

# MEDINA STATION

## DESIGN GUIDELINES

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# 1 VISION

The following chapter will include:

- 1.1 Introduction
- 1.2 The Look
- 1.3 The Feel
- 1.4 The Overview
- 1.5 Restaurant Galley

## 1.1 INTRODUCTION

Medina Station is a proposed mixed-use development on approximately 64.5 gross acres (59.7 net acres) located at the southeast corner of Signal Butte Road and Southern Avenue. The proposal is for a mixture of uses including retail, commercial, restaurant, and Multifamily residential. The development is proposed to bring communities together by creating space that allows for more sit-down restaurants and space-making as well as adding national retailers to this expanding area of the City of Mesa. Aiming to attract patrons from the surrounding communities of Gilbert, Queen Creek, San Tan Valley, and even Chandler; Medina Station is where everyone will want to be.

The intent of Medina Station is to develop a cohesively designed Master Planned project linking various commercial and residential uses through the integration of architecture, landscape, and site design elements and by providing a comfortable pedestrian network with intuitive vehicular circulation. Medina Station is intended to provide services, employment, and housing for the local community. The hierarchical nature of the pedestrian pathways described later in these guidelines helps delineate the various uses of the space and provides moments of “rest”.

The design quality of Medina Station will exceed the typical standards found in traditional retail and residential districts in the Phoenix metro. By providing unifying architecture, landscaping, and the aforementioned pedestrian networks, Medina Station will create a community with a strong sense of place and consistency.

## 1.2 THE LOOK



(images are for illustrative purposes only)

### 1.3 THE FEEL



(images are for illustrative purposes only)

## **1.4 RESTAURANT GALLEY**

Near the center of the commercial development lies the southeast valley's newest restaurant hotspot. The colonnade of trees on either side of the access drive provides ample shade for the pedestrian friendly spaces and galley of restaurants. The pedestrian spaces offer a variety of opportunities for interactions through the thoughtfully designed seating placement, open space, and widened pathways to and from the outdoor space.

Integrated into the outdoor space is the development of six sit-down restaurants ranging in size from 3,000 SF to over 10,000 SF offering a variety of food options for the growing community. In addition to indoor seating, the Galley offers patio seating at every restaurant to take advantage of the year-round desert climate and average 301 sunny days a year in the City of Mesa. Outside of the patios, the outdoor spaces offer various types of seating ranging from concrete benches to lawn chairs – perfect for moments of rest or catching up with an old friend.

The Galley's open space offers ample opportunity for community / family events such as cornhole, chess, or any game that a young child's mind could dream up.

## 2 SITE INFORMATION

The following chapter will include:

2.1 Vicinity Map

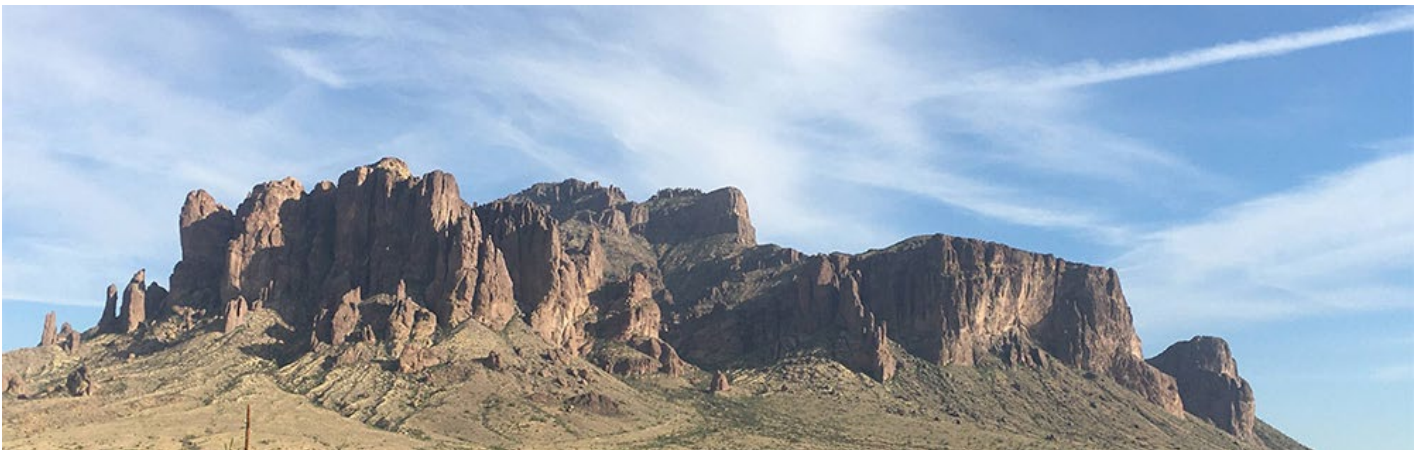
2.2 Contextual Site Plan

2.3 Illustrative Master Site Plan

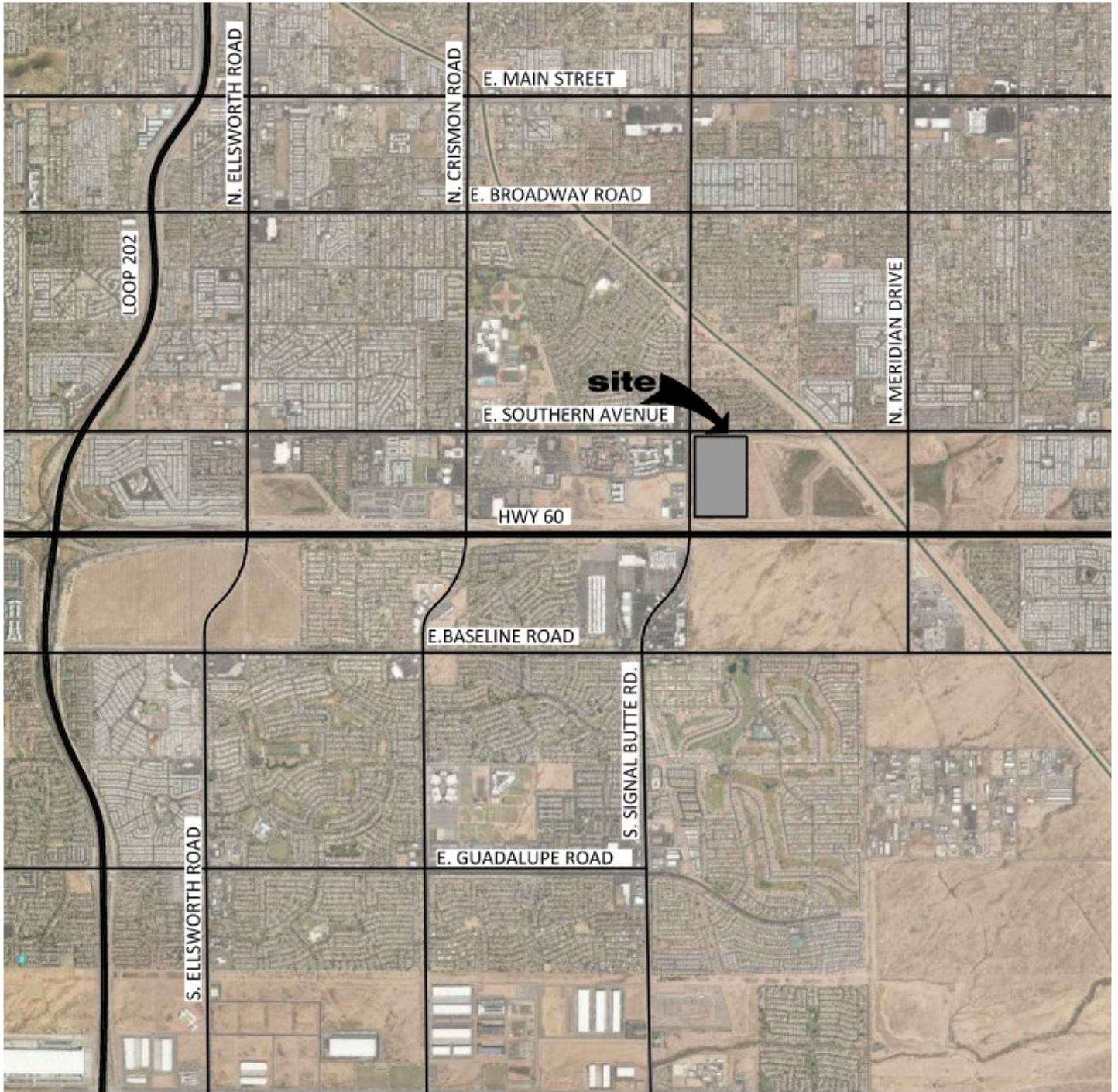
2.4 Vehicular Circulation Plan

2.5 Pedestrian Circulation Plan

2.6 Development Standards



## 2.1 VICINITY MAP



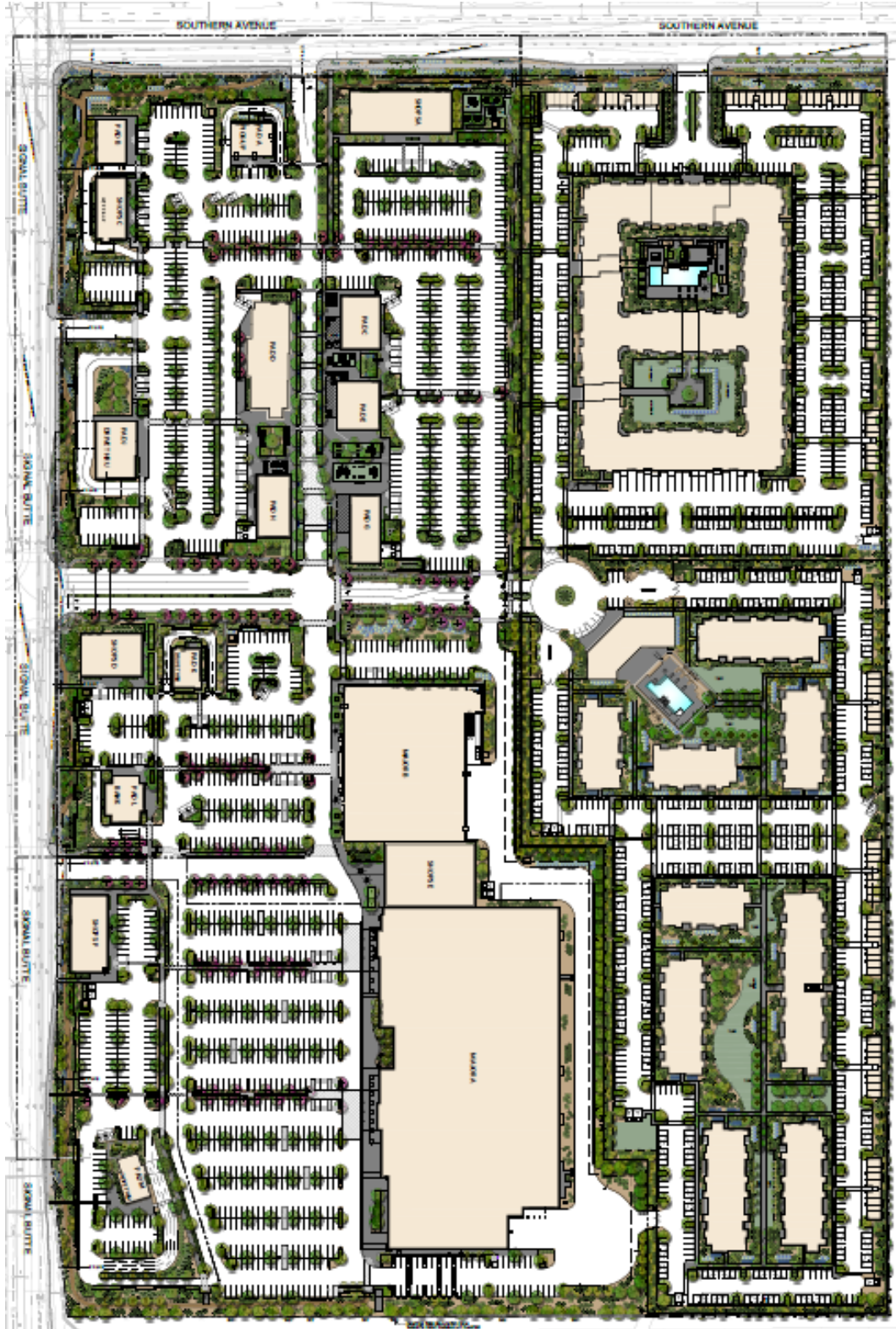
## 2.2 CONTEXTUAL SITE PLAN

The site is located on an approximate 64.56 acres parcel just north of Highway 60, east of South Signal Butte Road, and south of West Southern Avenue. The convenient location offers ample opportunity for a wide range of users to call this site home or open business.



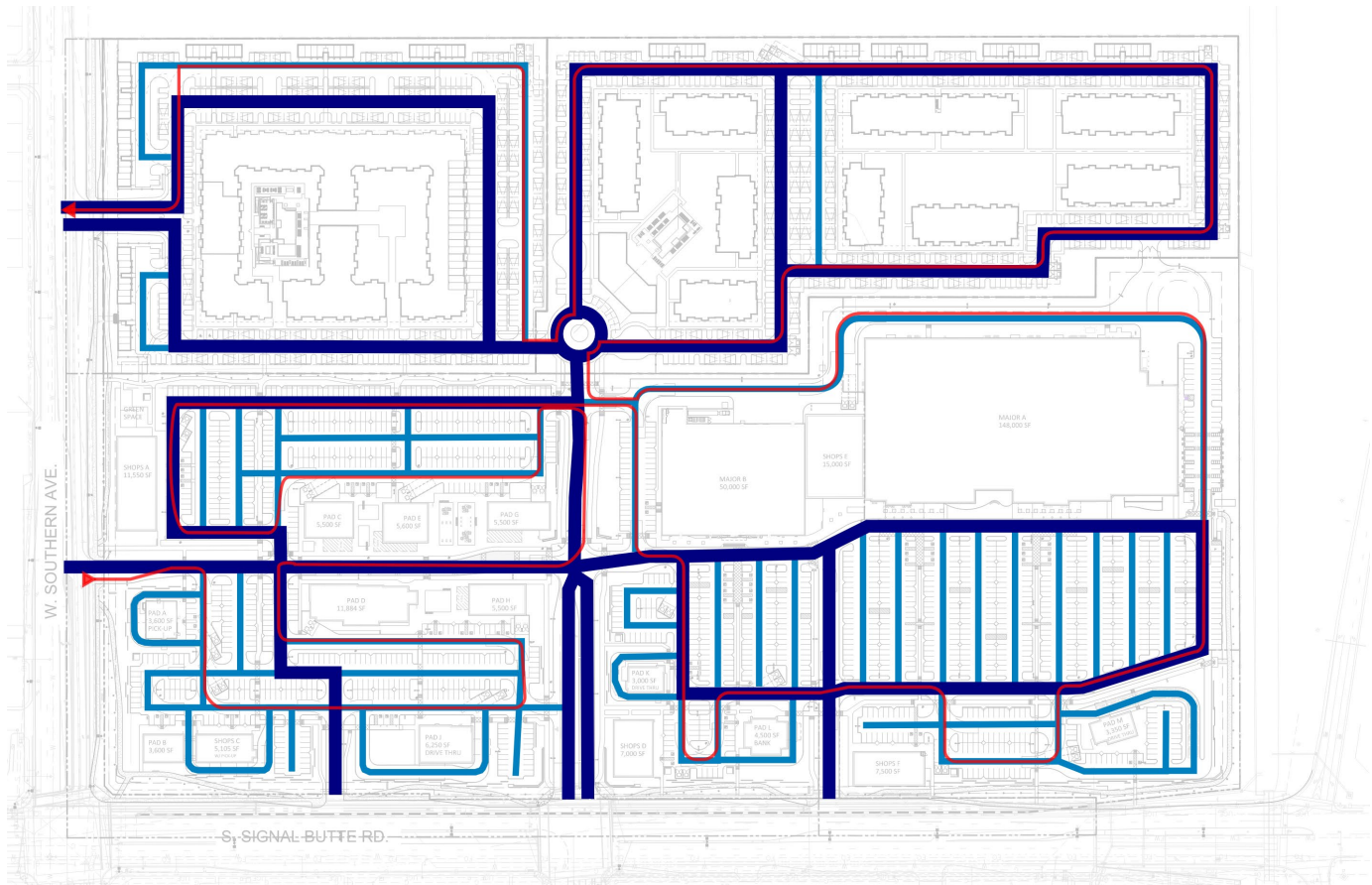
## 2.3 ILLUSTRATIVE MASTER SITE PLAN

The master site plan is a conceptual rendition of the proposed development layout and configuration and is subject to adjustments as the development and its users become finalized.



## 2.4 VEHICULAR CIRCULATION PLAN

The vehicular circulation plan is a conceptual rendition of the proposed development layout and configuration and is subject to adjustments as the development and its users become finalized.

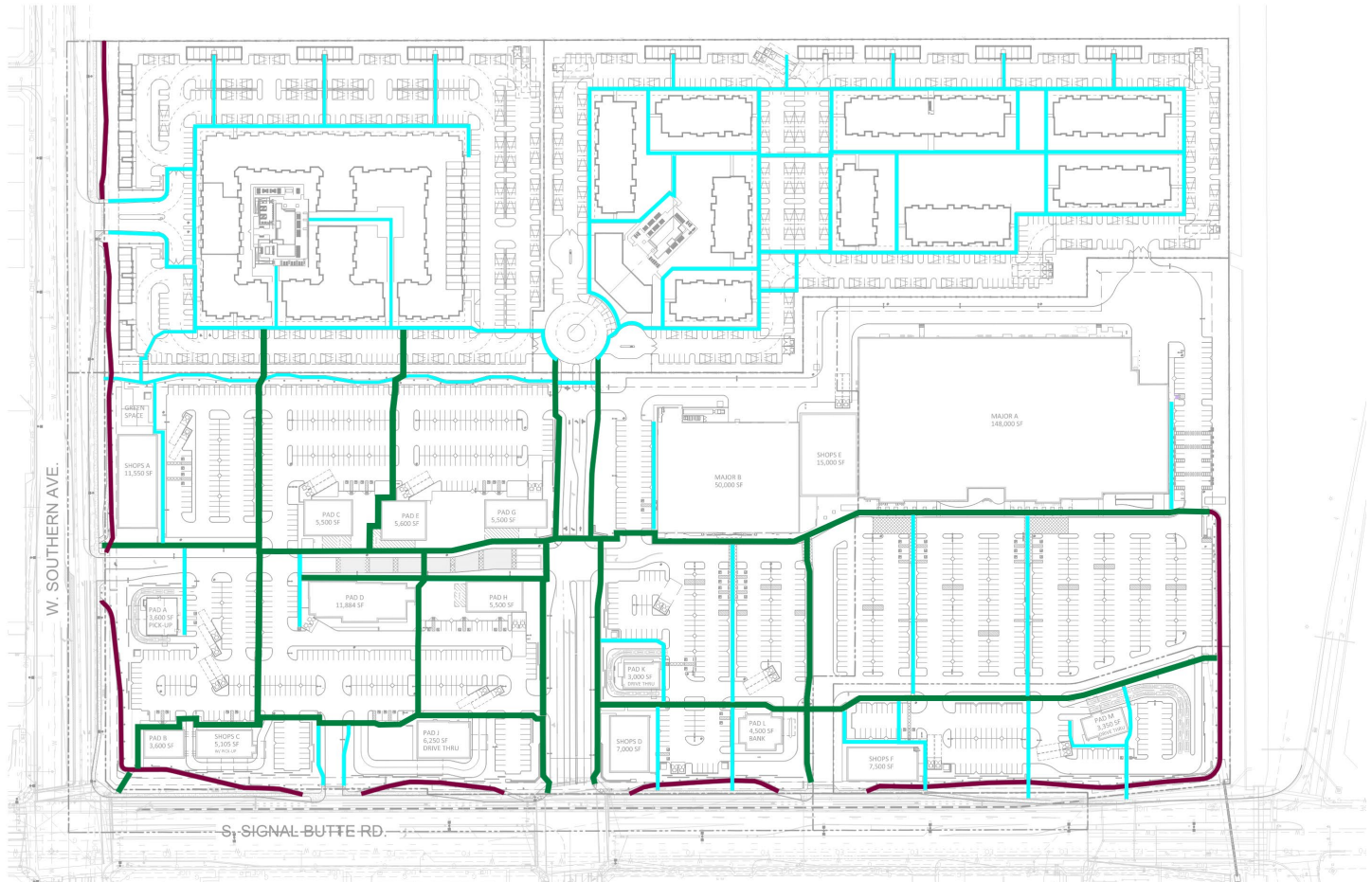


- PRIMARY CONNECTION**
- SECONDARY CONNECTION**
- SOLID WASTE ROUTE**

(images are for illustrative purposes only)

## 2.5 PEDESTRIAN CIRCULATION PLAN

The pedestrian circulation plan is a rendition of the proposed development layout and configuration and is subject to adjustments as the development and its users become finalized through minor modifications requests with the City of Mesa. The multifamily parcels are a conceptual rendition of the proposed development layout and is subject to adjustments as the development finalizes its plans. Reference following sections for information pertaining to design standards for the various types of pedestrian circulation/connections.

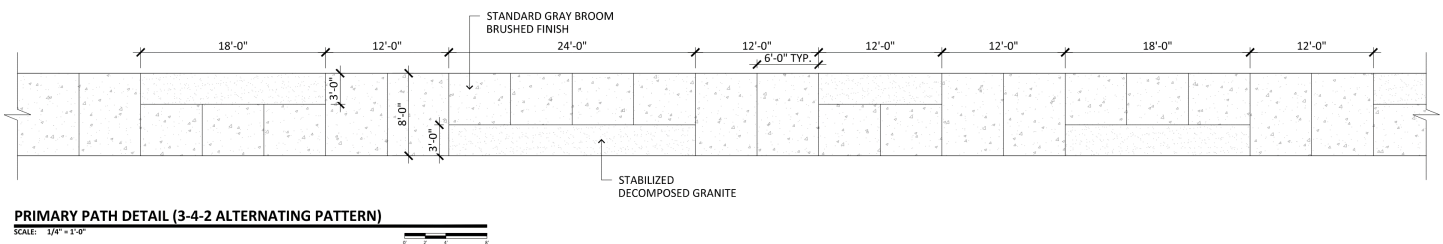


- PRIMARY CONNECTION
- SECONDARY CONNECTION
- WALKING / JOGGING PATH

(Note: Parcels B&C are conceptual as shown)

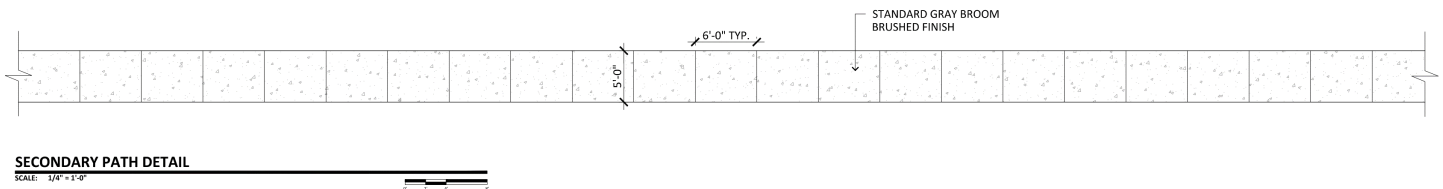
## 2.5.1 PRIMARY CONNECTION MATERIALS, WIDTHS, AMENITIES, AND SHADING

These paths are the main pedestrian connections through the site and to the adjacent residential. The sidewalk shall be a grey broom finish concrete with intermittent areas of stabilized decomposed granite, further outlined in section 4.2.1 of the design guidelines, and with etched concrete or similar finish at where it crosses a road. Minimum pathway widths along these primary connections shall be no less than 8'-0" in width to provide ample room for pedestrian traffic flow in and around the site and its buildings. There shall be a minimum shading requirement of 50% by landscape, and this path shall incorporate a public amenity space at a minimum of every 500'-0". Where pedestrian walkways cross drive aisles, they shall differ from the drive aisle through use of composition, texture, etc. The site plan shall comply with these design guidelines. Connections through parking lot islands and along Hampton shall be supplemented with the Red Push Pistache, refer to the landscape plans for exact locations.



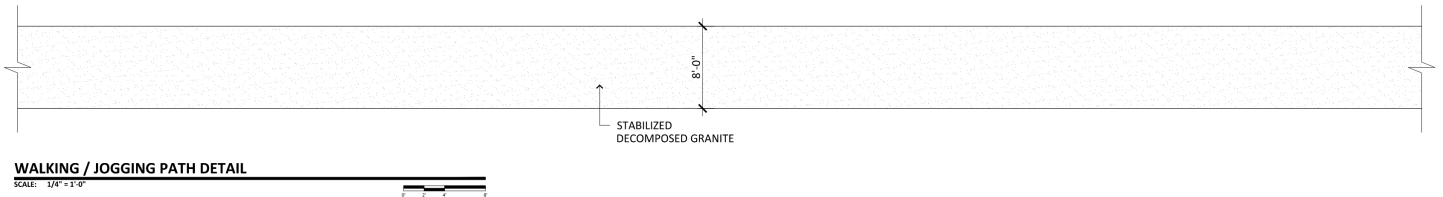
## 2.5.2 SECONDARY CONNECTION MATERIALS, WIDTHS, AMENITIES, AND SHADING

These paths are the smaller connections and shall be a minimum 5'-0" in width within the site and between the buildings. The sidewalk shall be a grey broom finish concrete. There shall be a minimum shading requirement of 50% by landscape. Where pedestrian walkways cross drive aisles, they shall differ from the drive aisle through use of composition, texture, etc. The site plan shall comply with these design guidelines. Connections through parking lot islands and along Hampton shall be supplemented with the Live Oak, refer to the landscape plans for exact locations.



### 2.5.3 WALKING / JOGGING PATH MATERIALS, WIDTHS, AMENITIES, AND SHADING

These paths run along the exterior of the site in a serpentine pattern, with the jogging path on the south turning back to the front of the commercial. The path shall be a natural red stabilized decomposed granite. There shall be a minimum shading requirement of 50% by landscape, and this path shall incorporate an amenity space, in the form of benches and trash cans, at a minimum of every 500' to allow the public moments of rest and aid in upkeep of the development. The path shall be minimum 8'-0" in width.



### 2.5.4 OVERALL MINIMUM STANDARDS

The overall standards set forth by the City of Mesa Zoning ordinance include but are not limited to:

- Minimum 50% shading of pedestrian walkways either by structures or with landscaping.
- Minimum 5'-0" sidewalk width.

## **2.6 DEVELOPMENT DESIGN STANDARDS**

Development Standards and site planning guidelines for Medina Station are in conformance with the Mesa Zoning Ordinance and modifications described in the Medina Station PAD.

# 3 ARCHITECTURAL DESIGN GUIDELINES

The goal of Medina Station and its Design Guidelines is to ensure the current and future value of the development by implementing the following strategies:

3.1 Vision

3.2 Building Style

3.3 Materials

3.4 Architectural Features

3.5 Color Palette

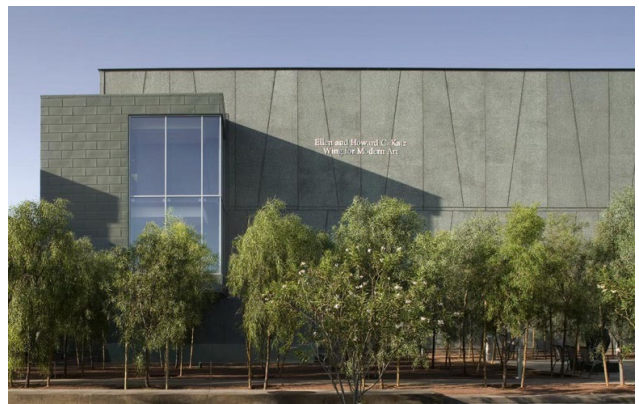
3.6 Key Design Guidelines

3.7 Public Art and Amenities

### 3.1 VISION

Medina Station’s development team has established an architectural design character inspired by the desert landscape yet distinctly modern. Solid masses relate to desert landforms accented with glass and horizontal elements to create layers of shade and texture. An emphasis has been placed on enhancing the pedestrian realm while providing flexibility for varied architectural character is critical for retail branding success. The design guidelines are intended to establish a unified design character for the Medina Station development.

Pre-engineered metal buildings are prohibited as part of this development and are not allowed in the commercial and mixed-use districts as outlined in the City of Mesa Zoning Ordinance.



(images are for illustrative purposes only)

## 3.2 BUILDING STYLE

### 3.2.1 DESERT MODERN

Desert Modern is the proposed building style that introduces a language of clean, rectilinear forms and planes balanced with the use of warm desert palette materials accented with a mix of architectural features utilizing shade and texture to layer. This overarching style will be broken down further between Commercial and Multifamily below. Characteristics of this style include:

- Emphasis on the use of simple, abstract rectangular forms and cantilevered or folded planes.
- Use of horizontal and vertical lines such as well-defined planes and vertical forms juxtaposed against horizontal elements for dramatic effect.
- Relationships between interior spaces and adjacent exterior spaces with the use of glass.
- Use of modern materials and systems such as steel, block, brick, stone, wood, stucco, concrete and similar materials, some which may include exposed applications.
- The use of ornament is limited, with modern decorative cornices or trims, giving way to a clean aesthetic where materials meet in simple, well-executed joints.
- Warm desert tans, and grays are encouraged as primary building colors with carefully selected secondary colors and accents inspired by the bloom of desert flowers such as rusted metal, bronze, red, orange and/or sage but may also include other cool colors to balance the overall composition.



(images are for illustrative purposes only)

### 3.2.2 DESERT MODERN CHARACTER



(images are for illustrative purposes only)

### 3.2.3 COMMERCIAL CHARACTER

Commercial buildings shall consider contextual relationships of ‘Primary Materials’ to adjacent buildings with overall horizontal building massing broken up into recognizable overlapping or layered masses balanced with complementary ‘Secondary Materials’ and ‘Accents’. ‘Primary’ and ‘Secondary Materials’ are defined herein. Architectural accent features and materials allow owners and users opportunities to weave their signature elements into Medina Station’s design aesthetic.

- Vary building height, providing at least two (2) change in height or roof forms that are varied over different portions of the building through changes in pitch, plane, and orientation to align with the desert modern theme of the development.
- Publicly visible facades (viewed from rights-of-way or private property), shall not have blank, uninterrupted wall lengths exceeding 50 feet without including at least two (2) of the following:
  - change in plane (façade articulation), change in texture or masonry pattern, windows, trellis with vines, variable roof forms, façade detailing and materials, use of balconies, bay windows, other such projections or recesses, or an equivalent element that subdivides the wall into human scale proportions.
- Facades shall incorporate at least three (3) different and distinct materials.



(images are for illustrative purposes only)

### 3.2.4 MULTIFAMILY CHARACTER

Multifamily buildings shall consider contextual relationships of 'Primary Materials' to adjacent buildings with multi-story building massing broken up into recognizable overlapping or layered

masses balanced with complementary 'Secondary Materials' and 'Accents'. See Section 3.2.5 for additional requirements for carriage buildings along Southern Avenue. Desert Modern shall engage the pedestrian realm along public edges with durable materials and activated streetscape. Desert Modern style shall embrace both contextual cues and embrace minimalism as a departure from more elaborate styles. 'Primary' and 'Secondary Materials' are defined herein. Architectural detailing shall be provided in courtyards and adjacent to other amenity areas that are highly visible to the residents. Publicly visible façades shall follow the following standards:

- Vary building height, providing at least two (2) change in height or roof forms that are varied over different portions of the building through changes in pitch, plane, and orientation to align with the desert modern theme of the development.
- Publicly visible facades (viewed from rights-of-way or private property), shall not have blank, uninterrupted wall lengths exceeding 50 feet without including at least two (2) of the following:
  - Change in plane (façade articulation), change in texture or masonry pattern, windows, trellis with vines, variable roof forms, façade detailing and materials, use of balconies, bay windows, other such projections or recesses, or an equivalent element that subdivides the wall into human scale proportions.
- Facades shall incorporate at least three (3) different and distinct materials.

Architectural accent features and materials allow owners and users opportunities to weave their signature elements into Medina Station's design aesthetic. Architectural screening, awnings, and ornamental metals are just a few examples of the type of material whose limited use provides additional richness. These materials shall be used with restraint, as accents and/or in limited applications.





(images are for illustrative purposes only)

Multifamily buildings shall provide contextual relationships of “Primary Materials” to adjacent buildings with multi-story building massing broken up into recognizable overlapping or layered masses balanced with complimentary “Secondary Materials” and accents.

See Section 3.2.5 for additional requirements for those carriage buildings adjacent to Southern Avenue. Desert Modern shall engage the pedestrian realm along public edges with durable materials and activated streetscape. Desert Modern style should embrace both contextual cues and embrace minimalism as a departure from more elaborate styles.

Architectural accent features and materials allow owners and users opportunities to weave their signature elements into Medina Station’s design aesthetic. Architectural screening, awnings, and ornamental metals are just a few examples of the type of material whose limited use provides additional richness. These materials should be used with restraint, as accents and/or in limited applications.

Multifamily Architectural Features shall include at least two (2) of the following elements:

- Shading at Windows – a minimum of 25% of windows will incorporate shading devices such as, but not limited to, horizontal and vertical louvers, trellises, and overhangs.
- Sun Shading Devices – Ground mounted shade trellises, canopies, or similar structures will be provided across the site at select pedestrian locations such as, but not limited to gathering spots, courtyards, entries, etc. Minimum size shall be 40 square feet in area.
- Ornamental metals (See Section 3.4.5).
- A minimum of 25% of balconies or railing will be decorative metal (which shall be a detail added to balcony or railing with the purpose of embellishment or decoration).

- Art located at areas open to the public (refer to Section 3.7).
- A minimum of 25% of windows will be recessed windows.
- Regarding architectural accents for internal courtyards facades shall include a minimum one (1) of each of the following Primary entry, Massing and Scale, and Articulation options.

**1. Primary Entries** shall include at least two (2) of the following to provide visual cues to visitors and guests:

- Utilize special or different façade material(s).
- Utilize accent lighting.
- Differentiated building massing at entries (e.g., height or building massing).

**2. Massing and Scale** shall include at least two (2) of the following:

- Building corner accent features / elements.
- Horizontal banding.
- Above ground amenity including but not limited to a roof-top deck.

**3. Articulation** shall include at least two (2) of the following:

- Offsets in window placements, and variations in the fenestration, add visual interest to the elevations.
- Variation in building volume and plane and material shall be incorporated to create dynamic textures and variations with shade and shadow that are animated by the sun throughout the day.
- Creative use of interior volume design that can be appreciated from the exterior in the evenings.
- Crisp lines, bold geometries, and attention to quality detailing shall be provided.

For carriage buildings located along the eastern boundary line of the property, adjacent to ASLD owned land (and the ADOT retention basin), following requirements shall apply:

- A minimum two (2) building materials,
- A minimum of two (2) changes in vertical height for every 48' in horizontal length shall be incorporated into the building elevations, and

- One (1) change in plane element.

### **3.2.5 MULTIFAMILY CARRIAGE BUILDINGS ALONG SOUTHERN AVENUE**

In addition to the standards outlined in Section 3.2.4, If a carriage building is proposed adjacent to Southern Avenue, the first-floor façade facing Southern Avenue shall include the architectural features or elements listed below, or their equivalents:

1. Buildings shall be stepped with a change in plane at a minimum of 1'-6" every 23'-8" to break up longer building facades.
2. Spandrel glass windows measuring 2'-4" W x 2'-4" H, plus material change below first floor windows.

### **3.2.6 CORPORATE ARCHITECTURE**

Where the proposed architecture of a building or structure is the result of a franchise style, prototypical or franchise architectural design, including materials and color, shall be modified if necessary to meet these development standards and set a standard, or contribute to a high-level of quality for future developments and buildings within the area.





(images are for illustrative purposes only)

### 3.2.7 ALTERNATIVE COMPLIANCE

**Alternative Compliance.** Site Planning and Design Standards are not intended to limit creative solutions. Conditions may exist where strict compliance to Site Planning and Design Standards of this Chapter are impractical or impossible, or where maximum achievement can only be obtained through alternative compliance. Alternative compliance does not modify or reduce requirements of the Building Code or any other chapters or sections of the Zoning Code. Alternative compliance allows development to satisfy the Site Planning and Design Standards in this Chapter by providing comparable standards in a creative way.

The Design Standards promote a cohesive and high-quality development that achieves the vision for Medina Station and adjacent Multifamily as a connected and pedestrian-friendly mixed-use community. They are intended to guide new development, and any modification of such new development, in ways that promote connectivity, neighborliness, activity, authenticity, sustainability and livability.

- a. As a last resort, requests for alternative compliance may be accepted for any application to which Site Planning and Design Standards apply. A written request shall be provided in conjunction with the applicable land use application describing how the proposed alternative meets the criteria below.
- b. The approving body shall find that the request meets one (1) or more of the following criteria:
  - i. Topography, soil, vegetation or other site conditions are such that full compliance is impossible or impractical; or improved environmental quality would result from alternative compliance.
  - ii. Safety considerations make alternative compliance necessary.
  - iii. The proposed alternative is aesthetically more complementary to the site, better fits into the context of the area, improves the overall architectural appeal of the area and/or meets or exceeds the design objectives as described in the City's Design Standard.
  - iv. Products may from time-to-time products become unavailable for a variety of reasons including discontinuation or extremely long lead times which can affect construction timelines and

economic return. Shall this occur, products of equal or greater quality shall be proposed as part of the alternative compliance request.

Alternative compliance shall allow minor modifications to the development standards and Design Guidelines. Minor modifications shall be allowed as to the type of materials used on the buildings but shall not modify the number or percentages of the requirements.

## 3.3 MATERIALS

Visual interest shall be created using high-quality building materials enhanced by accent materials, which are discussed in more detail below. Alternative compliance allows development to satisfy the principals, goals and ideals set forth in these Design Guidelines by providing similar or comparable standards in a creative way.

### 3.3.1 BUILDING MATERIALS – GUIDELINES FOR DESIGN AND APPLICATION

When applying the allowed building materials, the following additional building material design guidelines shall be applied:

- Materials shall be selected that have proven durability in extreme heat and under high amounts of sun exposure.
- When continuing a material around a corner from a front to side elevation, it shall be terminated by an architectural element such as an offset, column, intersecting wall or fence.
- Material changes shall occur at a change in wall plane where the changes tend to appear substantial and integral to the structure.
- Exterior building colors shall be compatible with these Design Guidelines, recognizing the specific geographic and climatic conditions of the Sonoran Desert.
- Change in color shall be accompanied by a change in plane and separated by a façade element, enhanced architectural detail or other means.
- Materials and finishes shall create a recognizable “base” consisting of, but not limited to: thicker walls, integrally textured materials such as stone or other masonry, integrally colored or patterned materials such as smooth finished stone or tile, or lighter or darker materials, mullions or panels; or planters.
- Materials and finishes shall create a recognizable “top” consisting of, but not limited to: cornice treatments, other than just colored “stripes” or “bands”, with integrally textured materials such as stone or differently colored materials, sloping roof with overhangs and brackets, or stepped parapets.
- No material or finish shall make up more than 50% of the total façade and shall incorporate at least three (3) different and distinct materials or finishes.

### **3.3.2 PRIMARY MATERIALS**

“Primary Materials” include integrally tinted and decorative masonry (including smooth and textured), concrete (including precast concrete, and fiber cement panels), stucco and synthetic stucco (EIFS), stone (natural & synthetic), and wood (natural & synthetic). Reference section 3.3.5 for additional information pertaining to the percentage requirements of each building type. Other similar materials may be approved by the City of Mesa Planning Director or the Director’s designee if such materials are in keeping with the intent and quality of these Design Guidelines.

Additional descriptions, limitations and scope of use relating to the foregoing Primary Materials, including which of these shall be used more sparingly, as Secondary Materials, are discussed in more detail in section 4.3.4 below.

### **3.3.3 SECONDARY MATERIALS**

“Secondary Materials” are intended to complement ‘Primary’ and ‘Accent’ materials and may include integrally tinted and decorative masonry (including smooth and textured), concrete (including precast concrete and fiber cement panels), stucco and synthetic stucco (EIFS), brick, stone (natural & synthetic), and wood (natural & synthetic). Secondary materials shall be used in smaller percentages than primary with higher texture and/or color intensity. Glass / Glazing is considered as a secondary material due to our Sonoran Desert location and shall be used thoughtfully to create transparency and relief to solid materials. For glazing to be considered a secondary material, it shall be used in a way that exceeds basic minimums for the facades such as wrapping corners or at the back-of-house space of the building(s). Other similar materials may be approved by the City of Mesa Planning Director or the Director’s designee if such materials are in keeping with the intent and quality of these Design Guidelines. Reference section 3.3.5 for additional information pertaining to the percentage requirements of each building type.

### **3.3.4 ACCENT COLORS AND MATERIALS**

“Accent Colors and Materials” include bold colors, unique detail elements or materials which occur throughout the development but on a smaller proportion to the overall elevation. The use of bold complementary colors shall be organized in way to create the most impact while remaining in balance with the overall color combination and massing composition. Accent

colors / materials shall cover a maximum percentage of a façade based upon its use. See section 4.3.6 for more information. Accent materials may be a mix of primary and secondary materials but used in select moments to create impact. These moments shall focus on areas which interact at the human scale or unique focal points to emphasize building entry, corners or

as an instrument to break up larger massing. Reference section 4.5 for list of approved accent colors and materials. Accent colors and percentage requirements shall be obtained primarily through integration into the frontage facing facades, otherwise limited on non-frontage facing facades.



(images are for illustrative purposes only)

### 3.3.5 MATERIAL MINIMUMS PER BUILDING TYPE

Major:

1 primary material with a maximum of 50% of each façade.

2 distinct secondary materials with a total maximum of 50% of each façade.

Maximum of 25% accent color per façade.

Building shall include a minimum of two (2) of the architectural features listed in Section 3.4 per façade.

Retail/Restaurant:

1 primary material with a maximum of 50% of each façade.

2 distinct secondary materials with a maximum of 50% total of each façade.

Maximum of 5% accent color.

Building shall include a minimum two (2) of the architectural features listed in Section 3.4 per façade.

Buildings with drive throughs shall include screening detailed in Section 3.4.4.

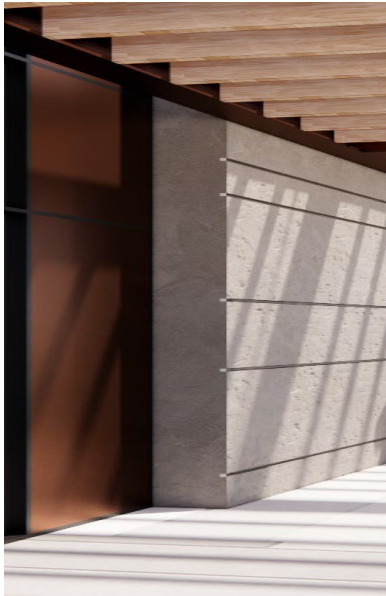
#### Multifamily:

Multifamily buildings shall contain one (1) primary material with a maximum of 50% coverage on each façade and two (2) or more secondary materials that make up the remaining 50%.

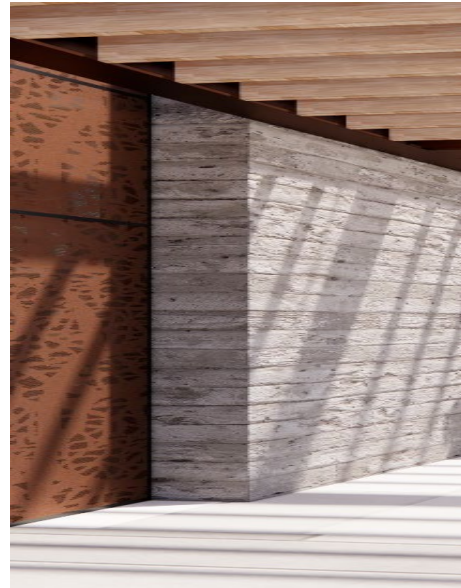
Of the two (2) secondary materials, neither shall exceed a maximum of 40% coverage on each façade, and together, shall not exceed 60% coverage on a façade. Glazing may be included as either a primary or secondary material, but if not, will be removed from the percentage calculations of each facade.

### **3.3.6 CONCRETE**

Concrete is generally a Primary Material depending upon the style of architecture. Concrete can also be used in a limited fashion as a Secondary Material to accent Primary Materials and showcase and Accent Materials. Cast-in-place board-formed and precast architectural concrete as illustrated below are acceptable materials, but other styles and colors may be requested provided they are in keeping with the overall theme and quality of these Design Guidelines.



*CAST IN PLACE CONCRETE*



*BOARD FORM CONCRETE (OPTIONAL)*

(images are for illustrative purposes only)

### **3.3.7 DECORATIVE MASONRY**

Decorative Masonry could be a Primary Material depending upon the massing and contextual relationship to other buildings, but is generally considered a Secondary Material to be used to accent other Primary Materials and Accent Materials. Integral color, burnished or split face CMU shall complement the adjacent context and composition especially in high traffic commercial areas. Painted CMU shall be limited to use for only site walls and/or service areas; however, integral colored CMU is preferred and encouraged. Careful, craftsman-like attention to detail is required at all connections and transitions to other materials when using Decorative Masonry. Mortar joints shall be finished and encouraged to use raked or weathered joints to create additional shadow and precision defining the material definition. Edge details shall prevent visible unfinished edges. The following Decorative Masonry options are approved for use within Medina Station, but others may be requested provided they are in keeping with the overall theme and quality of these Design Guidelines:



MISSION WHITE



SEASHELL



PEBBLE BEACH



SOUTHWEST GOLD



RIVERSIDE



BLACK CANYON



MALIBU SAND



HOPI SANDSTONE

### 3.3.8 GLAZING / GLASS

Glass is vital for interior–exterior dialogue, and therefore shall be carefully considered to optimize uses and enhance connectivity at the pedestrian level. Ground level glazing shall have a visible transmittance (VT) of 0.6 or greater for safety and activation of the pedestrian realm while some areas may be appropriate to support translucent glass or applied film for privacy or discreet uses behind. Glazing at the pedestrian level in ground level retail and restaurants shall be clear so that goods and spaces display true to their color. Glass is generally considered a Secondary Material, so it shall not be used a Primary Material for larger façades. Glass may also be used an Accent Material in appropriate settings.

Highly reflective surfaces (reflectivity greater than 35%) are prohibited, specifically along freeway frontages and at the pedestrian level. High performance coatings are suggested to allow maximum visible transmittance with minimal heat gain. Dipped or heavily colored glazing are prohibited. The following types of glazing are permitted, but others may be requested provided they are in keeping with the overall theme of these Design Guidelines:

- Clear.
- Frosted.
- Clear Glass with Spandrel (medium grey).
- 3M or similar Frosted Privacy Film applied to glass per manufacturers specifications.

### 3.3.9 METAL WALL, ACCENTS AND ROOF PANELS

Metal Panels (roof and wall) may be used as a Secondary Material to accent Primary Materials or Accent Materials. Roof and wall panels shall be flat standing or concealed seam systems with seams no more than 16 inches apart and of sufficient gauge to withstand oil-canning. Longer seam spacing is acceptable in composite metal panel systems, while corrugated roofing is prohibited. Roofing Material shall not be considered primary or secondary materials and shall not count towards percentages requirements. Metal panels shall be limited to the following

colors listed below but others may be requested provided they are in keeping with the overall theme of these Design Guidelines:



'RUST' PAINTED METAL



DARK BRONZE



BROWN - PAINTED METAL

### 3.3.10 STONE (NATURAL & FAUX)

Stone, both natural and faux, can be used a primary material depending upon the massing and contextual relationship to other buildings, but is generally thought of as a Secondary Material to accent complementary Primary Materials or Accent Materials. Stone shall be installed in generally accepted design patterns as depicted below. If natural limestone, sandstone or another similar material is selected, it shall be protected against staining and discoloration by means of appropriate sealants. Stone panels, as shown below, shall be polished, sandblasted, or honed finish. Acceptable installation patterns of limestone are illustrated below, but others may be requested provided they are in keeping with the overall theme of these Design Guidelines. Please note the prohibited materials in section 3.3.14.



RUNNING BOND



STACKED BOND (Commercial only)



STAGGERED BOND



COURSED ASHLAR BOND



(images are for illustrative purposes only)

### **3.3.11 STUCCO AND EIFS**

Stucco, or synthetic stucco systems (e.g., Exterior Insulation and Finish Systems (EIFS)) may be used as an exterior cement plaster wall covering and is typically used as a Primary Material. Stucco shall be consistent throughout the project and kept to smooth or light sand finish. Stucco is a versatile material which shall be thoughtfully utilized to support and showcase Secondary Materials and Accent Materials. In appropriate designs, Stucco could be the Secondary Material provided it is consistent with the overall theme and quality of these Design Guidelines.

### **3.3.12 FIBER CEMENT PANELS**

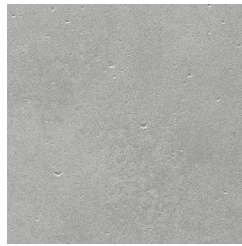
Fiber Cement Panels are a contemporary siding alternative composed of fiber cement which is engineered to reflect a variety of textures including metal, wood, block, stone, and brick in a full range of colors and finishes. Fiber Cement Panels is not typically a Primary Material but could be when use appropriately. Rather, Fiber Cement Panels is typically thought of a Secondary Material. The fiber cement panels provide for a moisture management system which encourages the exit of air and moisture thus reducing the risk of mold and water damage. Examples of acceptable styles, finishes, and colors are illustrated below, but others may be requested provided they are in keeping with the overall theme and quality of these Design Guidelines.



VINTAGE ASH



TUSCAN



LIGHT GREY CONCRETE



STEEL

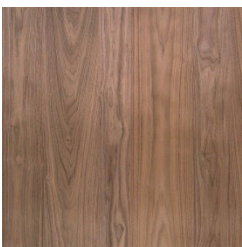


VINTAGE SPRUCE

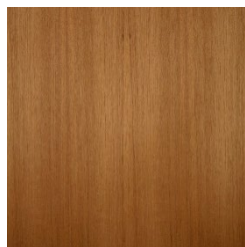
### 3.3.13 WOOD (NATURAL & SYNTHETIC)

Wood (natural and synthetic) shall be used a Secondary Material to enhance Primary Materials. Natural Wood is best used in locations with minimal weather exposure, and the wood used shall be kiln dried, mill quality, and specified clear with no knots and minimal imperfections. Synthetic composite systems such as Nichiha, Everlog, Resysta, Trespa, Hardie, or Prodema, or other similar systems, may be used as an alternative to natural wood. Wood shall be used as Secondary Material and for architectural accents. Care shall be used with wood in exterior applications due to the environmental wear on the material. For natural wood, preservative sealants shall be applied to maintain and protect their finish in the Arizona environment. Acceptable wood and finish tones shall match Resysta wood colors illustrated below, but others may be requested provided they are in keeping with the overall theme and quality of these Design Guidelines.

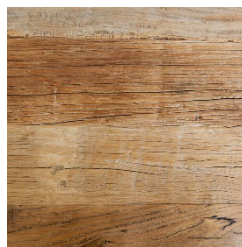
Composite is also considered part of the family of wood materials. Composite decking is allowed as a Secondary Material, particularly in the commercial areas but also to complement multifamily residential areas.



WALNUT



TEAK



RECLAIMED WOOD



SADDLE

The wood tones shown above illustrate warm tones and any wood materials selected outside of the materials above shall also have overarching warm tones. Wood-like accents may be utilized including faux-wood such as Refined Woodstone made by Coronado or other similar systems. Wherever the word "Wood" is used in these Design Guidelines, it means all variations of wood described above.

### **3.3.14 PROHIBITED MATERIALS**

Below is a list of prohibited materials:

- Corrugated metal roofing.
- Dipped or heavily colored glazing.
- Prefabricated Metal buildings.
- Highly reflective surfaces (reflectivity greater than 40%).
- All other materials not listed.

## **3.4 ARCHITECTURAL FEATURES**

Unique architectural features which contribute to an individual building's sense of place among the larger development are encouraged. Other architectural features may be allowed beyond this list so long as they are in keeping with the quality and intent of these Medina Station Design Guidelines. The following sections give options for architectural features that are approved through the Design Guidelines.

3.4.1 Soffits and Overhangs

3.4.2 Shade Trellises / Awnings

3.4.3 Entry Statement

3.4.4 Decorative Screening

3.4.5 Ornamental Metals

3.4.6 Etched / Frosted Glass

3.4.7 Glazing

3.4.8 Public Art

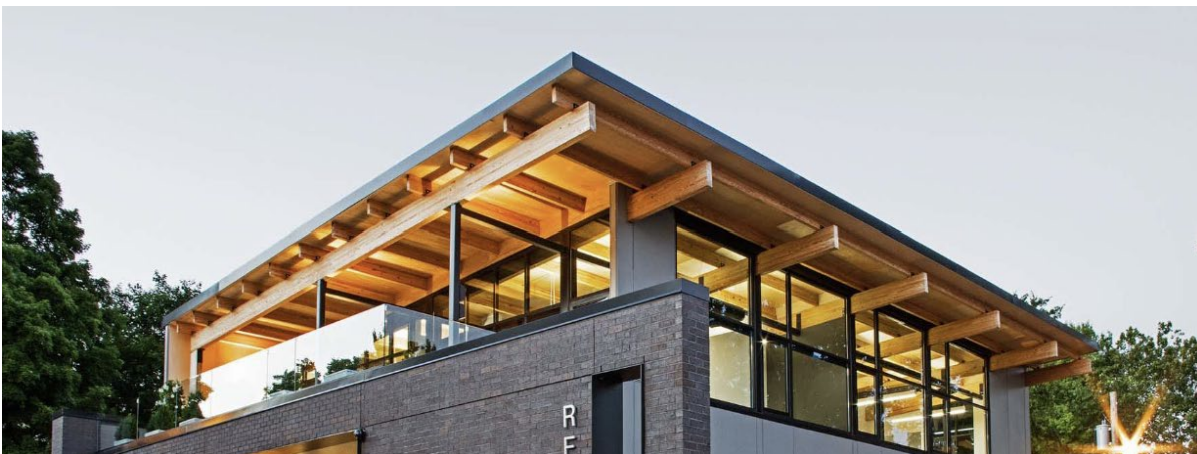
3.4.9 Multifamily Carriage Buildings (Required for Multifamily Carriage Buildings)

3.4.10 Additional Multifamily Architectural Features

### 3.4.1 SOFFITS AND OVERHANGS

Overhangs shall be used to accent the massing of the building to create a functional and dynamic visual experience for patrons. This is especially important in the primary commercial pedestrian activated spaces near building entries and along major pathways.

- Soffits and overhangs shall serve multiple purposes including but not limited to shading for glass openings, shading for balcony areas, shading at the sidewalk pedestrian area and as dynamic design elements creating shadow accents on the building façade.
- Accent materials such as wood or wood look soffits shall be used to generate warmth for the horizontal elements of the building.
- Fasteners for the soffits shall be either hidden or aligned and be considerate of color and material.
- Soffits and overhangs shall be a minimum of four (4) feet in depth, regardless of window height. Soffit and overhang length shall be minimum six (6) feet in length or minimum length of the window, whichever is longer.

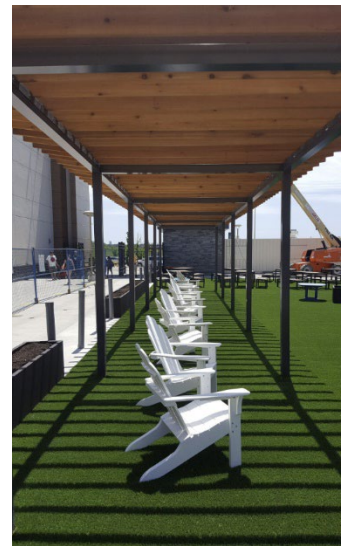


(images are for illustrative purposes only)

### 3.4.2 SHADE TRELLISES / AWNINGS

Materials such as wood and metal shall be used to create shade trellises at entries or areas of lounging at site amenities.

- If wood is selected, it shall be of high-grade material and finished in a way to slow the effects of the harsh summer sun.
- Metals shall be painted a color selected from the approved metal colors of section 3.3.9. Shade trellises differ from soffits and overhangs as they do not provide solid cover; however, they provide more aesthetic shading effects on the pedestrian areas adjacent to the building.
- Shade trellises shall extend a minimum four (4) feet from the building face and be a minimum of eight (8) in length or the length of the window, whichever is longer.



(images are for illustrative purposes only)

### 3.4.3 ENTRY STATEMENT

Significant architectural elements at entrances to the commercial buildings magnify the sense of threshold upon entry and create memorable wayfinding opportunities. Primary entrances of Residential buildings shall also address the pedestrian scale and appropriately transition into the building. A dramatic entry experience can help define the sense of arrival and elevate the artistic design ethos of Medina Station. Entry Statements shall be created/achieved in multiple ways:

- Differentiated building massing (height, building envelope).
- Use of a special or different façade material. These materials shall not count toward material percentages and numbers.
- Use of accent color when combined with different building massing (height or layers).



(images are for illustrative purposes only)

### 3.4.4 DECORATIVE SCREENING

While screening is commonly used to conceal unsightly building/site elements from view, the intent of this architectural feature is to provide building articulations, warmth through the use of wood (or approved wood appearance “equal”), and layering/depth of building planes while also protecting building interiors from sun exposure. Drive through lanes shall incorporate architecturally integrated awning, canopy, or trellis that covers and screens shall be a minimum 40% of the length of the drive-thru or pick-up lane from adjacent parallel street frontages per Mesa Zoning Ordinance 11-31-18 and these Design Guidelines. The architectural canopy / trellis / awning shall meet the following requirements:

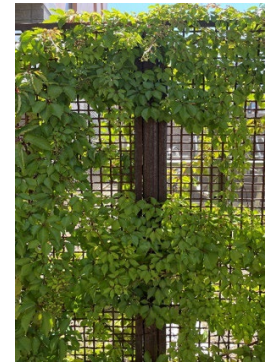
- Shall have decorative screen spanning the full length of the structure that is full height to the bottom side of the structure.
- Shall be integrated into the minimum 3'-0" CMU screen wall.
- Shall complement the design of decorative screens along the remaining length of the drive thru lane.

Additionally, decorative screening, min. 6'-0" in height in a staggered configuration, shall be provided along the full length of the drive thru lane facing a primary road (Southern and Signal Butte). The following decorative screening materials shall be submitted for consideration:

- Painted or powder coated steel as louvers;
- Metal panels with attractive patterns of voids or perforations;
- Living walls such as green screen or similar variation (i.e. steel angle with woven wire mesh or thin cables allow vines to grow.)



HORIZONTAL SLATS



GREEN SCREEN

(images are for illustrative purposes only)

In addition to the 40% requirement, the structure shall incorporate a full height decorative screening element as outlined below.

### 3.4.5 ORNAMENTAL METALS

Use of ornamental metals shall enhance the design of building and complement the overall architectural Desert Modern theme. The images below are for reference only and are meant to provide examples of variations in ornamental metal designs that could be acceptable. The design shall take into account the materials and colors listed within these Design Guidelines. If Ornamental metals are used then they shall meet the follow requirements:

- Distinguishable pattern that is replicated throughout the piece.
- Min. 4'-0" wide and 8'-0" in height if used against the building.
- Min. 4'-0" wide and 3'-0" in height if used in a railing / fencing, shall be present in at least 3 panels.
- Colors and materials shall be selected from the approved Design guidelines.

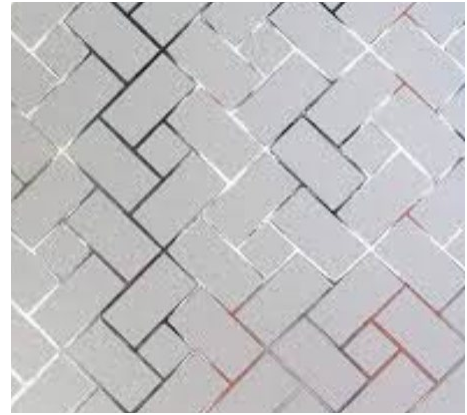


### 3.4.6 ETCHED / FROSTED GLASS

Glass can be a prominent feature on many of the facades for the proposed development. Through the use of etched or frosted glass, the glass can be transformed into an artistic element. Etched or Frosted glazing shall be used to create patterning and visual interest to the overall building elevations.

The patterning shall be consistent with the overall development and building design.

- The etching / frosting of the glass shall not create safety issue with view lines as deemed critical by the City of Mesa during the review of the building elevations.
- Etched / Frosted Glass with Logo's or signage shall not be an architectural feature.



### 3.4.7 GLAZING

Glazing shall be considered an architectural feature when it is provided above standard storefront minimums. The following guidelines are set to identify when glazing exceeds minimum requirements:

- Storefront with entry doors exceeds 120 square feet.
- Storefront without entry doors exceeds 80 square feet.
- Glazing is provided above canopies/awnings of any square footage.
- Faux storefront with spandrel on rear elevations of any size.

### 3.4.8 PUBLIC ART

Public art shall be considered an architectural feature among buildings where it is not a requirement for development. Public art shall meet all of the same requirements set forth in section 3.7 of these Design Guidelines.



(images are for illustrative purposes only)

### **3.4.9 ADDITIONAL MULTIFAMILY ARCHITECTURAL FEATURES**

Reference section 3.2.4 for additional architectural features for multifamily development.

### 3.5 COLOR PALETTE

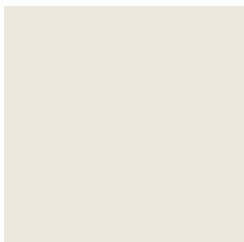
With a Building Style in mind, the building design team may select one (1) or more of the approved base colors for the body of the building (see list below), to which the proposed Secondary Material(s) (e.g., Brick, Decorative Masonry, Stone, Nichiha, Wood) shall be applied to introduce warmth and character into the building’s elevations. It is understood that the Primary Colors will not come into play in a building’s design if the structure’s skin is entirely comprised of a combination of glazing system, Decorative Masonry, natural stone and/or wood.

Where allowed, additional building articulation, depth of planes, and lighting effects can be further achieved through the introduction of Decorative Screening treatments.

All of the following colors have been approved for exterior use at Medina Station (including colors for EIFS systems). Acceptable base color will be tan, beige and warm grey variations of white. In addition to clear anodized and dark bronze anodized aluminum storefront systems, approved accent colors for painted aluminum, steel, metal storefront and canopy systems are described below. Weathered (rust color and sealed) or blackened exposed steel (clear coat sealed) finishes are also acceptable. Other colors may be approved so long as they are consistent with the intent, theme and quality of these Design Guidelines.

Below are acceptable paint samples from Sherwin Williams. Matching or similar colors from other paint manufacturers are acceptable. Alternative primary and accent colors may be utilized but the color palette shall match the building style and materials shall not significantly deviate from these approved Design Guidelines.

#### Primary Colors:



SW 2277 - CUMULUS CLOUD



SW7017 - DORIAN GRAY



SW6109 - HOP SACK



SW7512 - BEIGE

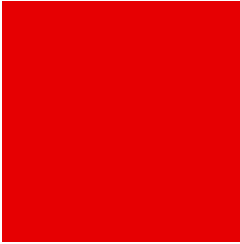


SW7019 - GAUNTLET GREY



SW9100 - UMBER RUST

Secondary and Accent Colors:



RED



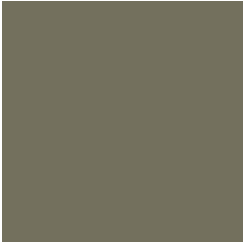
SW6068 – BREVITY BROWN



SW6325 – CORAL



SW6381 – ANJOU PEAR



SW2851 – SAGE GREEN

## 3.6 KEY DESIGN CONSIDERATIONS

### 3.6.1 ENVIRONMENTAL COMFORT

#### *Orientation, Shade & Rain Protection*

- Striving for ideal environmental comfort is one of the basic, underlying tenets that shapes the look and feel of the pedestrian-oriented streets at Medina Station. Mesa's summer climate and monsoon season are addressed with overhead structures to ensure that visitors can enjoy the outdoors throughout the year.
- Shade elements such as suspended canopies, posted canopies, and awnings are to be integrated into building and storefront designs from their inception, as a part of an overall environmental strategy. (Commercial only)

#### *Proximity*

- Reference the Mesa Zoning Ordinance Section 11-6-3 and PAD for additional requirements on setbacks.

### 3.6.2 FORM AND SCALE

#### *Building Massing*

- Building orientation, unique building massing or variation on buildings shall be used to avoid the appearance of contiguous developments.
- Variation in building volume and plane and material are required to create dynamic textures and variations with shade and shadow that are animated by the sun throughout the course of the day.
- Buildings shall help define the street edge through the location of building massing and heights. Building mass and height shall be proportional to the street width, with higher massing on wider streets and decreased massing on narrower streets.
- Massing shall be used to ensure an interesting streetscape, allow sunlight into open space areas, and to provide shading for entrances and along building exteriors.

Entrances shall be prominently indicated with a first-story massing change or use of Entry Statement features as discussed in the Architectural Features section of these guidelines.

## *Outdoor Dining*

- *Outdoor eating areas shall comply with Mesa Zoning Ordinance Section 11-31-19.*
- Railings or screening at outdoor eating areas shall be consistent with the overall architecture of the building and shopping center following the minimum standards set forth below:
  - *50% of a railing or screen shall be open air or transparent*
  - *Shall be composed of durable materials such as metal*
  - *Railings shall be at least 3'-0" height*
- Outdoor eating areas in the Restaurant Galley shall be no less than 1,000 SF and no less than 350 SF in all other locations that provide an outdoor eating area to encourage pedestrian engagement with the restaurants.
- Outdoor eating areas shall integrate the landscape into the patio area either by providing 3 shrubs along the perimeter of the patio for every 6' of patio perimeter (excluding the building face) or providing at least 1 tree for every 250 SF of patio integrated into the patio space.

## *Façade Treatment*

- Sun shading elements, projecting canopies, and awnings that provide cover and shade along the length of the street and shade building façades are required in areas with glazing or open pedestrian areas exposed to excessive sunlight not otherwise shaded by the building massing.
- The level of detail shall be enhanced at the street frontage with refined materials and strong entry elements; however, four-sided architecture is required.
- Window and door openings shall have primarily vertical proportions.
- Transparency of commercial building façades is required at the ground floor when abutting pedestrian areas. Transparency or other details to give the appearance of engagement is required at the carriage buildings along Southern.
- Vary building height, providing at least two (2) changes in height or roof forms, for all commercial buildings, that are varied over different portions of the building through changes in pitch, plane, and orientation.
- Publicly visible facades (viewed from rights-of-way or private property), may not have blank, uninterrupted wall lengths exceeding 50 feet without including at least two (2) of

the following: change in plane, change in texture or masonry pattern, change in color; windows, trellis with vines, or an equivalent element that subdivides the wall into human scale proportions.

- Facades shall incorporate at least three (3) different and distinct materials.

#### *Roof Treatment*

- Buildings at Medina Station shall employ flat or shed roofs with parapets to create a distinctive edge on the skyline and align with the Desert Modern design style of the overall development.
  - Flat roofs or facades with a horizontal eave, fascia, or parapet, in excess of one hundred feet in length, shall provide vertical modulation. The minimum vertical modulation is two (2) feet or one-tenth (1/10) multiplied by the wall height, not to exceed one-third (1/3) of the height of the supporting wall.
  - All parapets shall have detailing such as cornices, moldings, trim, or variations in brick/stone coursing.

### **3.6.3 SCREENING**

#### *Mechanical Equipment*

- All mechanical equipment, whether at grade or on a building's roof, shall be screened from public view with architectural and/or landscape materials consistent with the buildings at Medina Station (materials, color, scale, etc.), or they shall be located so as not to be visible from any public ways.
- Screening can utilize perforated metal panels, textured ABS panels, or similar painted to match the architecture.
- Reference Mesa Zoning Ordinance section 11-30-9 for additional information and requirements.

#### *Utility Equipment*

- All utility equipment (gas and water meters, etc.) shall be screened or painted so as to blend in with the adjacent façade

## Service Areas

- All service areas (trash, recycling, mechanical areas, storage, utility, and meter rooms) shall be architecturally minimized or significantly screened from public sight. Trash and refuse enclosures shall be an integral component of the project and the location shall not be visually prominent. Masonry, wood or opaque steel doors and screens shall be consistent with the design of the building and surrounding development. Chain-link with vinyl strips is prohibited. The effectiveness of the equipment screening shall also take into consideration future development in the surrounding area.
- Trash compactors shall be enclosed with a fence or screen wall compatible with the building design.
- Using a variety of year-round plant species is ideal when screening equipment, when combined with opaque screens. Use plant species that are capable of withstanding Arizona desert climate. Maintenance of the plant materials used for screening is required. Refer to the Landscaping and Hardscaping section of these guidelines for more information
- Trash enclosures in the restaurant galley area shall be enhanced through use of landscaping and artwork.
  - Landscaping shall be abundant with at least 25% more plantings than adjacent non-trash enclosure landscape areas with emphasis on flowering plants. Trees are not allowed within 10'-0" of the trash enclosures; however, shall be used to help screen public view of the enclosures outside of that setback.
  - Artwork shall not count toward art requirements for each building but shall be used to add an enhanced look to the enclosure.
  - Reference the image below for enhanced landscaping example and section 4.5.2. for mural wall examples.
  - Minimum height of the enclosures shall be 10'-0".



(image is for illustrative purposes only)

### **3.6.4 PARKING AREA REQUIREMENTS**

#### *Sidewalk and Parking Paving*

- All sidewalks adjacent to any building area, connecting to public rights-of-way shall be of concrete or approved decorative hardscape, except where required to be a primary or secondary pedestrian connection by the Design Guidelines.
- All areas for vehicular use shall be paved with a suitable base and surfaced with asphalt, pavers, or concrete for areas devoted primarily to loading, unloading and delivery.

### 3.6.5 BUILDING LIGHTING

- Medina Station’s mixed-use lifestyle environment will serve as a destination location. The projects’ building and landscape designs shall respond to residents and visitors’ daytime and nighttime experience. As such, architectural lighting will be thoughtfully considered in the design of all building and landscape elements. Architectural Lighting considerations will include:
- Dramatic lighting shall enhance primary architectural features including, but not limited to, entry canopies, folded wall and ceiling planes, and upper balconies.
- Accent lighting shall be incorporated on secondary building elements such as blank walls to highlight their texture or on columns to reveal their cadence on a façade.
- Special consideration shall be given to creating an ambiance with mood lighting such as overhead string light or up lighting/down lighting on walls.
- The design of the light fixture itself shall also serve as a design element to reinforce a style or to become a focal element itself (such as an enlarged chandelier over an outdoor gathering space).
- Lighting shall almost exclusively use warmer temperatures ranging from 2700 to 3000 Kelvins. Cool temperature lighting is discouraged on buildings.
- The development is proposed to be dark sky compliant, thus building lighting shall be carefully thought out to meet this requirement.



(images are for illustrative purposes only)

## **3.7 PUBLIC ART**

Public Art shall be provided at all restaurants in the commercial development deemed at part of the Restaurant Galley and at other locations as elected by the tenants as part of their architectural features. Public art shall be abstract or realistic (sometimes both), and it shall be cast, carved, built, assembled, or painted. Public art shall have the following characteristic:

- a. Durable.
- b. Low maintenance.
- c. Accessible to the public.
- d. Permanent (see exceptions below).
- e. Related to the proposed business, but shall not have signage or company brands / logos.
- f. Cost of installation shall be minimum of one half of one percent of total construction costs of the tenant improvements.
- g. Appropriate, i.e. not depicting obscene or vulgar images or language.

Enhanced trash enclosure walls shall not be counted toward public art requirements.

### **3.7.1 PERMANENT PUBLIC ART**

Public art is considered to be permanent when it is available for viewing to the public during full length of normal development business hours, inclusive of all businesses on site. Examples of permanent public art listed below.

- a. Benches painted by local artists
- b. Sculptures
- c. Murals
- d. Other creative expressions as approved by the City of Mesa

# 4 LANDSCAPE DESIGN GUIDELINES

The following chapter will include:

- 4.1 Landscape Design and Character
- 4.2 Landscape Deviation Approval
- 4.3 Hardscape Design and Character
- 4.4 Lighting and Site Amenities
- 4.5 Landscape Vignettes

## 4.1 LANDSCAPE DESIGN AND CHARACTER

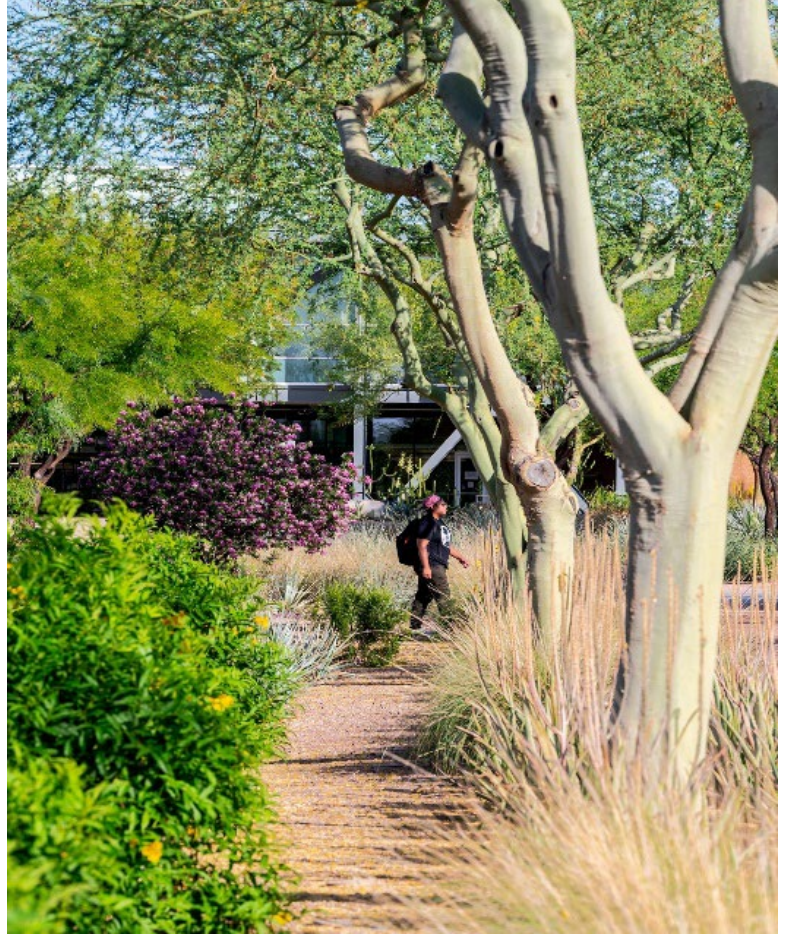
Medina Station is a community which focuses on high-quality outdoor livability. Situated at the edge with views of the monumental Superstition Mountains, Medina Station is poised to be enhanced with a balance of natural desert beauty that is unsurpassed by its neighbors. The following outlines the Landscape Design Guidelines and principals that shape the user experience and outlines the Landscape Design Guidelines:

- Use masses of desert adapted plants to provide color, texture, and pattern.
- Spotlight distinctive areas with one (1) or more large, landmark tree(s).
- Install upgraded paving or decorative stamping at strategic locations.
- Create shaded paths to increase walkability and integrate exercise into daily life.
- The bold and aggressive use of desert adapted plants to weave a story of texture, color and pattern.
- Balance of planting forms and masses that weave together the vehicular and pedestrian experience.
- Creating layers of shaded paths to enhance the comfort levels of the users.
- Simple paving patterning and textures to enhance the ground plane while keeping in mind the SRI value to reduce heat gain.
- Pockets of sustainable and low impact design measures to provide leadership in the sustainability arena.
- Plant palette zones to distinguish human comfort zones and wayfinding opportunities.
- Ceremonial people gathering open space amenities that are unique and memorable to the community to enhance the site and provide value added.



(images are for illustrative purposes only)

#### 4.1.1 LANDSCAPE CHARACTER



(images are for illustrative purposes only)

#### 4.1.2 LANDSCAPE PLAN REQUIREMENTS

Medina Station landscape plans shall reference the approved master landscape plans for conformance with character and palette. Medina Station landscape plan requirements are outlined below:

- Plant materials are to be large enough and spaced to screen electrical transformers that are visible from eye level adjacent to drives and parking lots, as well as quantities that complement the master plan. Refer to the utility companies' details for required clearances.
- All plant material shall conform to the Arizona Nurseryman Association standards.
- All granite color shall be natural to the surrounding area and consistent with the design guidelines. Size, screening, and depth shall match adjacent lots, unless an alternative is approved in writing by Owner. Failure to do so shall be at the sole risk and expense of Lot Owner in the event of any discrepancies.
- Valve boxes shall match color of granite unless an alternate is approved by Owner or required by City (i.e. purple for reclaimed water).
- Backflow preventers shall be installed in areas that do not detract from the pedestrian experience and shall be secured with lockable cover screens painted earth tones to match existing screens installed within Medina Station.
- Artificial turf will be considered for approval provided the turf is:
  - Of a natural appearance with multi-color brown thatch blend.
  - Multi-height, non-directional.
  - UV resistant.
  - Supplemental water is provided for any trees planted within artificial turf areas.
- The proposed irrigation system shall include any modifications required to tie the existing irrigation system.
- Perimeter landscaping along Southern Avenue and Signal Butte Road shall be constructed during the first phase of construction.

Any deviations shall be approved by the master developer and the master developer's Landscape Architect.

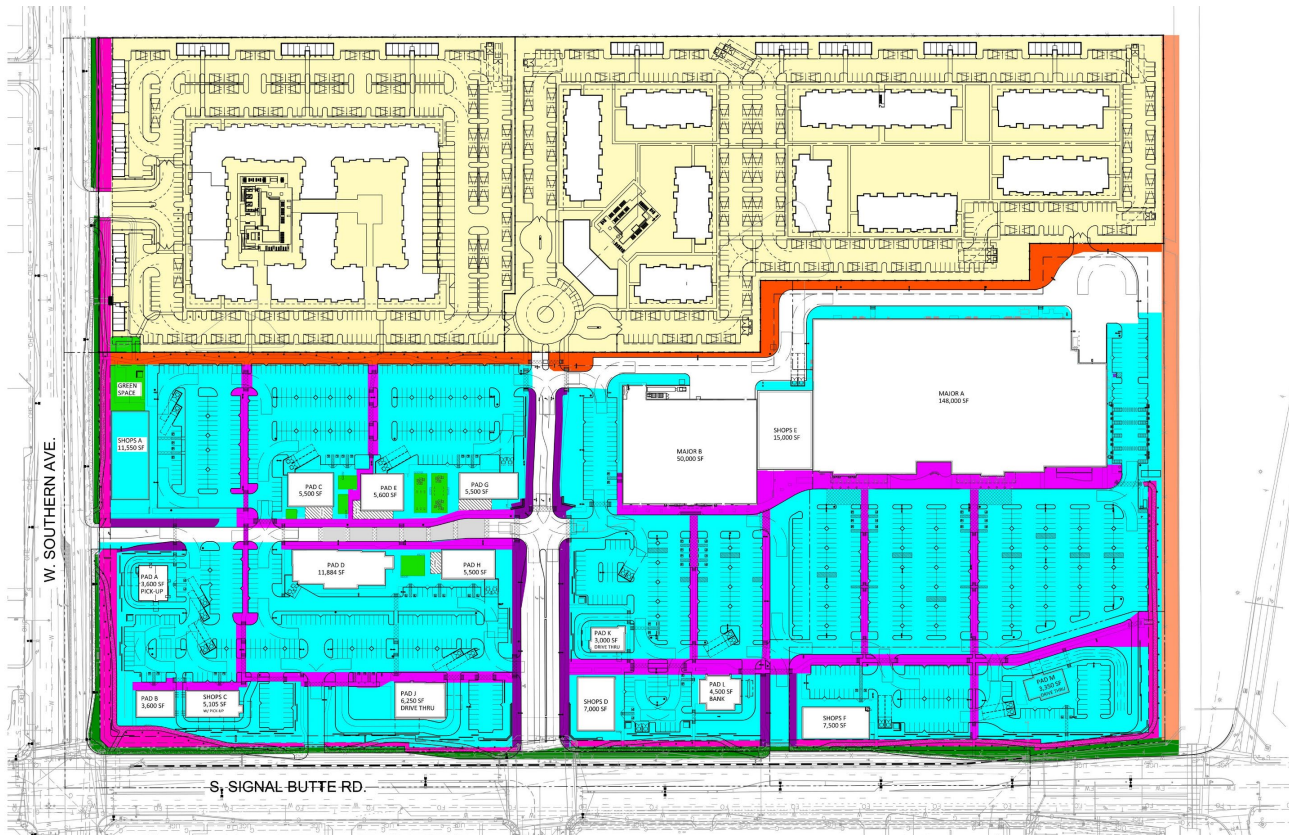
### **4.1.3 LANDSCAPE ZONES**

The landscape plan and character are strategically placed to be in concert with the vehicular and pedestrian circulation patterns as well as environmental considerations. The planting zones are created to enhance the amenity spaces as well as complement the architectural prospects.

The following list identifies the distinct landscape zones for Medina Station:

#### **Landscape Zone Diagram**

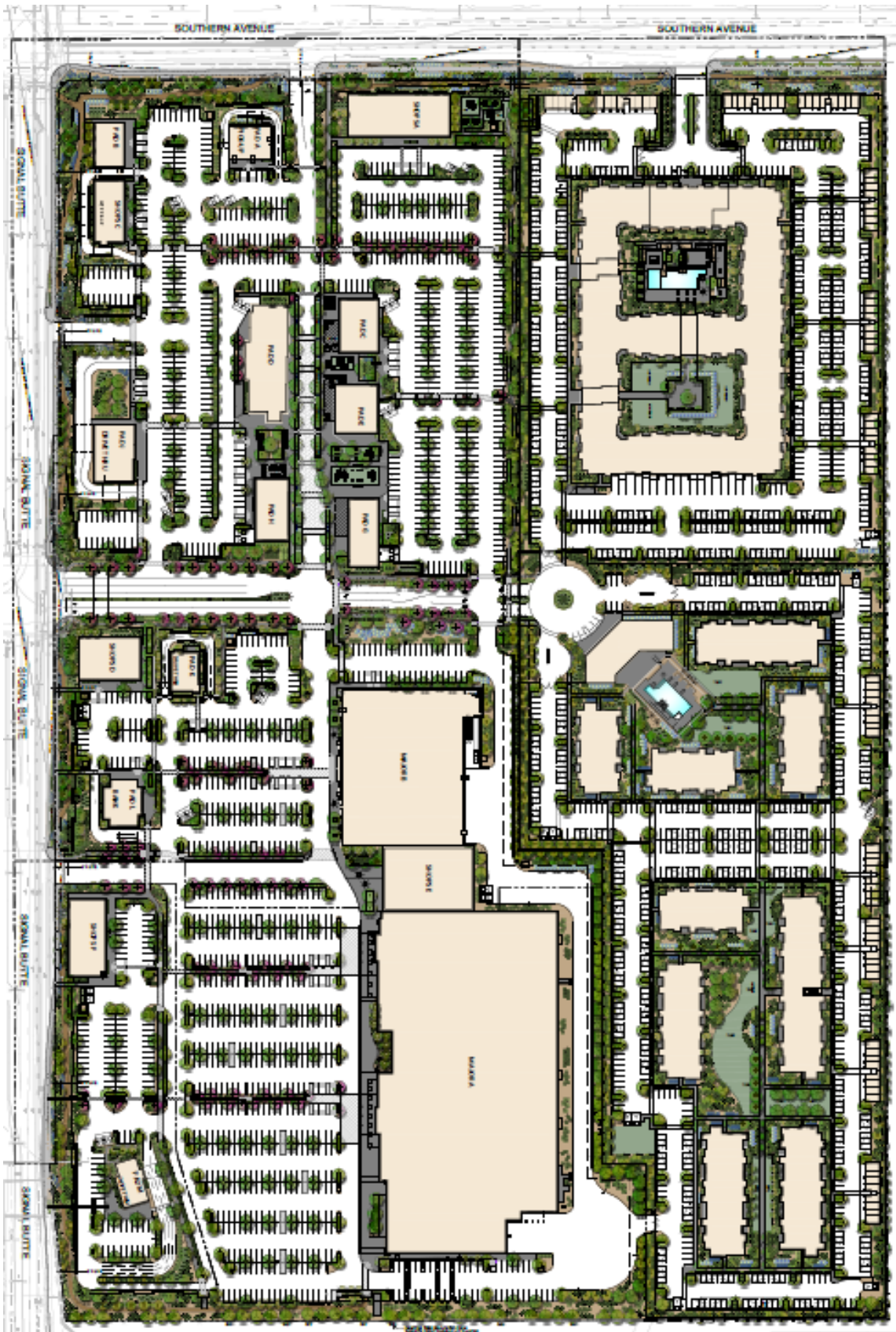
- Major Streetscape Edge (Signal Butte and Southern Roads)
- Primary Vehicular entry Points
- Multi-use Path
- Parking Courts
- Pedestrian retail building edges of the Major and Minor tenants
- Amenity/pedestrian gathering zones
- Integrated angled parking connection
- Residential
- US 60/Drainage Frontage
- Residential Buffer Zones



- |                                |   |                         |   |
|--------------------------------|---|-------------------------|---|
| Major Streetscape Edge         |   | Residential Buffer Zone |   |
| Primary Vehicular Entry Points |  | Amenity Zone            |  |
| Parking Counts                 |  | Pedestrian Zones        |  |
| Residential / Multi-Family     |  | Multi-Use Paths         |  |
| US60 / Drainage Frontage       |  |                         |   |


















(images are for illustrative purposes only)










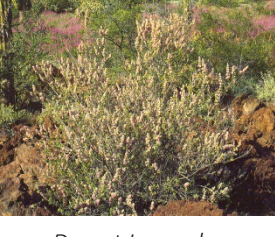


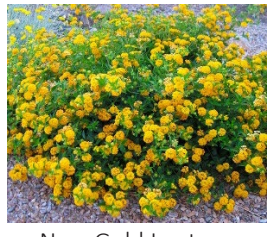

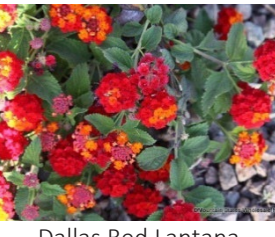
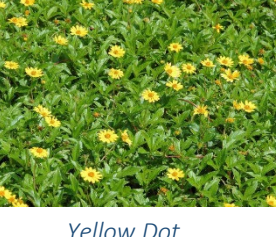




#### 4.1.4 COMMERCIAL LANDSCAPE PLAN

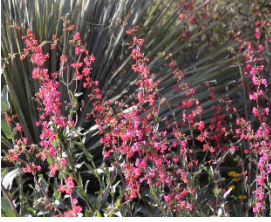














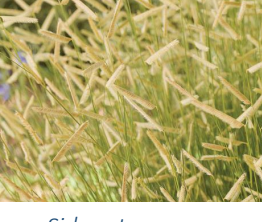



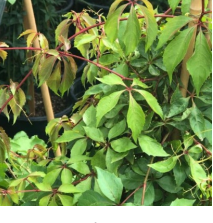











(images are for illustrative purposes only)

#### 4.1.5 LANDSCAPE 'DESERT MODERN' PLANT PALETTE

 <p>Palo Verde <i>Cercidium floridum</i></p>	 <p>Palo Brea <i>Cercidium praecox</i></p>	 <p>Foothills Palo Verde <i>Cercidium microphyllum</i></p>	 <p>Fraxinus velutina 'Fan Tex' Ash</p>
 <p>Ironwood <i>Olneya tesota</i></p>	 <p>Chinese Elm <i>Ulmus parvifolia</i></p>	 <p>Live Oak <i>Quercus Virginiana</i></p>	 <p>Desert Willow <i>Chilopsis Linearis</i></p>
 <p>Smooth Cascolate <i>Caesalpinia cacalaco</i> 'Smoothie'</p>	 <p>Texas Mountain Laurel <i>Sophora secundiflora</i></p>	 <p>Pistache x "Red Push" Red Push Pistache</p>	 <p>Thornless Hybrid Mesquite <i>Prosopis hybrid 'Phoenix'</i></p>
 <p>Palo Blanco <i>Acacia willardiana</i></p>	 <p>Mesquite <i>Prosopis velutina</i></p>	 <p>Hop Bush <i>Dodonaea viscosa</i></p>	 <p>Mexican Bird of Paradise <i>Caesalpinia Mexicana</i></p>
 <p><i>Leucophyllum langmaniae</i> 'Lynn's Legacy'</p>	 <p>Green Cloud <i>Leucophyllum frutescens</i></p>	 <p>Triangle Bursage <i>Ambrosia deltoidea</i></p>	 <p>Desert Globe Mallow <i>Sphaeralcea ambigua</i></p>

 <p>Ruellia <i>Ruellia brittoniana</i></p>	 <p>Baja Ruellia <i>Ruellia peninsularis</i></p>	 <p>Red Bird of Paradise <i>Caesalpinia pulcherrima</i></p>	 <p>Orange Jubilee <i>Tecoma stans 'Orange Jubilee'</i></p>
 <p>Yellow Bells <i>Tecoma stans 'Gold Star'</i></p>	 <p>Desert Marigold <i>Baileya multiradiata</i></p>	 <p>Native Fairy Duster <i>Calliandra eriophylla</i></p>	 <p>Brittlebush <i>Encelia farinosa</i></p>
 <p>Turpentine Bush <i>Ericameria laricifolia</i></p>	 <p>Desert Lavender <i>Hyptis emoryi</i></p>	 <p>Arabian jasmine <i>Jasminum sambac</i></p>	 <p>Chuparosa <i>Justicia californica</i></p>
 <p>New Gold Lantana <i>Lantana x 'New Gold'</i></p>	 <p>Purple Lantana <i>Lantana montevidensis</i></p>	 <p>Dallas Red Lantana <i>Lantana camara 'Dallas Red'</i></p>	 <p>Yellow Dot <i>Wedelia trilobata</i></p>
 <p>Giant Hesperaloe <i>Hesperaloe funifera</i></p>	 <p>Blue Flame Agave <i>Agave x 'Blue Flame'</i></p>	 <p>Deer Grass <i>Muhlenbergia dubia</i></p>	 <p>Pink Muhly Grass <i>Muhlenbergia capillaris</i></p>

 <p>Parry's Penstemon <i>Penstemon parryi</i></p>	 <p>Coral Fountain <i>Rusellia equistiformis</i></p>	 <p>Goldeneye <i>Viguiera deltoidea</i></p>	 <p>Creosote <i>Larrea tridentata</i></p>
 <p>Jojoba <i>Simmondsia chinensis</i></p>	 <p>Red Yucca <i>Hesperaloe parviflora</i></p>	 <p>Yellow Yucca <i>Hesperaloe parviflora</i></p>	 <p>Red Yucca 'Stoplights' <i>Hesperaloe parviflora</i> 'Stoplights'</p>
 <p>Yellow Blooming Aloe <i>Aloe barbadensis</i></p>	 <p>Desert Milkweed <i>Asclepias subulata</i></p>	 <p>Desert Spoon <i>Dasyliroa wheeleri</i></p>	 <p>Banana Yucca <i>Yucca baccata</i></p>
 <p>Pale Leaf Yucca <i>Yucca pallida</i></p>	 <p>Curve-Leaf Yucca <i>Yucca recurvifolia</i></p>	 <p>Blue Yucca <i>Yucca rigida</i></p>	 <p>Sideoats grama <i>Bouteloua curtipendula</i></p>
 <p>Beaked Yucca <i>Yucca rostrata</i></p>	 <p>Slipper Plant <i>Pedilanthus macrocarpa</i></p>	 <p>Candelilla <i>Euphorbia antisiphilitica</i></p>	 <p>Hacienda Creeper <i>Parthenocisus quinuefolia</i></p>

 <p><i>Date Palm</i> <i>Phoenix Dactylifera</i></p>	 <p><i>Mulga</i> <i>Acacia Aneura</i></p>	 <p><i>Little Red Giant Yucca</i> <i>Hesperaloe Funitera</i></p>	 <p><i>Trailing Rosemary</i> <i>Rosemarinus prostrata</i></p>
 <p><i>Mingenew Gold</i> <i>Eremophilia Glabra</i></p>	 <p><i>Mexican Fence Post</i> <i>Pachycerus Marginatus</i></p>	 <p><i>Smooth Agave</i> <i>Agave Desmettiana</i></p>	 <p><i>Golden Barrel Cactus</i> <i>Echinocactus Grusonii</i></p>
 <p><i>Valentine Emu Bush</i> <i>Eremophilia Maculata</i></p>			

## 4.2 HARDSCAPE DESIGN AND CHARACTER

The opportunity to embrace an architectural desert modern timeless and memorable experience is rooted in the interlocking landscape palette and hardscape material selection. The balance of sturdy and clean contemporary materials will be a warming attribute to the site.

The following design guideline and attributes of material selection are integral to the framework of Medina Station's unique position in the City of Mesa.

- Material colors will be selected and balanced for natural appearance and sustainable attributes.
- Concrete textures will have a range of exposed aggregate, etched, broomed and sandblast finishes.
- The use of a natural weathered steel or powder coated with complementing color can be used.
- Unit pavers and decomposed granite may be used to reinforce a desert modern aesthetic.
- Locally sourced materials to support sustainable practices will be prioritized.
- Balance of public art installation and wayfinding will be integrated.
- Intergraded built structures have a strong opportunity for place making.
- Pedestrian Walking / Jogging paths will utilize decomposed granite for a more nature-integrated feel along the pathway.

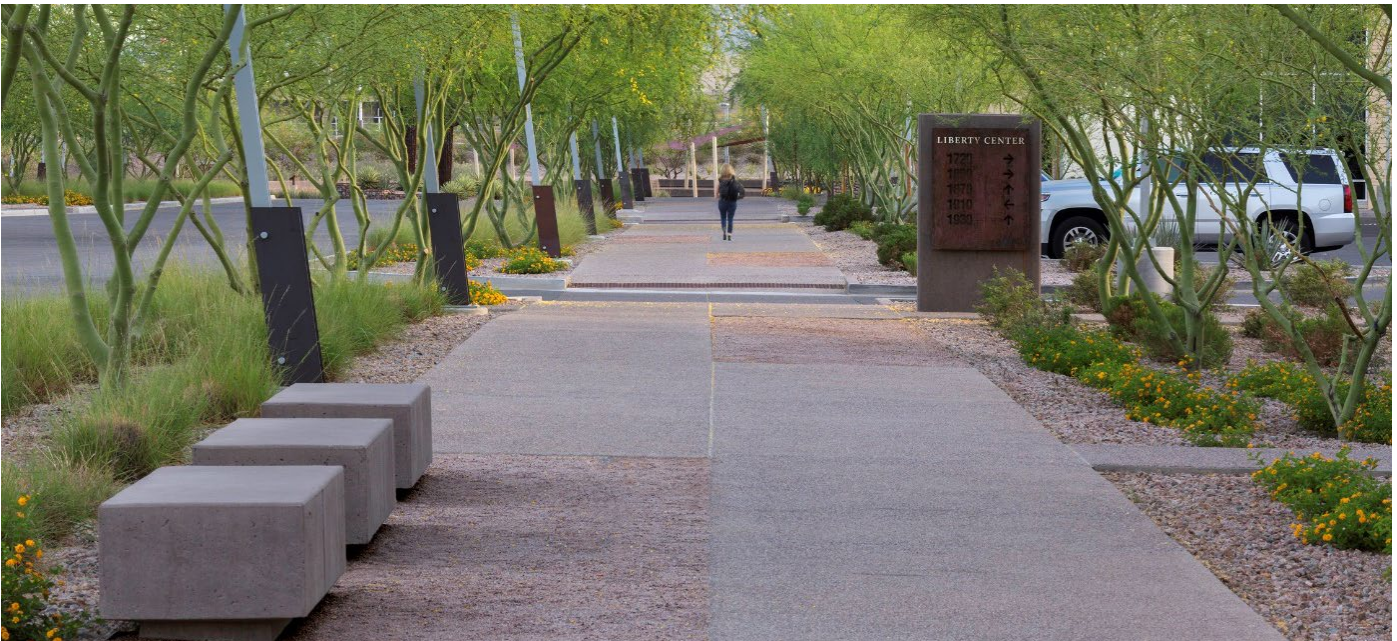
The following hardscape materials are chosen to complement and define the Architectural Desert Modern approach. The material selection plays an important role in all the phases of the Medina Station plan. Other may be requested provided they are consistent with the overall theme and quality of these Design Guidelines.



(images are for illustrative purposes only)

#### 4.2.1 HARDSCAPE CHARACTER

The primary hardscape material shall be concrete for primary and secondary pedestrian connections to and from various buildings on the site. Intermittent areas of the primary pedestrian connection paths shall have decomposed granite, with the exception of the walking/jogging path.





(images are for illustrative purposes only)

### 4.2.2 CONCRETE AND PAVERS



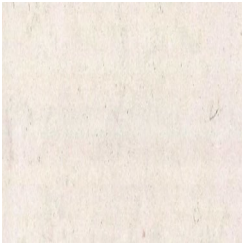
BOARD FORM



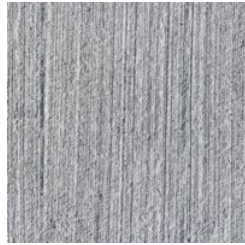
SANDBLASTED



SMOOTH EXPRESSED FORM TIE



CONCRETE PAVERS



BROOM FINISH CONCRETE



STAMPED CONCRETE - NATURAL TONES (VARIETY OF PATTERNS)



CONCRETE - ETCHED, EXPOSED AGGREGATE



UNIT PAVERS IN NATURAL TONES AND MODERN PATTERNS

### 4.2.3 PLANTERS AND SEAT WALLS



CONCRETE, RUSTED, POWDER-COATED, PERFORATED OR WATERJET CUT METAL



CONCRETE SEAT WALLS

(images are for illustrative purposes only)

### 4.3 LIGHTING AND SITE AMENITIES

Site amenities such as benches, trash cans, and bike racks shall be located throughout the retail development. Each building is encouraged to include outdoor seating for the residents and visitors in the form of raised planters with seat walls or benches. Where benches are used, they shall match the project standard and parcel design.

All buildings shall provide a minimum of one (1) trash can to promote a neat and well-maintained site. Businesses selling food and or drink shall provide a minimum of one (1) trash can at the building exterior preferably located near the building entry/exit and near outdoor seating areas not attended by waitstaff.

Bike racks shall be provided on each Parcel to encourage alternate transportation for residents, employees and patrons. Bike racks shall be located in visible, lighted locations to deter theft. All bike racks shall match the project standard.



(images are for illustrative purposes only)

### 4.3.1 LANDSCAPE DESIGN SITE AMENITIES

Medina Station is enriched with programs and amenities that balance the nature and human experience. The amenity zones emphasize human comfort and shade, while creating an experience that is rich and balanced with the sustainable and natural environment needs. Outdoor spaces include the following:

- Perimeter pedestrian and bike trail.
- Open flex space for lawn games as defined on the next page.
- Integrated parking and pedestrian circulation.
- Public Art installations, specifically at the restaurants within Restaurant Galley.
- Outdoor dining areas, specifically at the restaurants within Restaurant Galley.
- Integrated outdoor seat walls and planters/gardens, specifically at the open space areas in Restaurant Galley.
- Designated bike parking at each pad / shops / Major building.
- Flexible lawn area for community gathering/events, specifically adjacent to Shops A.



(images are for illustrative purposes only)

Open flex space within the Restaurant Galley is required for the development of each building. Each restaurant shall provide the following open space requirements within their open spaces.

**One (1) Selection from the list below:**

- A minimum of one-thousand (1,000) square feet of artificial turf.
- A minimum of six-hundred (600) square feet of pavers.

**Two (2) Selections from the list below:**

- A minimum of one (1) concrete bench.
- A minimum of one (1) table with four (4) chairs.
- A minimum of one (1) outdoor patio sofa.

**One (1) Selection from the list below:**

- Public Art.
- Community Garden.

- Shade Structure.
- Water feature.

**Required items:**

- A minimum of one (1) trash can.
- A minimum of one (1) umbrella.

**4.3.2 LANDSCAPE DESIGN SITE FURNISHINGS**

The selection of site furnishing for Medina Station are embracing the Desert Modern character to create a timeless and appropriate response to the economic factors that inform the site.

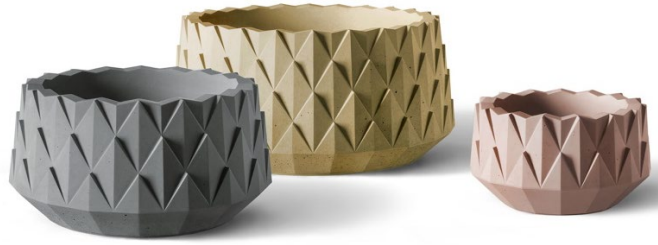


All selected furnishing materials shall be consistent and provide a positive reinforcement pattern to create a cohesive meld of site architecture and place.

The following images shown are intended to communicate the general aesthetic for Medina Station. Alternative furnishing manufacturer, models and designs (of similar quality) may be submitted for approval by the master developer.



PLANTERS



(images are for illustrative purposes only)



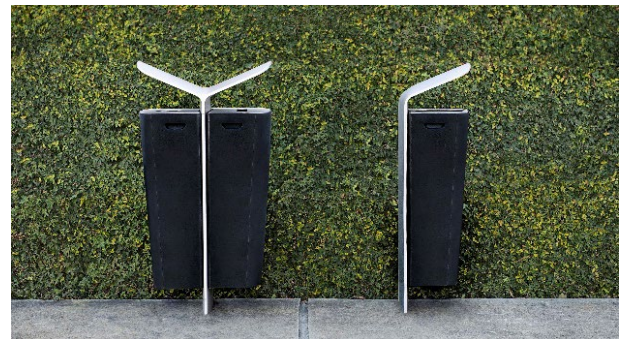
BIKE STORAGE



SEATING



BOLLARDS



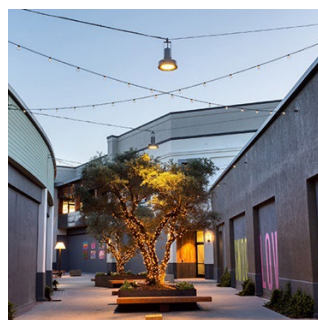
TRASH COLLECTION

(images are for illustrative purposes only)

### 4.3.3 SITE LIGHTING CHARACTER

Site lighting will include parking, pole lights, bollards, up-lights, flood lights, and down lights. Specialty lighting, such as lighting built into furniture, catenary lights, lighting as art, are highly encouraged. Wherever possible, lights bulbs will be LED to help cut energy consumption and support sustainability. The Kelvin range will be kept in the warmer tones. Refer to City of Mesa Zoning Ordinance 11-30-5 for additional requirements.

Lights shown are intended to communicate the site lighting strategy for Medina Station. Alternate fixture manufacturer, model, and design (of similar quality) may be submitted and are subject to Owner approval, which approval may be withheld in Owner's sole and absolute discretion for any reason.



(images are for illustrative purposes only)

**4.3.4 COMMERCIAL SITE LIGHTING**



PARKING LOT / PEDESTRIAN LIGHTING

(GLEON Galleon LED)



LIGHTED BOLLARDS



ACCENT PEDESTRIAN LIGHT

### 4.3.5 MULTIFAMILY SITE LIGHTING



PARKING LOT LIGHT



LIGHTED BOLLARD

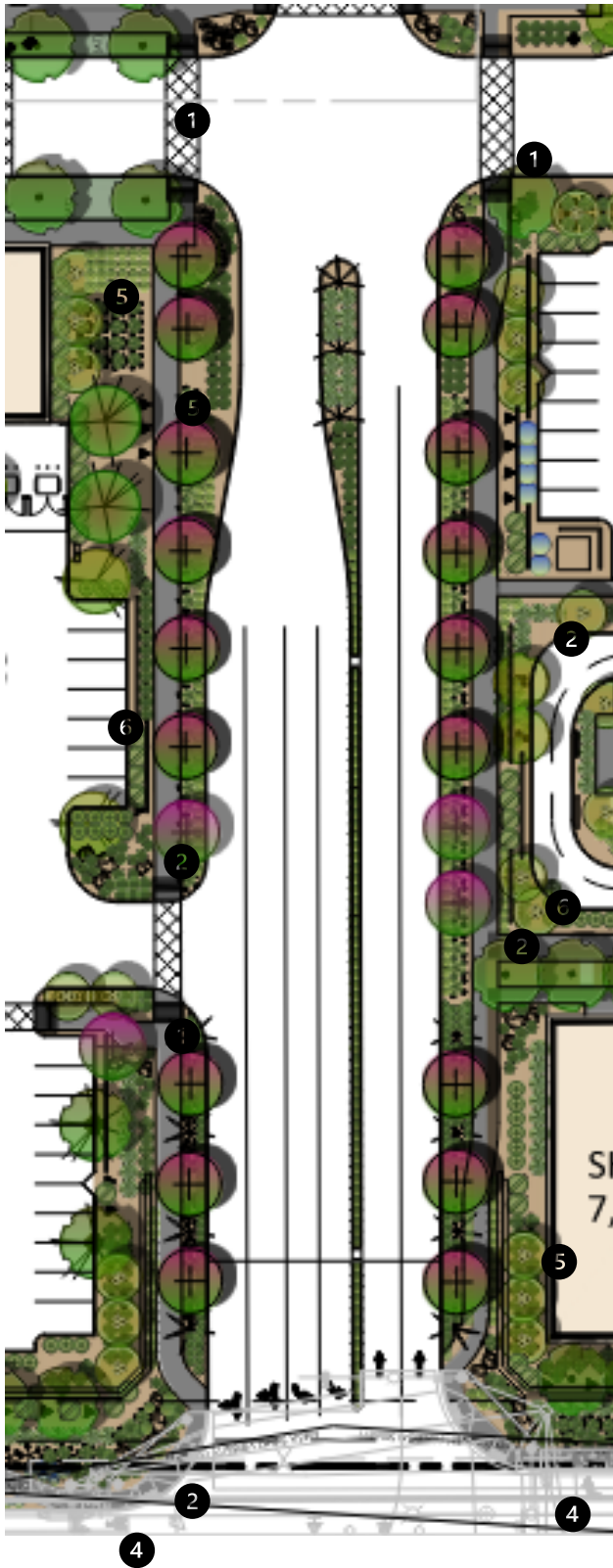


WALL MOUNTED LIGHT

The lighting selections above are schematic and subject to change as the Residential Developer deems necessary to keep the quality of the overall development consistent.

## 4.4 LANDSCAPE VIGNETTES

### 4.4.1 MAIN ENTRY LANDSCAPE VIGNETTE



#### KEYNOTES

- ① Stamped Colored Concrete
- ② Concrete Sidewalk
- ③ Rip Rap
- ④ Monument Signage
- ⑤ Desert Landscape
- ⑥ Parking Screen Walls

#### 4.4.2 PARK AND AMENITY SPACE LANDSCAPE VIGNETTE



(images are for illustrative purposes only)

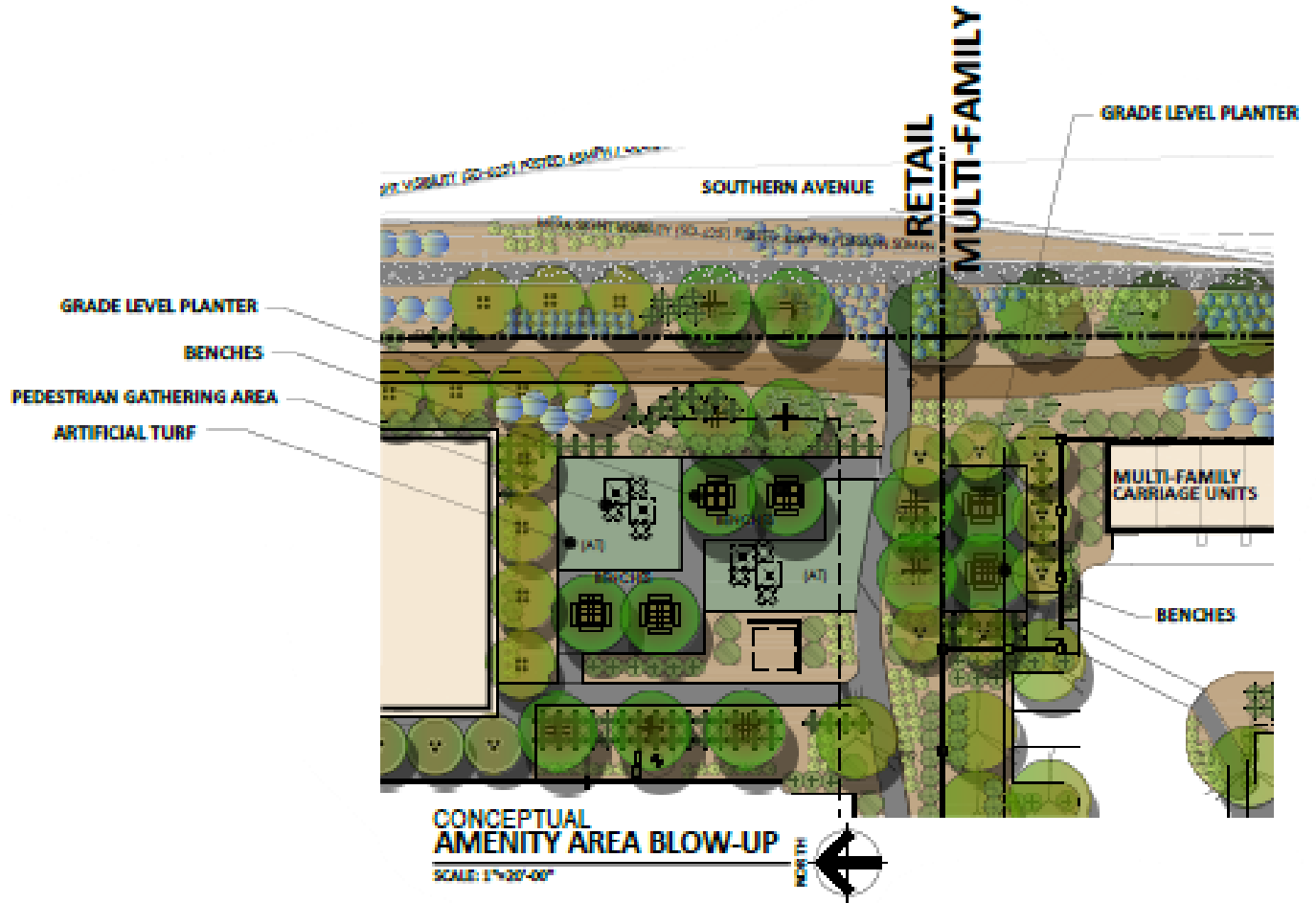
### 4.4.3 CORNER SHOPS VIGNETTE



#### KEYNOTES

- 1 Multi-use Fitness Trail
- 2 Concrete Sidewalk
- 3 Precast Concrete Pavers
- 4 Stamped Colored Concrete
- 5 Parking Field
- 6 Stabilized Decomposed Granite
- 7 Desert Landscaping

#### 4.4.4 GREEN SPACE VIGNETTE

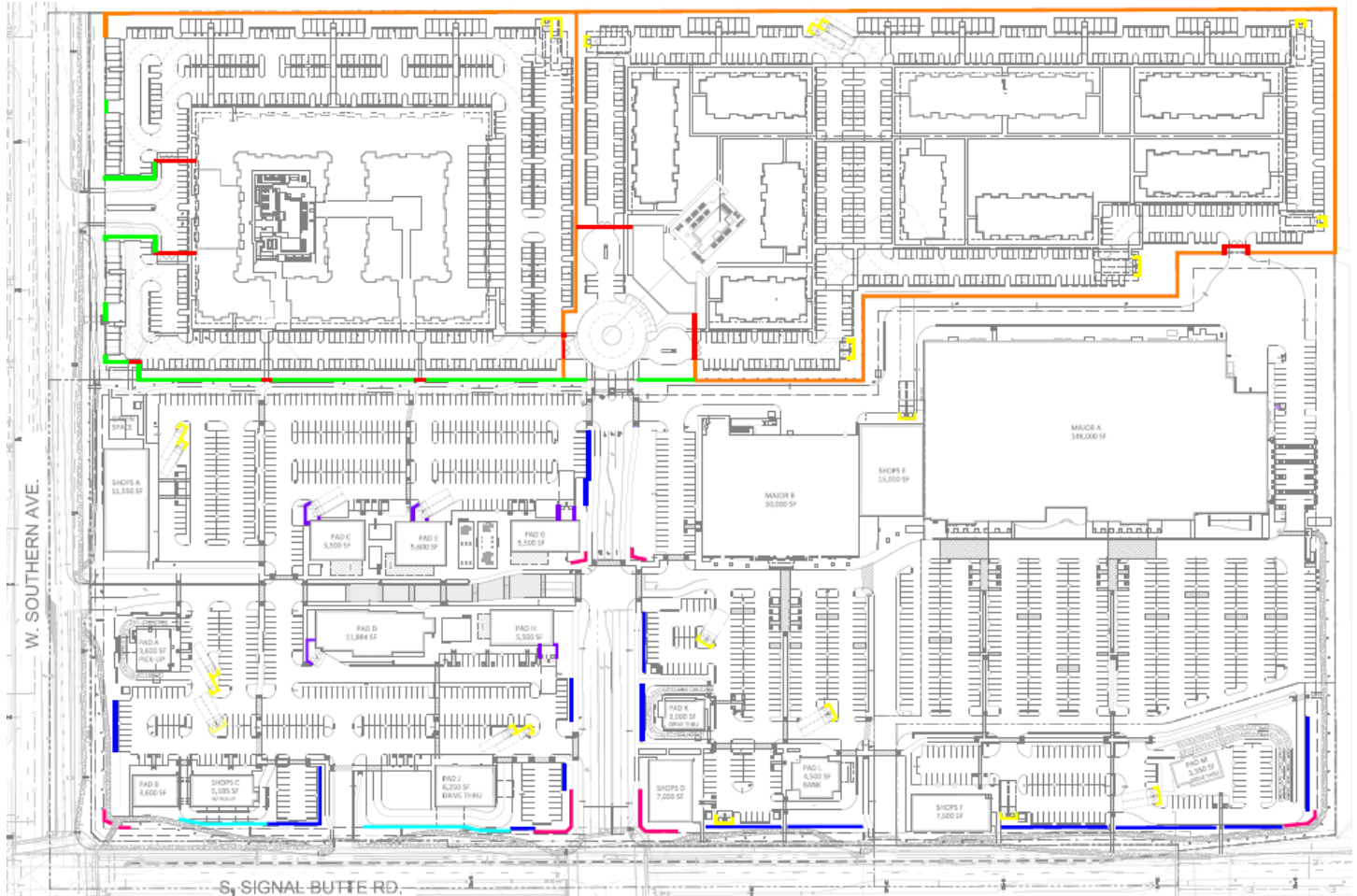


(images are for illustrative purposes only)

## 4.5 WALL / FENCE PLANS

Medina Station contemplates an integrated wall and fence plan which allows consistent and complementary designs to be used throughout the overall project while still allowing for individual flexibility within specific locations and circumstances where appropriate or necessary. The location and styling of walls/fences provide for unified wall heights, materials, colors and themes. Articulation in the form of shifts, change in materials, and pilaster shall be provided at every 50' of uninterrupted wall.

### 4.5.1 WALL PLAN



- PARKING SCREEN WALL
- MONUMENT WALL
- TRASH ENCLOSURE
- CMU BLOCK WALL
- PEDESTRIAN / VEHICULAR GATE
- FENCE OVER CMU
- ENHANCED ENCLOSURE
- DRIVE THRU SCREEN WALL

## 4.5.2 COMMERCIAL WALLS AND SCREEN CHARACTER

Walls and screens shall complement adjacent buildings and overall development. The walls and screens walls shall be constructed of a stacked or staggered CMU block as outlined in the images below. The maximum length of continuous, unbroken and uninterrupted fence or wall plane adjacent to right-of-way or private streets functioning as public roads shall be forty (40) feet. Articulation shall be provided through the use of columns, landscaping pockets and/or a change to different materials.

Commercial: Site walls / screens shall be selected from the options of CMU, board form concrete, and/or metal panel / green screen painted to match the adjacent architecture.

All walls and fencing shall comply with Mesa Zoning Ordinance Section 11-30-4, particularly those situated within a required setback.

Patio railings or screening at outdoor eating areas shall be consistent with the overall architecture of the building and shopping center following the minimum standards set forth below:

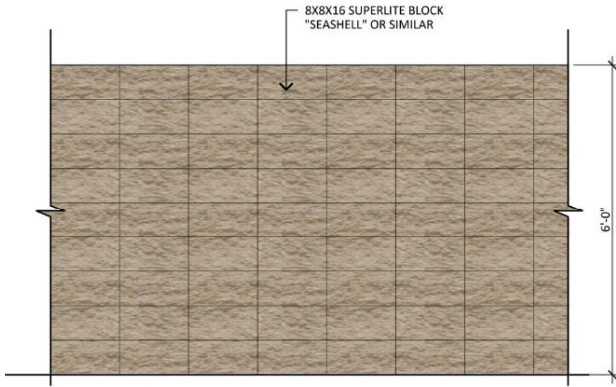
- Minimum 50% of a railing or screen shall be open air or transparent.
- Shall be composed of durable materials such as metal.
- Railings shall be at least 3'-0" height.
- Railing color shall be consistent with the approved colors in these Design Guidelines.

Parking screen walls shall meet the following requirements:

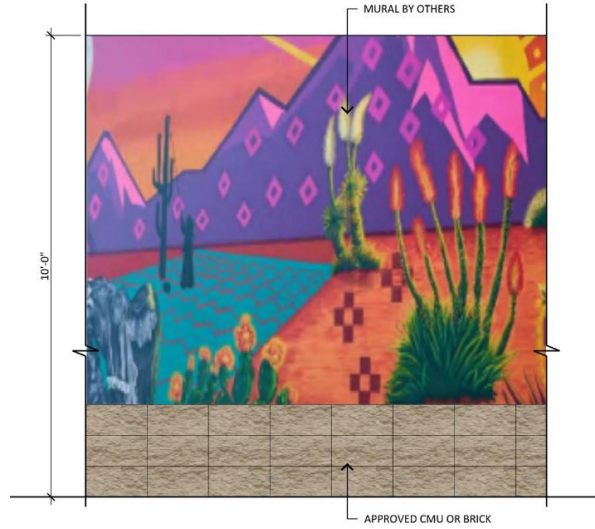
- Staggered CMU block in a "Seashell" finish.
- 4" Masonry cap in the same finish.
- Be a minimum 3'-0" in height to top of masonry cap.

Drive thru screen walls shall meet the following requirements:

- Staggered CMU block in a "Seashell" finish.
- 4" Masonry cap in the same finish.
- Minimum 3'-0" to top of masonry cap.
- Provide a minimum 3'-0" in height tall metal screen with wire mesh.
- Be a minimum 6'-0" in total height.



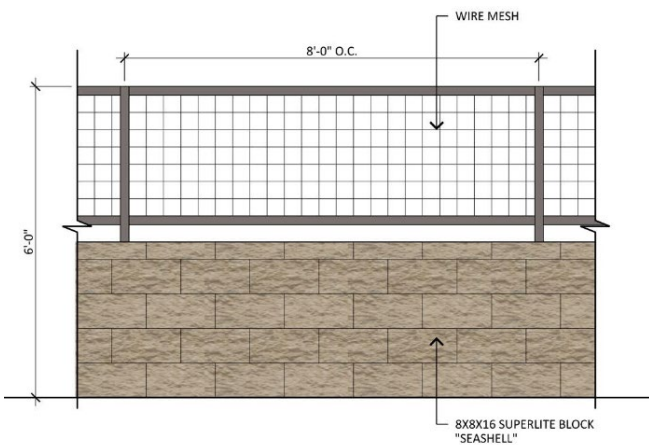
STACKED CMU WALL AT 6'-0"  
TRASH ENCLOSURES



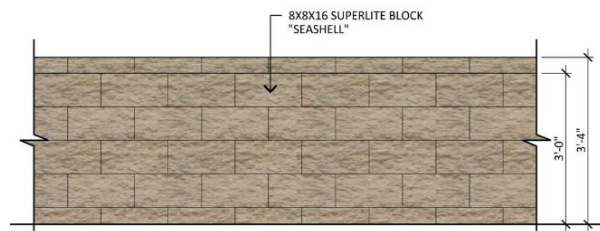
ENHANCED ENCLOSURE



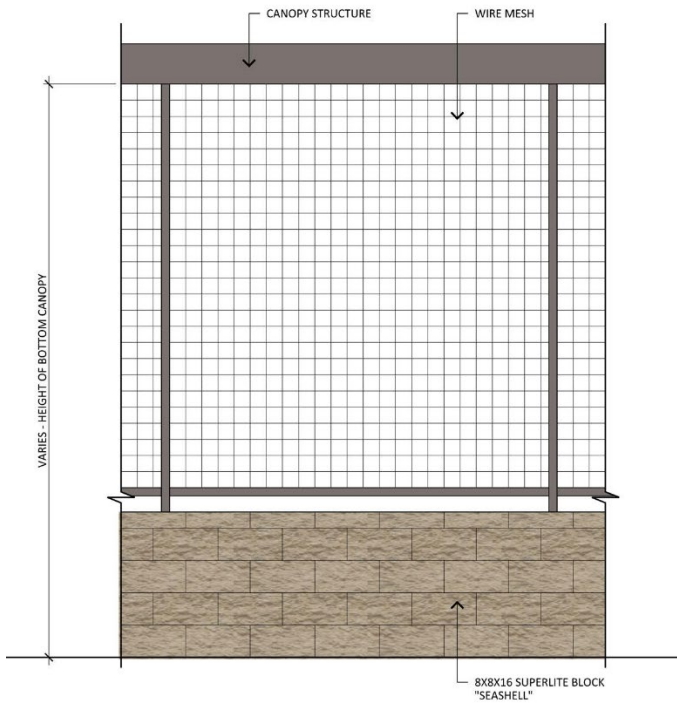
TRASH ENCLOSURE GATE



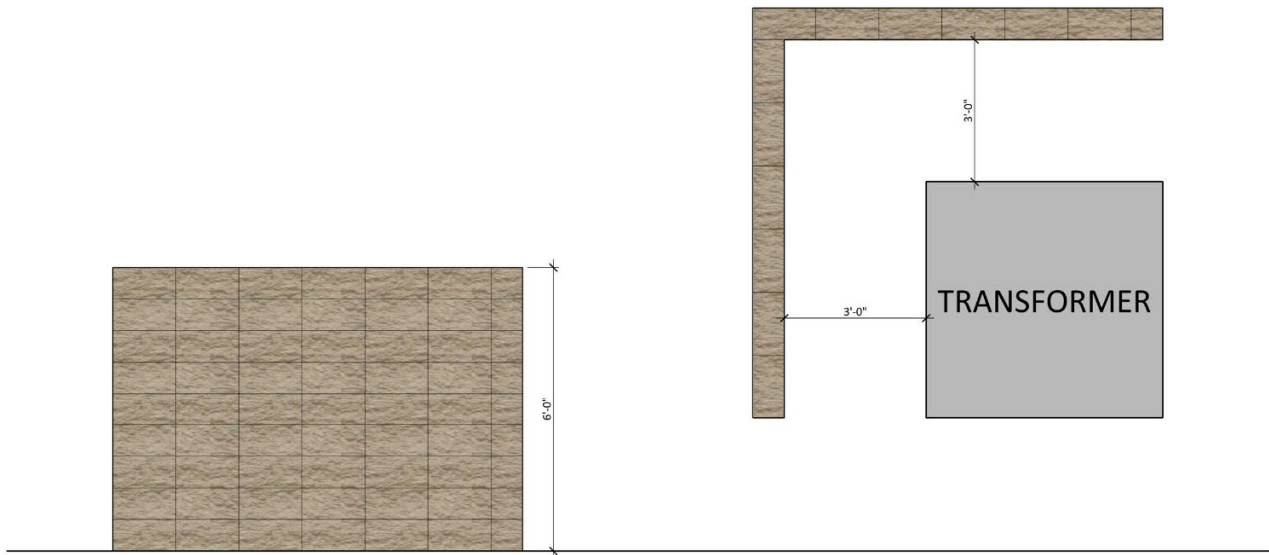
DRIVE THRU LANE SCREEN WALL



STACKED CMU WALL AT 3'-0"  
HEIGHT WITH CMU CAP



**INTEGRATED CANOPY  
SCREEN WALL**



**STACKED CMU WALL AT 6'-0"  
TRANSFORMER SCREEN**

**CMU SCREEN AT TRANSFORMER**

Monument signage at the Hampton and Southern intersection and the primary intersection on-site along Hampton near Restaurant Galley are to be reviewed and approved through the City of Mesa in a separate signage review process.

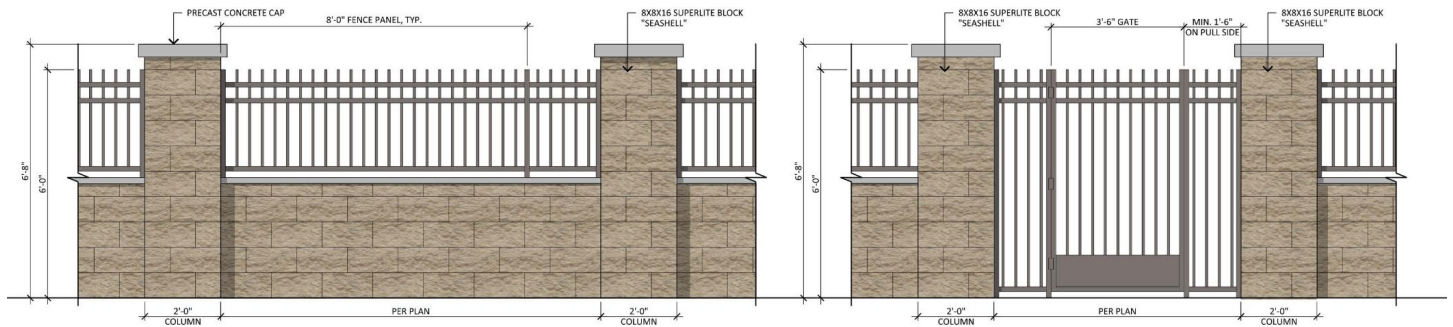


(images are for illustrative purposes only)

### 4.5.3 RESIDENTIAL WALL AND SCREEN TYPES

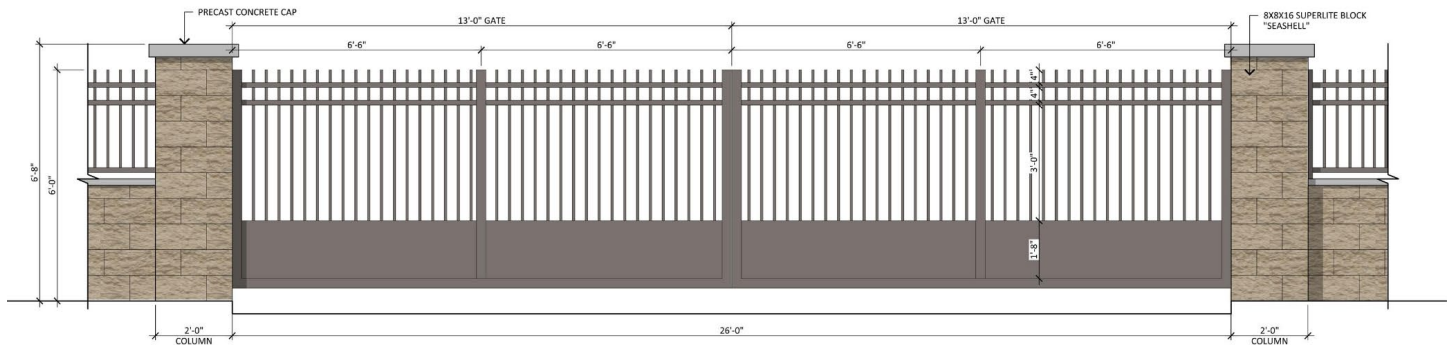
The maximum length of continuous, unbroken and uninterrupted fence or wall plane adjacent to right-of-way or private streets functioning as public roads shall be forty (40) feet. Articulation shall be provided through the use of columns, landscaping pockets and/or a change to different materials.

Multifamily: Site walls / screens shall be a combination of CMU, metal picket fence, and/or metal panel painted to match the adjacent architecture.

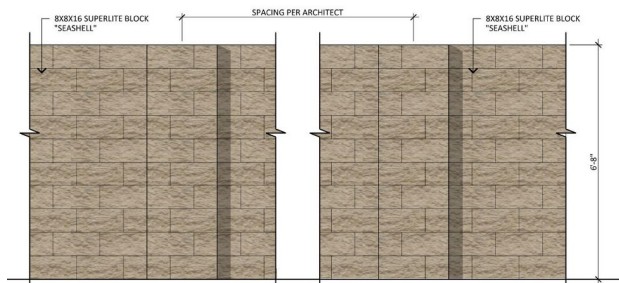


VIEW FENCE  
(FENCE OVER CMU)

PEDESTRIAN GATE



VEHICULAR GATE



PERIMETER CMU WALL AT 8'-0" HEIGHT  
WITH 2'-0" WIDE PIERS PER ARCHITECT