



SANDERS ASSOCIATES ARCHITECTS
2668 GRANT AVENUE OGDEN, UT 84401
T 801.621.7303

April 24, 2023
City of Mesa Development Services
55 N. Center Street
Mesa, AZ 85201

Project Narrative

Mountain America Federal Credit Union (MACU) is a financial institution looking to serve its members by expanding further in the City of Mesa area.

The branch building design is planned to be a 4,754 sf building footprint which includes offices and spaces for conducting financial transactions. The building design style will be Warm Modern according to the Gallery Park Design Guidelines. The drive-up canopy is planned to be 900 sf footprint. The footprint has been designed to service member's banking needs within the location area and designed to accommodate up to 16 employees to service those needs.

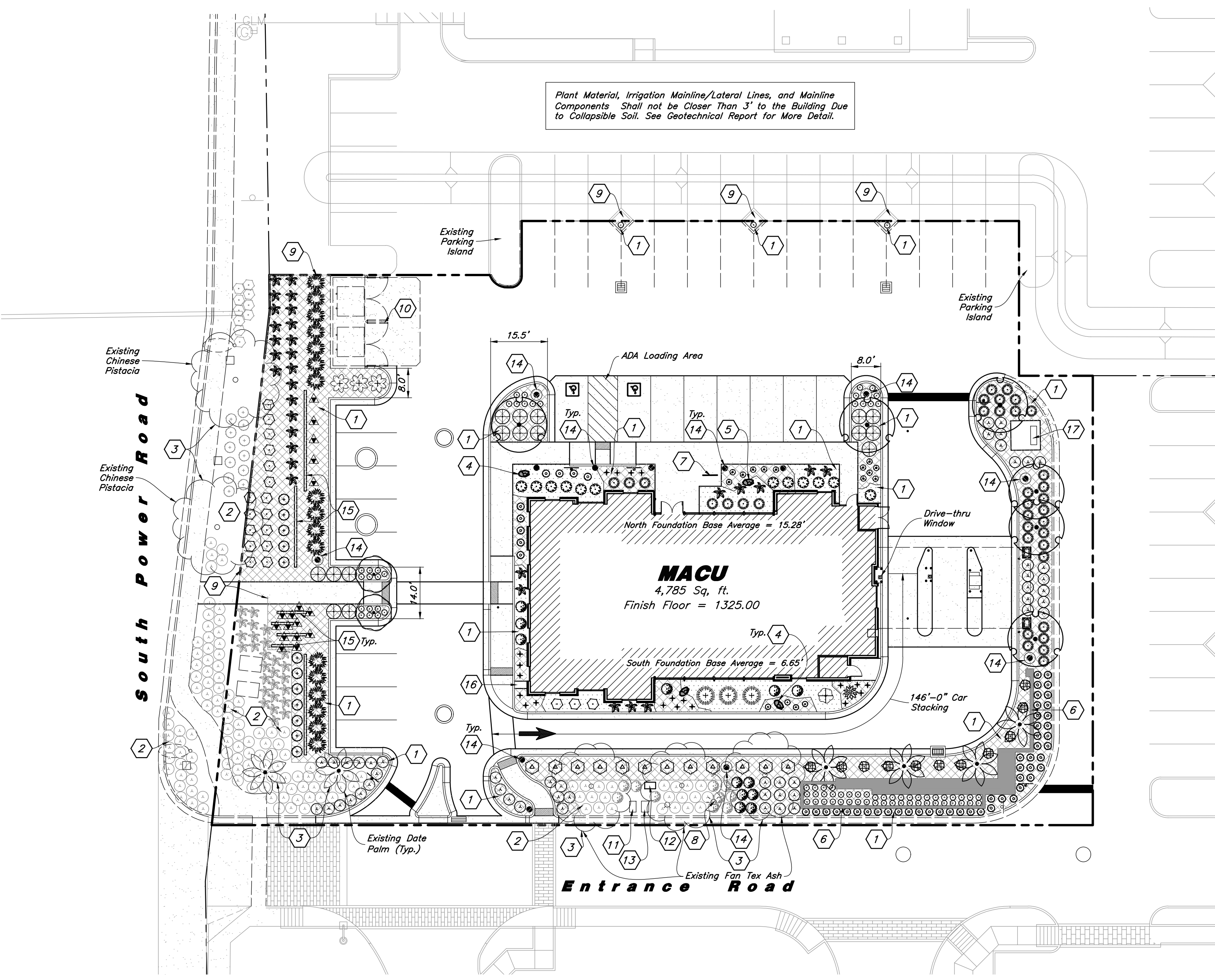
Also included will be a drive thru with two (2) dedicated drive-thru teller lanes and one (1) dedicated drive-thru ATM lane. MACU has determined through past experience that during peak times the drive-thru need will require two (2) lanes in order to meet the appropriate demand. MACU's hours of operation are 9am-6pm M-F and 9am-3pm on Saturday (closed Sunday).

MACU would like to break ground by spring 2023. Construction for typical MACU branches takes five – six months for completion.

Sincerely,

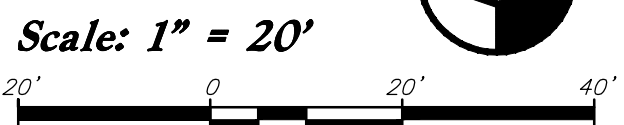
A handwritten signature in blue ink, appearing to read "M. Sanders", with a large, stylized loop at the beginning of the name.

M. Shane Sanders, AIA, NCARB
Managing/Design Principal
SANDERS ASSOCIATES ARCHITECTS



PLANT SCHEDULE (All Plant Material has been Selected From the Gallery Park Mesa Design Guidelines) (Plant Schedule Can be Used to Identify Existing Plant Material at the Perimeter of the Site)

| TREES | QTY | BOTANICAL / COMMON NAME | SIZE |
|-----------------------------|-----|---|----------------------------|
| | 6 | Olea europaea 'Wilsoni' / Wilson Olive | 24" Box; Std. Trunk |
| | 4 | Phoenix dactylifera / Date Palm | 18' Trunk Ht.; Diamond Cut |
| | 2 | Sophora secundiflora / Texas Mountain Laurel | 36" box |
| SHRUBS | | | |
| | 11 | Bougainvillea x 'La Jolla' / La Jolla Bougainvillea | 5 gal |
| | 12 | Buxus sempervirens 'Suffruticosa' / Suffruticosa Common Boxwood | 5 gal |
| | 12 | Eremophila hygrophana 'Blue Bells' / Blue Bells Emu Bush | 5 gal |
| | 19 | Hesperaloe parviflora 'Perpa' / Brakelights Red Yucca | 5 gal |
| | 12 | Leucophyllum langmaniae 'Rio Bravo' / Rio Bravo Langman's Sage | 5 gal |
| | 35 | Myrtus communis 'Compacta' / Dwarf Common Myrtle | 5 gal |
| | 16 | Ruellia peninsularis / Baja Ruellia | 5 gal |
| | 17 | Tecoma stans stans 'Gold Star' / Gold Star Yellow Bells | 5 gal |
| | 12 | Tecoma x Sierra Apricot / Apricot Trumpet Bush | 5 gal |
| | 3 | Tecoma x 'Orange Jubilee' / Orange Jubilee Yellow Bells | 5 gal |
| GROUNDCOVER | | | |
| | 3 | Carissa macrocarpa 'Prostrata' / Prostrate Natal Plum | 5 gal |
| | 56 | Lantana camara 'Dallas Red' / Dallas Red Lantana | 2 gal |
| | 12 | Lantana montevidensis / Purple Trailing Lantana | 2 gal |
| | 49 | Lantana x 'New Gold' / New Gold Lantana | 2 gal |
| | 78 | Wedelia trilobata / Creeping Oxeye | 2 gal |
| ORNAMENTAL GRASSES | | | |
| | 31 | Muhlenbergia dubia / Pine Muhly | 5 gal |
| VINE | | | |
| | 17 | Bougainvillea x 'Barbara Karst' / Barbara Karst Bougainvillea | 5 gal |
| SUCCULENTS / ACCENTS | | | |
| | 1 | Agave x 'Blue Flame' / Blue Flame Agave | 5 gal |
| | 1 | Dasylirion wheeleri / Desert Spoon | 5 gal |
| | 20 | Diets bicolor / Fortnight Lily | 5 gal |
| | 4 | Ruellia brittaniana 'Katie' / Katie Mexican Petunia | 5 gal |



Landscape Data
Gallery Park Mesa Design Guidelines
 Site Area = 35,891 s.f. (0.824 ac.)
 Landscape Area Current = 0 s.f.
 Retained Desert = 0 s.f.
 Revegetated Desert Percentage = 0 s.f.
 Landscape Area Proposed = 9,802 s.f. (27%)
 Landscape Coverage 75%

Landscape Notes:

- See Sheet L1.2 for Landscape Details and City of Mesa Notes.
- All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Point Source Drip Shall be Used to Irrigate Shrubs and Trees. See Irrigation Sheet L2.1 for Layout and Sheet L2.2 for Details.
- Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
- All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone. Blend New Landscape into Existing. Add New Stone to Adjacent Existing Landscape Area as Needed to Get Good Blending.
- See Civil Demolition Plan for Existing Trees and Shrubs to be Removed to Accommodate MACU Site Plan. All Existing Trees and Plants Shown on the Landscape Plan Shall be Protected in Place.
- Equipment Cannot Stay Longer Than Two Weeks on Jobsite Unless Otherwise Approved by MACU Corporate Real Estate-Facilities Team.
- From the Beginning of the Project Through the Final Walk Thru, Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
- See Landscape Notes for Details regarding Landscape Maintenance Period.
- All Trees Within 10' of Underground Utilities Shall Have Approved Root Barrier.

Landscape Keynotes

- Install Decorative Stone Over Commercial Grade Weed Barrier - See Material Schedule for Type and Size
- Existing Landscape to Remain and be Protected; Replace Landscape Damaged Due to Construction; See Plant Schedule for Existing Plant Material or Callouts on Plan
- Existing Tree to Remain and be Protected; See Plant Schedule for Existing Plant Material or Callouts on Plan
- Install Landscape Boulder (Only to be Used Adjacent to Building as Shown on Plan)
- Install Landscape Accent Boulder with Permanent Art Sculpture
- Raised Landscape Planter - See Arch. Plans for More Detail
- Bike Rack - See Arch. Plans for More Detail
- Existing Light Pole to Remain
- Blend New Landscape into Existing
- Existing Dumpster Enclosure with Plant Screening
- Existing Bldg. Fire Sprinkler Meter - See Utility Plan for More Detail
- Irrigation Connection with Irrigation Backflow Preventer; Install Between Plant Material Away From Back of Curb and Centered Between Plant Material; Enclosure Shall be Tan - See Irrigation Plans for More Detail
- Existing Bldg. Water Meter - See Utility Plan for More Detail
- New Light Pole - See Site Elect. Plan; Shift Plant Material and Trees as Needed to Provide Equal Spacing Around Light Poles
- Screen Wall - See Arch. Plans for More Detail
- Paved Scupper per Geotechnical Report
- Elect. Transformer - See Site Elect. Plan; Adjust Plants and Trees Around Transformer to Provide Adequate Access to Transformer

MATERIAL SCHEDULE

- Decorative Stone #1** - Install a Three (3) Inch Depth Over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Stone Shall be Rilled to 3" Total Depth Over 85% Compacted Subgrade; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be 1/2" Screened Decomposed Granite (Color: Sunset Gold and to Match Existing Along Roadway) From Treasure Chest Granite (480.963.1606) or Approved Equal **Detail: 4/L1.2**
- Decorative Stone #2** - Install a Six (6) Inch Depth Over Dewitt Pro5 Weed Barrier and to Cover Weed Barrier; Carefully Place Around Plant Material; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be 3-6" Granite Rip Rap (Color: Madison Gold and to Match Existing Used in the Development) From Pioneer (866.600.0652) or Approved Equal **Detail: 4/L1.2**
- Accent Boulders** - Boulders Shall be 3-4' in Diameter, Fractured and Match Proposed Stone #1 and #2; Boulders Shall be Recessed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper; Contractor Shall Coordinate with MACU on the Selection of Accent Boulder Near Entrance of Building **Detail: 5/L1.2**
Detail: 6/L1.2

General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Arizona 811 before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site furnishings, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personal injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet.
- Imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils. Remove all construction debris and foreign material.
- Provide an eight (8) inch depth of imported topsoil in all shrub areas and twelve (12) inches in parking islands.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from plant and tree pit and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil conditioner, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed. Fine ground wood mulch shall be installed in the planter well and extend up near the base of the plant. The wood mulch shall be covered with the specified stone and the remainder of the planter.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
- Upon completion of planting operations, all landscape areas with trees, shrubs, accents, succulents, and perennials, shall receive specified stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking details. Tree stakes shall be wood and ties shall be V.I.T. Cinche Ties #T32. It is the contractor's responsibility to remove tree staking after one year.
- Bury 2 inches of boulder height into soil, keeping best visual side above ground. Use care to minimize marring and scratching.
- Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance. Dead plant material shall be replaced in a timely manner. From the time the landscape contractor is notified of dead plant material, the contractor has two weeks to replace dead plant material. If plant material is not replaced by the two week time frame MACU will have plants replaced and bill the installing company.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

Designed by: LC
 Drafted by: NT
 Client Name: MACU
 23-005 LS



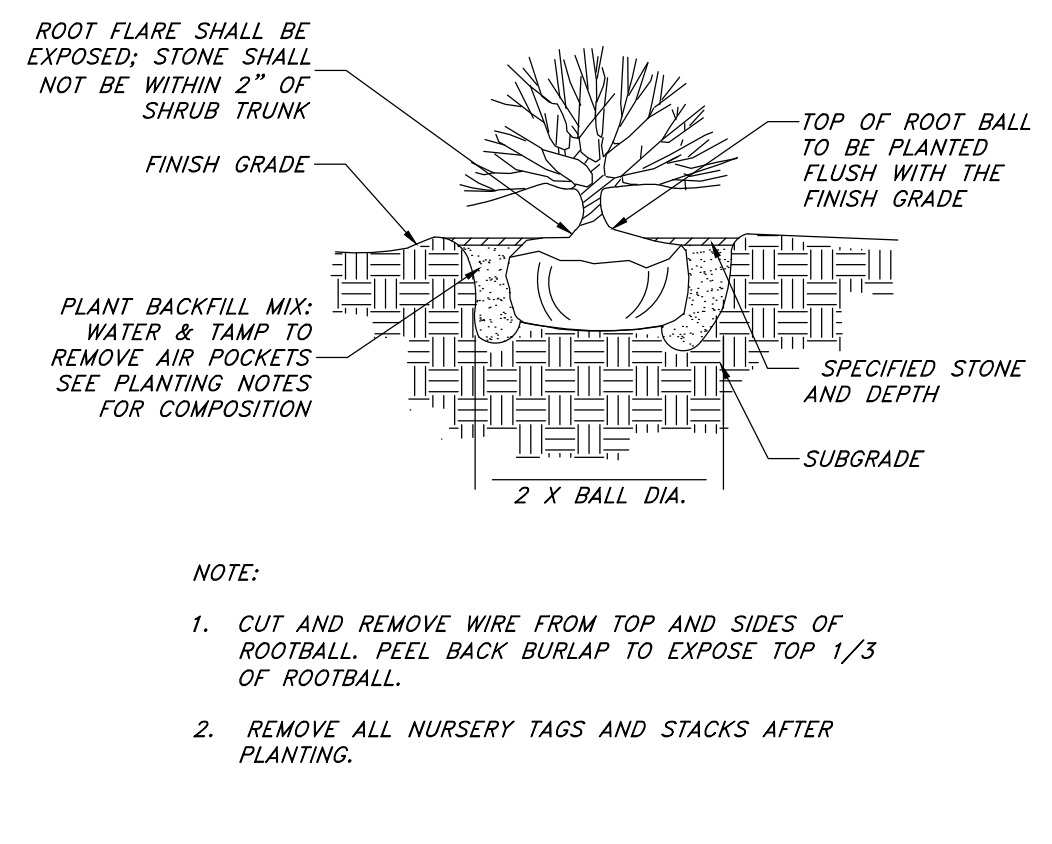
Landscape Plan
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212



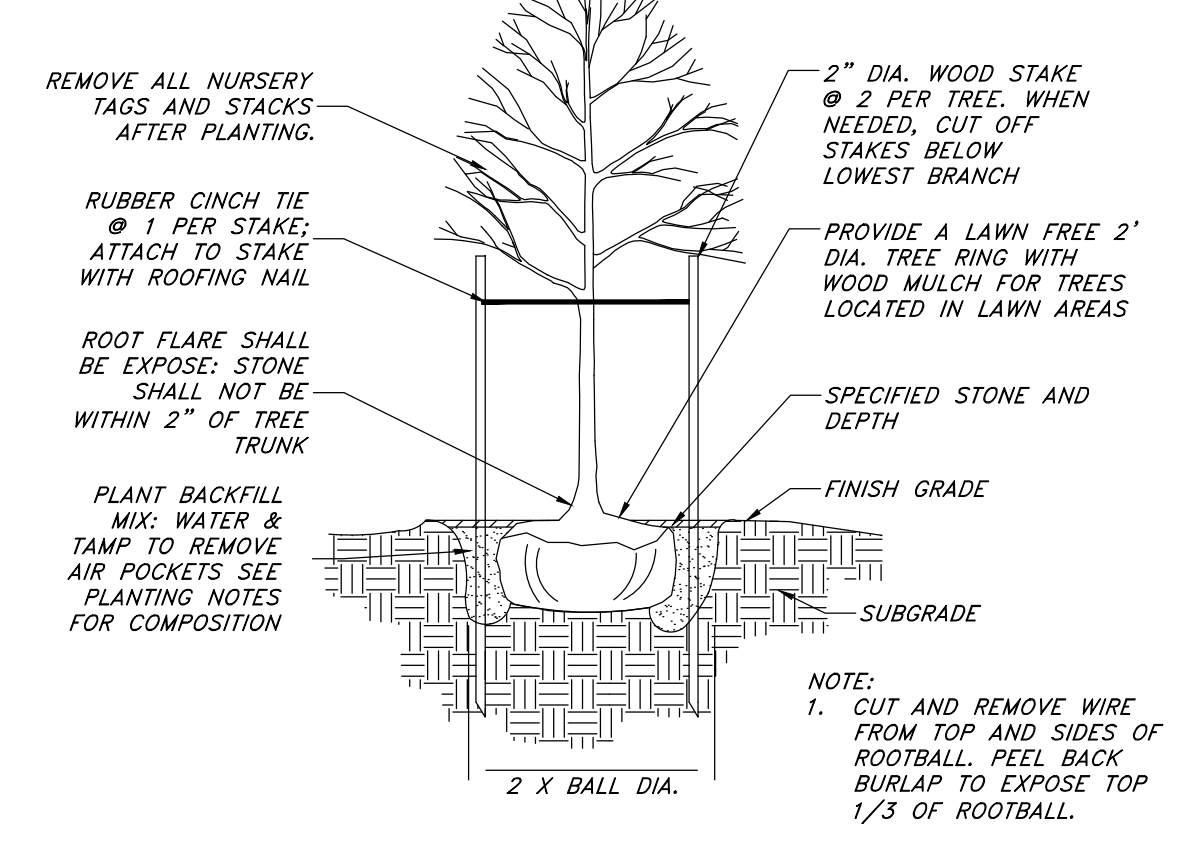
10 May, 2023

SHEET NO.
L1.1

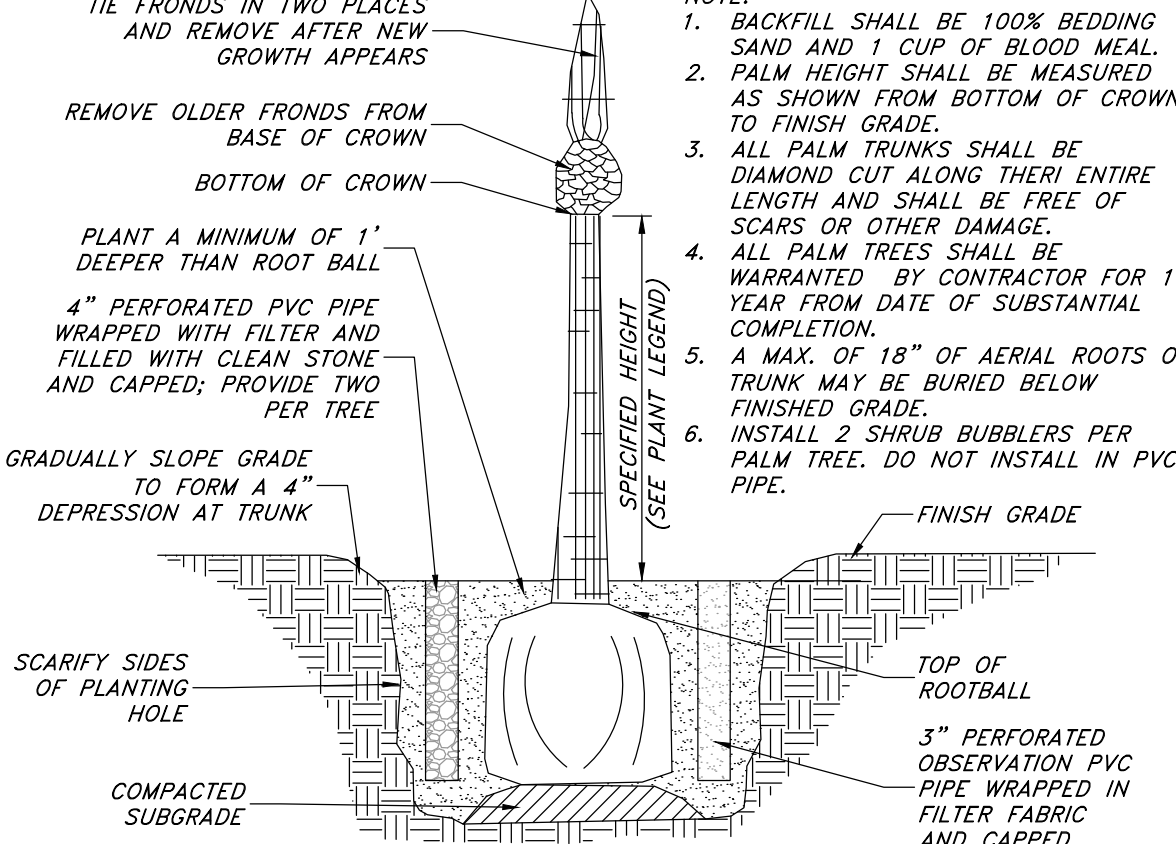




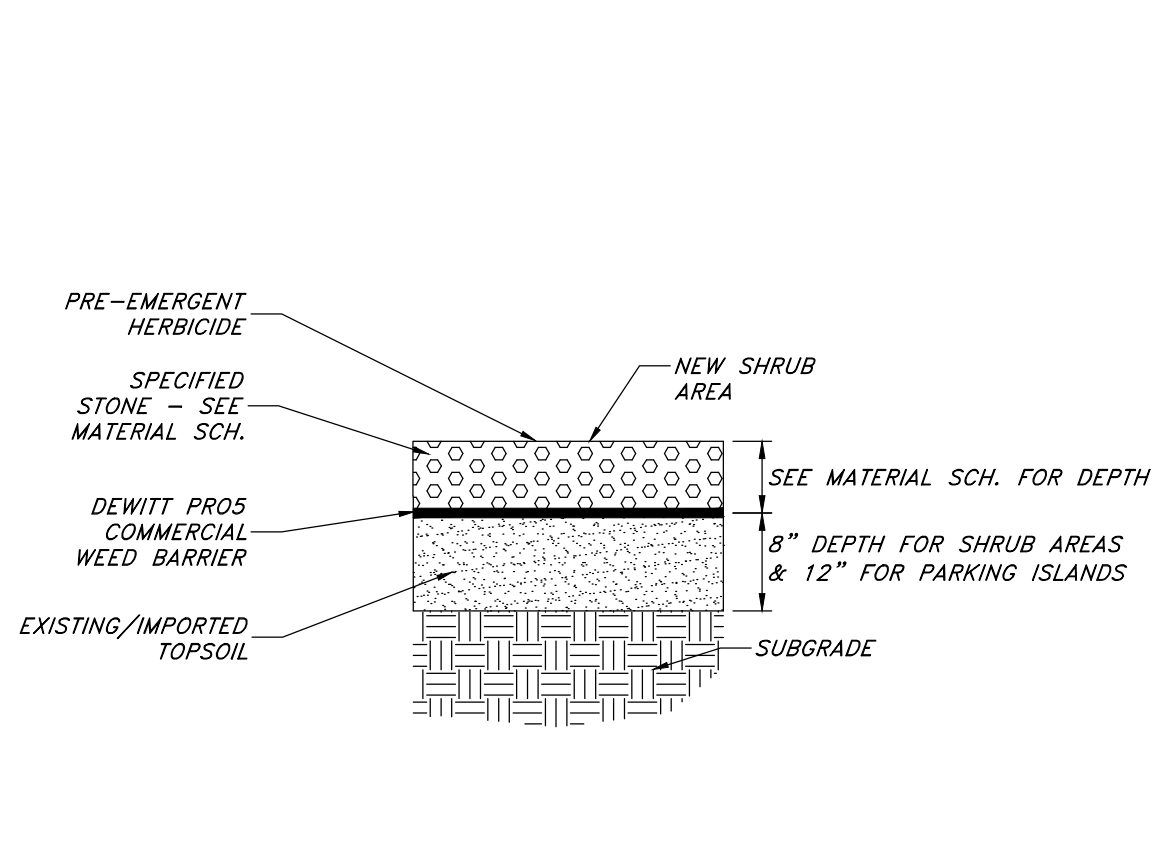
1 SHRUB PLANTING
NOT TO SCALE



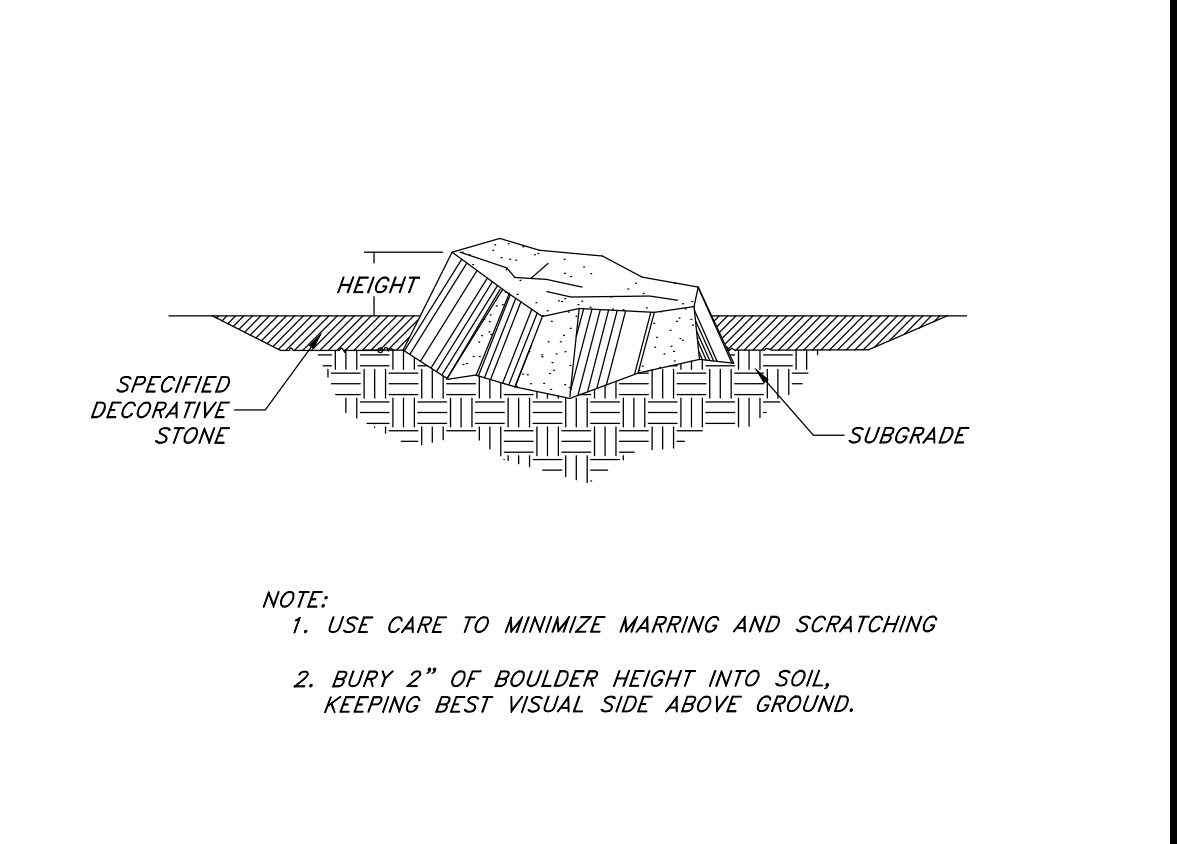
2 DECIDUOUS TREE PLANTING
NOT TO SCALE



3 PALM TREE PLANTING
NOT TO SCALE



4 LANDSCAPE PREPARATION
NOT TO SCALE



5 LANDSCAPE BOULDER
NOT TO SCALE

City of Mesa Landscape General Notes:

- (Revised 02-12-13)*
- Landscape Contractor shall confirm location of all underground utilities prior to any excavation and shall be responsible for the following:
 - Damages to such utilities caused as a result of the contractor's activities.
 - Damages to existing walks, walls, drives, curbs, etc.
 - Inspecting the site in order to be fully aware of existing conditions prior to submitting a bid.
 - Installation of all landscape and irrigation materials shall comply with sections 424,425,757, and 795 of the MAG standard specifications as amended by the City of Mesa in the current edition of the *Mesa Engineering Standards, Manual, Landscaping & Irrigation Standards*.
 - Contractor shall repair any damage made to the existing sprinkler system to the satisfaction of the city at no additional cost to the city.
 - Landscape removal is a non-pay item unless otherwise noted.
 - All existing vegetation, weeds, debris, etc. shall be removed from project area and disposed of properly off the site at the contractor's expense (scarify existing subgrade, minimum six (6) inches depth).
 - Damage to turf shall be repaired by contractor, i.e., ruts filled with clean soil, compacted to match surrounding grades, excess soil, rock, etc. shall be removed to leave the site clean.
 - All Plant material, other than trees, shall conform to grading, type, etc. as set forth in the *American Standard for Nursery Stock* by the American Association of Nurserymen. All trees shall conform to the *Current Arizona Nursery Association Tree Specifications and MAG Spec 795.7*. Should any conflicts in the specifications occur, the Arizona Nursery Association's specification shall prevail.
 - City reserves the right to inspect shrubs and containered trees for condition of root balls. For any such inspections which may destroy rootball, contractor shall supply additional plant at no cost to city.
 - Plant pits shall be inspected by city prior to planting by the contractor by requesting an inspection 48 hours in advance.
 - Rough and fine grading to establish uniform smooth grade is included in this project.
 - Soil Test for fertility and additive recommendations (for turf and ornamentals) shall be completed by contractor to determine if additives are required. Contractor shall provide copy of soil test results for review and approval to engineering inspector at least seven (7) days prior to anticipated planting. After approval by the city, the contractor shall provide and incorporate any additives required prior to or at time of planting.
 - Plant pit soils mixture shall consist of four and one-half parts natural fertile, friable soil and one part humus by volume, thoroughly mixed prior to backfilling in pits. Backfilling shall be in 6" lifts with each left water settled without puddling.
 - Contractor shall stake tree and shrub locations for 5-gallon plants and larger. Stakes shall be marked with plant name or plant legend item number from plans.
 - All existing (Gas, Electric, Water, Etc.) covers and boxes shall remain uncovered. Contractor to adjust to final grade as necessary. NPI unless otherwise noted.
 - The contractor shall install water meter provided by the city of Mesa. The Contractor shall provide all materials including all appurtenances and labor necessary to install the complete automatic sprinkler system from the meter (water usage charges shall be paid by contractor until project final acceptance by City of Mesa). Contractor shall order meter from development services.
 - The Contractor shall be responsible for locating the underground sprinkler systems in advance of construction. The sprinkler system locations noted on plans are for reference only.
 - Contractor to verify depth of all inlet structures and sprinkler systems prior to trenching for low-flow channel.
 - Contractor to provide pumping within five (5) days after the notice to proceed is given as required to dry the area sufficiently to begin construction.
 - Contractor shall arrange for sprinkler system shutdown during construction by contacting the engineering inspector.
 - No rocks larger than 1" in diameter shall be allowed in the top six (6) inches of topsoil where turf establishment is specified. Rock removal as necessary is included in this project (NPI).
 - Where caliche is encountered in plant pits, depth and width of pit shall be increased by one-third (1/3) over specifications, and a liquid penetrator, "Al-Kaliche" or equal, shall be incorporated for each pit per manufacturer's recommendations.

22. Project record drawings for irrigation system:

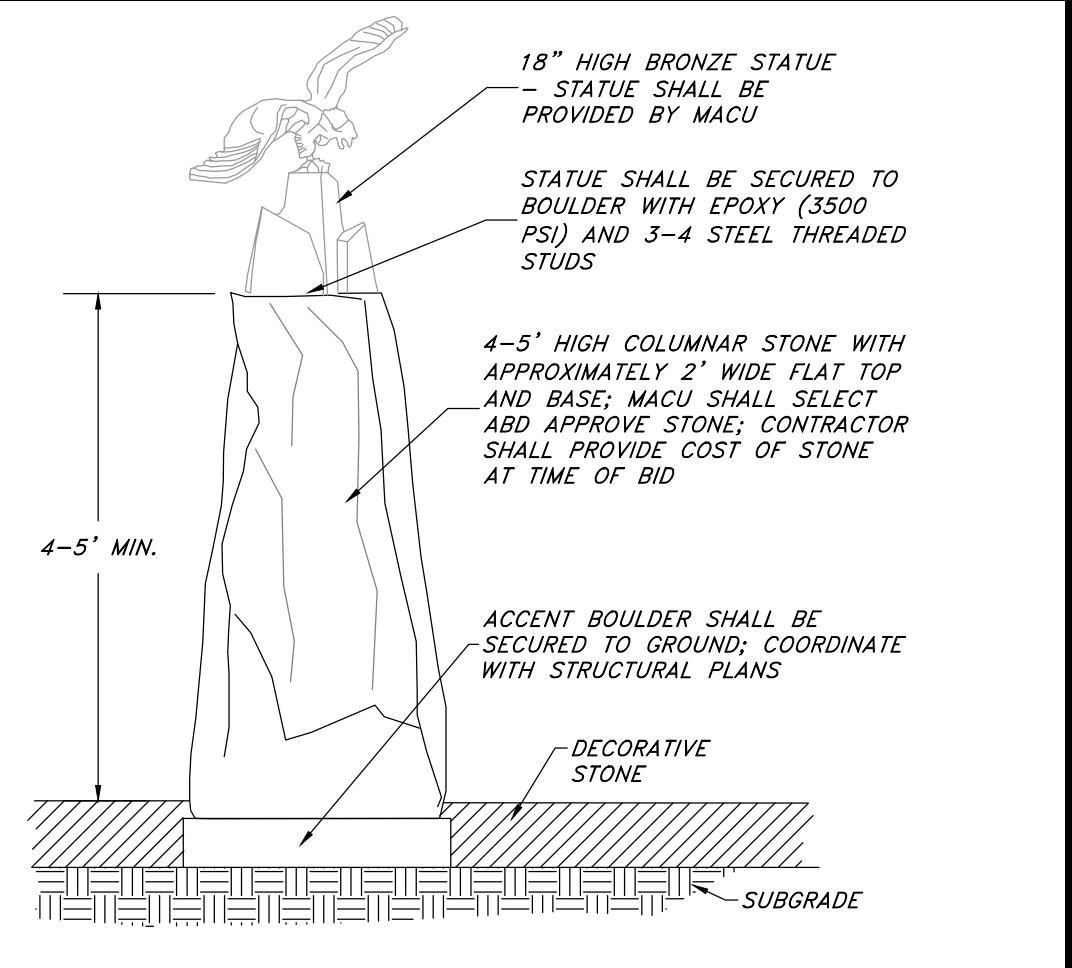
- Maintain on site and separate from documents used for construction, one complete set of contract documents as project record documents. Keep Documents current. Do not permanently cover work until as-built information is recorded.
- Record pipe and wiring network alterations. Record work which is installed differently than shown on the construction drawings. Record accurate reference dimensions, measured from at least two permanent reference points, of each irrigation system valve, each backflow prevention device, each controller or controller unit, each sleeve end, each stub-out for future pipe or wiring connections, and other irrigation components enclosed within a valve box.
- For Parks and retention basins: Contractor shall install decomposed granite to a rolled depth of two (2) inches. Decomposed granite shall be 1/2" minus with the color as specified on the plans. Pre-emergent herbicide shall be applied before and after placement of decomposed granite per the manufacturer's recommendations. Pre-emergent herbicide shall be surfan, dacthal, or approved equal. Not more than 6% of decomposed granite shall pass through a #200 mesh screen, 15% through a #40 mesh screen, 98% through a #4 mesh screen, and 100% shall pass through a 1/2" mesh screen. Sample to be provided for city review and approval.
- For street landscape projects: Contractor shall install decomposed granite as follows:
 - Decomposed granite ground cover shall be 1/2" size screened and washed.
 - Place and roll to two (2) inch total depth over 85% compacted subgrade.
 - Pre-emergent herbicide surfan, dacthal, or approved equal shall be applied before and after granite placement.
 - Decomposed granite sample shall be provided in a rigid plastic container for city review and approval.
- Restore all existing landscape irrigation systems, components and landscape areas impacted by any work under this contract. Restore all existing irrigation and landscape in accordance with the landscape restoration notes indicated within these documents. At a minimum, all restoration shall be in accordance with M.A.G. Specification 107.9 - protection and restoration of property and landscape. All restoration work shall be completed to the satisfaction of the City of Mesa Engineer.
- All restoration work shall be completed in accordance with the details provided.
- Refer to landscape planting sheets and engineering drawings for additional restoration notes and required coordination.

Landscape General Notes for Street Landscape Projects

- Contractor shall install decomposed granite as follows: Decomposed granite ground cover shall be 1/2" size screened and washed. Place and roll to 2" total depth over 85% compacted subgrade, pre-emergent herbicide surfan, dacthal or approved equal shall be applied before and after granite placement.

City of Mesa General Notes:

- All work and materials shall conform to the current uniform standard specifications and details for public works construction as furnished by the Maricopa association of governments and as amended by the city as mesa. All work and materials not in conformance with these amended specifications and details are subject to removal and replacement at the contractor's expense.
- Separate right-of-way permits are required for all public utilities, public street improvements, and right-of-way landscaping. For information regarding availability and cost of right-of-way permits, contact the permit services section of the building safety division at (480) 644-48SD or at <http://www.mesaaz.gov/devsustain/constructionpermits.aspx>. The Contractor shall obtain all permits required unless otherwise noted. Contractors must hold the appropriate class of license and shall have on file with the permit services section proof of insurance coverage. Permits become invalid and must be updated if work has not begun within (90) days. Permits also become invalid if the contractor's insurance lapses or is voided.
- Twenty four (24) hours prior to the commencement of any work, construction or installations associated with this permit, the permittee shall notify city of mesa engineering construction services at (480) 644-2253 of intent to begin and request / schedule preliminary field review at the project site with the city of mesa engineering construction inspector. Failure to provide proper inspection notification as prescribed above, shall result in this permit becoming invalid and work being stopped.
- Contractor shall comply with the requirements to obtain the necessary right-of-way permits and shall comply with the right-of-way permit conditions as found on the back of the permit form.
- The city of Mesa parks and recreation division is not represented by blue stake. When the contractor excavates near or adjacent to a city park, the contractor shall contact the parks & recreation administration section at (480) 644-2354 to request assistance in locating all their underground facilities.
- The contractor shall obtain an earth-moving permit from the Maricopa County environmental services department and shall comply with its requirements for dust control.
- The engineer hereby certifies as evidenced by a professional seal & signature that all affected utility companies both public and private have been contacted and all existing and/or proposed utility lines and other related information have been transferred onto these plans. The engineer or architect also hereby certifies that all existing and/or proposed public right-of-way or easement have been correctly plotted/shown.
- The Engineer, or Land Surveyor or record shall certify upon completion of construction that all public improvements (water and sewer utilities, storm sewer, concrete, paving, street lights, etc.) have been installed at the locations and elevations shown on the approved plans. Any changes shall be reflected on as-built drawings provided by the engineer to the engineering department - Construction services section.
- The registered Engineer or Land Surveyor shall certify that the minimum horizontal and vertical separation between utilities within public right-of-way or easements has been maintained as required by law or policy.
- The Developer shall provide all construction staking for the project.
- The Developer or the Engineer is responsible for arranging for the relocation of removal of all utilities or facilities that are in conflict with the proposed public improvements. The Contractor is responsible for coordinating the relocation of all utilities, power poles, irrigation dry-up, resets removals by others, etc.
- The Contractors shall locate all utilities prior to excavation and avoid damage to same. Call (602) 263-1100 for blue stake two working days prior to digging. Call Salt River project for pole bracing. Electric Service or Construction scheduling at (602) 273-8888.
- When Gas Mains and/or Services are exposed, contact the City of Mesa at (480) 644-2261 for inspection of the exposed pipe and coating prior to backfilling of the trench. Contractors shall comply with the provisions for traffic control and barricading per the current City of Mesa Traffic barricade manual.
- If a Fire Hydrant is needed to obtain construction water, the contractor shall obtain a Fire Hydrant meter from Permit services and pay all applicable fees and charges.
- If during the construction of a public facility, the contractor fails to or is unable to comply with a request of the engineering construction inspector, and it is necessary for City forces to do work that is normally the Contractor's responsibility, the City shall be justified in billing the Contractor. Each incident requiring work by City forces shall be covered by a separate billing at the current applicable rates.
- The Contractor is advised that damage to public services or systems as a result of this project shall be repaired by the Contractor and inspected by the City inspector. Unless otherwise approved by the City, all repairs shall be done within 24 hours. The Contractor is advised that any costs related to repair or replacement of damaged public services and systems as a result of contractor's activities shall be borne by the Contractor.



6 ACCENT BOULDER WITH PERMANENT ART SCULPTURE
NOT TO SCALE

Designed by: LC
Drafted by: NT
Client Name: MACU
23-005 LS



Landscape Details
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212

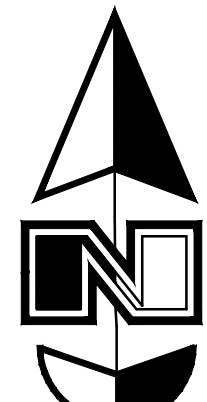


10 May, 2023

SHEET NO. **L1.2**



M:\23-005 MACU Mesa\Drawings\23-005 LS.dwg, 5/12/2023 11:17:24 AM, 1:1



Scale: 1" = 20'

Main Service Line and Other Irrigation Components Are Shown in Paved Or Hardscape Surfaced For Clarity Purposes ONLY. Install Irrigation Components Within Landscaped Areas.

Irrigation Notes:

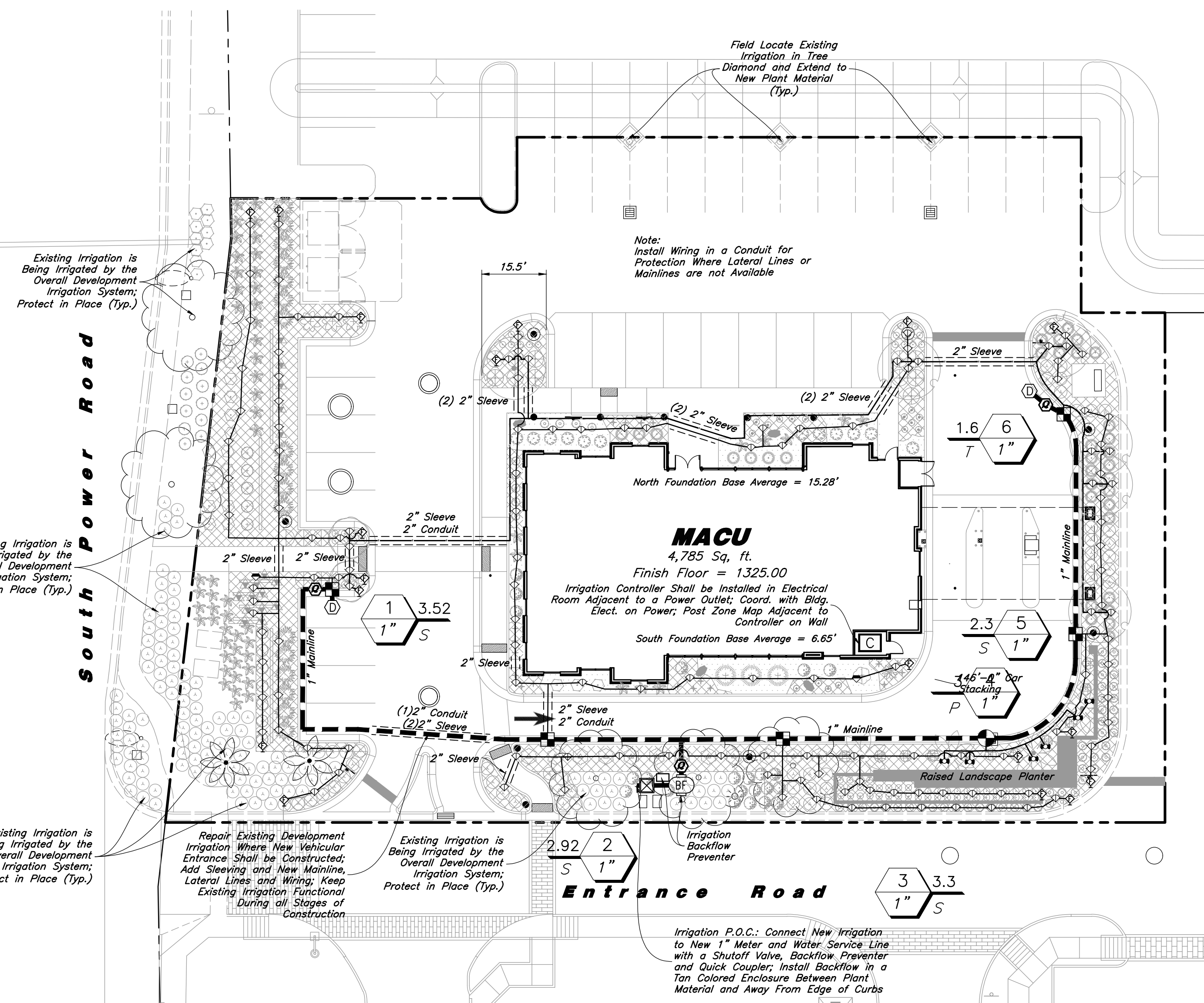
- 1. See Sheet L1.1 for Plant Layout and Sheet L1.2 for Planting Details.
2. See Sheet L2.2 for Irrigation Details.
3. All Irrigation Boxes and Equipment Shall be Tan in Color.
4. The Static Pressure for Irrigation Design was Observed on the Development Irrigation Plans and Utilized in the Design of the Irrigation System. The Observed Design Pressure of 86 psi was Used.
5. The Existing Development Irrigation System Along the South Power Road and Along the Vehicular Entrance into the Site Shall be Protected and Repaired at New Entrances into the MACU site. The Existing System Shall Remain Functional During all Stages of Construction to Provide Adequate Water to all Existing Plant Material. MACU Shall have a Separate Irrigation System and Connect to an Existing Irrigation Lateral into the Site with a New Water Meter. The Irrigation System Shall be Equipped with a RPBP Backflow Preventer, Installed per City Standards. The Irrigation Requires a Minimum of 46 psi to Function.
6. Onsite Storage of Landscape/Irrigation Materials and Equipment Should Not Block More Than 3 Parking Stalls Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
7. Equipment Cannot Stay Longer Than Two Weeks on Jobsites Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
8. From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.

Irrigation Schedule

Table with columns: Symbol, Manufacturer/Model #, Description, Notes, Detail. Includes sections for Bubblers, Valves, Drip, P.O.C. Components, Pipes, Controller, and Sleeving.

VALVE SCHEDULE

Table with columns: VALVE #, VALVE SIZE, IRRIGATION TYPE, FLOW (GPM), PSI, PSI @ POC, PRECIP. RATE. Lists details for various valve types and sizes.



General Irrigation Notes:

- 1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appearances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
9. Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assume the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
11. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufacturers specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufacturers specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be eighteen (18) inches minimum.
13. Install dielectric fittings whenever dissimilar metals are joined.
14. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
15. Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, building or landscape features. Valve boxes to conform with finish grades.
16. Control valve wire shall be #14 single conductor; white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wires that run the length of the mainline and to the controller. All wiring shall be UF-LJ rated. All connections shall be made with water tight connectors (DBP, or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
17. Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks or equal.
18. Quick couplers shall be a Rain Bird 44RC with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
19. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
20. All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractor responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-two (22) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
21. Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas. No tees, els, or changes in direction shall occur under hardscape.
22. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
23. Drip system piping shall consist of a schedule 40 PVC pipe distribution system, extending drip to shrub areas and trees. Single and/or multi-outlet emitters shall be run off the schedule 40 PVC pipe with distribution tubing to each individual plant or tree. Shrubs and trees shall be on irrigated on separate drip zones.
24. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
25. The sprinkler system design is based on the operating pressure shown on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owner's authorized representative immediately.
26. Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
27. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
28. Upon completion and approval of irrigation system, irrigation contractor shall provide the owner with one set of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.
29. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

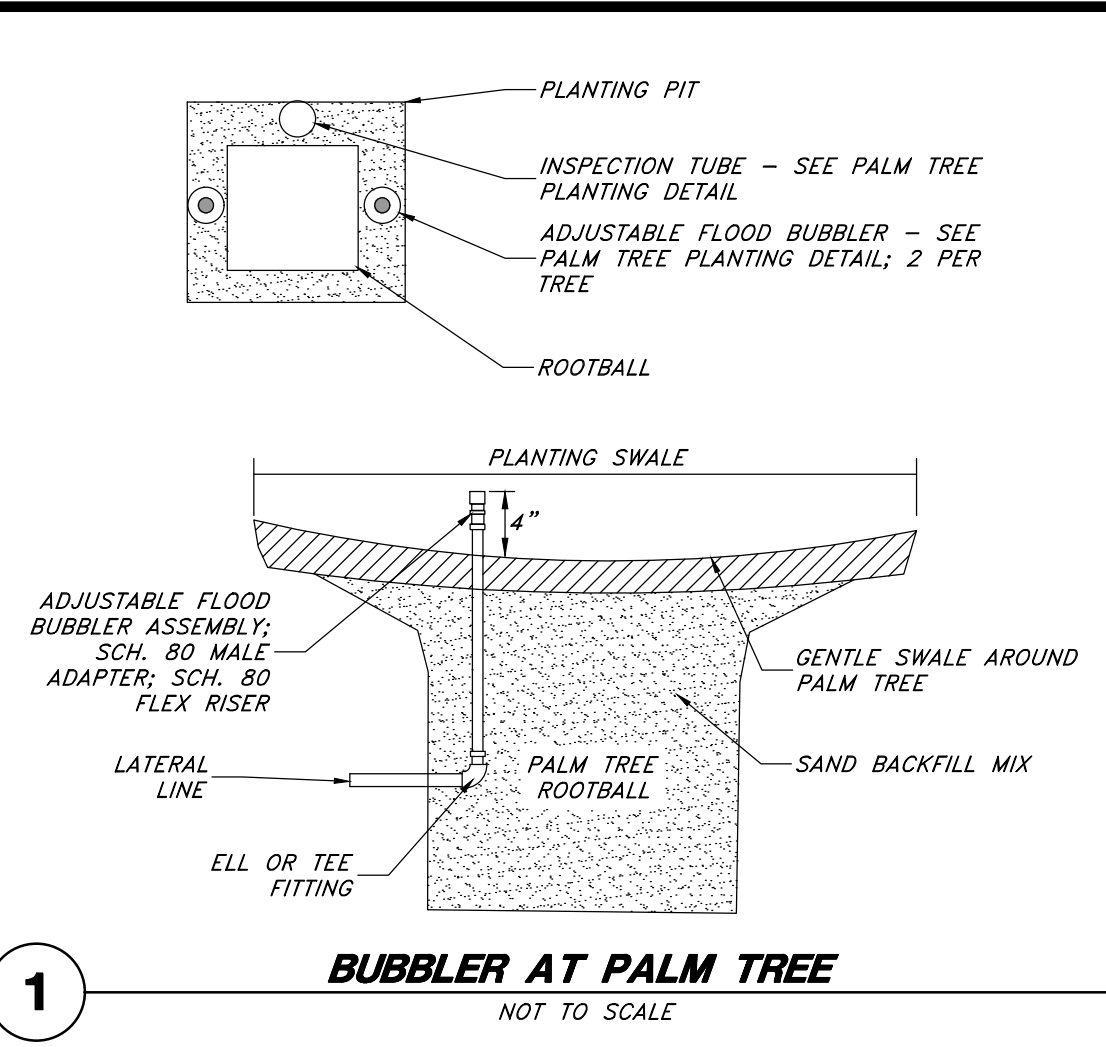
Designed by: LC
Drafted by: NT
Client Name: MACU
23-005 IR



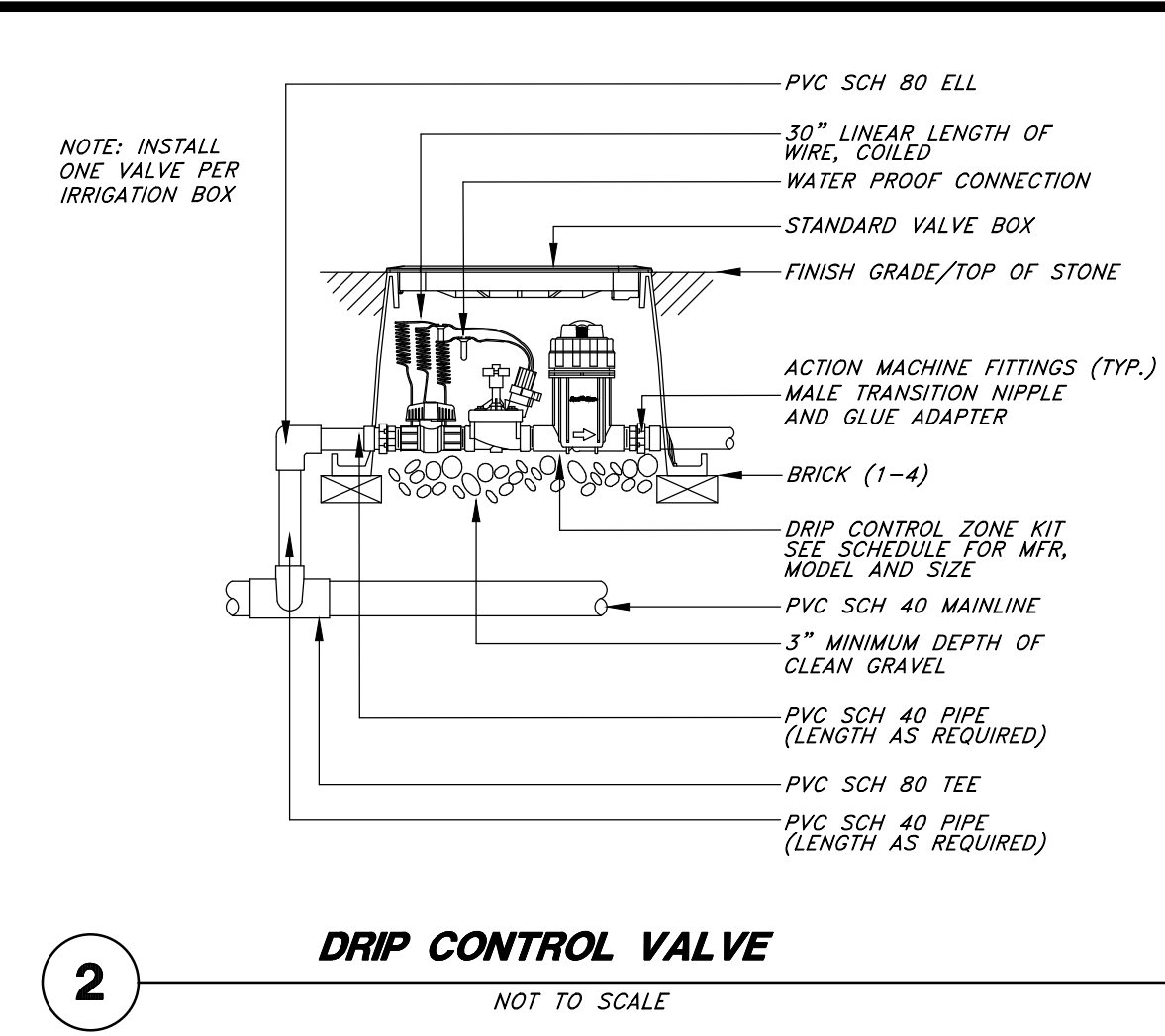
Irrigation Plan
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



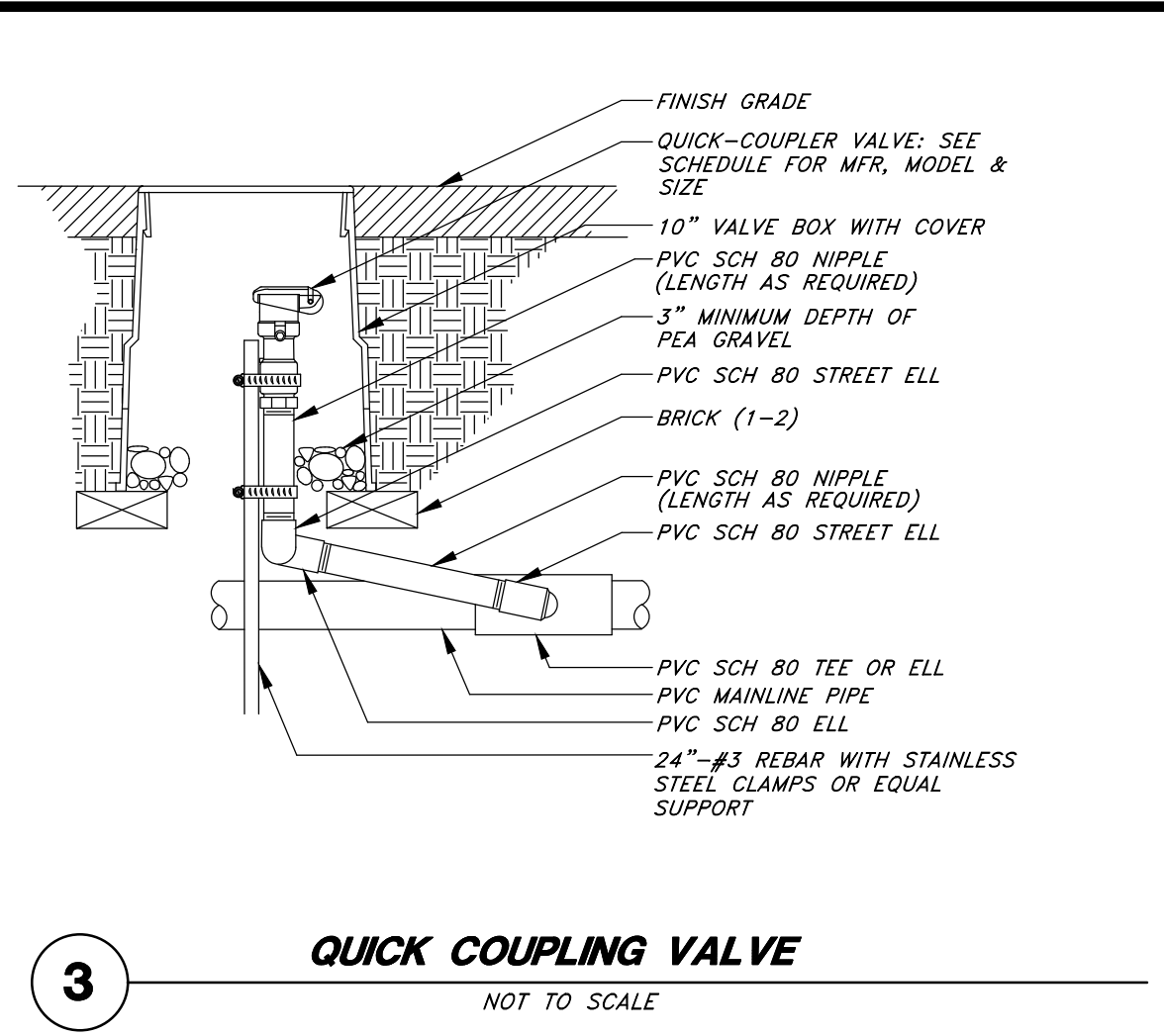
10 May, 2023
SHEET NO. L2.1



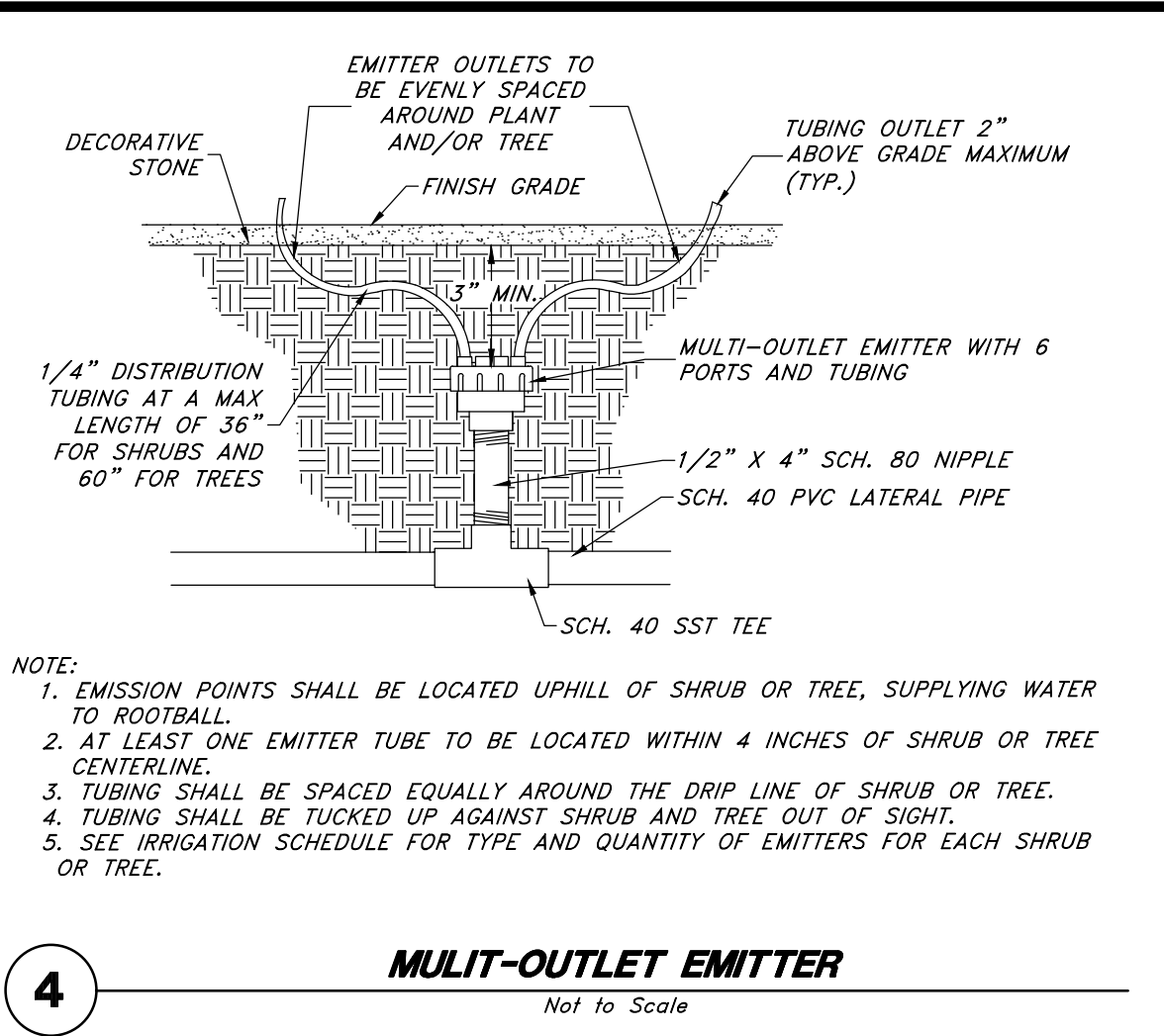
1 BUBBLER AT PALM TREE
NOT TO SCALE



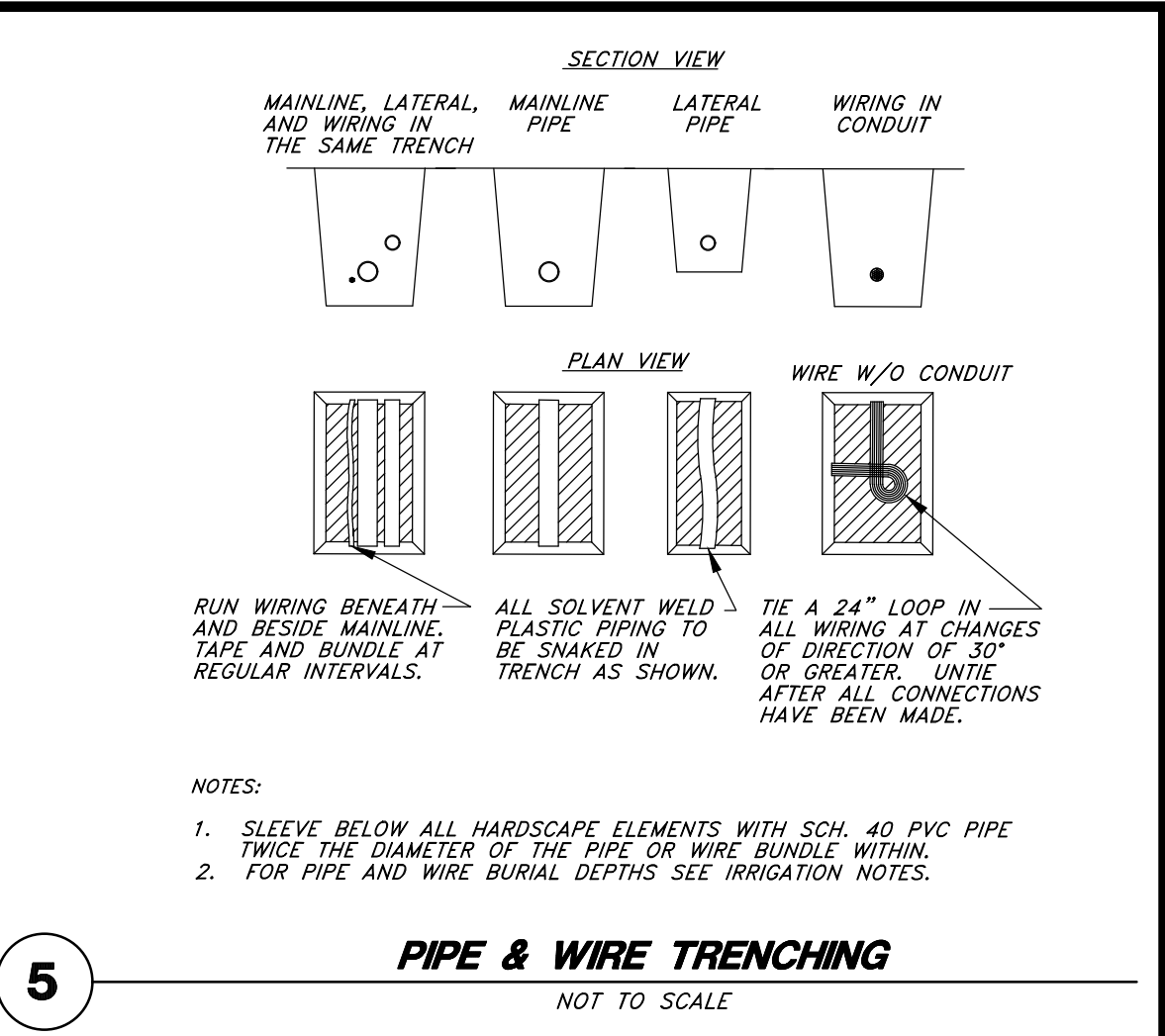
2 DRIP CONTROL VALVE
NOT TO SCALE



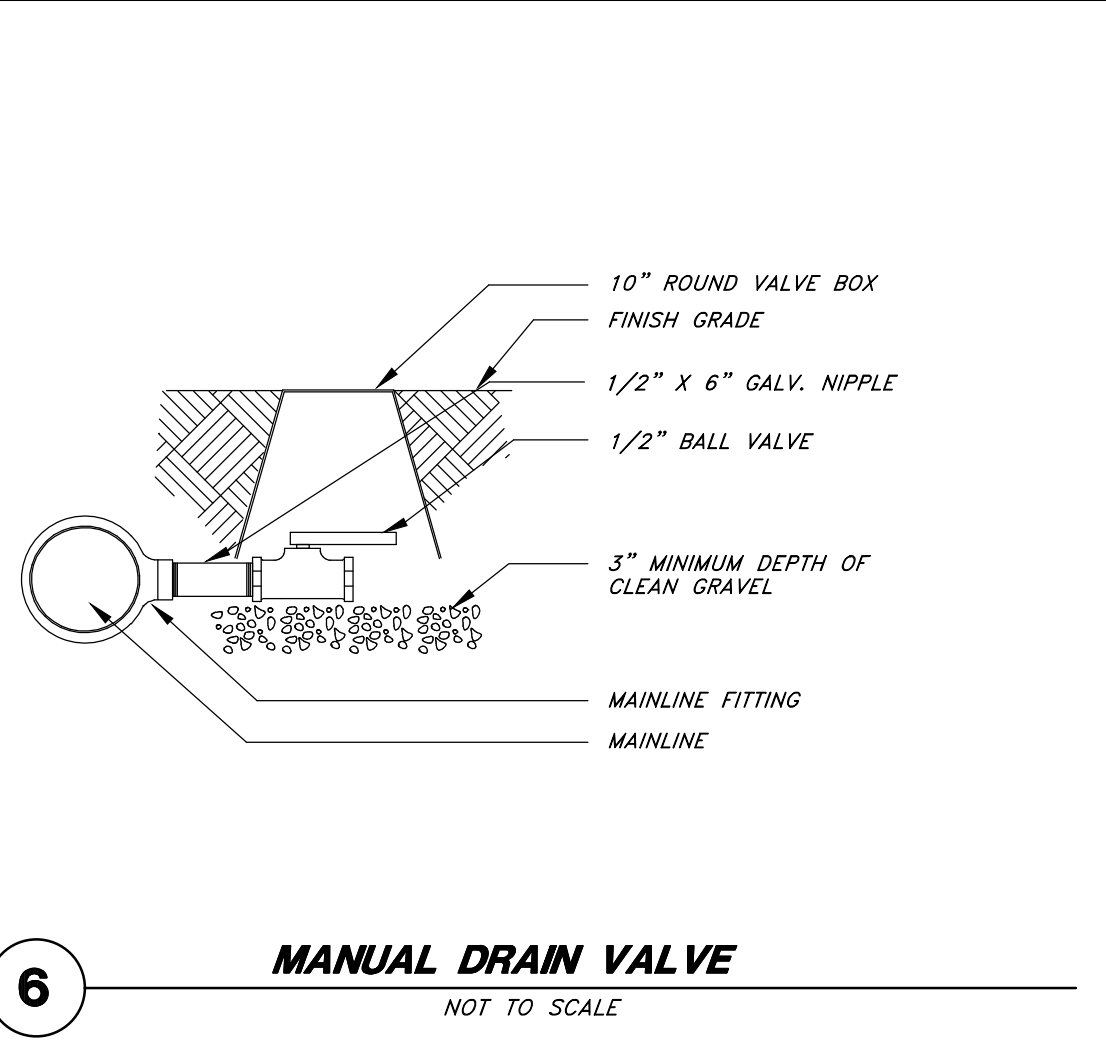
3 QUICK COUPLER VALVE
NOT TO SCALE



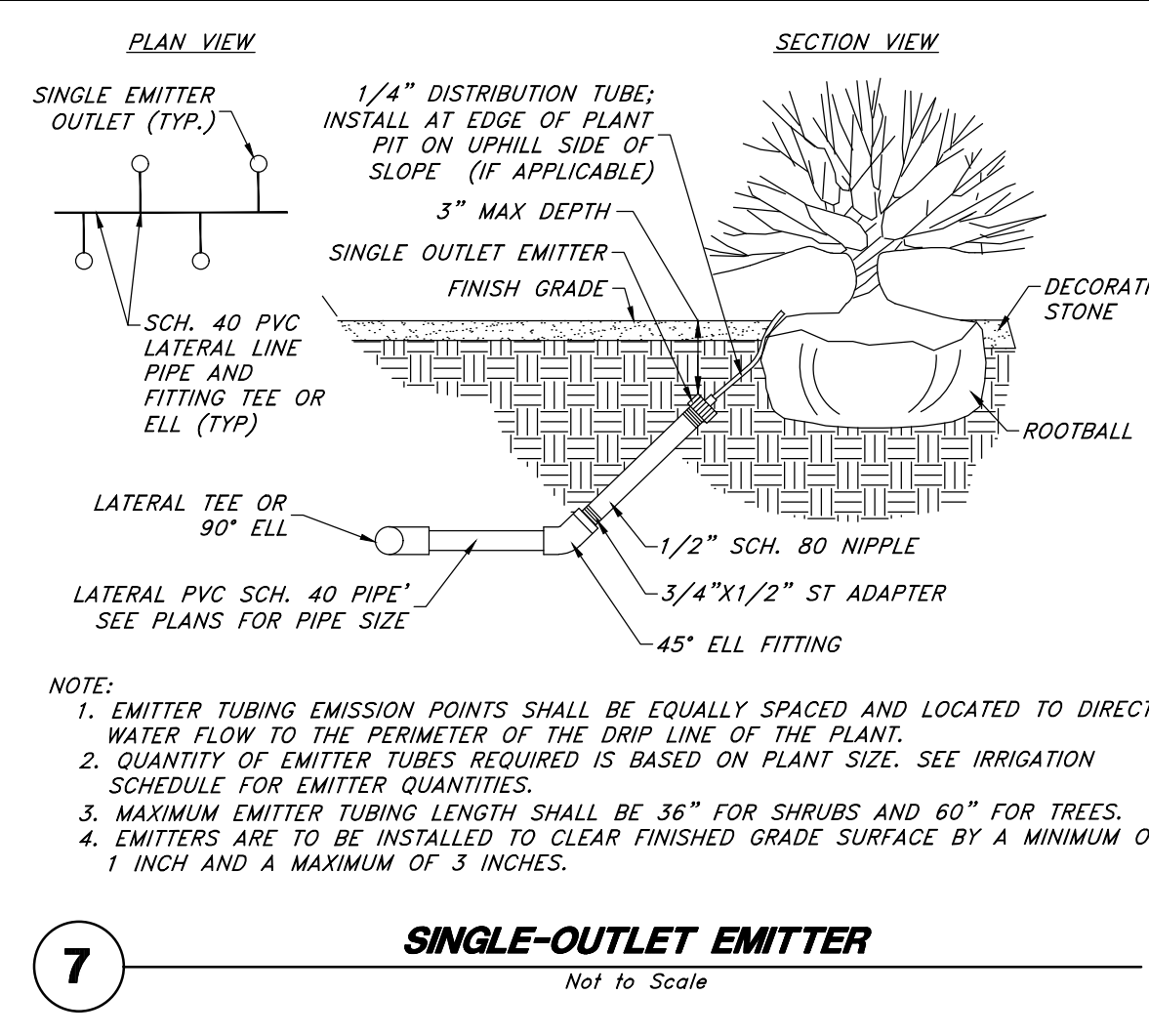
4 MULTI-OUTLET EMITTER
NOT TO SCALE



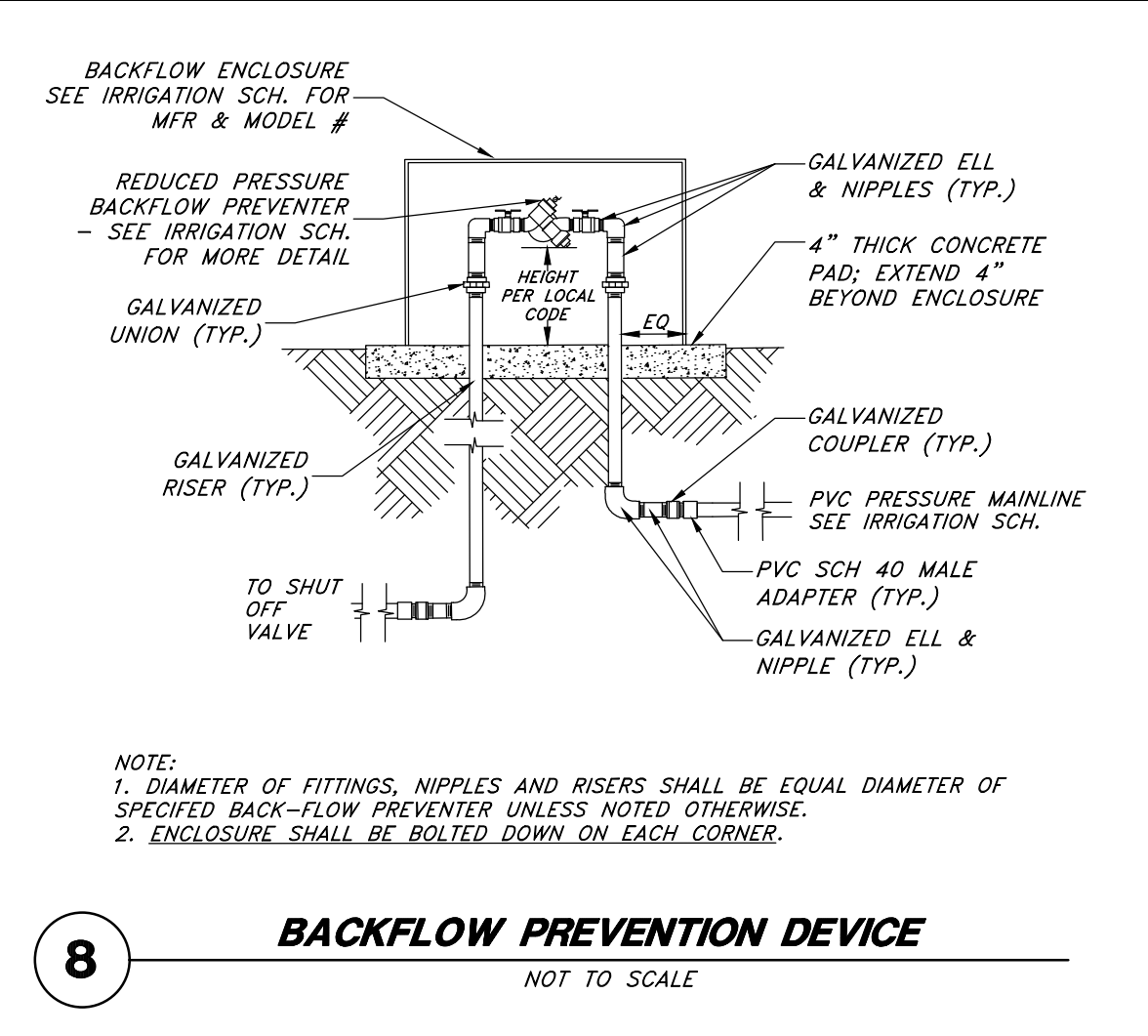
5 PIPE & WIRE TRENCHING
NOT TO SCALE



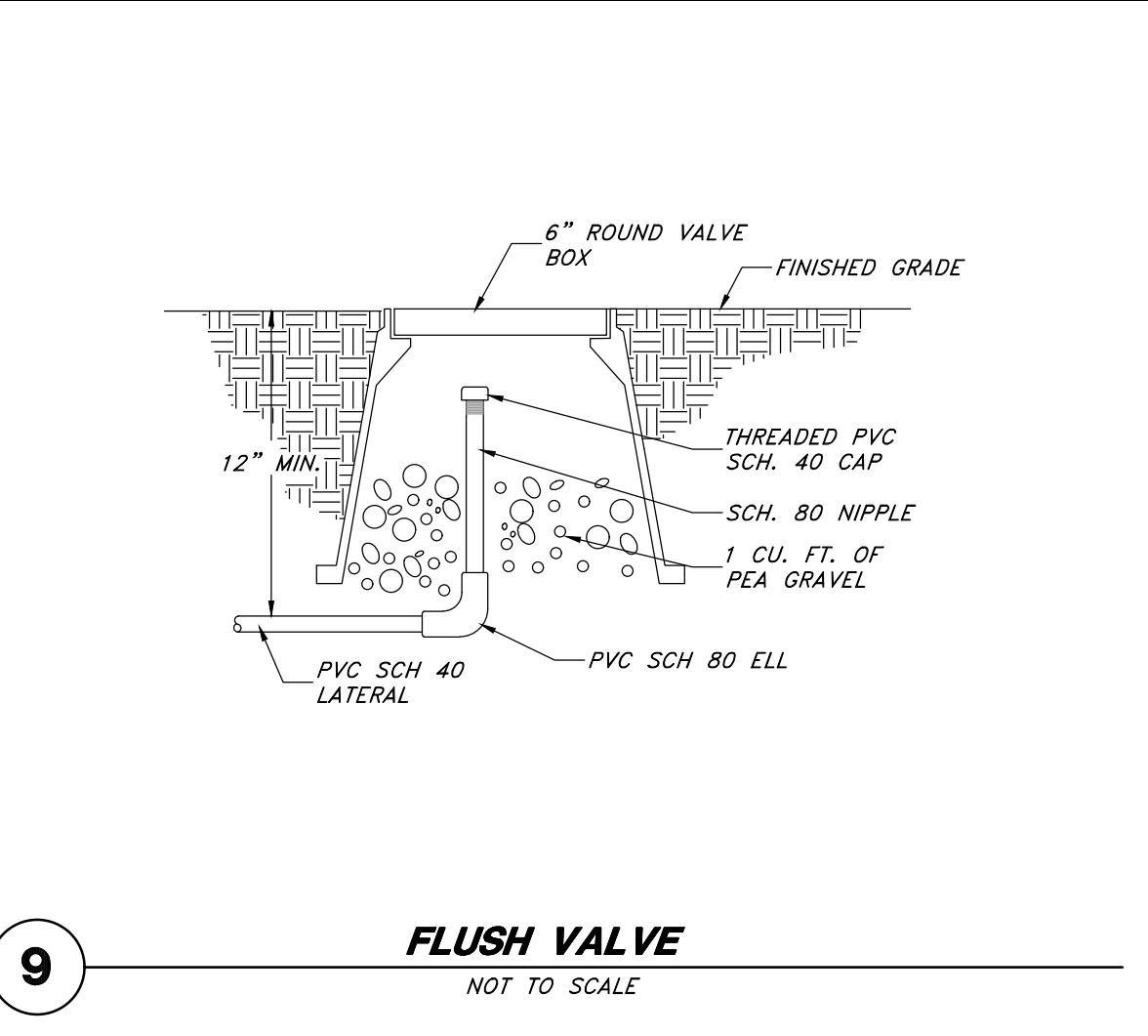
6 MANUAL DRAIN VALVE
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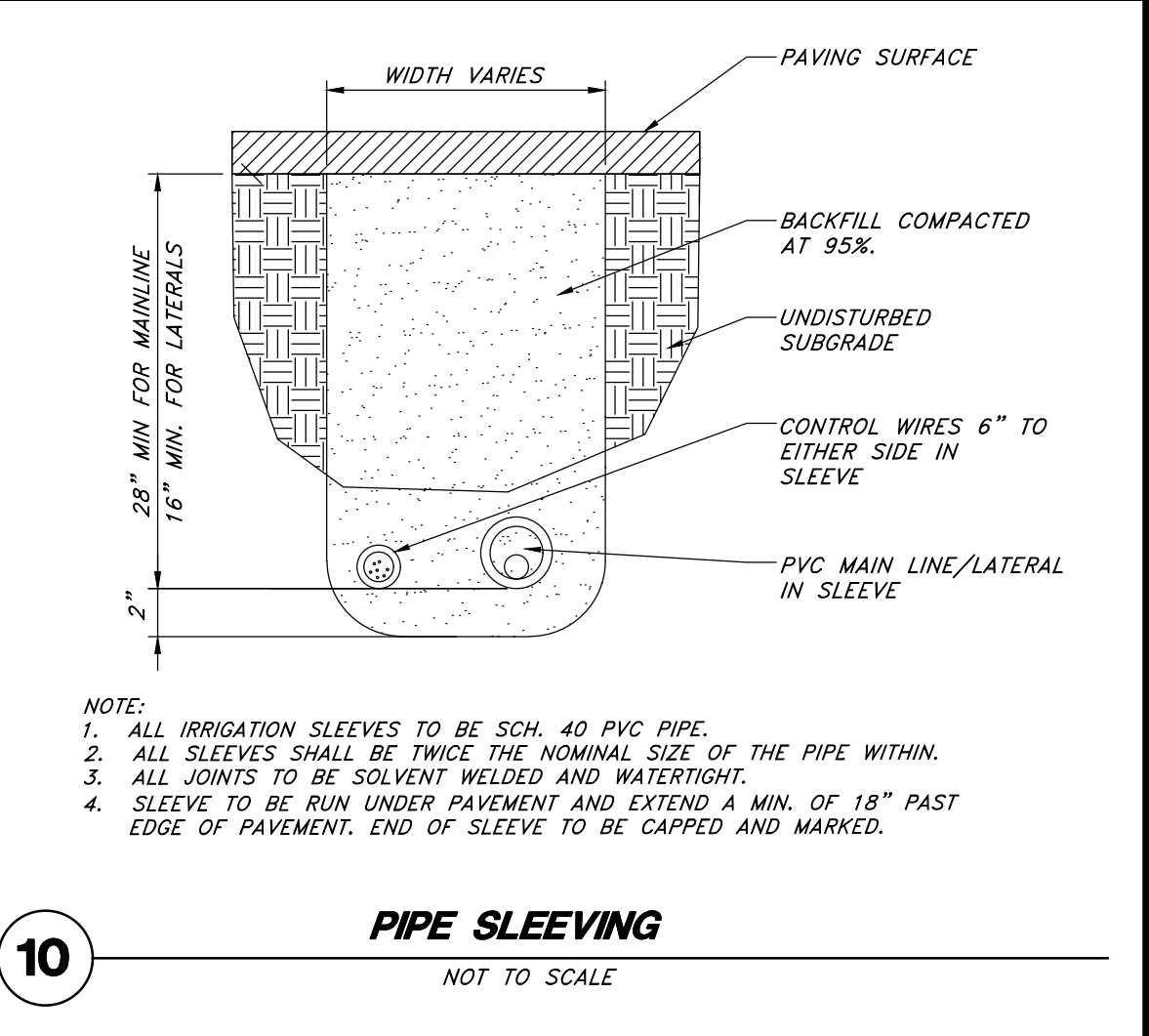
7 SINGLE-OUTLET EMITTER
NOT TO SCALE



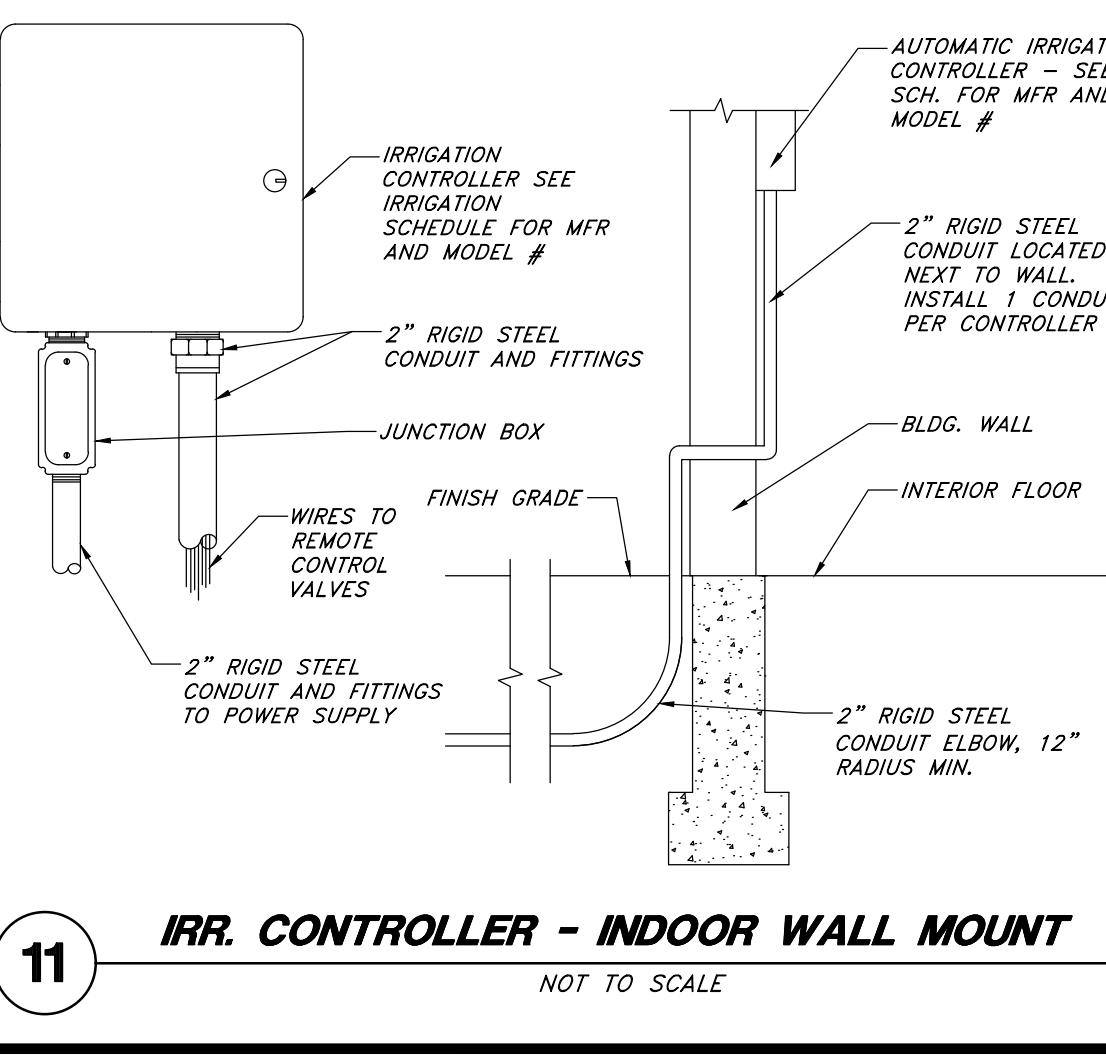
8 BACKFLOW PREVENTION DEVICE
NOT TO SCALE



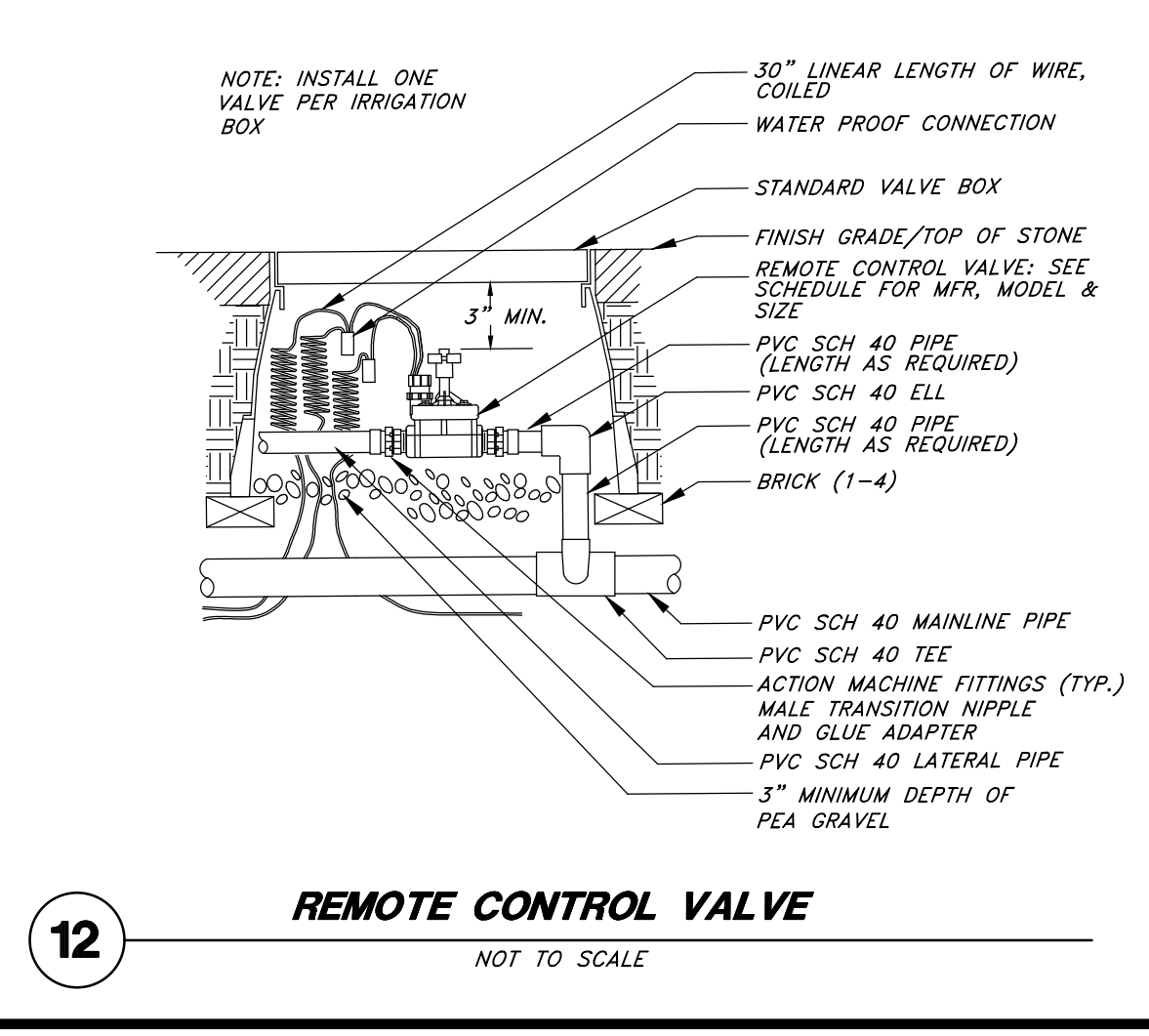
9 FLUSH VALVE
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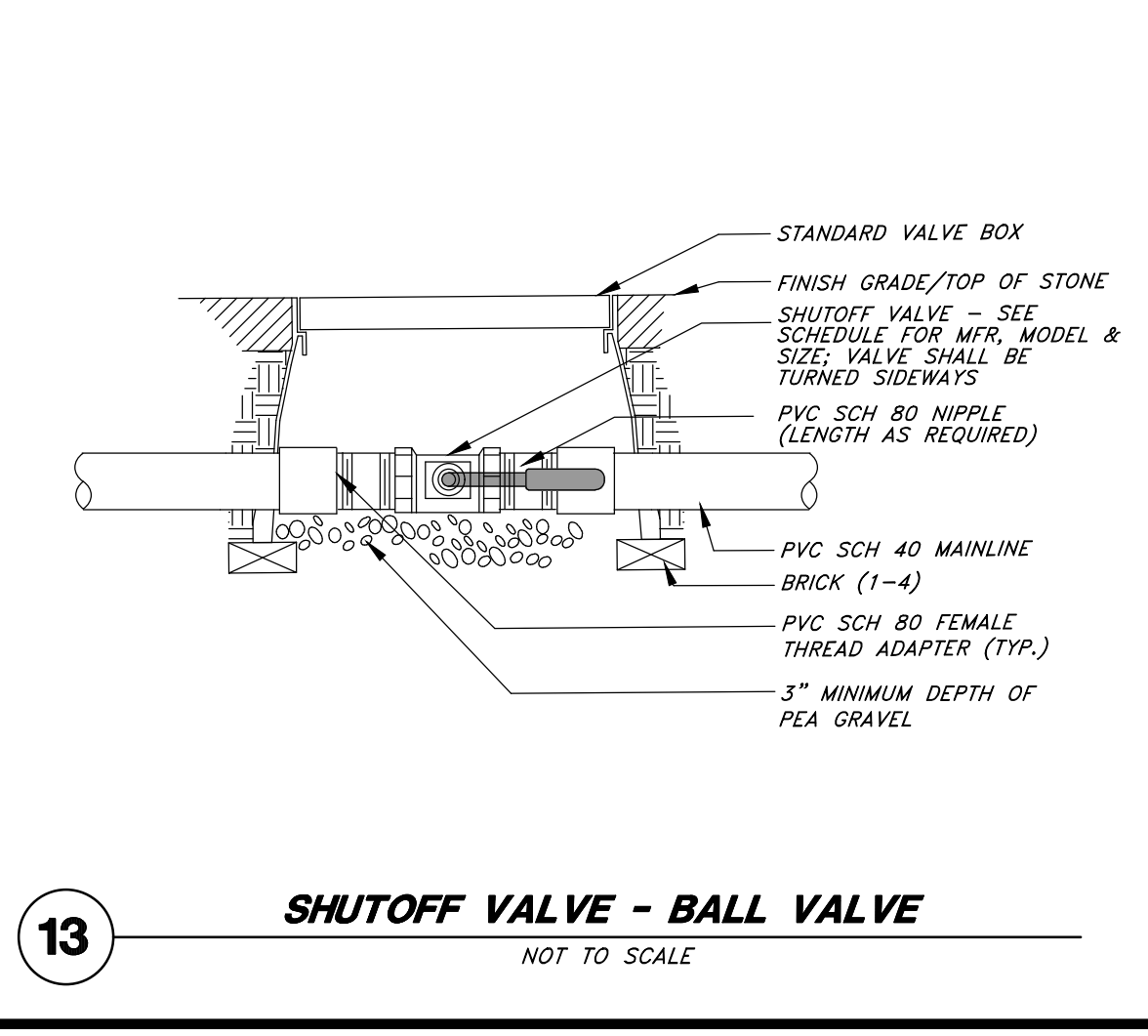
10 PIPE SLEEVING
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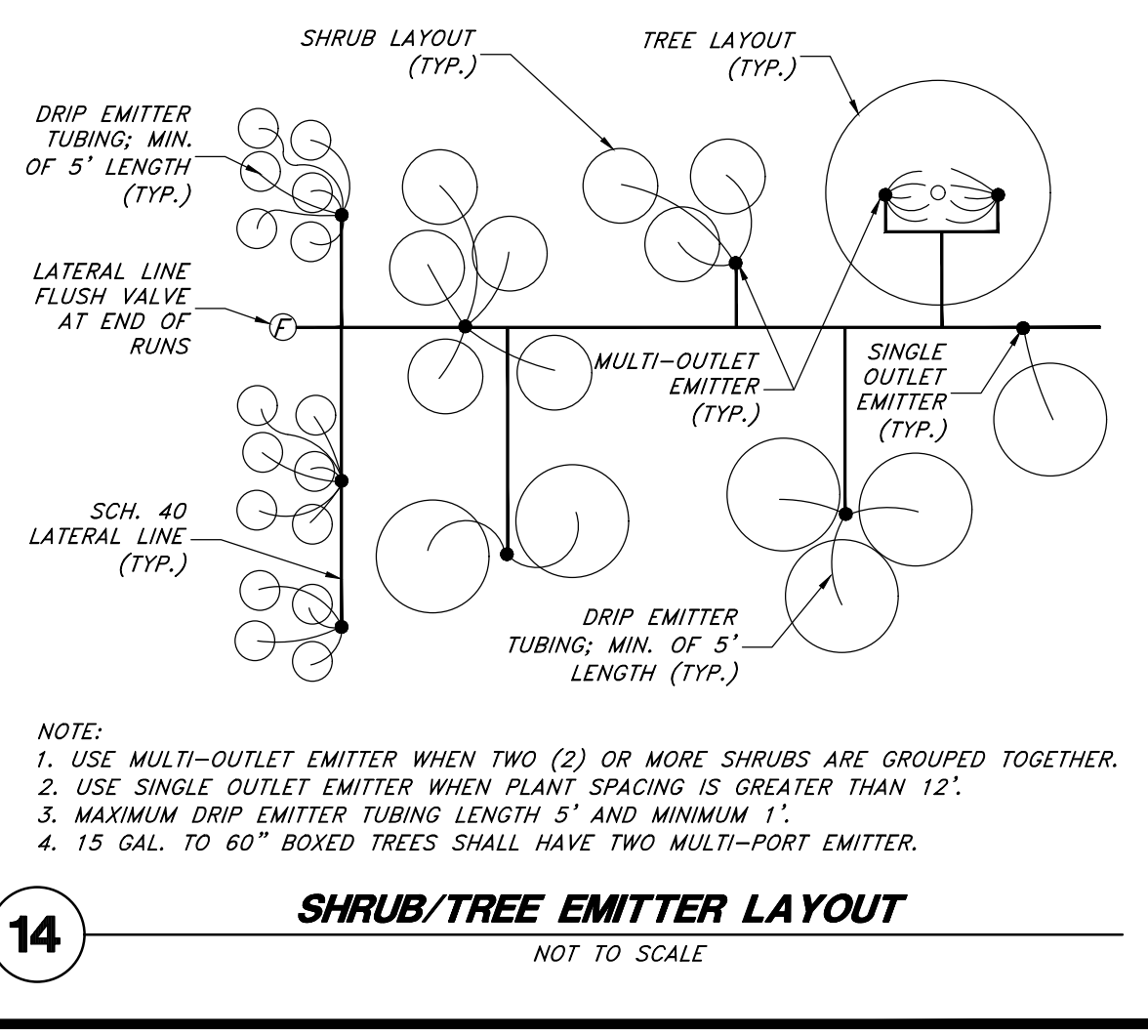
11 IRR. CONTROLLER - INDOOR WALL MOUNT
NOT TO SCALE



12 REMOTE CONTROL VALVE
NOT TO SCALE



13 SHUTOFF VALVE - BALL VALVE
NOT TO SCALE



14 SHRUB/TREE EMITTER LAYOUT
NOT TO SCALE

Designed by: LC
Drafted by: NT
Client Name: MACU
23-005 IR

Irrigation Details
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



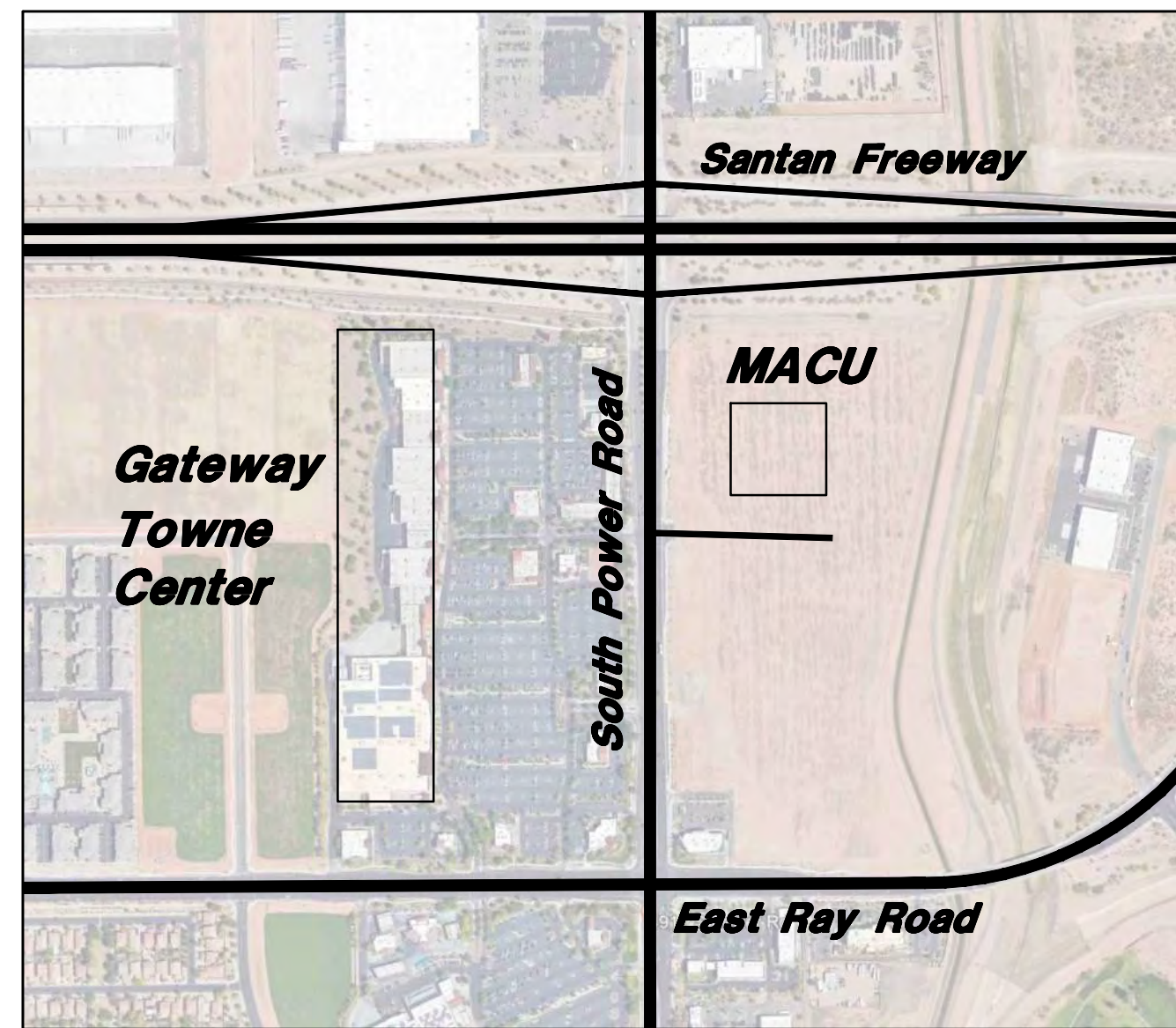
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Mountain America Credit Union At Gallery Park

4917 South Power Road
Mesa, AZ 85212



Vicinity Map
Not to Scale

Civil Sheet Index

- C0.0 Cover Sheet
- GN General Notes
- C0.1 Demolition Plan
- C1.1 Site Plan
- C2.1 Grading Plan
- C2.2 Grading Plan Details
- C3.1 Utility Plan
- C4.1 Details
- C4.2 Details
- C5.1 Erosion Control Plan - Phase 1
- C5.2 Erosion Control Plan - Phase 2
- C5.3 Erosion Control Plan Details
- L1.1 Landscape Plan
- L1.2 Landscape Details
- L2.1 Irrigation Plan
- L2.2 Irrigation Details

| Abbreviations | | | |
|---------------|---|------|--------------------------------------|
| BCR | Begin Curb Return | PT | Point of Tangency |
| BOL | Bollard | PVC | Polyvinyl Chloride |
| BRW | Finish Grade - Bottom of Retaining Wall | PVI | Point of Vertical Intersection |
| CATV | Cable Television Box | RCP | Reinforced Concrete Pipe |
| CB | Catch Basin | RD | Roof Drain |
| CMP | Corrugated Metal Pipe | SB | Signal Box |
| COB | Cleanout Box | SD | Storm Drain |
| COTG | Cleanout to Grade | SDMH | Storm Drain Manhole |
| EA | Edge of Asphalt | SMH | Sewer Manhole |
| EB | Electrical Box | SP | Signal Pole |
| EC | End of Curve | SS | Sanitary Sewer |
| ECR | End Curb Return | SVZ | Sight Visibility Zone |
| GB | Grade Break | SW | Secondary Water |
| GM | Gas Meter | TA | Top of Asphalt |
| HB | Hose Bib | TB | Telephone Box |
| HP | High Point | TBC | Top Back of Curb |
| I | Irrigation Line | TG | Top of Grate |
| ICB | Irrigation Control Box | TMH | Telephone Manhole |
| Lip | Lip of Gutter | TP | Top of Concrete |
| LP | Light Pole | TRW | Finish Grade - Top of Retaining Wall |
| MH | Manhole | TW | Top of Walk |
| Mon | Monument | VC | Vertical Curve |
| PC | Point of Curvature | VPC | Vertical Point of Curve |
| PCC | Point of Compound Curvature | VPT | Vertical Point of Tangency |
| PI | Point of Intersection | WL | Waterline |
| PM | Power Meter | WP | Working Point |
| PP | Power Pole | WV | Water Valve |

| Legend | | |
|-------------------------------|-----------------------------|------------------------------|
| Proposed Curb & Gutter | Existing Improvements | Existing Asphalt |
| Proposed Open Face C & G | Existing Concrete | Existing Concrete |
| Proposed Asphalt | Existing Inlet Box | Existing Catch Basin |
| Proposed Concrete | Existing Manhole | Existing Fire Hydrant |
| Proposed Truncated Domes | Existing Water Valve | Existing Overhead Power Line |
| Proposed Inlet Box | Existing Water | Existing Water |
| Proposed Catch Basin | Existing Secondary Water | Existing Sewer |
| Proposed Manhole | Existing Storm Drain | Existing Gas |
| Proposed Transformer | Existing Gas | Existing Power |
| Proposed Meter Box | Existing Telephone | Existing Telephone |
| Proposed Water Meter | Existing Fence | Existing Fence |
| Proposed Water Meter | Flowline | Flowline |
| Proposed Comba Box | Centerline | Centerline |
| Proposed Fire Hydrant | Existing Contour | Existing Contour |
| Proposed Water Valve | Existing Spot | Existing Spot |
| Proposed Water Line | Existing Light Pole | Existing Light Pole |
| Proposed Sanitary Sewer | Existing Street Light | Existing Street Light |
| Proposed Storm Drain | Existing Building | Existing Building |
| Proposed Conduit Line | Existing Telephone Box | Existing Telephone Box |
| Proposed Power Line | Existing Power Meter | Existing Power Meter |
| Proposed Gas Line | Existing Electrical Box | Existing Electrical Box |
| Proposed Fire Line | Existing Electrical Cabinet | Existing Electrical Cabinet |
| Proposed Secondary Water Line | Existing Gas Meter | Existing Gas Meter |
| Proposed Roof Drain | Existing Water Meter | Existing Water Meter |
| Proposed Fence | Existing Irrig. Control Box | Existing Irrig. Control Box |
| Ridge line | Existing Bollard | Existing Bollard |
| Grade Break | Existing Hose Bib | Existing Hose Bib |
| Proposed Contour | Working Point | Working Point |
| Direction of Drainage | Existing Deciduous Tree | Existing Deciduous Tree |
| Proposed Spot | Existing Coniferous Tree | Existing Coniferous Tree |
| Proposed Gas Line | Existing Coniferous Tree | Existing Coniferous Tree |
| Proposed Fire Line | Detail Number | Detail Number |
| Proposed Secondary Water Line | Sheet Number | Sheet Number |
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General Notes:

- All work and materials shall conform to the current uniform standard specifications and details for public works construction as furnished by the Maricopa Association of Governments and as amended by the City of Mesa. All work and materials not in conformance with these amended specifications and details are subject to removal and replacement at the contractor's expense.
- Separate right-of-way permits are required for all public utilities, public street improvements, and right-of-way landscaping. For information regarding availability and cost of right-of-way permits, contact the permit services section of the building safety division at (480) 644-4850 or at <http://www.mesaaz.gov/devsustain/constructionpermits.aspx>. The Contractor shall obtain all permits required unless otherwise noted. Contractors must hold the appropriate class of license and shall have on file with the permit services section proof of insurance coverage. Permits become invalid and must be updated if work has not begun within (90) days. Permits also become invalid if the contractor's insurance lapses or is voided.
- Twenty four (24) hours prior to the commencement of any work, construction or installations associated with this permit, the permittee shall notify city of mesa engineering construction services at (480) 644-2253 of intent to begin and request / schedule preliminary field review at the project site with the City of Mesa engineering construction inspector. Failure to provide proper inspection notification as prescribed above, shall result in this permit becoming invalid and work being stopped.
- Contractors shall comply with the requirements to obtain the necessary right-of-way permits and shall comply with the right-of-way permit conditions as found on the back of the permit form.
- The City of Mesa parks and recreation division is not represented by blue stake. When the contractor excavates near or adjacent to a city park, the contractor shall contact the parks & recreation division at (480) 644-2354 to request assistance in locating all their underground facilities.
- The contractor shall obtain an earth-moving permit from the Maricopa County environmental services department and shall comply with its requirements for dust control.
- The engineer hereby certifies as evidenced by a professional seal & signature that all affected utility companies that public and private have been contacted and all existing and/or proposed utility lines and other related information have been transferred onto these plans. The engineer or architect also hereby certifies that all existing and/or proposed public right-of-way or easement have been correctly plotted/shown.
- The Engineer, or Land Surveyor or record shall certify upon completion of construction that all public improvements (water and sewer utilities, storm sewer, concrete, paving, street lights, etc.) have been installed at the locations and elevations shown on the approved plans. Any changes shall be reflected on "as-built" drawings provided by the engineer to the engineering department - Construction services section.
- The registered Engineer or Land Surveyor shall certify that the minimum horizontal and vertical separation between utilities within public rights-of-way or easements has been maintained as required by law or policy.
- The Developer shall provide all construction staking for the project.
- The Developer or the Engineer is responsible for arranging for the relocation of removal of all utilities or facilities that are in conflict with the proposed public improvements. The Contractor is responsible for coordinating the relocation of all utilities, power poles, irrigation dry-up, resets removals by others, etc.
- The Contractors shall locate all utilities prior to excavation and avoid damage to same. Call (602) 263-1100 for blue stake two working days prior to digging. Call Salt River project for pole bracing, Electric Service or Construction scheduling at (602) 273-8688.
- When Gas Mains and/or Services are exposed, contact the City of Mesa at (480) 644-2261 for inspection of the exposed pipe and coating prior to backfilling of the trench. Contractors shall comply with the provisions for traffic control and barricading per the current City of Mesa Traffic barricade manual.
- If a Fire Hydrant is needed to obtain construction water, the contractor shall obtain a Fire Hydrant meter from Permit services and pay all applicable fees and charges.
- If during the construction of a public facility, the contractor fails to or is unable to comply with a request of the engineering construction inspector, and it is necessary for City forces to do work that is normally the Contractor's responsibility, the City shall be justified in billing the Contractor. Each incident requiring work by City forces shall be covered by a separate bill at the current applicable rates.
- The Contractor is advised that damage to public services or systems as a result of this project shall be repaired by the Contractor and inspected by the City inspector. Unless otherwise approved by the City, all repairs shall be done within 24 hours. The Contractor is advised that any costs related to repair or replacement of damaged public services and systems as a result of contractor's activities shall be borne by the Contractor.

Public Water Utility Notes:

- All public water main materials shall be per section 610.3 of the M.A.G. uniform standard specifications. All Ductile iron pipe (D.I.P) water mains have polyethylene corrosion protection per section 610.5 of the M.A.G. uniform standard specifications.
- All new waterlines that require service disruption in order to connect to the city system shall require a daytime tie-in. The Contractor shall complete all work necessary to restore utility service and fully open the tie-in area to vehicular traffic within the time frame allowed by the City of Mesa Engineering Construction Inspector.
- The Contractor shall install a temporary plug or valve on the section of new water line to test lines before connecting to the existing public water system where there is no water valve on the existing line.
- Water line tests shall be conducted so that existing water lines will not be included in the test of the new line.
- The required backflow prevention assembly shall be a manufacturer and model designated in the current List of approved backflow prevention assemblies as published by the foundation for cross-connection control and hydraulic research, University of Southern California.
- The backflow prevention assembly shall be tested and approved by a certified technician designated in the current City of Mesa List of approved inspectors prior to the request for final inspection.
- In accordance with Arizona administrative code (A.A.C.) R18-4-119, all materials added after January 1, 1993, which may come into contact with drinking water, shall conform to national sanitation foundation standards 60 and 61.
- Per City Ordinance No. 2341, all water meters are to be purchased from the City of Mesa. Meters two inches or less will be delivered and installed by City forces. Meters larger than two inches will be delivered by the Contractor and installed by the Contractor and require scheduling and inspections with City forces (Contact Building Safety Permit Services (480) 644-4850 for the Specific Procedure).

Public Wastewater Utility Notes:

- Contractors shall verify all invert elevations before proceeding with the balance of the utility trenching.
- All manholes per M.A.G. Details must neck down to use the standard 30 inch frame and cover. Steps shall not be installed within the manhole.

Additional MCESD Notes:

- Water Plans:**
- All New elements of a distribution system shall be disinfected
 - In Accordance with EB 8 or AWWA C651. (MAG STD 611.3)
 - Pressure testing of water lines shall be in accordance with AWWA C600 or MAG STD 611.2.
- Sewer Plans:**
- Perform a deflection test of the total length of all sewer lines made of flexible materials to ensure that the installation meets or exceeds the manufacturer's recommendations and record the results. (R18-9-E301.D.2.1 / MAG 615.11)
 - Test each segment of the sewer line for leakage using the appropriate ASTM Test for the pipe material. (R18-9-E301.D.2.J / MAG 615.11)
 - Each manhole will be tested according to R18-9-E301.D.3.E & F.

Stormwater Drainage and Retention Notes:

- The Engineer, or Land Surveyor shall certify that the required storm water retention has been provided. The Certification shall also indicate the actual volume provided. Such certification shall be provided to building safety division. Building inspections when the retention area is to remain private property and to remaining construction services if the owner fails in this responsibility, the county has the right to enter the property, maintain the retention areas, and be reimbursed for costs incurred.
- All drywells shown on the project shall be maintained by the owners and are to be replaced by the owners when they cease to drain water in a 36-hour period. Regular maintenance of the drywell-sitting chamber is required to achieve the best operation of the drywell in accordance with Arizona revised statutes. Drywells are required to be registered with the Arizona Department of Environmental Quality (A.D.E.Q) it is the owner's responsibility to register all drywells. An Aquifer protection permit may be required by A.D.E.Q. for drywells deemed to be hazardous to groundwater.

Public Street / Right-of-Way Improvement Notes:

- The Developer and the Contractor are required to coordinate the placement or installation of driveways in order to avoid conflict with utility services.
- All frames, covers, valve boxes, manholes, etc., shall be installed to finish grade or shall be adjusted to finish grade after placing of asphaltic surface course by the contractor per M.A.G. standard detail 270 and 422.
- The Contractor shall adjust all frames, covers, valve boxes, manholes, etc. that are located within the parkway area after final grading and installation of landscaping.
- All landscaping improvements, including irrigation systems within the public right-of-way or retention basins that are to be maintained by the City of Mesa, shall be in accordance with the Landscaping and Irrigation Standards booklet.
- The Street paving permittee/contractor is hereby notified that in the event that acceptance of the public street paving is delayed, six months or more after the pavement was installed, the permittee/contractor shall apply a seal coat to the pavement, type of material and rate of application will be directed by the City of Mesa Engineering Department - Field Supervising Engineer.
- A standard residential driveway approach shall be constructed to a maximum width of 30 feet unless special approval has been obtained.

Construction Notes:

- Comply with all provisions and requirements of Mesa Building Code (MBC) Chapter 33 - Safeguards During Construction, Mesa Fire Code (MFC) Chapter 33 - Fire Safety During Construction and Demolition, and NFPM 241 for items not specifically addressed by MBC Chapter 33.
 - Required fire apparatus access road during construction or demolition shall comply with Mesa Fire and Medical Department standard detail FPD 3310.1. The access road shall be a minimum of 20 feet wide of all-weather driving surface, graded to drain standing water and engineered to bear the imposed loads of fire apparatus (78,000 lbs./24,000 lbs. front axle, 54,000 lbs. rear axle) when roads are wet. The access road shall extend to within 200 feet of any combustible materials and/or any location on the jobsite where any person(s) shall be working for a minimum of four (4) continuous hours in any day. A clearly visible sign marked "Fire Department Access", in red letters, shall be provided at the entry to the access road.
 - All open trenches shall have steel plates capable of maintaining the integrity of the access road design when these trenches cross an access road.
- These access roads may be temporary or permanent. This policy applies only during construction and/or demolition. Permanent access per the MFC shall be in place prior to any final inspection or certificate of occupancy.
 - Water supply for fire protection. An approved water supply for construction site shall meet the requirements of MFC Appendix Chapters B and C. The minimum fire flow requirement when contractor or developer brings combustible materials on site is 1,500 gpm at 20 psi. At least one fire hydrant shall be within 500 feet of any combustible material and capable of delivering the minimum fire flow requirement. This hydrant or hydrants may be either temporary or permanent as the project schedule permits.

In addition, there are times when hydrants and valves must be closed temporarily for repair work or construction of the water system. The developer/contractor is responsible for ensuring that the water supply is always available. When the work is complete, developer/contractor shall make sure that the fire hydrants are active, and that the valves are open.

Specific Earthwork Notes to Bidding Contractor:

- The earthwork on this project may or may not be balanced. Bidding Contractor shall bid it based on their own quantities in accordance with the Geotech Report.
- The Contractor shall be responsible to cause the pad certifications by a registered Geotech Engineer and a Registered Land Surveyor.
- In accordance with the Geotechnical Report, all asphalt thickness up to Three (3) inches shall be constructed in one (1) Lift Only.
- Primer Coat on A.B.C. in not required.
- Please refer to additional site notes under 'Optimus civil design group specific notes' on this plan set (sheet C-2).

Standard Notes:

- No Building, Structure, or fill will be placed in the detention areas and changes or alterations affecting the hydraulic characteristics of the detention areas will be made without the approval of the County.
- Maintenance and operation of the detention and water quality areas is the responsibility of property owner. If the owner fails in this responsibility, the county has the right to enter the property, maintain the detention areas, and be reimbursed for costs incurred.
- Detention pond volumes, all drainage appurtenances, and basin boundaries shall be verified. As-built drawings shall be prepared by a registered professional engineer prior to issuance of certificate of occupancy for any structure within the development.
- Permission to reproduce these plans is hereby given to Mesa County for County purposes associated with plan review, approval, permitting, inspection and construction of work.

Drywell Notes:

- The project has proposed drywells to bleed-off the underground retention system in thirty-six (36) hours as these are to public storm drain system available that ultimately convey to a regional drainage system.
 - All drywells shown on this project shall be maintained by the owners and are to be replaced by the owners when they cease to drain the surface water in a 36-hour period. Regular maintenance of the drywell sitting chamber is required to achieve the best operation of the drywell.
 - A constant head pressure test shall be performed by the installing contractor, and must be provided to the engineer of record. The field observed percolation rate shall be divided (de-rated) by the following value based on in-situ soil conditions:
 - 2 - Coarse grained soils (Cobbles, Gravels, and Sands)
 - 3 - Fine grained soils (Silt and Loams)
 - 5 - Clay soils
- The Results of the field percolation test shall be recorded on the As-built drawings and certified by the engineer of record. The owner is responsible for installing additional drywell(s) if the de-rated percolation rate is less than the assumed 0.1 CFS.

Gas General Notes:

- All work and materials shall conform to the most current city of Mesa Gas operations, maintenance, construction practices and emergency plan manual.
- When gas mains and/or services are exposed, contact the City of Mesa at (480) 644-2261 for inspection of the exposed pipe and coating prior to backfilling of the trench. Bedding or shading material adjacent to the City of Mesa Gas pipe shall be select sandy type soil free of rock and debris that will pass through a 3/8" screen as inspected and approved by City Gas inspection personnel.
- The Contractor shall comply with all requirements as indicated on the city of Mesa Detail M-38 when trenching for the waterline where a gas main is to be installed in the same trench.
- Contact City of Mesa Gas Division at 480-644-2753 for scheduling and coordination of the installation of natural gas services and mains.
- Gas line shall maintain a nominal 12" (minimum of 8") separation from existing water, sewer, electrical, cable TV and Telco Facilities.
- Contractor is responsible for verifying locations of all existing utilities and avoiding damage to same. Call (602) 263-1100 for blue stakes services. Outside Maricopa County Call 1-800-STAKEIT.
- All gas notes in dashed boxes are to be completed by City of Mesa Crews or City of Mesa Gas line Contractor.

Optimus Civil Design Group Specific Notes:

- Any Questions regarding the interpretation of these plans shall be presented to Optimus. Any alteration or variance from these plans must be approved by Optimus and the applicable agency(ies) prior to construction. Any who interests, alters or changes these drawings without prior approval shall be responsible for the consequences thereof.
- The quantities shown are for information and/or permitting purposes only and should not be relied upon. The contractor shall be responsible to calculate its own quantities for bidding and is advised that grades will not be adjusted to balance the site (any import/export is the Contractor's responsibility unless otherwise agreed to by the owner). Further, No claims shall be made against the shrink/swell, pipe volume, and shading materials were not considered when calculating quantities.
- Due to varying field conditions, changing soil types, allowable construction tolerances and construction methods that are beyond the control of Optimus, Optimus makes no representation or guarantee that the earthwork for this project will balance.
- Prior to bidding or constructing any improvements set forth herein, the contractor shall thoroughly satisfy itself as to the actual site condition, current applicable codes which may modify or supersede the content of these drawings, I.E., ADA compliance, and any special requirements of the work.
- It shall be the responsibility of the contractor to verify the benchmark and compare the site conditions with the plans, and then to notify Optimus of any discrepancies. Should any discrepancy be noted, the contractor shall be notified at least twenty-four (24) hours before construction is scheduled to begin in the affected area. If Optimus is not notified as set forth herein, any discrepancies shall be deemed to be the responsibility of the contractor.
- Contractor shall be responsible to engage a registered Land Surveyor to provide all necessary field layout staking, and final as-builts for this project. Immediately upon completion of each category of improvements, I.E., water, sewer, paving, grading, drainage, storm drain etc., Contractor shall deliver to Optimus a complete set of City approved plans with notes that clearly and adequately indicate the as-built conditions, together with the contractor's Land Surveyor's certification of the accuracy of said as-built notes. Depending upon the respective governing agency's requirements, the Land surveyor's certification shall take the form of a valid stamp on the cover sheet of the as-built plan set and/or separate stamped certification letter. Contractor shall be required to correct and revise deficient as-builts until said as-builts are acceptable to Optimus and the governing agency(ies). Sewer and water stakes buried prior to as-builts shall be uncovered at the contractor's expense.
- Optimus shall not be responsible for construction means, methods, techniques, sequences, procedures or safety precautions or programs utilized in connection with the work, and will not be responsible for the contractor's failure to carry out the work in accordance with the contract documents.
- Optimus has not physically located any existing underground utilities, and has relied upon available field survey information and existing drawings. Optimus makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. Further, Optimus does not warrant that the underground utilities shown are in the exact location indicated, although it does certify that they are located as accurately as possible from information available.
- Optimus shall not be responsible for coordinating the relocation of utilities, power poles, etc., or for associated land exchanges and easement preparation/execution. Unless otherwise noted, the depth of cover on underground improvements is designed based upon final grade. Contractor is responsible for protecting all underground pipes and improvements from damage during all stages of construction. Temporary fill may need to be implemented during construction for shallow pipes <3' (feet) of cover. Prior to constructing any ramps, sidewalks and pavement improvements shown on the plans, the contractor shall have its registered surveyor verify that the construction of the improvements meet current applicable codes, I.E., ADA compliance. Improvements that do not meet these requirements shall be removed and replaced at contractor's sole expense.
- The contractor shall verify the location, elevation, condition, and pavement cross-slope of all existing surfaces at points of tie-in and matching prior to commencement of grading, paving, curb, and gutter or other surface construction. Should any of the aforementioned items differ from that shown on the plans, or should the construction of the proposed improvements create a situation that is not acceptable by industry standards, the contractor shall notify Optimus and request clarification prior to commencement of construction. The contractor shall be responsible for all costs associated with corrective action if this procedure is not followed.
- This set of plans have been prepared in conjunction with site architectural plans. If so, Contractor should cross reference the site architectural plans for the additional relevant information not included herein. Discrepancies between these plans and the site architectural plans shall be brought to the immediate attention of Optimus and the architect.
- Per AS 40-360-22, all buried nonmetallic private communication cable, nonmetallic private water lines, nonmetallic private sewer lines, nonmetallic private gas lines and nonmetallic private landscape sprinkler lines greater than 2" in Diameter (the greater than 2" qualification applies to landscape sprinkler lines only) shall have an #18 or larger copper tracer wire securely attached to it at 8' O.C. and shall have 12" of tracer wire accessible above grade at the termination where that termination is above grade and be securely attached at that point.
- All costs for required testing and certifications for public/private water and sewer including but not limited to closed circuit TV inspections, air tests, mandrel tests, pressure testing, chlorination etc., are the responsibility of the contractor. Contractor is to ascertain all such requirements prior to bidding.
- A Report of soils investigations, including recommendations for grading procedures has been prepared by the geotechnical engineer for this project and on file with owner/developer. All earthwork shall conform to the recommendations contained in said report and any amendments thereto.
- A Geotechnical engineer shall contracted by the owner and/or the contractor shall observe, inspect and test all construction operations, including but not limited to clearing, grubbing, subgrade preparation, structural trench excavation and backfill, material testing, together with placement of fill. Said engineer shall certify in writing that all soils operations and materials used on this project were performed in accordance with the recommendations as set forth in the geotechnical investigation of record and are in conformance with the local, state, and/or federal jurisdiction specifications. This inspection and certification also specifically includes the installation of the underground retention pipes with no exception.

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| Drafted by: NT |
| Client Name: MACU |
| 23-005 CV |



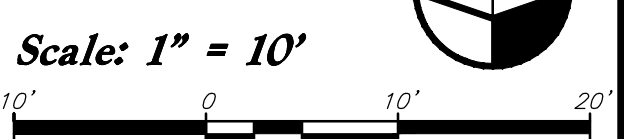
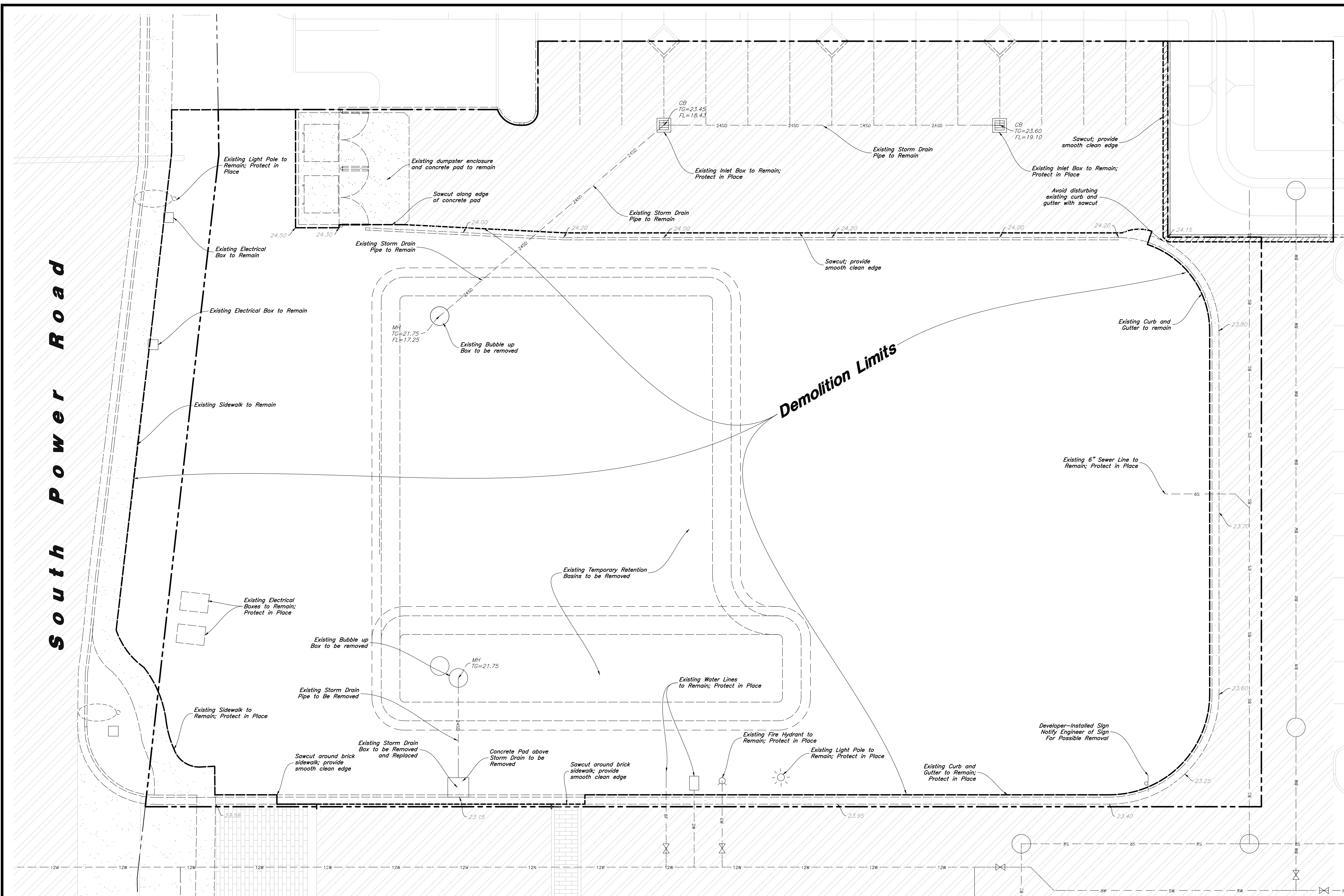
General Notes
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212



10 May, 2023

SHEET NO. **GN**





Construction Notes:

1. Comply with all provisions and requirements of Mesa Building Code (MBC) Chapter 33 - Safeguards During Construction, Mesa Fire Code (MFC) Chapter 33 - Fire Safety During Construction and Demolition, and NFPA 241 for items not specifically addressed by MBC Chapter 33.
2. Required fire apparatus access road during construction or demolition shall comply with Mesa Fire and Medical Department standard detail FPD 3310.1. The access road shall be a minimum of 20 feet wide of all-weather driving surface, graded to drain standing water and engineered to bear the imposed loads of fire apparatus (28,000 lbs./24,000 lbs. front axle, 54,000 lbs. rear axle) when roads are wet. The access road shall extend to within 200 feet of any combustible materials and/or any location on the jobsite where any person(s) shall be working for a minimum of four (4) continuous hours in any day. A clearly visible sign marked "Fire Department Access", in red letters, shall be provided at the entry to the access road. All open trenches shall have steel plates capable of maintaining the integrity of the access road design when these trenches cross an access road. These access roads may be temporary or permanent. This policy applies only during construction and/or demolition. Permanent access per the MFC shall be in place prior to any final inspection or certificate of occupancy.
3. Water supply for fire protection. An approved water supply for construction site shall meet the requirements of MFC Appendix Chapters B and C. The minimum fire flow requirement when contractor or developer brings combustible materials on site is 1,500 gpm at 20 psi. At least one fire hydrant shall be within 500 feet of any combustible material and capable of delivering the minimum fire flow requirement. This hydrant or hydrants may be either temporary or permanent as the project schedule permits. In addition, there are times when hydrants and valves must be closed temporarily for repair work or construction of the water system. The developer/contractor is responsible for ensuring that the water supply is always available. When the work is complete, developer/contractor shall make sure that the fire hydrants are active, and that the valves are open.

Demolition Limits

General Demolition Notes:

1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
16. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
17. Contractor shall shore and protect neighboring properties per OSHA standards during excavation activities when necessary. All excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approval from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.

Survey Note:

Existing grades shown were taken from Developer provided Design Drawings. Contractor is to Verify Existing Utilities, Manholes, and existing edge of pavement, prior to starting any construction, and to contact Engineer with any Discrepancies.

CAUTION:
The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

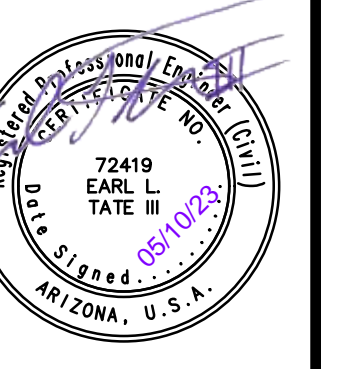


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Drafted by: NT
Client Name: MACU
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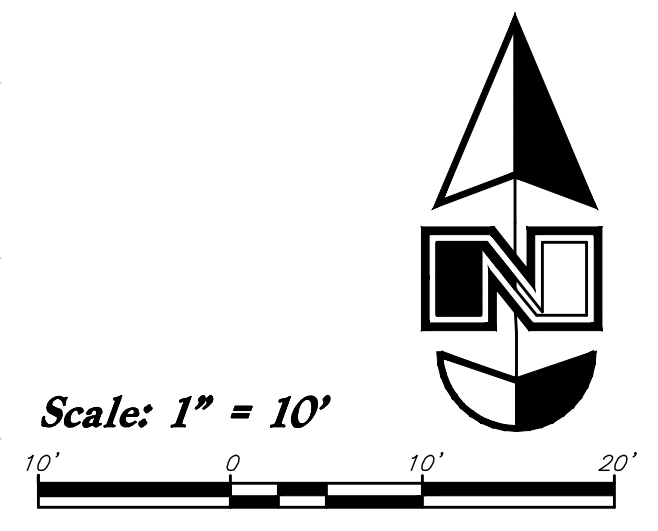
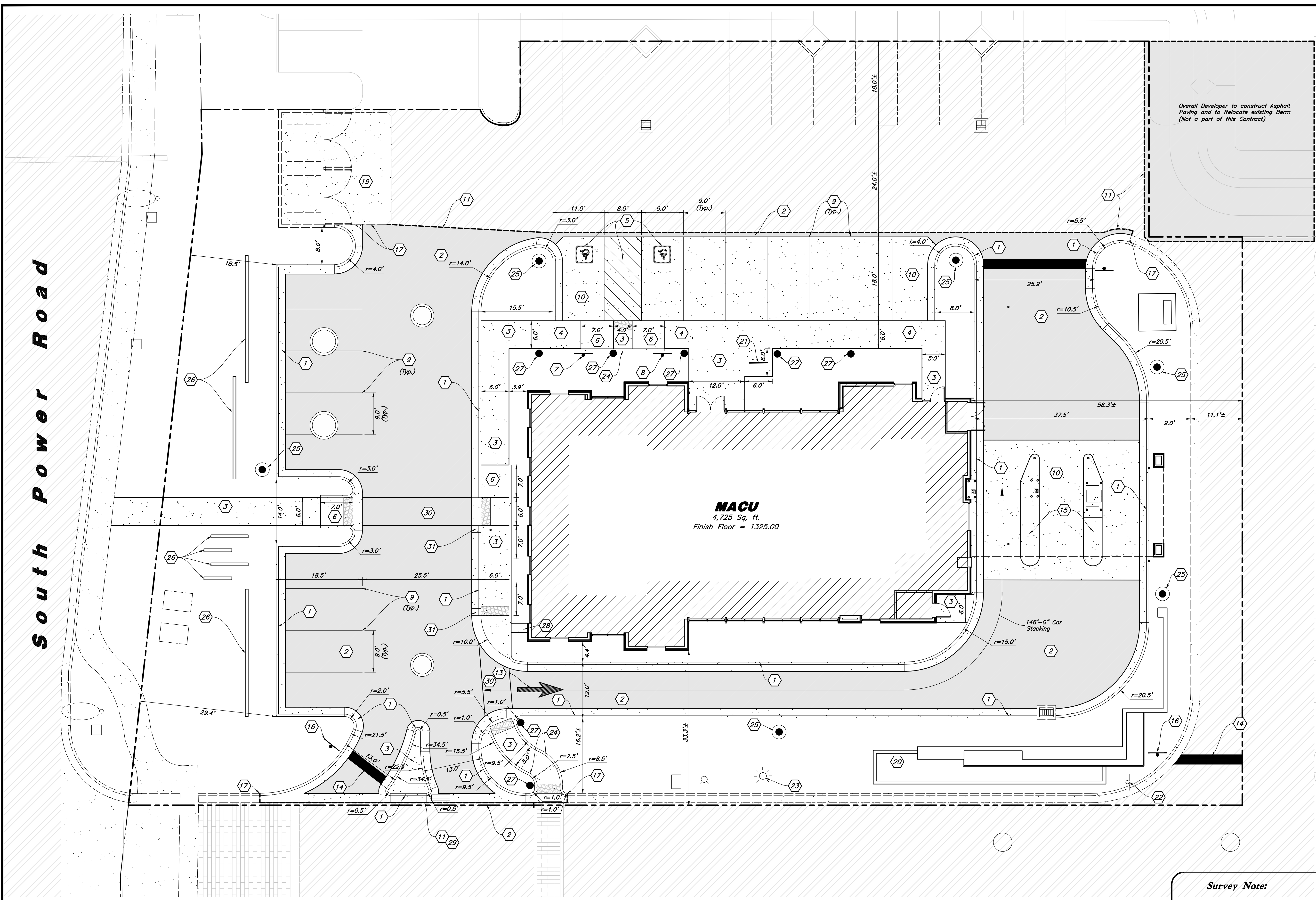


Demolition Plan
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



10 May, 2023
SHEET NO.

CO.1



- Site Construction Notes**
- 1 Const. 24" Curb & Gutter (C4.1)
 - 2 Const. Asphalt Paving (C4.1)
 - 3 Const. Conc. Sidewalk (C4.1)
 - 4 Const. Thickened Edge Sidewalk (C4.1)
 - 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
 - 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (C2.2)
 - 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
 - 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.2)
 - 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
 - 10 Const. Conc. Paving (C4.1)
 - 11 Sawcut; Provide Smooth Clean Edge
 - 12 Exist. Dumpster Enclosure
 - 13 Const. Directional Arrows per MUTCD
 - 14 Const. 24" White Stop Bar
 - 15 Const. Raised Concrete Drive-Thru Island (See Architectural Plan) - 6" Max. Height
 - 16 Const. Stop Sign per MUTCD R1-1 (C4.3)
 - 17 Conn. & Match Existing Improvements
 - 18 Const. Landscape Edging (Coordinate w/ Landscape Plan)
 - 19 Existing Dumpster Enclosure
 - 20 Sign by Others
 - 21 Const. Bike Rack (See Arch Plans for Detail)
 - 22 Possible Developer-Installed Sign
 - 23 Existing Light Pole
 - 24 Const. 6" Curb Wall (C4.1)
 - 25 Const. Light Poles-Locations for Reference Only (See Electrical Plans)
 - 26 Const. CMU Screen Walls (See Architectural Plans for Design, Details, and Heights)
 - 27 Const. Lighted bollard (See Site Electrical Plans for Details)
 - 28 Const. Paved Scupper per Geotechnical Report.
 - 29 Remove existing curb and gutter. Form new asphalt paving against edge of asphalt. Provide smooth clean edge. Alternate is saw cut and remove 2.0' of asphalt.
 - 30 Const. 6.0' Painted Pedestrian Crosswalk
 - 31 Const. Curb Transition (C4.2)

South Power Road

Site Data
 Site Area = 35,891 s.f. (0.824 ac.)
 Landscape Area Provided = 9,802 s.f. (27%)
 Impervious Area Provided = 21,364 s.f. (60%)
 Building Area = 4,725 s.f. (13%)
 Parking Required = 1/150 s.f. = 32 stalls
 Parking Provided = 32 stalls (0.9/1,000)

Hatch Legend

| | |
|--|--------------------------|
| | Standard Asphalt Paving |
| | Existing Asphalt Paving |
| | Standard Concrete Paving |
| | Existing Concrete Paving |
| | Building Interior |

Survey Control Note:
 The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or an electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

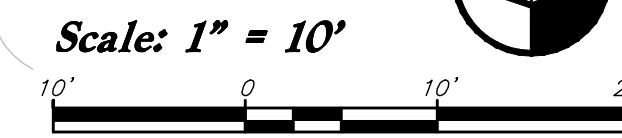
PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
 The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

- General Site Notes:**
1. All dimensions are to back of curb unless otherwise noted.
 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 4. Const. curb transition at all points where curb abuts sidewalk, see detail.
 5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
 6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

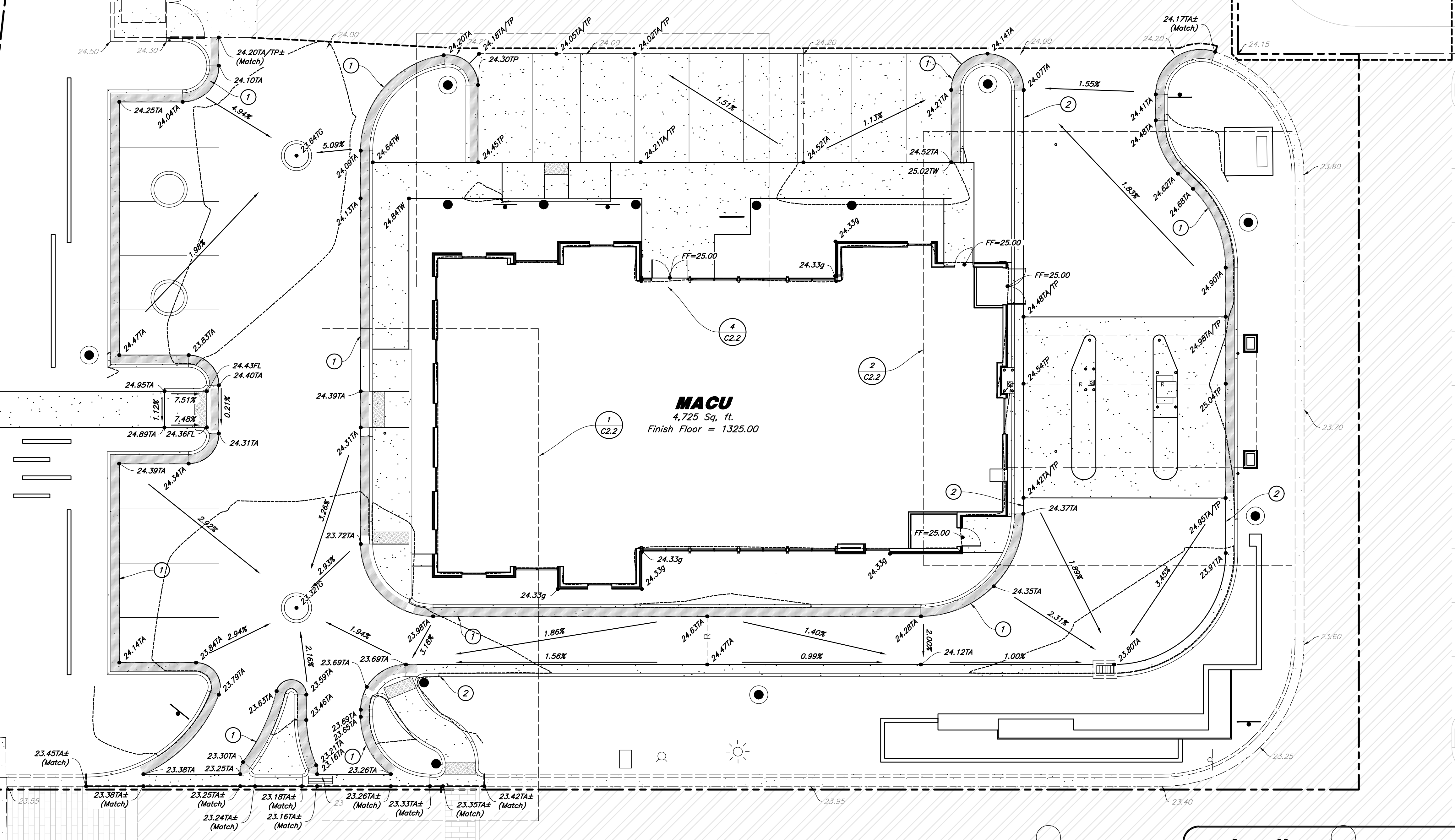
Survey Note:
 Existing grades shown were taken from Developer provided Design Drawings. Contractor is to Verify Existing Utilities, Manholes, and existing edge of pavement, prior to starting any construction, and to contact Engineer with any Discrepancies.

Construction Survey Note:
 The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

| | |
|--|--|
| <p>Designed by: LC Drafted by: NT Client Name: MACU 23-005 SP</p> | <p style="writing-mode: vertical-rl; transform: rotate(180deg);">Mountain America Credit Union 4917 South Power Road Mesa, AZ 85212</p> |
| | |
| <p>10 May, 2023</p> <p style="font-size: 2em; font-weight: bold;">C1.1</p> | |



South Power Road



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.

14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
 17. The recommendations in the following Geotechnical Engineering Report by Speedie and Associates are included in the requirements of grading and site Preparation. The Report is titled "Report on Geotechnical Investigation."
 18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 19. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.
- Project No.: 190866SA
Dated: May 29, 2019

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

PVC Pipe Protection During Construction:
PVC Pipe must have 24" cover for heavy construction loading during construction. The Contractor is responsible to temporarily protect any pipes with less than 24" cover by baring over the pipes.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. Where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

Survey Note:
Existing grades shown were taken from Developer provided Design Drawings. Contractor is to Verify Existing Utilities, Manholes, and existing edge of pavement, prior to starting any construction, and to contact Engineer with any Discrepancies.

Designed by: LC
Drafted by: NT
Client Name: MACU
23-005 GR



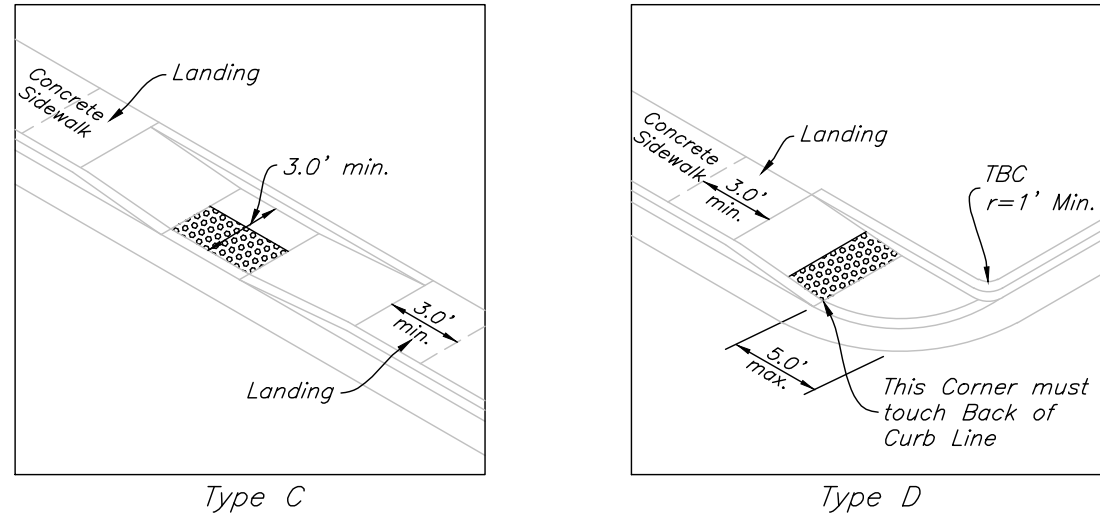
Grading Plan
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212



10 May, 2023

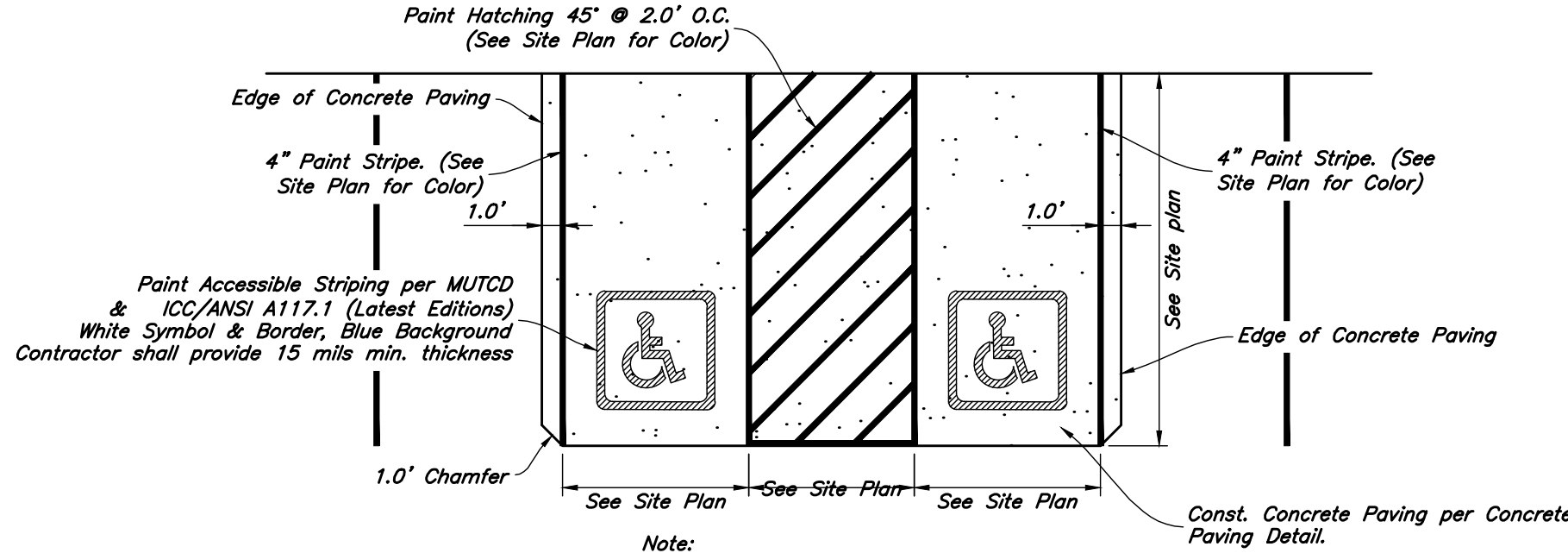
SHEET NO.
C2.1



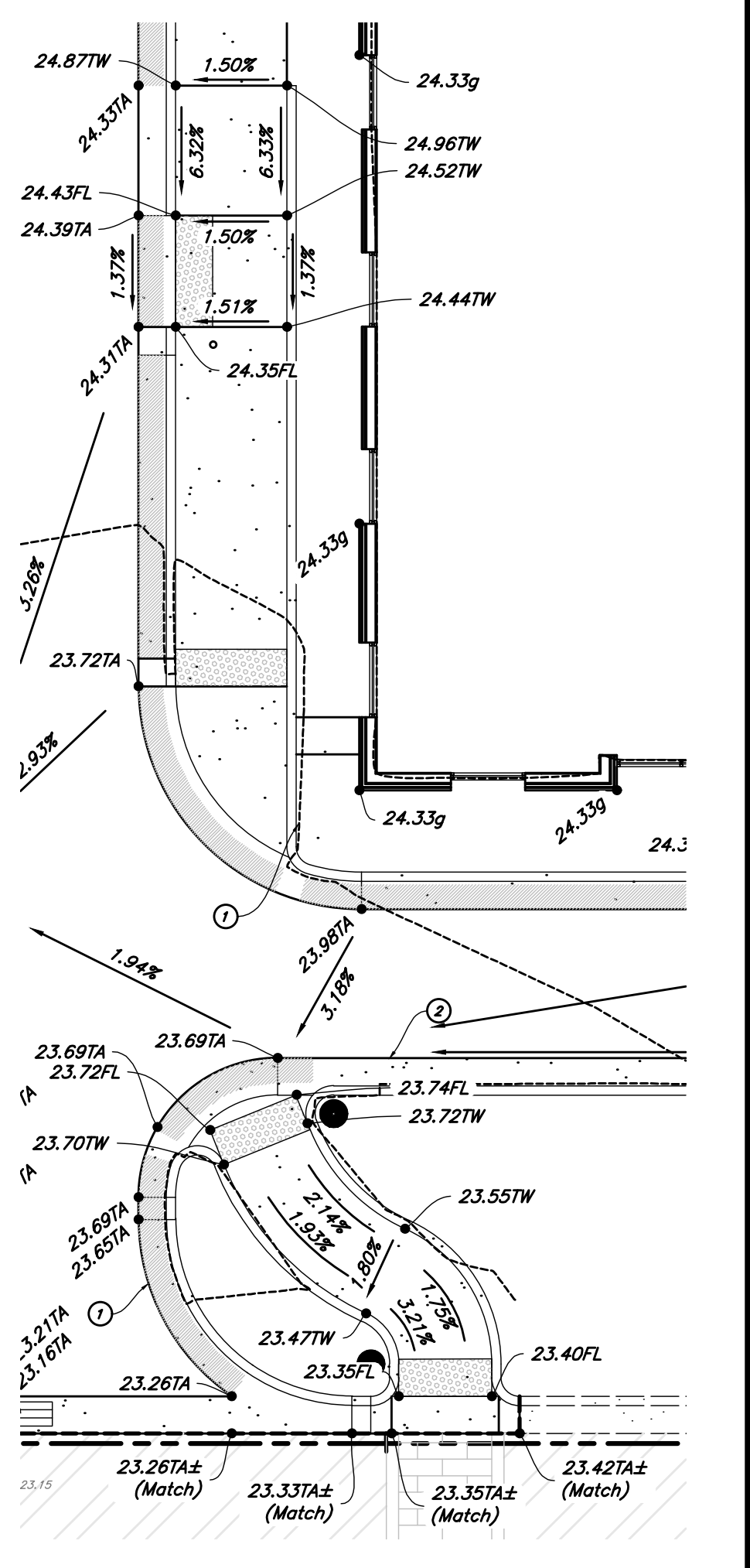


Notes:

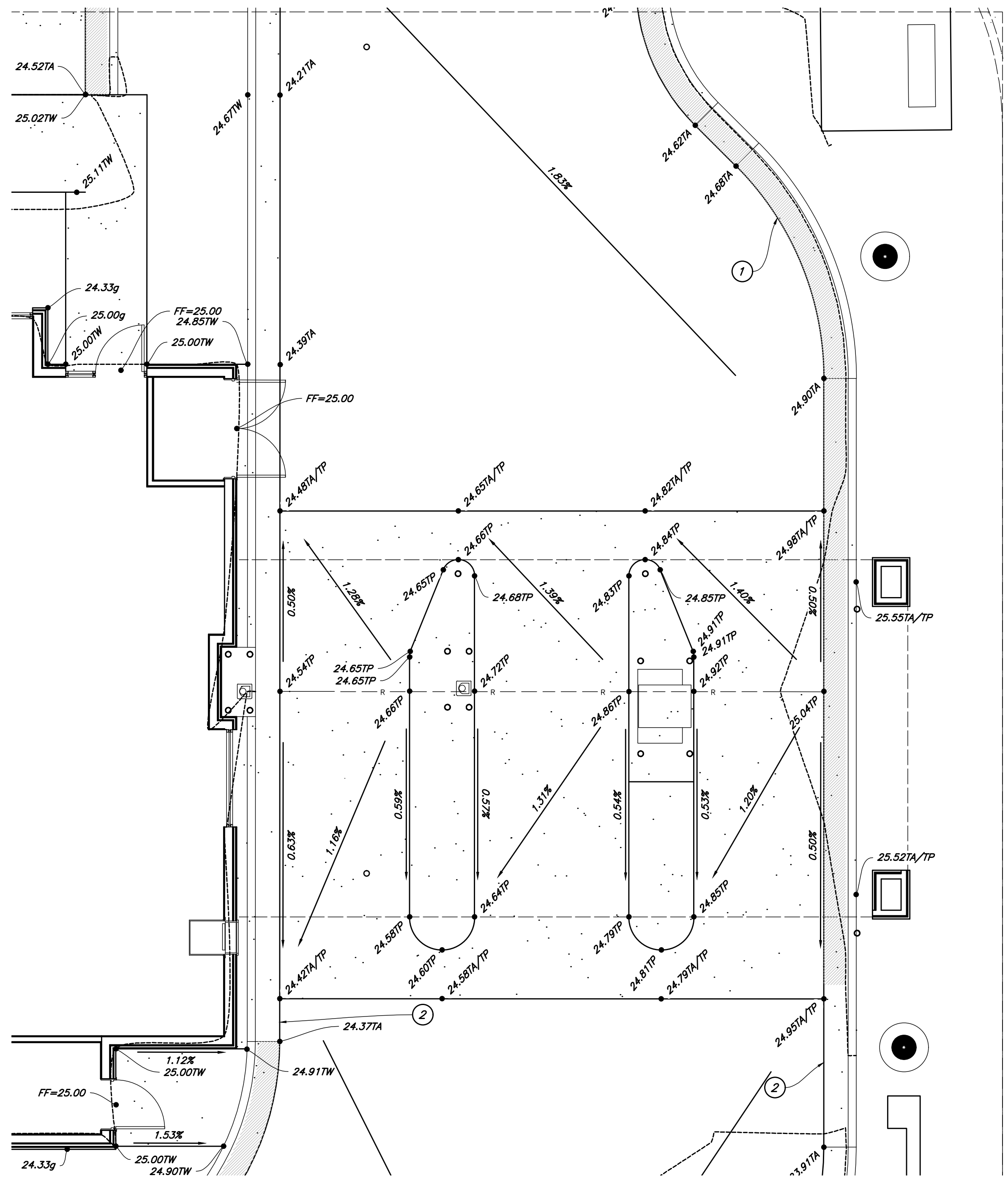
1. Provide truncated domes per ICC/ANSI A117.1 (Latest Edition) ADA Requirements (Minimum of 2" deep by the width of ramp). Truncated domes shall be Armor-Tile or ADA Solutions or equivalent cast in place detectable warning tiles. Color shall be approved by owner.
2. Truncated domes are to be the full width of sidewalk or ramp.
3. All landings must have 1:50 cross slope & running slope. Landing must be as wide as the ramp.



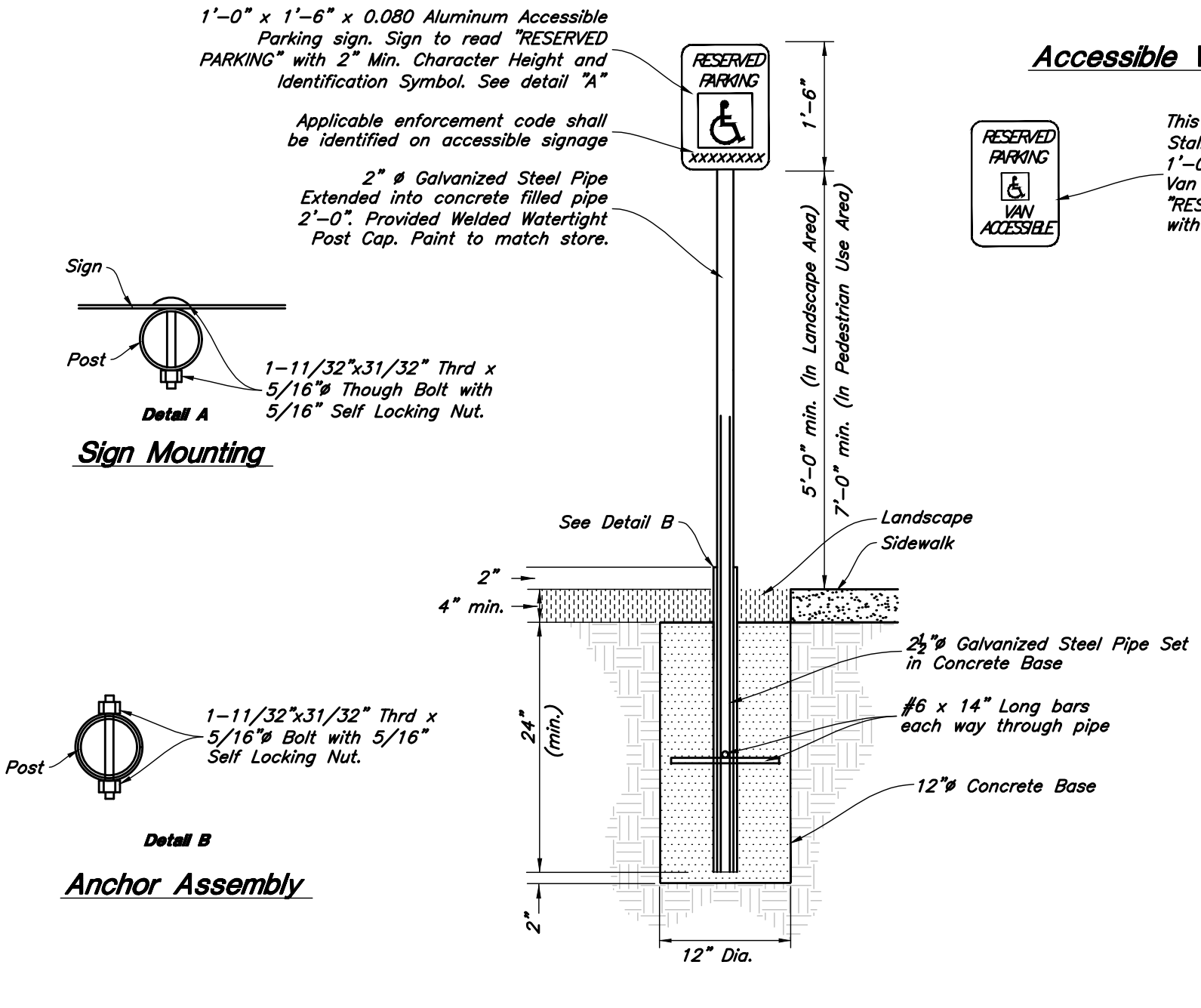
3 Accessible Striping Detail
Not to Scale



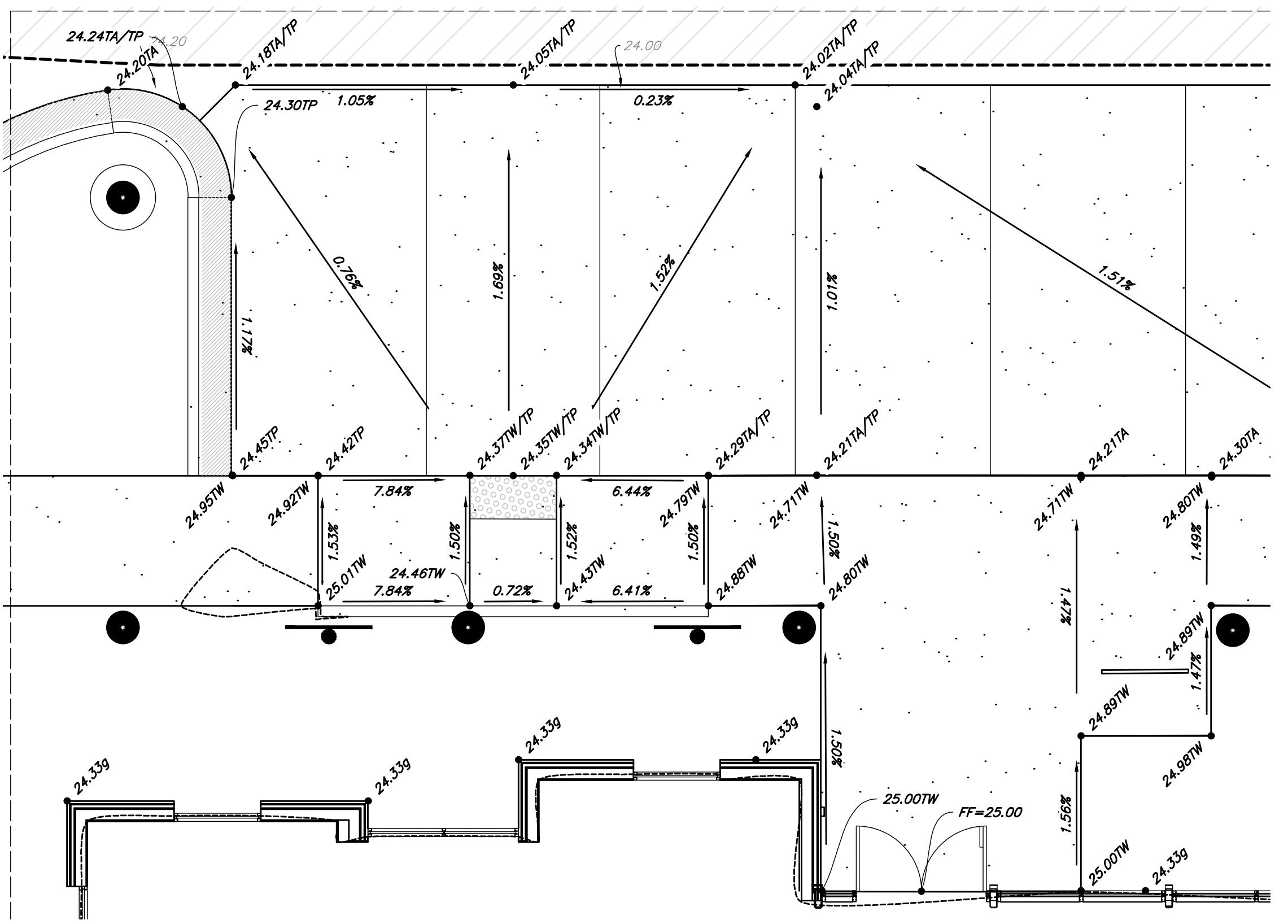
1 Sidewalk Detail
Scale: 1" = 5'



2 Drive-Thru Detail
Scale: 1" = 5'



5 Landscape Area Accessible Parking Sign
Not to Scale



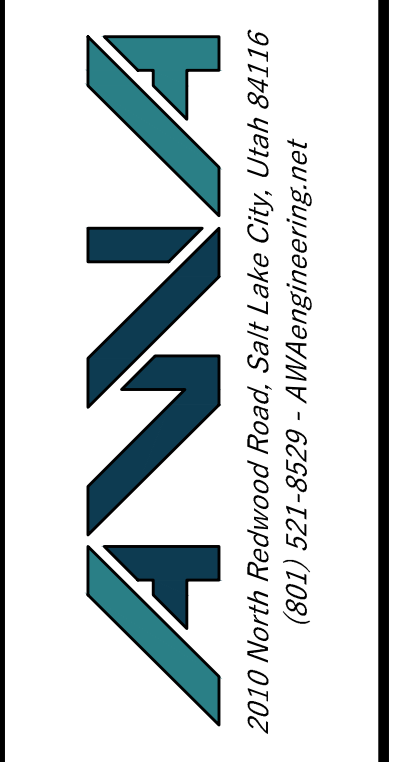
4 ADA Parking Area Detail
Scale: 1" = 5'

Survey Note:
Existing grades shown were taken from Developer provided Design Drawings. Contractor is to Verify Existing Utilities, Manholes, and existing edge of pavement, prior to starting any construction, and to contact Engineer with any Discrepancies.

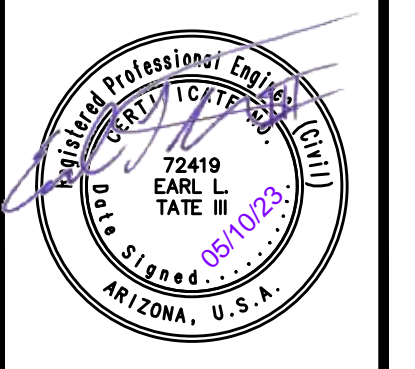
- Private Curb Ramp Construction Notes**
1. Slopes provided are per Anderson Wahlen & Associates design standards. Slopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.
 2. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FWSA.
 3. Counter slopes of adjoining gutters & paving adjacent to the curb ramp shall not be steeper than 4.50%.
 4. Accessible ramp flares shall be poured separately from ramp to ensure proper slopes.
 5. Contractor to transition curb or sidewalk height from 6" to 0" reveal. Curb or sidewalk height to match ramp throughout transition.

Prior to any construction of any Accessible Improvements, a Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Engineer and Schedule Pre-Construction Meeting

Designed by: LC
Drafted by: NT
Client Name: MACU
23-005 GR

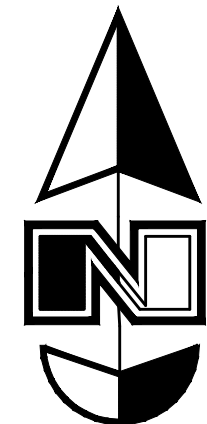


Grading Details and Notes
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



10 May, 2023
SHEET NO. **C2.2**

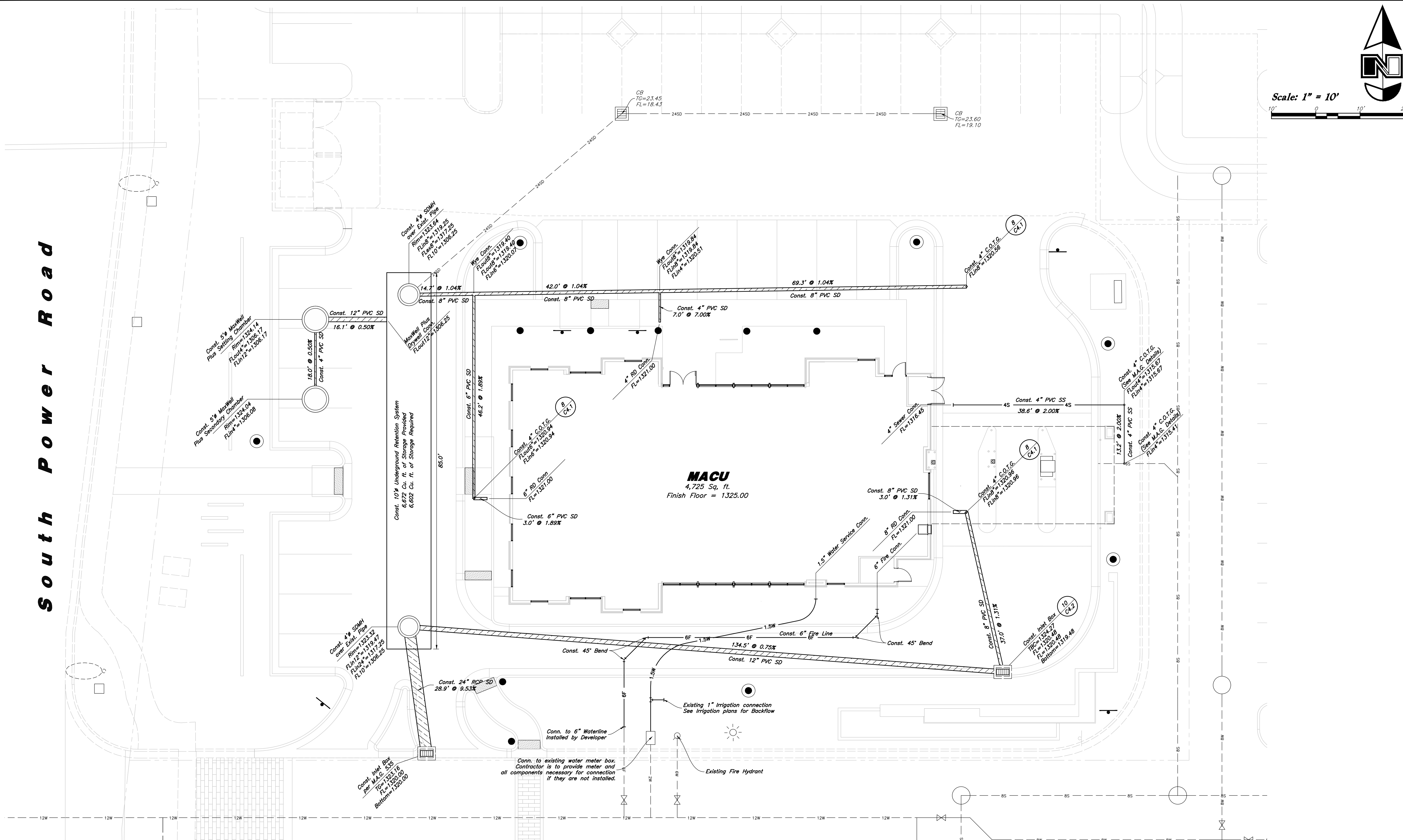




Scale: 1" = 10'



South Power Road



General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below of a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

- Culinary Service Laterals**
- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
 - Copper Pipe (Up to 3 inches diameter); Type 'K'.
- Water Main Lines and Fire Lines**
- Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter); AWWA C900, Class 235

Sanitary Sewer Lines

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35

Storm Drain Lines

- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35
- 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

CAUTION:

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Onsite Utility Connection Notes:

- Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
- Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation.
- Construction of any onsite utilities prior to the offsite connection will be done at the contractor's risk.

Survey Note:

Existing grades shown were taken from Developer provided Design Drawings. Contractor is to Verify Existing Utilities, Manholes, and existing edge of pavement, prior to starting any construction, and to contact Engineer with any Discrepancies.

Storm Drain & Sanitary Sewer Note:
All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

Designed by: LC
 Drafted by: NT
 Client Name: MACU
 23-005 UT

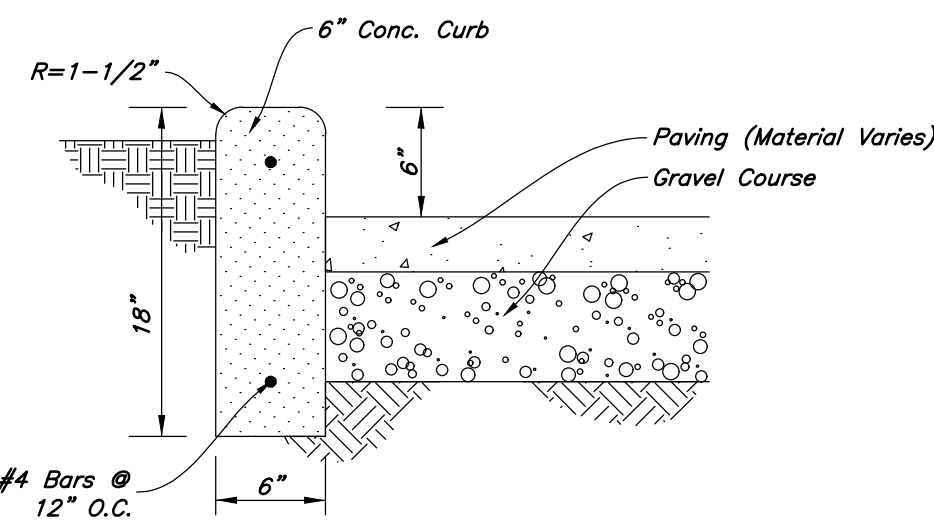


Utility Plan
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212



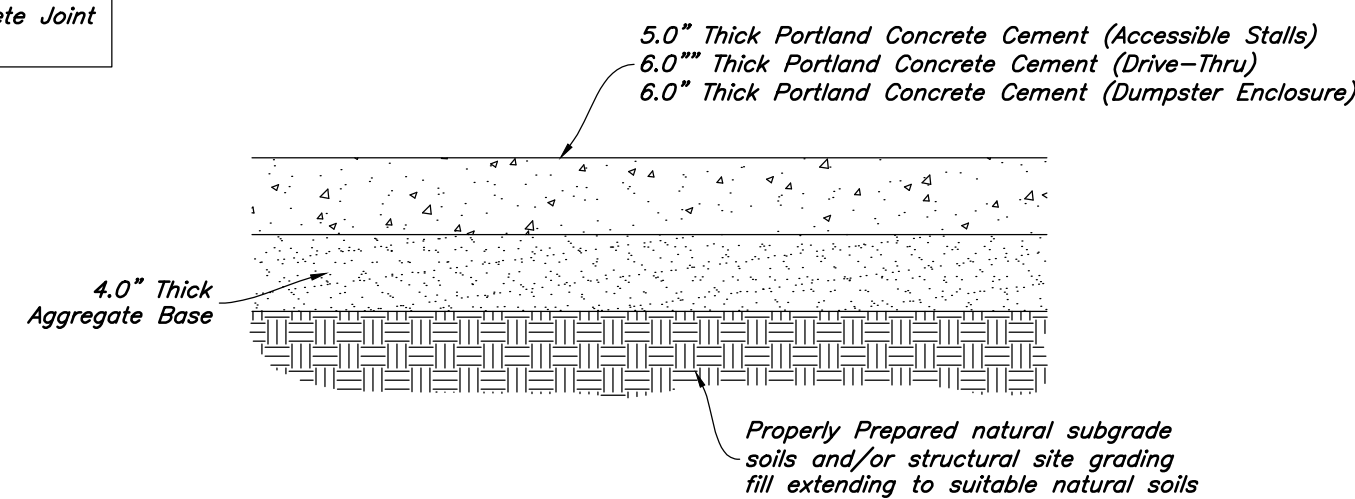
10 May, 2023
 SHEET NO.
C3.1

- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



7 **Curb Wall**
Not to Scale

- See Geotechnical Report for Project for Future Details
- See Concrete Joint Detail



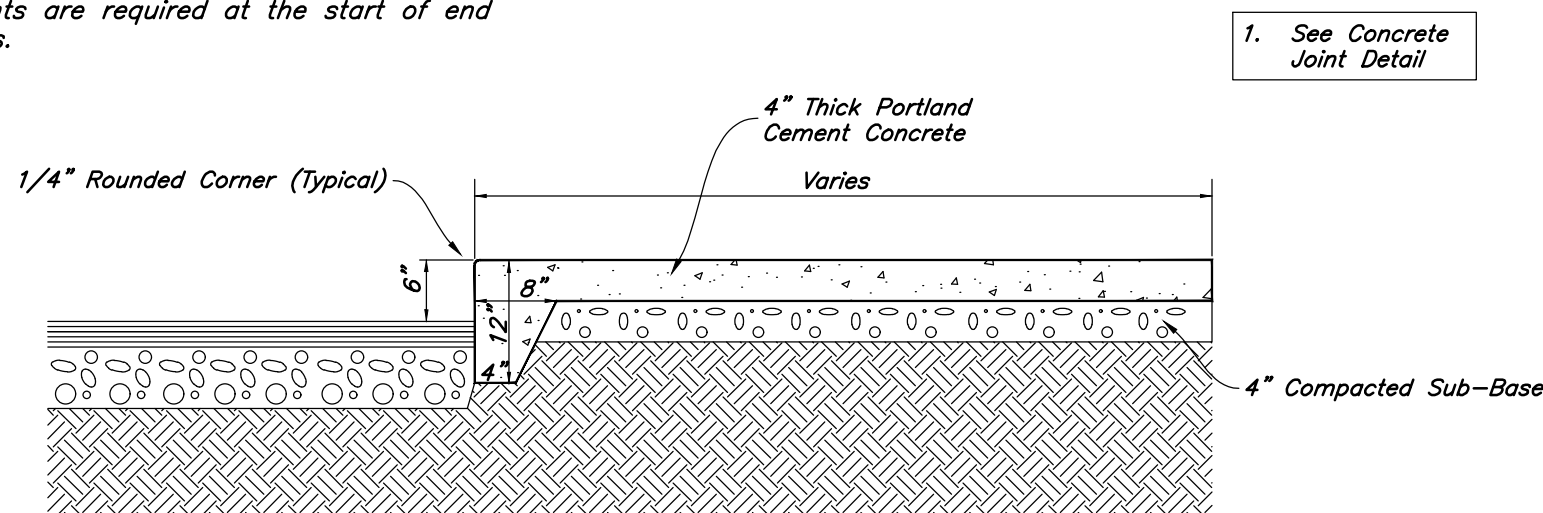
6 **Concrete Paving Section**
Not to Scale

Contraction Joints

- Spacing = 10' O.C.

Expansion Joints

- Make expansion joints full depth, see joint detail
- Place expansion joint at all cold joints
- Expansion joints are required at the start of end of curb radius.



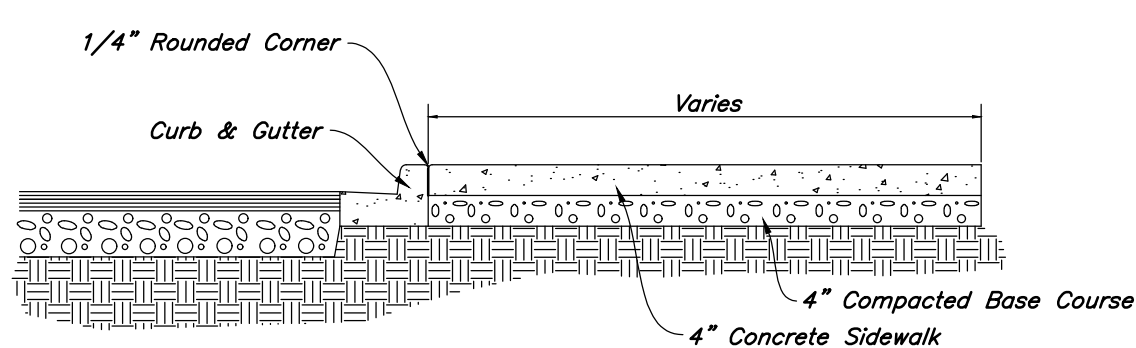
5 **Thickened Edge Walk**
Not to Scale

Contraction Joints

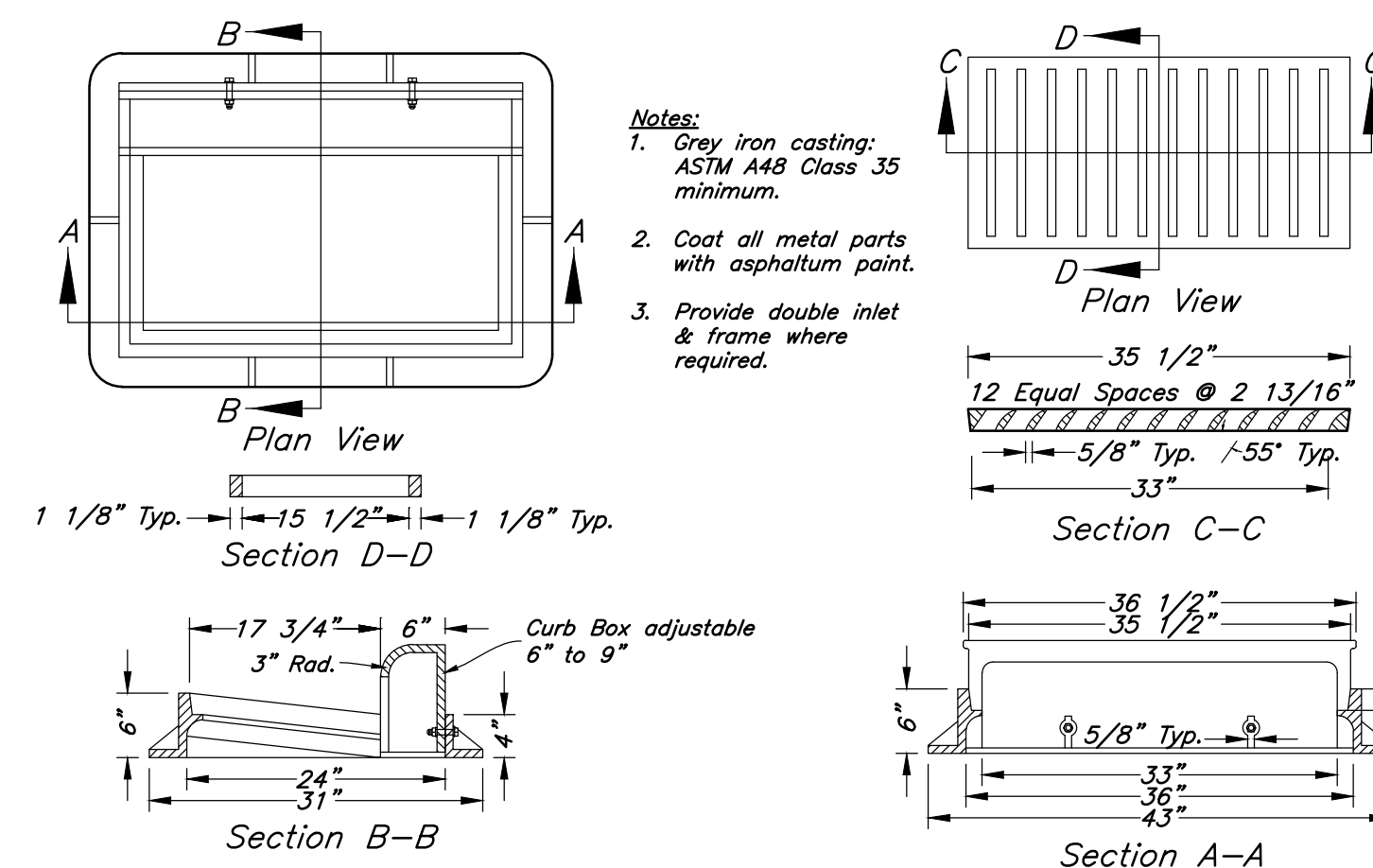
- Spacing = 10' O.C.

Expansion Joints

- Make expansion joints full depth, see joint detail
- Place expansion joint at all cold joints
- Expansion joints are required at the start of end of curb radius.

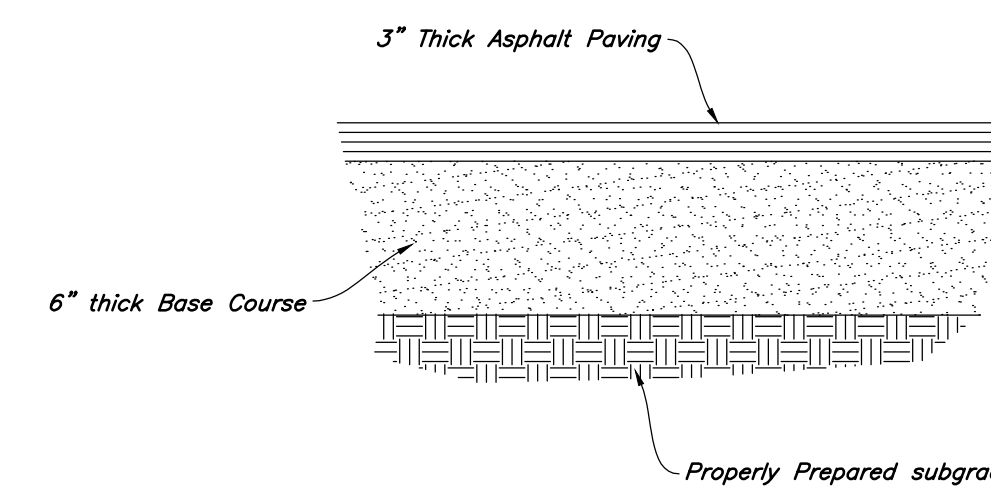


4 **Typical Sidewalk Detail**
Not to Scale



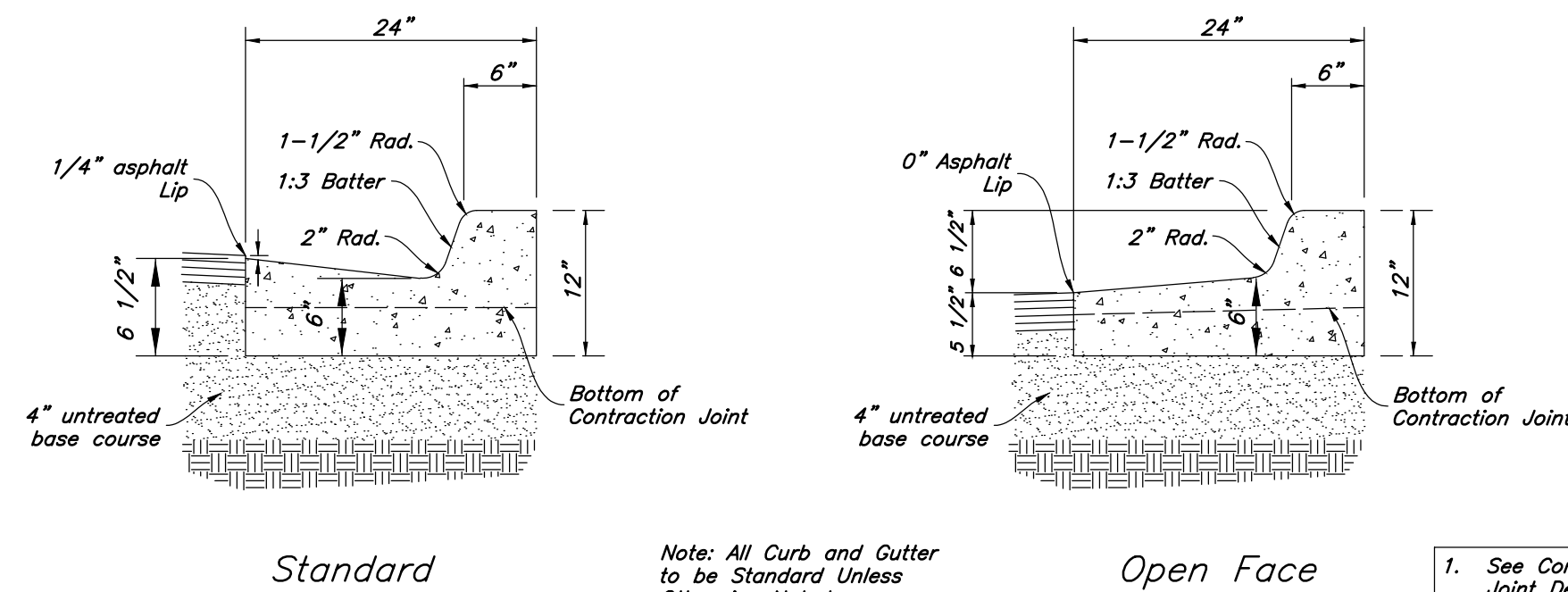
3 **Inlet Gate Frame**
Not to Scale

- See Geotechnical Report for Project

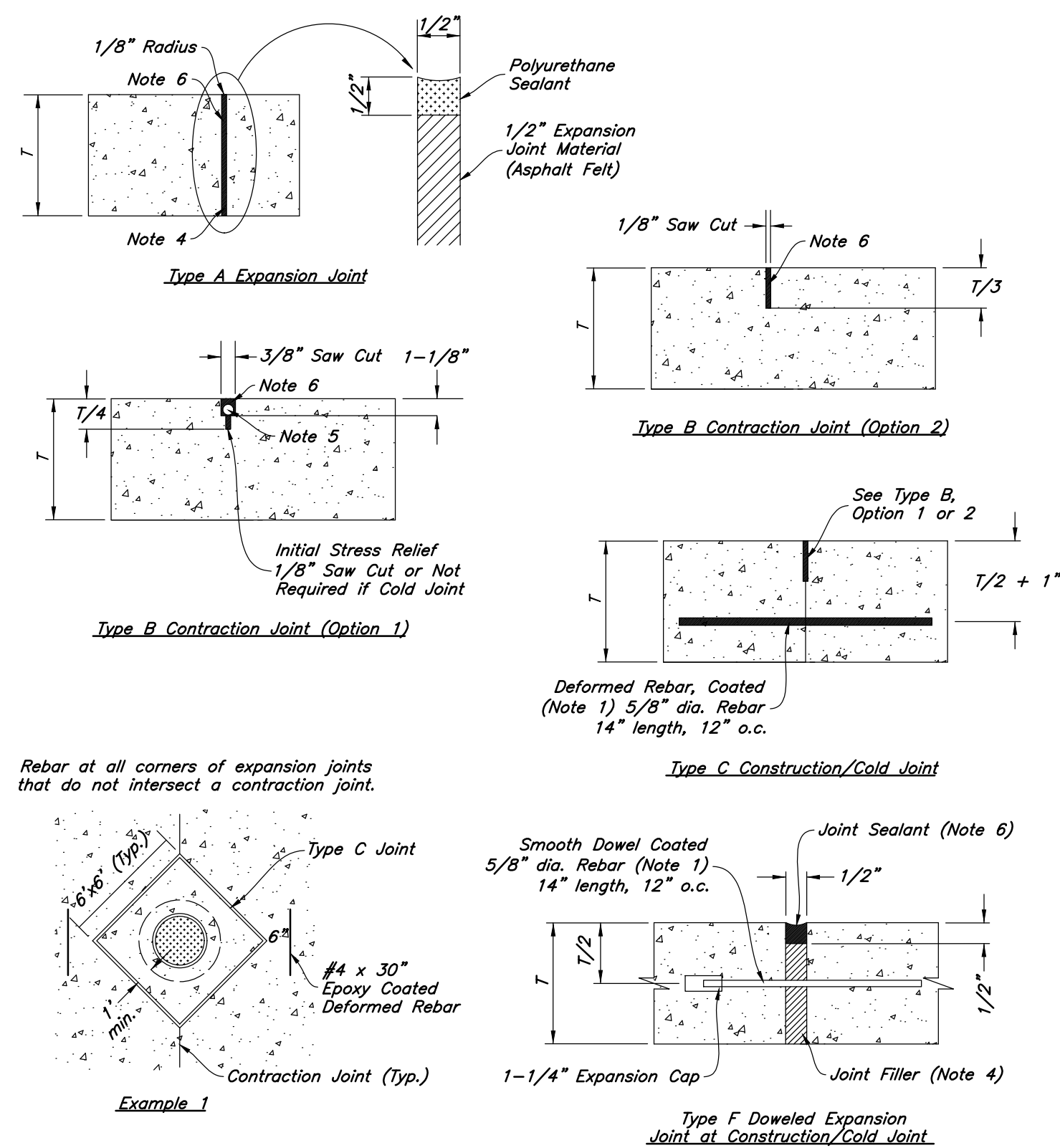


2 **Standard Asphalt Section**
Not to Scale

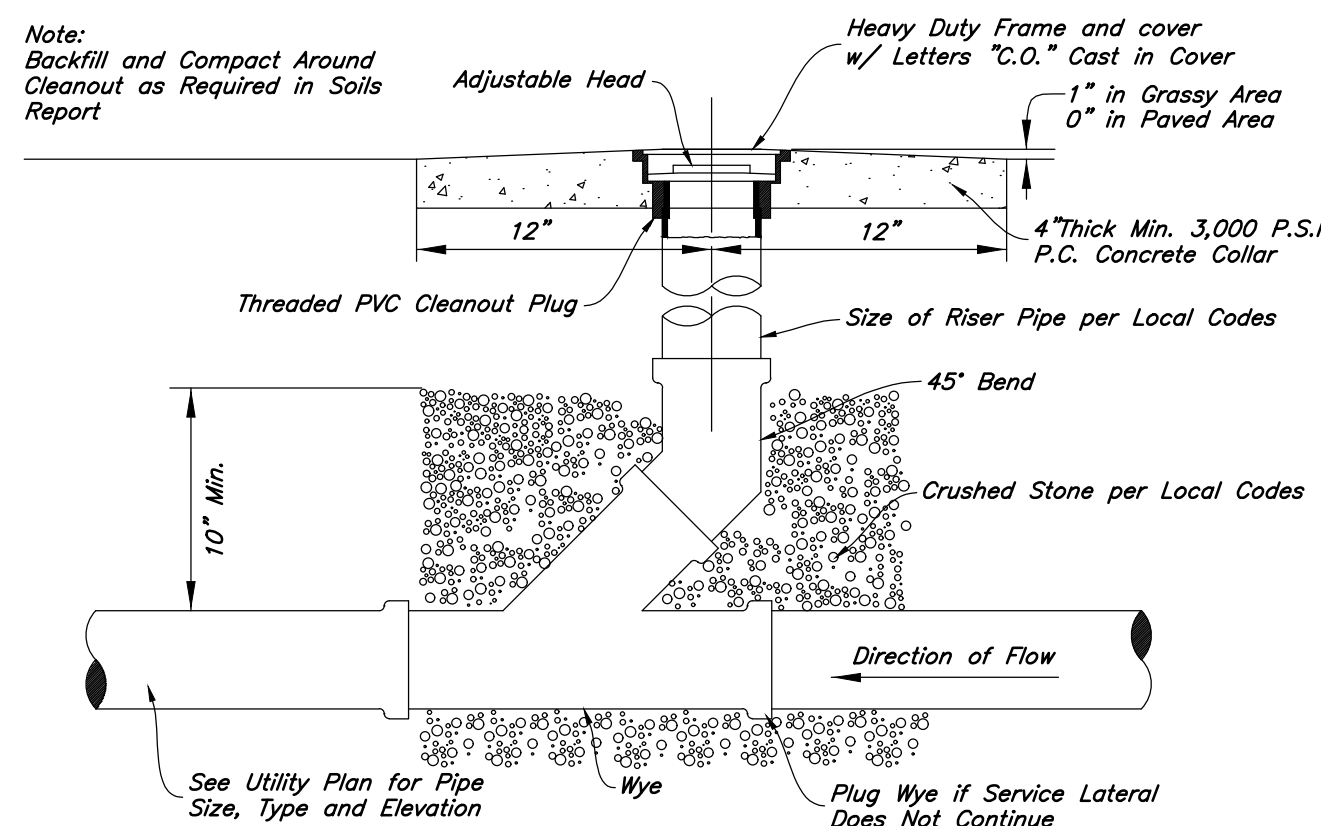
- Contraction Joints**
 - Spacing = 10' o.c., see joint detail
 - 1/8" wide by 2" deep from top of curb at 15'-0" intervals
- Expansion Joints**
 - Make expansion joints full depth, see joint detail
 - Place expansion joint at all cold joints
 - Expansion joints are required at ends of all radii 0.0B.
 - Required 5'-0" on each side of drainage structures
 - Required at 90'-0" maximum intervals in straight curb and gutter
 - Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (1/2" thick bituminous filler material)
- 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
- Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
- Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
- All radii shall be true arcs
- Medium to light broom finish on all exterior concrete



1 **24" Curb And Gutter**
Not to Scale



9 **Concrete Joint Detail**
Not to Scale

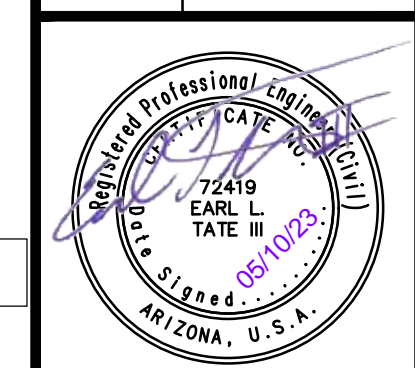


8 **Typical Cleanout Detail**
Not to Scale

Designed by: LC
Drafted by: NT
Client Name: MACU
23-005 DT

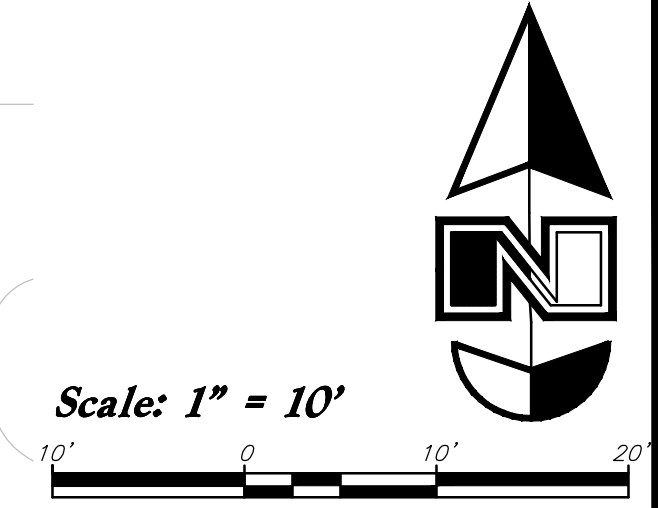
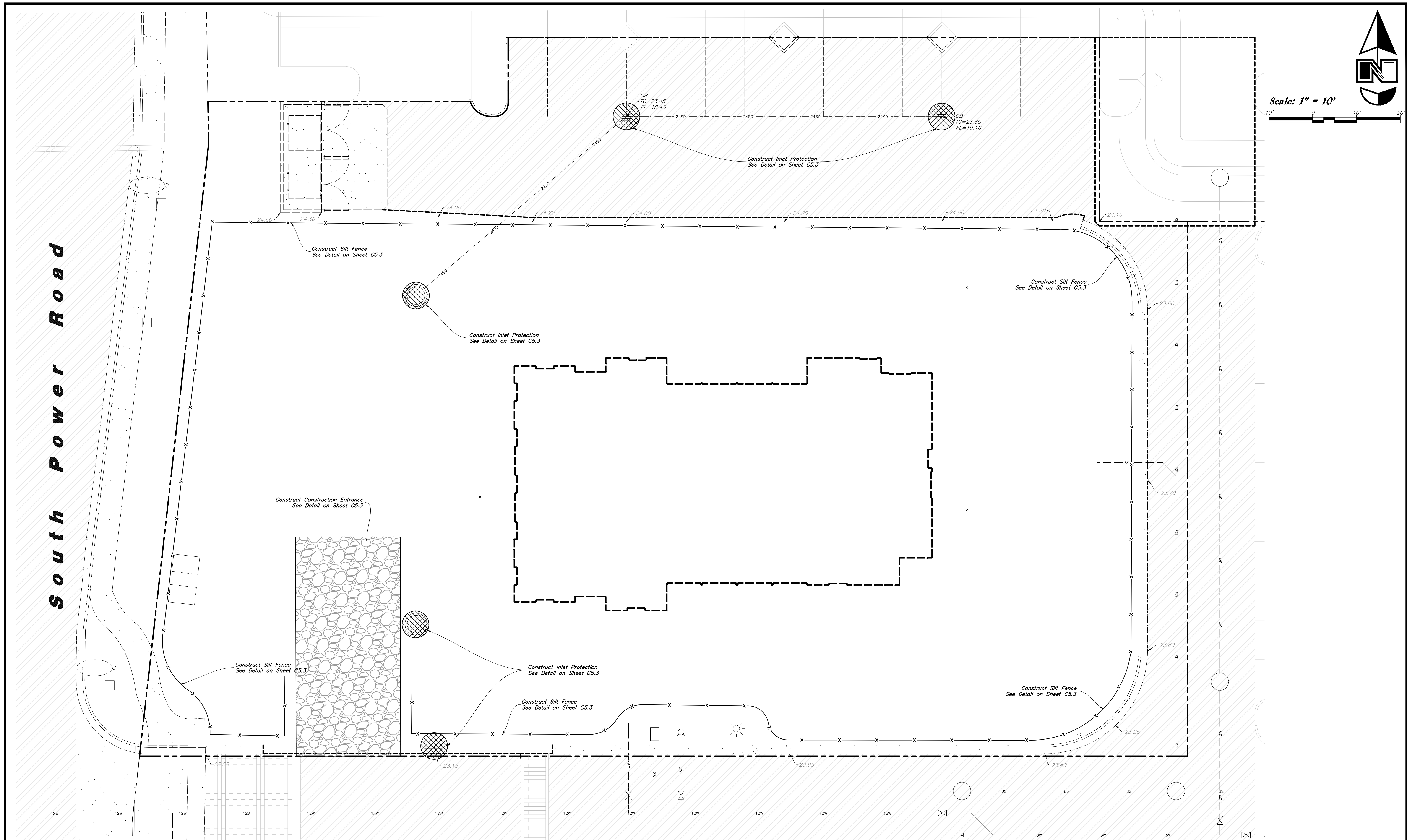


Details
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



10 May, 2023
SHEET NO. **C4.1**





| REV | DATE | DESCRIPTION |
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| | | |
| | | |
| | | |

Designed by: LC
 Drafted by: NT
 Client Name: MACU
 23-005 EC1

ANMA
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 521-8629 - AllWatersEngineering.net

Erosion Control Plan - Phase 1
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212

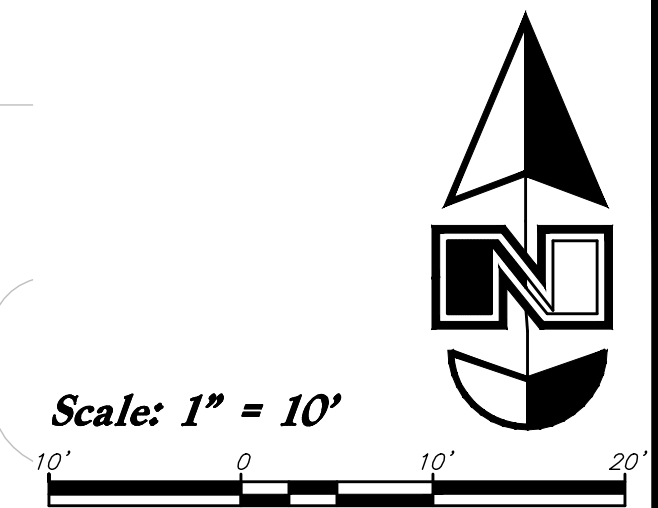
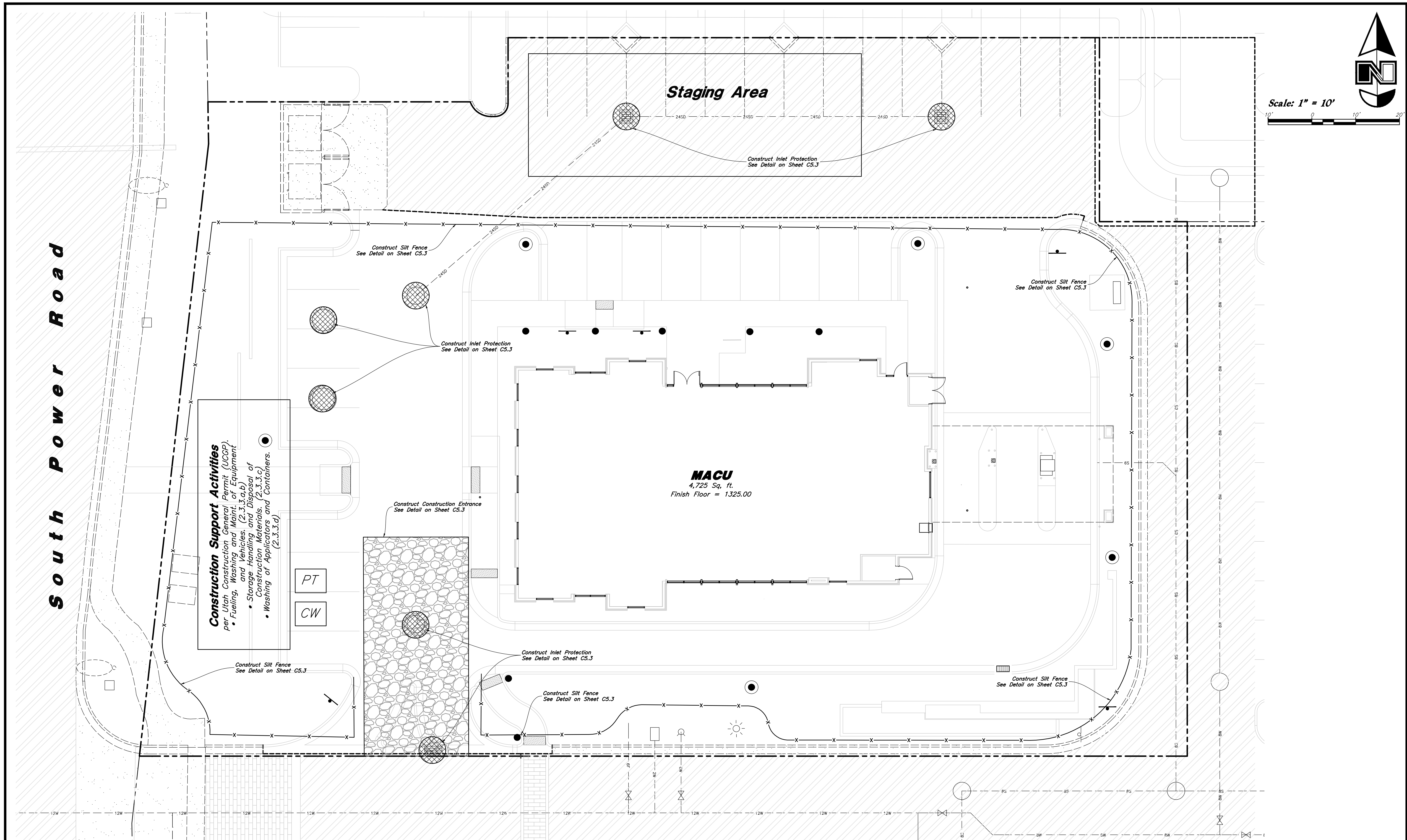
Legend

- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour

- Erosion Control Notes**
- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
 - The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
 - All Construction equipment will enter thru Designated Construction Entrances.
 - Coordinate Entrance locations with the local jurisdiction.
 - Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
 - Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
 - The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
 - All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
 - Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
 - Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
 - Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
 - This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
 - Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
 - Re-vegetate areas where landscaping has died or not taken hold.
 - Divert storm water runoff around disturbed soils with berms or dirt swales.
 - Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseding native vegetation (if not otherwise stabilized).
 - Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

Professional Engineer License No. 11111
 State of Arizona
 10 May, 2023
 SHEET NO. **C5.1**





Construction Support Activities
 per Utah Construction General Permit (UCGP),
 Fueling, Washing and Maint. of Equipment
 and Vehicles (2.3.3.a,b)
 • Storage Handling and Disposal of
 Construction Materials (2.3.3.c)
 • Washing of Applicators and Containers.
 (2.3.3.d)

PT
 CW

MACU
 4,725 Sq. ft.
 Finish Floor = 1325.00

- Legend**
- Place Inlet Protection at all Inlet Locations to prevent boxes from silling.
 - Silt Fence
 - Limit of Disturbance
 - Construction Entrance / Truck Wash (50'x24' Min.)
 - Concrete Washout Area
 - Portable Toilet
 - Gravel Sock
 - Existing Contour
 - Existing Spot
 - Proposed Contour

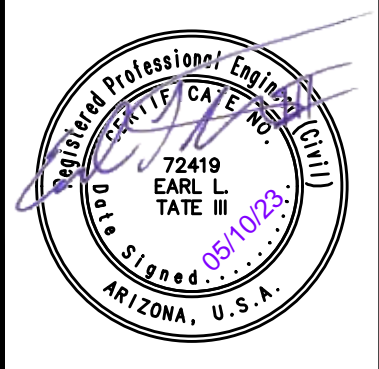
- Erosion Control Notes**
1. Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
 2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
 3. All Construction equipment will enter thru Designated Construction Entrances.
 4. Coordinate Entrance locations with the local jurisdiction.
 5. Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
 6. Silt Fences shall be Repaired to their Original Conditions if Damaged, Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
 7. The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
 8. All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
 9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
 10. Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
 11. Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.

12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
14. Re-vegetate areas where landscaping has died or not taken hold.
15. Divert storm water runoff around disturbed soils with berms or dirt swales.
16. Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

Designed by: LC
 Drafted by: NT
 Client Name: MACU
 23-005-EC2

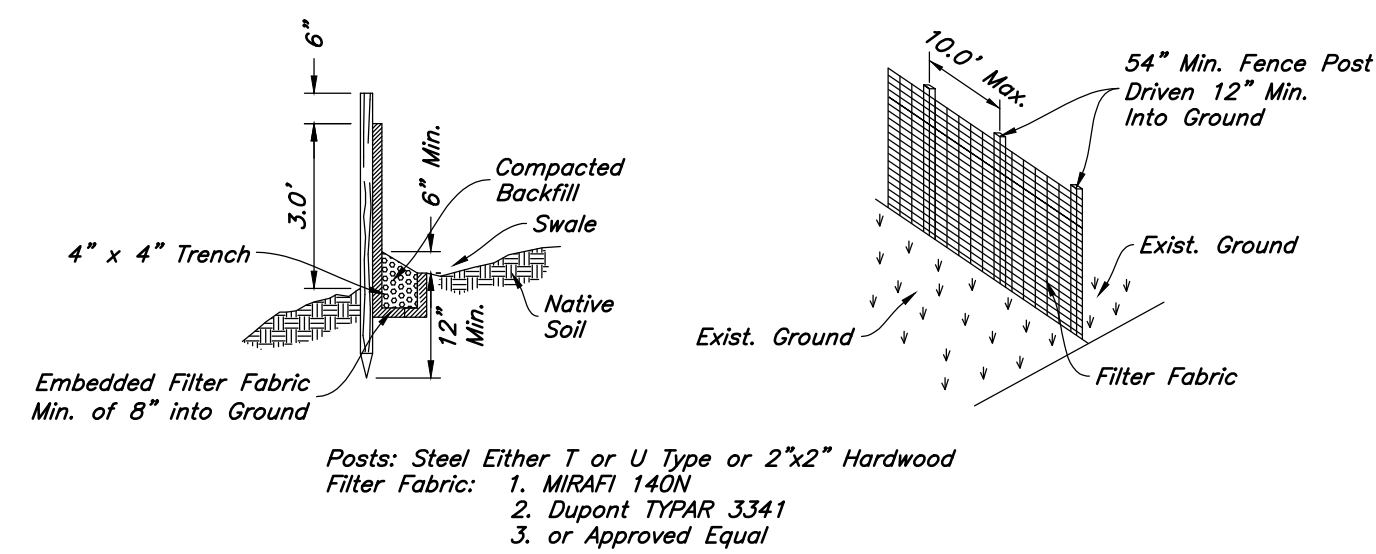
Erosion Control Plan - Phase 2
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212



10 May, 2023
 SHEET NO.
C5.2



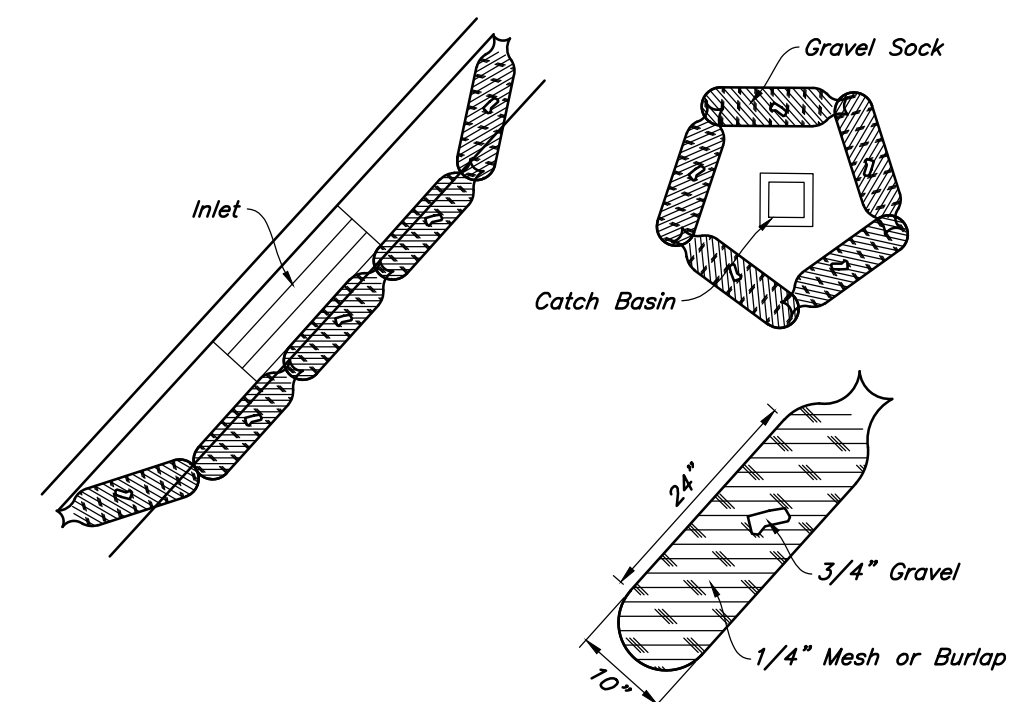
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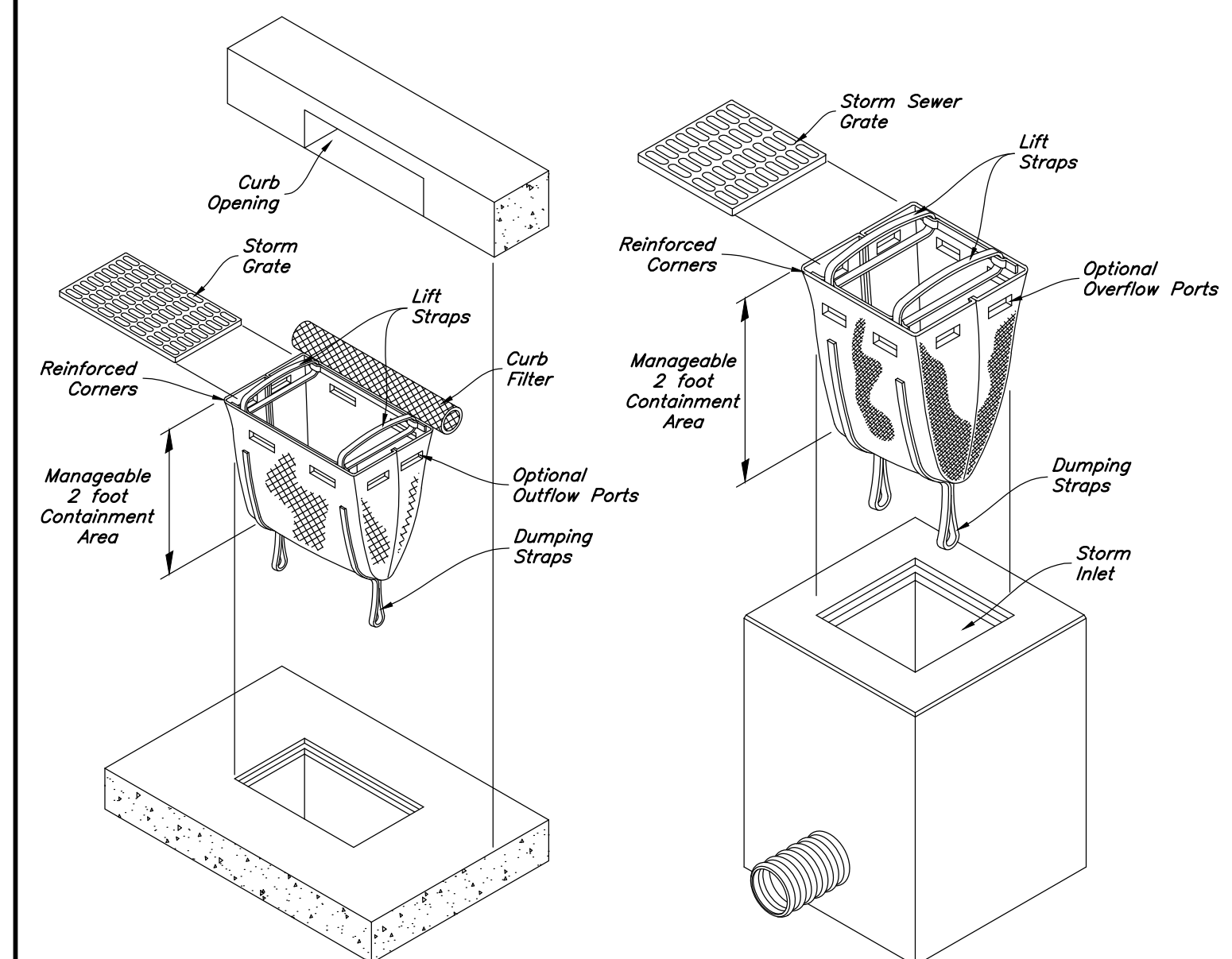
- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 3. Collected material shall be removed when "bulges" develop in the silt fence.

3 Silt Fence Section
Not to Scale

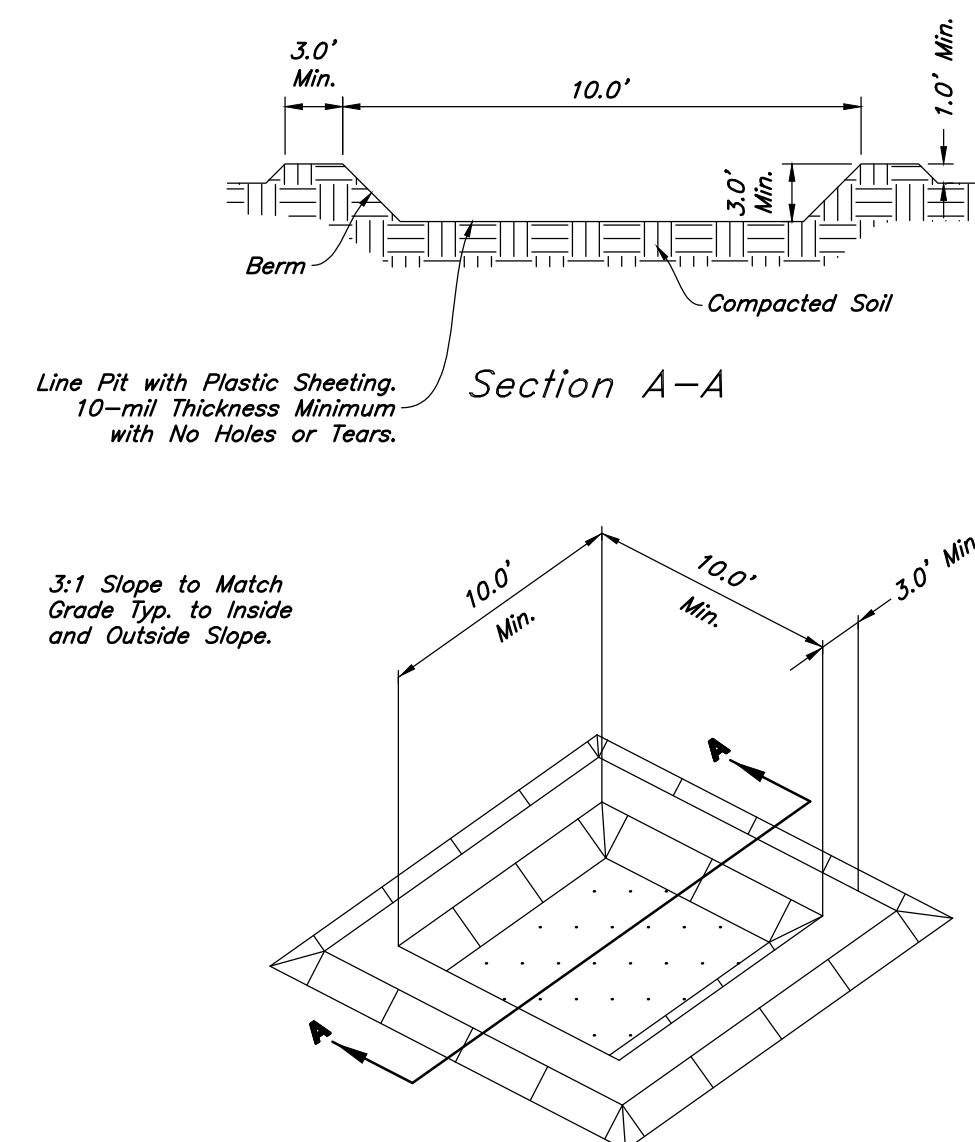
6 Not Used
Not to Scale



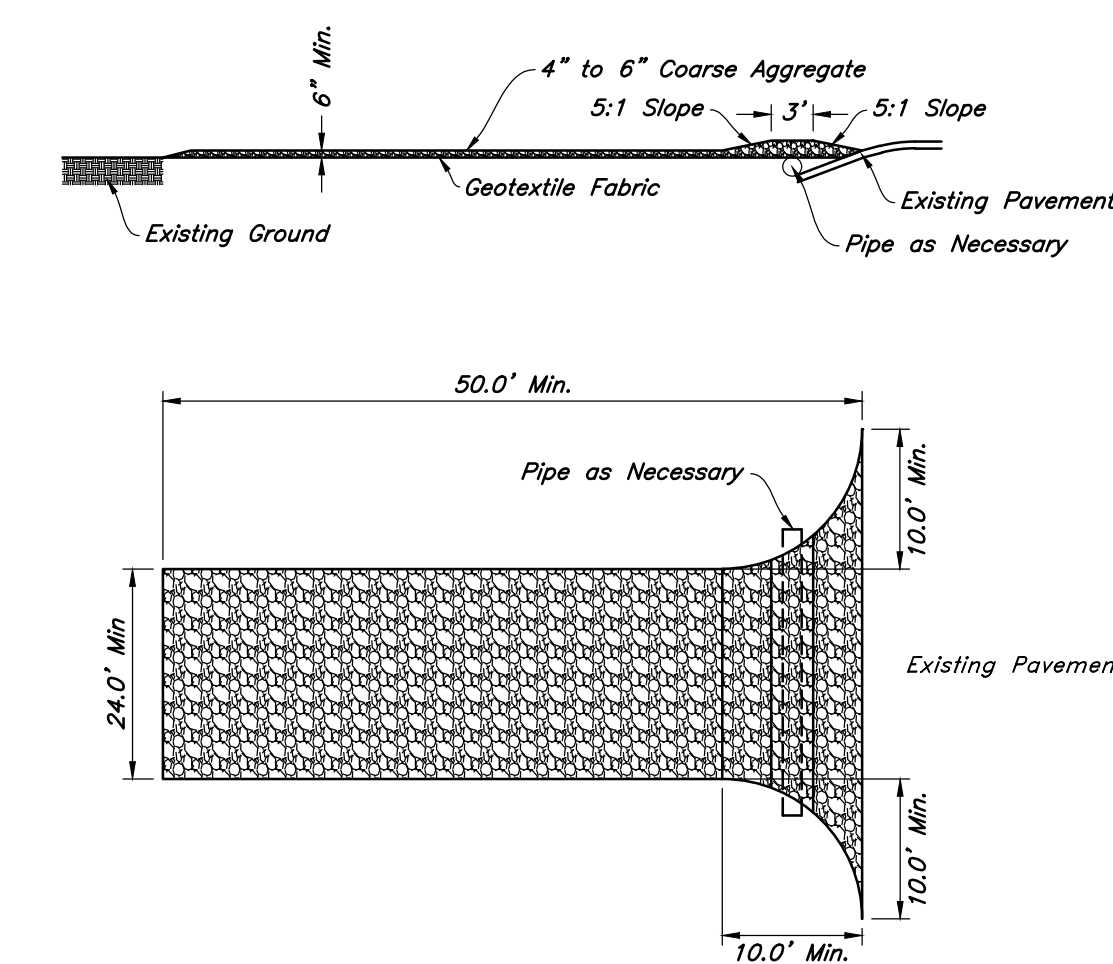
5 Gravel Sock Sediment Barrier
Not to Scale



2 Dandy Sack Inlet Protection
Not to Scale



4 Concrete Washout
Not to Scale



1 Stabilized Construction Entrance
Not to Scale

Designed by: LC
Drafted by: NT
Client Name: MACU
23-005-EC2



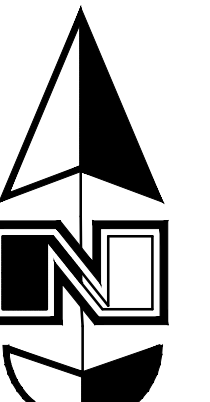
Erosion Control Details
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



10 May, 2023

SHEET NO. **C5.3**





Scale: 1" = 20'

PLANT SCHEDULE

| TREES | QTY | BOTANICAL / COMMON NAME | SIZE |
|-------|-----|---|----------------------------|
| | 6 | Olea europaea 'Wilsoni' / Wilson Olive | 24" Box; Std. Trunk |
| | 4 | Phoenix dactylifera / Date Palm | 18' Trunk Ht.; Diamond Cut |
| | 2 | Sophora secundiflora / Texas Mountain Laurel | 36" box |
| | 11 | Bougainvillea x 'La Jolla' / La Jolla Bougainvillea | 5 gal |
| | 12 | Buxus sempervirens 'Suffruticosa' / Suffruticosa Common Boxwood | 5 gal |
| | 12 | Eremophila hydropathica 'Blue Bells' / Blue Bells Emu Bush | 5 gal |
| | 19 | Hesperaloe parviflora 'Perpa' / Brake Lights Red Yucca | 5 gal |
| | 12 | Leucophyllum langmaniae 'Rio Bravo' / Rio Bravo Langman's Sage | 5 gal |
| | 35 | Myrtus communis 'Compacta' / Dwarf Common Myrtle | 5 gal |
| | 16 | Ruellia peninsularis / Baja Ruellia | 5 gal |
| | 17 | Tecoma stans stans 'Gold Star' / Gold Star Yellow Bells | 5 gal |
| | 12 | Tecoma x Sierra Apricot / Apricot Trumpet Bush | 5 gal |
| | 3 | Tecoma x 'Orange Jubilee' / Orange Jubilee Yellow Bells | 5 gal |
| | 12 | Lantana montevidensis / Purple Trailing Lantana | 2 gal |
| | 49 | Lantana x 'New Gold' / New Gold Lantana | 2 gal |
| | 78 | Wedelia trilobata / Creeping Oxeye | 2 gal |
| | 3 | Carissa macrocarpa 'Prostrata' / Prostrate Natal Plum | 5 gal |
| | 56 | Lantana camara 'Dallas Red' / Dallas Red Lantana | 2 gal |
| | 31 | Muhlenbergia dubia / Pine Muhly | 5 gal |
| | 17 | Bougainvillea x 'Barbara Karst' / Barbara Karst Bougainvillea | 5 gal |
| | 1 | Agave x 'Blue Flame' / Blue Flame Agave | 5 gal |
| | 1 | Dasyliroton wheeleri / Desert Spoon | 5 gal |
| | 20 | Dietes bicolor / Fortnight Lily | 5 gal |
| | 4 | Ruellia brittoniana 'Katie' / Katie Mexican Petunia | 5 gal |

| SHRUBS | QTY | BOTANICAL / COMMON NAME | SIZE |
|--------|-----|---|-------|
| | 3 | Tecoma x 'Orange Jubilee' / Orange Jubilee Yellow Bells | 5 gal |
| | 56 | Lantana camara 'Dallas Red' / Dallas Red Lantana | 2 gal |
| | 12 | Lantana montevidensis / Purple Trailing Lantana | 2 gal |
| | 49 | Lantana x 'New Gold' / New Gold Lantana | 2 gal |
| | 78 | Wedelia trilobata / Creeping Oxeye | 2 gal |
| | 3 | Carissa macrocarpa 'Prostrata' / Prostrate Natal Plum | 5 gal |
| | 56 | Lantana camara 'Dallas Red' / Dallas Red Lantana | 2 gal |
| | 12 | Lantana montevidensis / Purple Trailing Lantana | 2 gal |
| | 49 | Lantana x 'New Gold' / New Gold Lantana | 2 gal |
| | 78 | Wedelia trilobata / Creeping Oxeye | 2 gal |
| | 31 | Muhlenbergia dubia / Pine Muhly | 5 gal |
| | 17 | Bougainvillea x 'Barbara Karst' / Barbara Karst Bougainvillea | 5 gal |
| | 1 | Agave x 'Blue Flame' / Blue Flame Agave | 5 gal |
| | 1 | Dasyliroton wheeleri / Desert Spoon | 5 gal |
| | 20 | Dietes bicolor / Fortnight Lily | 5 gal |
| | 4 | Ruellia brittoniana 'Katie' / Katie Mexican Petunia | 5 gal |

| GROUND COVER | QTY | BOTANICAL / COMMON NAME | SIZE |
|--------------|-----|---|-------|
| | 3 | Carissa macrocarpa 'Prostrata' / Prostrate Natal Plum | 5 gal |
| | 56 | Lantana camara 'Dallas Red' / Dallas Red Lantana | 2 gal |
| | 12 | Lantana montevidensis / Purple Trailing Lantana | 2 gal |
| | 49 | Lantana x 'New Gold' / New Gold Lantana | 2 gal |
| | 78 | Wedelia trilobata / Creeping Oxeye | 2 gal |
| | 31 | Muhlenbergia dubia / Pine Muhly | 5 gal |
| | 17 | Bougainvillea x 'Barbara Karst' / Barbara Karst Bougainvillea | 5 gal |
| | 1 | Agave x 'Blue Flame' / Blue Flame Agave | 5 gal |
| | 1 | Dasyliroton wheeleri / Desert Spoon | 5 gal |
| | 20 | Dietes bicolor / Fortnight Lily | 5 gal |
| | 4 | Ruellia brittoniana 'Katie' / Katie Mexican Petunia | 5 gal |

| ORNAMENTAL GRASSES | QTY | BOTANICAL / COMMON NAME | SIZE |
|--------------------|-----|---|-------|
| | 31 | Muhlenbergia dubia / Pine Muhly | 5 gal |
| | 17 | Bougainvillea x 'Barbara Karst' / Barbara Karst Bougainvillea | 5 gal |
| | 1 | Agave x 'Blue Flame' / Blue Flame Agave | 5 gal |
| | 1 | Dasyliroton wheeleri / Desert Spoon | 5 gal |
| | 20 | Dietes bicolor / Fortnight Lily | 5 gal |
| | 4 | Ruellia brittoniana 'Katie' / Katie Mexican Petunia | 5 gal |

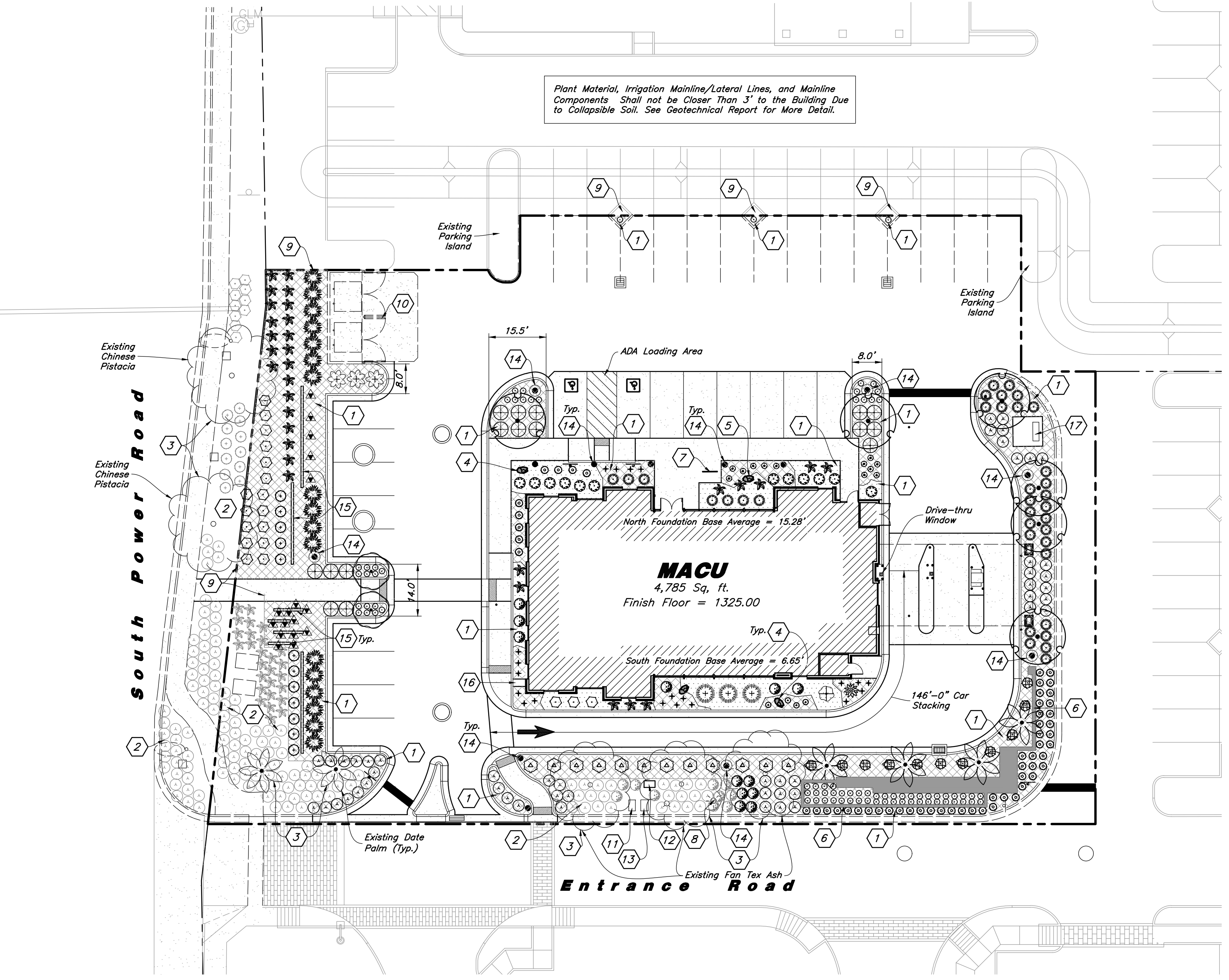
| VINE | QTY | BOTANICAL / COMMON NAME | SIZE |
|------|-----|---|-------|
| | 17 | Bougainvillea x 'Barbara Karst' / Barbara Karst Bougainvillea | 5 gal |

| SUCCULENTS / ACCENTS | QTY | BOTANICAL / COMMON NAME | SIZE |
|----------------------|-----|---|-------|
| | 1 | Agave x 'Blue Flame' / Blue Flame Agave | 5 gal |
| | 1 | Dasyliroton wheeleri / Desert Spoon | 5 gal |
| | 20 | Dietes bicolor / Fortnight Lily | 5 gal |
| | 4 | Ruellia brittoniana 'Katie' / Katie Mexican Petunia | 5 gal |

Landscape Data
Gallery Park Mesa Design Guidelines
 Site Area = 35,891 s.f. (0.824 ac.)
 Landscape Area Current = 0 s.f.
 Retained Desert = 0 s.f.
 Revegetated Desert Percentage = 0 s.f.
 Landscape Area Proposed = 9,802 s.f. (27%)
 Landscape Coverage 75%

- Landscape Notes:**
- See Sheet L1.2 for Landscape Details and City of Mesa Notes.
 - All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Point Source Drip Shall be Used to Irrigate Shrubs and Trees. See Irrigation Sheet L2.1 for Layout and Sheet L2.2 for Details.
 - Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
 - All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone. Blend New Landscape into Existing. Add New Stone to Adjacent Existing Landscape Area as Needed to Get Good Blending.
 - See Civil Demolition Plan for Existing Trees and Shrubs to be Removed to Accommodate MACU Site Plan. All Existing Trees and Plants Shown on the Landscape Plan Shall be Protected in Place.
 - Equipment Cannot Stay Longer Than Two Weeks on Jobsite Unless Otherwise Approved by MACU Corporate Real Estate-Facilities Team.
 - From the Beginning of the Project Through the Final Walk Thru, Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
 - See Landscape Notes for Details regarding Landscape Maintenance Period.
 - All Trees Within 10' of Underground Utilities Shall Have Approved Root Barrier.

- Landscape Keynotes**
- Install Decorative Stone Over Commercial Grade Weed Barrier - See Material Schedule for Type and Size
 - Existing Landscape to Remain and be Protected; Replace Landscape Damaged Due to Construction; See Plant Schedule for Existing Plant Material or Callouts on Plan
 - Existing Tree to Remain and be Protected; See Plant Schedule for Existing Plant Material or Callouts on Plan
 - Install Landscape Boulder (Only to be Used Adjacent to Building as Shown on Plan)
 - Install Landscape Accent Boulder with Permanent Art Sculpture
 - Raised Landscape Planter - See Arch. Plans for More Detail
 - Bike Rack - See Arch. Plans for More Detail
 - Existing Light Pole to Remain
 - Blend New Landscape into Existing
 - Existing Dumpster Enclosure with Plant Screening
 - Existing Bldg. Fire Sprinkler Meter - See Utility Plan for More Detail
 - Irrigation Connection with Irrigation Backflow Preventer; Install Between Plant Material Away From Back of Curb and Centered Between Plant Material; Enclosure Shall be Tan - See Irrigation Plans for More Detail
 - Existing Bldg. Water Meter - See Utility Plan for More Detail
 - New Light Pole - See Site Elect. Plan; Shift Plant Material and Trees as Needed to Provide Equal Spacing Around Light Poles
 - Screen Wall - See Arch. Plans for More Detail
 - Paved Scupper per Geotechnical Report
 - Elect. Transformer - See Site Elect. Plan; Adjust Plants and Trees Around Transformer to Provide Adequate Access to Transformer



General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Arizona 811 before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appearances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet.
- Imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils. Remove all construction debris and foreign material.
- Provide an eight (8) inch depth of imported topsoil in all shrub areas and twelve (12) inches in parking islands.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from plant and tree pit and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil conditioner, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed. Fine ground wood mulch shall be installed in the plant well and extend up near the base of the plant. The wood mulch shall be covered with the specified stone and the remainder of the planter.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
- Upon completion of planting operations, all landscape areas with trees, shrubs, accents, succulents, and perennials, shall receive specified stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
- All deciduous trees shall be double staked per tree staking details. Tree stakes shall be wood and ties shall be V.I.T. Cinche Ties #T32. It is the contractor's responsibility to remove tree staking after one year.
- Bury 2 inches of boulder height into soil, keeping best visual side above ground. Use care to minimize marring and scratching.
- Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance. Dead plant material shall be replaced in a timely manner. From the time the landscape contractor is notified of dead plant material, the contractor has two weeks to replace dead plant material. If plant material is not replaced by the two week time frame MACU will have plants replaced and bill the installing company.

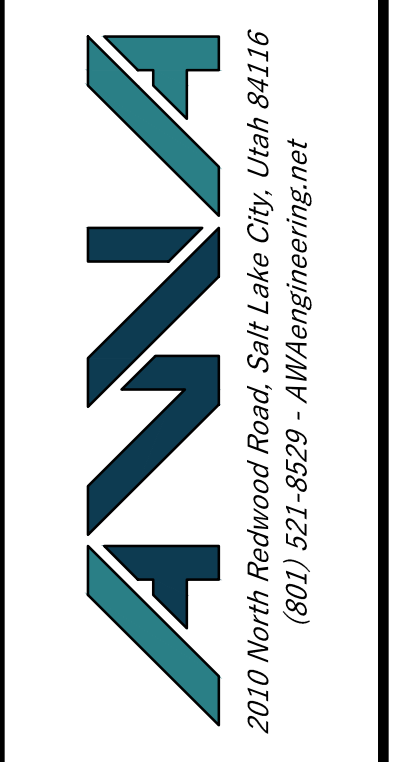
| REV | DATE | DESCRIPTION |
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Designed by: LC

Drafted by: NT

Client Name: MACU

23-005 LS



Landscape Plan
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212

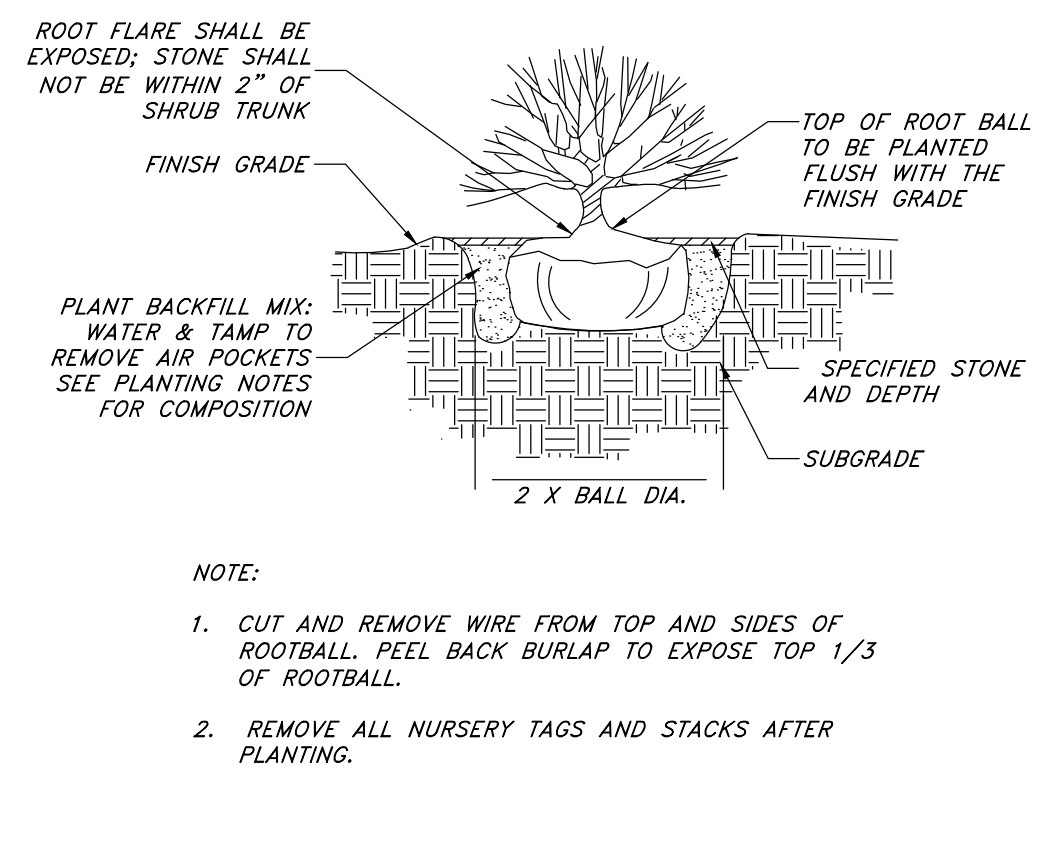


10 May, 2023

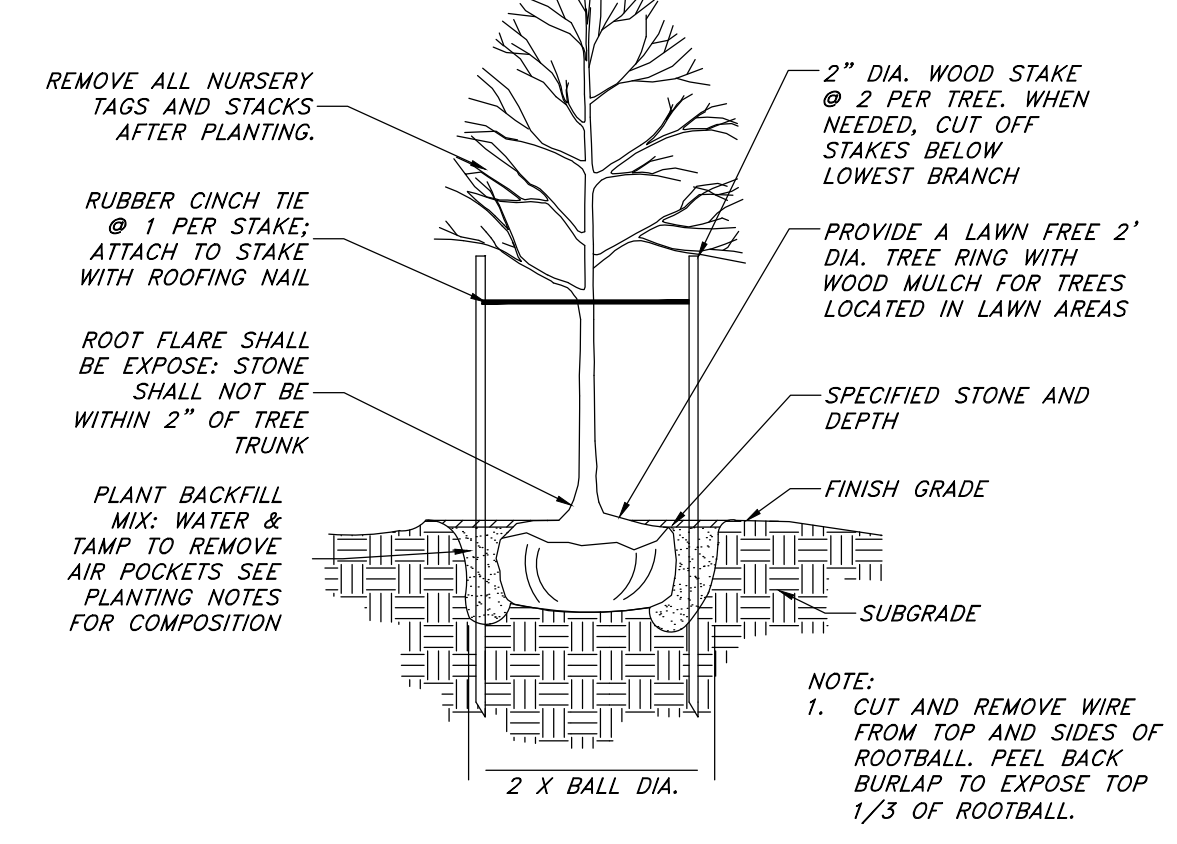
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L1.1

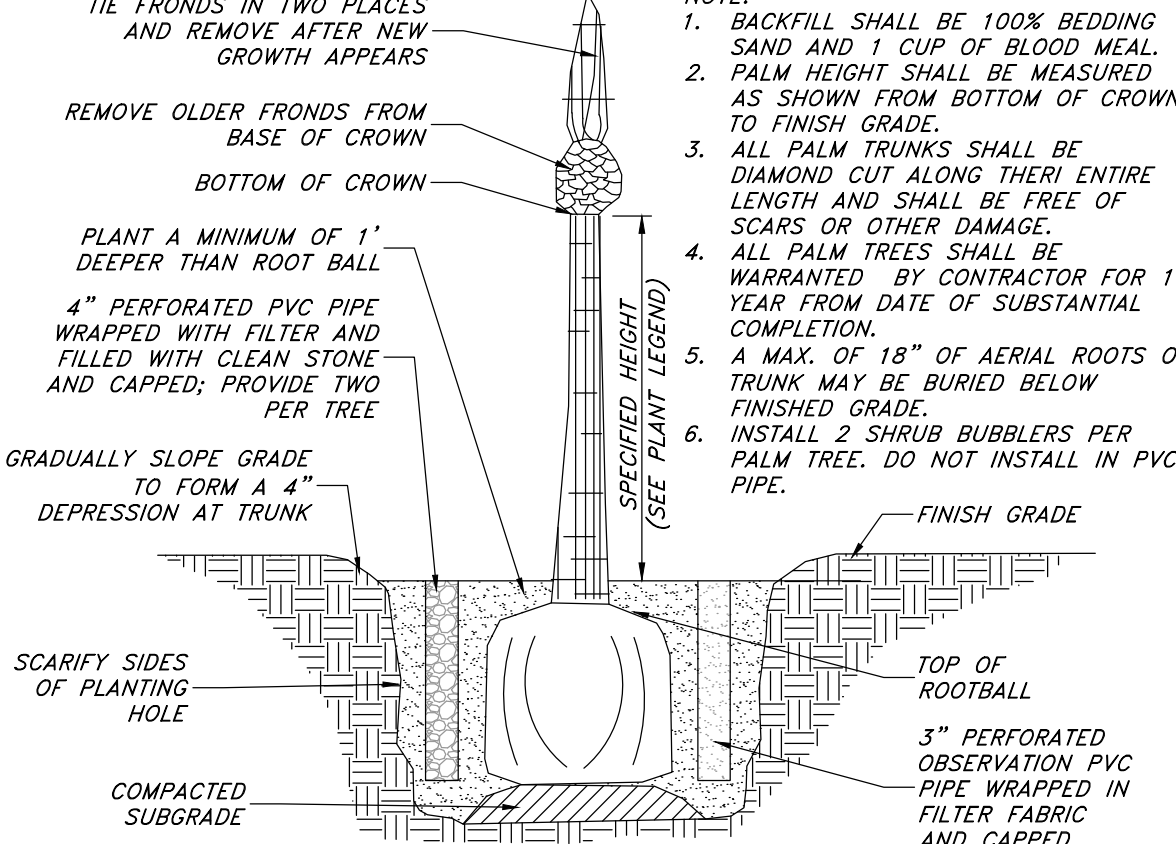




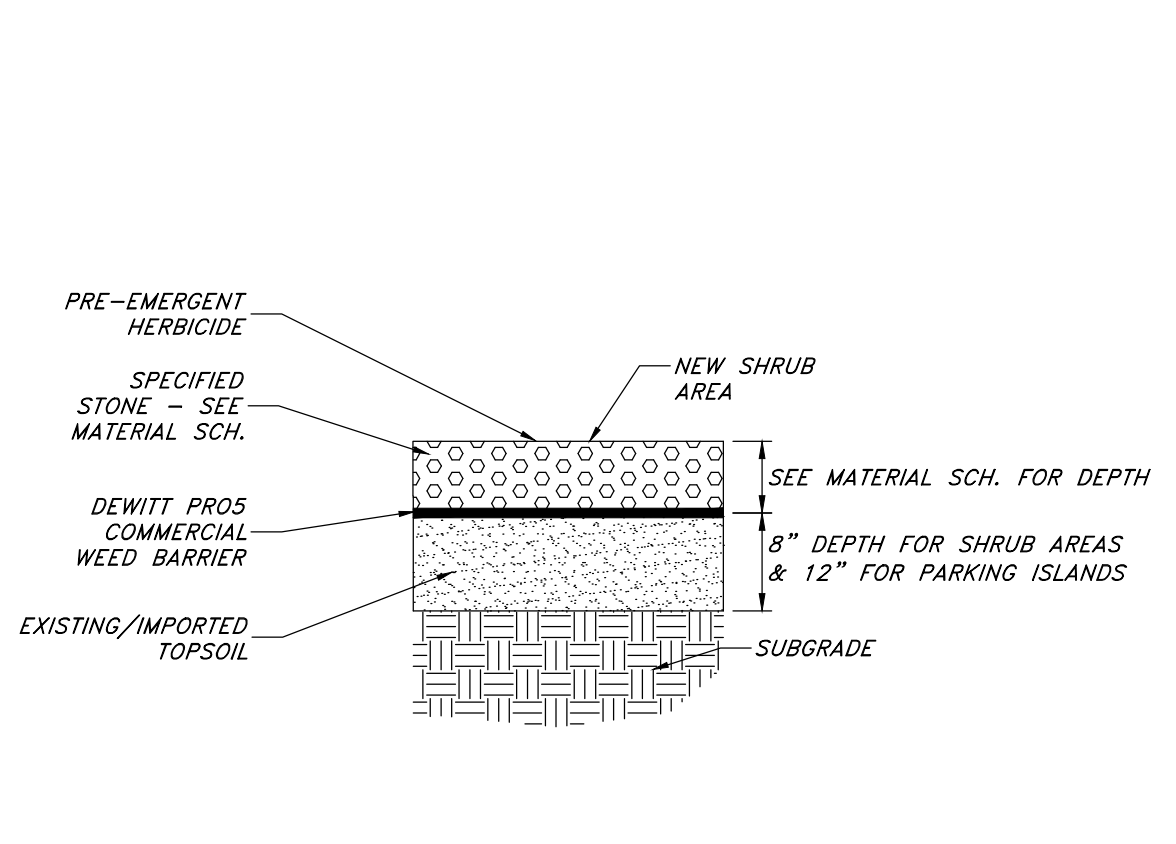
1 SHRUB PLANTING
NOT TO SCALE



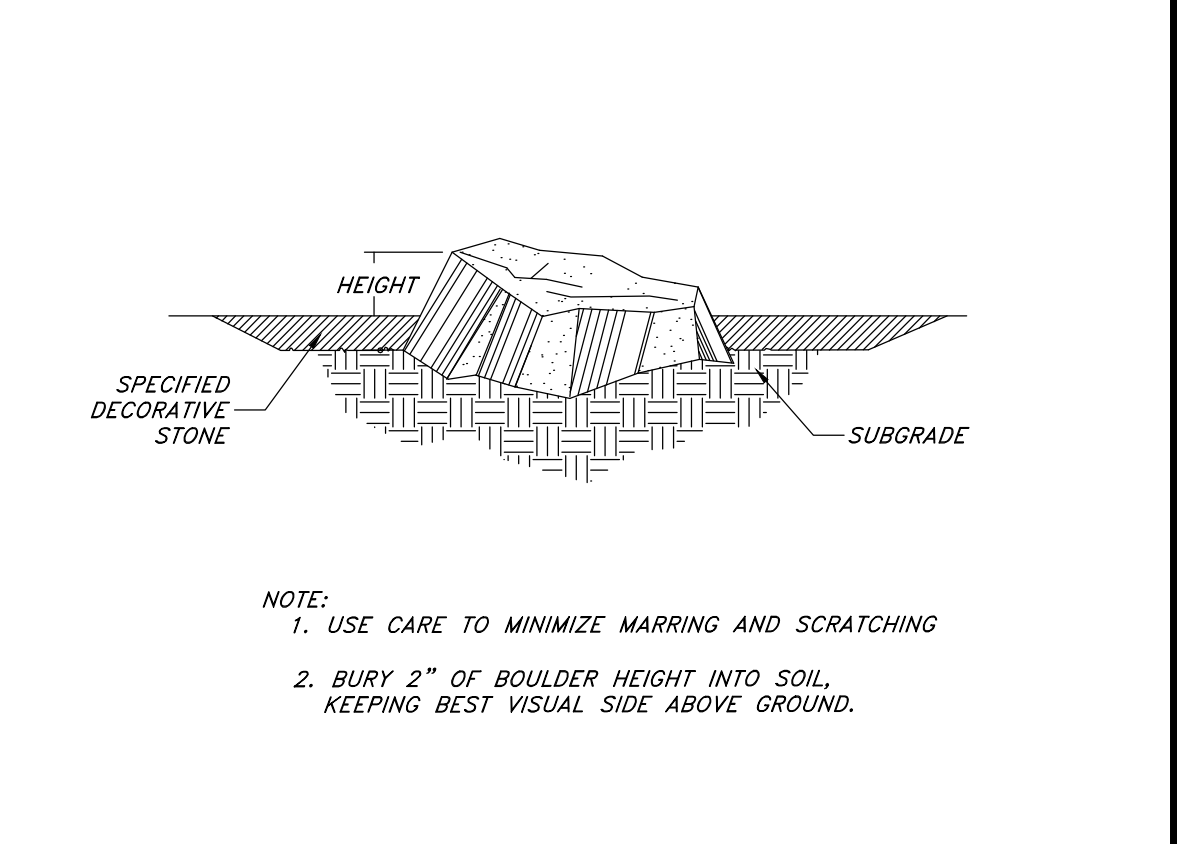
2 DECIDUOUS TREE PLANTING
NOT TO SCALE



3 PALM TREE PLANTING
NOT TO SCALE



4 LANDSCAPE PREPARATION
NOT TO SCALE



5 LANDSCAPE BOULDER
NOT TO SCALE

City of Mesa Landscape General Notes:

- (Revised 02-12-13)*
- Landscape Contractor shall confirm location of all underground utilities prior to any excavation and shall be responsible for the following:
 - Damages to such utilities caused as a result of the contractor's activities.
 - Damages to existing walks, walls, drives, curbs, etc.
 - Inspecting the site in order to be fully aware of existing conditions prior to submitting a bid.
 - Installation of all landscape and irrigation materials shall comply with sections 424,425,757, and 795 of the MAG standard specifications as amended by the City of Mesa in the current edition of the *Mesa Engineering Standards, Manual, Landscaping & Irrigation Standards*.
 - Contractor shall repair any damage made to the existing sprinkler system to the satisfaction of the city at no additional cost to the city.
 - Landscape removal is a non-pay item unless otherwise noted.
 - All existing vegetation, weeds, debris, etc. shall be removed from project area and disposed of properly off the site at the contractor's expense (scarify existing subgrade, minimum six (6) inches depth).
 - Damage to turf shall be repaired by contractor, i.e., ruts filled with clean soil, compacted to match surrounding grades, excess soil, rock, etc. shall be removed to leave the site clean.
 - All Plant material, other than trees, shall conform to grading, type, etc. as set forth in the *American Standard for Nursery Stock* by the American Association of Nurserymen. All trees shall conform to the *Current Arizona Nursery Association Tree Specifications and MAG Spec 795.7*. Should any conflicts in the specifications occur, the Arizona Nursery Association's specification shall prevail.
 - City reserves the right to inspect shrubs and containered trees for condition of root balls. For any such inspections which may destroy rootball, contractor shall supply additional plant at no cost to city.
 - Plant pits shall be inspected by city prior to planting by the contractor by requesting an inspection 48 hours in advance.
 - Rough and fine grading to establish uniform smooth grade is included in this project.
 - Soil Test for fertility and additive recommendations (for turf and ornamentals) shall be completed by contractor to determine if additives are required. Contractor shall provide copy of soil test results for review and approval to engineering inspector at least seven (7) days prior to anticipated planting. After approval by the city, the contractor shall provide and incorporate any additives required prior to or at time of planting.
 - Plant pit soils mixture shall consist of four and one-half parts natural fertile, friable soil and one part humus by volume, thoroughly mixed prior to backfilling in pits. Backfilling shall be in 6" lifts with each left water settled without puddling.
 - Contractor shall stake tree and shrub locations for 5-gallon plants and larger. Stakes shall be marked with plant name or plant legend item number from plans.
 - All existing (Gas, Electric, Water, Etc.) covers and boxes shall remain uncovered. Contractor to adjust to final grade as necessary. NPI unless otherwise noted.
 - The contractor shall install water meter provided by the city of Mesa. The Contractor shall provide all materials including all appurtenances and labor necessary to install the complete automatic sprinkler system from the meter (water usage charges shall be paid by contractor until project final acceptance by City of Mesa). Contractor shall order meter from development services.
 - The Contractor shall be responsible for locating the underground sprinkler systems in advance of construction. The sprinkler system locations noted on plans are for reference only.
 - Contractor to verify depth of all inlet structures and sprinkler systems prior to trenching for low-flow channel.
 - Contractor to provide pumping within five (5) days after the notice to proceed is given as required to dry the area sufficiently to begin construction.
 - Contractor shall arrange for sprinkler system shutdown during construction by contacting the engineering inspector.
 - No rocks larger than 1" in diameter shall be allowed in the top six (6) inches of topsoil where turf establishment is specified. Rock removal as necessary is included in this project (NPI).
 - Where caliche is encountered in plant pits, depth and width of pit shall be increased by one-third (1/3) over specifications, and a liquid penetrator, "Al-Kaliche" or equal, shall be incorporated for each pit per manufacturer's recommendations.

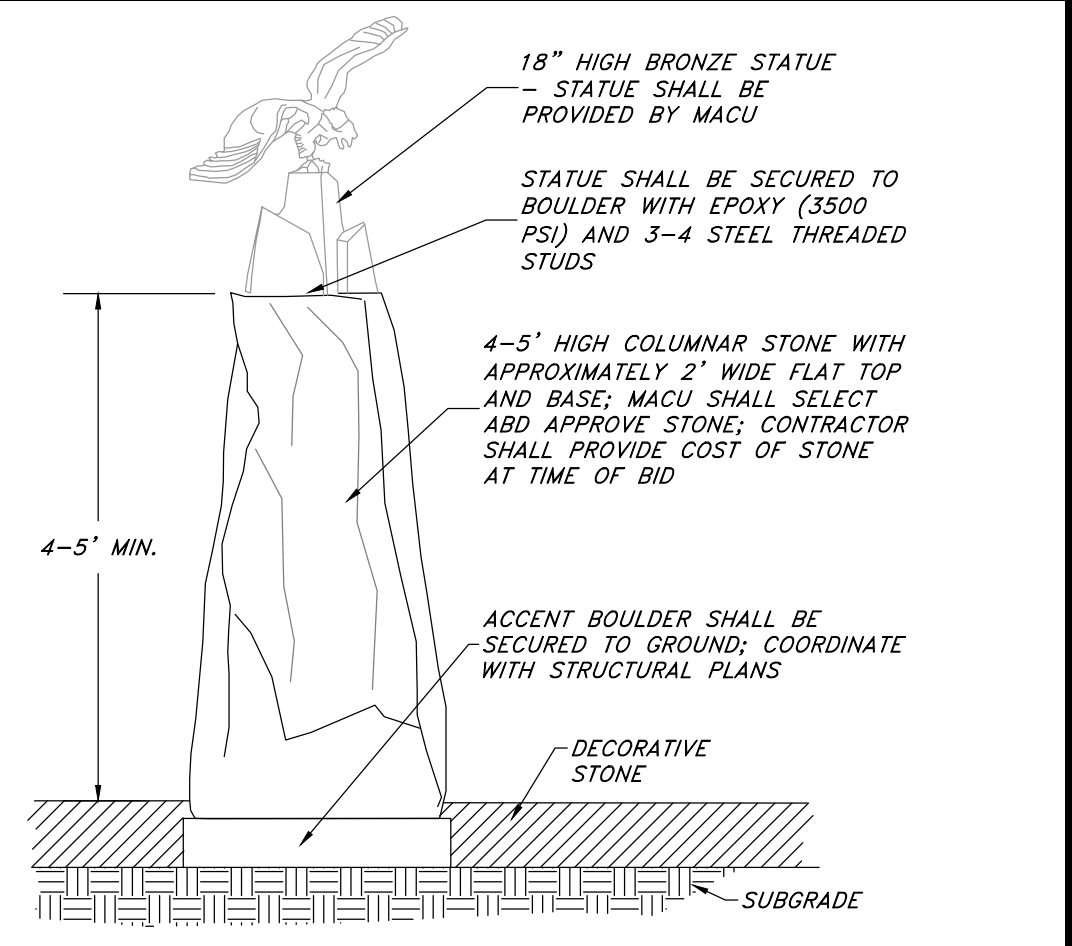
- Project record drawings for irrigation system:
 - Maintain on site and separate from documents used for construction, one complete set of contract documents as project record documents. Keep Documents current. Do not permanently cover work until as-built information is recorded.
 - Record pipe and wiring network alterations. Record work which is installed differently than shown on the construction drawings. Record accurate reference dimensions, measured from at least two permanent reference points, of each irrigation system valve, each backflow prevention device, each controller or controller unit, each sleeve end, each stub-out for future pipe or wiring connections, and other irrigation components enclosed within a valve box.
- For Parks and retention basins: Contractor shall install decomposed granite to a rolled depth of two (2) inches. Decomposed granite shall be 1/2" minus with the color as specified on the plans. Pre-emergent herbicide shall be applied before and after placement of decomposed granite per the manufacturer's recommendations. Pre-emergent herbicide shall be surfan, dacthal, or approved equal. Not more than 6% of decomposed granite shall pass through a #200 mesh screen, 15% through a #40 mesh screen, 98% through a #4 mesh screen, and 100% shall pass through a 1/2" mesh screen. Sample to be provided for city review and approval.
- For street landscape projects: Contractor shall install decomposed granite as follows:
 - Decomposed granite ground cover shall be 1/2" size screened and washed.
 - Place and roll to two (2) inch total depth over 85% compacted subgrade.
 - Pre-emergent herbicide surfan, dacthal, or approved equal shall be applied before and after granite placement.
 - Decomposed granite sample shall be provided in a rigid plastic container for city review and approval.
- Restore all existing landscape irrigation systems, components and landscape areas impacted by any work under this contract. Restore all existing irrigation and landscape in accordance with the landscape restoration notes indicated within these documents. At a minimum, all restoration shall be in accordance with M.A.G. Specification 107.9 - protection and restoration of property and landscape. All restoration work shall be completed to the satisfaction of the City of Mesa Engineer.
- All restoration work shall be completed in accordance with the details provided.
- Refer to landscape planting sheets and engineering drawings for additional restoration notes and required coordination.

Landscape General Notes for Street Landscape Projects

- Contractor shall install decomposed granite as follows: Decomposed granite ground cover shall be 1/2" size screened and washed. Place and roll to 2" total depth over 85% compacted subgrade, pre-emergent herbicide surfan, dacthal or approved equal shall be applied before and after granite placement.

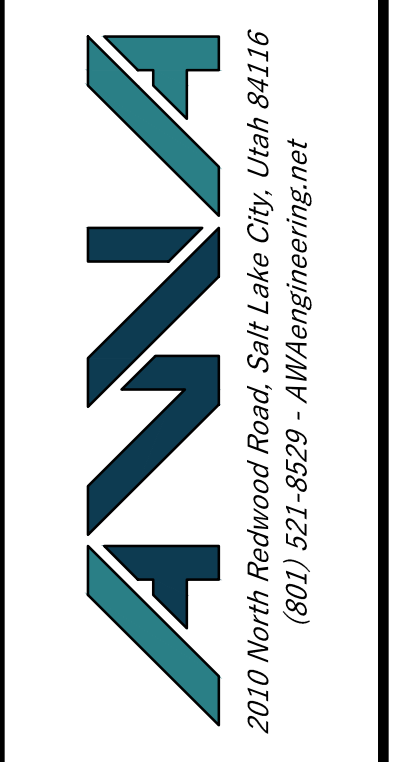
City of Mesa General Notes:

- All work and materials shall conform to the current uniform standard specifications and details for public works construction as furnished by the Maricopa association of governments and as amended by the city as mesa. All work and materials not in conformance with these amended specifications and details are subject to removal and replacement at the contractor's expense.
- Separate right-of-way permits are required for all public utilities, public street improvements, and right-of-way landscaping. For information regarding availability and cost of right-of-way permits, contact the permit services section of the building safety division at (480) 644-48SD or at <http://www.mesaaz.gov/devsustain/constructionpermits.aspx>. The Contractor shall obtain all permits required unless otherwise noted. Contractors must hold the appropriate class of license and shall have on file with the permit services section proof of insurance coverage. Permits become invalid and must be updated if work has not begun within (90) days. Permits also become invalid if the contractor's insurance lapses or is voided.
- Twenty four (24) hours prior to the commencement of any work, construction or installations associated with this permit, the permittee shall notify city of mesa engineering construction services at (480) 644-2253 of intent to begin and request / schedule preliminary field review at the project site with the city of mesa engineering construction inspector. Failure to provide proper inspection notification as prescribed above, shall result in this permit becoming invalid and work being stopped.
- Contractor shall comply with the requirements to obtain the necessary right-of-way permits and shall comply with the right-of-way permit conditions as found on the back of the permit form.
- The city of Mesa parks and recreation division is not represented by blue stake. When the contractor excavates near or adjacent to a city park, the contractor shall contact the parks & recreation administration section at (480) 644-2354 to request assistance in locating all their underground facilities.
- The contractor shall obtain an earth-moving permit from the Maricopa County environmental services department and shall comply with its requirements for dust control.
- The engineer hereby certifies as evidenced by a professional seal & signature that all affected utility companies both public and private have been contacted and all existing and/or proposed utility lines and other related information have been transferred onto these plans. The engineer or architect also hereby certifies that all existing and/or proposed public right-of-way or easement have been correctly plotted/shown.
- The Engineer, or Land Surveyor or record shall certify upon completion of construction that all public improvements (water and sewer utilities, storm sewer, concrete, paving, street lights, etc.) have been installed at the locations and elevations shown on the approved plans. Any changes shall be reflected on as-built drawings provided by the engineer to the engineering department - Construction services section.
- The registered Engineer or Land Surveyor shall certify that the minimum horizontal and vertical separation between utilities within public right-of-way or easements has been maintained as required by law or policy.
- The Developer shall provide all construction staking for the project.
- The Developer or the Engineer is responsible for arranging for the relocation of removal of all utilities or facilities that are in conflict with the proposed public improvements. The Contractor is responsible for coordinating the relocation of all utilities, power poles, irrigation dry-up, resets removals by others, Etc.
- The Contractors shall locate all utilities prior to excavation and avoid damage to same. Call (602) 263-1100 for blue stake two working days prior to digging. Call Salt River project for pole bracing. Electric Service or Construction scheduling at (602) 273-8888.
- When Gas Mains and/or Services are exposed, contact the City of Mesa at (480) 644-2261 for inspection of the exposed pipe and coating prior to backfilling of the trench. Contractors shall comply with the provisions for traffic control and barricading per the current City of Mesa Traffic barricade manual.
- If a Fire Hydrant is needed to obtain construction water, the contractor shall obtain a Fire Hydrant meter from Permit services and pay all applicable fees and charges.
- If during the construction of a public facility, the contractor fails to or is unable to comply with a request of the engineering construction inspector, and it is necessary for City forces to do work that is normally the Contractor's responsibility, the City shall be justified in billing the Contractor. Each incident requiring work by City forces shall be covered by a separate billing at the current applicable rates.
- The Contractor is advised that damage to public services or systems as a result of this project shall be repaired by the Contractor and inspected by the City inspector. Unless otherwise approved by the City, all repairs shall be done within 24 hours. The Contractor is advised that any costs related to repair or replacement of damaged public services and systems as a result of contractor's activities shall be borne by the Contractor.



6 ACCENT BOULDER WITH PERMANENT ART SCULPTURE
NOT TO SCALE

Designed by: LC
Drafted by: NT
Client Name: MACU
23-005 LS



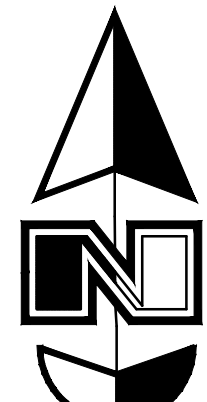
Landscape Details
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



10 May, 2023
SHEET NO.
L1.2

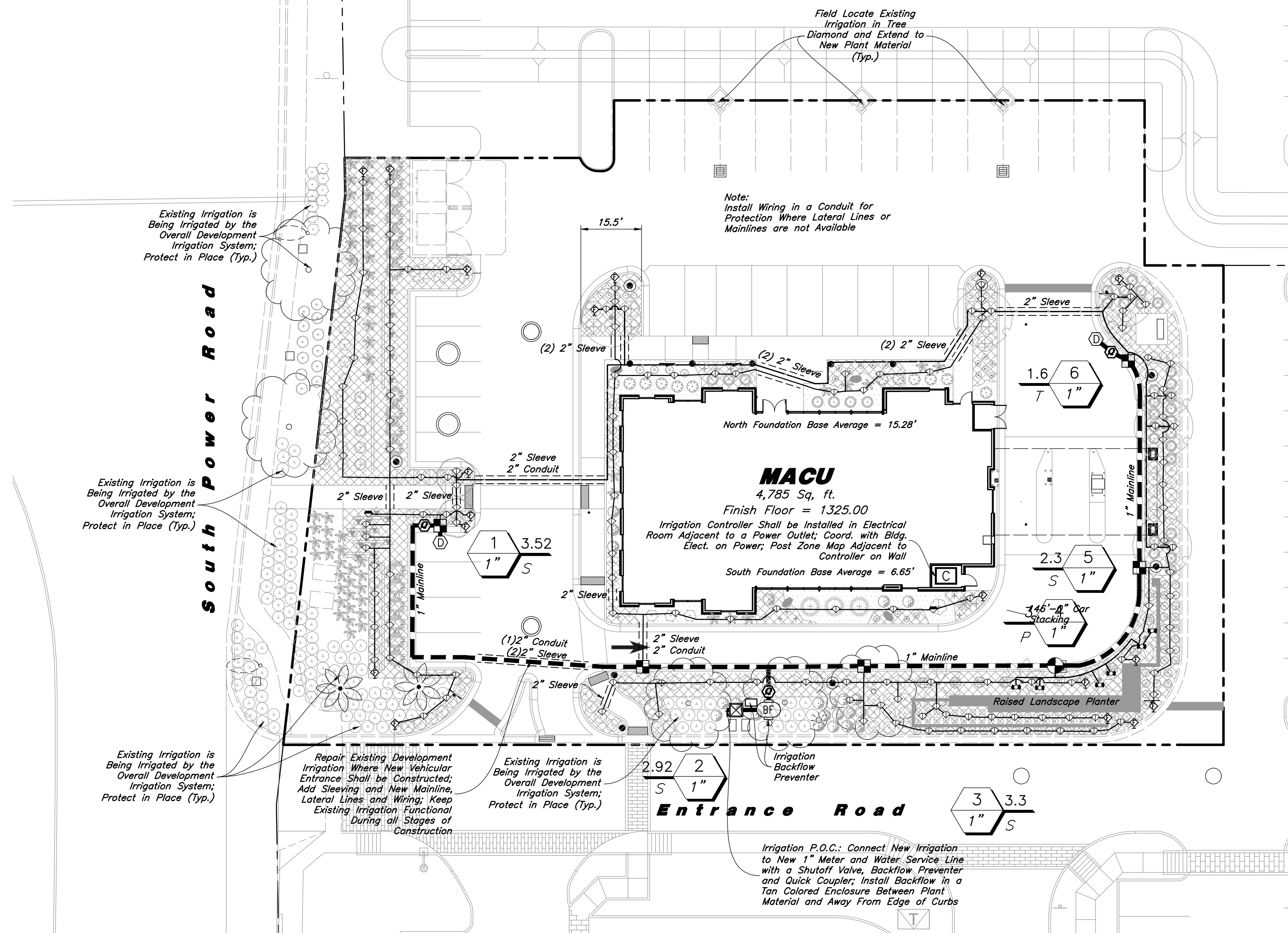


WA:23-005 MACU Mesa\Drawings\23-005 LS.dwg, 5/12/2023 11:17:24 AM, 1:1



Scale: 1" = 20'

Main Service Line and Other Irrigation Components Are Shown in Paved Or Hardscape Surfaced For Clarity Purposes ONLY. Install Irrigation Components Within Landscaped Areas.



Irrigation Notes

- 1. See Sheet L1.1 for Plant Layout and Sheet L1.2 for Planting Details.
2. See Sheet L2.2 for Irrigation Details.
3. All Irrigation Boxes and Equipment Shall be Tan in Color.
4. The Static Pressure for Irrigation Design was Observed on the Development Irrigation Plans and Utilized in the Design of the Irrigation System. The Observed Design Pressure of 86 psi was Used.
5. The Existing Development Irrigation System Along the South Power Road and Along the Vehicular Entrance into the Site Shall be Protected and Repaired at New Entrances into the MACU site. The Existing System Shall Remain Functional During all Stages of Construction to Provide Adequate Water to all Existing Plant Material. MACU Shall have a Separate Irrigation System and Connect to an Existing Irrigation Lateral into the Site with a New Water Meter. The Irrigation System Shall be Equipped with a RPBP Backflow Preventer, Installed per City Standards. The Irrigation Requires a Minimum of 46 psi to Function.
6. Onsite Storage of Landscape/Irrigation Materials and Equipment Should Not Block More Than 3 Parking Stalls Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
7. Equipment Cannot Stay Longer Than Two Weeks on Jobsites Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
8. From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.

Irrigation Schedule

Table with columns: Symbol, Manufacturer/Model #, Description, Notes, Detail. Includes sections for Bubblers, Valves, Drip, P.O.C. Components, Pipes, Controller, and Sleeving.

General Irrigation Notes

- 1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appearances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
9. Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assume the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
11. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufacturers specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufacturers specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be eighteen (18) inches minimum.
13. Install dielectric fittings whenever dissimilar metals are joined.
14. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
15. Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, building or landscape features. Valve boxes to conform with finish grades.
16. Control valve wire shall be #14 single conductor; white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wires that run the length of the mainline and to the controller. All wiring shall be UF-LJ rated. All connections shall be made with water tight connectors (DBP, or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
17. Control valve size, type, quantity, and location to be approved by landscape architect. install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks or equal.
18. Quick couplers shall be a Rain Bird 44RC with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
19. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
20. All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractor responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-two (22) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
21. Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas. No tees, els, or changes in direction shall occur under hardscape.
22. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
23. Drip system piping shall consist of a schedule 40 PVC pipe distribution system, extending drip to shrub areas and trees. Single and/or multi-outlet emitters shall be run off the schedule 40 PVC pipe with distribution tubing to each individual plant or tree. Shrubs and trees shall be on irrigated on separate drip zones.
24. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
25. The sprinkler system design is based on the operating pressure shown on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owner's authorized representative immediately.
26. Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
27. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
28. Upon completion and approval of irrigation system, irrigation contractor shall provide the owner with one set of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.
29. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

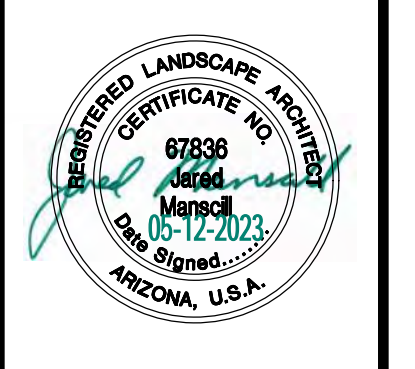
VALVE SCHEDULE

Table with columns: VALVE #, VALVE SIZE, IRRIGATION TYPE, FLOW (GPM), PSI, PSI @ POC, PRECIP. RATE. Lists details for 6 different valve types.

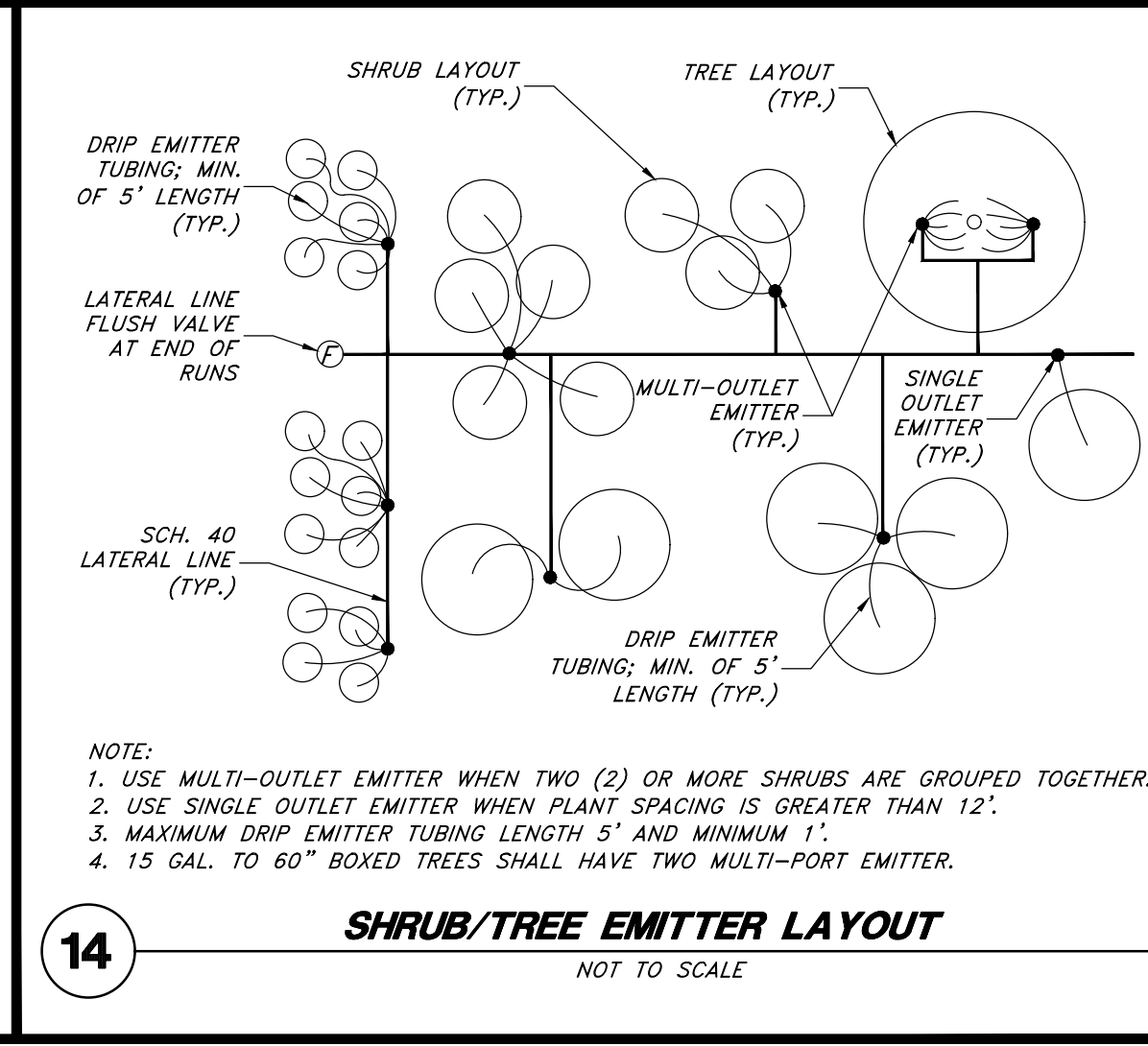
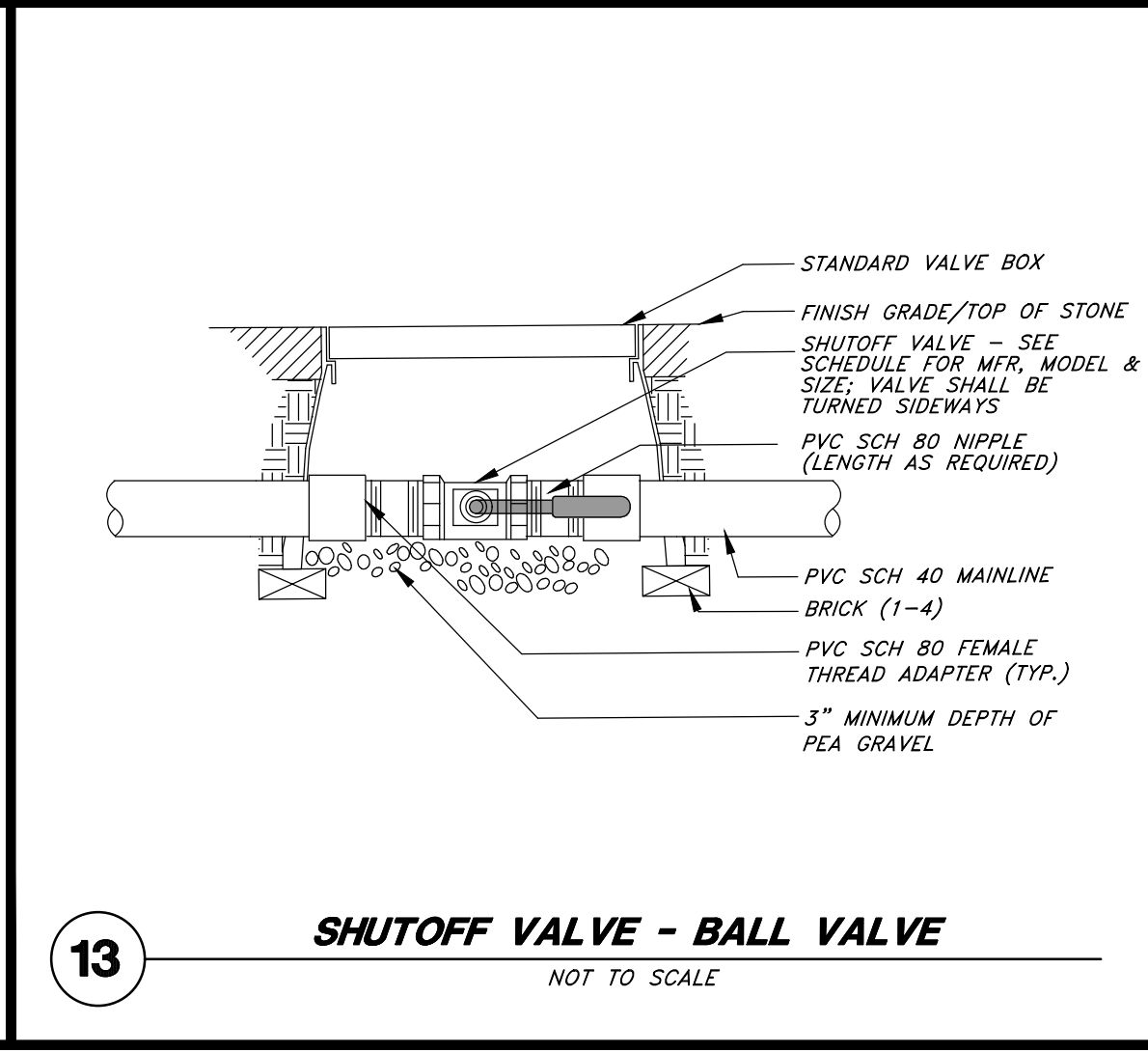
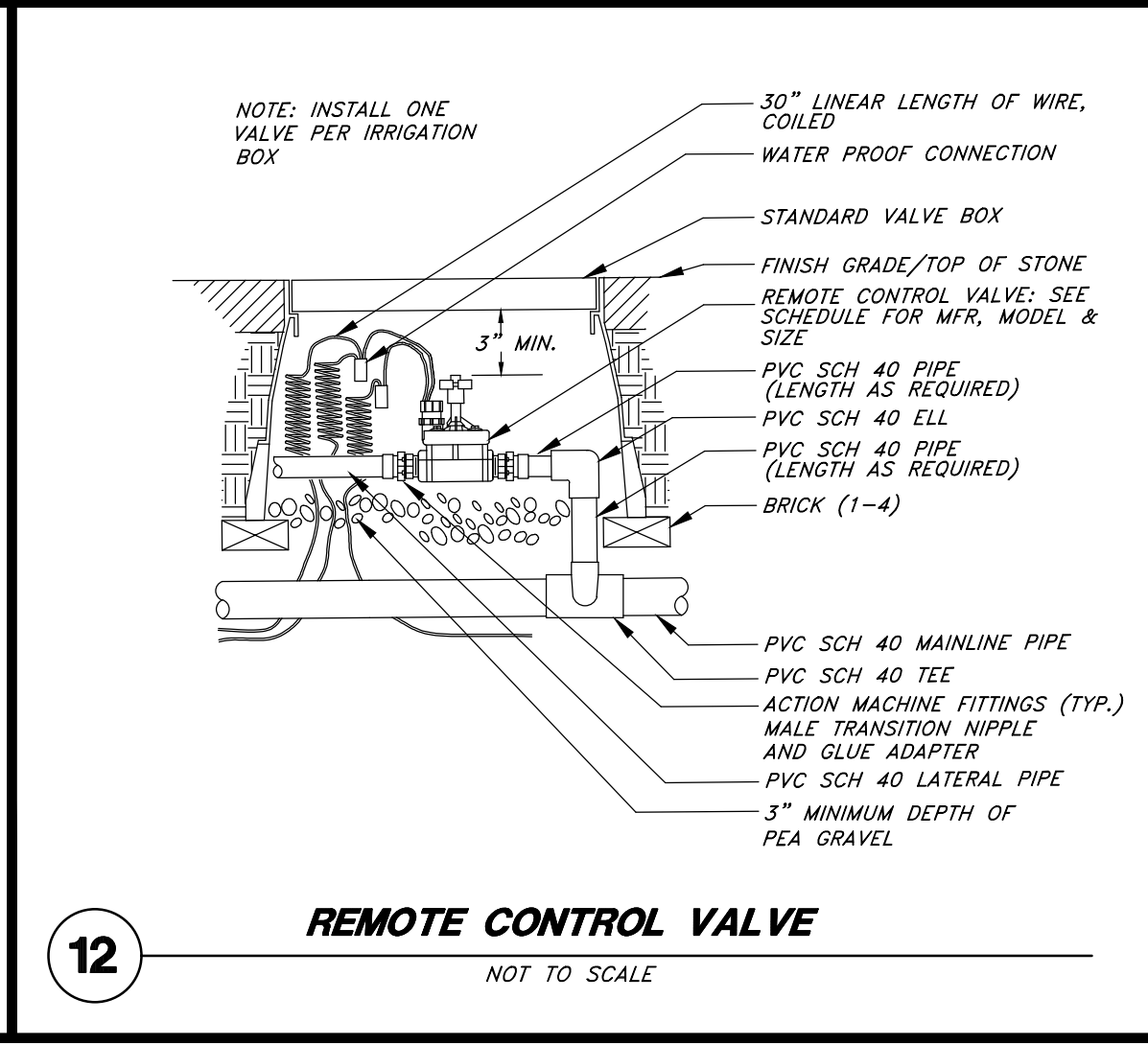
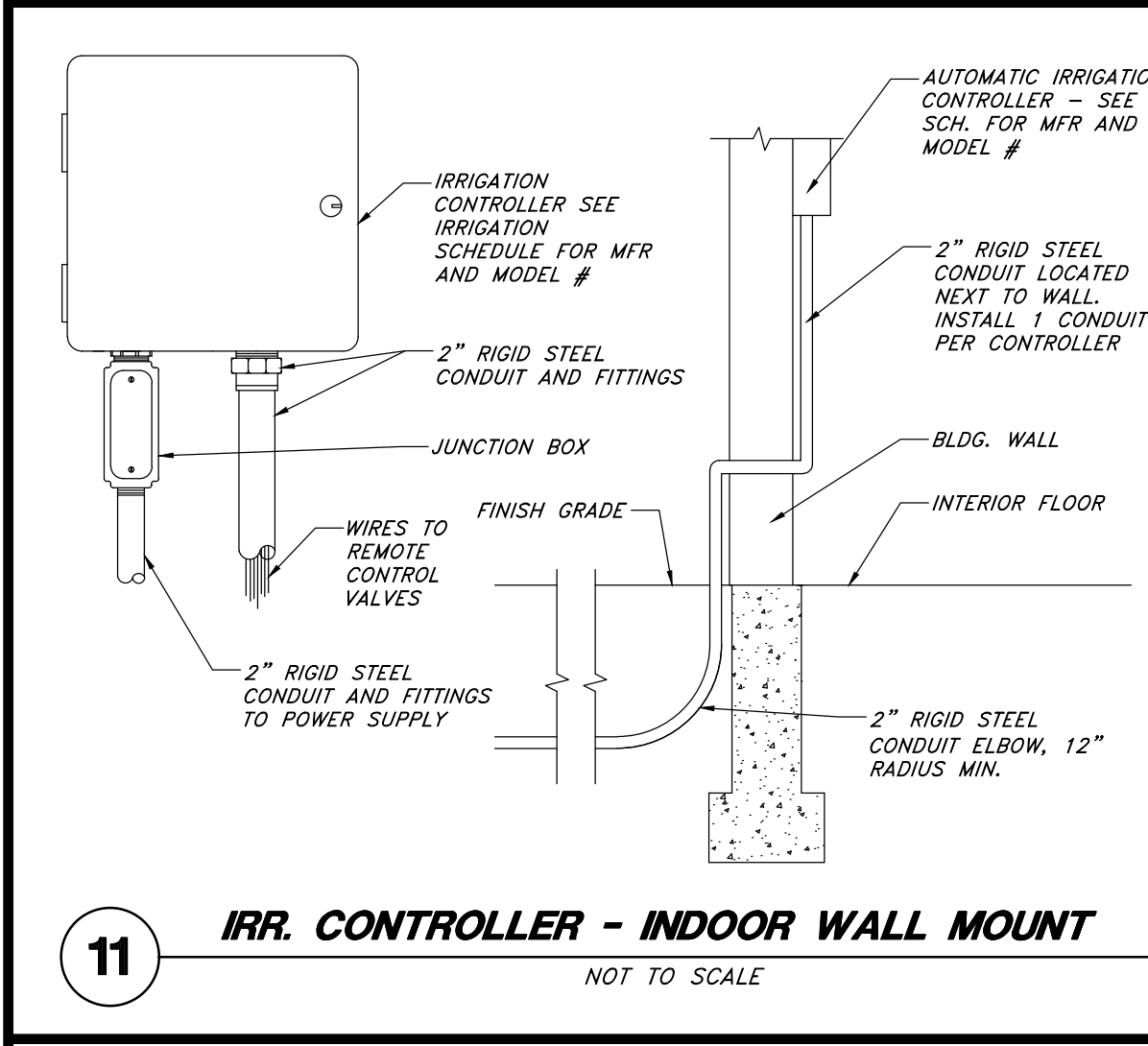
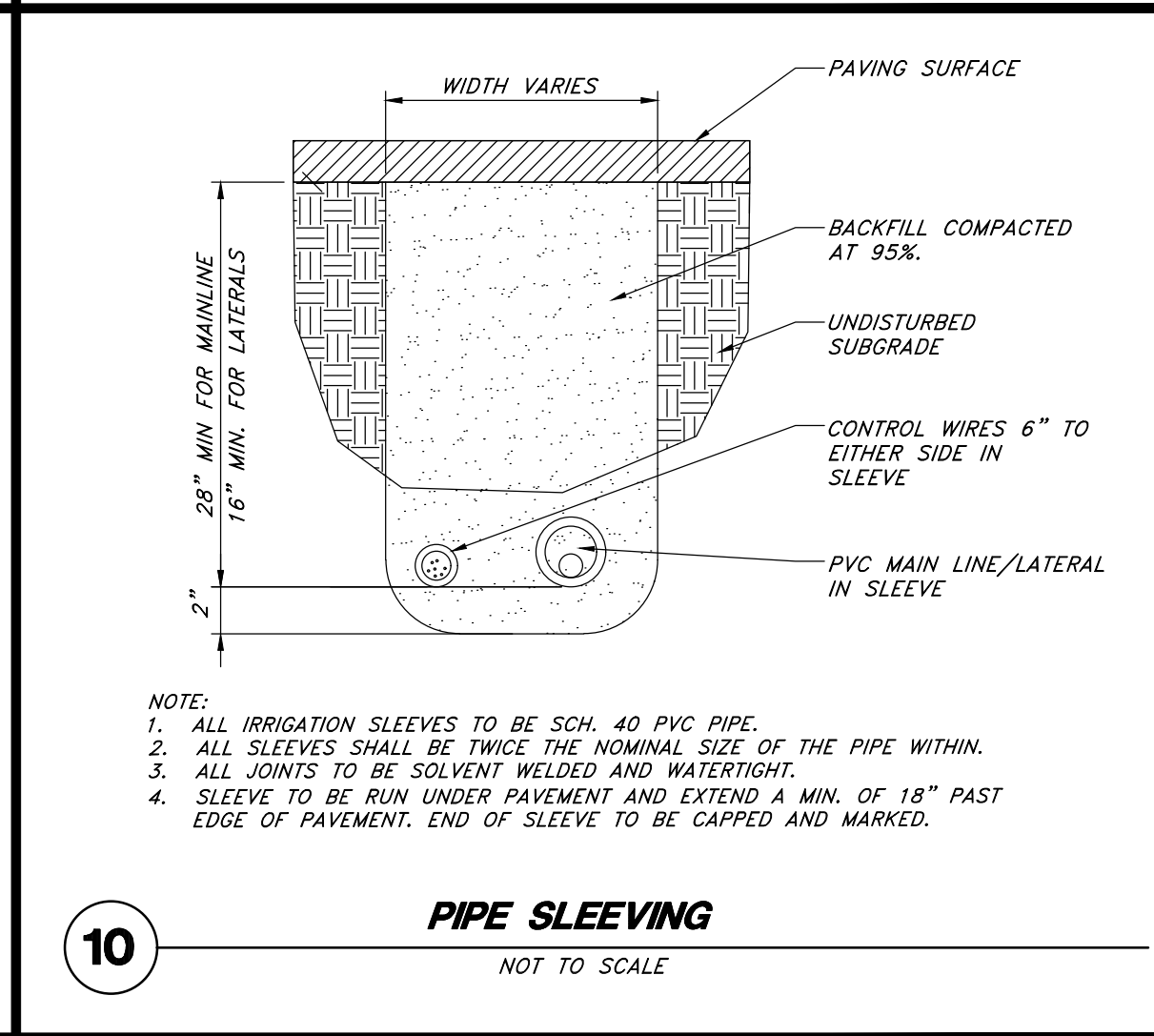
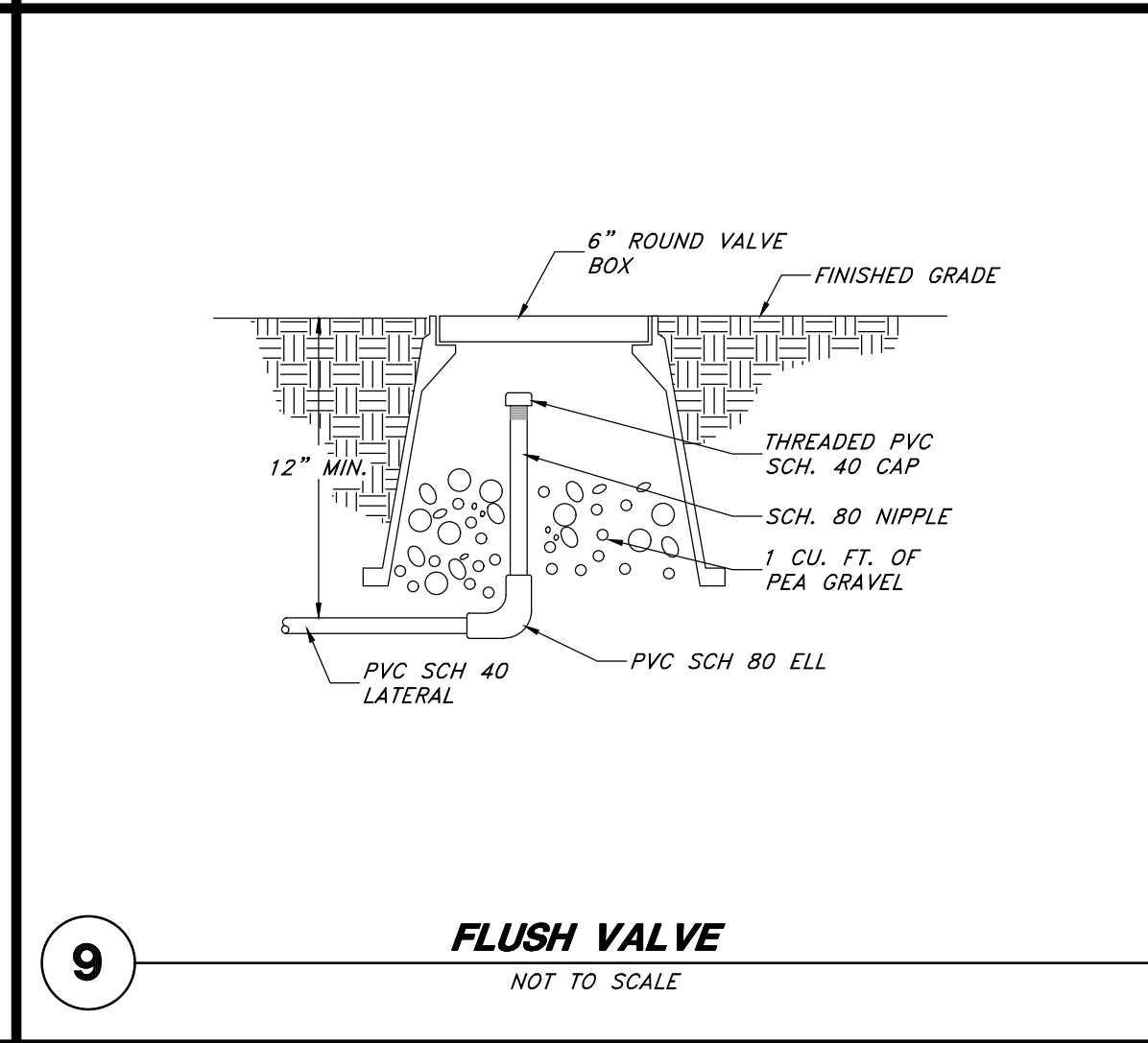
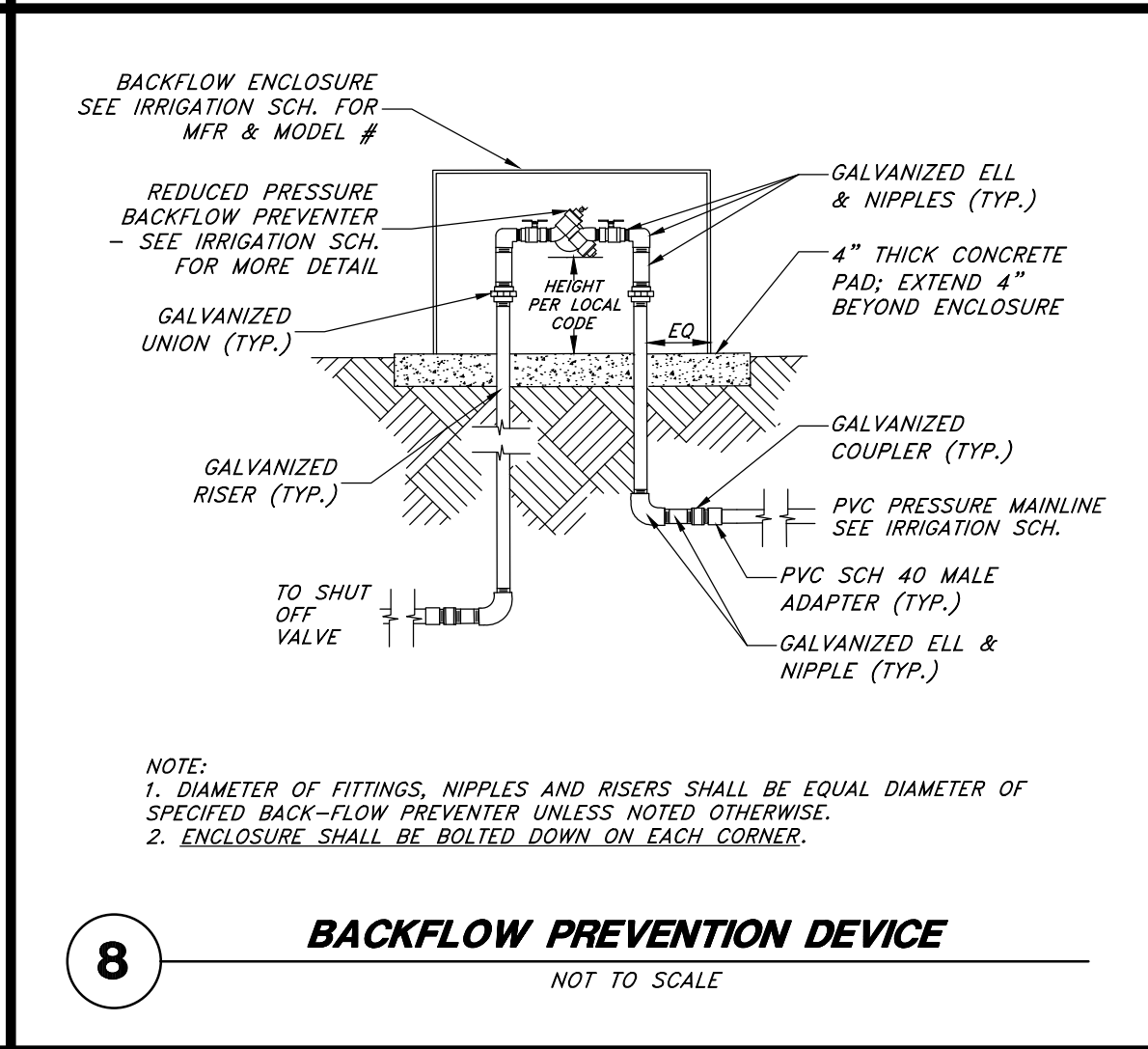
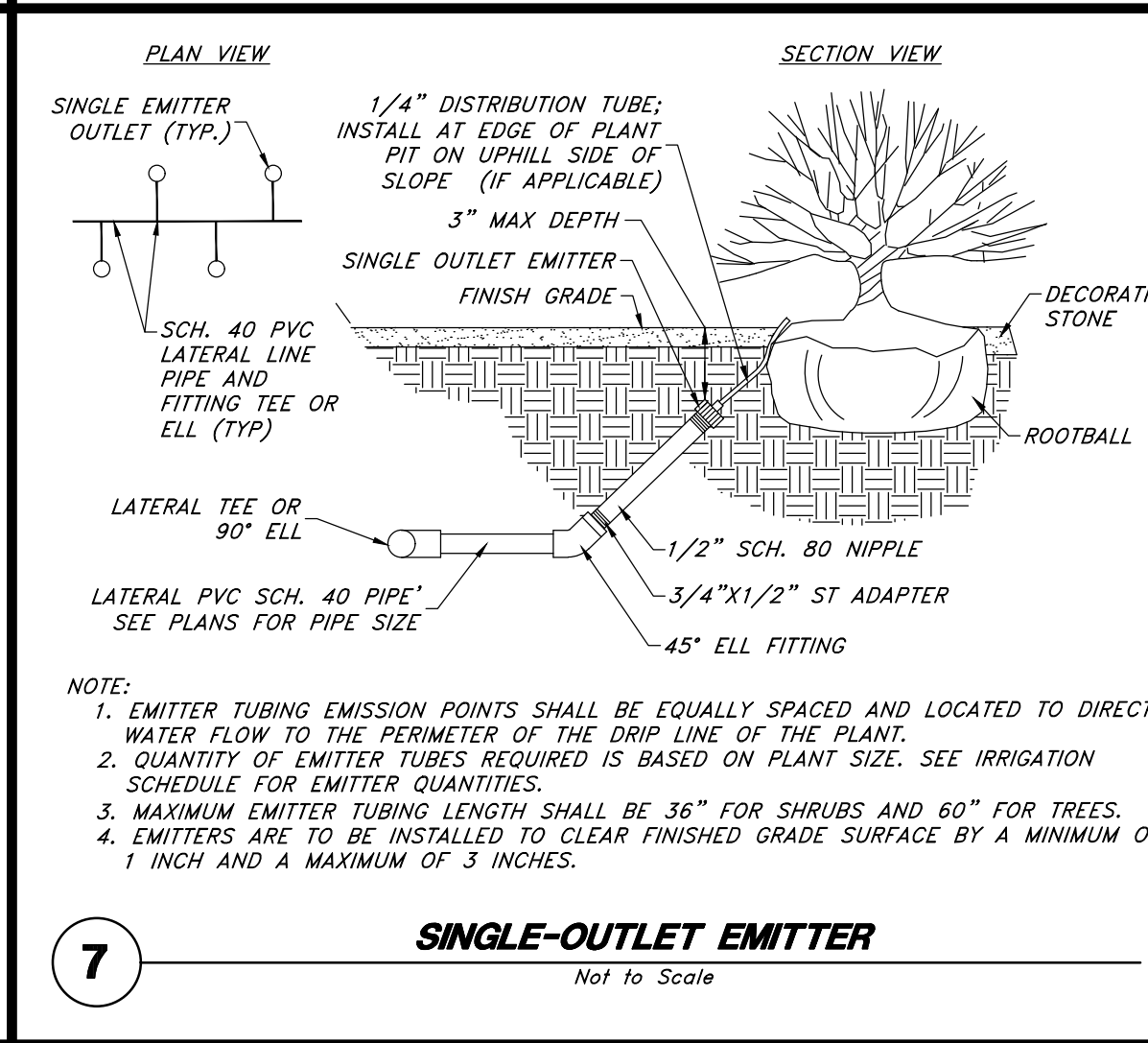
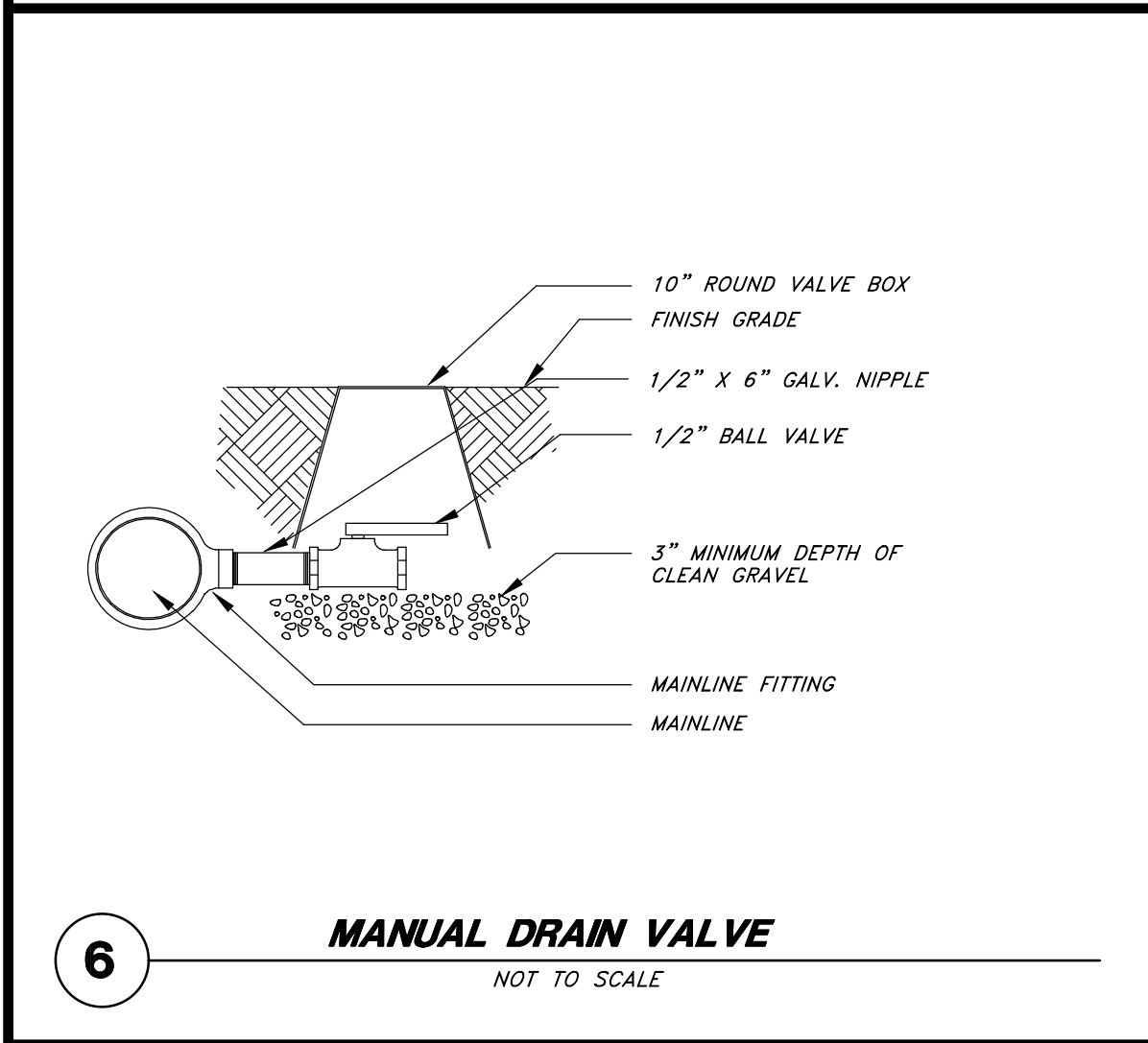
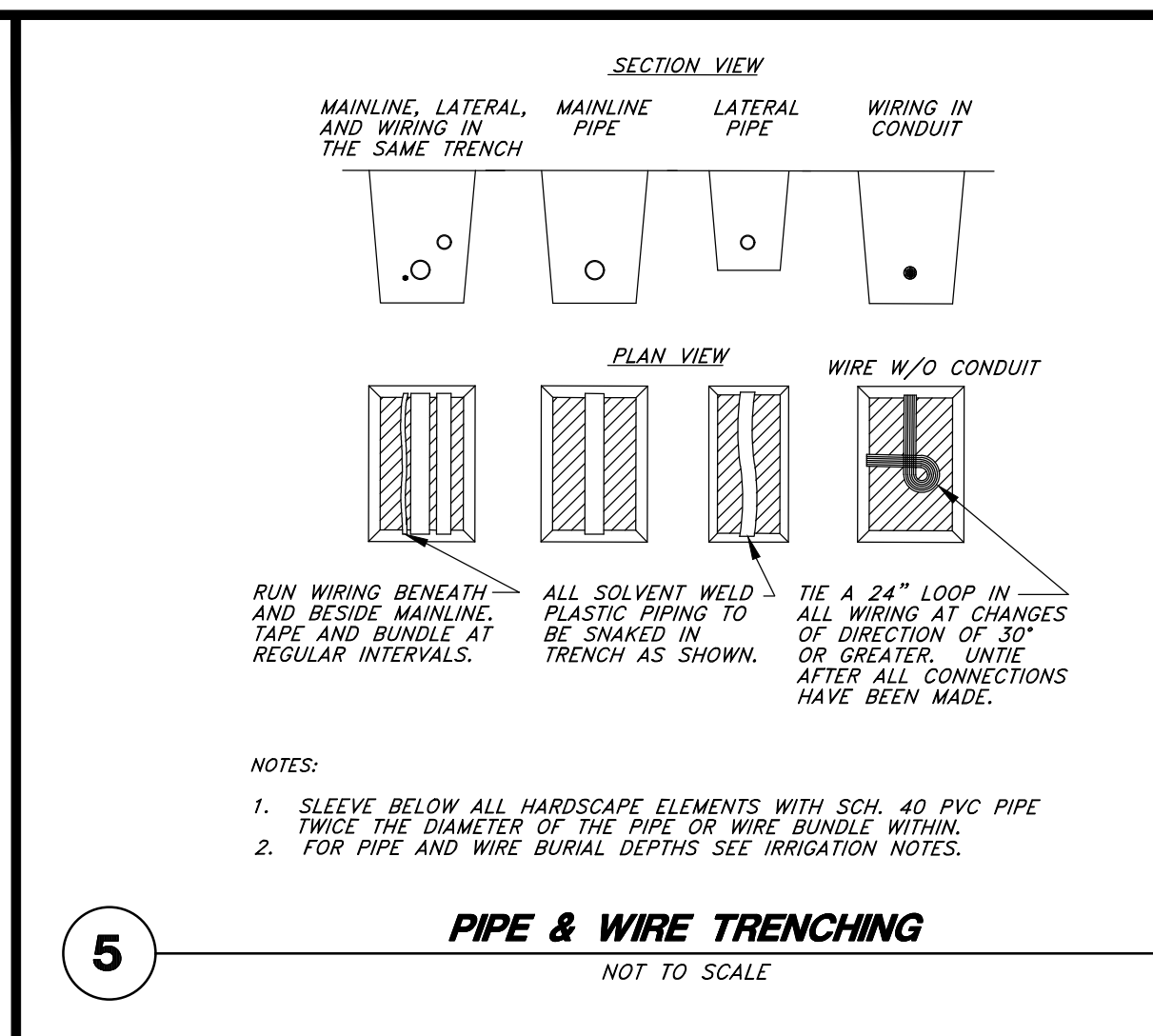
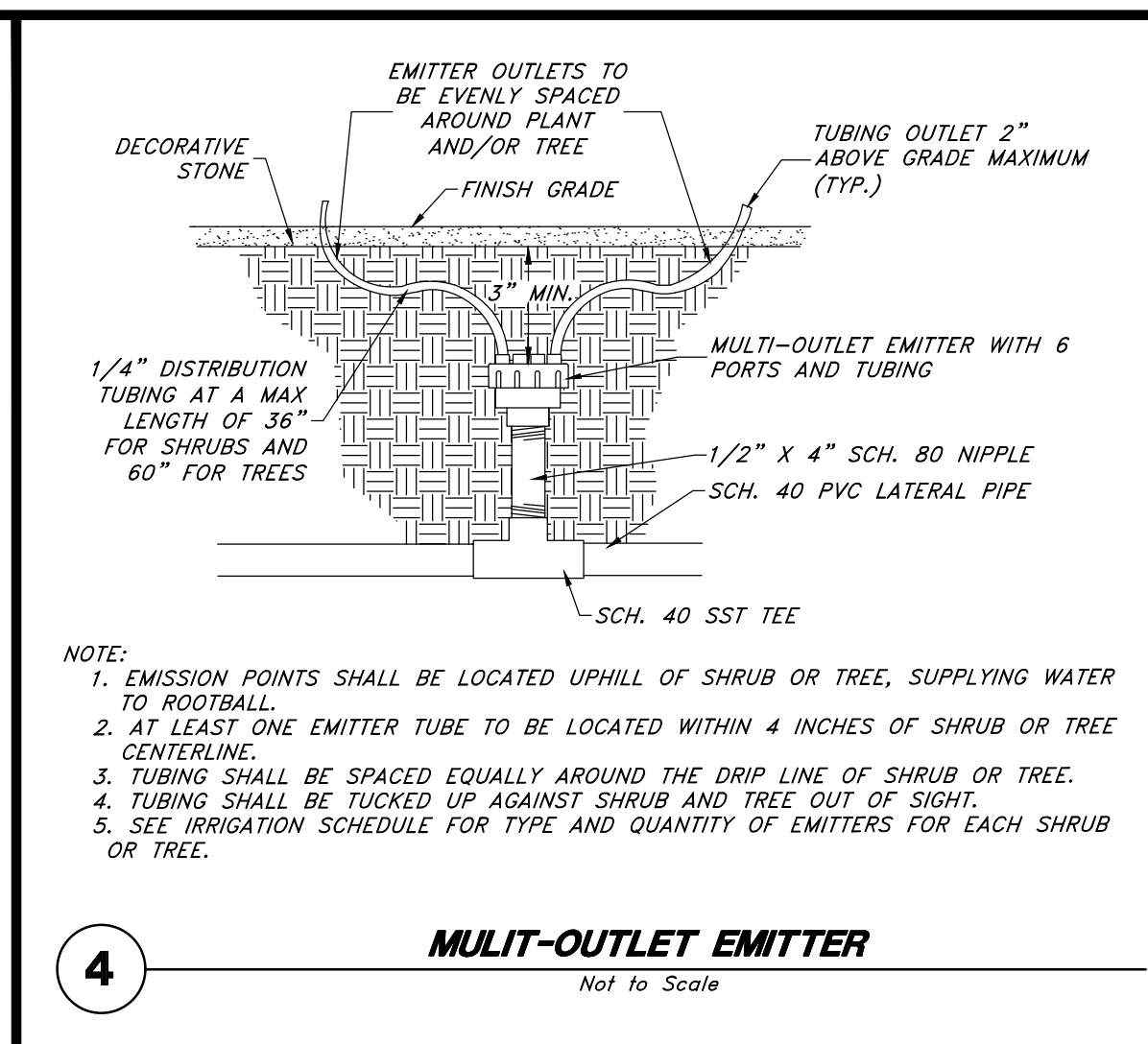
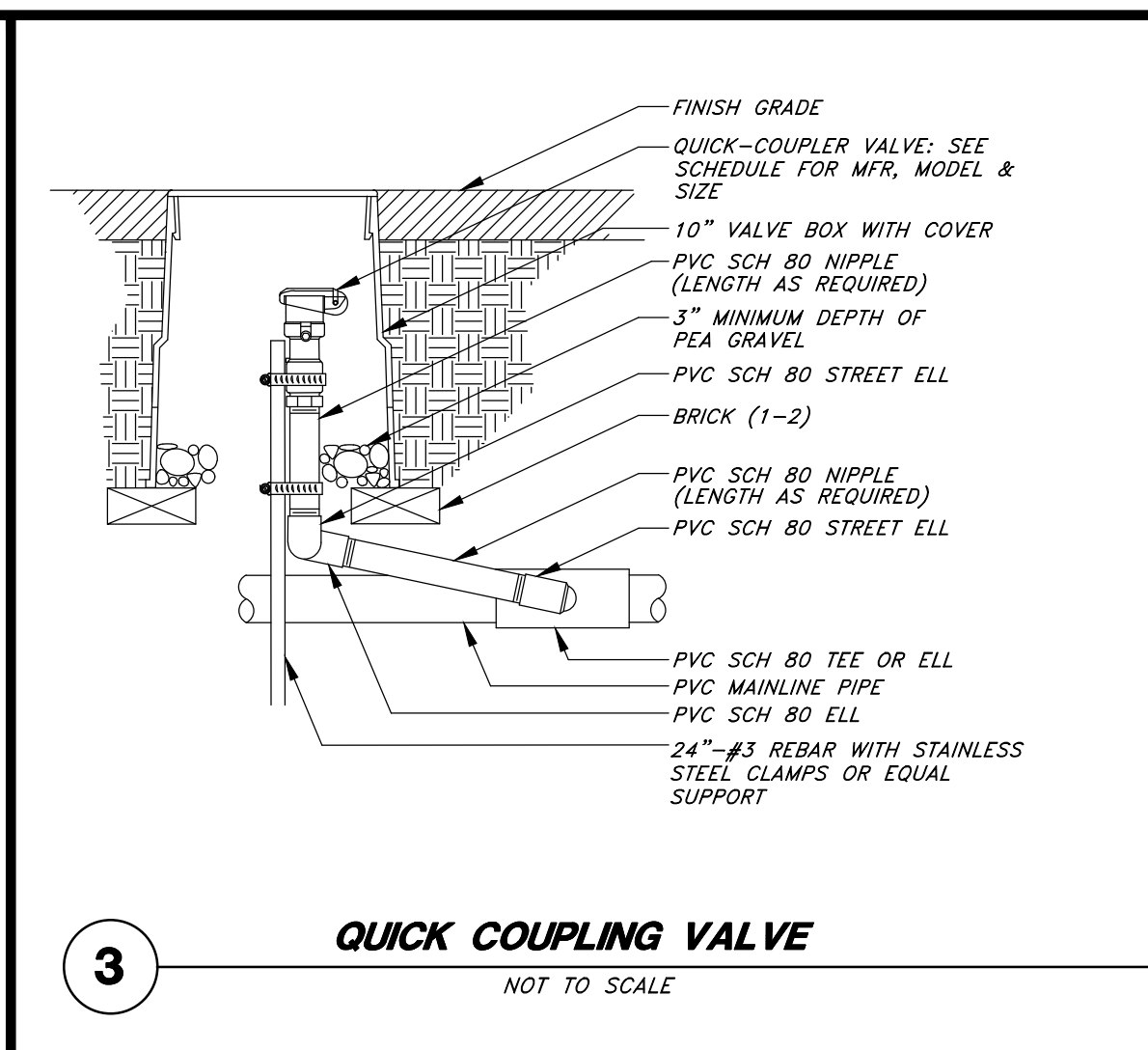
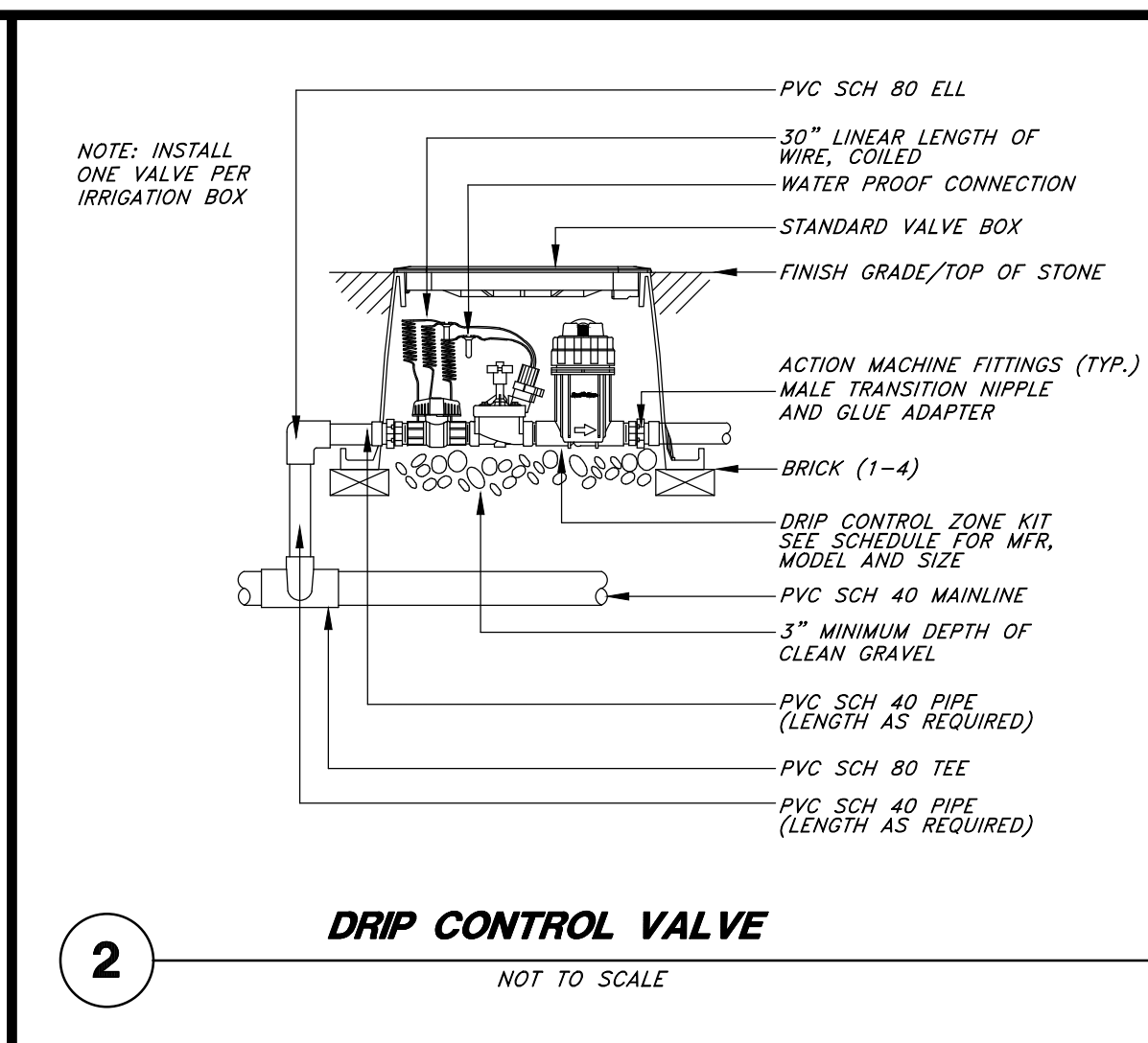
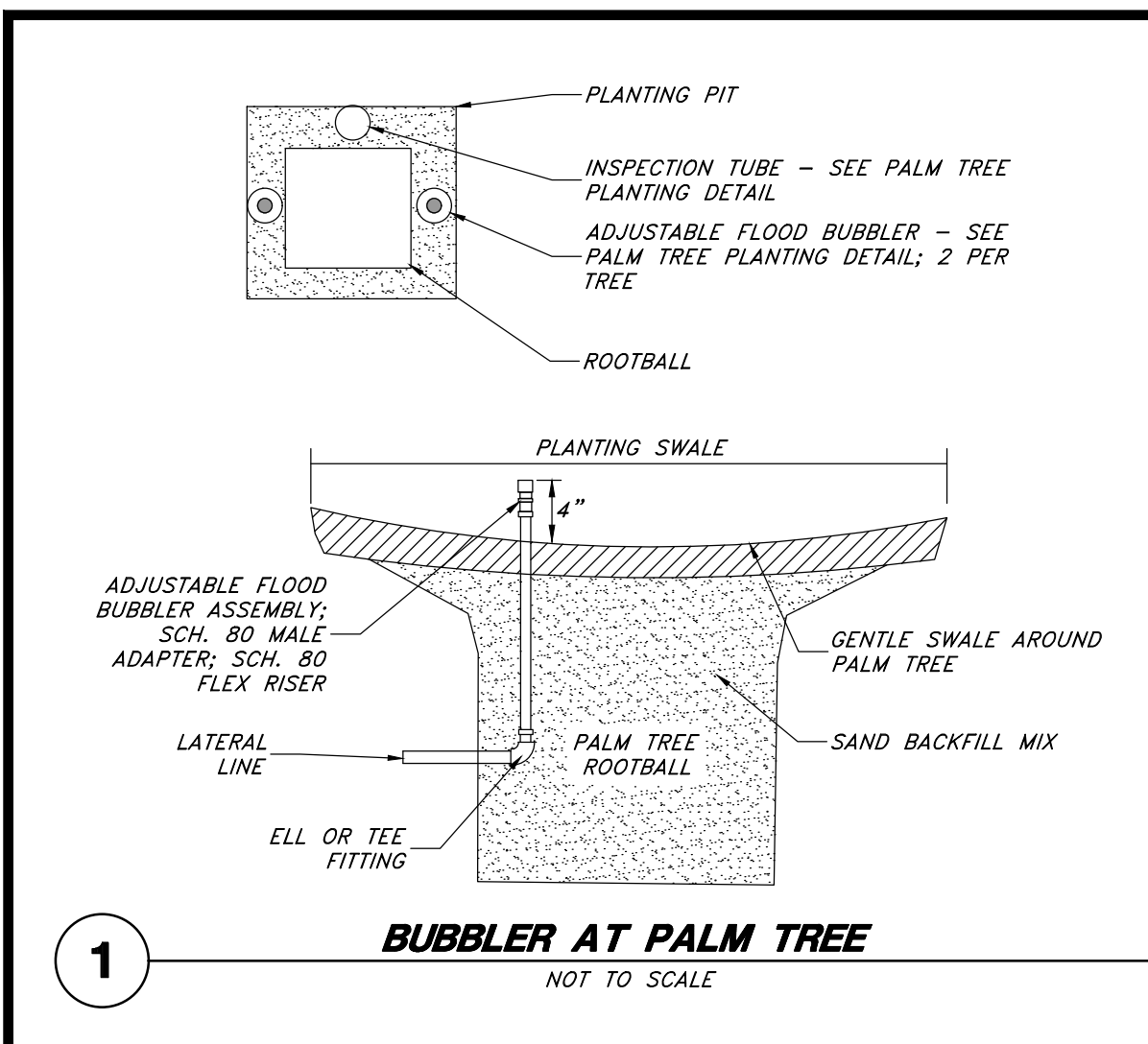
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Drafted by: NT
Client Name: MACU
23-005 IR



Irrigation Plan
Mountain America Credit Union
4917 South Power Road
Mesa, AZ 85212



10 May, 2023
SHEET NO. L2.1



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
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| | | |

Designed by: LC
 Drafted by: NT
 Client Name: MACU
 23-005 IR



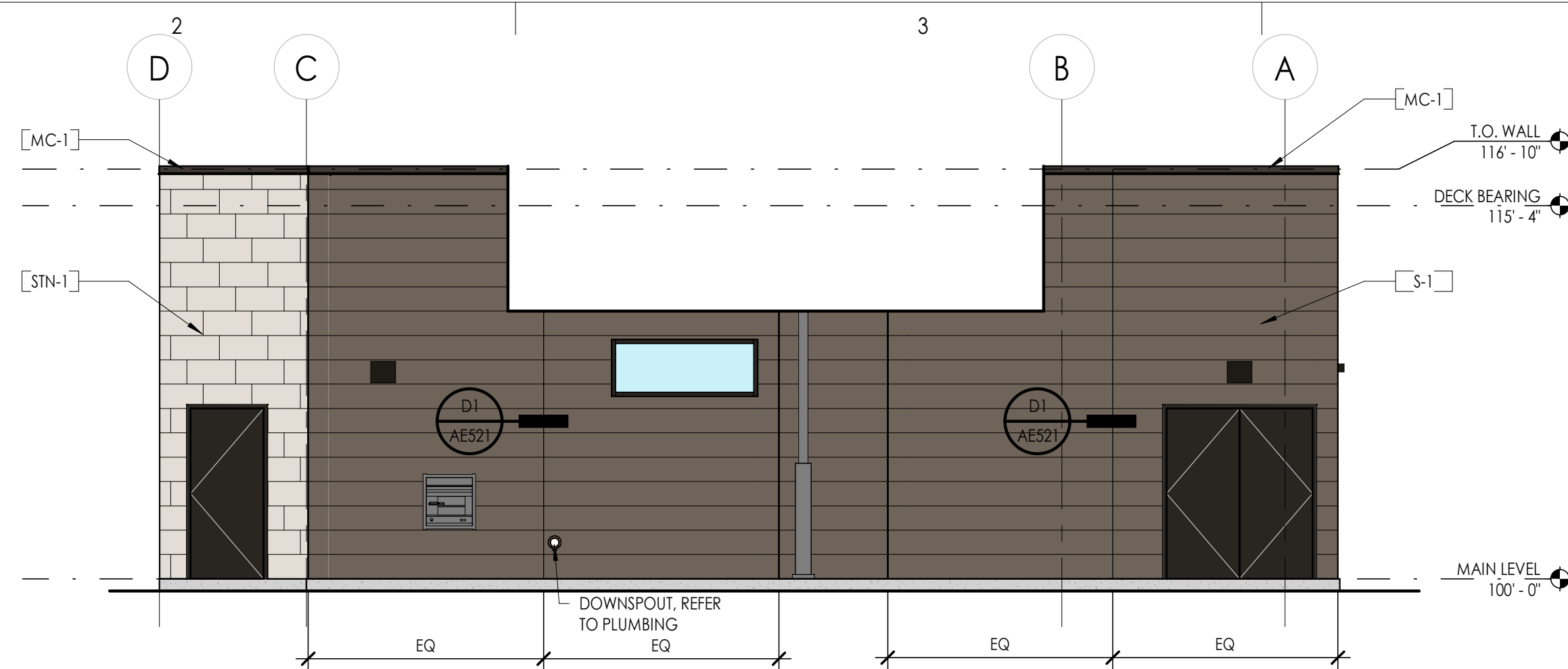
Irrigation Details
Mountain America Credit Union
 4917 South Power Road
 Mesa, AZ 85212



10 May, 2023
 SHEET NO.
L2.2



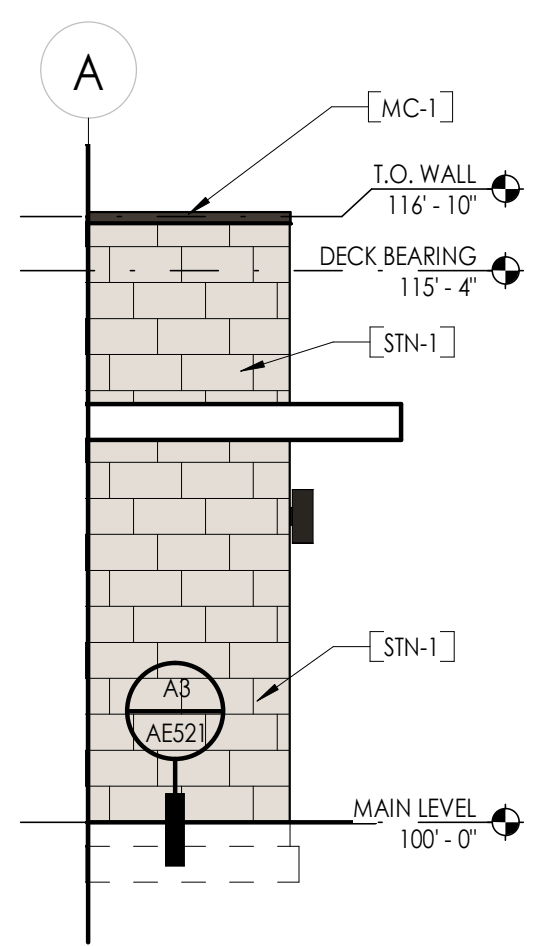
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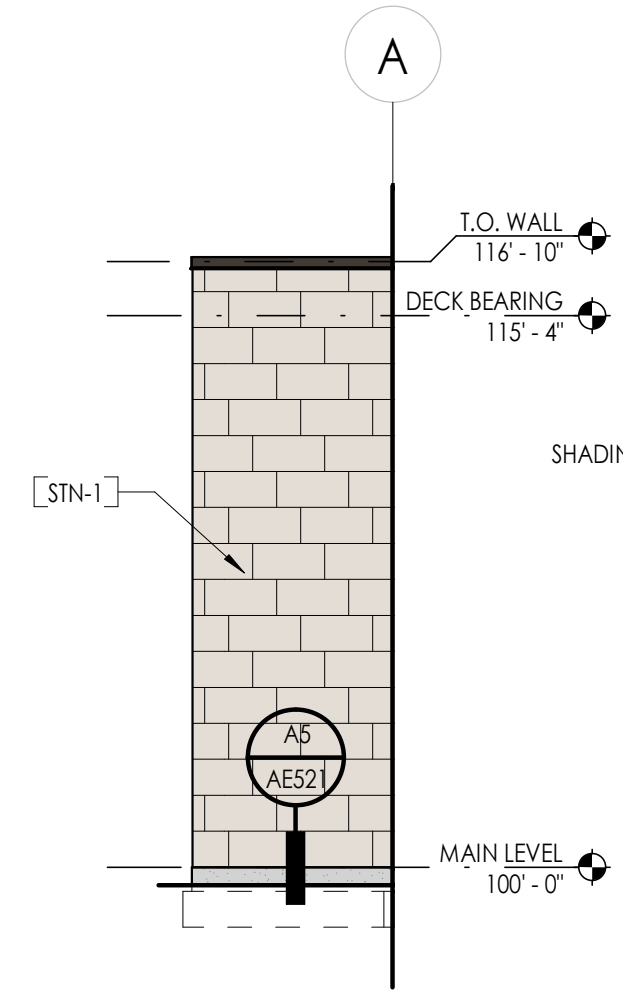
D3 EAST ELEVATION
3/16" = 1'-0"

- EXTERIOR MATERIALS**
- SPECIAL MATERIALS
 - SIDING: REYSTA SIDING = 2002 SF TOTAL
 - MASONRY: SISTERDALE LIMESTONE = 3047 SF TOTAL
 - OTHER MATERIALS
 - METAL: 601 SF TOTAL
 - GLAZING: KAWNEER = 1383 SF TOTAL
 - TOTALS & PERCENTAGES
 - TOTAL SQUARE FOOTAGE = 7033 SF
 - TOTAL SQUARE FOOTAGE - GLAZING = 5650 SF
 - SIDING PERCENTAGE = 35%
 - MASONRY PERCENTAGE = 55%
 - METAL PERCENTAGE = 10%
 - SPECIAL MATERIAL PERCENTAGE = 90%**

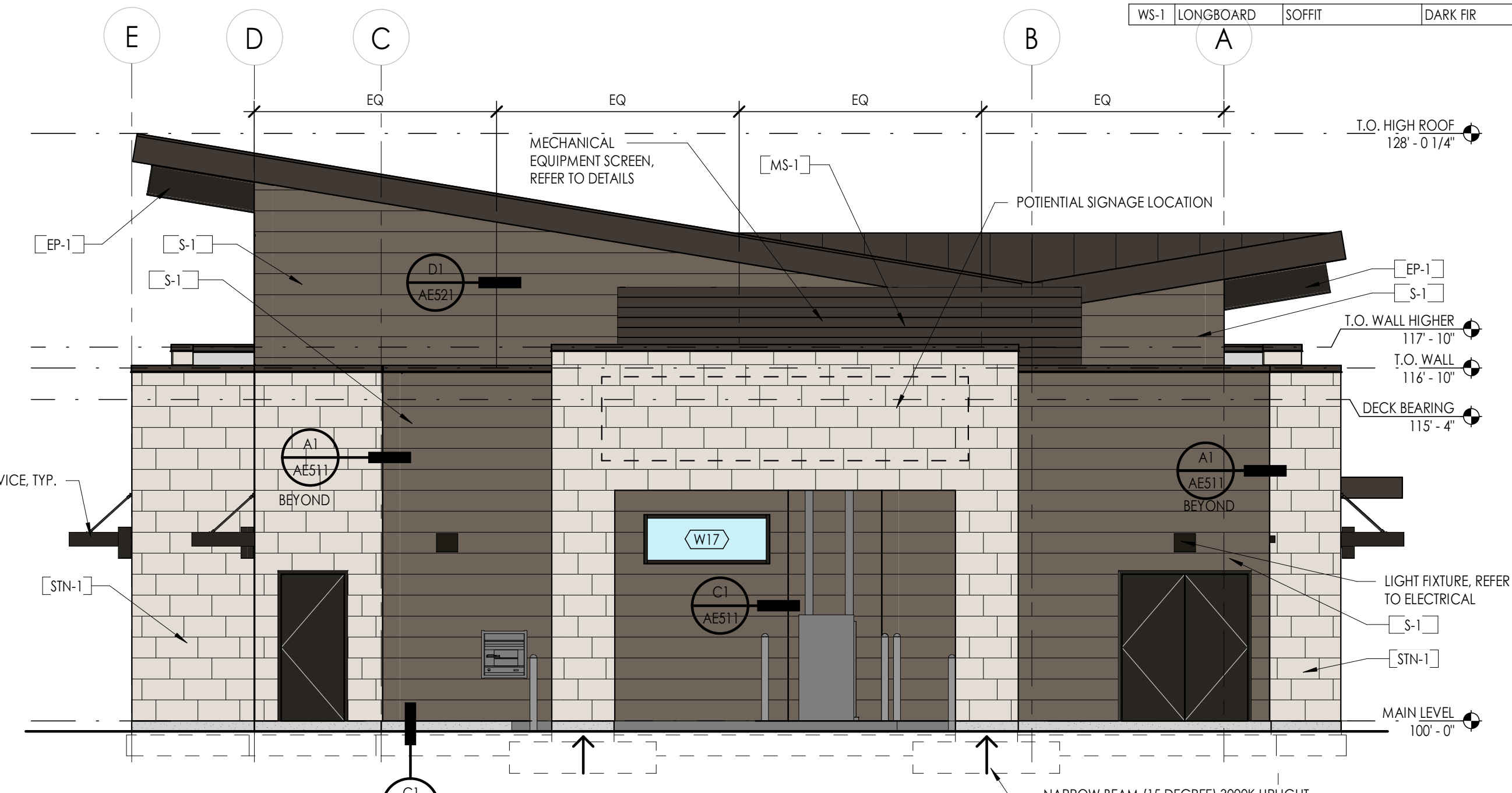
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|----------------------------|------------------|---------------------------|---|
| MARK | MANUF. | PRODUCT | COLOR / FINISH |
| EXTERIOR PAINT | | | |
| EP-1 | SHERWIN WILLIAMS | EXTERIOR PAINT | SW6990 CAVIAR 251-C2, EGG SHELL |
| MASONRY | | | |
| STN-1 | | SISTERDALE LIMESTONE | HONED FINISH, OFFSET BOND |
| MECHANICAL SCREEN | | | |
| MS-1 | GEOLAM | QUALITA 020C | EBONY, END CAPS @ ALL EXPOSED ENDS |
| METAL | | | |
| MC-1 | SEE SPEC. 076200 | PRE-FINISHED METAL COPING | SEE SPEC. |
| MT-1 | SEE SPEC. | PRE-FINISHED METAL TRIM | SEE SPEC. |
| METAL PANEL | | | |
| MP-1 | ALPOLIC | METAL PANEL | SBR BRONZE (SIGNAGE PAINT COLOR SW7020 BLACK FOX) |
| SIDING | | | |
| S-1 | REYSTA | SIDING 12" PROFILE | C15 DARK SIAM |
| SOFFIT | | | |
| WS-1 | LONGBOARD | SOFFIT | DARK FIR |



B2 EAST ELEVATION
3/16" = 1'-0"



B3 WEST ELEVATION
3/16" = 1'-0"



B4 EAST ELEVATION
3/16" = 1'-0"



A3 NORTH ELEVATION
3/16" = 1'-0"



Consultant

MOUNTAIN AMERICA CREDIT UNION
MESA POWER ROAD BRANCH
4917 S. POWER ROAD,
MESA, AZ 85212

Project Name

| Issued No. | Date | Description |
|------------|------|-------------|
| | | |

| Revision No. | Date | Description |
|--------------|----------|-----------------------|
| 1 | 04.21.23 | ADMIN. DR - SITE PLAN |

SAA Project No. 2022-38

Drawing Title

EXTERIOR ELEVATIONS

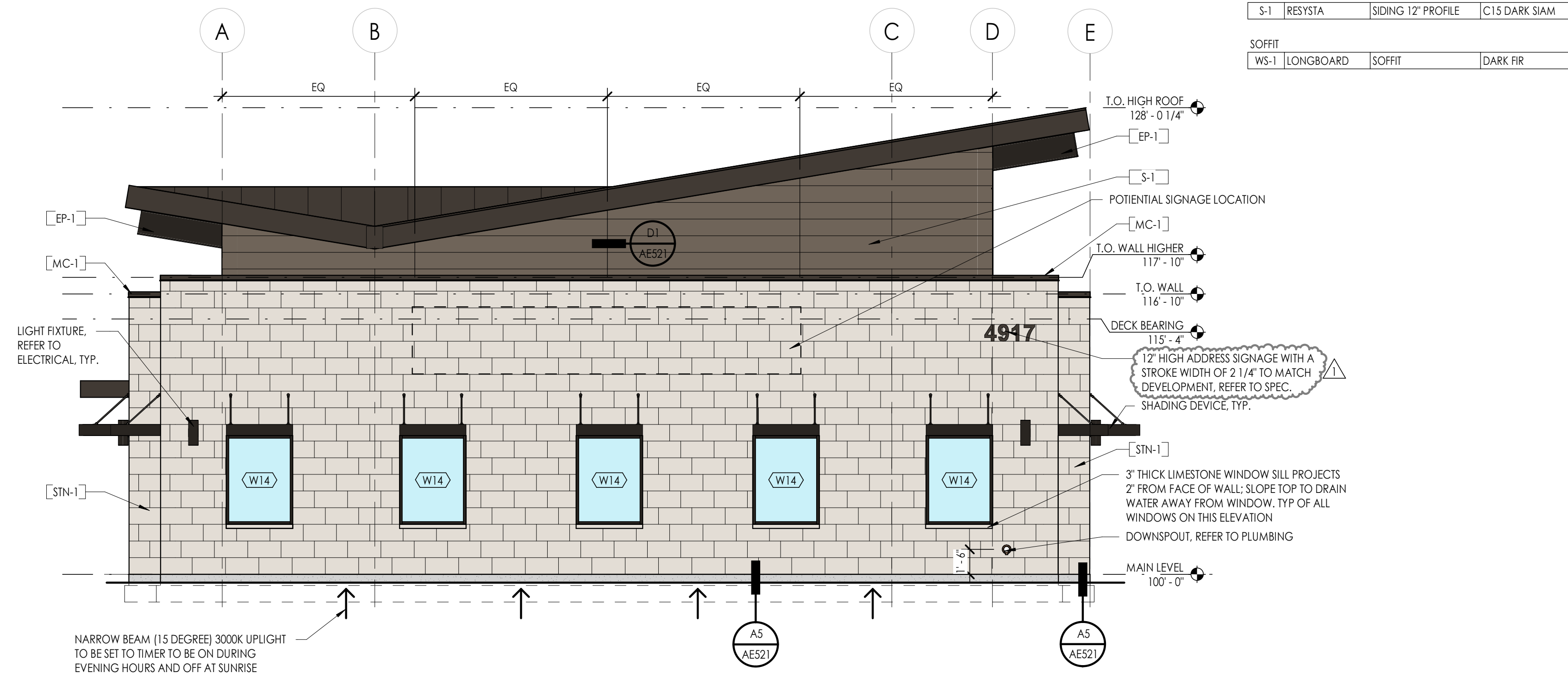
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AE201

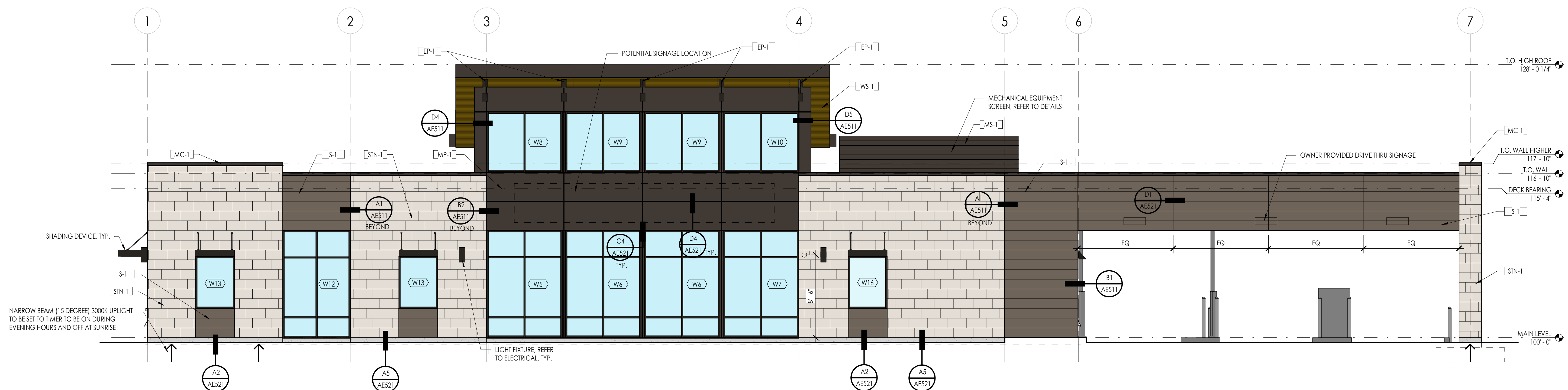
EXTERIOR MATERIALS

- SPECIAL MATERIALS
- SIDING: RESYSTA SIDING = 2002 SF TOTAL
- MASONRY: SISTERDALE LIMESTONE = 3047 SF TOTAL
- OTHER MATERIALS
- METAL: 601 SF TOTAL
- GLAZING: KAWNEER = 1383 SF TOTAL
- TOTALS & PERCENTAGES
- TOTAL SQUARE FOOTAGE = 7033 SF
- TOTAL SQUARE FOOTAGE - GLAZING = 5650 SF
- SIDING PERCENTAGE = 35%
- MASONRY PERCENTAGE = 55%
- METAL PERCENTAGE = 10%
- SPECIAL MATERIAL PERCENTAGE = 90%**

| EXTERIOR MATERIAL SCHEDULE | | | |
|----------------------------|------------------|---------------------------|---|
| MARK | MANUF. | PRODUCT | COLOR / FINISH |
| EXTERIOR PAINT | | | |
| EP-1 | SHERWIN WILLIAMS | EXTERIOR PAINT | SW6990 CAVIAR 251-C2, EGG SHELL |
| MASONRY | | | |
| STN-1 | | SISTERDALE LIMESTONE | HONED FINISH, OFFSET BOND |
| MECHANICAL SCREEN | | | |
| MS-1 | GEOLAM | QUALITA 020C | EBONY, END CAPS @ ALL EXPOSED ENDS |
| METAL | | | |
| MC-1 | SEE SPEC. 076200 | PRE-FINISHED METAL COPING | SEE SPEC. |
| MT-1 | SEE SPEC. | PRE-FINISHED METAL TRIM | SEE SPEC. |
| METAL PANEL | | | |
| MP-1 | ALPOLIC | METAL PANEL | SBR BRONZE (SIGNAGE PAINT COLOR SW7020 BLACK FOX) |
| SIDING | | | |
| S-1 | RESYSTA | SIDING 12" PROFILE | C15 DARK SIAM |
| SOFFIT | | | |
| WS-1 | LONGBOARD | SOFFIT | DARK FIR |



B4 WEST ELEVATION
3/16" = 1'-0"



A2 SOUTH ELEVATION
3/16" = 1'-0"



Consultant

MOUNTAIN AMERICA CREDIT UNION
MESA POWER ROAD BRANCH
4917 S. POWER ROAD,
MESA, AZ 85212

Project Name

| Issued No. | Date | Description |
|------------|------|-------------|
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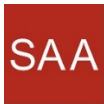
| Revision No. | Date | Description |
|--------------|----------|-----------------------|
| 1 | 04.21.23 | ADMIN. DR - SITE PLAN |
| | | |
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SAA Project No. 2022-38
Drawing Title

EXTERIOR ELEVATIONS

Sheet Number

AE202



SANDERS ASSOCIATES ARCHITECTS
2668 GRANT AVENUE OGDEN, UT 84401
T 801.621.7303

Citizen Participation Plan for Mountain America Credit Union Mesa Power Road Branch Case # ZON23-00282

June 1, 2023

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighbor associations, agencies, schools and businesses in the vicinity of the site of the application for the Mountain America Federal Credit Union Mesa Power Road Branch. The site is located at 4917 S. Power Road, east side of the 4900 block of South Power Road, and is an application for the Major Site Plan Modification. It will amend the conditions of approval for Case No. ZON21-00069 and will allow for a bank with a drive-thru. This plan will ensure that those affected by this application will have adequate opportunity to learn about and comment on the proposal.

Contact:

Shane Sanders – 2668 Grant Ave Suite 100, Ogden, UT 84401
Phone: 801-621-7303; Email: shane@sandersarch.com

Action Plan: In order to provide effective citizen participation in conjunction with their application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts their development that members of the community may have.

1. A contact list will be developed for citizens and agencies in this area including:
 - a. All City of Mesa registered neighborhood associations and Homeowners Associations within 1 mile radius.
 - b. All property owners within 1,000 feet from the site.
2. All persons listed on the contact list will receive a letter describing the project. The letter will describe who Mountain America Federal Credit Union is and how the design will accommodate members' needs. The letter will have contact information for the applicant and staff planner. A site plan and exterior elevations will be provided to show the design.
 - a. A copy of the letter will be provided to the City of Mesa Planner assigned to this project.
3. A public posting sign will be placed on the site by the date provided by the City of Mesa Planner.
4. Project notification letters will be mailed to the same contact list by the date provided by the City of Mesa Planner.

[All materials such as contact lists, maps and comments received are copied to the City of Mesa]

Schedule:

1. 6-13-2023: Letters to be mailed to contact list.
2. TBD: Public posting sign will placed on site.
3. TBD: Project Notification Letters to be provided to the city.



SANDERS ASSOCIATES ARCHITECTS
2668 GRANT AVENUE OGDEN, UT 84401
T 801.621.7303

Final Citizen Participation Report for Mountain America Credit Union Mesa Power Road Branch Case # ZON23-00282

July 7, 2023

Overview: This report provides the results of the implementation of the Citizen Participation Plan for the Mountain America Federal Credit Union Mesa Power Road Branch. The site is located at 4917 S. Power Road, east side of the 4900 block of South Power Road, and is an application for the Major Site Plan Modification. It will amend the conditions of approval for Case No. ZON21-00069 and will allow for a bank with a drive-thru. This report provides evidence that citizens, neighbors, public agencies, and interested persons have had adequate opportunity to learn about and comment on the proposed plans and actions addressed in the application.

Contact:

Shane Sanders – 2668 Grant Ave Suite 100, Ogden, UT 84401
Phone: 801-621-7303; Email: shane@sandersarch.com

Correspondence:

1. 6-13-2023: Letters mailed to contact list (1000 feet of subject site). See attached map, contact list and letter.
2. 6-26-2023: Public posting sign placed on site. See attached Affidavit of Public Posting.
3. 7-11-2023: Project Notification Letters to be provided to the city (contact list is properties within 1000 feet of subject site). See attached map, contact list and letter.

Results:

There were 36 persons on the contact list as of the date of this Citizen Participation Report.

1. Citizen Participation Letter:
 - a. Phone calls to Shane Sanders: One call was received on June 21st. The caller wanted to know the exact location of the site. When the caller discovered that the parcel was located in Gallery Park, they were no longer wanted any more details on the project and wished us good luck with our project.
2. Public Sign Posting:
 - a. No contact received.
3. Summary: No concerns received during the citizen participation period. No concerns, issues or problems to address at this time.

This Final Citizen Participation report and all attachments will be uploaded to the record for this case.



SANDERS ASSOCIATES ARCHITECTS
2668 GRANT AVENUE OGDEN, UT 84401
T 801.621.7303

June 13, 2023

To Whom It May Concern:

The City of Mesa has requested Mountain America Credit Union (MACU) to notify you regarding MACU's modification of the previously approved site plan at 4917 S. Power Road.

Mountain America Federal Credit Union is a financial institution looking to serve its members by expanding further in the City of Mesa area.

The branch building design includes offices and spaces for conducting financial transactions. The footprint has been designed to service member's banking needs within the location area and designed to accommodate up to 16 employees to service those needs.

Also included will be a drive thru with two (2) dedicated drive-thru teller lanes and one (1) dedicated drive-thru ATM lane. MACU has determined through past experience that during peak times the drive-thru need will require two (2) lanes in order to meet the appropriate demand.

Project Contact Information

Applicant: Shane Sanders, 801-621-7303, shane@sandersarch.com

Staff Planner: Sean Pesek, 480-644-6716, sean.pesek@mesaaz.gov

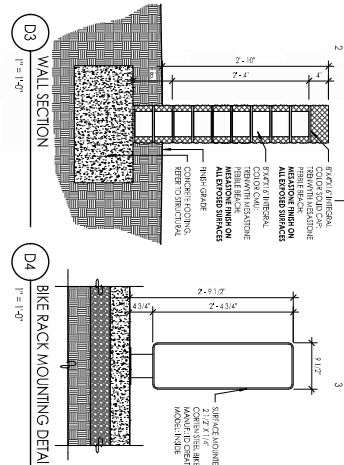
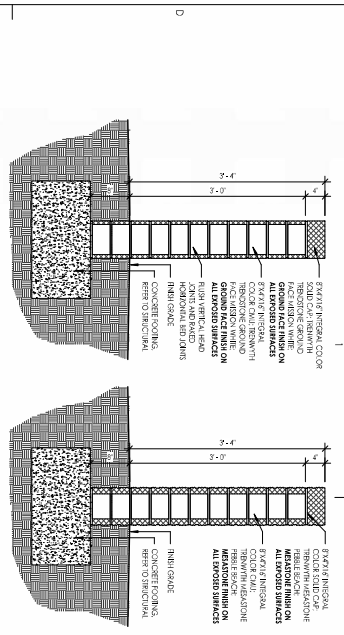
Sincerely,

A handwritten signature in blue ink, appearing to read "M. Sanders", written over a faint circular stamp or watermark.

M. Shane Sanders, AIA, NCARB
Managing/Design Principal
SANDERS ASSOCIATES ARCHITECTS

Building Elevations:



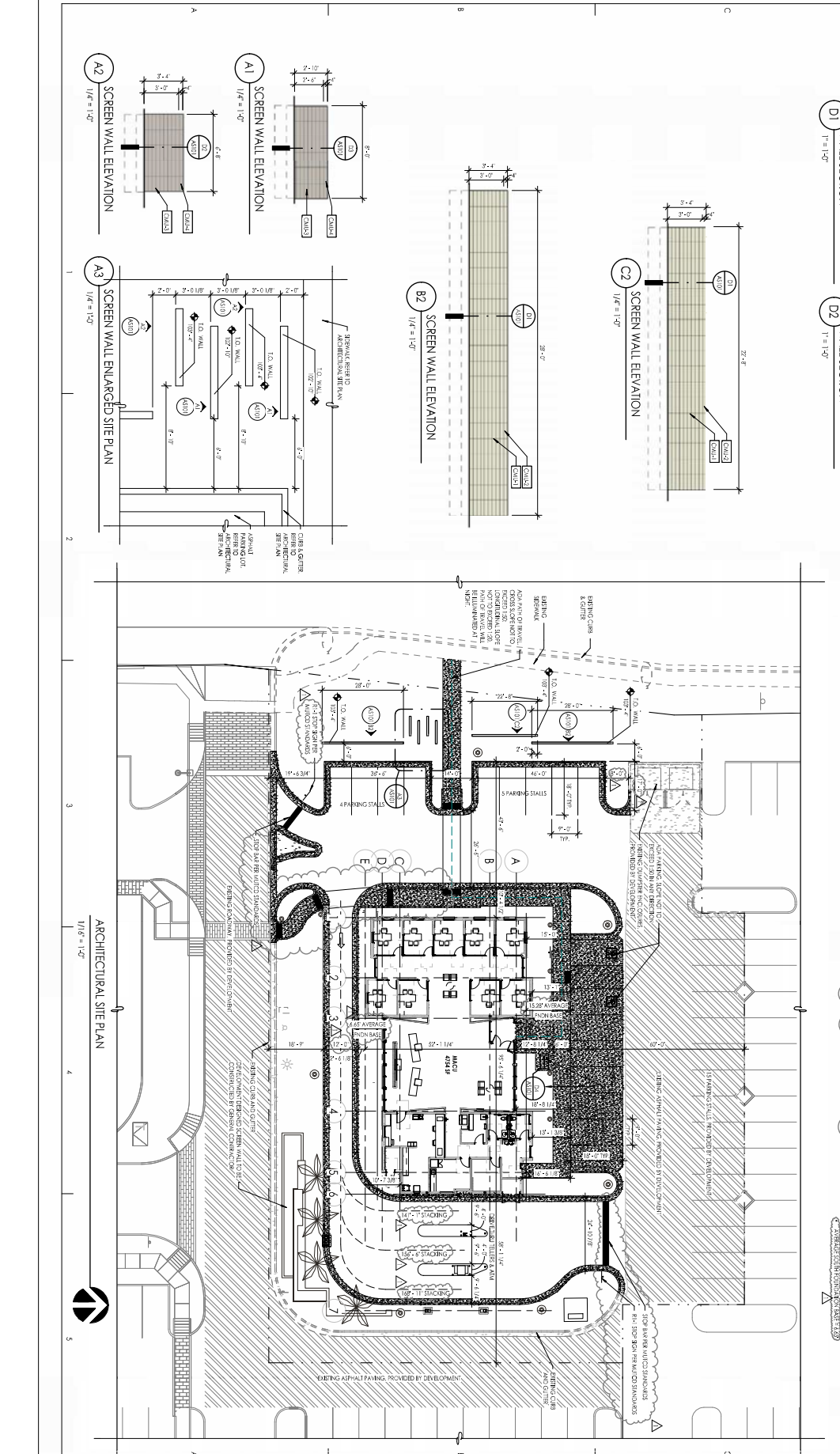


GENERAL SITE NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MESA, ARIZONA, ORDINANCES AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MESA, ARIZONA, AND THE MOUNTAIN AMERICA CREDIT UNION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MESA, ARIZONA, AND THE MOUNTAIN AMERICA CREDIT UNION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MESA, ARIZONA, AND THE MOUNTAIN AMERICA CREDIT UNION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MESA, ARIZONA, AND THE MOUNTAIN AMERICA CREDIT UNION.

| ITEM | DESCRIPTION | QUANTITY | UNIT | PRICE | TOTAL |
|------|--------------------|----------|-------------|--------|--------|
| 1 | SCREEN WALL | 100 | LINEAR FEET | 100.00 | 100.00 |
| 2 | BIKE RACK MOUNTING | 10 | UNITS | 100.00 | 100.00 |
| 3 | CONCRETE WORK | 100 | CY | 100.00 | 100.00 |
| 4 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 5 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 6 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 7 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 8 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 9 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 10 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 11 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 12 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 13 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 14 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 15 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 16 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 17 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 18 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 19 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 20 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 21 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 22 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 23 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 24 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 25 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 26 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 27 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 28 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 29 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 30 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 31 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 32 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 33 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 34 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 35 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 36 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 37 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 38 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 39 | IRONWORK | 100 | LB | 100.00 | 100.00 |
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| 43 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 44 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 45 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 46 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
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| 49 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 50 | PAINT | 100 | GAL | 100.00 | 100.00 |
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| 53 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 54 | IRONWORK | 100 | LB | 100.00 | 100.00 |
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| 56 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
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| 67 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
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| 79 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 80 | PAINT | 100 | GAL | 100.00 | 100.00 |
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| 82 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 83 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 84 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 85 | PAINT | 100 | GAL | 100.00 | 100.00 |
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| 93 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 94 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 95 | PAINT | 100 | GAL | 100.00 | 100.00 |
| 96 | LANDSCAPING | 100 | SQ YD | 100.00 | 100.00 |
| 97 | UTILITIES | 100 | LINEAR FEET | 100.00 | 100.00 |
| 98 | CONCRETE | 100 | CY | 100.00 | 100.00 |
| 99 | IRONWORK | 100 | LB | 100.00 | 100.00 |
| 100 | PAINT | 100 | GAL | 100.00 | 100.00 |



PROJECT INFORMATION

Project Name: **MOUNTAIN AMERICA CREDIT UNION MESA POWER ROAD BRANCH**

Address: **4917 S. POWER ROAD, MESA, AZ 85212**

Scale: **AS101**

Architect: **SAA ASSOCIATES ARCHITECTS**

Client: **MOUNTAIN AMERICA CREDIT UNION**

Project No: **2020-08**

Revision: **01**

Date: **08/23/20**

Drawn By: **J. B. BROWN**

Checked By: **J. B. BROWN**

Scale: **AS101**

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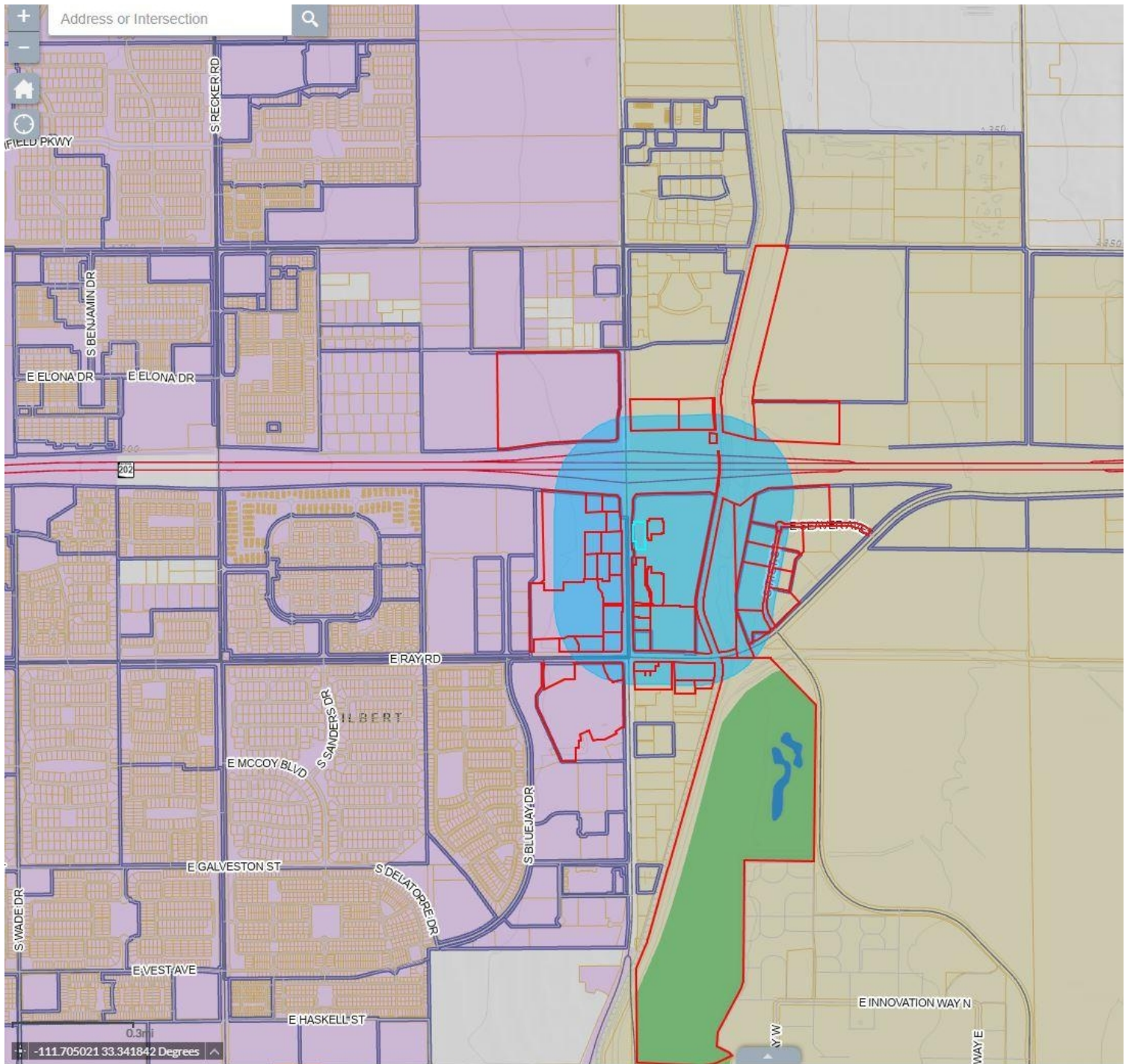
Date: **08/23/20**

Drawn By: **J. B. BROWN**

Checked By: **J. B. BROWN**

Scale: **AS101**

Mountain America Credit Union Citizen Participation Map



Mountain America Credit Union Citizen Participation Mailing Labels

GILBERT GATEWAY TOWNE CENTER HOLDINGS LLC
3941 W MOHAVE ST 110
PHOENIX AZ 85009

TARGET CORPORATION
PO BOX 9456
MINNEAPOLIS MN 55440

GATEWAY CORNER HOLDINGS LLC
7515 E 1ST ST
SCOTTSDALE AZ 85251

KCK INVESTMENTS LLC
4747 S POWER RD
MESA AZ 85212

POWER 17 LLC
124 S 600 E
SALT LAKE CITY UT 84102

ARIZONA STATE OF
301 W JEFFERSON ST FL 10
PHOENIX AZ 85003

FLOOD CONTROL DISTRICT OF MARICOPA COUNTY
2801 W DURANGO ST
PHOENIX AZ 85009

ROOSEVELT WATER CONS DIST 5239
PO BOX 100
HIGLEY AZ 85236

ALI ADVISOR INC
2999 N 44TH ST 100
PHOENIX AZ 85018

PHOENIX-MESA GATEWAY AIRPORT AUTHORITY
600 S POWER RD BLDG
MESA AZ 85206

EGP 7132 SEAVER 1031 LLC
2141 E CAMELBACK RD UNIT 250
PHOENIX AZ 85016

RRCCN OWNERS ASSOCIATION
2999 N 44TH ST STE 500
PHOENIX AZ 85018

GATEWAY 71B LLC
4942 S 71ST ST
MESA AZ 85212

MGW BUILDING LLC
4144 W SUNSET RD
LAS VEGAS NV 89118

AEI RAY DEVELOPMENT LLC
300 W CLARENDON AVE STE 240
PHOENIX AZ 85013

AEI ARIZONA OZ FUND LLC
11100 SANTA MONICA BLVD STE 260
LOS ANGELES CA 90025

CRP PDC MESA GATEWAY OWNER LLC
450 NEWPORT CENTER DR STE 405
NEWPORT BEACH CA 92660

RRCCN OWNERS ASSOCIATION
2999 N 44TH ST STE 500
PHOENIX AZ 85018

POWER ROAD GP STV LLC
525 W 21ST ST
TEMPE AZ 85282

BPM PROPERTIES LLC
7110 N WILDER RD
PHOENIX AZ 85021

POWER 202 MIXED-USE LLC
5195 S POWER RD
MESA AZ 85212

AGP APARTMENTS VENTURE L L C
3889 MAPLE AVE STE 200
DALLAS TX 75219

P202 PHASE 3 RETAIL LLC
5033 S POWER RD
MESA AZ 85212

P202 PHASE 3 RETAIL LLC
4931 S POWER RD
MESA AZ 85212

POWER 202 MIXED-USE LLC
4913 S POWER RD
MESA AZ 85212

7212 E MESA GATEWAY LLC
5033 S 71ST ST
MESA AZ 85212

PRESSMAN QOZB LLC
19 E 88TH ST STE 6F
NEW YORK NY 10128

UNITED STATES OF AMERICA
3707 N 7TH ST
PHOENIX AZ 85017

GRANITE FIELD INVESTMENTS LLC
PO BOX 151
QUEEN CREEK AZ 85142

DICKERSON ZACHARY/YOUNG BRYANT R
32624 N RUGOSA RD
QUEEN CREEK AZ 85142

6907 EAST RAY ROAD OWNER LP
870 7TH AVE FRNT 2
NEW YORK NY 10019

TRIANGLE TRUST/STROSCHE INVESTMENTS LLC
32101 COOK LN
SAN JUAN CAPISTRANO CA 92675

JET WORLDWIDE LLC
201 HOLLIS AVE
PANAMA CITY FL 32401

WAL MART STORES INC
1301 SE 10TH ST
BENTONVILLE AR 72716

BC PICO LLC/DRIVE PICO LLC/AUTOMATIC PROPERTIES LLC
11601 SANTA MONICA BLVD
LOS ANGELES CA 90025

AMERICAN FURNITURE WARHOUSE CO
8820 AMERICAN WY
ENGLEWOOD CO 80112

City of Mesa Planning Division

AFFIDAVIT OF PUBLIC POSTING

Date: 06/26/2023

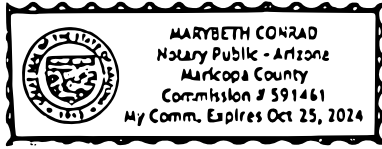
I, Meghan Liggett, being the owner or authorized agent for the zoning case below, do hereby affirm that I have posted the property related to case # ZON23-00282, on 4917 S Power Rd. The posting was in one place with one notice for each quarter mile of frontage along perimeter right-of-way so that the notices were visible from the nearest public right-of-way.

SUBMIT PHOTOGRAPHS OF THE POSTINGS MOUNTED ON AN 8.5” BY 11” SHEET OF PAPER WITH THIS AFFIDAVIT.

Applicant’s/Representative’s signature: *Meghan Liggett*

SUBSCRIBED AND SWORN before me on 6/26/2023

Marybeth Conrad
Notary Public



CITY OF MESA
PUBLIC NOTICE

ZONING HEARING

PLANNING & ZONING BOARD
57 EAST FIRST STREET
MESA, ARIZONA

TIME: 4:00 PM DATE: July 12, 2023
CASE: ZON23-00282

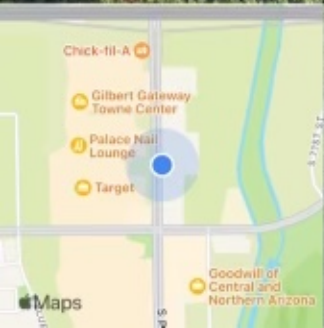
Request: Major Site Plan Modification
and amending the conditions of
approval for Case No. ZON21-00069. This
request will allow for a bank with a drive-thru.

APPLICANT: M. Shane Sanders

PHONE: (801) 621-7303

Planning Division: (480) 644-2385

Posting date: 6/26/2023



Jun 26, 2023 08:31AM
5019 S Power Rd
Maricopa County

Dear Neighbor,

We have applied for Major Site Plan Modification and amending the conditions of approval for Case No. ZON21-00069. This request will allow for a bank with a drive-thru for the property located within the 4900 block of South Power Road (east side). This request is for development of a Mountain America Federal Credit Union. The case number assigned to this project is ZON23-00282.

This letter is being sent to all property owners within 500 or 1000 feet of the property at the request of the City of Mesa Planning Division. Enclosed for your review is a copy of the site plan and elevations of the proposed development. If you have any questions regarding this proposal, please call me at 801-621-7303 or e-mail me at shane@sandersarch.com.

This application will be scheduled for consideration by the Mesa Planning and Zoning Board at their meeting held on July 26th, 2023 in the City Council Chambers located at 57 East First Street. The meeting will begin at 4:00 p.m. You are invited to attend this meeting and provide any input you may have regarding this proposal.

The public can attend the meeting either in-person or electronically and telephonically. The live meeting may be watched on local cable Mesa channel 11, online at [Mesa11.com/live](https://www.mesa11.com/live) or www.youtube.com/user/cityofmesa11/live, or listened to by calling **888-788-0099** or **877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts**. If you want to provide a written comment or speak telephonically at the meeting, please submit an online comment card by scanning the QR code below or visiting <https://www.mesaaz.gov/government/advisory-boards-committees/planning-zoning-board/online-meeting-comment-card> at **least 1 hour prior to the start of the meeting**. If you want to speak at the meeting, you will need to indicate on the comment card that you would like to speak during the meeting, and you will need to call **888-788-0099** or **877-853-5247 (toll free) using meeting ID 530 123 2921 and following the prompts, prior to the start of the meeting**. You will be able to listen to the meeting; and when the item you have indicated that you want to speak on is before the Board, your line will be taken off mute and you will be given an opportunity to speak.

For help with the online comment card, or for any other technical difficulties, please call 480-644-2099.

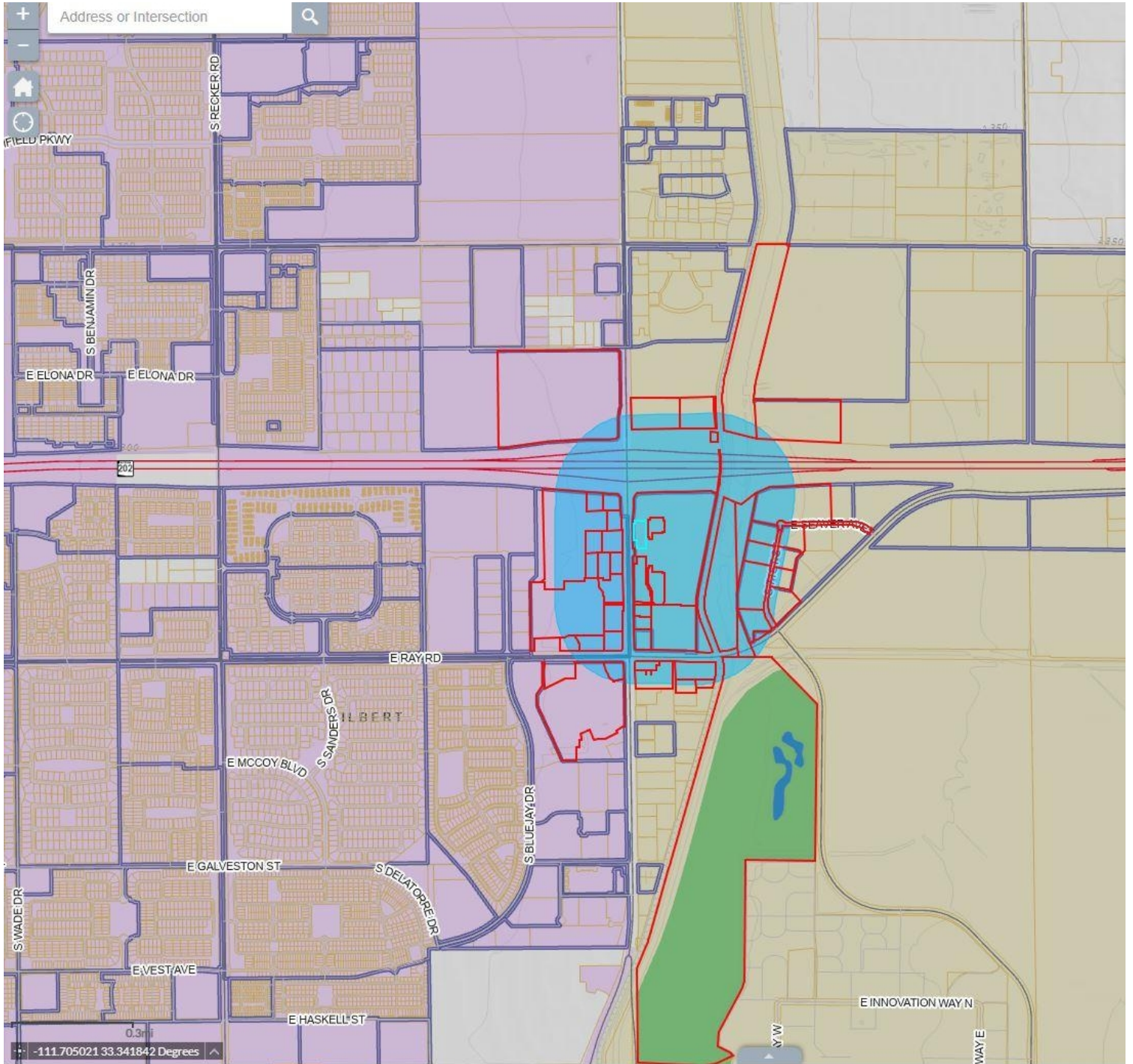
The City of Mesa has assigned this case to Sean Pesek of their Planning Division staff. He can be reached at 480-644-5716 or sean.pesek@mesaaz.gov, should you have any questions regarding the public hearing process. If you have sold this property in the interim, please forward this correspondence to the new owner.

Sincerely,

Shane Sanders



Mountain America Credit Union Project Notification Mailing Labels



Mountain America Credit Union Project Notification Mailing Labels

GILBERT GATEWAY TOWNE CENTER HOLDINGS LLC
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PHOENIX AZ 85009

TARGET CORPORATION
PO BOX 9456
MINNEAPOLIS MN 55440

GATEWAY CORNER HOLDINGS LLC
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SCOTTSDALE AZ 85251

KCK INVESTMENTS LLC
4747 S POWER RD
MESA AZ 85212

POWER 17 LLC
124 S 600 E
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ARIZONA STATE OF
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