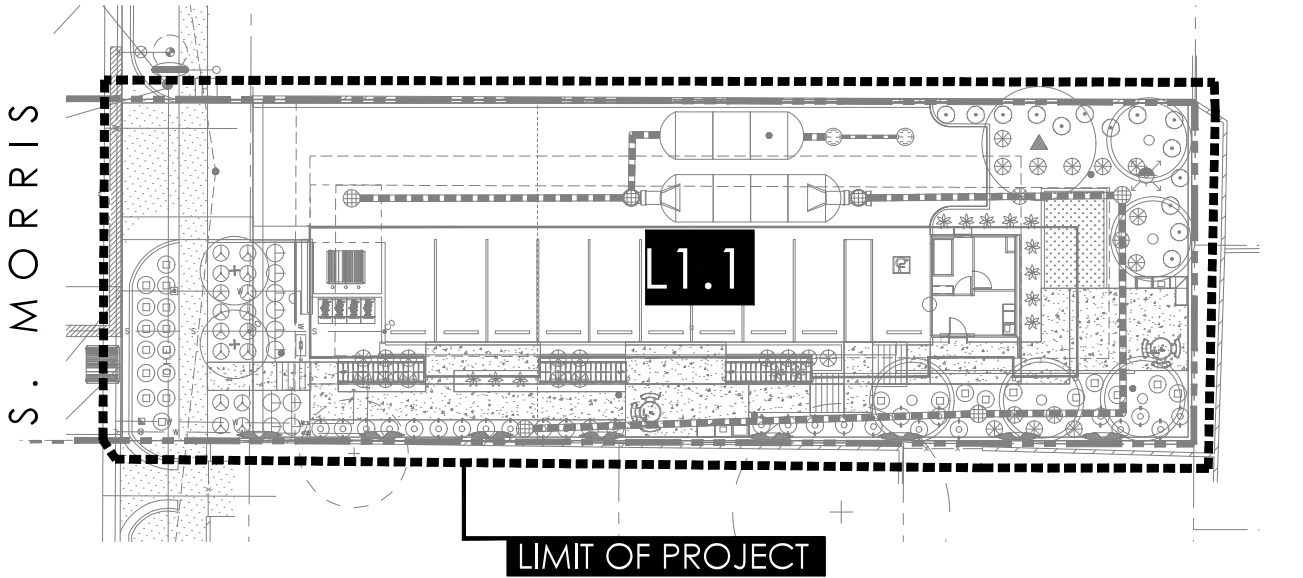


143 MORRIS RESIDENTIAL

MESA | AZ | 85210

GENERAL NOTES :

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE TOP DRESSING. ALL GRANITE IS TO BE 2" DEPTH, COLOR AS SPECIFIED, TYP.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CONFORMING TO LOCAL AGENCY'S APPROVED PLANT LIST.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE. ONE WEEK MINIMUM NOTICE.
- LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT START-UP.
- REFER TO PLANTING DETAILS. BACKFILL: NATIVE SOILS FREE OF CONTAMINATION AND ROCKS OVER 3 INCHES IN DIAMETER.
- COMPLETE ALL TRENCHING, LANDSCAPE GRADING, BERMING AND SWALES PRIOR TO START OF PLANTING.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
- ANY PLANT MATERIAL NOT SHOWN TO REMAIN ON PLAN IS TO BE REMOVED.
- ADJUST ALL NEW LANDSCAPING AS NECESSARY TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
- QUANTITIES ON PLAN ARE PROVIDED FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT / OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- NOTE: SURFACE-FERTILIZE PLANTS AS PART OF COMMON-AREA MAINTENANCE CONTRACT.
- APPLY A SOLUTION OF "SUPERTHRIVE" COMBINED WITH LIQUID CHELATED IRON SUPPLEMENT AS PLANT IS BEING WATERED IN AT THE FOLLOWING RATES:
 - BASIC MIX: 1/4 TSP. (TEASPOON) SUPERTHRIVE AND 1 TSP. IRON SUPPLEMENT PER GAL. OF WATER.
 - TREES: APPLY 4 GALLONS OF BASIC MIX.
 - SHRUBS AND SUCCULENTS 1 GAL. AND 5 GAL.: APPLY 1 GALLON OF BASIC MIX.
 - SHRUBS AND SUCCULENTS 15 GAL.: APPLY 2 GALLONS OF BASIC MIX.
- REMOVE NURSERY PROVIDED STAKING AND TAPING FROM ALL PLANTS, IF APPLICABLE. STAKE NURSERY GROWN TREES AS DETAILED.
- WATER SUPPLY MUST BE OPERATIONAL PRIOR TO PLANT INSTALLATION.
- PRUNE DEAD OR DAMAGED BRANCHES AFTER PLANTING. PRUNE TREES OF LIVING BRANCHES, ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER, AFTER PLANTING.
- BEFORE PLANTING, STAKE OR FLAG THE LOCATION OF ALL PLANTS OR PLACE CONTAINERS UP TO 15 GAL. AT LOCATIONS SHOWN ON PLAN AND ARRANGE TO HAVE THE LANDSCAPE ARCHITECT REVIEW AND APPROVE THE LOCATIONS. LANDSCAPE ARCHITECT MAY REVISE LOCATIONS ONCE BEFORE PLANTING.
- REMOVE ALL WEED GROWTH FROM AREAS TO BE LANDSCAPED. IF WEED CONTROL IS NEEDED, USE CAREFULLY APPLIED CONTACT HERBICIDE, "ROUND-UP" OR EQUAL. APPLY BY HAND SPRAYER TO AVOID DAMAGE TO NEW PLANTS.
- ALL BOULDERS ARE TO BE GRANITE 'SURFACE SELECT', SIZE PER PLAN. ALL BOULDERS ARE TO BE BURIED 1/3 IN SOIL.
- ALL SWALE CHANNELS ARE TO HAVE 6" - 8" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3'x3, 3" - 6" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- ALL TURF IS TO BE 'MID-IRON' HYBRID VARIETY.
- ALL HEADER IS TO BE CAST IN PLACE CONCRETE. COLOR TO BE SELECTED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE HEADER INSTALLATION WITH GRADING CONTRACTOR. ANY LOCATIONS WHERE RIP-RAP SWALES ARE ADJACENT TO TURF AREAS, HEADER IS TO HAVE A DRAINAGE OUTLET (TURN-DOWN) FOR THE WIDTH OF THE RIP RAP AREA, TYP.
- CONTRACTOR TO ENSURE THAT SLEEVEING FOR IRRIGATION GOES UNDER EVERY DRIVEWAY (INCLUDING 2-LOTS).
- ALL LANDSCAPING AND STRUCTURES CONSTRUCTED FROM THIS PLAN HAVE BEEN DESIGNED WITHIN STANDARD CITY REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER / HOA TO MAKE NECESSARY REPAIRS DUE TO VANDALISM / THEFT / OR NEGLIGENCE. DEVELOPER / HOA DOES NOT HOLD (YOUNG DESIGN GROUP, LLC) RESPONSIBLE FOR ANY DAMAGES INCURRED AS SUCH.
- JUTE NETTING TO BE INSTALLED ON ALL SLOPES GREATER THAN 4:1 WITH 100% LIVE PLANT COVER.
- WARRANTY ALL PLANT MATERIAL TO BE IN HEALTHY GROWTH FOR THE PERIODS OF: TREES: 365 DAYS SHRUBS, VINES AND GROUNDCOVERS: 90 DAYS, STARTING AT DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL NOT SHOWING HEALTHY GROWTH WITHIN 10 WORKING DAYS OF NOTIFICATION BY OWNER.
- YDG DOES NOT WARRANT AVAILABILITY OF SPECIES OR SIZES OF PLANTS LISTED. "AVAILABLE" SHALL MEAN AVAILABLE IN A WHOLESALE NURSERY IN ARIZONA OR CALIFORNIA. NOTIFY OWNER AND YDG OF NON-AVAILABILITY FOR ISSUANCE OF SUBSTITUTION BY YDG.
- CITY APPROVAL OF THESE PLANS SHALL SIGNIFY AND CONFIRM OWNER'S CAREFUL REVIEW AND APPROVAL OF THESE PLANS, INCLUDING PLANT SPECIES AND SIZES LISTED. OWNER SHALL OBTAIN UNIT PLANT COSTS, INSTALLED & GUARANTEED.
- TYPICAL MINIMUM SETBACKS FROM EDGE OF WALKS, DRIVES AND BUILDINGS: TREES: 6 FT.; SHRUBS: 3 FT.; GROUNDCOVER: 2 FT. (UNLESS NOTED OTHERWISE IN GEOTECH / SOILS REPORT WHICH SHALL GOVERN IN LIEU OF SETBACKS RECOMMENDED HEREIN / CONTRACTOR TO ADJUST OR ELIMINATE PLANTS TO COMPLY WITH GEOTECH RECOMMENDATIONS AS NEEDED)
- AREAS IN SIGHT TRIANGLES SHALL HAVE NO OBSTRUCTION GREATER THAN 2 FT. HT. AND TREES SHALL HAVE CANOPY HIGHER THAN 7 FT. AT TIME OF PLANTING.
- NOTE THAT NURSERY-GROWN TREES MUST HAVE TRUNK DIAMETER IN PROPORTION TO HEIGHT, AND THAT CONTRACTOR MUST INSPECT EACH TREE FOR ROOT-BINDING AND OTHER GROWTH DEFECTS, AND REMOVE DEFECTIVE PLANTS FROM THE SITE.
- TREES TO MEET LOCAL JURISDICTIONS ZONING SIZE REQUIREMENTS AT THE TIME OF PLANTING. TREES THAT DO NOT MEET MIN. REQUIREMENTS SHALL BE REPLACED IN KIND WITH TREE THAT MEETS REQUIREMENTS.
- ANY DISTURBED AREAS AREAS NOT INITIALLY BUILT UPON WILL NEED A COUNTY / CITY APPROVED DUST CONTROL MATERIAL INSTALLED.
- TREES THAT ARE PLANTED AS 24" BOX MUST HAVE 2" CALIPER AFTER FIRST YEAR OF GROWTH.



OVERALL SITE PLAN

NOT TO SCALE

CITY OF MESA NOTES

- REQUIRED TREES SHALL BE A MINIMUM SIZE AS SPECIFIED IN THE ARIZONA NURSERY ASSOCIATION "RECOMMENDED TREE SPECIFICATIONS" LATEST EDITION 11-33-2(B)
- ALL LANDSCAPE MATERIAL INSTALLED SHALL BE MAINTAINED BY OWNER / LESSEE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. 11-33-2(I)
- UPON COMPLETION OF LANDSCAPE IMPROVEMENTS, MAINTENANCE CONTRACTOR IS TO PROVIDE A "NATURAL" MAINTENANCE PROGRAM TO ALL NORTH AND WEST PERIMETER LANDSCAPE AREAS INCLUDING LANDSCAPE BUFFER AREAS. ALL INTERIOR COURTYARD AND MAIN DRIVE AND FRONTAGE LANDSCAPE AREAS ARE TO BE MAINTAINED IN A "FORMAL" MANNER. ALL AREAS ARE TO BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES OF THE LANDSCAPE INDUSTRY. 11-33-2(I)4
- ALL TREES AND SHRUBS LOCATED IN THE LINE-OF-SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3'-7' AND SHOW LINE OF SIGHT ON LANDSCAPE PLAN.
- REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY AND USE, STRUCTURE, VEHICLE OR FEATURE NOT A PART OF THE LANDSCAPING DESIGN. 11-33-2(A)
- BACKFLOW PREVENTERS 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE MATERIAL LOCATED WITHIN A 6' RADIUS OF THE BACKFLOW PREVENTERS. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET AND PAINTED GREEN. (THE POLICE DEPARTMENT'S CRIME PREVENTION DIVISION HAS REQUESTED THE CHANGE TO GREEN TO DISCOURAGE THEFT.) [PAGE 30]

GRADING GENERAL NOTES

- THESE PLANS ARE NOT A REFERENCE FOR ANY TYPE OF SITE DRAINAGE INCLUDING STORMWATER RUNOFF FROM BUILDING ROOFS OR DOWNSPOUTS AND LANDSCAPE AREAS ADJACENT TO BUILDINGS. SEE CIVIL / ARCHITECTURAL PLANS FOR MORE INFORMATION.
- CONTRACTOR SHALL FINISH GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND MAINTAIN AND / OR CREATE DRAINAGE SPECIFIED ON THE PROJECT CIVIL ENGINEERS CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL KEEP DRAINAGE WAYS AND NATURAL FLOW CHANNELS SPECIFIED FREE FROM OBSTRUCTIONS THAT MAY IMPAIR FLOW.
- CONTRACTOR IS REQUIRED TO REMOVE ANY SPOILS EXCAVATED FOR IRRIGATION, UNDERGROUND UTILITIES, ETC, THAT MAY AFFECT DRAINAGE AS DESIGNED BY CIVIL ENGINEER.
- AESTHETIC FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT. ALL GRADING SHALL BE APPROVED BY OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO PLANTING.
- FINISH GRADE OF ALL PLANTING AREAS (DG) IS TO BE 1" BELOW ADJACENT HARDSCAPE UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO REFERENCE GEOTECH / SOILS REPORT FOR ADDITIONAL INFORMATION REGARDING DRAINAGE AND / OR SOILS CONDITIONS THAT MAY AFFECT CONSTRUCTION OF LANDSCAPE IMPROVEMENTS.
- CONTRACTOR IS TO REFERENCE GEOTECH / SOILS REPORT FOR ANY RECOMMENDATIONS OR REQUIREMENTS FOR LOCATIONS OF PLANT MATERIALS OR IRRIGATION COMPONENTS IN RELATION TO BUILDINGS OR STRUCTURES. RECOMMENDATIONS IN GEOTECH / SOILS REPORT SHALL SUPERCEDE ANY INFORMATION AS WRITTEN IN THESE PLANS.
- CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE IF ANY CONDITIONS IN FIELD DEViate OR CONFLICT WITH CIVIL ENGINEER'S SITE GRADING PLANS.

MAINTENANCE NOTES

UPON COMPLETION OF LANDSCAPE IMPROVEMENTS, MAINTENANCE CONTRACTOR IS TO PROVIDE A "NATURAL" MAINTENANCE PROGRAM TO ALL PERIMETER LANDSCAPE AREAS INCLUDING STREET FRONTAGES AND FOUNDATION PLANTERS. ALL INTERIOR COURTYARD LANDSCAPE AREAS ARE TO BE MAINTAINED IN A "FORMAL" MANNER. ALL AREAS ARE TO BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES OF THE LANDSCAPE INDUSTRY.

NATIVE PLANT INFORMATION

THERE IS NO EXISTING VEGETATION ON SITE FOR SALVAGE.

LANDSCAPE COVERAGE CALCULATIONS

SITE L/S AREA	REQUIRED COVERAGE	PROVIDED COVERAGE	COMPLIES
ALL L/S AREAS	50% COVERAGE (+/-) 3,181 S.F. = 1,590 S.F. REQ'D	(+/-) 2,858 S.F.	YES

LANDSCAPE CALCULATIONS

LOCATION	REQUIRED TREES / SHRUBS	PROVIDED TREES / SHRUBS	COMPLIES
S. MORRIS FRONTAGE	1 TREE + 6 SHRUBS / 25' L.F. (+/-) 34' = 1.5 TREES / 9 SHRUBS	2 TREES / 20 SHRUBS	*YES
PARKING ISLANDS	1 TREE + 3 SHRUBS / ISLAND (NO ISLANDS REQUIRED)	N/A (ALL PARKING IS COVERED UNDER BUILDING)	N/A
PERIMETER LANDSCAPING (NON-SINGLE RESIDENCE USE ADJACENT TO NON-SINGLE RESIDENCE)	3 TREES + 20 SHRUBS / 100' L.F. (+/-) 389 L.F. = 11.67 TREES / 77.8 SHRUBS	6 TREES / 78 SHRUBS (SITE CONSTRAINTS DOES NOT ALLOW FOR PERIMETER TREES AT ALL SIDES / INCLUDES FOUNDATION BASE TREE QTY - 1)	**NO
FOUNDATION BASE	1 TREES + 3 SHRUBS / 50' L.F. (+/-) 20 L.F. = 0.4 TREES / 1.2 SHRUBS	1 TREES / 13 SHRUBS (FOUNDATION BASE IS STAGGERED DUE TO SITE)	**YES

*FRONTAGE AREA TREES HAVE BEEN LIMITED TO (QTY-2) TREES DUE TO OVERHEAD ELECTRIC UTILITY LINES. OFFSET OF 15' HAS BEEN PROVIDED TO AVOID CONFLICT.

**UNIQUE SITE CONDITIONS / PLANTING CONDITIONS HAVE BEEN COORDINATED WITH CITY STAFF AND ARE ACCEPTABLE IF NON-COMPLYING

NOTE: ALL TREE SPECIFIED ON PLANS ARE MINIMUM 36" BOX SIZE AND EXCEED CITY OF MESA MINIMUMS FOR BOX SIZE QUANTITIES (SEE PLANT SCHEDULE FOR SPECIES AND SIZE INFORMATION)

PRELIMINARY LANDSCAPE PLAN

PROJECT TEAM

OWNER / DEVELOPER:

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CONTACT: LUKE CROSTHWAITE
luke.crosthwaite@yahoo.com

LANDSCAPE ARCHITECT:

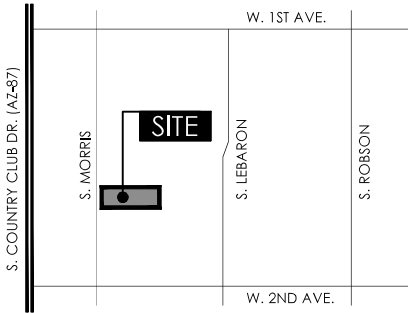
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VICINITY MAP

NOT TO SCALE



SHEET INDEX

SHEET #	PAGE #	DESCRIPTION
1	L0.1	COVER SHEET + NOTES
2	L1.1	PRELIMINARY LANDSCAPE PLAN

MISC. NOTES

- A MINIMUM OF 3' CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS WHERE NOTHING WILL BE PLANTED OR WILL GROW.
- TRANSFORMERS SHALL HAVE MINIMUM CLEAR ZONES PER UTILITY COMPANY REQUIREMENTS WHERE NO OBSTRUCTIONS SHALL BE PLACED INCLUDING PLANT MATERIAL.
- OVERHEAD ELECTRIC EXISTS ALONG WEST PERIMETER OF PROPERTY.

PLAN APPROVAL

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143 MORRIS RESIDENTIAL
MESA | AZ | 85210

DATE:	03/11/24
JOB NO:	2238
DRAWN BY:	JMY / KLH
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY	05/24/24
SITE COORD	06/17/24
CITY	10/15/24

SUBMITTED FOR:

PRELIMINARY
LANDSCAPE PLAN

SHEET NO.

L0.1

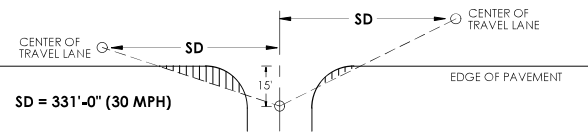
1 OF 2

TRACKING NUMBERS:



SIGHT DISTANCE CALCULATIONS

NOTE: SIGHT DISTANCE DIMENSIONS HAVE BEEN OBTAIN FROM CITY OF MESA
ENGINEERING AND DESIGN STANDARDS FOR 30 MPH WITH 2 LANES UNDIVIDED.



SHEET NO.

L1.1

2 OF 2