape contractor shall be responsible for the fine grading of all planting areas. Ensure positive drainage off of landscape berms.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities on the plan will take precedence.
- Groundcover, when used, should extend under adjacent shrubs and trees.
- All planting areas shall be fertilized with 12 lbs./1,000 s.f. of 10-10-10 fertilizer.
- All planting beds (or mulch beds) shall be sprayed with Round-Up (or equal) prior to installation of the mulch.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Field adjustments may be required to avoid conflicts with proposed utilities or other site appurtenances. Notify the landscape architect prior to any field adjustments.
- All vegetative material must meet the American Standard for Nursery Stock sponsored by the American Association of Nurserymen and be approved by the American National Standards Institute, Inc. (ANSI).
- All new landscaping shall be in conformance with the standards of city ordinances.
- All planting shall be properly irrigated.
- All landscape islands to be excavated to a minimum depth of 24 inches.

- INSPECTIONS:**
- No excavation shall occur in city R.O.W. without a R.O.W. permit—contact Public Works Department.
 - The Contractor shall mark all water lines, sewer lines, and tree locations prior to calling for ROW permit.
 - The landscape installation shall comply with approved landscape drawings prior to Final Acceptance by the City and issuance of a Certificate of Occupancy. Contact Development Services landscape architect for a landscape inspection.
 - Water meters, cleanouts and other appurtenances, shall be accessible, adjusted to grade, clearly marked with flagging, and compliant with Public Works Department standards prior to calling for landscape and final R.O.W. inspections.

- LANDSCAPE STANDARDS:**
- Plantings and landscape elements shall comply with Engineering Standards, Public R.O.W. Visibility requirements.
 - Unless otherwise specified, trees shall be planted no less than 6' from curbs, and 4' from sidewalks, utility lines, and screening walls. The City has final approval for all tree placements.
 - A Three foot radius around a fire hydrant shall remain clear of plant materials pursuant to the Fire Code.
 - Street trees, where required, shall be (10') minimum from the edge of a storm sewer curb inlet box and the edge of the root ball shall be (4') minimum from the water meter.
 - All plants shall be grown and harvested in accordance with The American Standard for Nursery Stock (ANSI Z60.1-2004)
 - Tree planting shall comply with details herein and the International Society of Arboriculture (ISA) standards.
 - Tree pits shall be tested for water percolation. If water does not drain out of tree pit within 24-hours, the tree shall be moved or drainage shall be provided.
 - Native site topsoil is to be protected from erosion or stockpiled.
 - Native site topsoil shall be laboratory tested by and accredited laboratory and amended per said laboratory's recommendations.



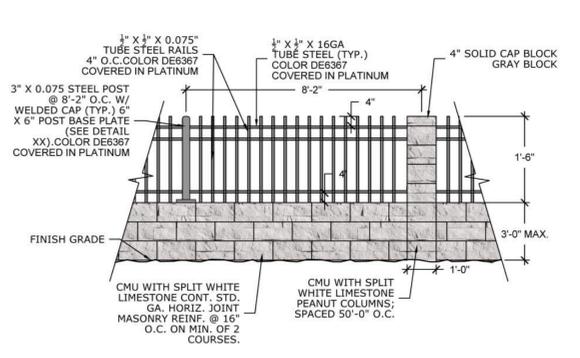
BICYCLE RACK
NOT TO SCALE



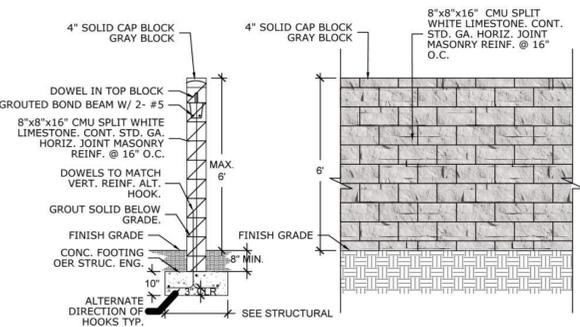
SLIDING GATE
NOT TO SCALE

LEGEND

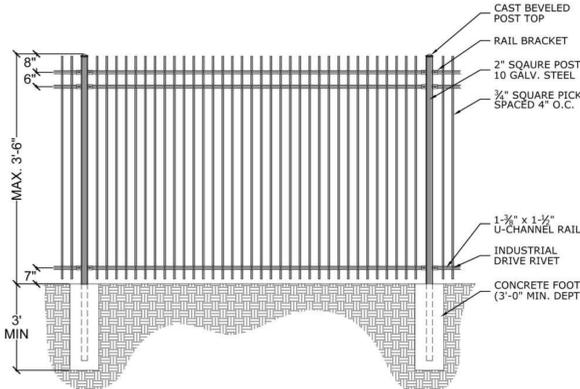
- A 2" x 2" STEEL POSTS AND RAILINGS
- B 3/8" STEEL PICKET AT 3-7/8" O.C., POWDERCOAT COLOR: BLACK
- C 2" X 2" BLOCK COLUMN | FINISH: STONE VENEER COLOR: WHITE LIMESTONE TO MATCH BUILDING
- D FINISH GRADE
- E CURB
- F WHEELS AT SLIDER GATE



BANNER GATEWAY DRIVE WALL ELEVATION
NOT TO SCALE



PERIMETER WALL ELEVATION
NOT TO SCALE



TUBE STEEL FENCE
NOT TO SCALE

rev:



EXHIBIT 3

Banner Gateway Residences Alternative Landscape Plan (ALP) Narrative

The alternative landscape plan was developed to address the foundation base deficiencies identified in the original site plan. The requirement is to maintain a minimum foundation base depth of 15 feet on the sides of buildings that contain an entrance. Additionally, exterior walls without an entrance must have a foundation base that is at least 10 feet wide. The proposed site plan falls short of the required foundation base for 6 out of the 15 buildings but still provides an average foundation base of 10 feet. To compensate for the 5-foot shortfall in the foundation base, we propose the following principles and design criteria within this alternative landscape plan to enhance the overall landscape design.

- 1- **Innovative Design-** The building's undulating foundation, shaped by patios and entrances, created unique planting pockets that accommodate a variety of low-water-use plants that bloom year-round. We selected large, medium, and small plants from the Arizona Department of Water Resources' drought-tolerant plant list to form a curated palette. The increase in plant variety from the previous plan allows for comprehensive landscaping, resulting in a fully planted building frontage with a colorful foreground, middle ground, and background.
- 2- **Plant variety-** In our design approach, we emphasize using a diverse array of plant materials, intentionally exceeding previous plans to create a vibrant and dynamic landscape. By incorporating plants with varied colors, unique forms, and distinct textures, we aim to enhance visual interest and depth. The repetitive palette around the buildings consists of five shrubs, two accent plants, and three groundcover species, creating a thoughtful selection of ecological diversity while cultivating a rich sensory experience. Our commitment to utilizing an extensive palette of plant species ensures a harmonious balance that thrives throughout the seasons, promoting both aesthetic appeal and environmental sustainability.
- 3- **Naturalistic Design-** Our plan thoughtfully incorporates naturalistic design principles by featuring loose, meandering, and curvilinear plantings. This approach creates a fluid and dynamic arrangement that evokes the essence of natural habitats. We strategically grouped dominant plant materials, such as desert-variety trees, large shrubs, and groundcovers, to reflect the patterns found in native vegetation. This enhances biodiversity and creates visually appealing focal points, fostering a sense of harmony with the environment.
- 4- **Compatibility with surrounding uses:** Our landscape plan prioritizes compatibility with the surrounding environment by thoughtfully selecting plant species and arrangements that are tailored to the local context, rather than following a rigid standard. By allowing the number of required trees to vary based on the specific types of trees planted, we ensure that each selection aligns with its intended purpose, whether it's providing shade for larger parking lots or enhancing aesthetics with smaller flowering trees for foundation planting. This flexible approach not only improves the overall coherence of the landscape but also fosters stronger connections with the adjacent areas.
- 5- **Tree Substitutions:** The number and size of the trees in the foundation plan zone have increased. The parking lot shade trees within the 30-foot area are now 48-inch box trees, while the smaller flowering trees are all 24-inch box. The updated plan shows fewer, larger, and more mature trees compared to the previous requirement for smaller varieties.

in the foundation perimeter areas. This approach enhances visual impact and improves shade. By selecting larger trees, we ensure quicker landscape maturity and a more robust presence, creating a more inviting and aesthetically pleasing environment.

- 6- **Plant Viability and Longevity:** The ALP is designed on a thorough understanding of how plants interact with their surroundings over time. Whether planting in the parking lot or adjacent to the foundation, We carefully select plant varieties that thrive in specific microclimates, ensuring they are well-suited to their locations for optimal growth and longevity. The ALP also takes into account the long-term effects of plant maturation, recognizing that larger trees and shrubs can provide shade and enhance the comfort of outdoor spaces.

ALP LANDSCAPE COMPARISON

City of Mesa Standard	Proposed ALP Standard
Foundation Base Requirements	
Building 3	
Required Trees (1/50' LF) = 4 (1 – 36"box)/ (3 -24" box)	Provided Trees = 11 (5 – 48" box) / (6 – 24" box
Required Shrubs (6/50' LF) = 24 shrubs	Provided Shrubs = 68
Building 4	
Required Trees (1/50' LF) = 4 (1 – 36"box)/ (3 -24" box)	Provided Trees = 10 (4 – 48" box) / (6 – 24" box
Required Shrubs (6/50' LF) = 24 shrubs	Provided Shrubs = 71
Building 5	
Required Trees (1/50' LF) = 4 (1 – 36"box)/ (3 -24" box)	Provided Trees = 10 (4 – 48" box) / (6 – 24" box
Required Shrubs (6/50' LF) = 24 shrubs	Provided Shrubs = 58
Building 6	
Required Trees (1/50' LF) = 5 (1 – 36"box)/ (4 -24" box)	Provided Trees = 8 (4 – 48" box) / (4 – 24" box)
Required Shrubs (6/50' LF) = 30 shrubs	Provided Shrubs = 72
Building 7	
Required Trees (1/50' LF) = 3 (1 – 36"box)/ (2 -24" box)	Provided Trees = 6 (3 – 48" box) / (3 – 24" box)
Required Shrubs (6/50' LF) = 18 shrubs	Provided Shrubs = 52
Building 8	
Required Trees (1/50' LF) = 5 (1 – 36"box)/ (4 -24" box)	Provided Trees = 10 (4 – 48" box) / (6 – 24" box)
Required Shrubs (6/50' LF) = 30 shrubs	Provided Shrubs = 64

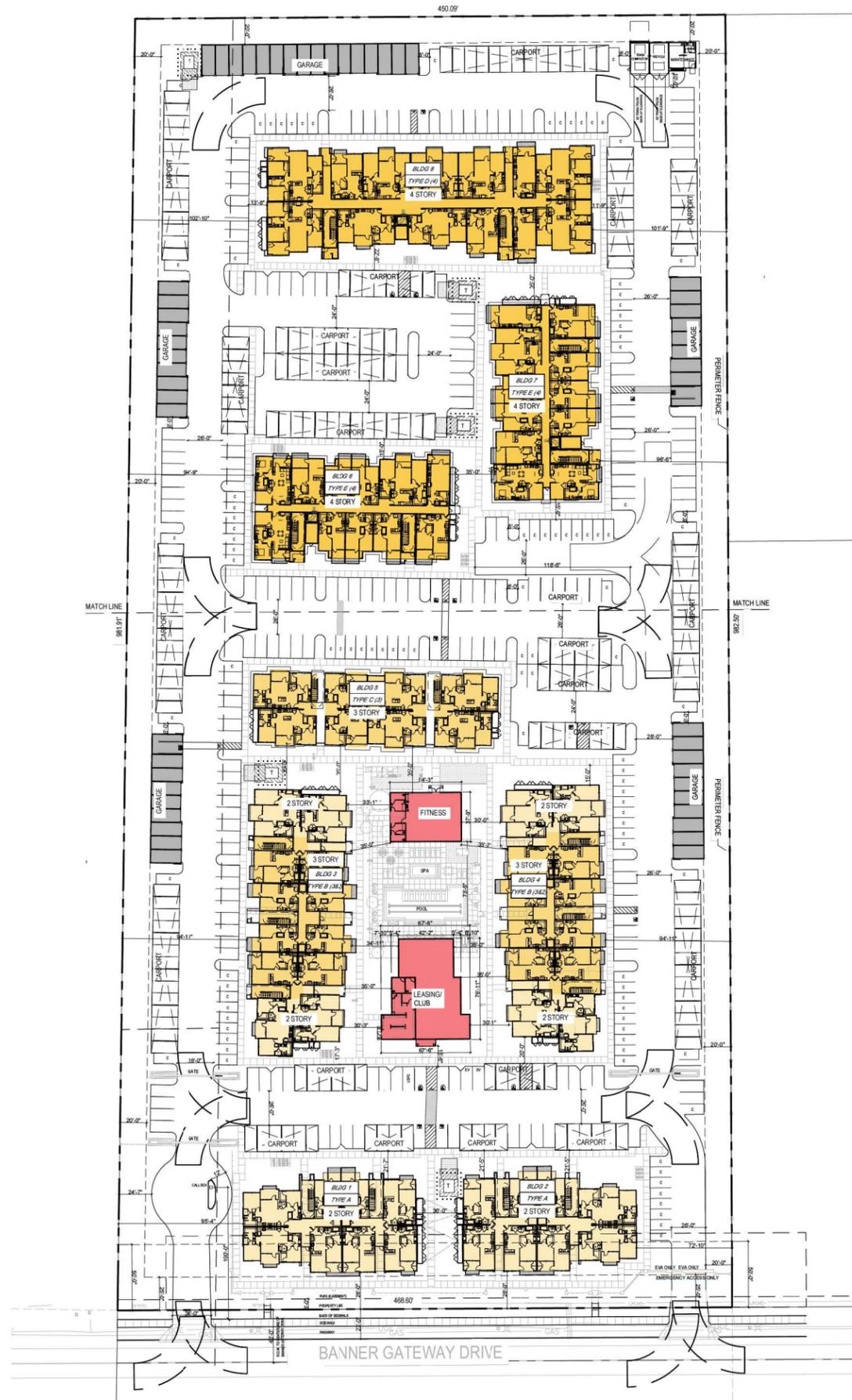
EXHIBIT 4

BANNER GATEWAY RESIDENCES

MESA, AZ



EXHIBIT 5



LEGEND

- 2-STORY BUILDING
- 3-STORY BUILDING
- 4-STORY BUILDING
- AMENITIES
- EXTENDED PATIO (MIN. 10 FT DIMENSION)

BANNER GATEWAY

PROJECT INFORMATION

APN	140-88-101
ZONING DISTRICT	L1 (LIGHT INDUSTRIAL)
PROPOSED	RM-4 PAD
LAND USE - EXISTING	VACANT LAND
PROPOSED	MULTI-FAMILY RESIDENTIAL
GROSS LOT AREA	451,126 SQ.FT. 10.4 AC
NET LOT AREA	415,126 SQ.FT. 9.5 AC
GROSS BUILDING AREA	302,704 SQ.FT.
BUILDING COVERAGE	55% MAX 37%
LOT COVERAGE	70% MAX 69%
TOTAL UNITS	260 DU
DENSITY	27.3 DU/AC
CONSTRUCTION TYPE	TYPE V-B
OCCUPANCY	A.B.S2.R2

GROSS BUILDING FLOOR AREA

BUILDING TYPE	TOTAL BUILDING AREA SF	QTY.	TOTAL
A	17,404	2	34,808
B	35,361	2	70,722
C	29,955	1	29,955
D	67,512	1	67,512
E	46,680	2	93,360
CLUB/LEASE	4,278	1	4,278
FITNESS	2,049	1	2,049
TOTAL		10	302,704

OPEN SPACE REQUIRED

TYPE	SQ. FT. PER UNIT (260 UNITS)	TOTAL SQ. FT.
COMBINED COMMON AND PRIVATE OPEN SPACE	150 SF / UNIT	39,000
TOTAL OPEN SPACE REQUIRED		39,000

COMMON OPEN SPACE PROVIDED

LOCATION	TOTAL AREA (SQ. FT.)
LANDSCAPE OPEN SPACE, INCLUDING CLUBHOUSE, FITNESS, POOL, AMENITY, AND DOG PARK	136,698
PRIVATE OPEN SPACE	21,693
TOTAL OPEN SPACE PROVIDED	158,391

PRIVATE OPEN SPACE

UNIT TYPE	GROUND FLOOR (SQ. FT.)	QUANTITY	UPPER FLOOR (SQ. FT.)	QUANTITY	TOTAL NET AREA (SQ. FT.)
E (STUDIO)	100	2	60	14	1,040
A1 (1 BR)	100	11	61	61	4,821
A2 (1 BR)	100	10	69	54	4,726
A3 (1 BR)	116	2	75	4	928
A4 (1 BR)	103	2	60	14	1,046
B1 (2 BR)	115	7	100	25	3,305
B2 (2 BR)	129	11	100	27	4,119
C1 (3 BR)	140	4	109	12	2,508
TOTAL					21,693

BUILDING SUMMARY

BLDG NUMBER / BUILDING TYPE	EFFICIENCY	1 BR / 1 BA					2 BR / 2 BA		3BR / 2 BA	TOTAL UNIT
		E (STUDIO)	A1 (1 BR)	A2 (1 BR)	A3 (1 BR)	A4 (1 BR)	B1 (2 BR)	B2 (2 BR)	C1 (3 BR)	
1A	0	4	8	0	0	0	4	0	16	
2A	0	4	8	0	0	0	4	0	16	
3B	0	12	12	0	0	6	2	0	32	
4B	0	12	12	0	0	6	2	0	32	
5C	0	0	0	6	0	0	18	0	24	
6E	8	20	8	0	8	4	0	0	48	
7E	8	20	8	0	8	4	0	0	48	
8D	0	0	8	0	0	12	8	16	44	
SUBTOTAL	16	72	44	6	16	32	38	16	260	
TOTAL	16					70		16		
%	6%					27%		6%	100%	

UNIT SUMMARY

UNIT TYPE	UNIT NET AREA (SQ. FT.)	NUMBER OF UNITS	TOTAL NET AREA (SQ. FT.)	%	TOTAL UNIT %
E (STUDIO)	555	16	8,880	6.2%	6%
A1 (1 BR)	609	72	43,848	27.7%	40.8%
A2 (1 BR)	778	64	49,792	24.6%	
A3 (1 BR)	735	6	4,410	2.3%	
A4 (1 BR)	888	16	14,208	6.2%	
B1 (2 BR)	1,157	32	37,024	12.3%	27%
B2 (2 BR)	1,045	38	39,710	14.6%	
C1 (3 BR)	1,415	16	22,640	6.2%	
TOTAL	848 AVG.	260	220,512		100%

VEHICLE PARKING SUMMARY

UNIT TYPE	NUMBER OF UNITS	REQUIRED RATIO	TOTAL PARKING REQUIRED	PROVIDED RATIO	TOTAL PARKING PROVIDED
1 BEDROOM (E)	16		34		34
1 BEDROOM (A1, A2, A3, A4)	158	2.1	332	2.1	332
2 BEDROOM (B1, B2)	70		147		
3 BEDROOM (C1)	16		34		
TOTAL UNITS	260	2.1	547	2.1	547
TOTAL RESIDENTIAL STALLS		2.1	547	2.1	547
USPS STALLS PROVIDED					1
TOTAL STALLS PROVIDED					548

NOTE: TWO (2) EV STALLS ARE INCLUDED IN THE TOTAL STALLS PROVIDED.

RESIDENTIAL STALLS PROVIDED

PARKING	STALL COUNT PER USE		TOTAL RESIDENTIAL STALLS PROVIDED
	STANDARD	ADA	
OPEN	176	4	180
CARPORT	202	5	207
GARAGE	52	2	54
COMPACT	107	0	107
TOTALS	537	11	548
TOTAL RESIDENTIAL STALLS PROVIDED			548

NOTE: ONE (1) VAN ADA STALL FOR EVERY SIX (6) ADA STALLS REQUIRED. TWO (2) EV STALLS ARE INCLUDED IN THE TOTAL STALLS PROVIDED. THERE ARE 19.5% COMPACT STALLS TOTAL.

BICYCLE PARKING SUMMARY

PARKING TYPE	RATIO	SPACES REQUIRED	SPACES PROVIDED
OUTDOOR RACKS	1 / 10 PARKING STALLS, AFTER 1ST 50, ADDITIONAL IS 1 / 20 PARKING STALLS	54	54
TOTAL SHORT TERM BICYCLE PARKING		54	54

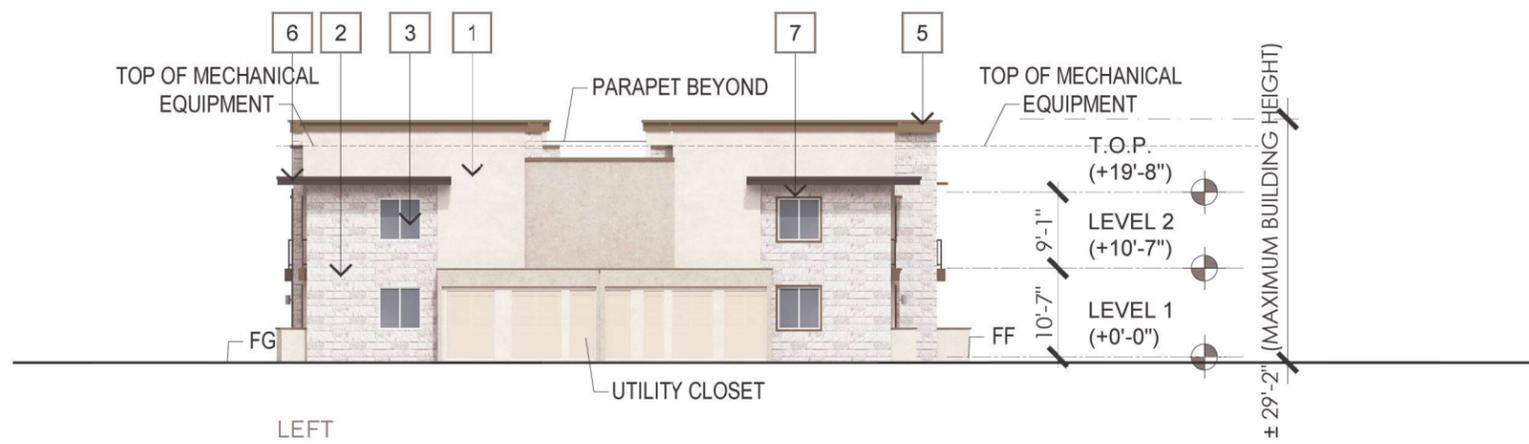
BANNER GATEWAY RESIDENCES

EXHIBIT 6

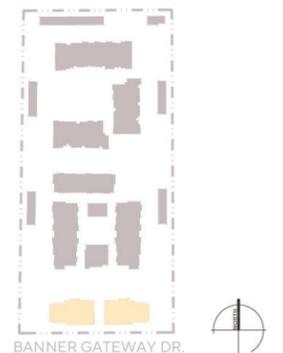
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



BUILDING A		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	72%	28%
REAR	70%	30%
LEFT	73%	27%
RIGHT	73%	27%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING A - ELEVATIONS



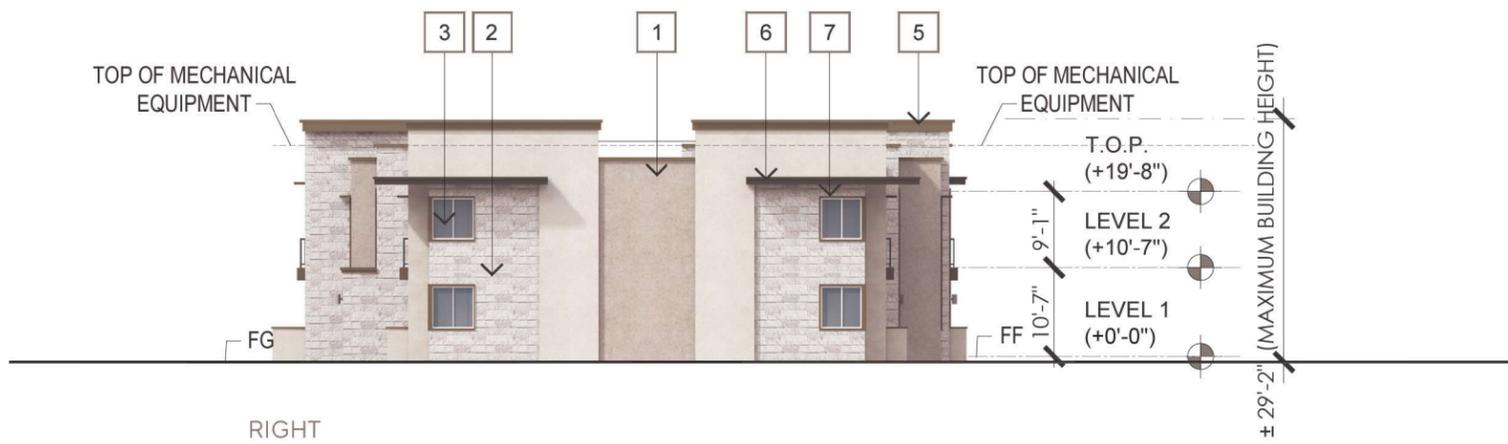
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DATE 10-21-2024

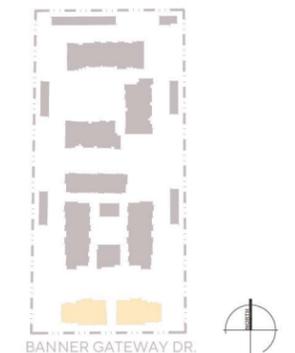
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



BUILDING A		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	72%	28%
REAR	70%	30%
LEFT	73%	27%
RIGHT	73%	27%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING A - ELEVATIONS



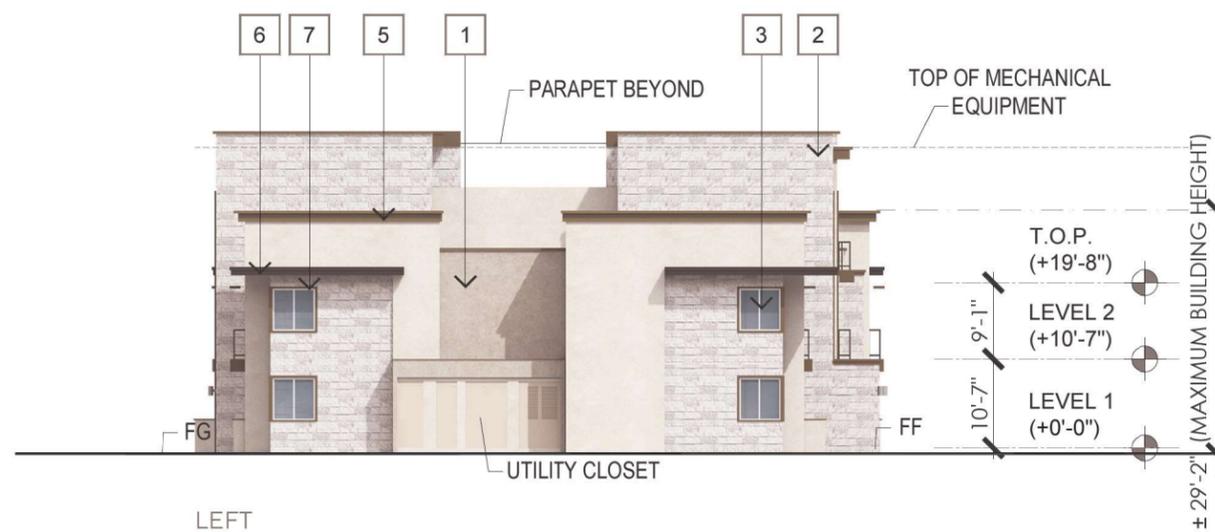
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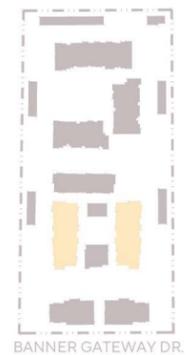
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



BUILDING B		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	74%	26%
REAR	75%	25%
LEFT	72%	28%
RIGHT	70%	30%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING B - ELEVATIONS



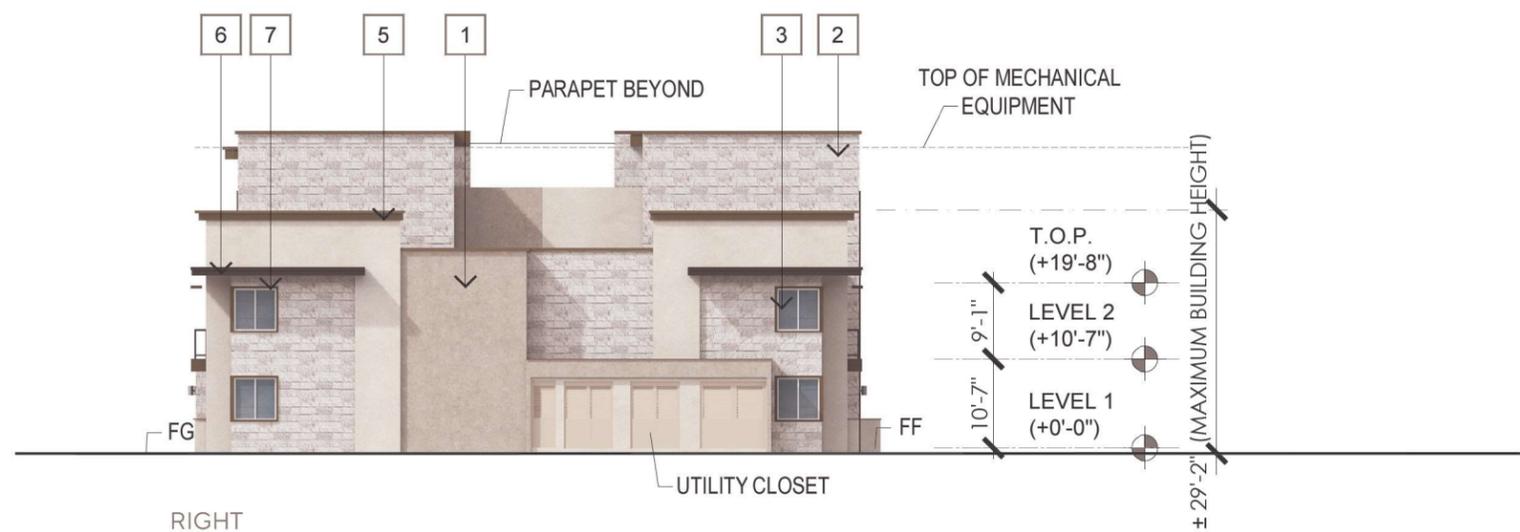
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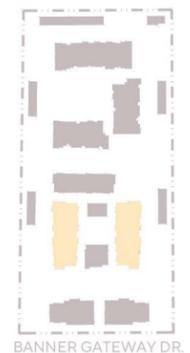
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



BUILDING B		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	74%	26%
REAR	75%	25%
LEFT	72%	28%
RIGHT	70%	30%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING B - ELEVATIONS



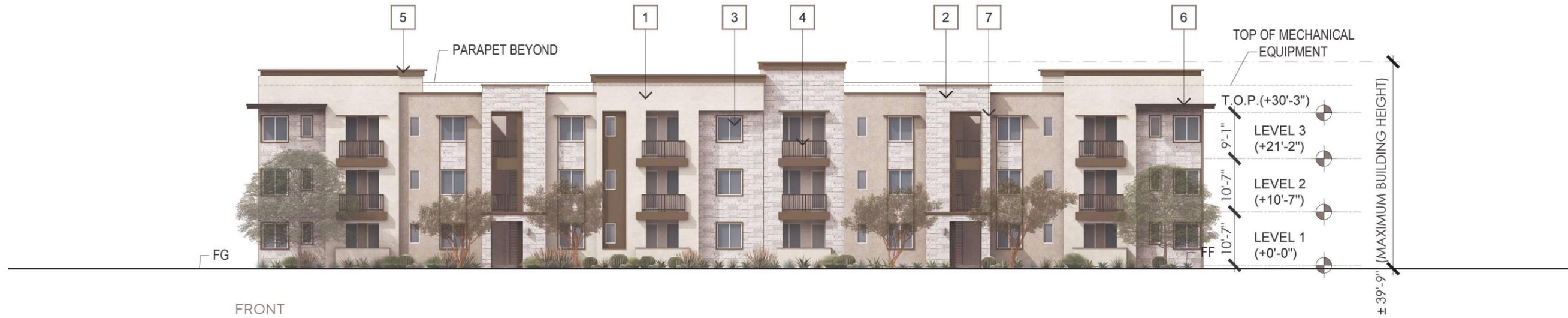
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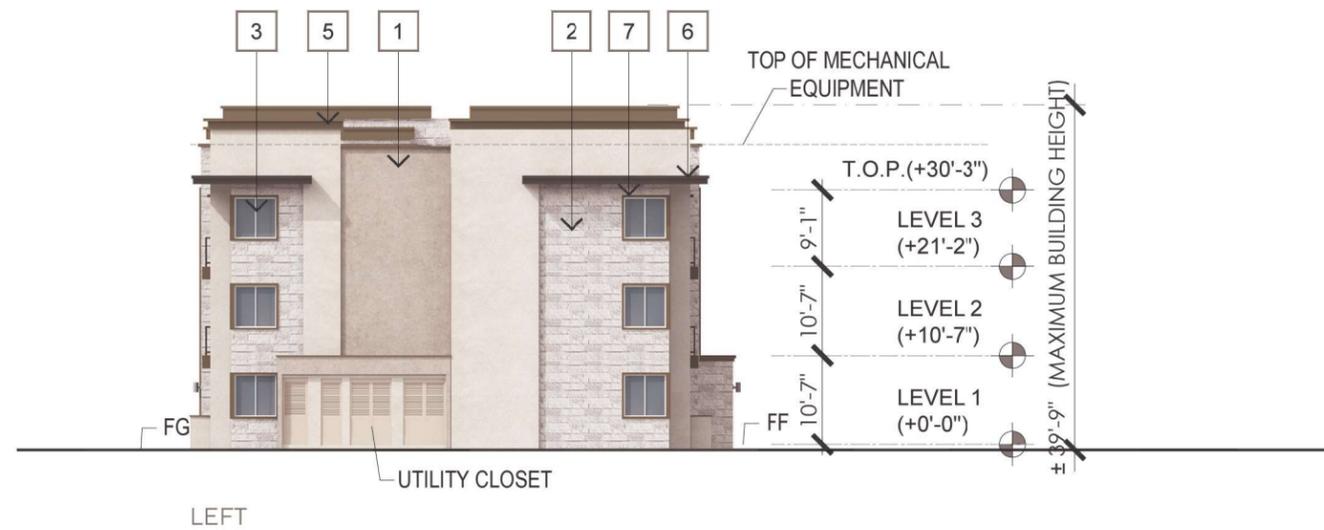
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD

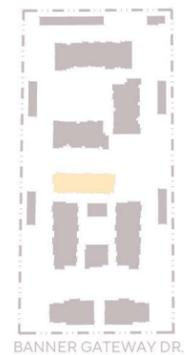


FRONT



LEFT

BUILDING C		
	PRIMARY MATERIALS	SECONDARY MATERIAL STONE VENEER
FRONT	72%	28%
REAR	74%	26%
LEFT	74%	26%
RIGHT	75%	25%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING C - ELEVATIONS



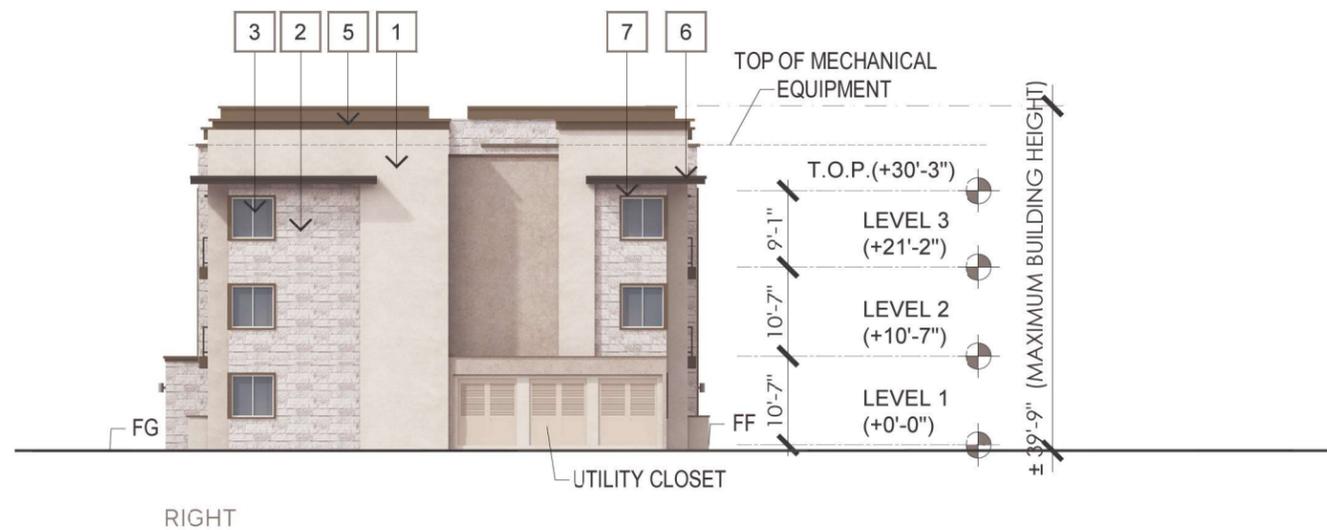
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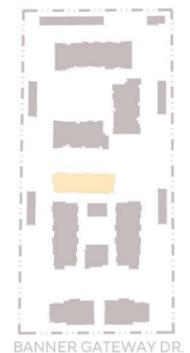
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



BUILDING C		
	PRIMARY MATERIALS	SECONDARY MATERIAL STONE VENEER
FRONT	72%	28%
REAR	74%	26%
LEFT	74%	26%
RIGHT	75%	25%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING C - ELEVATIONS



A15

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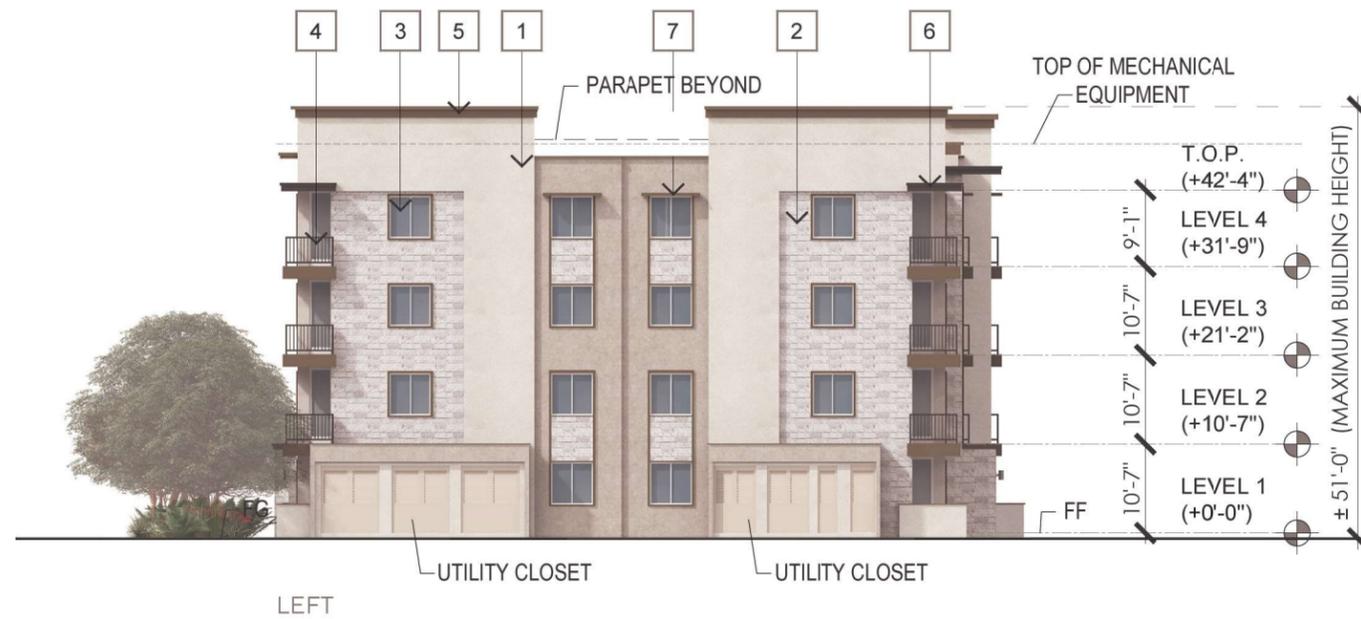
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



FRONT



LEFT

BUILDING D		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	73%	27%
REAR	73%	27%
LEFT	72%	28%
RIGHT	67%	33%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING D - ELEVATIONS



A17

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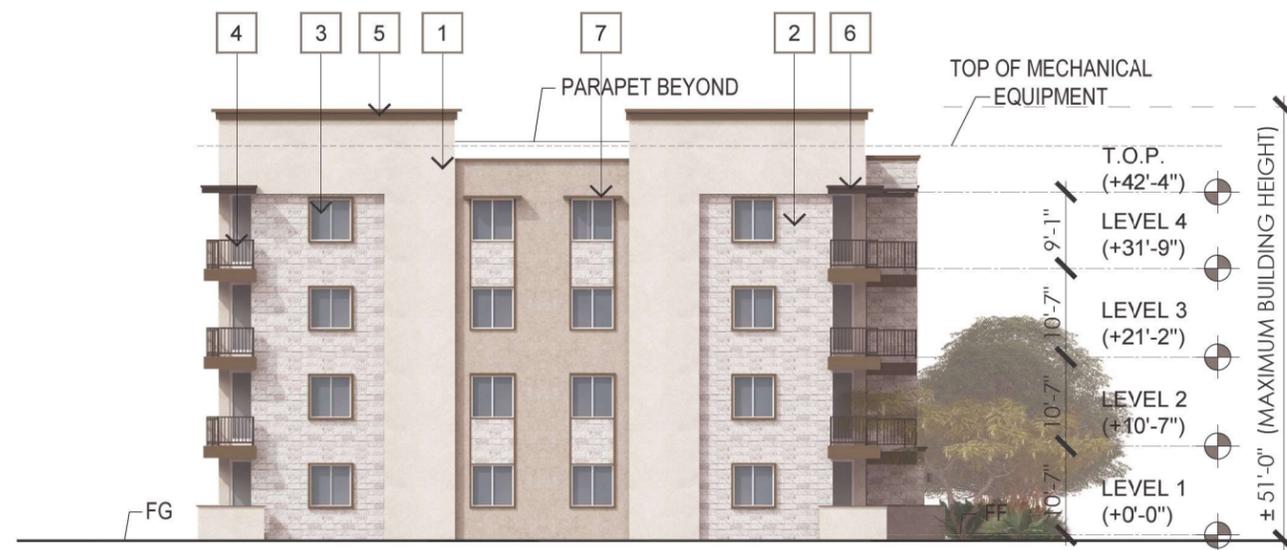
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD

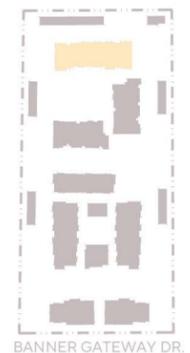


REAR



RIGHT

BUILDING D		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	73%	27%
REAR	73%	27%
LEFT	72%	28%
RIGHT	67%	33%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING D - ELEVATIONS



A18

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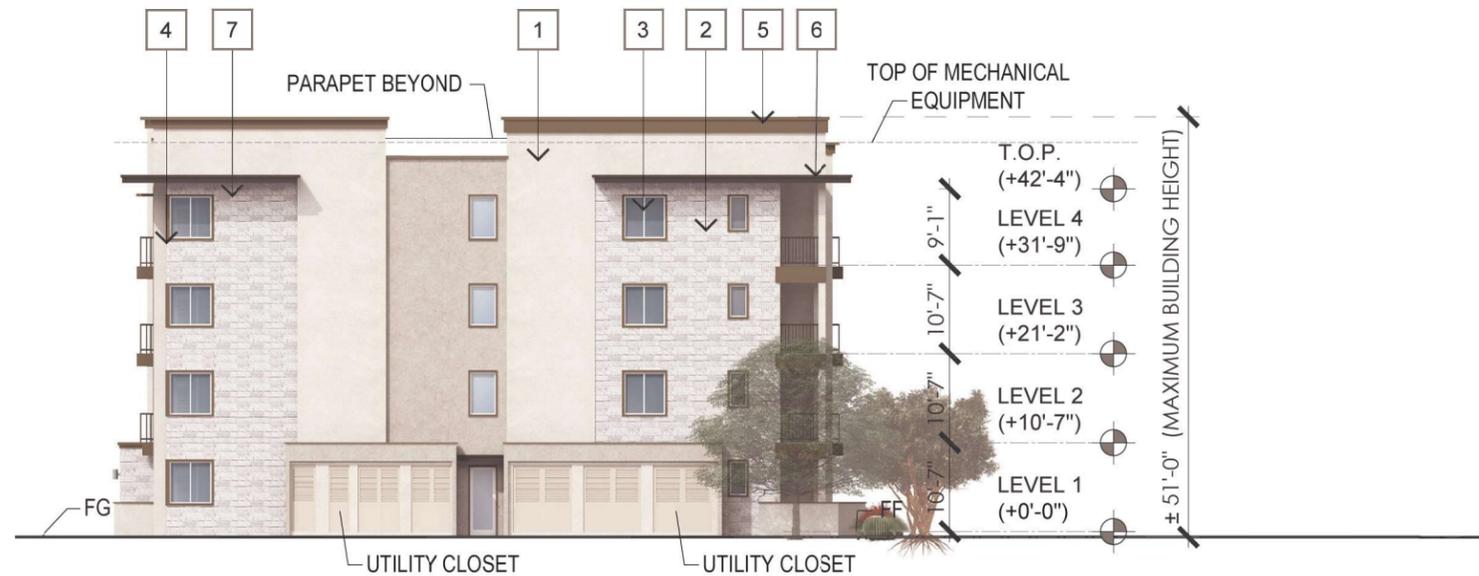
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD

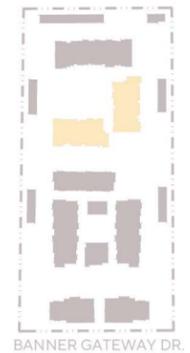


FRONT



LEFT

BUILDING E		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	73%	27%
REAR	75%	25%
LEFT	72%	28%
RIGHT	67%	33%



BANNER GATEWAY DR.



OAKDALE COMMUNITIES

BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING E - ELEVATIONS



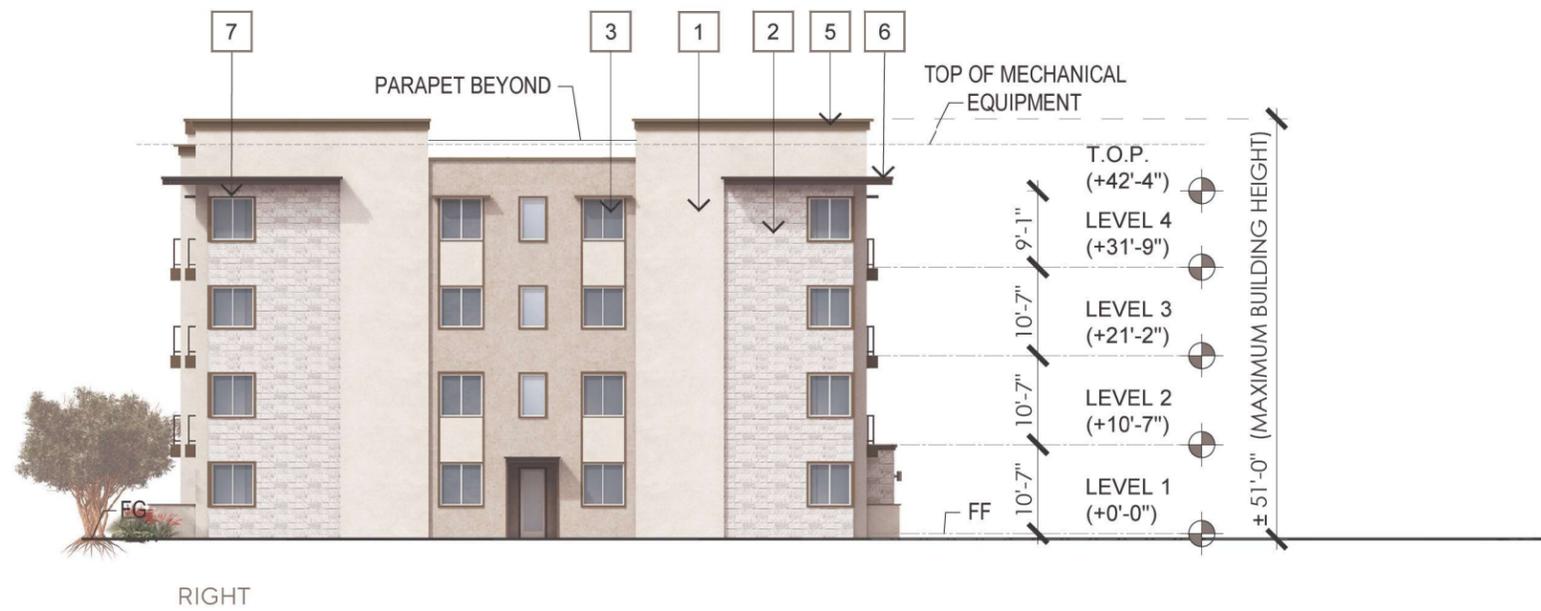
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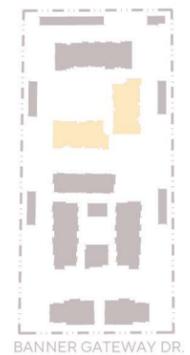
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 VINYL WINDOWS
- 4 METAL RAILINGS
- 5 CORNICE CAP
- 6 ARCHITECTURAL OVERHANG
- 7 DECORATIVE TRIM

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



BUILDING E		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	73%	27%
REAR	75%	25%
LEFT	72%	28%
RIGHT	67%	33%



BANNER GATEWAY RESIDENCES

MESA, AZ

BUILDING E - ELEVATIONS



A21

JOB NO. 2021-0179
DATE 10-21-2024



FRONT

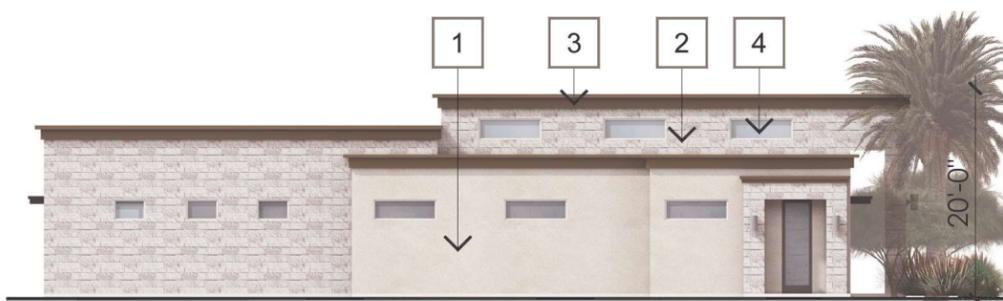
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 CORNICE CAP
- 4 VINYL WINDOWS
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM
- 6 ARCHITECTURAL OVERHANG

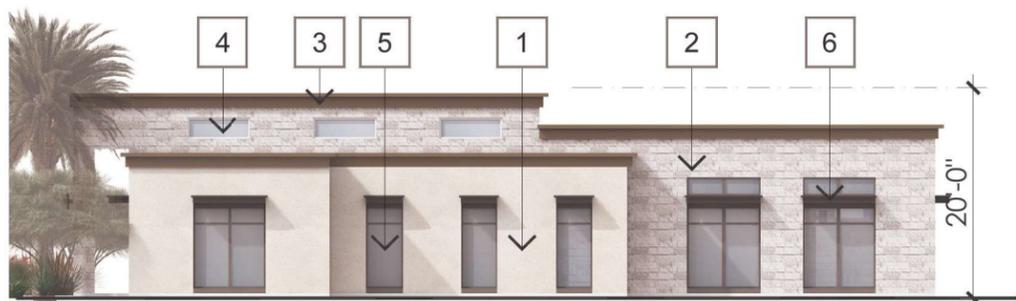
FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



REAR

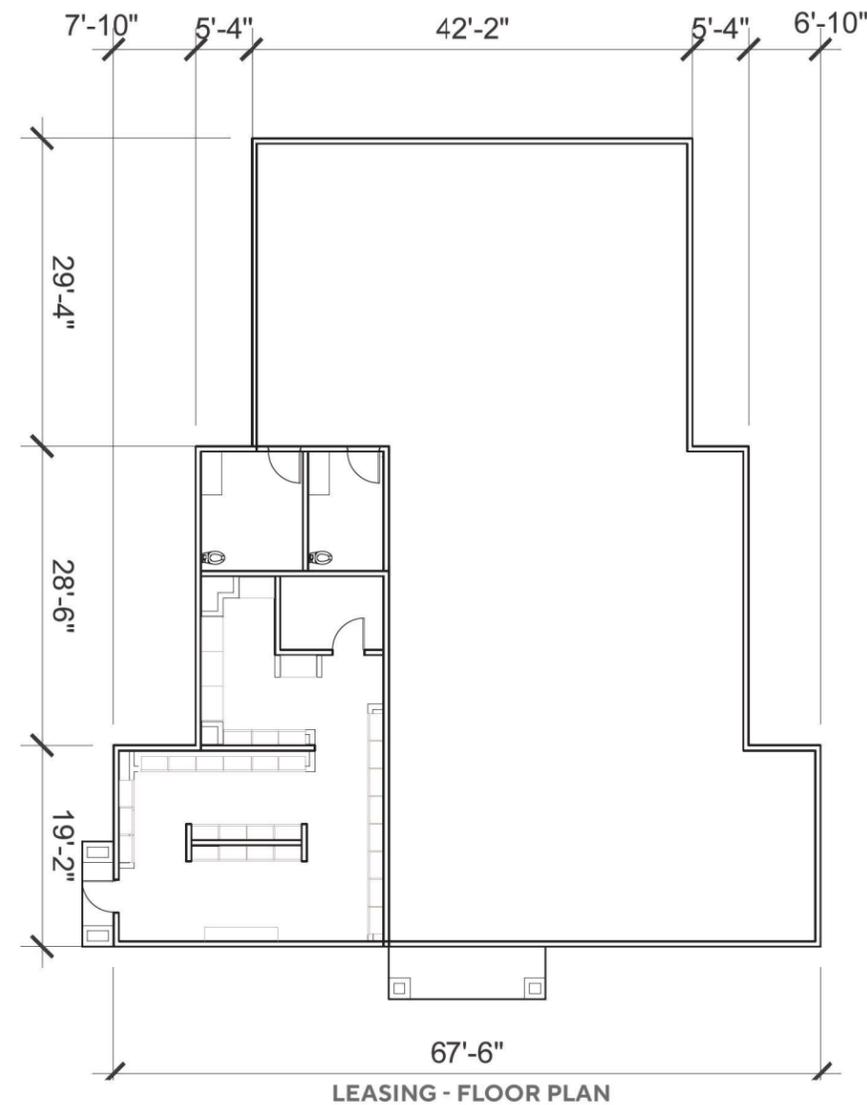


LEFT



RIGHT

LEASING		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	75%	25%
REAR	75%	25%
LEFT	72%	28%
RIGHT	67%	33%



OAKDALE
COMMUNITIES

BANNER GATEWAY RESIDENCES

MESA, AZ

LEASING - ELEVATIONS & FLOOR PLANS



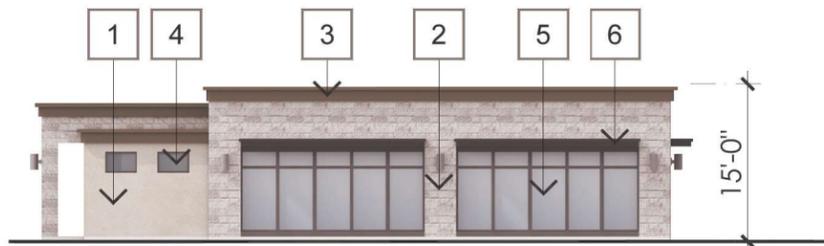
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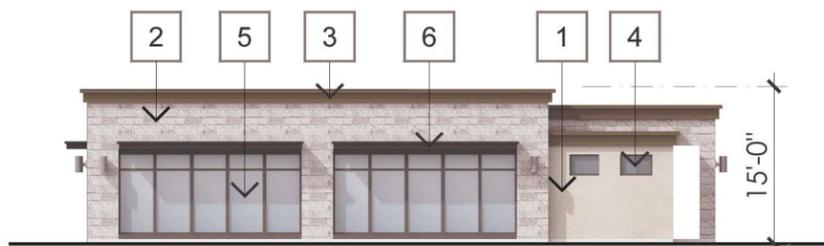
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 CORNICE CAP
- 4 VINYL WINDOWS
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM
- 6 ARCHITECTURAL OVERHANG

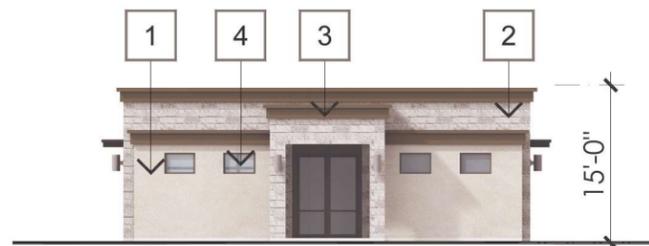
FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



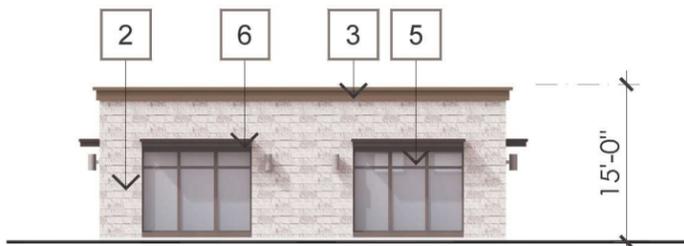
RIGHT



LEFT

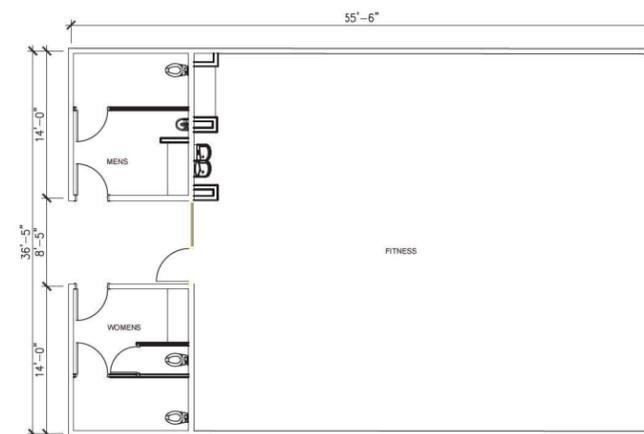


FRONT



REAR

FITNESS		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	75%	25%
REAR	48%	52%
LEFT	68%	32%
RIGHT	68%	32%



FITNESS - FLOOR PLAN



BANNER GATEWAY RESIDENCES

MESA, AZ

FITNESS - ELEVATIONS & FLOOR PLAN



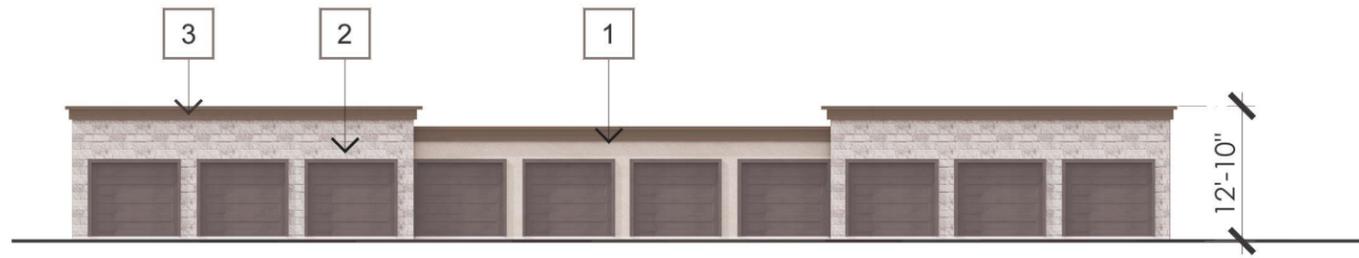
A25

JOB NO. 2021-0179
DATE 10-21-2024

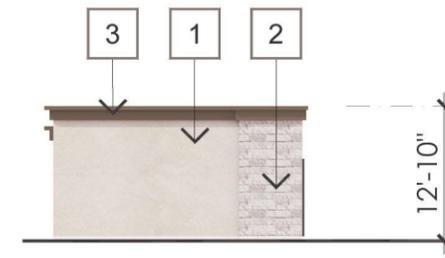
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 CORNICE CAP
- 4 VINYL WINDOWS
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM
- 6 ARCHITECTURAL OVERHANG

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



FRONT

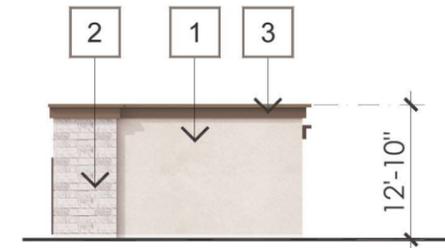


SIDE



BACK

GARAGE

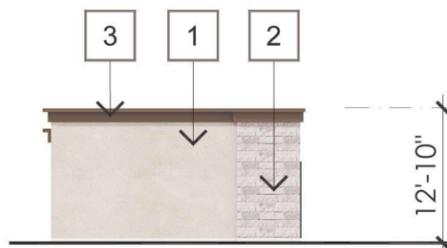


SIDE

GARAGE		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	75%	25%
REAR	74%	26%
LEFT	75%	25%
RIGHT	75%	25%

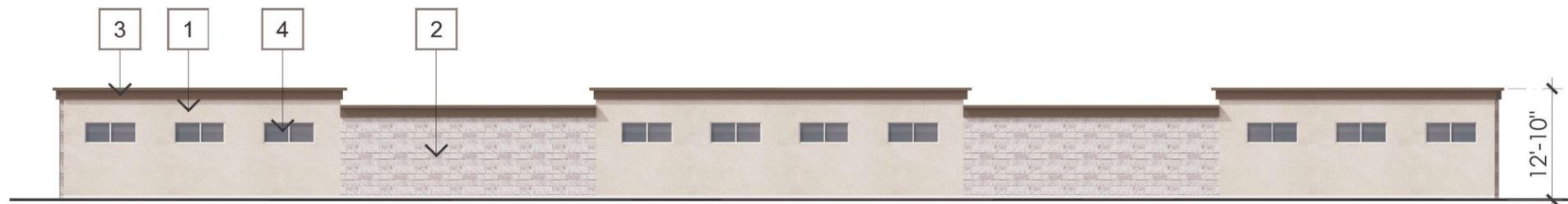


FRONT



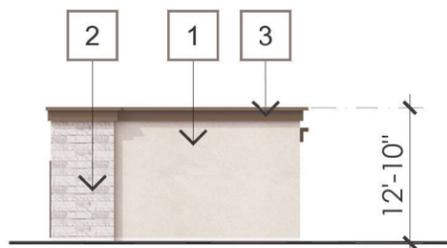
SIDE

GARAGE WITH WINDOW		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	74%	26%
REAR	74%	26%
LEFT	75%	25%
RIGHT	75%	25%

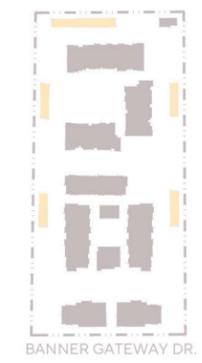


BACK

GARAGE WITH WINDOW



SIDE



BANNER GATEWAY RESIDENCES

MESA, AZ

GARAGE ELEVATIONS



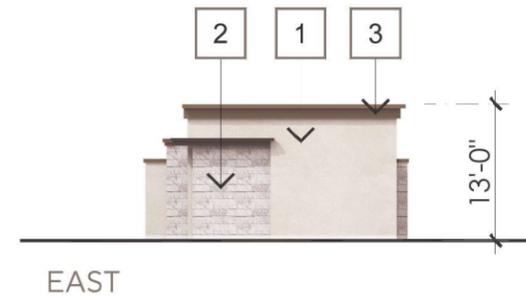
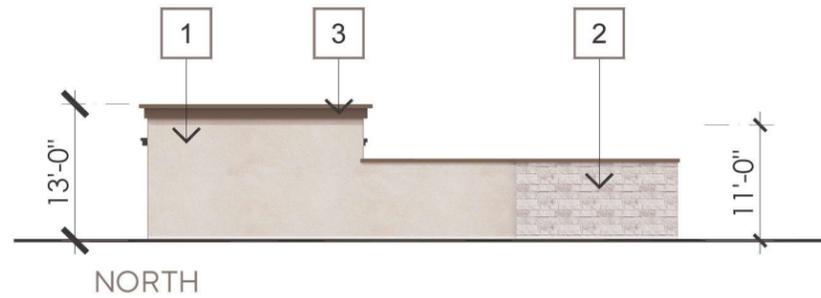
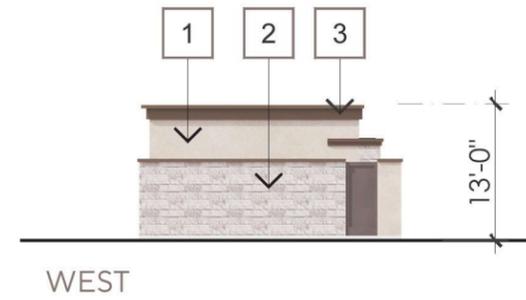
A27

JOB NO. 2021-0179
DATE 10-21-2024

MATERIAL / COLOR LEGEND

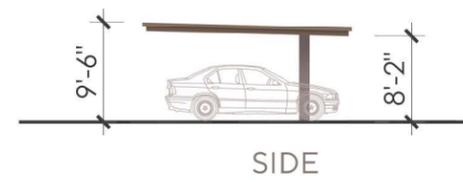
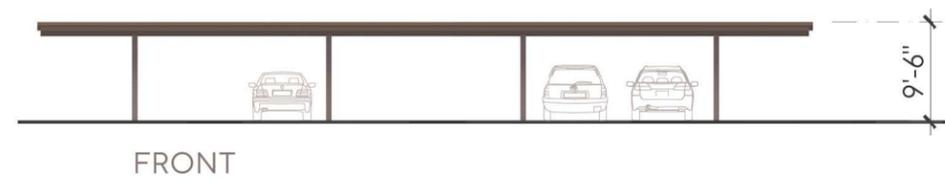
- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 CORNICE CAP
- 4 VINYL WINDOWS
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM
- 6 ARCHITECTURAL OVERHANG

FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD

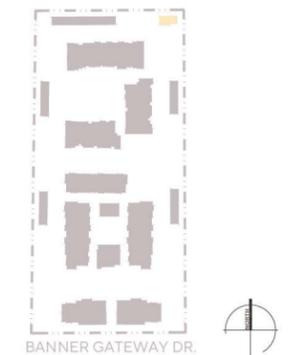


TRASH		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
SOUTH	60%	40%
NORTH	75%	25%
WEST	12%	88%
EAST	66%	34%

TRASH & MAINTENANCE



CARPORT



BANNER GATEWAY RESIDENCES

MESA, AZ

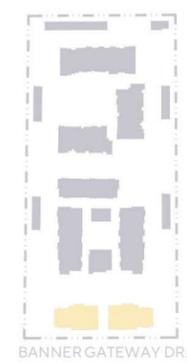
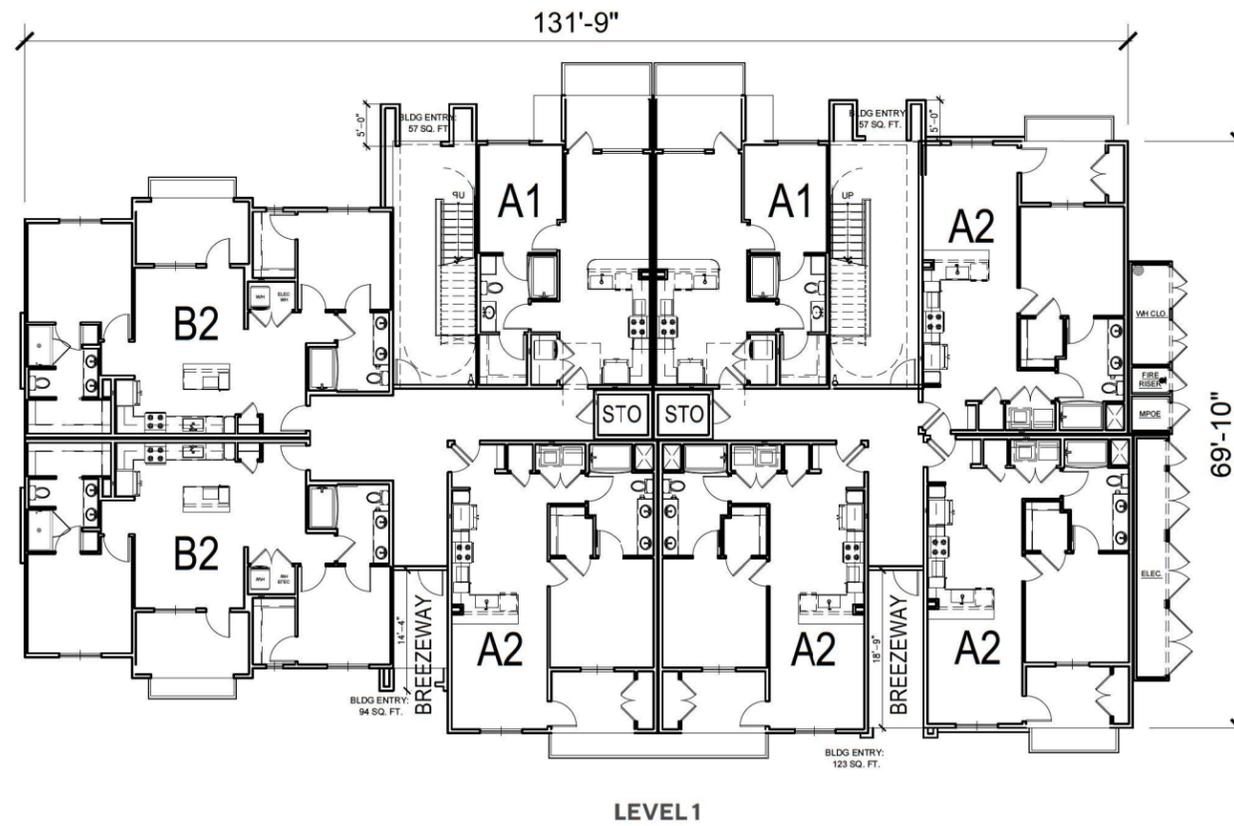
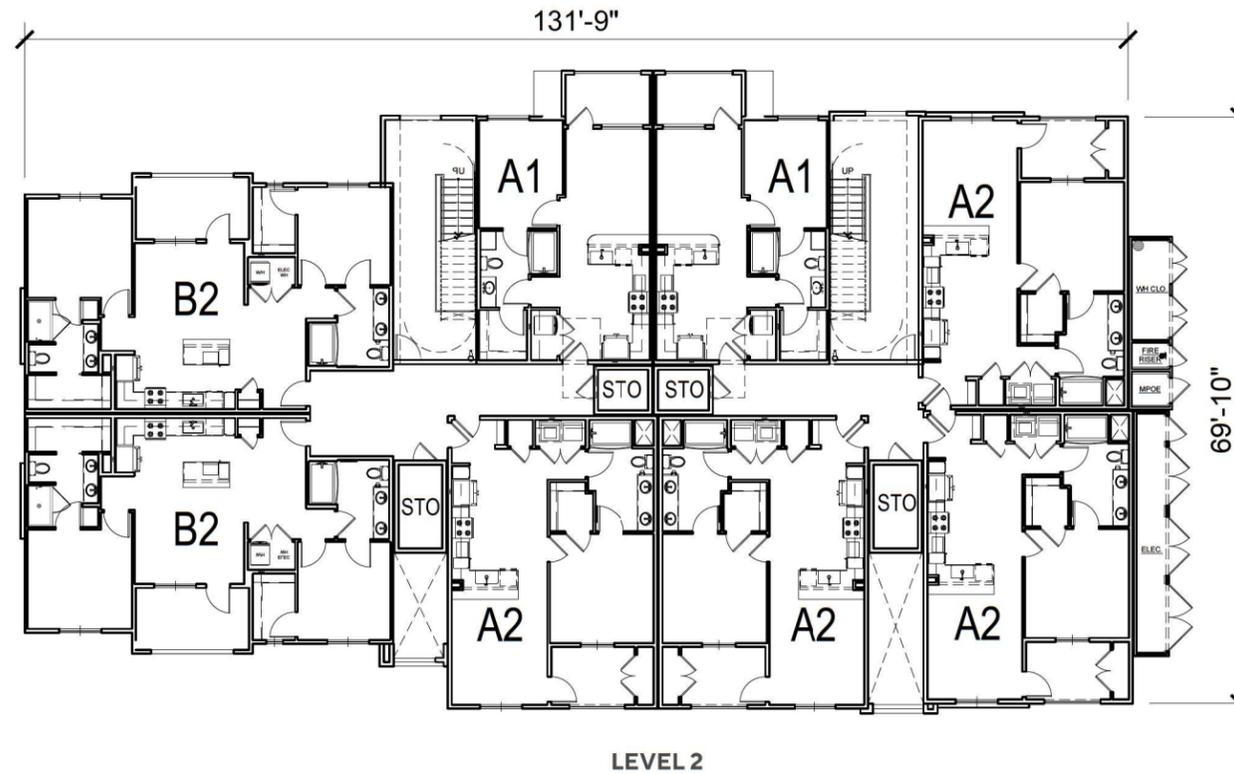
TRASH & CARPORT ELEVATIONS

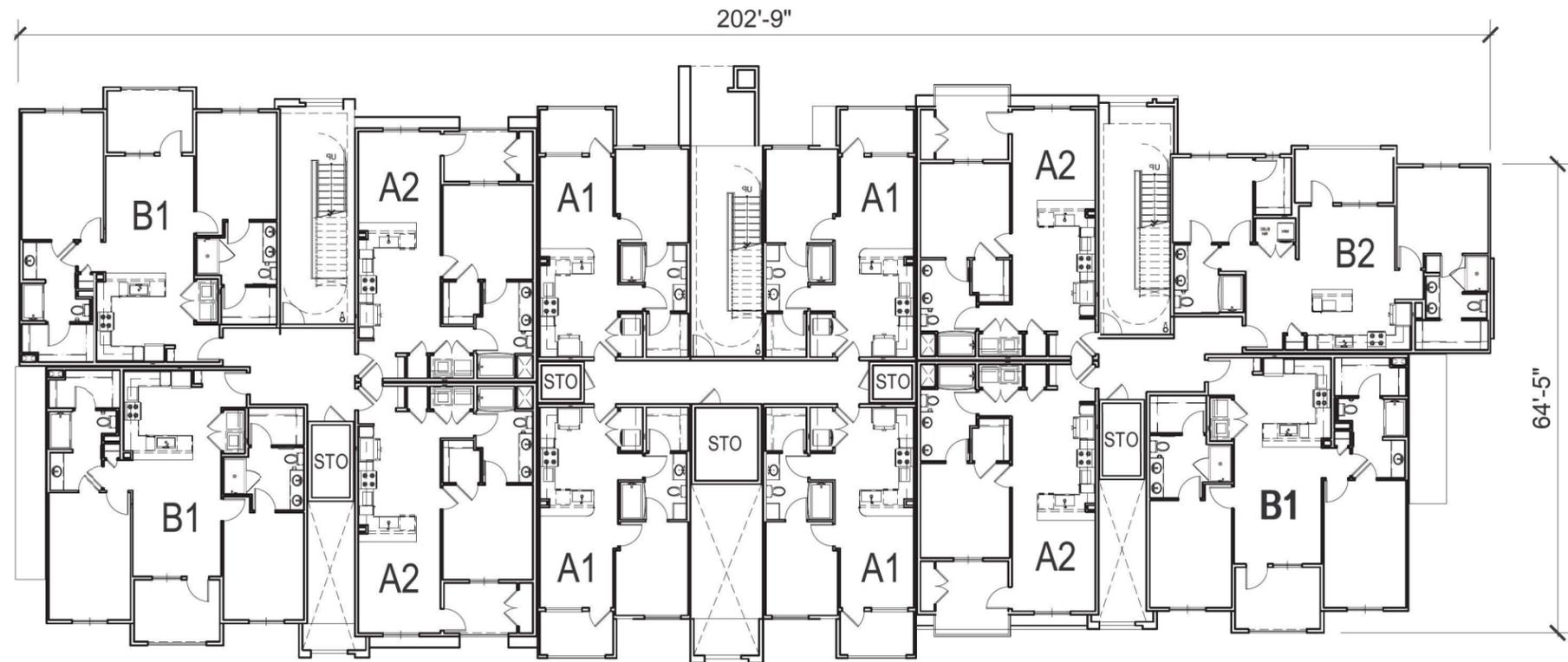


A29

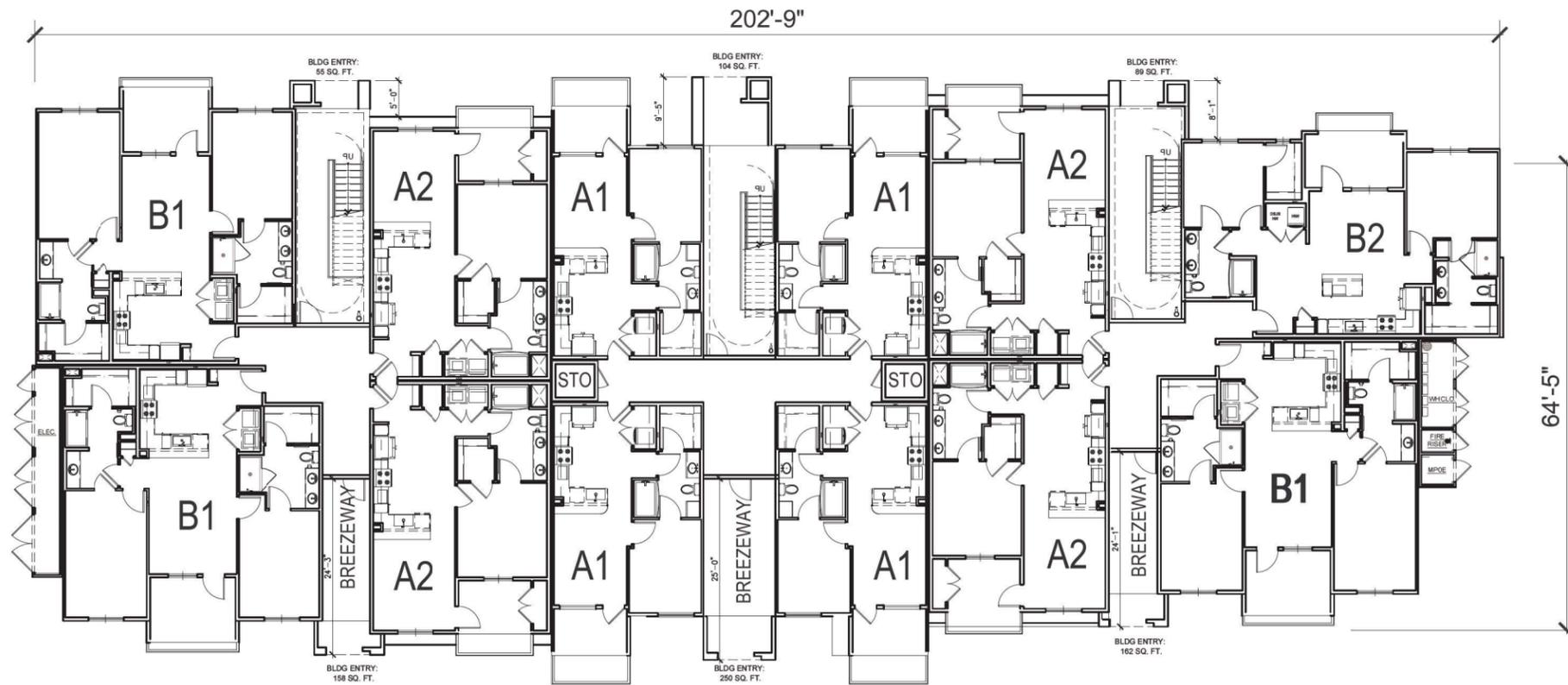
JOB NO. 2021-0179
DATE 10-21-2024

EXHIBIT 7

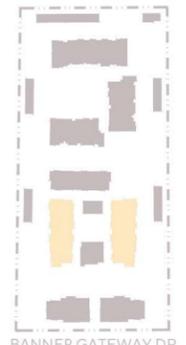




LEVEL 2



LEVEL 1



BANNER GATEWAY DR.



OAKDALE
COMMUNITIES

BANNER GATEWAY RESIDENCES

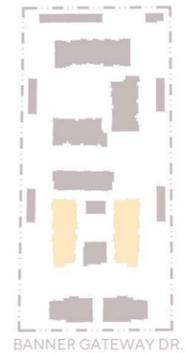
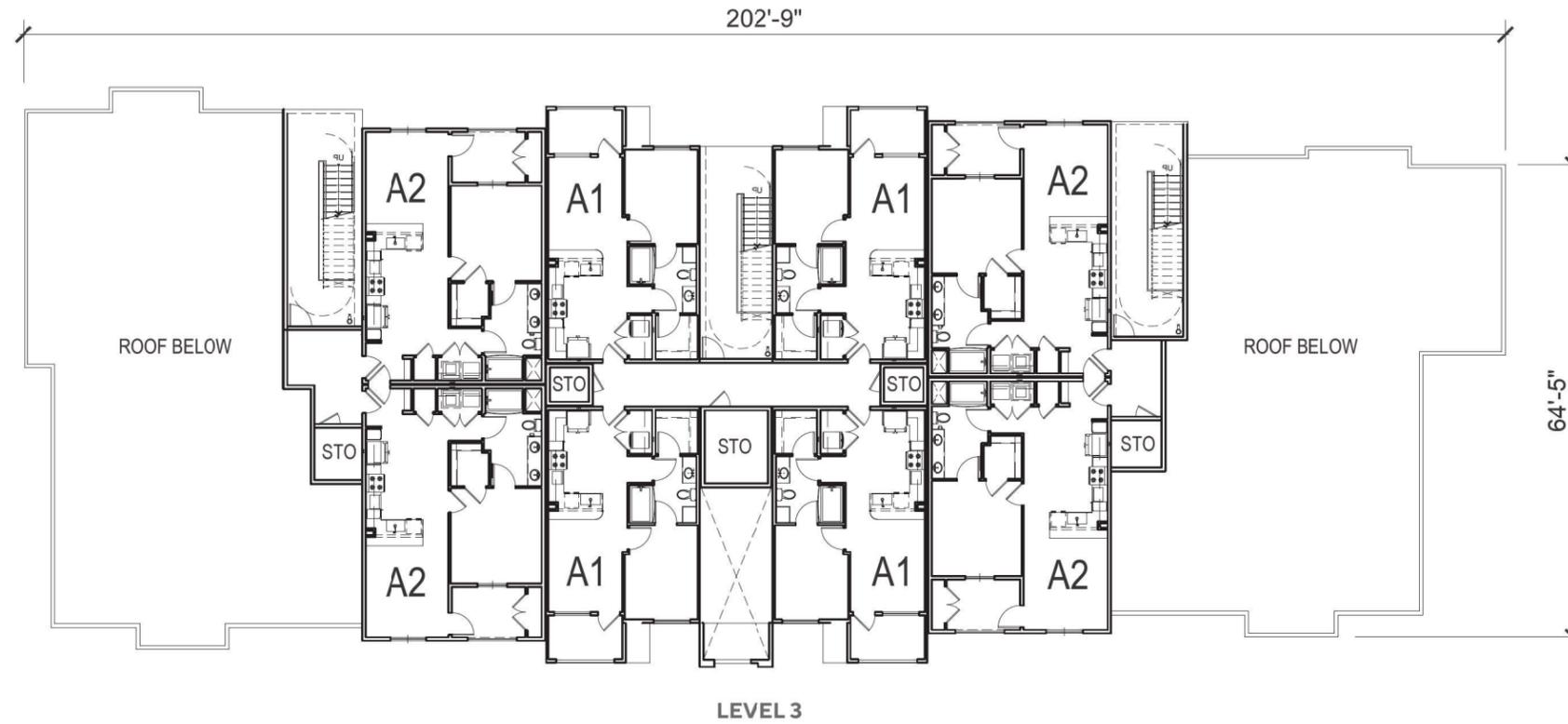
MESA, AZ

BUILDING B - FLOOR PLANS



A9

JOB NO. 2021-0179
DATE 10-21-2024



OAKDALE
COMMUNITIES

BANNER GATEWAY RESIDENCES

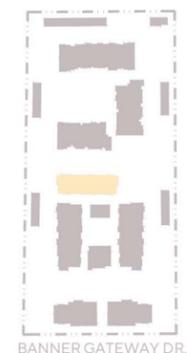
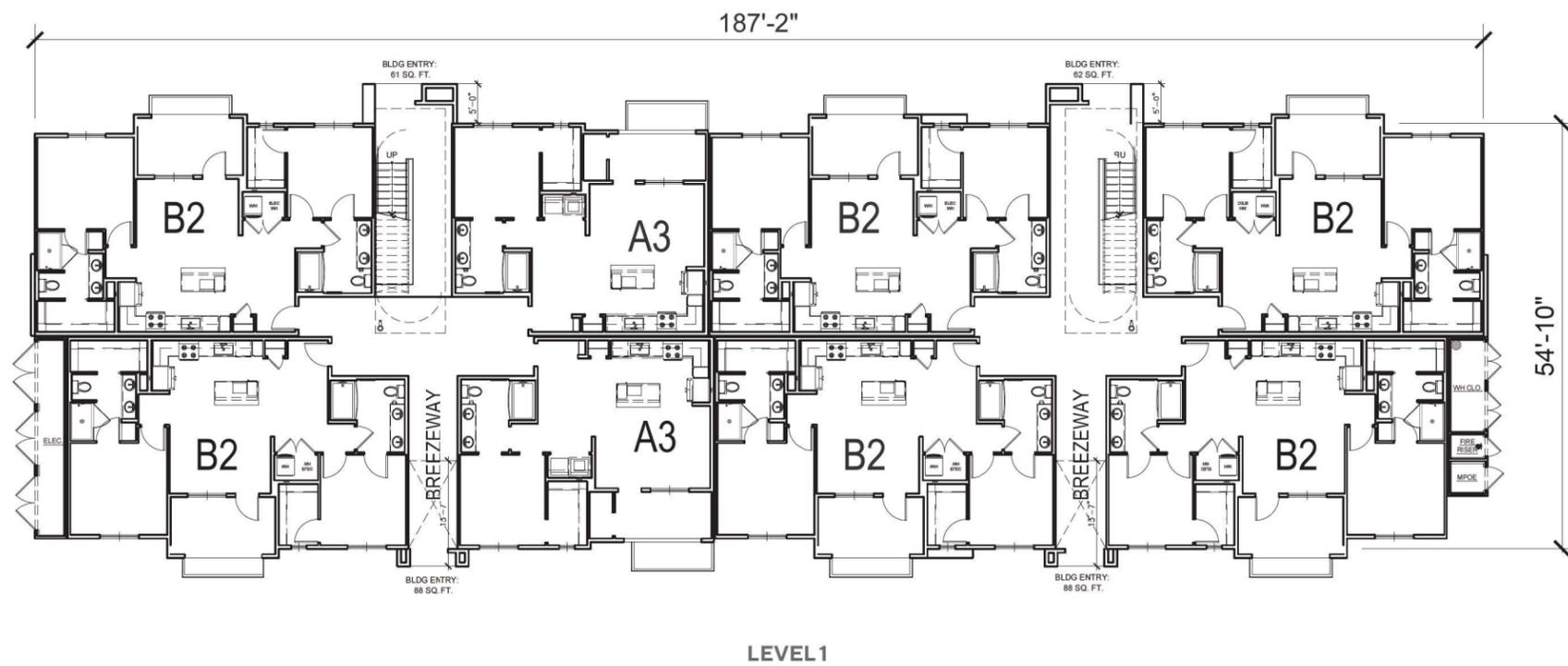
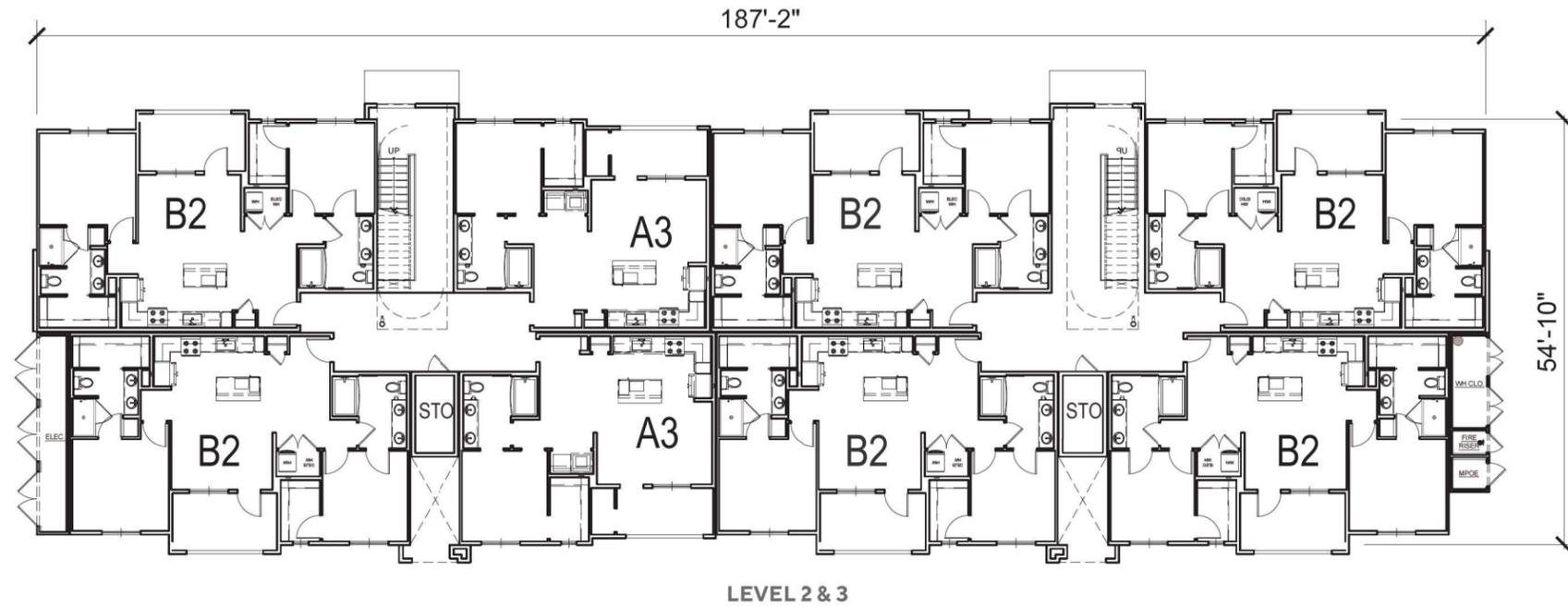
MESA, AZ

BUILDING B - FLOOR PLANS



A10

JOB NO. 2021-0179
DATE 10-21-2024



BANNER GATEWAY RESIDENCES

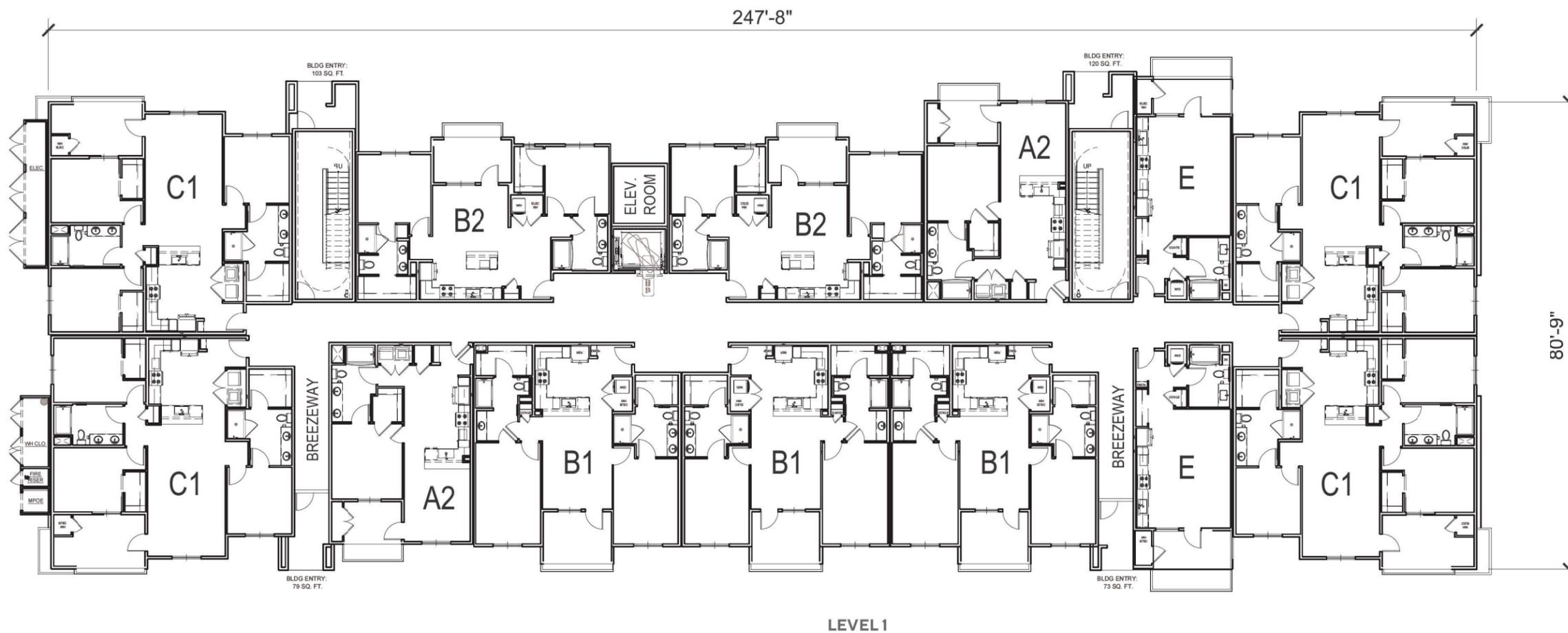
MESA, AZ

BUILDING C - FLOOR PLANS



A13

JOB NO. 2021-0179
DATE 10-21-2024



BANNER GATEWAY RESIDENCES

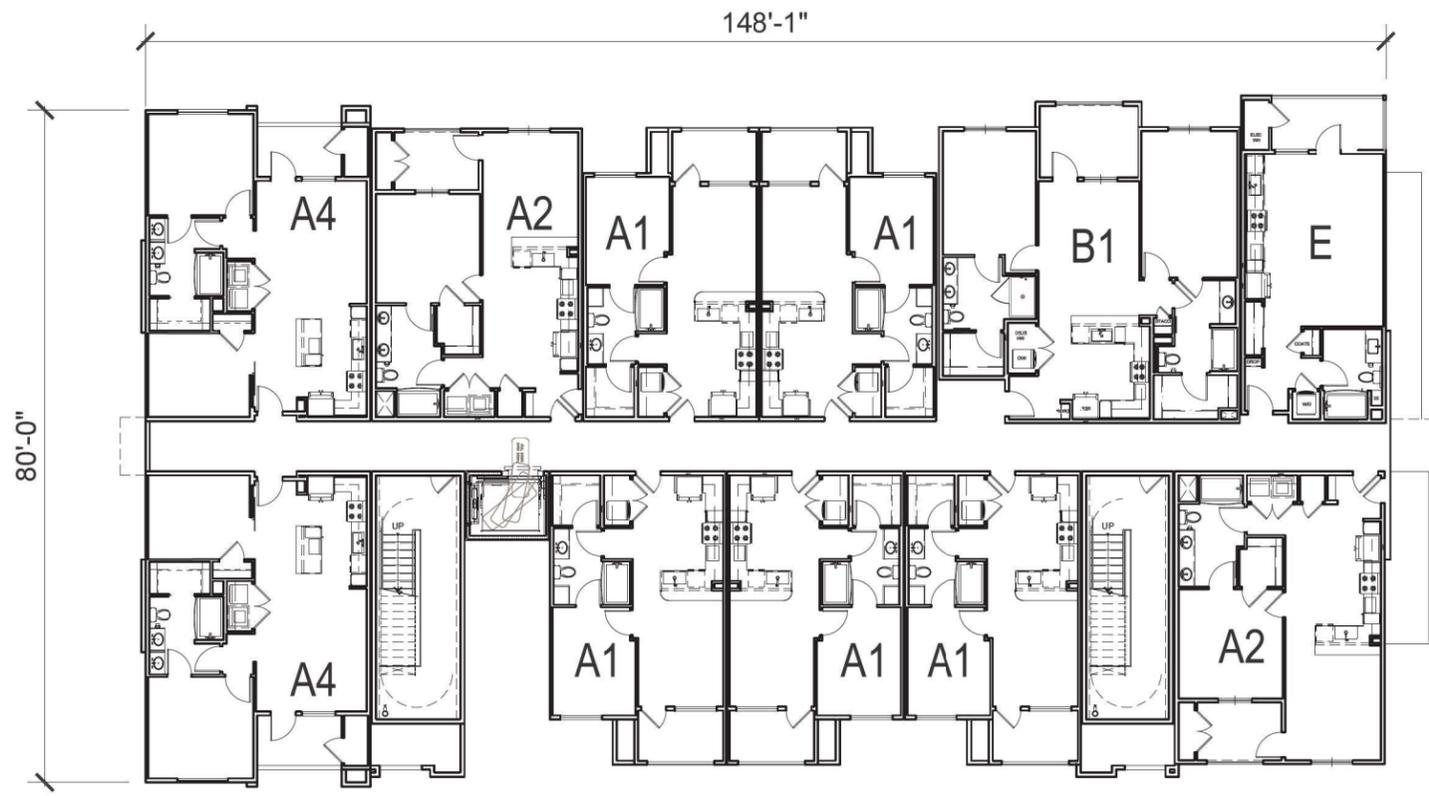
MESA, AZ

BUILDING D - FLOOR PLANS

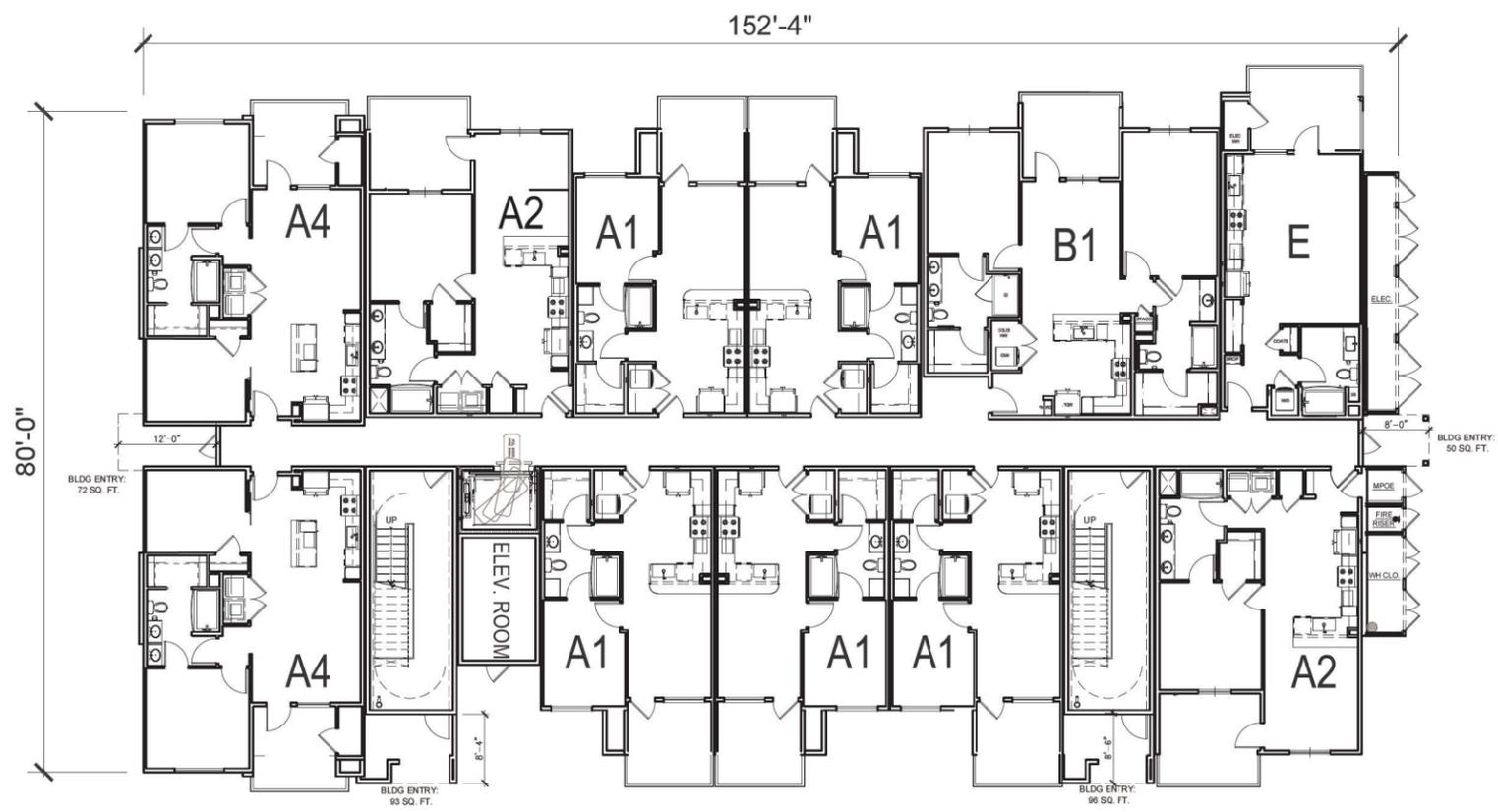


A16

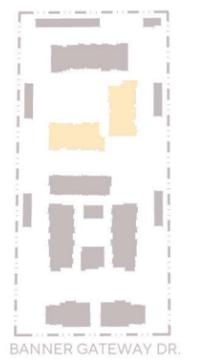
JOB NO. 2021-0179
DATE 10-21-2024



LEVEL 2 & 4



LEVEL 1



BANNER GATEWAY DR.



BANNER GATEWAY RESIDENCES

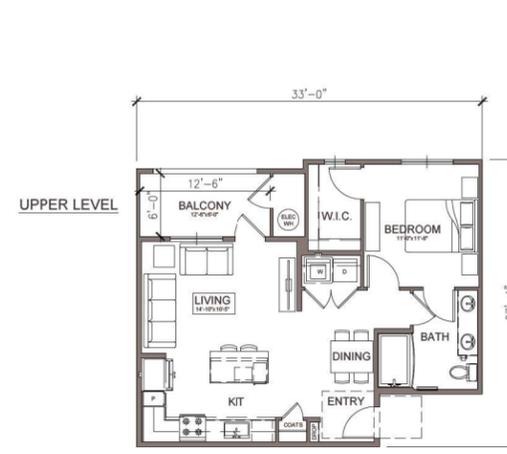
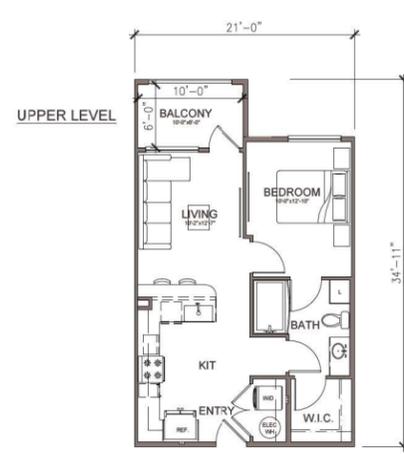
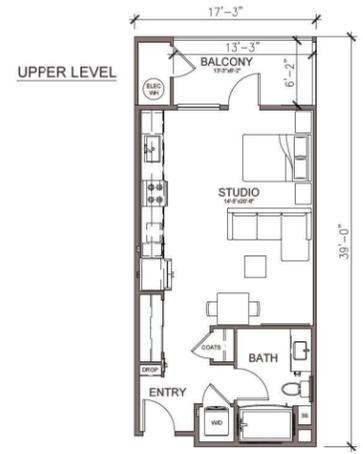
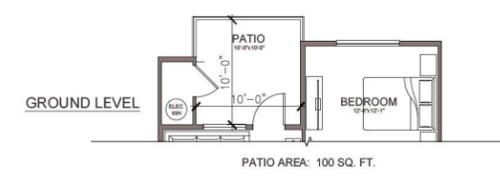
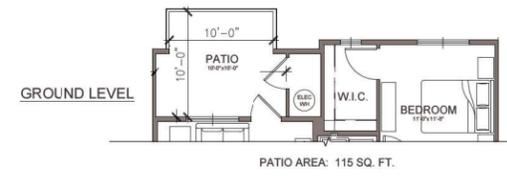
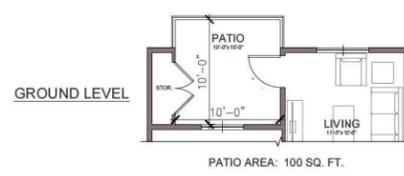
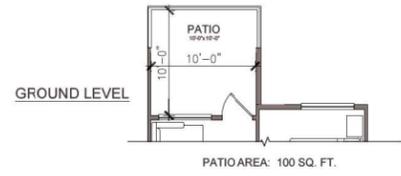
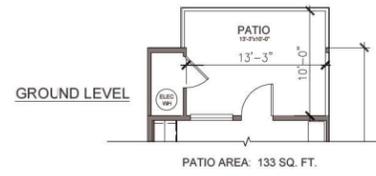
MESA, AZ

BUILDING E - FLOOR PLANS



A19

JOB NO. 2021-0179
DATE 10-21-2024



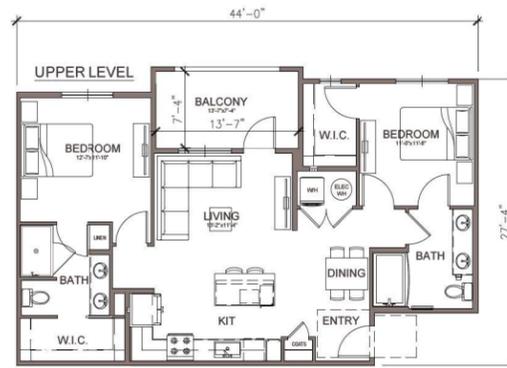
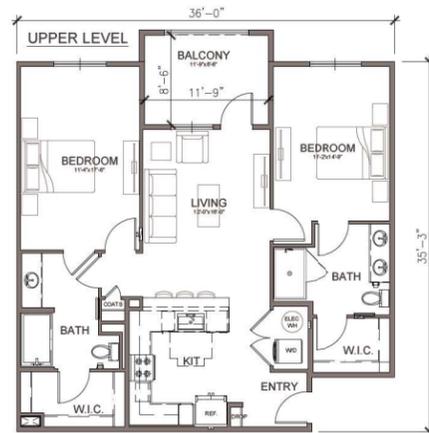
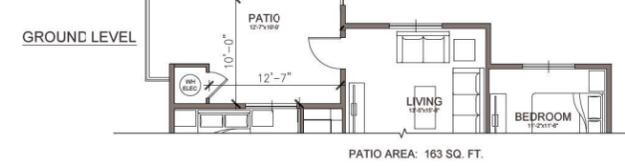
UNIT E - ANSI A: STUDIO
LIVABLE AREA: 555 SQ. FT.
BALCONY AREA: 60 SQ. FT.

UNIT A1 - ANSI B: 1BR / 1BA
LIVABLE AREA: 609 SQ. FT.
BALCONY AREA: 61 SQ. FT.

UNIT A2 - ANSI A (ALT 2): 1BR / 1BA
LIVABLE AREA: 778 SQ. FT.
BALCONY AREA: 69 SQ. FT.

UNIT A3 - ANSI B: 1BR / 1BA
LIVABLE AREA: 735 SQ. FT.
BALCONY AREA: 75 SQ. FT.

UNIT A4 - ANSI B: 1BR / 1BA / DEN
LIVABLE AREA: 888 SQ. FT.
BALCONY AREA: 60 SQ. FT.



UNIT B1 - ANSI A: 2BR / 2BA
LIVABLE AREA: 1157 SQ. FT.
BALCONY AREA: 100 SQ. FT.

UNIT B2 - ANSI B: 2BR / 2BA
LIVABLE AREA: 1045 SQ. FT.
BALCONY AREA: 100 SQ. FT.

UNIT C1 - ANSI A: 3BR / 2BA
LIVABLE AREA: 1415 SQ. FT.
BALCONY AREA: 129 SQ. FT.



BANNER GATEWAY RESIDENCES

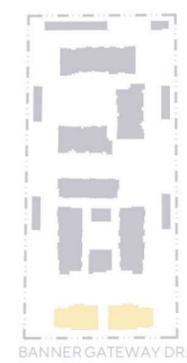
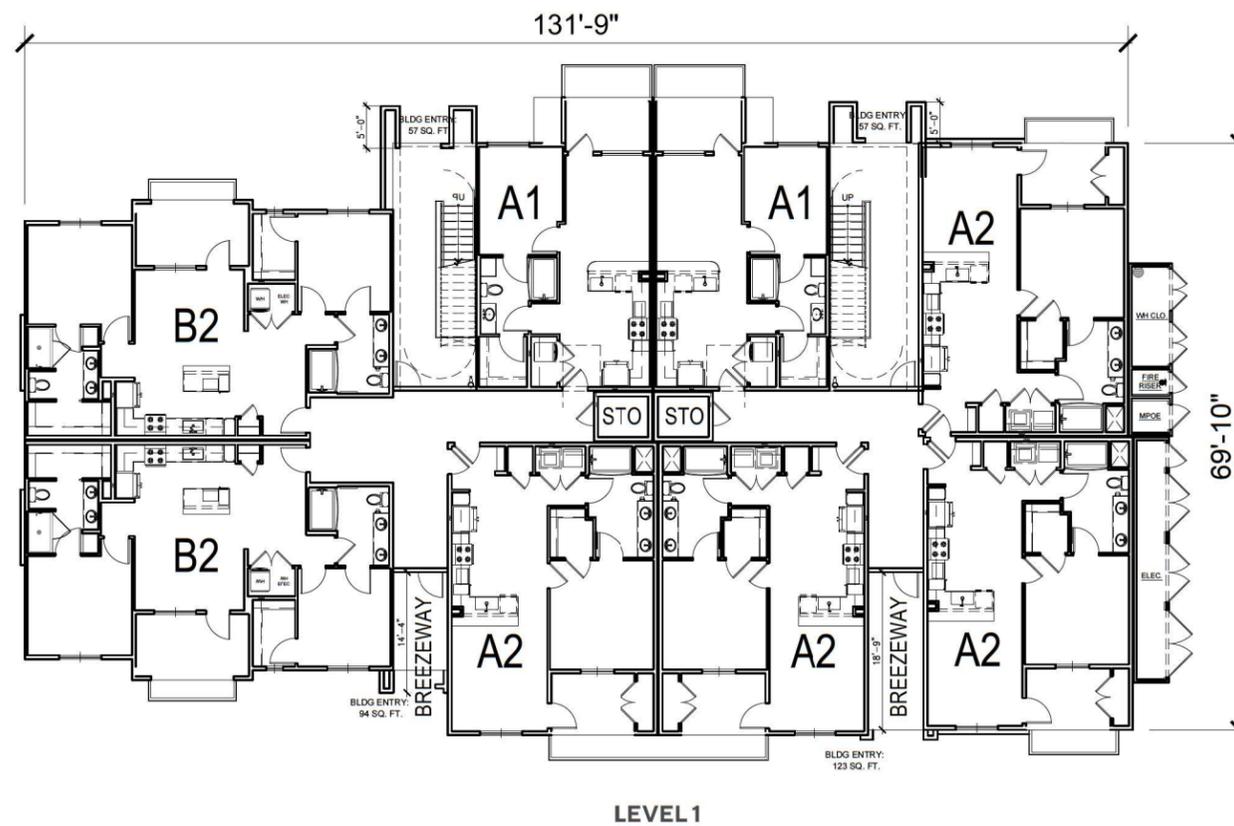
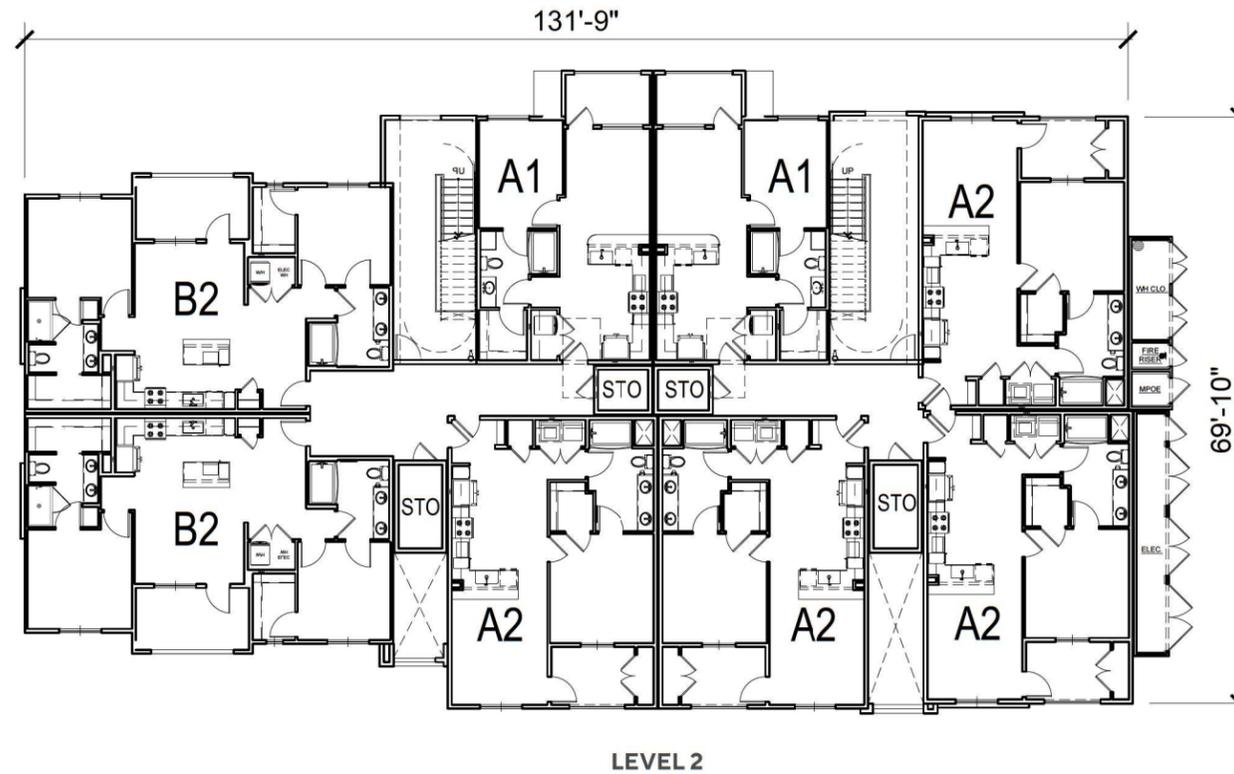
MESA, AZ

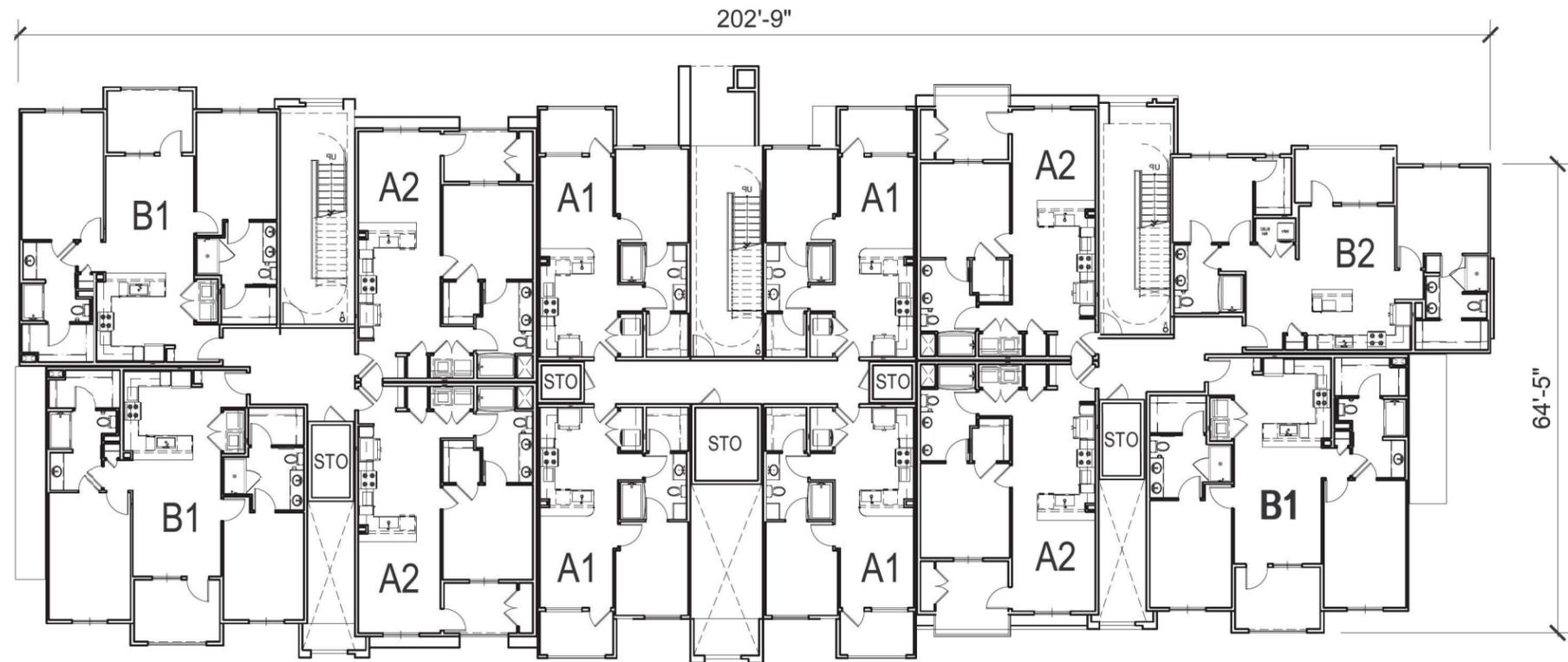
UNIT PLANS



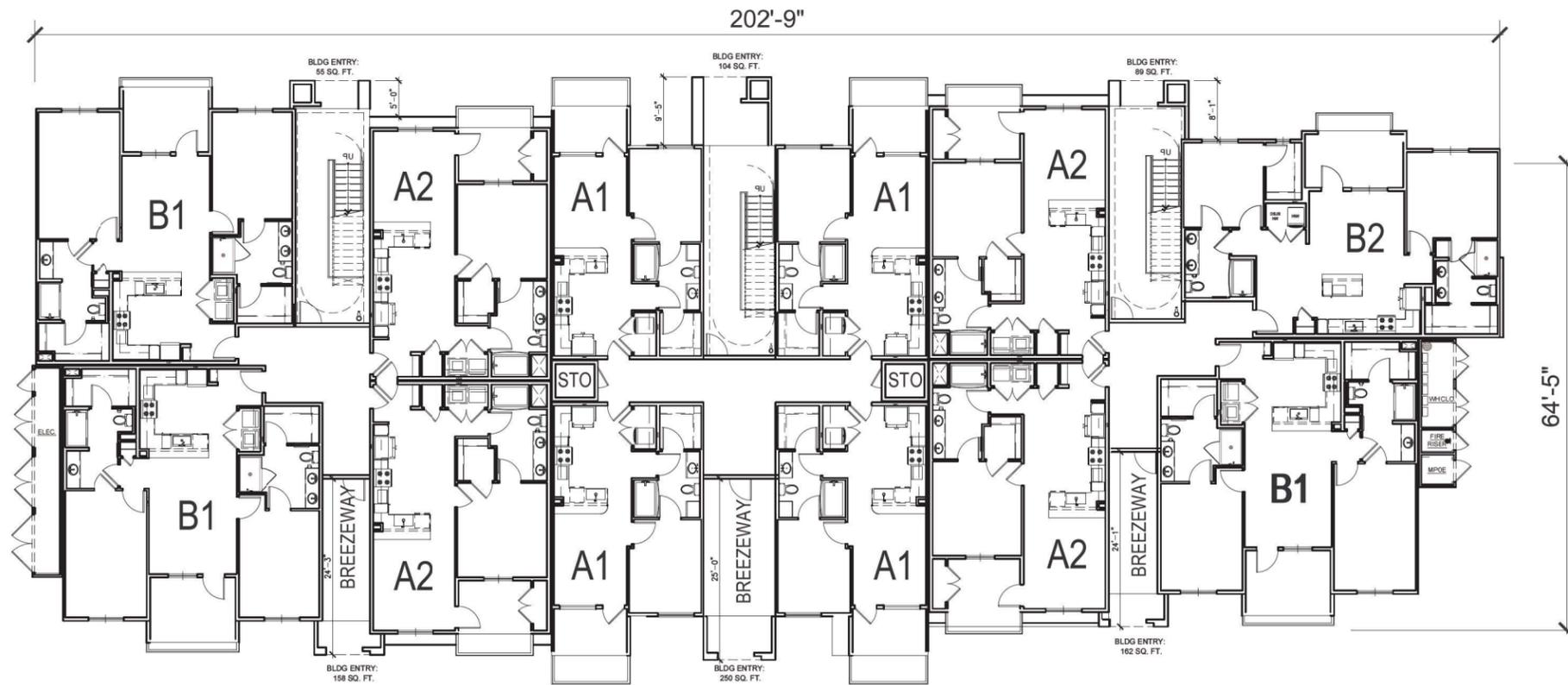
A22

JOB NO. 2021-0179
DATE 10-21-2024

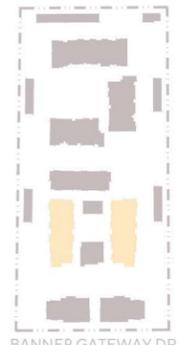




LEVEL 2



LEVEL 1



BANNER GATEWAY DR.



OAKDALE
COMMUNITIES

BANNER GATEWAY RESIDENCES

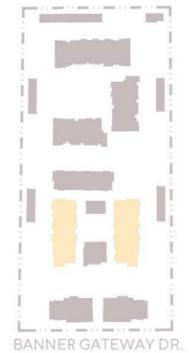
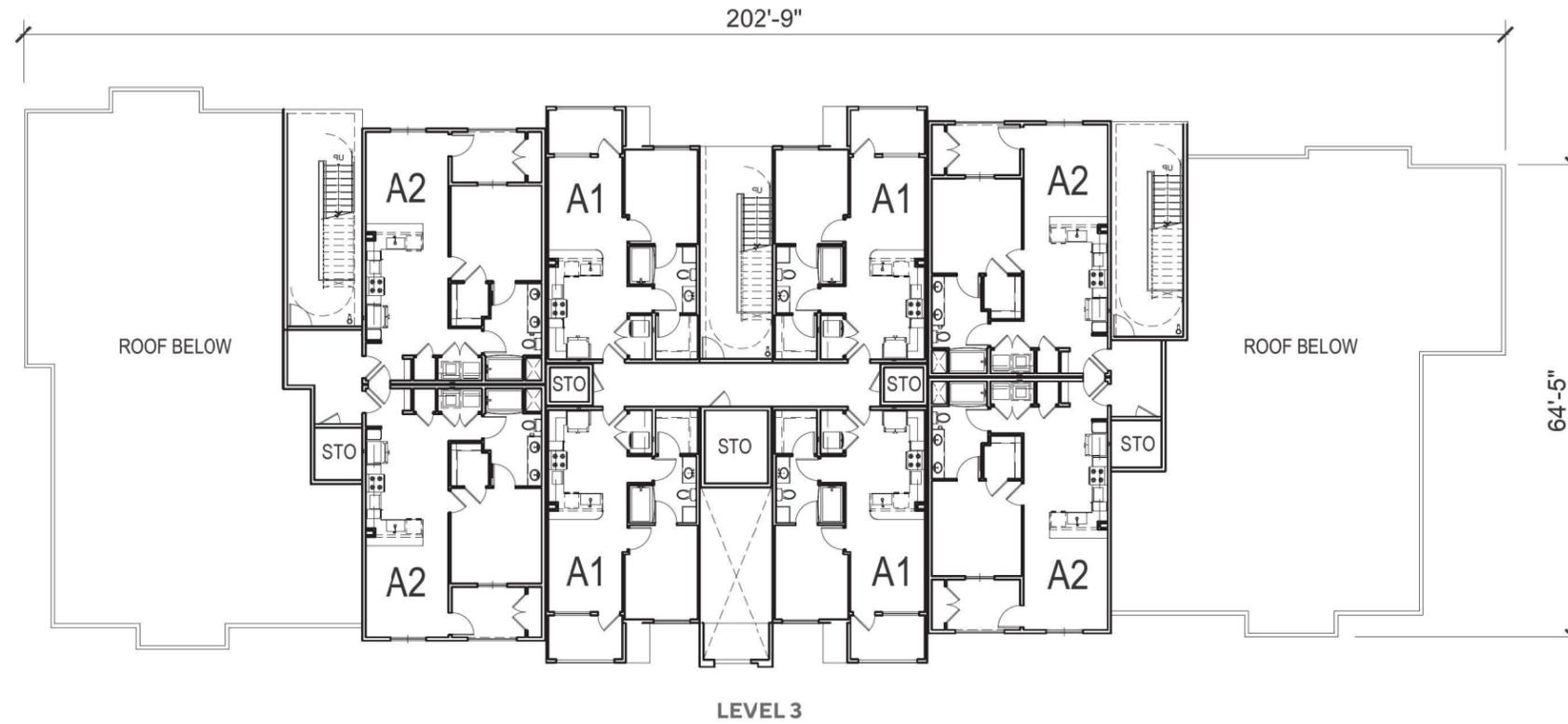
MESA, AZ

BUILDING B - FLOOR PLANS



A9

JOB NO. 2021-0179
DATE 10-21-2024



OAKDALE
COMMUNITIES

BANNER GATEWAY RESIDENCES

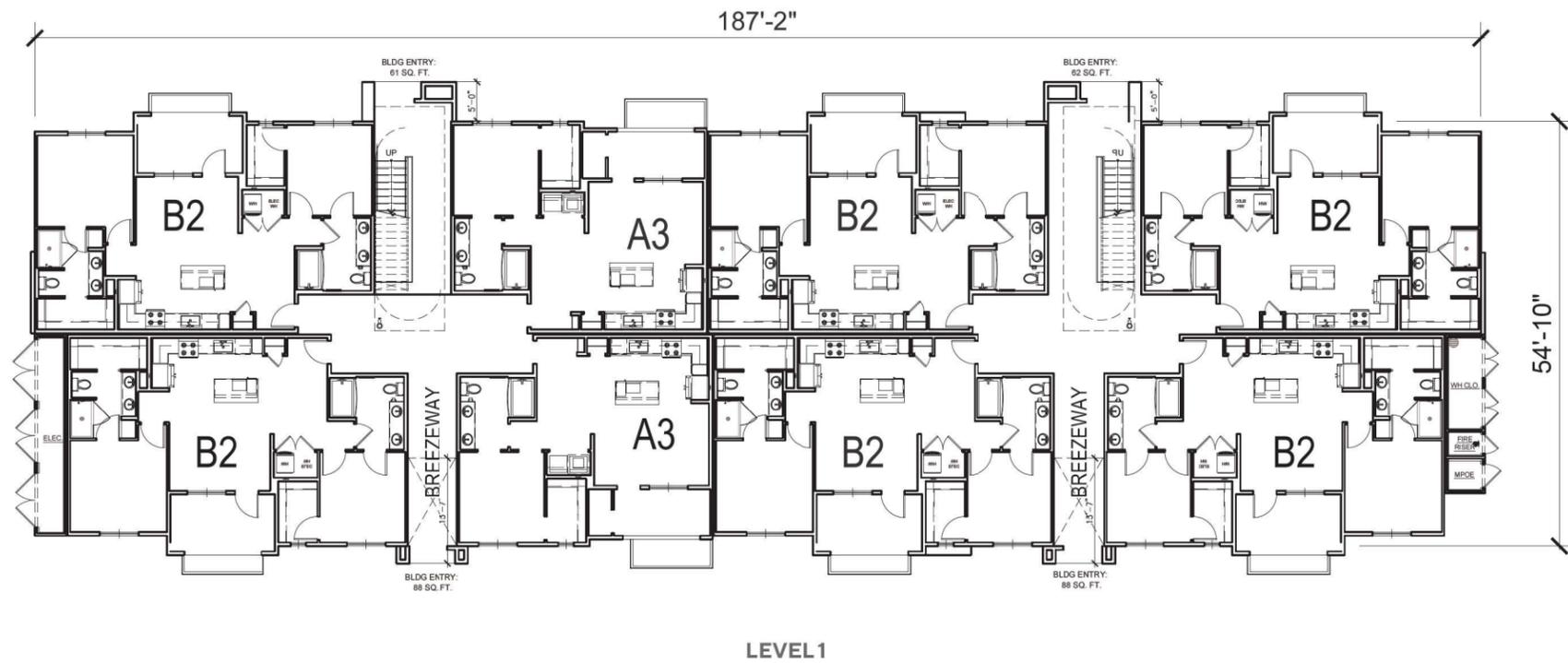
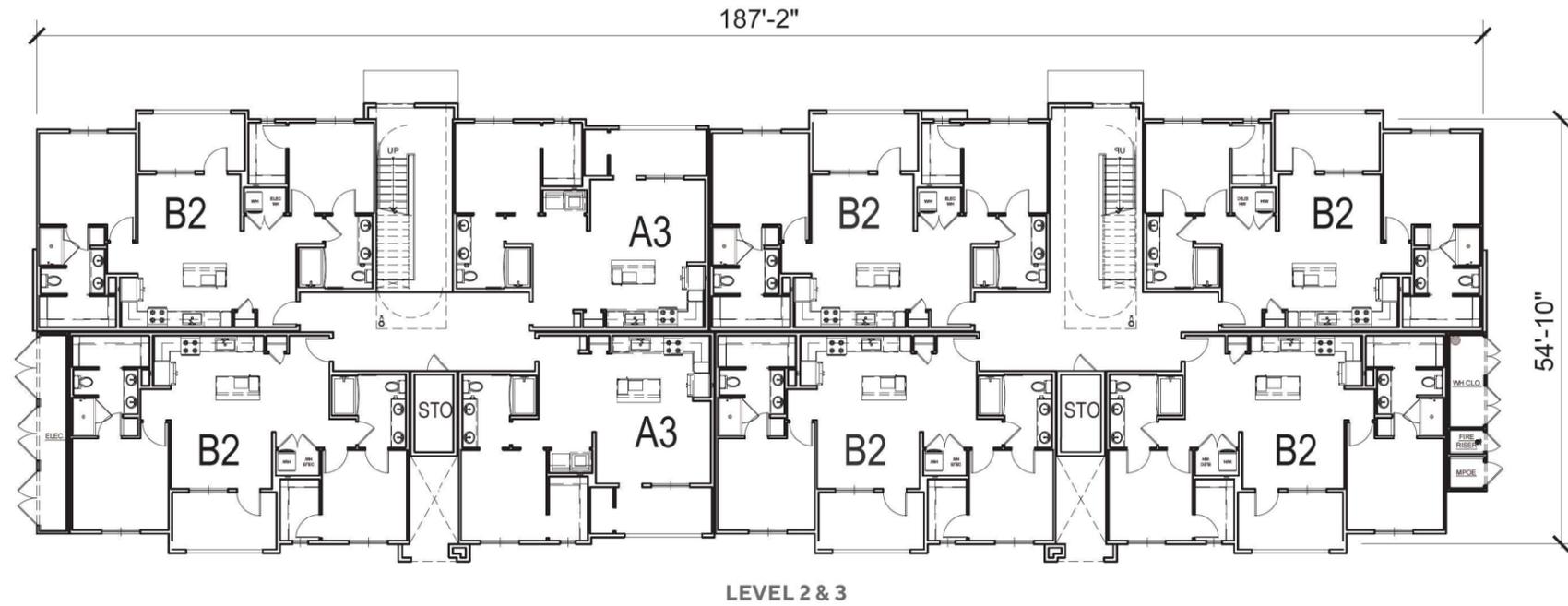
MESA, AZ

BUILDING B - FLOOR PLANS



A10

JOB NO. 2021-0179
DATE 10-21-2024



OAKDALE
COMMUNITIES

BANNER GATEWAY RESIDENCES

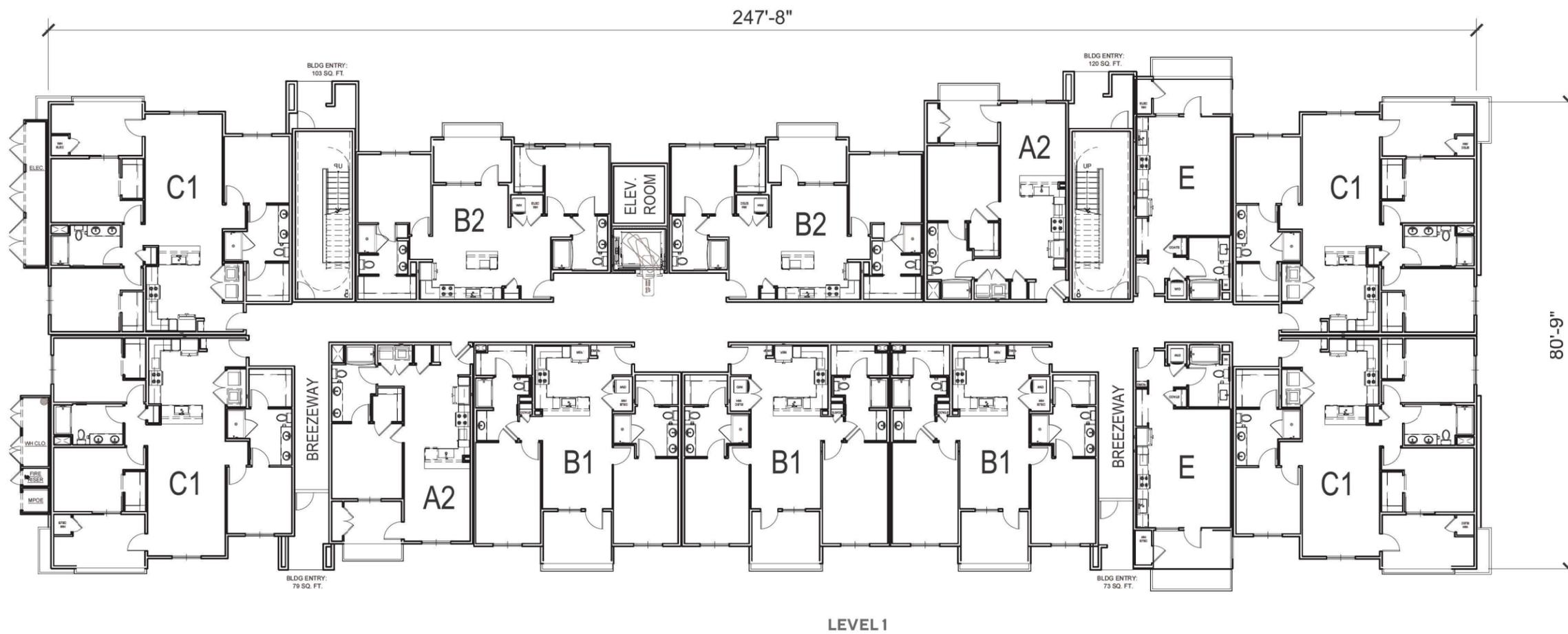
MESA, AZ

BUILDING C - FLOOR PLANS



A13

JOB NO. 2021-0179
DATE 10-21-2024



BANNER GATEWAY RESIDENCES

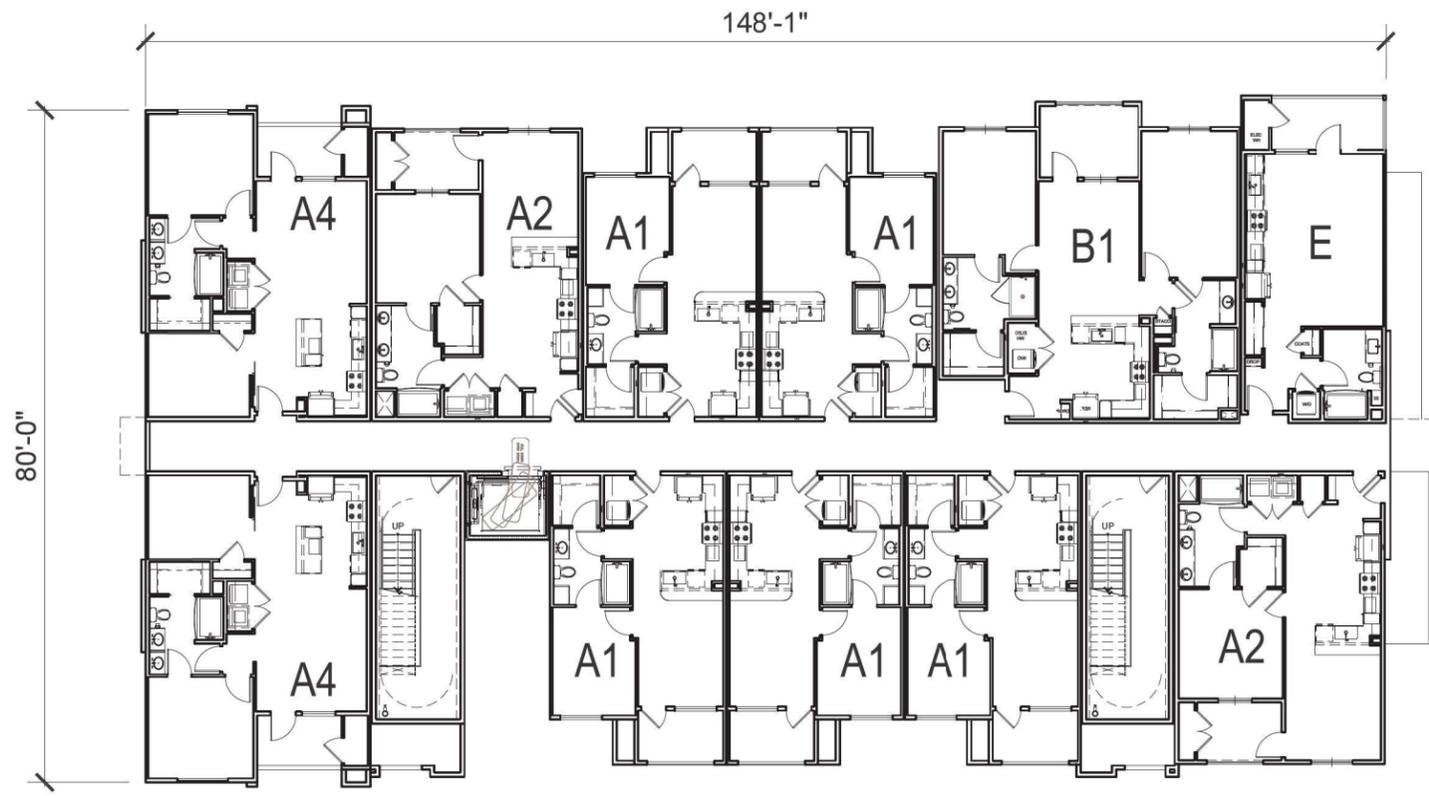
MESA, AZ

BUILDING D - FLOOR PLANS

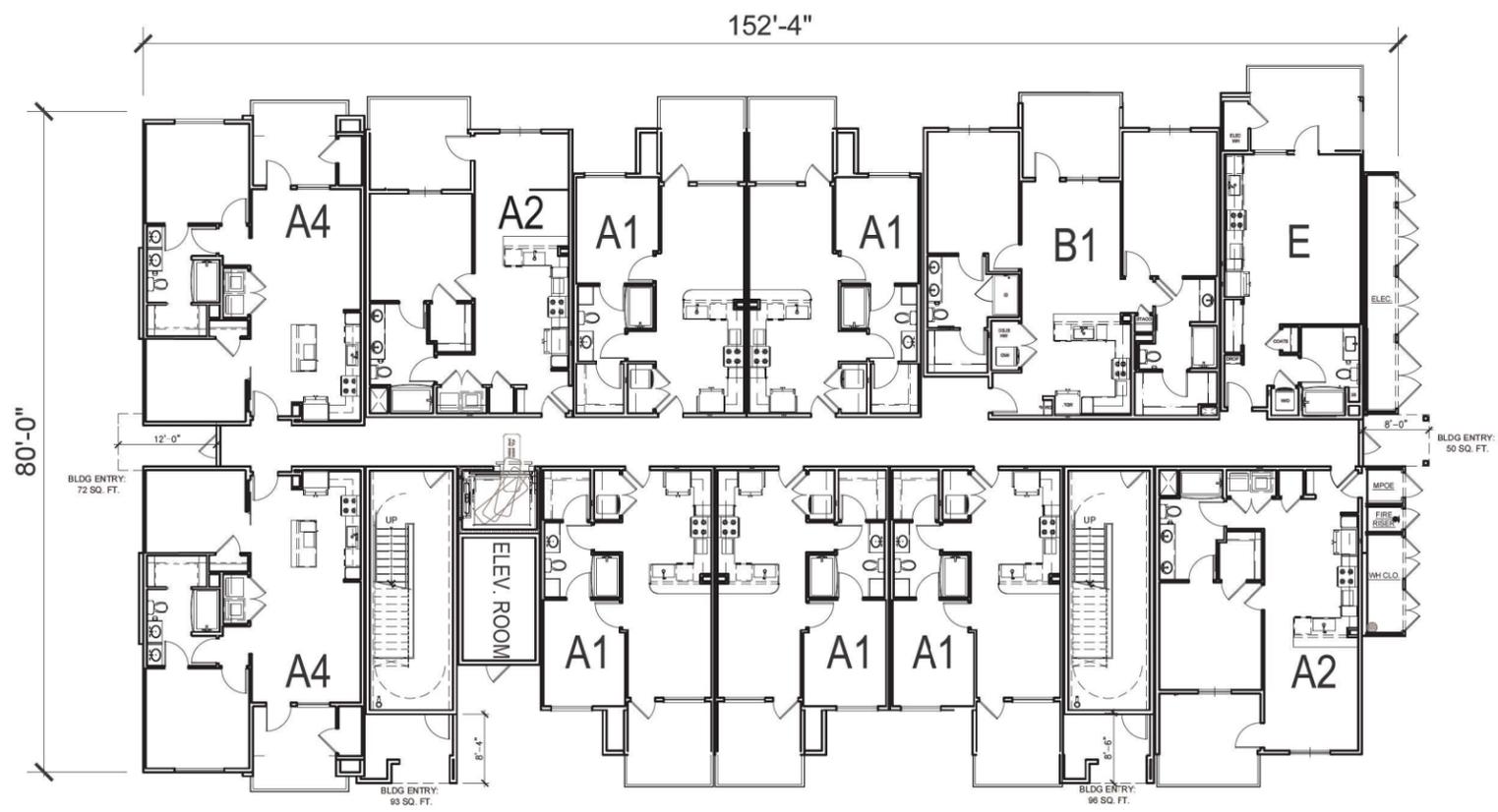


A16

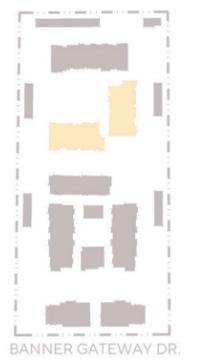
JOB NO. 2021-0179
DATE 10-21-2024



LEVEL 2 & 4



LEVEL 1



BANNER GATEWAY RESIDENCES

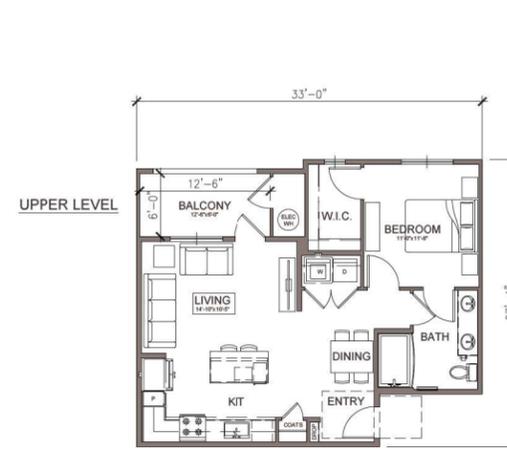
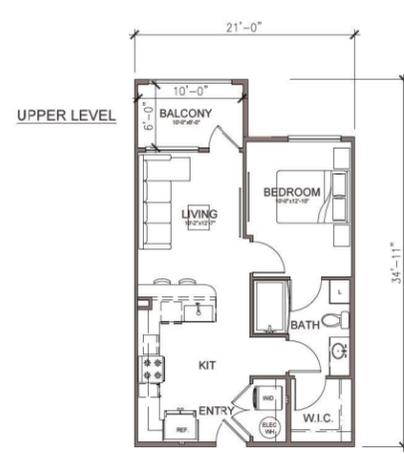
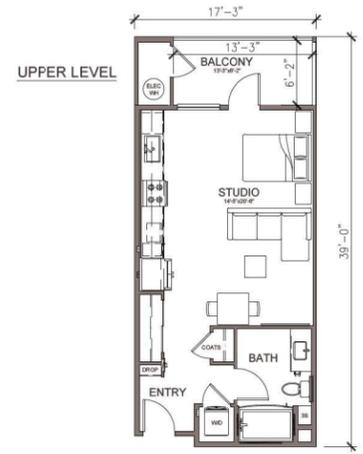
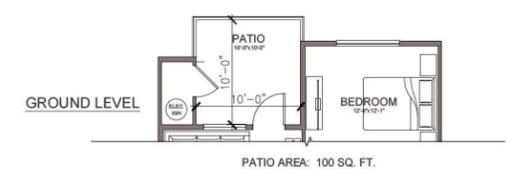
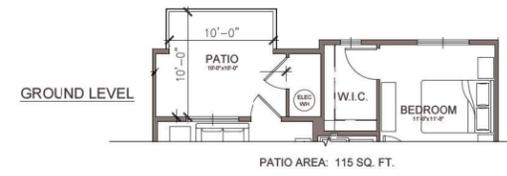
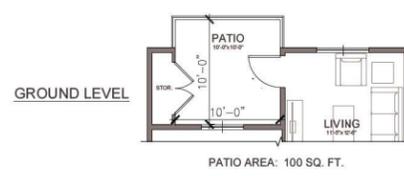
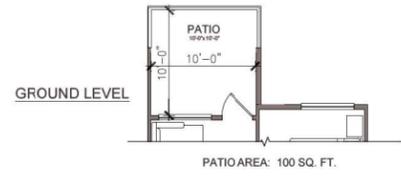
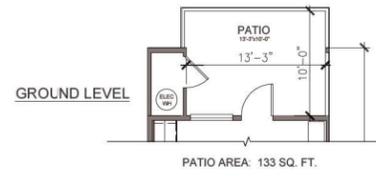
MESA, AZ

BUILDING E - FLOOR PLANS



A19

JOB NO. 2021-0179
DATE 10-21-2024



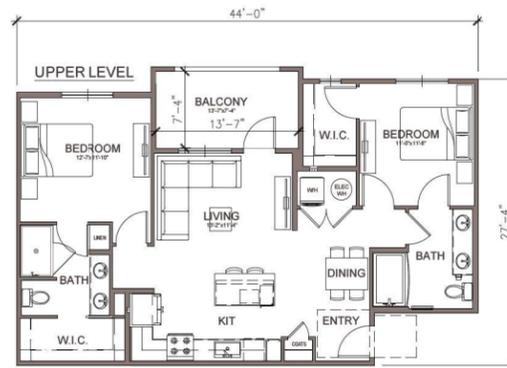
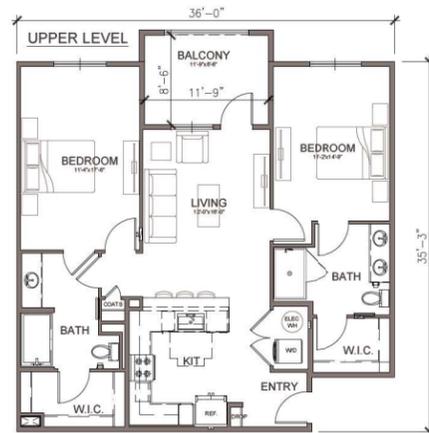
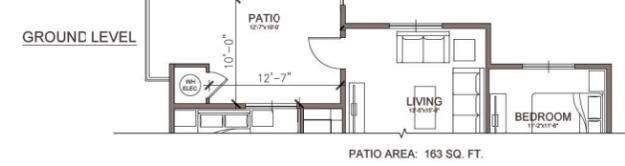
UNIT E - ANSI A: STUDIO
LIVABLE AREA: 555 SQ. FT.
BALCONY AREA: 60 SQ. FT.

UNIT A1 - ANSI B: 1BR / 1BA
LIVABLE AREA: 609 SQ. FT.
BALCONY AREA: 61 SQ. FT.

UNIT A2 - ANSI A (ALT 2): 1BR / 1BA
LIVABLE AREA: 778 SQ. FT.
BALCONY AREA: 69 SQ. FT.

UNIT A3 - ANSI B: 1BR / 1BA
LIVABLE AREA: 735 SQ. FT.
BALCONY AREA: 75 SQ. FT.

UNIT A4 - ANSI B: 1BR / 1BA / DEN
LIVABLE AREA: 888 SQ. FT.
BALCONY AREA: 60 SQ. FT.



UNIT B1 - ANSI A: 2BR / 2BA
LIVABLE AREA: 1157 SQ. FT.
BALCONY AREA: 100 SQ. FT.

UNIT B2 - ANSI B: 2BR / 2BA
LIVABLE AREA: 1045 SQ. FT.
BALCONY AREA: 100 SQ. FT.

UNIT C1 - ANSI A: 3BR / 2BA
LIVABLE AREA: 1415 SQ. FT.
BALCONY AREA: 129 SQ. FT.



BANNER GATEWAY RESIDENCES

MESA, AZ

UNIT PLANS



A22

JOB NO. 2021-0179
DATE 10-21-2024



FRONT

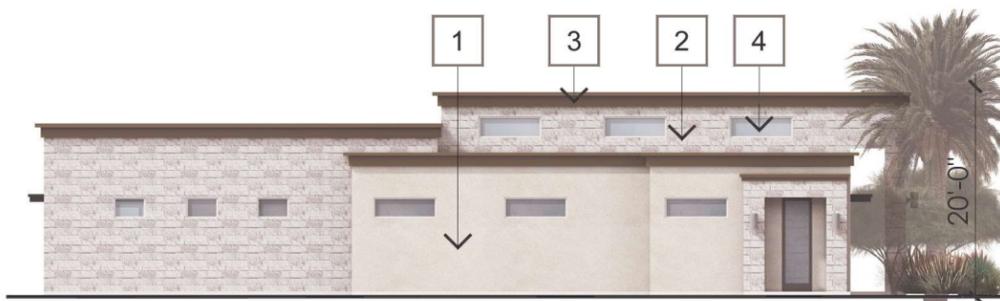
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 CORNICE CAP
- 4 VINYL WINDOWS
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM
- 6 ARCHITECTURAL OVERHANG

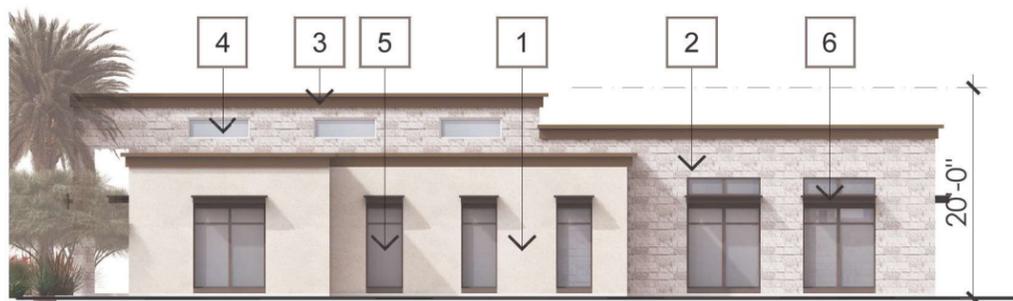
FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



REAR

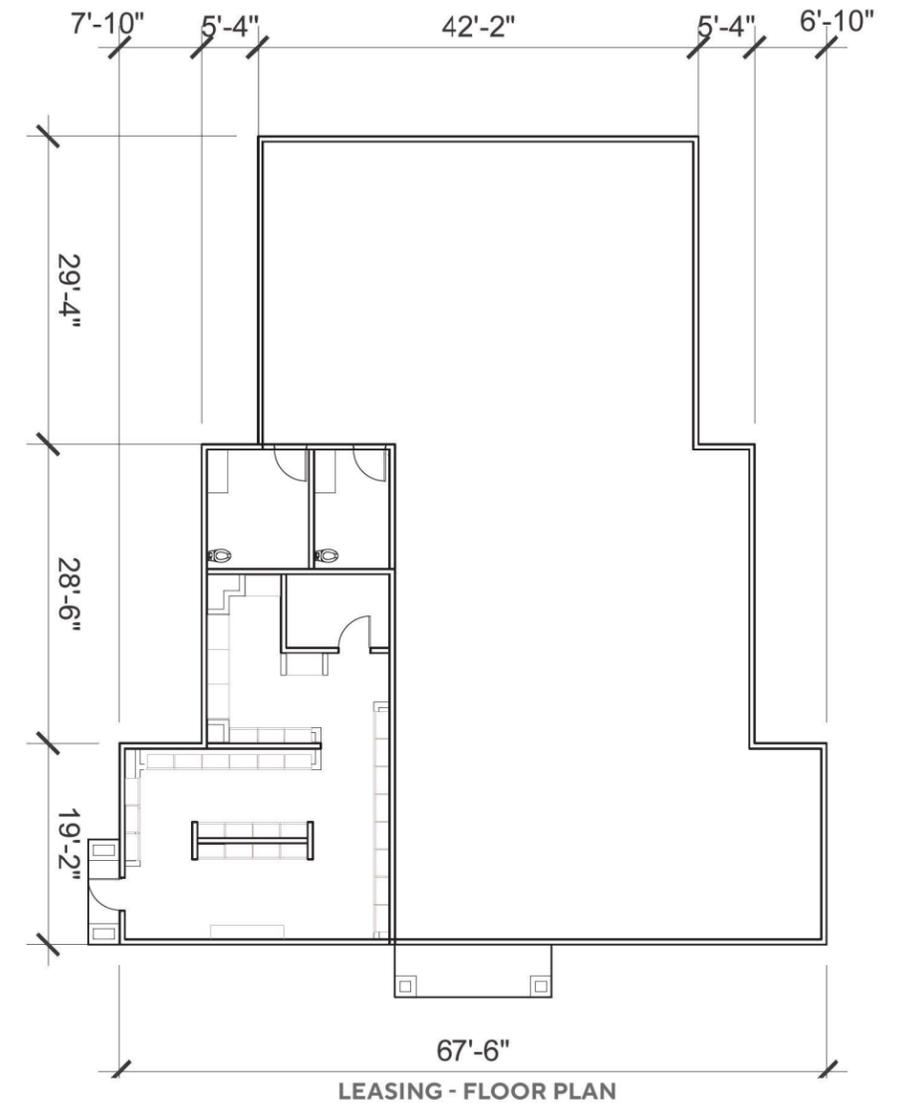


LEFT



RIGHT

LEASING		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	75%	25%
REAR	75%	25%
LEFT	72%	28%
RIGHT	67%	33%



BANNER GATEWAY RESIDENCES

MESA, AZ

LEASING - ELEVATIONS & FLOOR PLANS



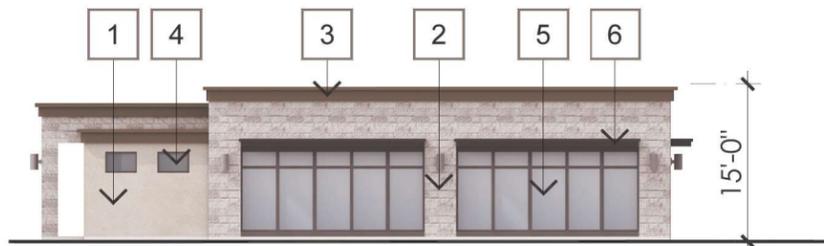
A24

JOB NO. 2021-0179
DATE 10-21-2024

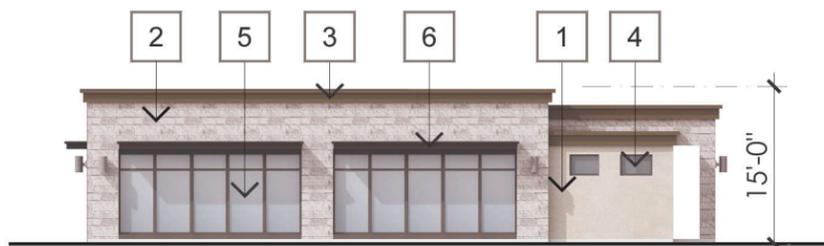
MATERIAL / COLOR LEGEND

- 1 EXTERIOR STUCCO
- 2 STONE VENEER
- 3 CORNICE CAP
- 4 VINYL WINDOWS
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM
- 6 ARCHITECTURAL OVERHANG

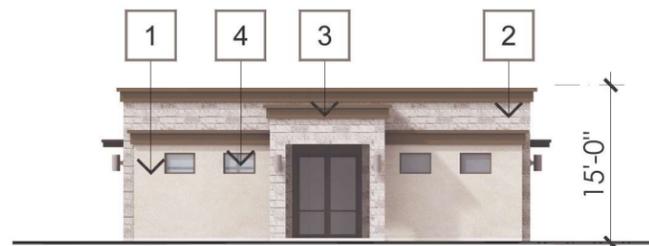
FOR FURTHER INFORMATION, REFER TO THE COLOR AND MATERIAL BOARD



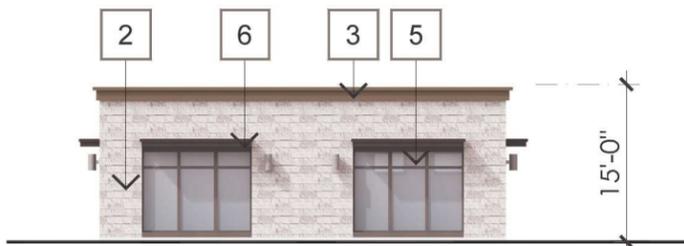
RIGHT



LEFT

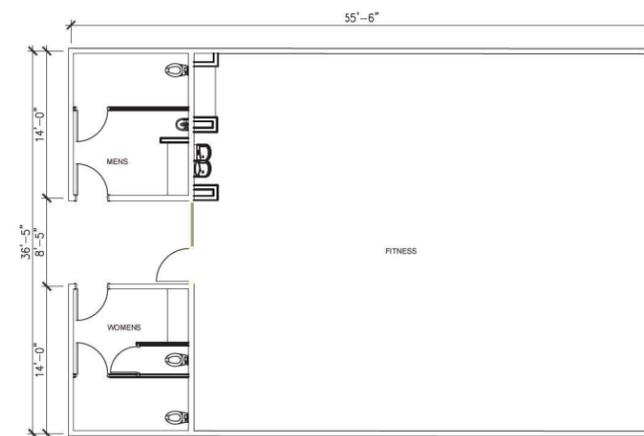


FRONT



REAR

FITNESS		
	STANDARD MATERIALS (INCLUDES STUCCO, PLASTER, WINDOWS AND OPENINGS)	ENHANCED MATERIAL (STONE VENEER)
FRONT	75%	25%
REAR	48%	52%
LEFT	68%	32%
RIGHT	68%	32%



FITNESS - FLOOR PLAN



BANNER GATEWAY RESIDENCES

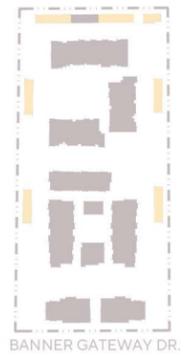
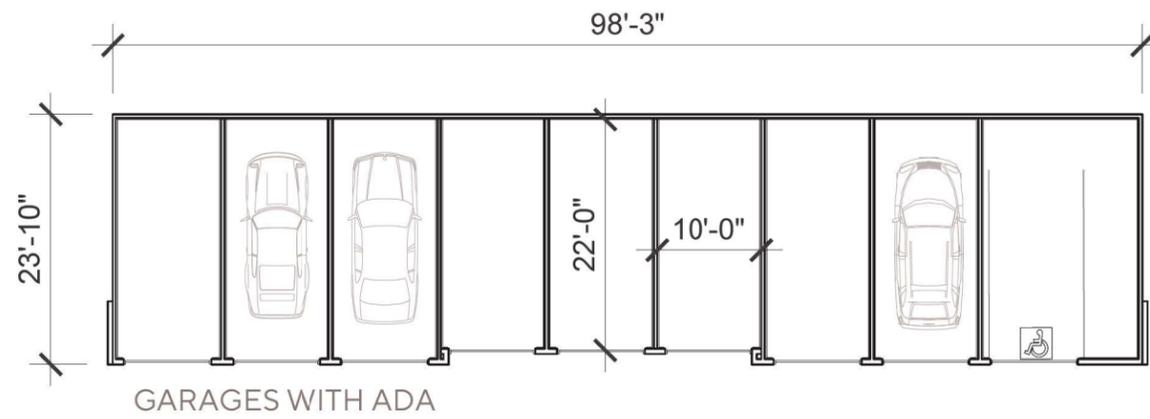
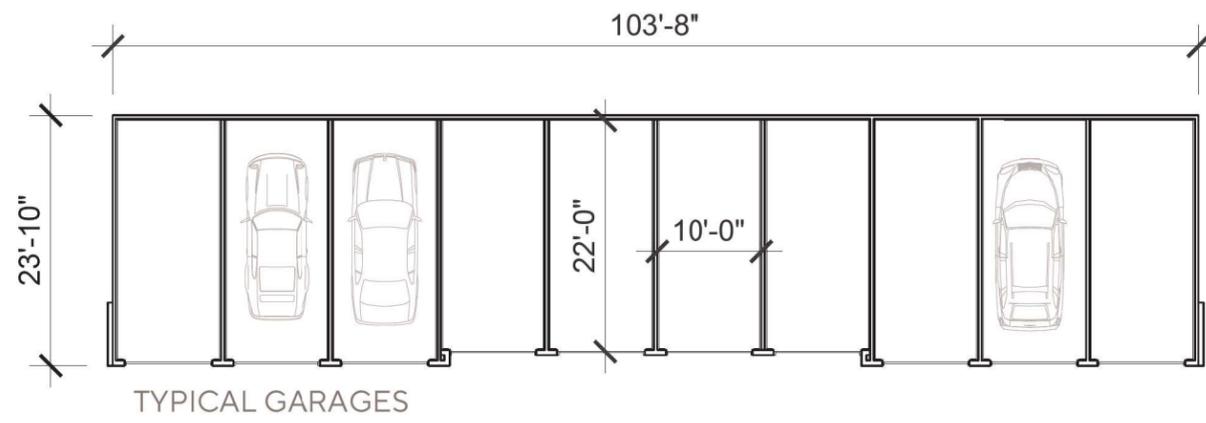
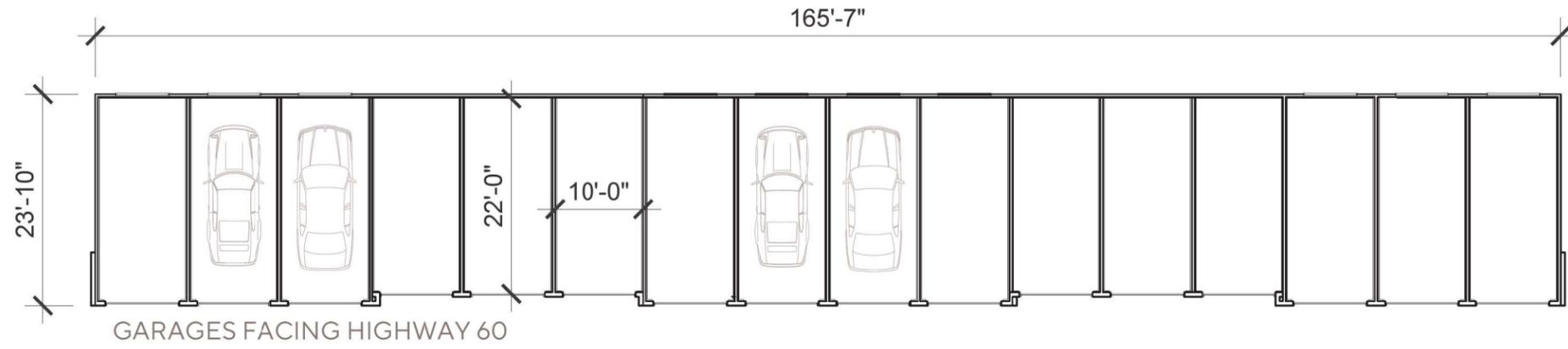
MESA, AZ

FITNESS - ELEVATIONS & FLOOR PLAN



A25

JOB NO. 2021-0179
DATE 10-21-2024



BANNER GATEWAY RESIDENCES

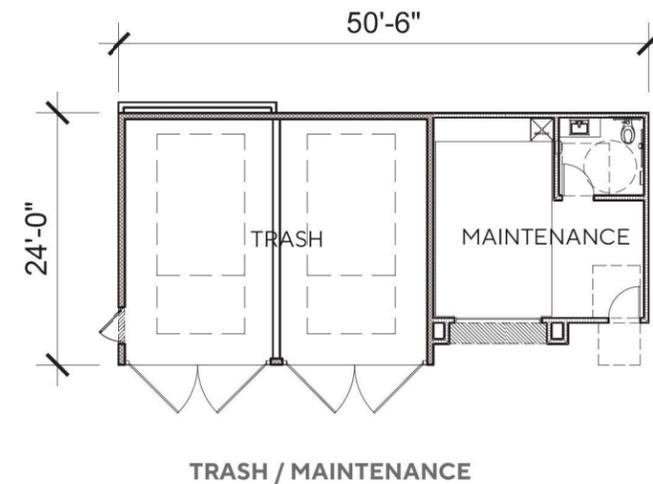
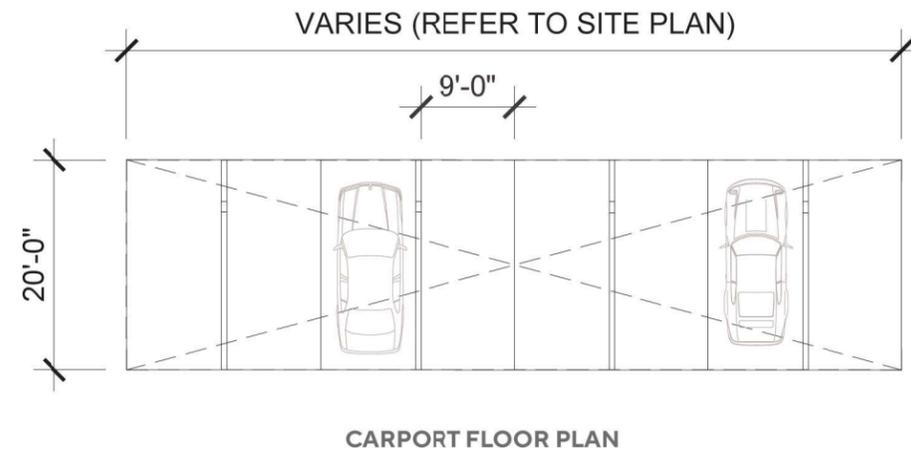
MESA, AZ

GARAGE FLOOR PLANS



A26

JOB NO. 2021-0179
DATE 10-21-2024



TRASH SUMMARY						
SOLID WASTE						
UNITS	C.Y. PER UNIT	TOTAL C.Y.	COMPACTION RATIO	COMPACTED TRASH (C.Y.)	# PICK-UPS/WK	TOTAL COMPACTED TRASH PER PICK UP (C.Y.)
260	0.5	130	3	43.33	2	22
RECYCLING						
UNITS	C.Y. PER UNIT	TOTAL C.Y.	COMPACTION RATIO	TRASH (C.Y.)	# PICK-UPS/WK	TOTAL COMPACTED TRASH PER PICK UP (C.Y.)
260	0.5	130	3	43.33	2	22

NOTE: The trash and recycling are managed through a third party valet service where trash and recycling are collected throughout the residences and will be compacted in the trash enclosure. The Compact ratio is 3:1 and the pick up is twice a week.

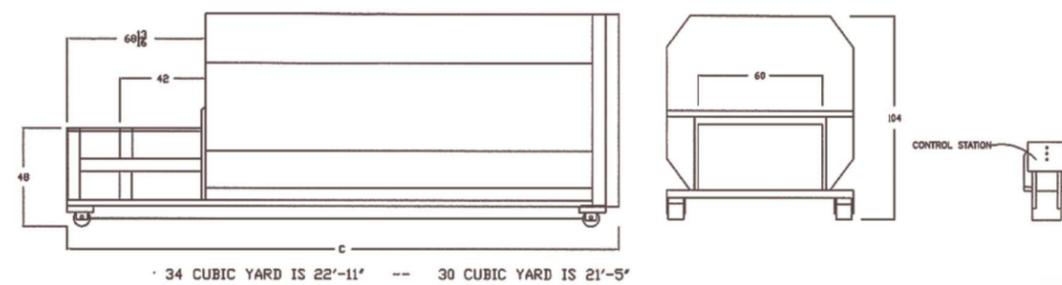


EXHIBIT 8



BUILDING E
REAR ELEVATION

LEASING BUILDING
FRONT ELEVATION



1. PAINTED STUCCO 20/30
FINISH



2. STONE VENEER
SPLIT LIMESTONE
WHITE



3. VINYL WINDOWS
WHITE



4. ALUMINUM STOREFRONT
TO MATCH PAINT SPEC E
OR EQUIVALENT



5. METAL RAILING & STAIRS
TO MATCH PAINT SPEC D



6. AWNINGS
TO MATCH PAINT SPEC C



7. METAL AWNING
TO MATCH PAINT SPEC D



8. ARCHITECTURAL
OVERHANG
TO MATCH PAINT SPEC D



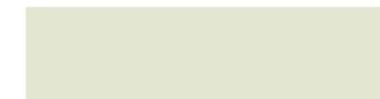
9. ARCHITECTURAL TRIMS
TO MATCH PAINT SPEC E



10. DECORATIVE TRIM BANDS
TO MATCH PAINT SPEC C



11. CORNICE CAPS
TO MATCH PAINT SPEC C



A. SW 7011 NATURAL CHOICE



B. SW 7024 FUNCTIONAL GRAY



C. SW 7034 STATUS BRONZE



D. SW 6258 TRICORN BLACK



E. SW 7069 IRON ORE



OAKDALE
COMMUNITIES

BANNER GATEWAY RESIDENCES

MESA, AZ

COLOR & MATERIAL BOARD



A34

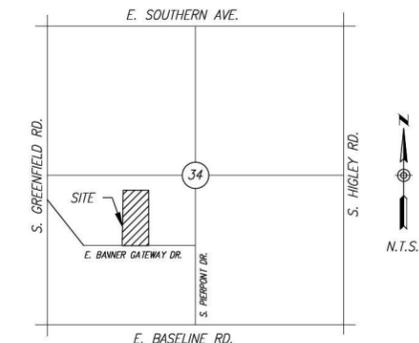
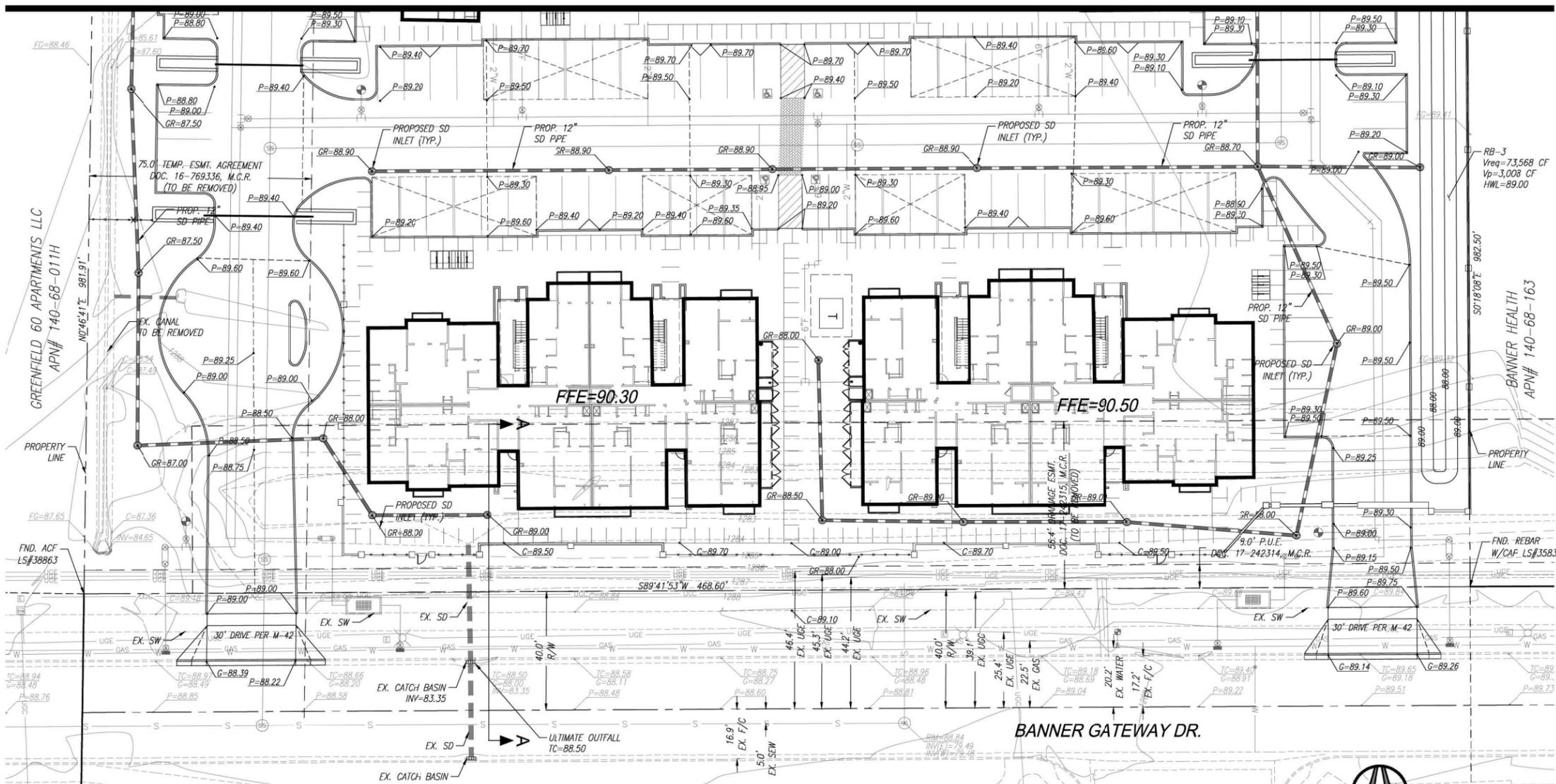
JOB NO. 2021-0179
DATE 10-21-2024

EXHIBIT 9

PRELIMINARY GRADING AND DRAINAGE PLAN FOR BANNER GATEWAY APARTMENTS

A PORTION OF THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 1 NORTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA

MATCH SHEET PGD-02



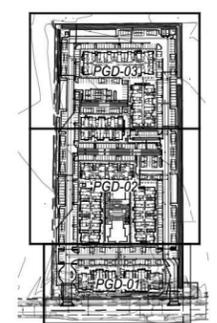
VICINITY MAP
T1N, R6E, SEC 34

CIVIL ENGINEER
HUBBARD ENGINEERING
1201 S. ALMA SCHOOL RD. SUITE #12000
MESA, AZ 85210
PHONE: (480) 892-3313
CONTACT: SHAWN HANRAHAN

SURVEY
HUBBARD ENGINEERING
1201 S. ALMA SCHOOL SUITE #12000
MESA, AZ 85210
PHONE: (480) 892-3313
FAX: (480) 892-7051
CONTACT: ADRIAN BURCHAM, PLS

ARCHITECT
AO ARCHITECTS
144 NORTH ORANGE ST.
ORANGE, CA 92666
CONTACT: SERAFIN MARANAN
TEL: (714) 639-9860

OWNER
OAKDALE REALTY LUXURY LIVING
5773 WOODWAY DRIVE #415
HOUSTON, TEXAS 77057



KEY MAP

DRAINAGE CALCULATIONS

REQUIRED VOLUME POST-DEVELOPMENT
V = REQUIRED RETENTION VOLUME, C.F.
F = RAINFALL DEPTH 2.2 IN. (100YR-2HR)
A = TOTAL AREA, 415,126 S.F.
C = RETENTION COEFFICIENT, 0.85 (MULTIFAMILY)
V = (2.2 IN. / 12) * .85 * 415,126 S.F.
= 64,690 C.F.

DRYWELL NOTE:

ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNERS WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A 36-HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL

PARCEL ACREAGE

415,126 SF. OR 9.53 NET AC.

CUT/FILL

CUT = 6,375 CY
FILL = 18,128 CY

SHEET INDEX

PGD-01 PRELIM. GRADING AND DRAINAGE PLAN
PGD-02 PRELIM. GRADING AND DRAINAGE PLAN
PGD-03 PRELIM. GRADING AND DRAINAGE PLAN

BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 34 TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS SOUTH 89 DEGREES 41 MINUTES 53 SECONDS WEST

BENCHMARK

PLAN ELEVATIONS ARE BASED ON THE CITY OF MESA BENCHMARK LOCATED AT 48TH AND BASELINE. DESCRIBED AS "BRASS TAG T.C. W ENTRANCE 4850 E. BASELINE" ELEVATION = 11288.99 (NGVD-29)

EX. OFF-SITE RETENTION

EX. VOLUME=13,587 CF

RETENTION PROVIDED

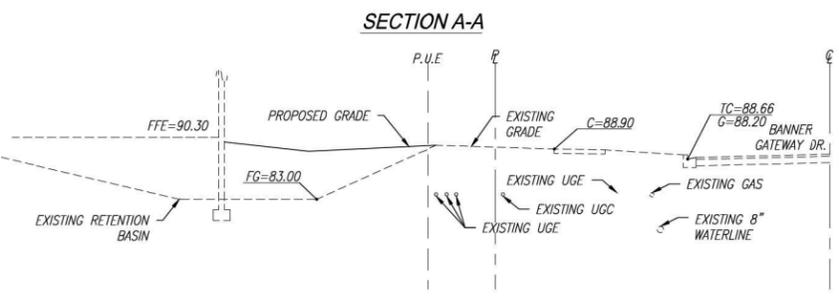
1,030 LF. OF 10' CMP
VP = 80,896 CF
VR = 78,277 CF
(MUST EXCEED EX. VOLUME)

DRYWELLS REQUIRED

0.10 CFS PERCOLATION RATE
12,960 CF/36 HOURS
78,277 CF/12,960 CF/36 HRS
6 DRYWELLS REQUIRED

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	PANEL DATE (EFT/REV)	FIRM INDEX DATE	FIRM ZONE	BASE FLOOD ELEVATION OR FLOOD DEPTH
040048	2288	M	NOVEMBER 4, 2015	NOVEMBER 4, 2015	X	N/A



LEGEND

- DRYWELL
- PROPOSED HDPE STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- FIRE HYDRANT
- DRAINAGE FLOW DIRECTION
- GRADE BREAK
- PROPOSED ELEVATIONS
- EXISTING ELEVATIONS
- CONCRETE CURB (AND GUTTER)
- PROPOSED SMH
- PROPOSED 24" SD INLET
- PROPOSED TYPE 'F' SD INLET
- PROPOSED 2" WATER METER
- EXISTING GAS
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING UNDERGROUND ELEC.
- EXISTING STORM DRAIN
- EXISTING BACKFLOW PREVENTOR
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER MANHOLE



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1201 S. Alma School Rd.
Suite 12000
Mesa, AZ 85210
Ph: 480.892.3313
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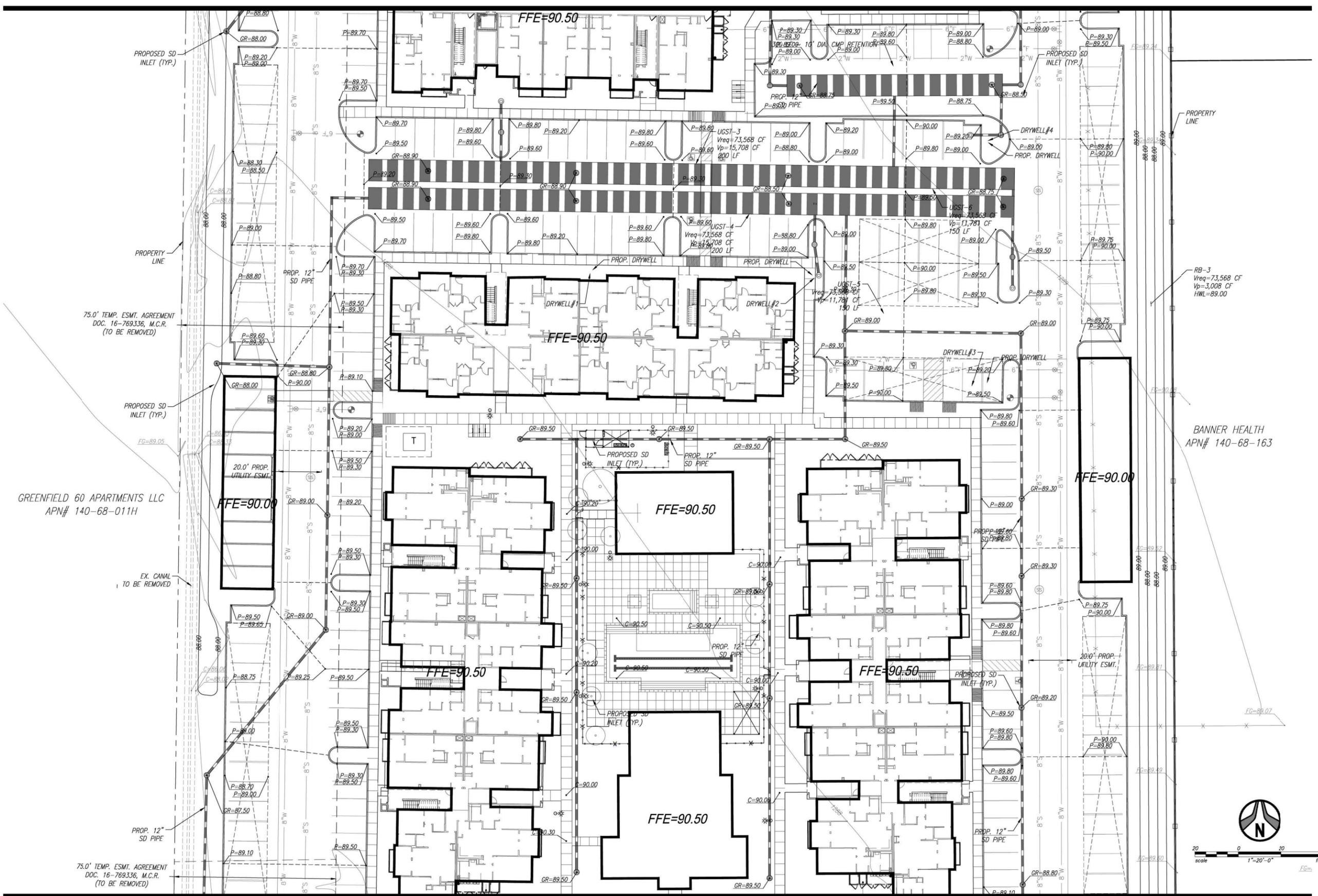
**PRELIMINARY GRADING AND DRAINAGE PLANS
BANNER GATEWAY APARTMENTS**
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 34,
TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA

Date: 10/19/2024
Project No.: 21114
Project Eng.: M. WOLF
Project Mgr.: S. HANRAHAN

811
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1.800.STAKE.IT
602.263.1100

SHT: 01 OF 03
PGD-01

MATCH SHEET PGD-03



MATCH SHEET PGD-01

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PRELIMINARY GRADING AND DRAINAGE PLANS
BANNER GATEWAY APARTMENTS
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 34,
TOWNSHIP 4 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA

Date
10/19/2024

Project No.
21114

Project Eng.
M. WOLF

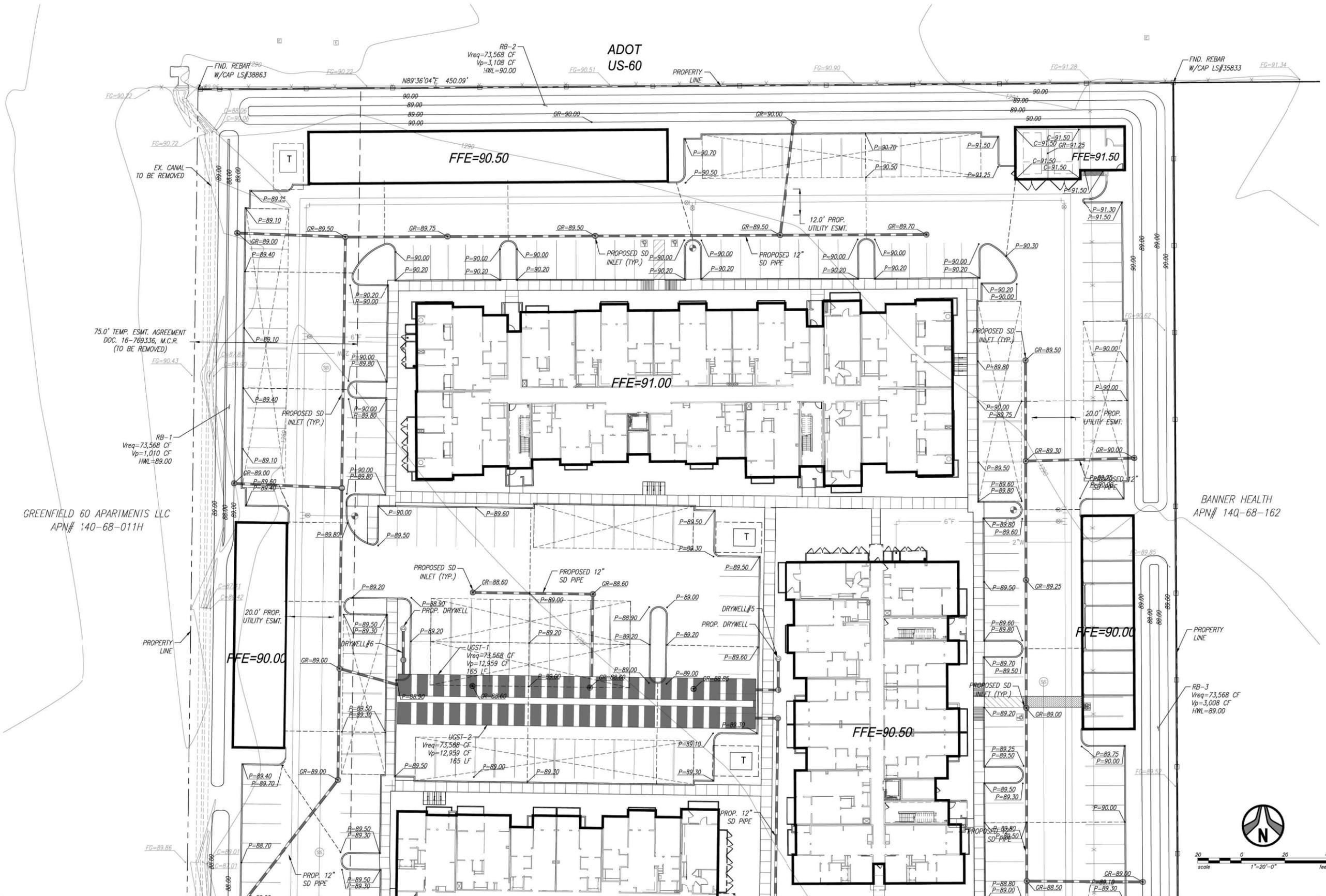
Project Mgr.
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PGD-02

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HUBBARD ENGINEERING

PRELIMINARY GRADING AND DRAINAGE PLANS
BANNER GATEWAY APARTMENTS
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 34,
TOWNSHIP 4 NORTH, RANGE 6 EAST OF THE GILA AND GALL RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA

Date	10/19/2024	Project Eng.	M. WOLF
Project No.	21114	Project Mgr.	S. HANRAHAN

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