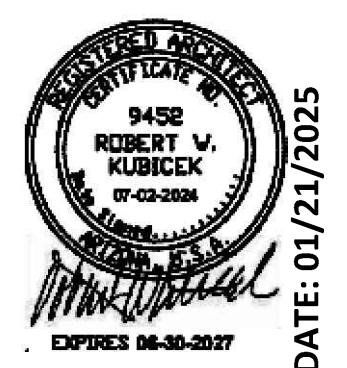
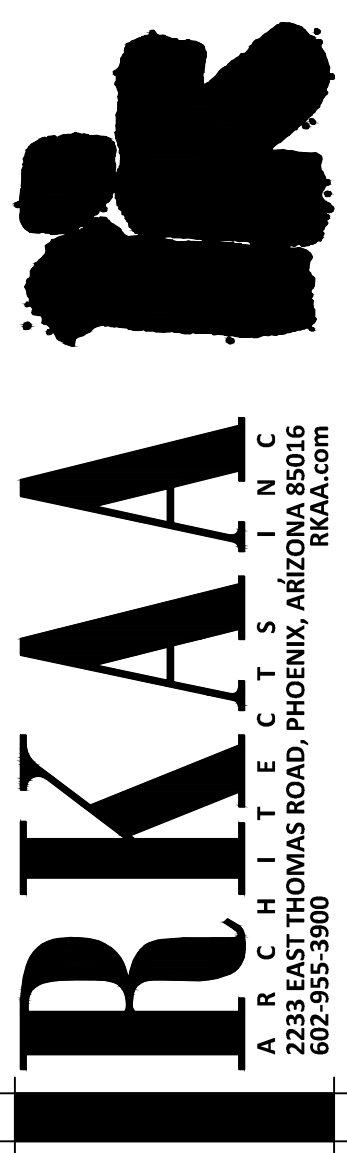


- ### KEYNOTES #
1. EXISTING COLUMNS TO REMAIN
 2. EXISTING STOREFRONT DOOR TO REMAIN
 3. EXISTING CONCRETE PAD TO REMAIN
 4. EXISTING ROOF STAIRS TO REMAIN
 5. NEW SMALL BUILDING ADDITION FOR RECESSED LOADING DOCK
 6. NOT USED
 7. NOT USED
 8. NEW COVERED ENTRY WITH TOWER, REFER TO SHEET 2/A4.0.
 9. NEW DEMISING WALL
 10. NEW ENTRY DOOR
 11. NEW GLAZING
 12. NEW PILASTER COLUMN, REFER TO SHEET 2/A4.0.
 13. NEW CMU PLANTER WITH TRELIS, REFER TO SHEET 1,2/A8.0.
 14. NEW EXIT DOOR WITH PANIC HARDWARE
 15. NEW CANOPY/ AWNING

- ### LEGEND:
- # INDICATES: KEY NOTES
 - EXISTING LOAD BEARING WALL TO REMAIN
 - EXISTING EXTERIOR CMU WALL TO REMAIN
 - EXISTING WALL TO REMAIN
 - NEW WALL

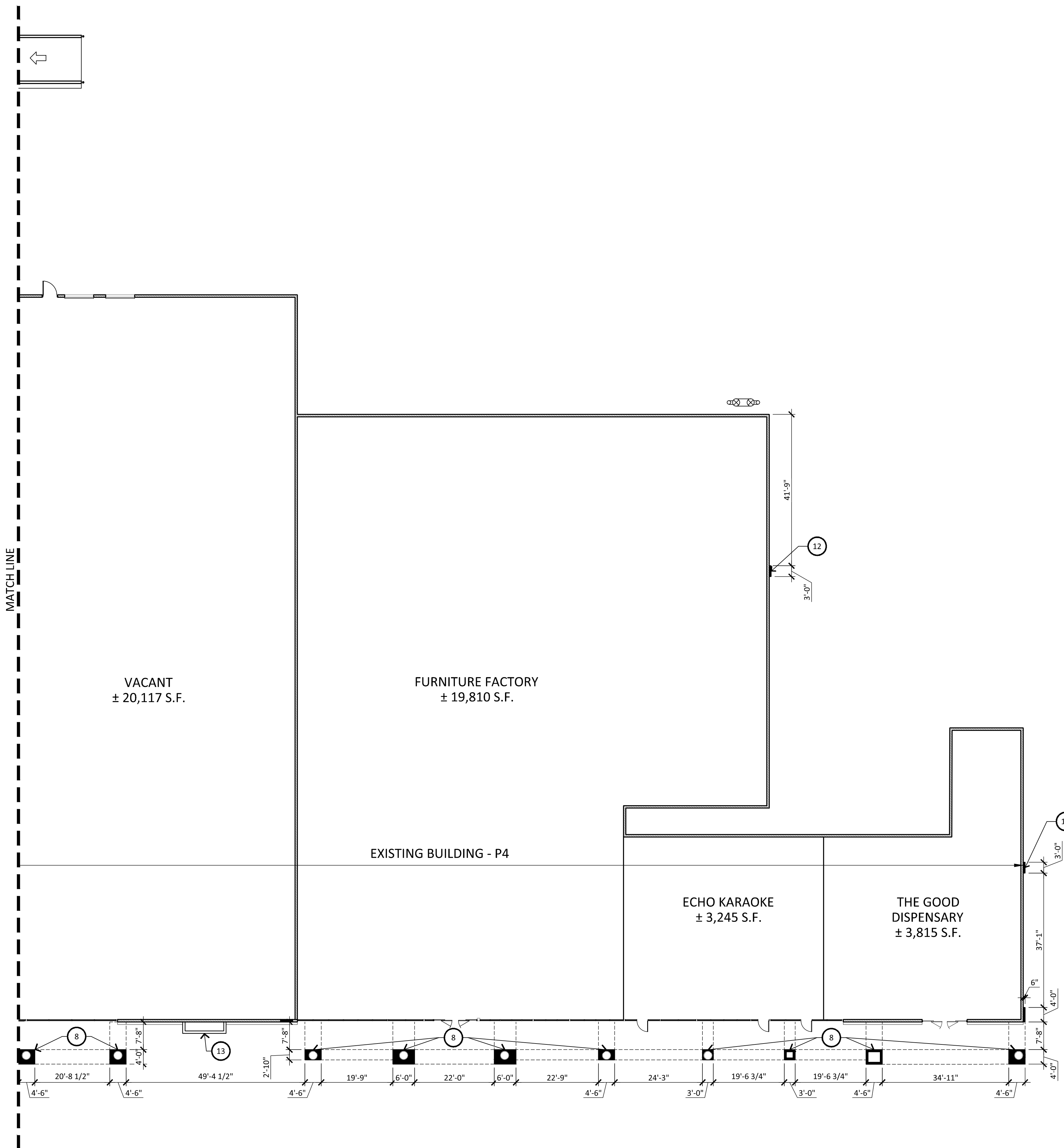


DATE: 01/21/2025
 FLOOR PLAN
 NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE: THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON THE 15th OF THE MONTH FOLLOWING THE BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR ARCHITECT'S ASSISTANT. IRKKA ARCHITECTS, 2333 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016. CONTACT: ANDREW BLATTEN, 8.ANDREW@IRKKA.COM

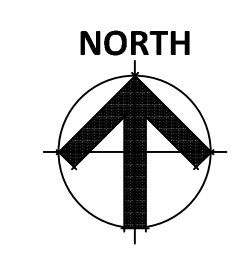
1 FLOOR PLAN
 SCALE: 1/16" = 1'-0"

AZ INTERNATIONAL MARKETPLACE
 NEC OF BROADWAY AND DOBSON ROAD
 1920 W BROADWAY ROAD
 MESA, AZ 85202
ADMINISTRATIVE DESIGN REVIEW

design by: RH
 drawn by: KP
 checked by: RH
A1.0
 project #: 24165



1 FLOOR PLAN
SCALE: 1/16" = 1'-0"



KEYNOTES #

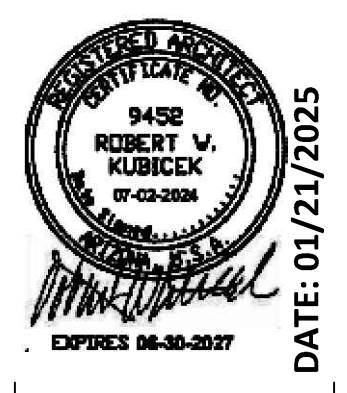
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LEGEND:

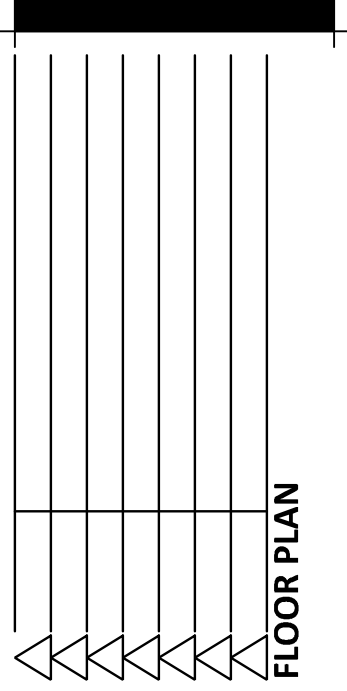
- # INDICATES: KEY NOTES
- ===== EXISTING LOAD BEARING WALL TO REMAIN
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- ===== EXISTING WALL TO REMAIN
- ===== NEW WALL



RK
ARCHITECTS
2333 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900



DATE: 01/21/2025



NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE: THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT WITHOUT RECEIVING A WRITTEN DESCRIPTION OF WORK PERFORMED AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH CYCLES BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT. NAME: BRUNNEN, INC. 1115 BIRCHMOUNT GROUP, LLC ADDRESS: 66 SOUTH DESIGN ROAD #112 ROCHESTER, NY 14620 CONTACT: ANDREW BLATTEN &MIAE_ARCHITECTURE.COM

AZ INTERNATIONAL MARKETPLACE
NEC OF BROADWAY AND DOBSON ROAD
1920 W BROADWAY ROAD
MESA, AZ 85202
ADMINISTRATIVE DESIGN REVIEW

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design by: RH
drawn by: KP
checked by: RH

A1.1
project #: 24165