

Legacy Square

NWC 2ND AVE & POMEROY

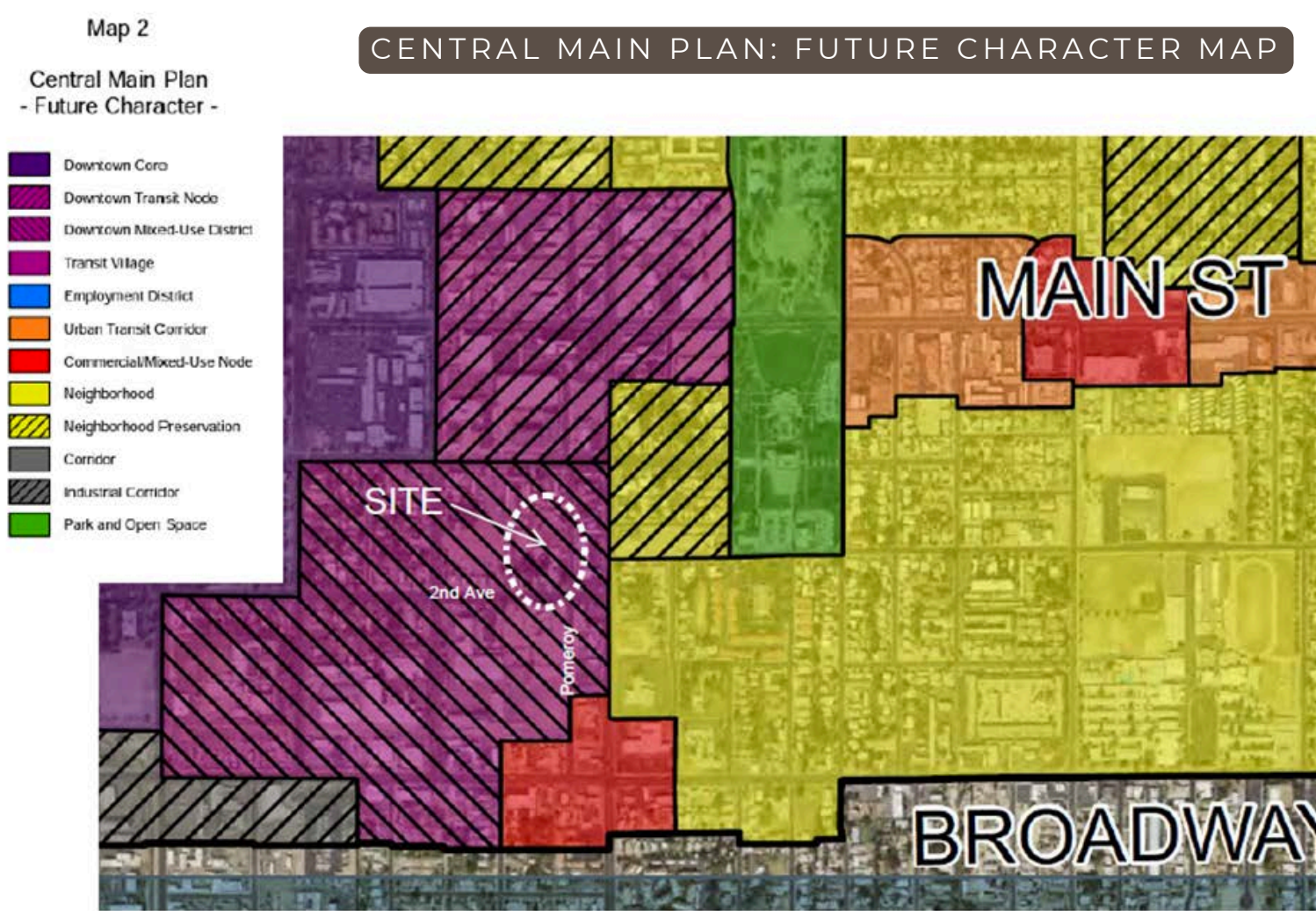
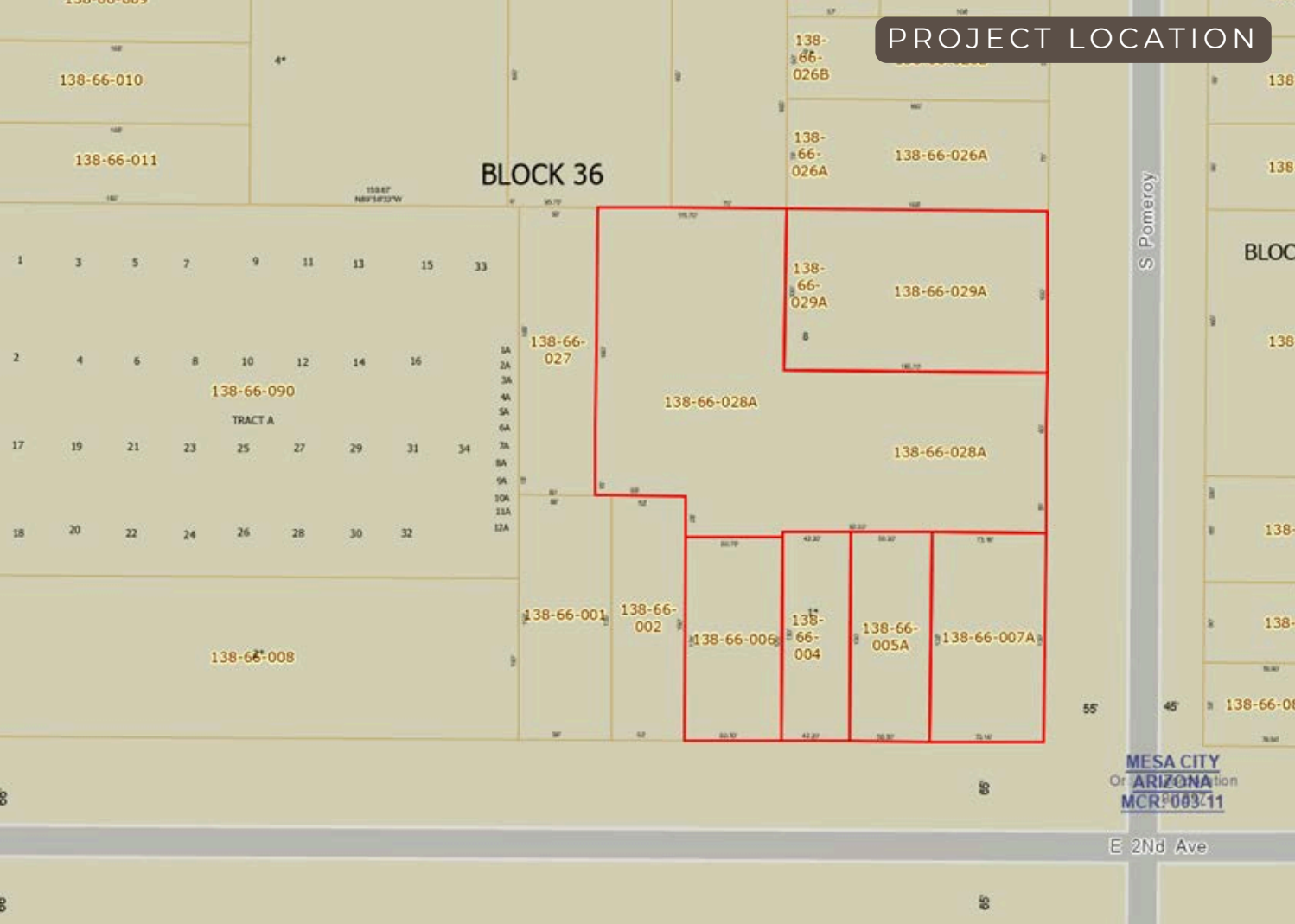


City of Mesa | Rezoning with concurrent Site Plan, Special Use Permit & Design Review

| Pre-Sub No. PRS 22-00062 | Case Nos. ZON23-00970 & DRB23-00971 | REV 5: October 22, 2024 |

Background

Westates Companies, in collaboration with Pew & Lake, PLC and Planning Outpost, LLC, is pleased to submit this formal rezoning with concurrent site plan and design review approval application for Legacy Square, a development proposal located at the northwest corner of 2nd Avenue and Pomeroy (APNs: 138-66-004, -005A, -006, 007A, 028A & -029A). Staff comments received from pre-submittal application (PRS 22-00062) and a subsequent meeting with City planning Staff were taken into consideration and revisions have been made to address the feedback received to date. Additional comments received during first review of the project have also been incorporated into the current iteration of this proposal.



The site is approximately 2.19 acres and lies in the Downtown Mixed-Use District character area of the General Plan and is also in an area delineated in the Central Main Area Plan. The site is currently zoned the Downtown Residence Districts of DR-2 and DR-3.

Development Requests

● REZONING TO DOWNTOWN CORE (DC)

This application requests a rezoning from the DR-2 and DR-3 zoning districts to the Downtown Core (DC) zoning district for the project area. The Downtown Core (DC)[1] zoning will accommodate the development of the site to be most consistent with the goals and purposes of the City's General Plan and specifically the Central Main Specific Area Plan. The Central Main Specific Area Plan addresses rezoning requests to the standard City Zoning Districts and indicates how this remains an option when such rezonings better implement the goals and purposes of the Central Main Plan.

[1]The original proposal was to opt-in to the FBC designations; however, after careful evaluation of those criteria and in joint discussions with the City Planning and Downtown Transformation Departments it was determined that retaining the Downtown Residential Districts would be a better mechanism for implementation at this time.

● CONCURRENT APPLICATIONS FOR SITE PLAN, SPECIAL USE PERMIT & DESIGN REVIEW

As the rezoning request is inextricably tied to both site plan and architectural design review criteria this application includes the concurrent requests for site plan, special use permit and design review approvals.

General Plan Consistency

● TRANSFORMATIVE AREA

The property has been identified as being in a transformative area encouraging development that is more pedestrian-friendly and in a mixed-use development pattern. In addition, characteristics of a walkable urban environment with minimum (*versus maximum*) residential densities are also encouraged.

● CENTRAL MAIN PLAN GOALS MET

Such goals of the Central Main specific area plan that are met are with the Mesa Legacy Square project is that of providing high-quality and diverse housing stock that will indeed meet the wide range of lifestyles and incomes of city residents. Another goal achieved is building a cohesive neighborhood—the site is currently underdeveloped, and the construction of this site will provide vibrance to this pocket of the neighborhood. Furthermore, it is at a location that offers multi-modal transportation all within walking distance.

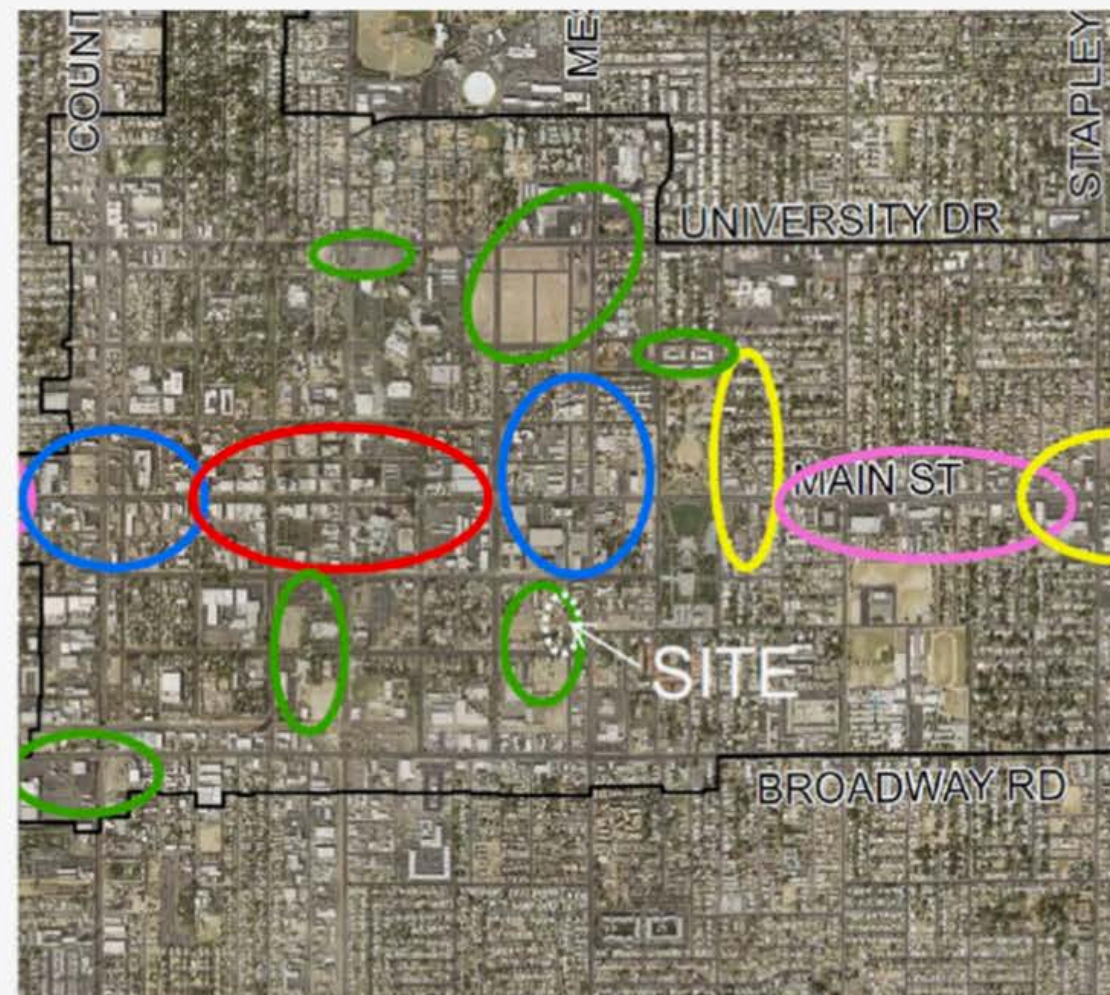
Central Main Plan: Intensity Levels

CENTRAL MAIN PLAN: INTENSITY LEVELS

Map A-2
Central Main Plan
- Relative Intensity Levels -

*Individual Site Intensities May Vary

	1 - 3 Stories 25 - 60% Lot Coverage
	2 - 3 Stories 40 - 70% Lot Coverage
	3 - 4 Stories 50 - 80% Lot Coverage
	4 - 5 Stories 60 - 90% Lot Coverage
	6+ Stories 80 - 100% Lot Coverage



As was also previously discussed, in addition to meeting the goals of the General Plan, the Central Main Specific Area Plan are also further implemented, including offering the desirable transition between intensities throughout the area plan.

The proposed density and height of Legacy Square is consistent with the Central Main Area Plan relative intensity target goals. The proposal consists of four stories, and will provide a transition from the more intensely anticipated development that will be occurring directly north of the property of buildings that are up to 5 stories high. Legacy Square lies in an intensity area of 3-4 stories, directly south of a more intense area of 4-5 stories as shown in the Central Main Plan exhibit.

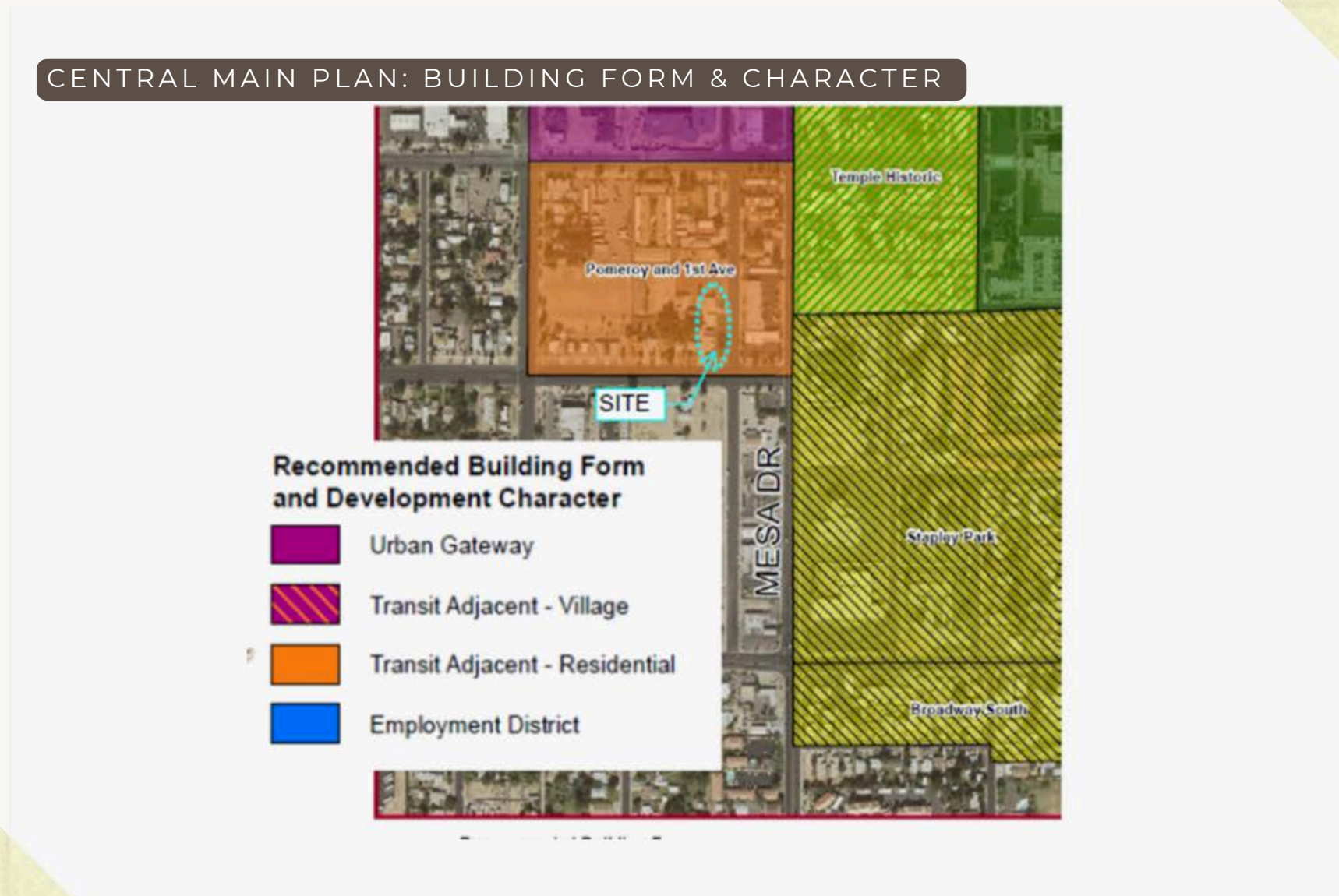
Central Main Plan: Building Form

The Transit Adjacent Residential Character Area of the Pomeroy & 1st Neighborhood encourages urban development form of low to mid-rise residential up to 85 feet in the Downtown Area. Buildings are brought closer to the public realm with minimum setbacks and mixed-use developments are intended to support the more intense adjacent developments. For these reasons the Downtown Core Zone is being sought, because the implementation for these General Plan goals, and this particular area of the Central Main Plan are better suited than what is otherwise possible under any other zoning districts.

The site is located within a 1/2 mile of both light rail and existing bus stops. Several site design criteria are met regarding parking and location in terms of existing utility, transportation and community services are present, available and have capacity.

Legacy Square consists of superior architecture with different elevations on each side of the building, varied roof pitches and heights, decorative columns and high-quality building materials.

An element that has been requested by the City from pre-submittal review through to formal application has been to accommodate the location of possible future commercial uses in the bottom floor. Legacy Square's design has incorporated this requirement and the bottom floor will have the higher ceilings necessary for commercial occupancy. These higher ceilings also would accommodate live/work units.



Zoning Compliance: DC Zone

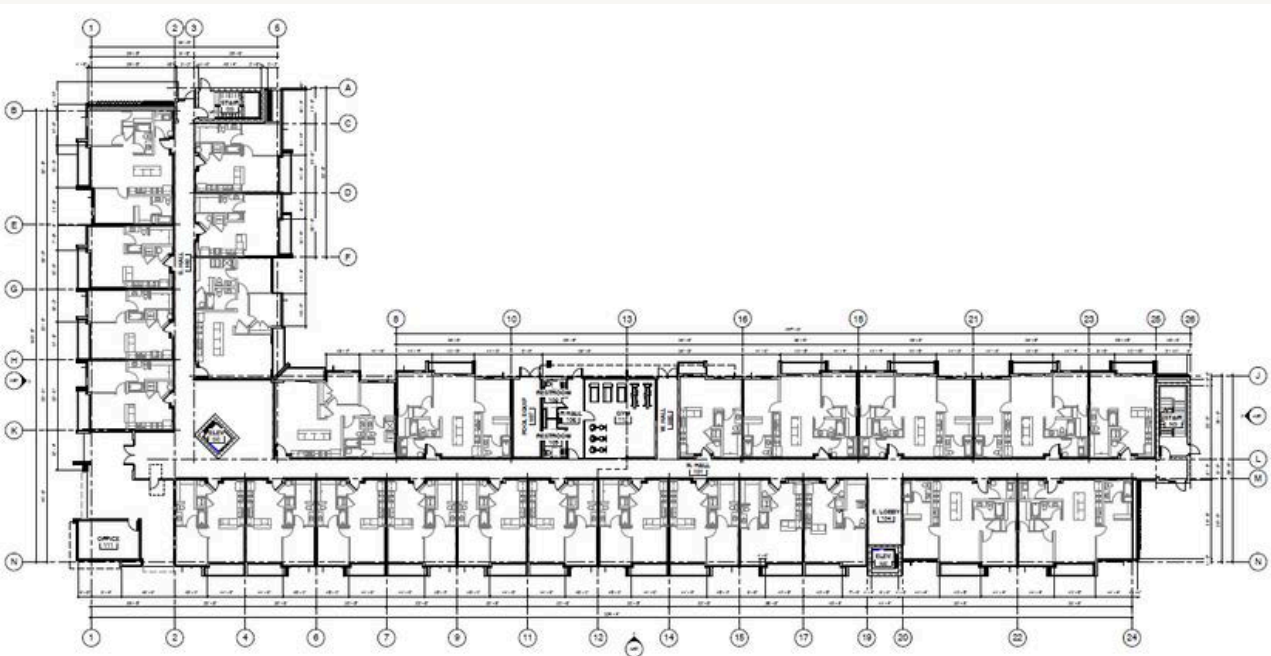


The site is currently zoned DR-3 and DR-2. This rezoning request will facilitate somewhat of a “housekeeping” item, as the property already has two zoning designations of DR-2 and DR-3 across the different parcels and a rezoning to DC will provide a consistent zoning district for the entire site.

Were it not for the consideration and collective efforts of the property owner in assembling of parcels, this property would be left underutilized and bypassed in an area that could otherwise continue being developed consistent with the City’s Central Main Street vision. Most importantly, rezoning to DC is consistent with the purpose and intent of this zone in facilitating the redevelopment of under-utilized and bypassed properties in Mesa’s downtown.

City of Mesa Zoning Ordinance states: “The purpose of the Downtown Core District is to encourage the highest intensity of land uses to be developed, redeveloped and maintained within the Downtown. It is also the purpose of the DC District to provide incentives for the development or redevelopment of under-utilized and bypassed properties within Downtown and to promote the development of a vital, vibrant activity area.”

Development Proposal



Mesa Legacy Square proposes a multi-family development with 110 units ranging in size from studio to 3-bedroom apartments. The building is four stories in height, wrapped around a courtyard with both outdoor and indoor amenities. A community pool and ramada are nestled in the center of the courtyard. The first floor of the building will be constructed (with the higher ceiling heights), such that the bottom floor could accommodate future commercial businesses.

Each apartment home has a private patio, while the entrance and access to the homes are interior and more centrally located near the amenities and at either end of the building. The building is surrounded by lush landscaping, including a significant number of trees, the development provides on-surface parking, and there are two entrances to the site from the adjacent streets of 2nd Ave and Pomeroy.

Landscape Standards

The following table demonstrates Legacy Square meets the minimum landscape standards required in the DC Zone.

DC Zone Landscape	PROPOSED	REQUIRED
Perimeter Landscaping Collector Streets (60-80' ROW) 4 trees and 16 shrubs/100' LF	Pomeroy: 19 trees/139 shrubs 2 nd Ave: 12 trees/69 shrubs	Pomeroy: 16 trees/64 shrubs 2 nd Ave: 9 trees/36 shrubs
50% Shade Provide shade for at least 50% of s/w along street frontages	Pomeroy: 319 LF of shade 2 nd Ave: 143 LF of shade	Pomeroy: Min. 200 LF shade 2 nd Ave: Min.112 LF shade
Minimum Plant Sizing* Trees: Min 25% are 36-inch & Min 50% are 24-inch box Shrubs: Min 50% are 5-gallon size	36"-box Trees: >21 24"-box Trees: >41 5-gal Shrubs: >229	36"-box Trees: 21 of 82 24"-box Trees: 41 of 82 5-gal Shrubs: 229 of 458

*Ten percent of the required trees being 36"-box size for interior parking lot and foundation base is also met



Special Use Permit (SUP)

REDUCTIONS IN PARKING

City of Mesa Zoning Ordinance Section 11-32-A establishes the following criteria for reduced parking:

- 1) Special conditions—including but not limited to the nature of the proposed operation; proximity to frequent transit service*; transportation characteristics of persons residing, working, or visiting the site—exist that will reduce parking demand at the site;
- 2) The use will adequately be served by the proposed parking; and
- 3) Parking demand generated by the project will not exceed the capacity of or have a detrimental impact on the supply of on-street parking in the surrounding area.

*Section 11-32-7 Alternative Compliance with Minimum Parking Requirements has provisions for up to a 33% reduction.

- A special condition does exist with the proximity and frequency of transit service to the development which will reduce the parking demand at the site.
 - Proximity and frequency of transit service specifically meets the Alternative Compliance with Minimum Parking Requirements provisions.
- The development will be adequately served. The ratio of 1.2
 - 122 on-site parking stalls provided/minimum 113 on-site required
 - 33 on-street parking stalls provided/minimum of 25 stalls required
- Parking demand does not exceed capacity or have detrimental impact on the supply of on-street parking because the development itself is creating additional on-street parking that would not otherwise exist.
 - 33 additional on-street parking stalls are being provided where a minimum of 25 stalls would be required.

REDUCTION IN PARKING REQUEST

The request is not a reduction in parking, but the location of required parking, because the following conditions will exist:

- A TOTAL of 147 stalls are required, and a TOTAL of 155 stalls are being provided.
- 122 on-site parking stalls provided, where 132 stalls would have been required
- 33 street parking stalls provided, where none (zero) would have been required.
- Alternative Compliance standards of 11-32-7 are met
- Calculations for On-Street Parking Credit of 11-32-3 are met

Section 11-70-5 SUP Required Findings can also be met in their entirety, as listed below:

- The proposed project advances the goals and objectives of and is consistent with the policies of the General Plan and the City's Central Main Special Area Plan.
- The location, size, design, and operating characteristics of the proposed project are consistent with the purposes of the Downtown Core Zoning District and Transformative Area.
- The proposed project will not be injurious or detrimental to the adjacent or surrounding properties in the area, nor will the proposed project or improvements be injurious or detrimental to the neighborhood or to the general welfare of the City; and
- Adequate public services, public facilities and public infrastructure are available to serve the proposed project.

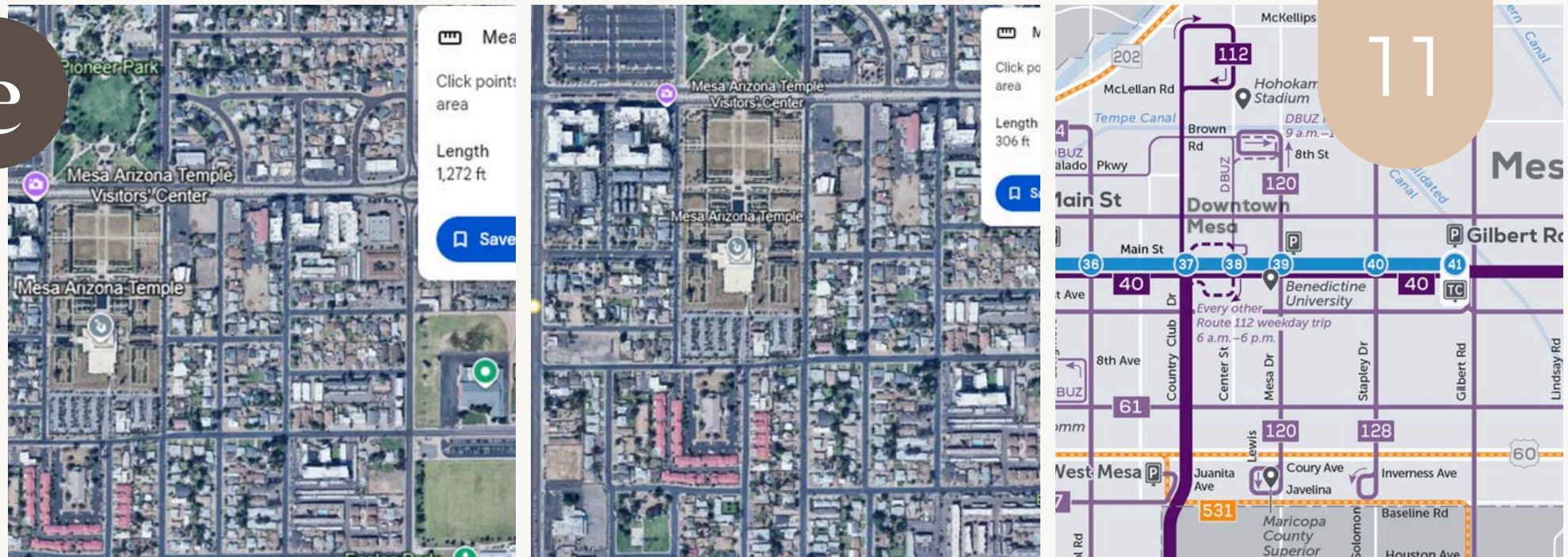
SUP: Alternative Compliance

ALTERNATIVE COMPLIANCE WITH MINIMUM PARKING

Section II-32-7 The Zoning Administrator is authorized to approve alternative compliance parking permits for Transit Accessibility . The Zoning Administrator may authorize up to a 33 percent (total) reduction in parking ratios for uses located within 1320-feet (1/4 mile) of a BRT or light rail stop with 30-minute or more frequent service during the hours of 7:00 a.m. to 9:00 a.m. and 5:00 p.m. to 7:00 p.m. The basis point for determining the reduction shall be the aggregate number of parking spaces for the total development required before any reductions have been applied.

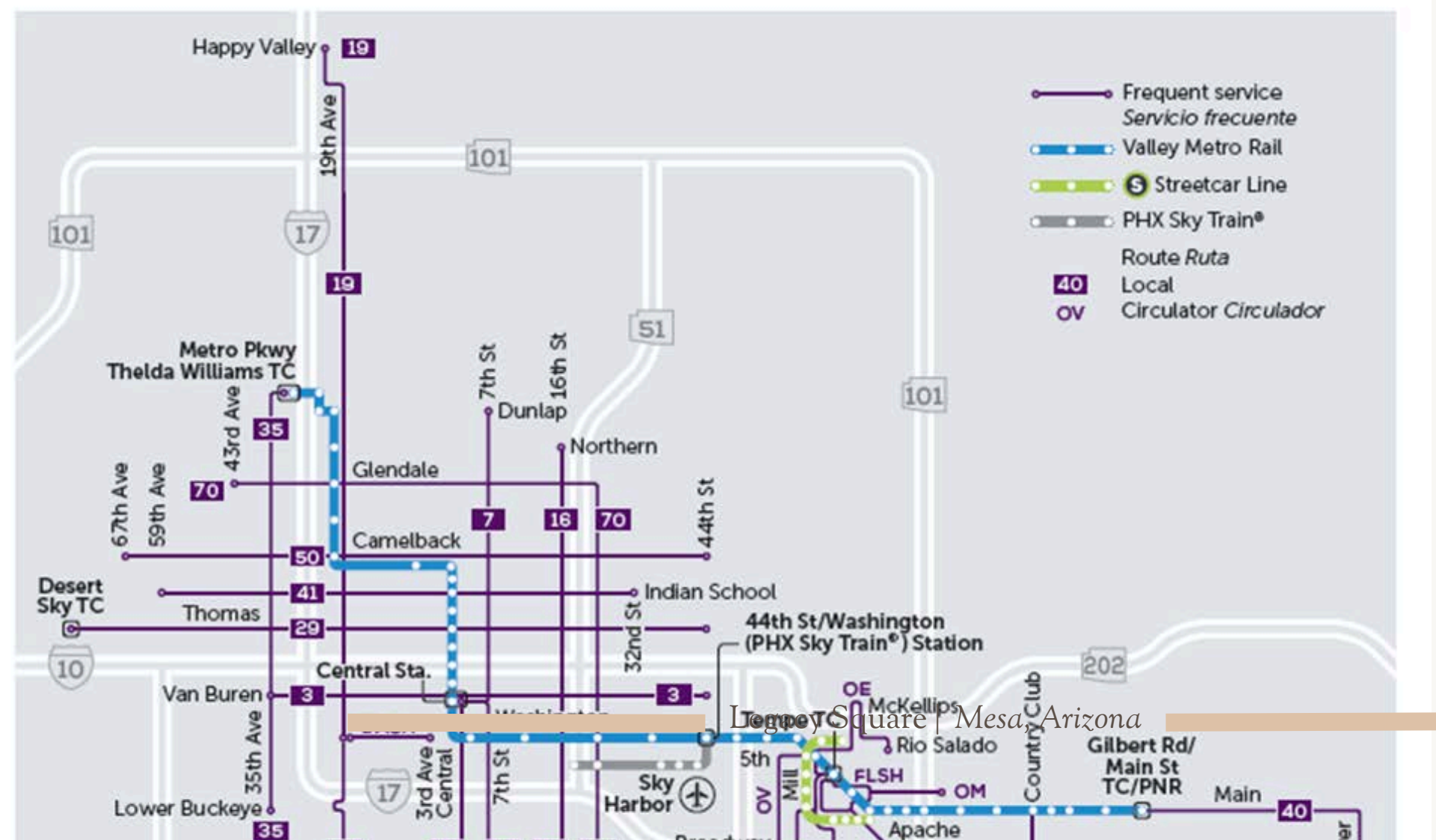
***The site is located within 1/4-mile of a light rail stop with 15-minute or more frequency through the entire day, not just peak hours.

***There is ultimately no request for reduction of parking. It is only the location of the parking, where a portion of the parking is adjacent street parking, in-lieu of on-site.



Frequent Service / Servicio frecuente

Services running every 15 mins or better from at least 6 a.m. to 6 p.m. on weekdays
 Servicios cada 15 minutos ó más frecuentemente desde por lo menos las 6 a.m. a las 6 p.m. entre semana



Site Plan & Design Review

The following exhibits are intended to demonstrate Legacy Square's further compliance with the City of Mesa's site development standards and the Quality Development Design Guidelines (QDDG) for multiple family residential projects for site design and architectural design.

Site Design

Quality Development Guidelines Analysis



1. LANDSCAPING & SHADING

Use planting to highlight significant site features and to define site use areas and circulation. Shade elements, both landscape and architectural should be provided at prominent pedestrian points such as near entries, near common open space, and along paths serving parking lots.

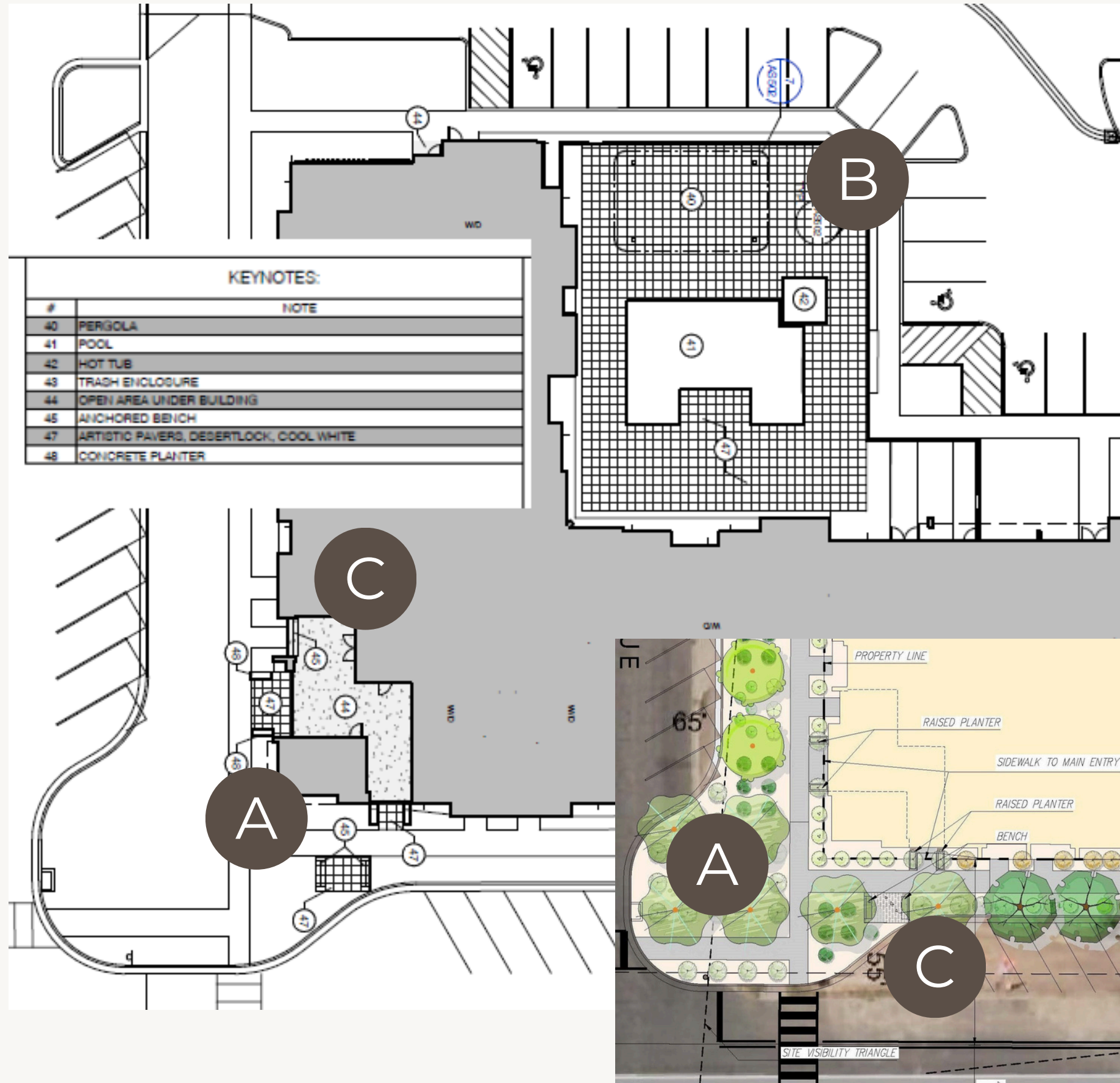
The Red Push Pistache Tree is known for its characteristic of being a significant shade tree with a large canopy. As the predominate plant material, the Pistache Tree will provide desired shade along walkways at the entrances and even throughout the parking areas. The trees planted along Pomeroy will especially provide shade for pedestrians along the western side of the building.

2. BUILDING PLACEMENT & ORIENTATION

Multiple residence buildings should maintain the minimum setback allowed along streets to better define the public realm and emphasize the overall site design as well as to help activate the streetscape and enhance the walkability of the neighborhood by reducing distances between desired destination.

The building is nestled into the corner of Pomeroy and 2nd Ave with setbacks at the property line.

Site Design



NEIGHBORHOOD CHARACTER

A Provide a sense of arrival through the use of monument signs, special landscaping, specialty pavement, architectural features, etc.

Residents will enjoy a thematic fragrance garden with predominately rosemary bushes planted in the immediate vicinity of the main entrance at the corner. Planting configuration is formalized (through symmetry) which adds to a sense of arrival to a destination.

Decorative raised planters with rosemary are located right next to the building at the main entrances also create beautiful focal points.

Both the main entries at Pomeroy & 2nd Ave are enhanced with accent artistic pavers and the public amenity seating area, with a couple of benches, is delineated with accent artistic pavers too.

B Common open space areas and amenities allow residents to gather, promoting community interaction and creating a sense of place.

An open air ramada (pergola) will provide additional shade and a desired gathering place for residents relaxing at the community pool. Accent paving especially suitable for pool side use is proposed.

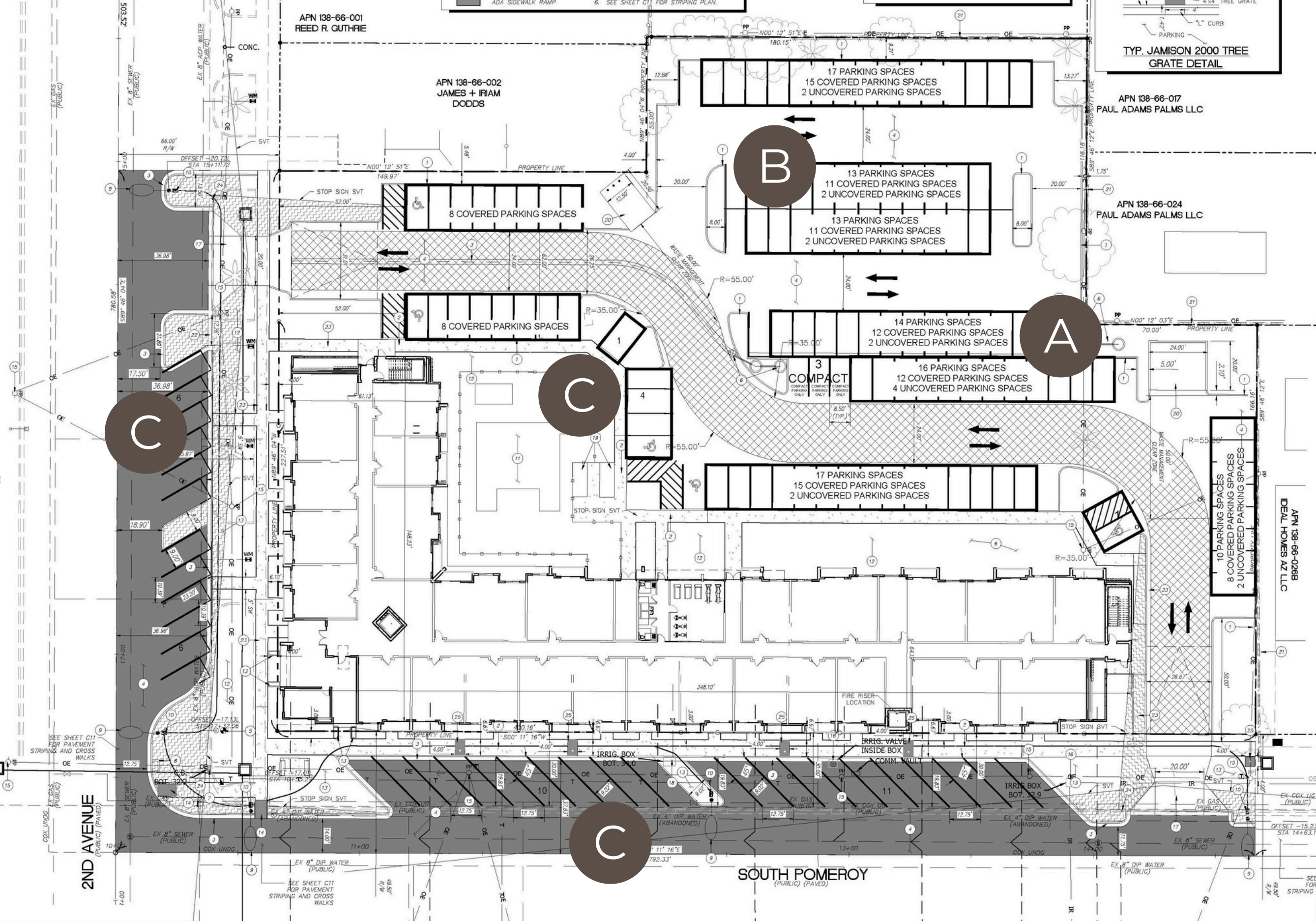
LANDSCAPING & SHADING

C Shade elements, both landscape and architectural should be provided at prominent pedestrian points such as near entries, near common open space, and along paths serving parking lots.

Large raised planters welcome residents to the main entrance. There is a covered open area (shaded entrance) at the main doors to the building which will provide relief from the elements of weather. There is also a bench provided in what will be full shade under this public patio area.

The bench seating area closer to Pomeroy Street has large Palo Verde trees that will add seasonal flower and shade to residents enjoying the outdoors.

Site Design



3. PARKING PLACEMENT

A Buildings should have the primary presence on the public street. Off-street parking areas should be located in the rear of the building(s) and away from public streets.

Legacy Square is prominently located at the intersection with all of the off-street parking tucked back behind the building.

B Carports should be designed as an integral part of the architecture of projects. They should be similar in material, color, roof materials, and details to the principal buildings of a development.

Parking canopies of colors and materials of similar materials of the main building will be installed throughout the interior parking areas.

C Guest and handicap parking should be evenly and conveniently distributed throughout multiple residence projects. Incorporate pick-up and drop-off zones that are easily accessible to riders and rideshare operators.

In addition to the generous street parking that is available (and likely used as the most convenient location for pick-up/drop-off for residents) there is also a few stalls in the interior parking near the pool and bike racks that will be used and available.

Site Design



5. NEIGHBORHOOD CHARACTER

Major intersections and corners should be treated as neighborhood/project entryways. Provide a sense of arrival through the use of monument signs, special landscaping, specialty pavement, architectural features, etc.

Legacy Square's building corner is clad in the accent materials and changes in architectural features from the other elevations. Recessed entrances with steel plate canopies accenting the entrances from both streets, large storefront windows at the leasing office, a multi-story blade sign enhances the corner of the building, and a change to a flat roof with a grounding effect as the other two planes have movement with slanted roof lines toward the corner.

6. LANDSCAPE & SHADING

Shade elements, both landscape and architectural should be provided at prominent pedestrian points such as near entries, near common open space, and along paths serving parking lots.

In addition to the shade trees along the sidewalks, and throughout the parking lot there are overhangs and seating areas for rest at the entrances.

4. BUILDING PLACEMENT & ORIENTATION

Corner units located along public streets should address both the primary street and the secondary street. Corner entrances or dual porches on front and side facades are encouraged.

Legacy Square's prime location at the intersection provides corner entrances from both Pomeroy and 2nd Ave.

Site Design



7. NEIGHBORHOOD CHARACTER

Common open space areas and amenities allow residents to gather, promoting community interaction and creating a sense of place.

The community pool will be a natural (and popular) gathering place and amenity for all residents to enjoy, as will the indoor gym located on the first floor.



8. LANDSCAPING & SHADING

Provide weather and sun protection, such as overhangs, awnings, canopies, etc. to mitigate climatic and solar conditions

The walls at the patios and the patios themselves provide much needed shade. In addition, shade devices have been added to those windows not under patios.

Architectural Design



9. PRIMARY ENTRIES

Primary entrances should be prominently indicated with a multi-story massing change and a first-story roofed design element such as a porch, awning, or portico.

First-story architectural design elements consist of steel plate canopies above the store front leasing office windows, second story balconies create pop-outs which further delineate the ground level.

10. ARTICULATION

Building façades visible from a public right-of-way, private tract, or common open space should incorporate highly accented or highly articulated openings, through the application of window trim, window recesses, cornices, changes in materials or other design elements.

The desire of this design is creating a vertical repeated monolithic feel to the façade. Dark grey color has been added between the first floor windows / sliding doors and the transoms. This visually sets the first floor apart from the rest of the floors by accentuating the difference in the fenestration but still maintain the vertical aspects of the design. Shading features have been added to the windows to protect from the sun and add depth and shadow to the windows.

11. MATERIALS

Materials and colors should be used to enhance buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms.

There are lots of changes in plane especially surrounding the patios where there are two changes in color as well. This building will have a lot of shadow play.

Architectural Design



12

12. ARTICULATION

Long expanses of windowless, blank walls are to be avoided. All building facades are to be treated aesthetically with changes in materials, colors, artwork, use of pilasters, building lines, ornamentation, and/or other aesthetic treatments; and, should utilize durable quality materials.

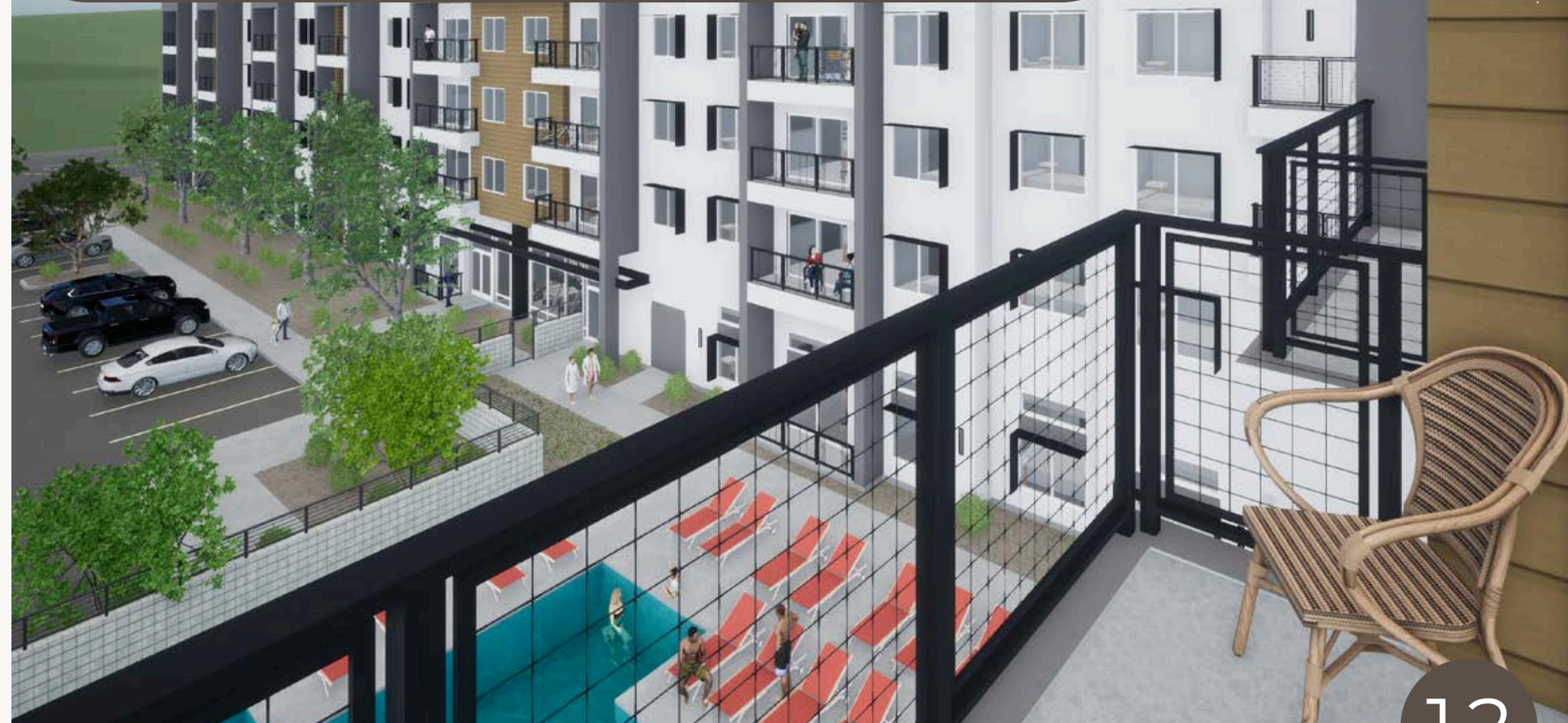
Legacy Square has been thoughtfully designed with interest created by providing pleasing form to its effective function. The long building has been broken with repeating vertical elements creating a pleasing rhythmic feel as you view the building from the street.

These vertical elements also create shading and privacy for the tenant balconies throughout the day. The addition of roofs over these elements creates addition interest and rhythm while also creating a tall enough parapet to screen all roof top equipment.

The tall vertical expanses between these elements are accentuated with contrasting color window treatments that not only create interest but also provide sun protection to these openings, helping to save on energy and providing comfort to the tenant.



Architectural Design



12



21

12. ARTICULATION

Long expanses of windowless, blank walls are to be avoided. All building facades are to be treated aesthetically with changes in materials, colors, artwork, use of pilasters, building lines, ornamentation, and/or other aesthetic treatments; and, should utilize durable quality materials.

The entrance at the front corner and the back of the building have been clad in a complimentary but unique material to visually locate the entrances from the street while also creating a grand vertical focal point at the intersection. This material is repeated subtly through the building exterior to tie everything together but not distract from the entrances.

The planters at the street corner entrance draw your attention from the streets and sidewalks guiding you into the entrance nestled under the building with subtle accents over these portals to accentuate their location. On the pool side of the building along with the accent material, a long steel trellis spanning the glazing for the amenities draws your attention to this entrance.

All vertical circulation is built from CMU block and provides visual location both from the exterior and the interior of the building while also giving a solid anchor to the ends of the buildings. The irregular windows in the stair towers create interest while also providing natural light into the corridors and stairwells.

Architectural Design



13. MATERIALS

A Material changes should occur at intersecting planes, preferably at inside corners of changing wall planes or where architectural elements intersect.

Legacy Square’s structure consists of a number of varying building materials from stucco, scored CMU block and cladding accent which are all used and incorporated into the design that creates interest and dimensions throughout the different wall planes of the building. The painted/pre-finished cladding an accent color and material that will be used not only to accentuate the corner entrance, but on the rear elevation as an accent and in the individual patios. The block towers for the stairs and elevators are also an additional accent material.

B Exterior building colors should be compatible with the surrounding neighborhood setting and should be in keeping with the geographic and climatic conditions specific to Mesa.

The selected building materials and very neutral color palette of white, gray and bronze are fully consistent with the modern and urban-style architecture and other neighborhood buildings and homes in Mesa’s Core Downtown and Central Main Plan Area.

Development Approvals

The Legacy Square team respectfully submits this formal application and look forward to working with the City on the following concurrent development requests:

- REZONING

Rezoning from the DR-2 and DR-3 zoning districts to the Downtown Core (DC) zone.

- SITE PLAN APPROVAL

The DC zone requires concurrent site plan review and approval and Special Use Permit to also include determination for on-street parking credit and/or alternative compliance with minimum parking requirements.

- DESIGN REVIEW

DC zone requires concurrent design review and approval.

Development Team

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Planning Outpost

CIVIL ENGINEER

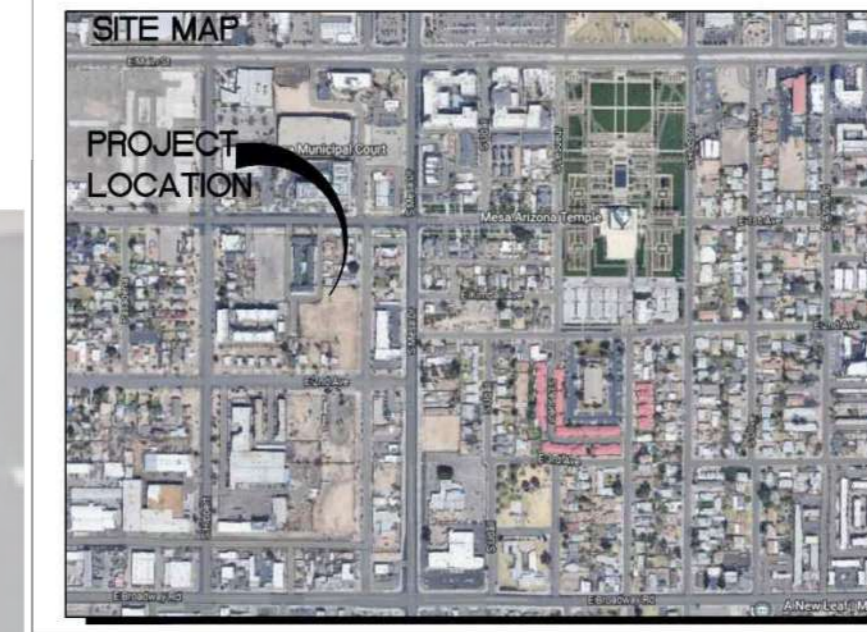
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VICINITY MAP
 NTS

VEGETATION CREDIT TABLE

TOTAL OPEN SPACE AREA	21,980 SQ.FT.
50% LIVE PLANT MATERIAL REQUIRED	10,995 SQ.FT.
LIVE PLANT MATERIAL PROVIDED	14,300 SQ.FT.
EVERGREEN TREES (CREDIT 100 SQ.FT. EA)	36 EA 3,600 SQ.FT. (36X100)
DECIDUOUS SHADE TREES (CREDIT 50 SQ.FT. EA)	43 EA 2,150 SQ.FT. (43X50)
MEDIUM SHRUBS (CREDIT 25 SQ.FT. EA)	300 EA 7,500 SQ.FT. (300X25)
SMALL SHRUBS & GROUNDCOVER (CREDIT 10 SQ.FT. EA)	105 EA 1,050 (105X10)

LANDSCAPE DATA

DC Zone Landscape	PROPOSED	REQUIRED
Perimeter Landscaping Collector Streets (60'-80' ROW) 4 trees and 16 shrubs/100' LF	Pomeroy: 12 trees/85 shrubs 2 nd AVE: 13 trees/81 shrubs	Pomeroy: 12 trees/45 shrubs 2 nd AVE: 9 trees/36 shrubs
50% Shade Provide shade for at least 50% of sidewalk along street frontages	Pomeroy: 280 LF of shade 2 nd AVE: 143 LF of shade	Pomeroy: Min. 200 LF of shade 2 nd AVE: Min. 112 LF of shade
Minimum Plant Sizing* Trees: Min. 25% are 36-inch & Min. 50% are 24-inch box Shrubs: Min. 50% are 5-gallon size	36"-box Trees: >35 24"-box Trees: >35 5-gal Shrubs: >252	36"-box Trees: 18 of 70 24"-box Trees: 35 of 70 5-gal Shrubs: 242 of 484

*Ten percent of the required trees being 36"-box size for interior parking lot and foundation base is also met

LANDSCAPE GENERAL NOTES

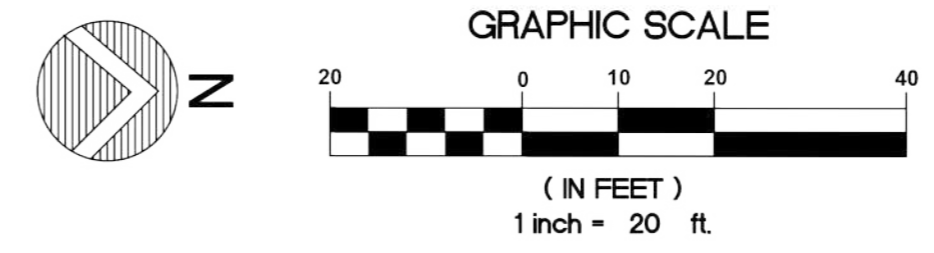
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK PER THE PLANS.
- ALL NEW PLANT MATERIAL TO RECEIVE AUTOMATIC IRRIGATION
- SIGHT VISIBILITY TRIANGLE SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION.
- ALL NON PAVED AREAS TO RECEIVE DECOMPOSED GRANITE COVER IN 2"-3" OD DEPTH. COLOR TO BE NATURAL IN EARTH TONES.
- ALL PLANT MATERIAL TO KEEP A MINIMUM OF 3' DISTANCE FROM ANY FIRE HYDRANTS.
- NO TREES TO BE PLANTED WITHIN ANY PUBLIC UTILITY EASEMENT.
- NO SHRUBS WITHIN A PLANTER ISLAND OF AN ON-SITE PARKING SHALL BE MAINTAINED TO A HEIGHT IN EXCESS OF THREE FEET, AND ALL TREES WITHIN SUCH PLANTERS SHALL MAINTAIN A MINIMUM CLEARANCE OF FIVE FEET FROM THE LOWEST BRANCH TO THE ADJACENT GRADE ELEVATION
- SWIMMING POOL AND SPA TO MEET ALL LOCAL MUNICIPAL POOL BARRIER CODES.

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
TREES			
	Acacia stenophylla / Shoestring Acacia	24"-Box	12
	Chilopsis linearis / Desert Willow	24"-Box	6
	Fraxinus velutina 'Fan-Tex' / Fan-Tex Velvet Ash	24"-Box	8
	Olneya tesota / Desert Ironwood	36"-Box	6
	Parkinsonia x / Desert Museum Palo Verde	36"-Box	21
	Pistacia x 'Red Push' / Red Push Pistache	24"-Box	9
	Pistacia x 'Red Push' / Red Push Pistache	36"-Box	8
SHRUBS			
	Agave desmetiana / Smooth Agave	5 gal.	53
	Callistemon viminalis / Little John Bottlebrush	5 gal.	39
	Dodonaea viscosa / Hopseed Bush	5 gal.	45
	Lantana montevidensis / Purple Trailing Lantana	1 gal.	29
	Lantana x 'New Gold' / New Gold Lantana	1 gal.	72
	Muhlenbergia capillaris / Pink Muhly Grass	5 gal.	47
	Rosmarinus officinalis / Trailing Rosemary	1 gal.	105
	Ruellia brittoniana 'Katie' / Katie Mexican Petunia	1 gal.	26
	Ruellia peninsularis / Desert Ruellia	5 gal.	37
	Tecoma x 'Bells of Fire' / Bells of Fire	5 gal.	31

REVIEWED BY: SM DATE: _____
 DRAFTED BY: SM DATE: _____
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ALL ABOVE GROUND UTILITIES SHALL BE RELOCATED UNDERGROUND.



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REVISIONS:

LEGACY SQUARE
 MESA, ARIZONA
 PRELIMINARY LANDSCAPE PLAN



DESIGNED: SM
 DRAWN: STAFF
 CHECKED: SM PLOT DATE: 10/01/24
 SHEET: 1
 PROJECT NO.: SD2209

LEGACY SQUARE MESA, MESA ARIZONA

APN: 138-66-006, 138-66-005A, 138-66-007A, 138-66-028A, 138-66-029A, 133-66-004

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SITE DATA	
TOTAL ACREAGE	2.21 ACRES
TOTAL SF	96630.19 SF
TOTAL BUILDINGS	1
ZONING	DR-2 DR-3
BUILDING TYPE	V-A

ABBREVIATIONS

ABAN	ABANDON	HP	HIGH POINT
AC	ASPHALTIC CONCRETE	HPS	HIGH PRESSURE SODIUM
ACP	ASBESTOS CEMENT PIPE	ID	INSIDE DIAMETER
ADJ	ADJUST	INT	INTERSECTION
AGG	AGGREGATE	INV	INVERT
AIP	ABANDON IN PLACE	IRR	IRRIGATION
ALT	ALTERNATE	LAT	LATERAL
BC	BACK OF CURB	LF	LINEAL FEET
BCR	BEGINNING OF CURB RETURN	LS	LANDSCAPE
BDRY	BOUNDARY	LT	LEFT
BFE	BASE FLOOD ELEVATION	LVVWD	LAS VEGAS VALLEY WATER DISTRICT
BEG	BEGIN	MAX	MAXIMUM
BM	BENCHMARK	MH	MANHOLE
BSW	BACK OF SIDEWALK	MIN	MINIMUM
BVC	BEGINNING OF VERTICAL CURVE	MTR	METER
CATV	CABLE TV	NAP	NOT A PART
C&G	CURB AND GUTTER	NG	NATURAL GRADE
CBC	CITY OF BOULDER CITY	NDOT	NEVADA DEPARTMENT OF TRANSPORTATION
CC	CLARK COUNTY	NTS	NOT TO SCALE
CCAUSD	CLARK COUNTY AREA UNIFORM STANDARD DRAWING	O/S	OFFSET
CCRCD	CLARK COUNTY REGIONAL FLOOD CONTROL DISTRICT	OC	ON CENTER
CCWRD	CLARK COUNTY WATER RECLAMATION DISTRICT	OD	OUTSIDE DIAMETER
CIP	CAST IRON PIPE	OHPL	OVERHEAD POWER LINE
CL	CENTERLINE	PB	PULL BOX
CLV	CITY OF LAS VEGAS	PC	POINT OF CURVATURE
CM	CITY OF MESQUITE	PCC	POINT OF COMPOUND CURVE
CMP	CORRUGATED METAL PIPE	PI	POINT OF INTERSECTION
CMU	CONCRETE MASONRY UNIT	PL	PROPERTY LINE
CNLV	CITY OF NORTH LAS VEGAS	PP	POWER POLE
CO	CLEAN OUT	PRC	POINT OF REVERSE CURVE
COH	CITY OF HENDERSON	PROP	PROPOSED
COMM	COMMUNICATIONS	PT	POINT OF TANGENT
CONC	CONCRETE	PVC	POLY VINYL CHLORIDE PIPE
COND	CONDUIT	PVI	POINT OF VERTICAL INTERSECTION
CONST	CONSTRUCT OR CONSTRUCTION	PVMT	PAVEMENT
CULV	CULVERT	Q	RATE OF FLOW
DC	DEPRESSED CURB	R or RAD	RADIUS
DI	DROP INLET	RCB	REINFORCED CONCRETE BOX
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RR	RAILROAD
DMH	DROP MANHOLE	RT	RIGHT
DOM	DOMESTIC	ROW	RIGHT-OF-WAY
DWY	DRIVEWAY	SS	SANITARY SEWER
E or ELEC	ELECTRIC	SD	STORM DRAIN
EAC	EDGE OF AC	SHT	SHEET
EOR	END OF CURB RETURN	SIG	SIGNAL
EG	EXISTING GROUND	SNWA	SOUTHERN NEVADA WATER AUTHORITY
EL or ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	STA	STATION
EVC	END OF VERTICAL CURVE	SL or STL	STREET LIGHT
EW	EACH WAY	STD	STANDARD
EX or EXIST	EXISTING	SVZ	SIGHT VISIBILITY ZONE
FAST	FREWAY & ARTERIAL SYSTEM OF TRANSPORTATION	SW	SIDEWALK
FC	FACE OF CURB	T or TEL	TELEPHONE
FF	FINISH FLOOR	TC	TOP OF CURB
FG	FINISH GRADE	TF	TOP OF FOOTING
FH	FIRE HYDRANT	TMH	TOP OF MANHOLE
FL	FLOW LINE	TRANS	TRANSITION
FO	FIBER OPTICS	TS	TRAFFIC SIGNAL
FS	FINISHED SURFACE	TW	TOP OF WALL
FTG	FOOTING	TYP	TYPICAL
G	GAS	UDACS	UNIFORM DESIGN AND CONSTRUCTION STANDARDS
GALV	GALVANIZED	VC	VERTICAL CURVE
GB	GRADE BREAK	VCP	VIRIFIED CLAY PIPE
H	HIGH OR HEIGHT	VERT	VERTICAL
HDPE	HIGH DENSITY POLYETHYLENE	VG	VALLEY GUTTER
HDWL	HEADWALL	WL	WATER LINE
HGL	HYDRAULIC GRADE LINE	W/	WITH
HOR	HORIZONTAL	W/O	WITHOUT
TOB	TOP OF BLOCK	W	WIDE OR WIDTH



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C8	ROADWAY PLAN AND PROFILE 2ND STREET
C9	DETAILS
C10	MASTER UTILITY
C11	STRIPING PLAN

REVISION	DATE	BY	CHK
1	16/07/24	TRAVIS	TRAVIS
2			
3			
4			
5			

LEGACY SQUARE
NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
MESA ARIZONA
DEVELOPER: WESTGATE COMPANIES
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COVER SHEET

SHEET # C1 1 OF 2

GENERAL NOTES
(REVISED 03-15-18) (2018 VERSION)

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY THE CITY OF MESA. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. THE INFORMATION SHOWN ON DRAWINGS CONCERNING THE TYPE AND LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER OR THE ENGINEER'S AGENT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.
 - A. CALL 602-263-1100 OR 811 FOR BLUE STAKE SERVICES.
 - B. CALL SALT RIVER POWER FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING AT 602-236-8888.
 - C. CALL CITY OF MESA ELECTRICAL FOR POLE BRACING, ELECTRICAL SERVICE OR CONSTRUCTION SCHEDULING AT 480-644-2251 WITHIN CITY OF MESA ELECTRICAL SERVICE TERRITORY (DOWNTOWN MESA).
 - D. WHEN EXCAVATING IN OR ADJACENT TO A CITY PARK OR AQUATIC FACILITY THE CONTRACTOR SHALL CONTACT AQUATICS AND PARKS MAINTENANCE AT 480-644-3097 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND UTILITY FACILITIES.
 - E. WHEN EXCAVATING IN OR ADJACENT TO LANDSCAPING WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL CONTACT TRANSPORTATION FIELD OPERATIONS AT 480-644-3380 TO REQUEST ASSISTANCE IN LOCATING UNDERGROUND UTILITY FACILITIES.
3. TRAFFIC CONTROL SHALL CONFORM TO THE CITY OF MESA TEMPORARY TRAFFIC CONTROL MANUAL. ELECTRONIC COPIES ARE AVAILABLE AT <http://www.mesaaz.gov/business/hauling/temporary-traffic-control-permits> hard copies can be made available at development services, 55 N. Center St., Mesa, Arizona
4. CONTRACTOR TO NOTIFY TRAFFIC OPERATIONS AT 480-644-3126 PRIOR TO SIGN REMOVAL AND WHEN READY TO PERMANENTLY RELOCATE SIGN.
5. CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL IRRIGATION DRY-UPS, RELOCATIONS, AND REMOVALS BY OTHERS.
6. CONTRACTOR SHALL POTHOLE EXISTING UTILITIES AHEAD OF CONSTRUCTION TO ALLOW FOR ANY NECESSARY ADJUSTMENTS IN GRADE LINE AND TO VERIFY PIPE MATERIALS FOR ORDERING THE APPROPRIATE TRANSITION AND TIE-IN FITTINGS THAT WILL BE REQUIRED.
7. THE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL ABANDONED UTILITIES THAT INTERFERE WITH PROPOSED IMPROVEMENTS. THE CITY OF MESA UTILITIES DEPARTMENT LOCATING SECTION WILL ASSIST THE CONTRACTOR AS NEEDED, IN DETERMINING IF THE UTILITY (GAS, WATER, AND WASTEWATER ONLY) IS ABANDONED BY CALLING 480-644-4500.
8. PRIOR TO START OF CONSTRUCTION ON PRIVATE PROPERTY (EASEMENTS), THE CONTRACTOR SHALL GIVE THE OWNER SUFFICIENT TIME (MINIMUM 48 HOURS) TO REMOVE ANY ITEMS IN CONFLICT WITH CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE TO REMOVE AND REPLACE ALL OTHER CONFLICTS AS REQUIRED.
9. THE CONTRACTOR SHALL COORDINATE WORK SCHEDULES TO PREVENT ANY CONFLICTING WORK CONDITIONS WITH THE CITY OF MESA UTILITY AND TRANSPORTATION DEPTS.
10. THE CONTRACTOR IS ADVISED THAT A DUST CONTROL PERMIT AND A DUST CONTROL PLAN MAY BE REQUIRED BY THE MARICOPA COUNTY AIR QUALITY DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT, IF NECESSARY, AND COMPLY WITH ITS REQUIREMENTS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE DUST CONTROL PERMIT AND DUST CONTROL PLAN TO THE CITY FOR REVIEW.
11. INSPECTIONS SHALL BE PROVIDED BY THE CITY OF MESA. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTION DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION.
12. THE JOB SITE SHALL BE CLEANED OF ANY DEBRIS OR SPOIL RESULTING FROM THIS PROJECT AT THE COMPLETION OF CONSTRUCTION.
13. ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR SPECIFICATIONS, BUT REQUIRED TO COMPLETE THIS PROJECT, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THIS CONTRACT WORK (NO ADDITIONAL COST TO THE CITY).
14. WHEREVER PAVEMENT REPLACEMENT PER MESA STD DETAIL M-19.04.1 OR MAG STD DETAIL 200 IS REFERRED TO WITHIN THESE PLANS, BACKFILLING SHALL BE PER THE CITY OF MESA STREET TRENCH BACKFILLING AND PAVEMENT REPLACEMENT POLICY STATEMENT, REVISED SEPTEMBER 29, 1999.
15. FOR PURPOSES OF PAVEMENT PER MAG STD DETAIL 200 OR MESA STD DETAIL M-19.04.1, INTERSECTIONS ARE DEFINED BY THE CURB RETURNS IN ALL DIRECTIONS.
16. ANY SURVEY MARKERS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY A REGISTERED LAND SURVEYOR AT NO ADDITIONAL COST TO THE CITY.
17. ALL EXISTING PAVEMENT MARKINGS, SIGNS, AND SIGNAL EQUIPMENT THAT ARE NOT PART OF THIS PROJECT BUT NEED TO BE REMOVED, REPLACED, OR REPAIRED BECAUSE OF CONTRACTOR'S WORK WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
18. THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PUBLIC SERVICES OR SYSTEMS AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AND INSPECTED BY THE CITY INSPECTOR. DEPENDING ON DAMAGES, ALL REPAIRS SHALL BE DONE WITHIN 24 HOURS. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED PUBLIC SERVICES OR SYSTEMS AS A RESULT OF CONTRACTOR'S NEGLIGENCE SHALL BE BORNE BY THE CONTRACTOR.

WATER, WASTEWATER AND STORM DRAIN GENERAL NOTES
(REVISED 04-15-21) (2021 VERSION)

1. MATERIALS AND INSTALLATION OF WATER AND SEWER MAINS, WATER METERS AND SERVICE LINE CONNECTIONS SHALL CONFORM TO CURRENT CITY DETAILS, MESA AMENDMENTS TO MAG SPECIFICATIONS AND AS AMENDED BY APPROVED PRODUCTS LIST. SEE BELOW FOR APPROVED PRODUCT LISTS FOR WATER AND WASTEWATER.
 - WATER
 - WASTEWATER
2. IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE (A.A.C.) R18-4-213, ALL MATERIALS WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION (NSF) STANDARDS 61, 61, AND 372 AND SHALL BE LEAD-FREE AS DEFINED IN A.A.C. R18-5-504 AND R18-4-401.
3. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY FITTINGS AND ADAPTERS REQUIRED TO CONNECT DIFFERENT TYPES OF WATER MAIN MATERIALS.
4. PER MESA AMENDMENTS 610.4.2, ALL MINOR VERTICAL OR HORIZONTAL DEFLECTIONS SHALL BE BY PIPE JOINT DEFLECTION UNLESS OTHERWISE NOTED. PIPE JOINT DEFLECTION SHALL NOT EXCEED 3 DEGREES OR 2/3 OF PIPE MANUFACTURER'S RECOMMENDATIONS WHICHEVER IS LESS.
 1. PER MAG AND MESA AMENDMENTS 610.11 ALL WATER LINE TESTS SHALL BE COMPLETED SO THAT NO EXISTING LINES, EXISTING VALVES, OR NEWLY INSTALLED VALVES WHICH ARE CONNECTED TO THE OPERATING WATER SYSTEM ARE INCLUDED IN THE TESTS. ALLOWABLE TIMEFRAMES SHOULD FOLLOW MESA AMENDMENTS TO MAG AND MUST BE COORDINATED WITH THE CITY INSPECTOR. FOR A DAYTIME TIE-IN, THE CONTRACTOR SHALL COMPLETE ALL WORK NECESSARY TO RESTORE UTILITY SERVICE AND FULLY OPEN THE TIE-IN AREA TO TRAFFIC WITHIN THE TIME ALLOWED.
5. WATER LINE FUSION, PRESSURE TESTING, AND DISINFECTION SHALL BE COMPLETED PER MAG SPECIFICATION SECTION 611, MESA AMENDMENTS TO MAG SPECIFICATION SECTION 611, AND ANWA COST (CURRENT VERSION)
6. SOURCE WATER UTILIZED FOR FILLING, FLUSHING AND TESTING SHALL BE OBTAINED FROM A HYDRANT METER ORDERED THROUGH PERMIT SERVICES AND SET BY CITY OF MESA WATER RESOURCES STAFF. IT IS PROHIBITED TO OPEN A VALVE TO THE EXISTING WATER SYSTEM TO FILL A NEWLY CONSTRUCTED OR REPAIRED PIPELINE AS OUTLINED IN THE MESA AMENDMENTS TO MAG SECTION 610.11 AND 611.
7. WATER METERS, METER BOXES, LIDS, ETC. IN CONFLICT WITH NEW CONSTRUCTION SHALL BE RELOCATED PER CITY OF MESA STANDARD DETAIL M-49 BY THE CONTRACTOR. THE RELOCATION SHALL INCLUDE ALL MATERIALS NECESSARY TO RECONNECT THE METER TO THE CITY DISTRIBUTION SYSTEM. SERVICE LINE EXTENSIONS, IF APPROVED IN WRITING BY MESA WATER RESOURCES DEPARTMENT, SHALL CONFORM TO MESA STANDARD DETAIL M-49. WHEN SERVICE LINE EXTENSIONS ARE APPROVED PER MESA STANDARD DETAIL M-49, SERVICE LINE COUPLINGS SHALL NOT BE PLACED UNDER ROADWAY SURFACES, CONCRETE GUTTERS, CURB AND GUTTER, OR CONCRETE DRIVEWAYS.
8. VALVES SHALL BE INSTALLED WITH VALVE BOX AND COVER PER MAG STD DETAILS 391-1, TYPE C WITH A DEEP-SHIRTED LD (4-INCHES MINIMUM) AS NOTED IN THE APPROVED PRODUCTS LIST.
9. ALL WATER LINE ABANDONMENT CUT AND PLUGS FOR ACTIVE LINES SHALL CONFORM TO THE FOLLOWING:
 - A. 12" AND SMALLER DIAMETER PER MESA STANDARD DETAIL M-50.
 - B. 16" DIAMETER PER M.A.G.C. STANDARD DETAIL 390, TYPE B.
 - C. GREATER THAN 16" DIAMETER, AS DESIGNED PER PLAN.
10. LINE-TREATED AGGREGATE BASE COURSE (ABO) MATERIAL, RECLAIMED CONCRETE MATERIAL (RCM), AND RECLAIMED ASPHALT PAVEMENT (RAP) MATERIALS ARE PROHIBITED FOR USE IN THE PIPE EMBEDED ZONE (BEDDING, HAUNCHING, INITIAL BACKFILL) FOR WATERLINE CONSTRUCTION PER MESA AMENDMENTS 601.4.2.
11. PER MESA AMENDMENTS 610.11, APPLICATIONS TO THE CITY OF MESA ENGINEERING INSPECTOR AND REVIEWED AND APPROVED BY THE WATER RESOURCES DEPARTMENT FOR WATER SYSTEM SHUTDOWN FOR THE PURPOSES OF CONSTRUCTION-RELATED ACTIVITIES SHALL BE MADE A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE SCHEDULED SHUTDOWN DATE. THE REQUEST SHALL INCLUDE PRIMARY AND SECONDARY VALVE NUMBERS, WHETHER A TEST SHUTDOWN IS REQUESTED, AND THE DATE AND DURATION OF THE REQUESTED SHUTDOWN. PER MAG 610.11, THE CITY OF MESA DOES NOT GUARANTEE A COMPLETE SHUTDOWN.
12. REQUIRED BACKFLOW PREVENTION ASSEMBLIES SHALL INCLUDE MANUFACTURERS AND MODELS DESIGNATED IN THE CURRENT LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES AS PUBLISHED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA.
13. BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
14. ALL WATER METERS ARE TO BE SUPPLIED BY THE CITY OF MESA. CHARGES FOR INSTALLING NEW SERVICES AND METERS WILL BE IN ACCORDANCE WITH THE CURRENT UTILITY SERVICE FEE SCHEDULE. METERS TWO INCHES OR LESS WILL BE DELIVERED AND INSTALLED BY CITY FORCES. METERS LARGER THAN TWO INCHES WILL BE DELIVERED BY THE CITY AND INSTALLED BY THE CONTRACTOR AND REQUIRE SCHEDULING AND INSPECTIONS WITH CITY FORCES. CONTACT THE DEVELOPMENT SERVICES DEPARTMENT AT 480-644-4273 FOR THE SPECIFIC PROCEDURE. SEE M-27.01 FOR MORE INFORMATION.
15. WHEN GROUING OR CASTING CONCRETE AROUND PVC SEWER PIPE, SUCH AS AT MANHOLE OR VAULT PENETRATIONS, THE CONTRACTOR SHALL INSTALL WATER STOPS PER MESA AMENDMENTS TO MAG SPECIFICATION 625 AND MANUFACTURERS RECOMMENDATIONS.
16. SEWER BUILDING CONNECTION LATERALS SHALL BE INSTALLED PER MAG STANDARD DETAIL 440. LATERAL WIRES SHALL BE INSTALLED AT NO GREATER THAN A 45 DEGREE ANGLE FROM HORIZONTAL. SEWER LATERAL SLOPES SHALL BE AS INDICATED ON MAG STANDARD DETAIL 440 AND IN NO CIRCUMSTANCE SHALL SEWER LATERAL SLOPES EXCEED 7/8" PER FOOT FOR 6" LATERALS AND 1-1/2" PER FOOT FOR 4" LATERALS. FITTINGS SHALL BE INSTALLED WITH NO ANGULAR JOINT DEFLECTION AND ALL CONNECTIONS SHALL BE GASKETED OR SEALED PER MAG SPECIFICATIONS.
17. SEWER MANHOLE BASES, BENCHES, SHELVES, AND CHANNELS SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420. EACH INLET PIPE SHALL HAVE A DESIGNATED, FORMED CHANNEL AND BENCHING. THE DIMENSIONS OF CHANNELS, SHELF SLOPE, AND MINIMUM INLET PIPE ANGLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAIL 420-3.
18. PER MESA DESIGN STANDARDS, SEWER MANHOLES SHALL BE CONSTRUCTED PER MAG STANDARD DETAILS 420-1, TYPE A TOP, AND 423-2 EXCEPT THAT:
 - A. MANHOLE SHAFT DIAMETERS SHALL BE 5 FEET.
 - B. MANHOLE RINGS AND COVERS SHALL HAVE 30-INCH DIAMETERS.
 - C. STEPS SHALL NOT BE INCLUDED.

PAVING GENERAL NOTES
(REVISED 02-07-18) (2018 VERSION)

1. CONTRACTOR SHALL COORDINATE ALL DRIVEWAY LOCATIONS WITH PRIVATE PROPERTY OWNERS AND THE CITY INSPECTOR.
2. FOR THE APPROVED LIST OF PAVING PRODUCTS SEE: <http://www.mesaaz.gov/business/engineering/approve-products-equipment-natural-gas-line-contractor>
3. ALL GUTTER GRADES LESS THAN 0.0020 FT/FT SHALL BE STAKED ALONG THE ACTUAL GUTTER ALIGNMENT (NOT OFFSET) AND CHECKED BY CITY OF MESA INSPECTOR IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
4. ALL FRAMES, COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE AFTER PLACEMENT OF ASPHALT CONCRETE SURFACE COURSE PER MAG STD DETAILS 270, 422, OR 391-1-C.
5. GAS GENERAL NOTES (REVISED 02-07-12)
 1. ALL WORK AND MATERIALS SHALL CONFORM TO THE CURRENT CITY OF MESA GAS OPERATIONS, MAINTENANCE, EMERGENCY RESPONSE, AND CONSTRUCTION PRACTICE MANUAL.
 2. WHEN GAS MAIN AND/OR SERVICES ARE EXPOSED, CONTACT THE CITY OF MESA AT 480-644-2261 FOR INSPECTION OF THE EXPOSED PIPE AND COATING REQUIRED TO BACKFILLING THE TRENCH.
 3. BEDDING OR SHADING MATERIAL ADJACENT TO THE CITY GAS PIPE SHALL BE SELECT SANDY TYPE SOIL FREE OF ROCK OR DEBRIS THAT WILL PASS THROUGH A 3/8 INCH "SCREEN" AS INSPECTED AND APPROVED BY THE CITY GAS INSPECTION PERSONNEL.
 4. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AS INDICATED ON MESA STD DETAIL M-58 WHEN TRENCHING FOR THE WATER LINE WHERE A GAS MAIN IS TO BE INSTALLED IN THE SAME TRENCH.
 5. CONTACT THE GAS DIVISION AT 480-250-2982 FOR SCHEDULING AND COORDINATION OF THE INSTALLATION OF NATURAL GAS MAINS AND/OR SERVICES.
 6. GAS LINE SHALL MAINTAIN A NOMINAL TWELVE (12) INCHES (MINIMUM OF EIGHT (8) INCHES) SEPARATION FROM EXISTING WATER, WASTEWATER, ELECTRICAL, CABLE TV, AND TELCO FACILITIES. (SEE TRAFFIC SIGNAL GENERAL NOTES (REVISED 06-26-18) (2018 VERSION))
6. THE CITY OF MESA REQUIRES AT LEAST TWO INTERNATIONAL MUNICIPAL SIGNAL ASSOCIATION (ISMA) CERTIFIED TRAFFIC SIGNAL TECHNICIANS ON SITE DURING ALL PHASES OF ANY TRAFFIC SIGNAL WORK. AT LEAST ONE TECHNICIAN MUST LEVEL A CERTIFICATION OR HIGHER. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF CERTIFICATION. IF A JOB SITE IS INSPECTED AND CERTIFIED TECHNICIAN IS NOT ON SITE, A STOP WORK ORDER WILL BE ISSUED. TEMPORARY AND CONTRACT EMPLOYEES DO NOT SATISFY THIS REQUIREMENT.
7. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY TRAFFIC SIGNAL DAMAGE TO THE ENGINEERING INSPECTOR OR ITS OPERATIONS SUPERVISOR AT 480-644-3129. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR DAMAGE TO ANY TRAFFIC SIGNAL EQUIPMENT SUCH AS CONTROLLER CABINET AND EQUIPMENT, DETECTOR LOOPS, PULL BOXES, CONDUIT, POLES, MAST ARMS, HEADS OR RELATED EQUIPMENT AS A RESULT OF THIS PROJECT. A CITY OF MESA TECHNICIAN SHALL INSPECT THESE REPAIRS.
 - A. A TRAFFIC SIGNAL CANNOT BE DARK OR IN FLASH FOR MORE THAN TWO HOURS.
 - B. A LOSS OF COMMUNICATION SHALL BE REPAIRED WITHIN 24 HOURS.
 - C. DETECTOR LOOPS SHALL BE REPLACED IN TWO WEEKS UNLESS THE TRAFFIC SIGNAL FOREMAN AGREES IN WRITING TO A DIFFERENT SCHEDULE.
8. IF THE CONTRACTOR CANNOT RESPOND OR MAKE THE REPAIRS WITHIN ABOVE NOTED TIME FRAMES, THE CITY TRAFFIC SIGNAL GROUP WILL MAKE THE NECESSARY REPAIRS AND CHARGE THE CONTRACTOR USING A "REPAIR ORDER FORM".
9. THE CONTRACTOR IS ADVISED THAT ANY COSTS RELATED TO REPAIR OR REPLACEMENT OF DAMAGED TRAFFIC SIGNAL EQUIPMENT AS A RESULT OF THE CONTRACTOR'S NEGLIGENCE SHALL BE BORNE BY THE CONTRACTOR.
10. IF THERE IS A TRAFFIC SIGNAL PROBLEM (INDICATION OUTAGES, KNOCKDOWNS, UTILITY POWER OUTAGES, ETC.) THAT IS NOT A DIRECT RESULT OF THE CONTRACTOR'S OR SUBCONTRACTOR'S WORK, AN ITS TECHNICIAN SHALL BE CALLED TO RESPOND. IF IT IS DETERMINED THE CONTRACTOR'S OR SUBCONTRACTOR'S WORK CAUSED THE TRAFFIC SIGNAL MALFUNCTION, THE CONTRACTOR THROUGH A "REPAIR ORDER FORM" SHALL PAY ALL COSTS OF REPAIRS.
11. TRAFFIC SIGNAL DETECTOR LOOPS SHALL BE INSTALLED IN ASPHALT CONCRETE PAVEMENT BEFORE THE FINAL LIFT. THE LOOP CONDUCTORS SHALL BE INSTALLED PER MESA STD DETAIL M-96.1.
12. THE CONTRACTOR IS ADVISED TO CONTACT THE CITY'S TRANSPORTATION MANAGEMENT CENTER AT 480-644-5888 AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE VICINITY OF OR THROUGH A SIGNALIZED INTERSECTION WHICH WILL CHANGE TRAFFIC LANE PATTERNS.

ITD FIBER OPTIC GENERAL NOTES
(REVISED 02-15-12) (2018 VERSION)

1. FIBER OPTIC DUCT WORK MAY BE INSTALLED BY EITHER OPEN CUT OR GUIDED BORE UNLESS OTHERWISE NOTED. ANY SURFACE RESTORATION RELATED TO EITHER METHOD IS A NON-PAY ITEM AND SHALL BE APPROVED BY THE CORRESPONDING BID ITEM FOR CONDUIT INSTALLATION UNLESS OTHERWISE NOTED. SURFACE RESTORATION SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MESA AND MAG STANDARD SPECIFICATIONS. ASPHALT DRIVEWAY OR PARKING LOT RESTORATION SHALL COMPLY WITH MAG STD DETAIL 200, TYPE B; AND MAG SPECIFICATION SECTION 336 UNLESS OTHERWISE NOTED.
2. FOR NON-CAPITAL (PRIVATE) PROJECTS, NO COMPONENT OR PART OF THE CONDUIT FIBER SYSTEM SHALL BE INSTALLED, CONSTRUCTED, LOCATED ON, OR ATTACHED TO ANY PROPERTY WITHIN THE CITY'S PUBLIC RIGHT-OF-WAY UNTIL CONTRACTOR HAS APPLIED FOR AND RECEIVED APPROVAL FOR RIGHT-OF-WAY PERMITS AND/OR RIGHT-OF-WAY ENCROACHMENT PERMITS FOR SUCH WORK ON THE CONDUIT FIBER SYSTEM.
3. ALTHOUGH THE EXACT PLACEMENT AND LOCATIONS OF CONDUIT FIBER SYSTEM MAY BE REVISED DURING THE PERMIT PROCESS, IT IS THE CITY'S EXPRESSED DESIRE TO HAVE THE CONDUIT FIBER SYSTEM INSTALLED OUTSIDE PAVED AREAS WHENEVER FEASIBLE. FURTHERMORE, WHEN NECESSARY FOR THE CONDUIT FIBER SYSTEM TO CROSS UNDER CITY STREETS OR PAVED AREAS, THE CONTRACTOR SHALL USE DIRECTIONAL BORING PER MESA STD DETAILS M-18 AND M-18.1.
4. PULL BOXES AND VAULTS ARE SHOWN ACCORDING TO AVAILABLE DATA. FIELD ADJUSTMENTS MAY BE NECESSARY TO AVOID CONFLICTS AND INTERCEPT EXISTING CONDUIT. CONFORM LOCAL LOCATION OF ALL NEW PULL BOXES AND VAULTS WITH CITY OF MESA REPRESENTATIVE.
5. WIDTH OF PLAN SYMBOLS MAY BE GREATER THAN ACTUAL DISTURBED AREAS. ITEMS DEPICTED ON THE PLANS ARE TO BE INSTALLED WITHIN THE RIGHT-OF-WAY OR PERMANENT EASEMENT WHERE NOTED ON THE PLANS.
6. THE CITY REQUIRES AT LEAST ONE CERTIFIED TECHNICIAN ON SITE DURING ALL PHASES OF ANY TELECOMMUNICATIONS WORK. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF CERTIFICATION. IF A JOB SITE IS INSPECTED AND A CERTIFIED TECHNICIAN IS NOT ON SITE, THE JOB WILL BE SHUT DOWN.
7. THE CONTRACTOR IS ADVISED TO CONTACT THE CITY'S ITS DEPARTMENT AT 480-644-3129, 48 BUSINESS HOURS PRIOR TO ANY WORK WITHIN THE VICINITY OF OR THROUGH A SIGNALIZED INTERSECTION WHICH WILL CHANGE TRAFFIC LANE PATTERNS.
8. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY TRAFFIC SIGNAL DAMAGE TO THE ENGINEERING INSPECTOR. DAMAGE TO ANY TRAFFIC SIGNAL EQUIPMENT SUCH AS CONTROLLER CABINET AND EQUIPMENT, DETECTOR LOOPS, PULL BOXES, CONDUIT, POLES, MAST ARMS, HEADS OR RELATED EQUIPMENT AS A RESULT OF THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED BY THE APPROPRIATE MESA LEVEL CERTIFIED TRAFFIC SIGNAL TECHNICIAN ACCORDING TO CITY OF MESA TRAFFIC SIGNAL SPECIFICATION. A CITY OF MESA TRAFFIC SIGNAL TECHNICIAN SHALL INSPECT THESE REPAIRS.
 - A. A TRAFFIC SIGNAL CANNOT BE DARK OR IN FLASH FOR MORE THAN TWO HOURS.
 - B. A LOSS OF COMMUNICATION SHALL BE REPAIRED WITHIN 24 HOURS.
 - C. DETECTOR LOOPS SHALL BE REPLACED IN TWO WEEKS UNLESS THE ITS FOREMAN AGREES IN WRITING TO A DIFFERENT SCHEDULE.
 - D. IF THE CONTRACTOR CANNOT RESPOND OR MAKE THE REPAIRS WITHIN ABOVE NOTED TIME FRAMES, THE CITY OF MESA WILL MAKE THE NECESSARY REPAIRS AND CHARGE THE CONTRACTOR.
9. ALL SIDEWALK REPLACEMENT SHALL BE PER MAG STD DETAIL 230.
10. THE CONTRACTOR SHALL VIDEO TAPE THE ENTIRE PROJECT AREA PRIOR TO START OF CONSTRUCTION. THE VIDEO TAPE SHALL INCLUDE THE ENTIRE PROJECT AREA WHERE THE CONTRACTOR WILL BE PERFORMING THE WORK AND SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO STARTING WORK.
11. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF MESA TO ATTAIN ANY NECESSARY PERMITS FROM ADOT.
12. RIGHTS-OF-WAY FOR ALL WORK SPECIFIED IN THIS CONTRACT MAY NOT BE SHOWN ON THE PLANS AND THE CONTRACTOR SHALL NOT ENTER OR OCCUPY WITH PERSONNEL, TOOLS, EQUIPMENT, OR MATERIALS ANY PRIVATE GROUND OUTSIDE THE RIGHT-OF-WAY WITHOUT THE CONSENT OF THE OWNER.
13. POTHOLING AND RELATED SURFACE RESTORATION SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MESA STD DETAILS M-19 THRU M-18.3, MAG STD DETAIL 212, AND SPECIFICATION SECTION 335. IN THE CASE OF A CONFLICT BETWEEN THE TWO SPECIFICATIONS THE CITY OF MESA'S REQUIREMENTS SHALL PREVAIL.

ITD FIBER SPlicing AND INSTALLATION NOTES

(REVISED 02-15-12) (2018 VERSION)

1. THE CONTRACTOR SHALL NOTIFY THE ITD REPRESENTATIVE 48 HOURS IN ADVANCE OF FIBER OPTIC CABLE INSTALLATION INTO ANY EXISTING OR NEW CONDUIT.
2. DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE. CONTRACTOR SHALL CAREFULLY MEASURE DISTANCES AND MAKE ALLOWANCES FOR SLACK BEFORE ORDERING AND CUTTING CABLE.
3. FUSION SPICES SHALL BE PERFORMED WITH EQUIPMENT HAVING THE FOLLOWING FEATURES: AUTOMATIC FIBER ALIGNMENT AND AUTOMATIC LIGHT INJECTION WITH DETECTION DEVICES OR PROFILE ALIGNMENT ALGORITHMS TO PROTECT THE FIBER CORES AND ESTIMATE SPlice LOSS; "V" GROOVE ALIGNMENT SHALL NOT BE PERMITTED.
4. ALL FIBER OPTIC WORK SHALL BE PERFORMED IN OFFICE TYPE ENVIRONMENTS IN BUILDINGS, SPlice TRAILERS AND SPlicing TENTS WITH FLOORS.
5. AT THE TIME OF FIBER OPTIC CABLE INSTALLATION, LINE 120/240 VAC AND/OR 280 VAC POWER CONDUCTORS SERVING TRAFFIC CONTROL EQUIPMENT AND LIGHTING MAY BE PRESENT IN JUNCTION BOXES, WHERE FIBER IS TO BE INSTALLED. THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS.
6. CABLE SHALL BE INSTALLED AS ONE CONTINUOUS PIECE WITH NO SPICES, EXCEPT WHERE INDICATED ON PLANS.
7. ALL CONDUITS TO BE UTILIZED FOR THE FIBER SYSTEM SHALL BE BLOWN OUT WITH COMPRESSED AIR AND HAVE A METAL DISK MANDREL PULLED THROUGH. AN ITD REPRESENTATIVE SHALL BE ON SITE DURING MANDREL PROCEDURE.
8. INSTALL ONE (1) NO.12 X#16 COPPER STRANDED IN 1" PVC ABOVE FIBER CONDUIT.
9. THE CONTRACTOR SHALL USE LUBRICANT OF THE TYPE AND QUANTITY AS RECOMMENDED BY THE CABLE MANUFACTURER WHEN PULLING CABLE.
10. DURING PULLING, A FIBER OPTIC BREAK AWAY SWIVEL SHALL BE USED.
11. THE CONTRACTOR SHALL ENSURE THAT THE TENSILE LOAD ON THE CABLE DOES NOT EXCEED MANUFACTURER SPECIFICATIONS BY USING A SUITABLE RATED SHEAR PIN AND A SYSTEM WHICH INCLUDES A MEANS OF ALERTING THE INSTALLER WHEN PULLING TENSION APPROACHES THE LIMIT AND DISPLAYS THE ACTUAL TENSION ON THE CABLE.
12. DURING PULLING, THE CABLE SHALL BE CONTINUOUSLY LUBRICATED.
13. MANUFACTURER RECOMMENDED PULLING SPEEDS SHALL NOT BE EXCEEDED.
14. FIBER OPTIC SPlicing SHALL BE PERFORMED ONLY AT THE DESIGNATED LOCATIONS SHOWN ON THE PLANS.
15. THE CONTRACTOR SHALL CERTIFY THAT THE INSTALLATION OF THE COMMUNICATIONS CABLE SUB-SYSTEM IS IN ACCORDANCE WITH THE CABLE AND SPlicing MANUFACTURER'S RECOMMENDATIONS AND THE PROJECT SPECIFICATIONS.
16. THE CONTRACTOR SHALL NOT CAUSE THE CABLE TO VIOLATE THE MINIMUM BENDING RADIUS FOR WHICH THE CABLE WAS DESIGNED.
17. IF THE CABLE IS DAMAGED DURING INSTALLATION, THE ENTIRE LENGTH OF CABLE BETWEEN THE NEAREST SPlicing POINTS SHOWN ON THE PLANS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
18. ONE HUNDRED (100) FEET OF EACH CABLE SHALL BE LOOSELY LOOPED AND COILED IN EACH FIBER OPTIC 4' X 4' MANHOLE.
19. SIXTY (60) FEET OF EACH CABLE SHALL BE LOOSELY LOOPED AND COILED IN EACH FIBER OPTIC NO. 9 PULL BOX.
20. TWENTY-FIVE (25) FEET OF EACH CABLE SHALL BE LOOSELY LOOPED AND COILED IN EACH FIBER OPTIC NO. 7 PULL BOX.
21. TWENTY-FIVE (25) FEET OF EACH CABLE SHALL BE LOOSELY COILED AND RACKED INSIDE EQUIPMENT ROOMS.
22. THE SLACK LENGTH REQUIREMENTS ARE MINIMUMS. THE CONTRACTOR MAY PROVIDE EXTRA SLACK, NOT TO EXCEED THREE TIMES THE MINIMUM AMOUNT, FOR CONTRACTOR'S SPlicing CONVENIENCE, AT NO ADDITIONAL COST TO THE CITY.
23. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EMPTY REELS AND RESIDUAL MATERIALS.
24. A PERMANENT HIGH-QUALITY LABEL IDENTIFYING EACH CABLE SHALL BE APPLIED TO THE CABLE WITHIN TWO (2) FEET OF THE SPlicing CLOSURE AND/OR PATCH PANEL.

FIBER TESTING NOTES

(REVISED 02-15-12) (2018 VERSION)

1. ALL FIBER OPTIC TESTING SHALL BE PERFORMED WITH AN OTDR CAPABLE OF PRODUCING PC COMPATIBLE OUTPUT FILES.
 2. ELECTRONIC SUBMITTAL ON CD SHALL BE REQUIRED. TEST RESULTS SUPPLIED ELECTRONICALLY SHALL BE IN PDF FORMAT, OTDR NATIVE FORMAT, AND INCLUDE OTDR SOFTWARE FOR VIEWING.
 3. FIBERS SHALL BE IDENTIFIED BY STRAND NUMBER.
 4. EACH BINDER SHALL HAVE A COVER SHEET INDICATING WHICH CABLE(S) WERE TESTED, THE OTDR USER'S NAME, THE REVIEWER'S NAME, THE TYPE OF TEST PERFORMED, AND THE DATE(S) OF THE TEST. FOR INTERMEDIATE RESULTS, AN INDEX OF SHEETS THAT CONTAIN ANY DISCREPANCIES WITH THE SPECIFICATIONS SHALL BE PROVIDED IMMEDIATELY FOLLOWING THE COVER SHEET.
 5. COVER SHEETS FOR FINAL TEST RESULTS SHALL BEAR THE REVIEWER'S SIGNATURE, THE DATE, AND A STATEMENT INDICATING THAT THE INSTALLATION COMPLIES WITH THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
 6. ALL OTDR TRACES SHALL BEAR THE SIGNATURE OR INITIALS AND PRINTED NAME OF THE CONTRACTOR'S EMPLOYEE WHO HAS REVIEWED THE TRACES. THE CONTRACTOR SHALL PLACE A CHECK MARK ON ALL TRACES THAT SATISFY THE REQUIREMENTS SET FORTH HEREIN. FOR INTERMEDIATE TEST RESULTS, THE CONTRACTOR SHALL HIGH LIGHT ANY DISCREPANCIES WHICH MAY EXIST AND PLACE A POST-IT FLAG ON THE SUBJECT PAGE. THE PAGE SHALL BEAR A SHORT DESCRIPTION OF THE PROPOSED CORRECTIVE ACTION (E.G. RE-SPlice).
 7. SINGLE-MODE FIBER OPTIC CABLE SHALL BE TESTED IN ACCORDANCE WITH EA-455-61 OR ANY SUBSEQUENT REVISIONS OR REPLACEMENTS. CABLE SEGMENTS HAVING ATTENUATION GREATER THAN 0.4 DB/KM AT 1310 NM AND 0.3 DB/KM AT 1550 NM SHALL BE REJECTED. CABLE SEGMENT LOSS EVENTS GREATER THAN 0.20 DB SHALL BE REJECTED.
 8. MULTI-MODE FIBER OPTIC CABLE ATTENUATION SHALL BE LESS THAN OR EQUAL TO 0.35 DB PER KM AT 1310 NM AND 0.25 DB PER KM AT 1550 NM.
 9. THE MAXIMUM INSERTION LOSS FOR CONNECTORS SHALL BE 0.50 DB. THE CONNECTORS SHALL BE POLISHED TO ENSURE THAT BACK REFLECTION DOES NOT EXCEED 30 DB.
 10. POST INSTALLATION TESTING: THE FIBER OPTIC CABLE SHALL BE TESTED AFTER INSTALLATION TO VERIFY THE INTEGRITY OF THE FIBER OPTIC CABLE PLANT AND ITS PERFORMANCE. THE CONTRACTOR SHALL PERFORM AN INSERTION LOSS TEST ON EACH OUTSIDE PLANT CABLE USING THE ATTENUATION TEST SETS IN ACCORDANCE WITH EA-455-171. OTDR TESTING IN ACCORDANCE WITH EA-455-59 AND EA-455-61 SHALL ALSO BE PERFORMED. ATTENUATION GREATER THAN 0.9 DB OR GREATER SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO THE CITY. CONNECTORS TEST GREATER THAN 0.5 DB SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO THE CITY.
 11. THE CONTRACTOR SHALL PERFORM BIDIRECTIONAL OTDR TESTING ON ALL FIBERS. BARE FIBER ADAPTERS SHALL BE USED FOR OTDR TESTING. THE CONTRACTOR SHALL USE A POWER METER TO PERFORM ATTENUATION MEASUREMENTS.
 12. THE CONTRACTOR SHALL PERFORM OTDR TESTING ON ALL FIBERS WITH THE ITD REPRESENTATIVE PRESENT BEFORE FINAL ACCEPTANCE. THE CONTRACTOR PROVIDED OPERATOR SHALL BE QUALIFIED TO PERFORM THE TEST. WRITTEN TEST RESULTS SHALL BE PROVIDED TO THE CITY OF MESA FIELD INSPECTOR FOR EACH FIBER TESTED. UNACCEPTABLE RESULTS SHALL REQUIRE THE CONTRACTOR TO REINSTALL NECESSARY SECTIONS OF CABLE, SPlicing ONLY AT POINTS INDICATED ON PLANS, AND AT THE CONTRACTOR'S EXPENSE.
 13. THE CONTRACTOR SHALL COMPLETE A FIBER OPTIC CONTINUITY TEST WITH A MODULATED LIGHT SOURCE AND POWER METER TO VERIFY THAT SPICES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
 14. RE-TESTING SHALL BE REQUIRED IF ANY SPlice CLOSURE IS OPENED AFTER TESTING. AFTER COMPLETING THE REWORK, THE CONTRACTOR SHALL USE AN OTDR IN ACCORDANCE WITH EA-455-59 AND EA-455-61 TO TEST EACH AND EVERY FIBER STRAND PASSING THROUGH ANY SPlice TRAY THAT WAS OPENED BY THE CONTRACTOR.
- ITD FIBER OPTIC MATERIALS**
(REVISED 11-23-11) (2018 VERSION)
1. REFERENCES TO A MANUFACTURER'S TRADE NAME OR CATALOG NUMBER ARE FOR THE PURPOSE OF IDENTIFICATION TO ESTABLISH A LEVEL OF QUALITY AND THE CONTRACTOR WILL NOT BE PERMITTED TO FURNISH LIKE MATERIALS OF OTHER MANUFACTURERS, EXCEPT WHERE MANUFACTURER NAME IS NOT INDICATED, PROVIDED IF THEY ARE OF EQUAL QUALITY, COMPLETE WITH SPECIFICATIONS FOR THIS PROJECT, AND ARE APPROVED BY THE ENGINEER.
 2. SEE TECHNICAL SPECIFICATIONS FOR FIBER OPTIC MATERIAL INFORMATION.
 3. SEE TECHNICAL SPECIFICATIONS FOR PULL BOX MATERIALS INFORMATION. PULL BOX COVER LETTERING SHALL BE 1" LETTERS CAST IN STANDARD MARKINGS CITY OF MESA ITS FIBER OPTIC. PULL BOX COVER WILL BE SECURED WITH A 5-POINT SECURITY BOLT.
 4. EACH FIBER SHALL BE DISTINGUISHABLE BY MEANS OF A COLOR CODE IN ACCORDANCE WITH ITA/EA-588.
 5. THE CABLE MANUFACTURER SHALL CERTIFY THAT THE CABLE IS IN CONFORMANCE WITH THE SPECIFICATIONS.
 6. THE CONTRACTOR SHALL FURNISH AND INSTALL OUTDOOR RATED SPlicing CLOSURE IN MANHOLES AND SPlicing FIBER CABLE. THE CONTRACTOR SHALL FURNISH AND INSTALL FIBER PATCH PANEL IN CABINETS AND TERMINATE FIBER. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL COUPLERS AND CONNECTORS.
 7. ALL PATCH PANEL CONNECTORS SHALL BE LC TYPE CONNECTORS OR APPROVED EQUAL.

GENERAL NOTES

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(REVISED 02-07-12) (2018 VERSION)

1. CONTRACTOR WILL REQUEST AND MAINTAIN A VALID ONE CALL NOTICE FOR THE DURATION OF THE EXCAVATION PERIOD. CONTRACTOR IS TO CONTACT AIR PRODUCTS 48 HOURS IN ADVANCE TO WORKING WITHIN TEN (10) FEET OF PIPELINE AT 480-225-1406, 480-225-1888, OR 480-899-1177. CONTRACTOR SHALL USE SOFT DIG METHODS TO LOCATE AND IDENTIFY THE 6" NITROGEN PIPELINE WHEN THE WORK HAS BROUGHT THEM TO WITHIN FIVE (5) FEET OF THE 6" PIPELINE.
2. ANY CONTINUOUS EXPOSURE THAT UNDERMINES THE PIPELINE FOR FIFTEEN (15) FEET OR MORE SHALL BE SUPPORTED BY THE CONTRACTOR USING AN APPROVED METHOD APPROVED UPON BY THE AIR PRODUCTS REPRESENTATIVE AND THE CONTRACTOR.
3. THE CONTRACTOR SHALL PROVIDE AND ALLOW SAFE JOB SITE ACCESS FOR THE AIR PRODUCTS REPRESENTATIVE TO THE NITROGEN PIPELINE FOR THE PURPOSE OF INSPECTIONS FOR PIPE AND/OR COATING DAMAGE, OR REPAIR AS REQUIRED.
4. ANY NEW FACILITY BEING INSTALLED OR EXCAVATION DURING THIS PROJECT SHALL MAINTAIN A TWO (2) FOOT SEPARATION FROM THE NITROGEN PIPELINE IN ALL DIRECTIONS.
5. BACKFILL MATERIAL SHALL CONSIST OF CLEAN SAND FOR TWO FEET AROUND THE NITROGEN PIPELINE. SLURRY IS NOT TO BE PLACED ON OR WITHIN TWO (2) FOOT OF A NITROGEN PIPELINE.
6. IF DURING THE PROJECT THE CONTRACTOR ENCOUNTERS ANY AIR PRODUCTS TEST STATION(S) AND/OR VENT STATION(S) AND IT IS DETERMINED THAT A RELOCATION OF THESE FACILITIES IS NECESSARY, THE CONTRACTOR SHALL PROVIDE TRENCHING AND BACKFILLING AS REQUIRED TO AN ADEQUATE DEPTH AND WIDTH FROM THE EXISTING TEST/VENT STATION(S) TO AN AREA AGREED UPON BY ALL PARTIES IN THE FIELD. OTHER THAN WELDING, AIR PRODUCTS WILL PROVIDE THE MATERIALS AND LABOR TO RELOCATE TEST/VENT STATION(S).

CONTRACTOR SHALL PROVIDE PROTECTION FOR ANY AND ALL AIR PRODUCTS FACILITIES ABOVE AND BELOW GROUND WITHIN THE SCOPE OF THIS PROJECT FOR THE DURATION OF THE PROJECT.

STREET LIGHTING GENERAL NOTES

(REVISED 05-17-12) (2018 VERSION)

1. ALL WORKMANSHIP, MATERIAL AND INSTALLATION SHALL COMPLY WITH THE CURRENT M.A.G. UNIFORM STANDARD DETAILS AND SPECIFICATIONS AS AMENDED BY THE CITY OF MESA, THE CITY OF MESA ENGINEERING & DESIGN STANDARDS AND THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE.
2. THE CITY OF MESA REQUIRES AT LEAST ONE IMSA CERTIFIED LEVEL 1 ROADWAY LIGHTING OR TRAFFIC SIGNAL TECHNICIAN ON SITE DURING ALL PHASES OF ANY STREET LIGHT WORK. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE VERIFICATION OF CURRENT CERTIFICATION. IF A JOB SITE IS INSPECTED AND A CERTIFIED TECHNICIAN IS NOT ON SITE, THE JOB WILL BE SHUT DOWN.
3. CONTRACTOR SHALL SUBMIT A LIST CONTAINING NAMES AND QUALIFIED STATUS OF PERSONNEL THAT WILL BE ON THE IMMEDIATE JOB SITE TO THE INSPECTOR PRIOR TO STARTING ANY TYPE OF CONSTRUCTION. ANY CHANGE IN THIS LIST WILL REQUIRE IMMEDIATE NOTIFICATION TO THE INSPECTOR.
4. DURING THE CONSTRUCTION OR WARRANTY PERIOD, IF THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITHIN TWO (2) WORKING DAYS OF A REQUEST OF THE INSPECTOR OR IF A STREET LIGHT OUTAGE MAKES IT NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY WILL BE JUSTIFIED IN BILLING THE CONTRACTOR. A SEPARATE BILLING SHALL COVER EACH INCIDENT REQUIRING WORK BY CITY FORCES. THE AMOUNT OF EACH BILLING SHALL BE EITHER \$350.00 OR THE ACTUAL ACCUMULATED CHARGES FOR EMPLOYEES' TIME, MATERIALS, AND EQUIPMENT, WHICHEVER IS GREATER. EMPLOYEES' TIME WILL BE BILLED AT EACH INDIVIDUAL'S HOURLY RATE PLUS THE APPLICABLE CITY OVERHEAD RATE.
5. INSPECTORS SHALL BE REQUESTED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE FOLLOWING LIST:

- A. BEFORE STARTING PROJECT (PRE-JOB INSPECTION).
- B. BEFORE FILLING PULL BOX HOLES WITH AGGREGATE.
- C. BEFORE BACKFILLING TRENCH AND COVERING CONDUIT.
- D. WHEN THE POLE FOUNDATIONS ARE DUG, ANCHOR BOLTS, GROUND WIRE AND GROUND PLATE ARE READY AND IN PLACE, PRIOR TO POURING CONCRETE.
- E. BEFORE PULLING WIRE.
- F. BEFORE INSTALLATION OF FIXTURES AND PHOTOCELL.
- G. BEFORE MAKING SPLICES.
- H. WHEN PROJECT IS COMPLETED. IF NECESSARY, A LIST OF DISCREPANCIES WILL BE SUBMITTED TO THE CONTRACTOR FOR CORRECTIVE ACTION. FAILURE TO HAVE THESE ITEMS INSPECTED AND APPROVED BEFORE PROCEEDING WILL RESULT IN REJECTION OF THE WORK DONE, AND REMOVAL OF ALL SUCH WORK WILL BE REQUIRED.

6. ALL STREET LIGHTS SHALL BE CONNECTED TO THE PERMANENT POWER SUPPLY BY THE AGENCY SUPPLYING POWER. STREET LIGHT SYSTEMS WILL NOT BE ACCEPTED UNTIL THE SYSTEM HAS BEEN ENERGIZED AND FULLY OPERATIONAL FOR A MINIMUM ONE-HOUR TEST PERIOD AT RATED VOLTAGE.
7. WHERE LIGHTING CONTROL CABINETS ARE UTILIZED, STREET LIGHT CIRCUITS SHALL BE 240 VOLT. WHERE CABINETS ARE NOT USED, STREET LIGHT CIRCUITS SHALL BE 120 VOLT. ALL SERVICES SHALL BE 120/240 VOLT. ALL CONTROL CIRCUITS SHALL BE 120 VOLT.
8. BEFORE DISCONNECTING ANY EXISTING STREET LIGHTS, THE NEW LIGHT SYSTEM SHALL BE WORKING OR TEMPORARY LIGHTING INSTALLED. EXISTING STREET LIGHTS TO BE REMOVED AND NEW STREET LIGHTS SHALL NOT OPERATE AT THE SAME TIME.
9. POLES HAVING MULTIPLE LUMINAIRES SHALL HAVE TWO (2) CONDUCTORS AND ONE (1) BOND WIRE PER LUMINAIRE. THE CONDUCTORS SHALL BE MARKED AS PAIRS AT THE HAND HOLE.
10. ALL UNDERGROUND CIRCUIT CONDUCTORS SHALL BE BLACK, UNLESS OTHERWISE NOTED.
11. WHERE STREET LIGHTS OR CIRCUITS ARE 120 VOLT, ONE CONDUCTOR SHALL BE UNFUSED AND BE EITHER WHITE OR MARKED WHITE, AS REQUIRED.
12. ALL CIRCUIT CONDUCTORS IN CONDUIT SHALL BE XHHW/XHHW-2 INSULATION, EXCEPT PHOTOCELL CIRCUIT SHALL BE TRAY CABLE (SEE NOTE 13 THIS PAGE).
13. THE TRAY CABLE SHALL BE FIBRE FR-EPH XHHW-2 CONDUCTORS, OPE JACKET, 600VOLTS) FRPC 4/3 (COLORS: BLACK-RED-WHITE) OR EQUIVALENT, RUN UNDERGROUND FROM THE LIGHTING CONTROL CABINET TO THE HANDHOLE OF THE PHOTOCELL LIGHT POLE, WHICH SHALL BE CONTINUOUS & WITHOUT SPLICES. FROM THE HANDHOLE UP, THREE (3) CONDUCTORS OF NO. 14 AWG THIN OR EQUIVALENT WILL BE SPLICED WITH BUTT SPLICES (NO WIRE NUTS) TO THE TERMINAL BLOCK OF THE PHOTOCELL CONTROLLED LUMINAIRE. BUTT SPLICES SHALL BE INSULATED AND THE CRIMP TYPE.
14. MINIMUM DEPTH FROM TOP OF CURB OR ROADWAY TO TOP OF CONDUIT SHALL BE TWENTY-FOUR (24) INCHES. MAXIMUM DEPTH SHALL BE FORTY-EIGHT (48) INCHES, UNLESS OTHERWISE APPROVED.
15. UNDERGROUND WIRING SHALL BE INSTALLED IN SCHEDULE 40 RIGID PVC CONDUIT, UL APPROVED FOR ABOVE GROUND AND UNDERGROUND USE WITH 90 DEGREE C WIRE. WHERE TWENTY-FOUR (24) INCHES COVER IS NOT POSSIBLE, GALVANIZED RIGID STEEL CONDUIT (GRS) SHALL BE USED.
16. GALVANIZED RIGID STEEL CONDUIT (GRS) SHALL BE DOUBLE WRAPPED WITH 20-MIL TAPE TO SIX (6) INCHES PAST THE THREADED METAL COUPLING. COMPRESSION COUPLINGS ARE NOT ALLOWED. PRIOR APPROVAL IS NEEDED FOR ANY DESIGN USING GRS CONDUIT. ALL CONDUITS SHALL BE BLOWN OUT USING 90-PSI AIR PRESSURE BEFORE PULLING WIRE.
17. A TWO-PIECE EXPANSION JOINT COUPLING SHALL BE INSTALLED IN PVC CONDUIT RUNS AT INTERVALS NOT TO EXCEED ONE-HUNDRED (100) FEET.
18. ALL FORTY-FIVE (45) AND NINETY (90) DEGREE BENDS OF CONDUIT SHALL HAVE A RADIUS OF NOT LESS THAN EIGHTEEN (18) INCHES. FACTORY BENDS ONLY SHALL BE USED.
19. ALL JOINTS BETWEEN PVC CONDUITS, COUPLINGS AND FITTINGS SHALL BE PREPARED WITH PURPLE PRIMER AND CEMENTED TOGETHER WITH GRAY PVC CEMENT.
20. THE CONDUIT LOCATIONS SHOWN ON PLANS ARE DIAGRAMMATIC REPRESENTATIONS ONLY. CONTRACTOR IS TO INSTALL CONDUIT TO AVOID CONFLICTS. THE CONTRACTOR MAY, AT HIS OPTION BORE FOR THE PLACEMENT OF CONDUIT PER MESA STD DETAIL M-18. ALL CONDUITS SHALL BE PLACED WITHIN EXISTING RIGHT-OF-WAY UNLESS OTHERWISE APPROVED.
21. STREET LIGHT CONDUITS SHOULD BE INSTALLED PRIOR TO RESIDENTIAL DRIVEWAY INSTALLATIONS. IF STREET LIGHT CONDUIT IS INSTALLED AFTER RESIDENTIAL DRIVEWAY INSTALLATION, CONTRACTOR SHALL BORE CONDUIT UNDER DRIVEWAY, MEANDERING THE CONDUIT BEHIND THE ENTRANCE WILL NOT BE PERMITTED.
22. BACKFILL REQUIREMENTS FOR ALL TRENCHES SHALL CONFORM TO ARTICLE 300 OF THE NATIONAL ELECTRIC CODE, SECTION 601 OF THE UNIFORM STANDARD SPECIFICATIONS, AND MESA STD DETAIL M-18.4 FOR STREET TRENCH BACKFILL AND PAVEMENT REPLACEMENT.
23. WITH THE EXCEPTION OF DETACHED SIDEWALKS, PULL BOXES SHALL BE INSTALLED (SEE MESA STD DETAILS M-74.1 AND M-74.2) FIVE (5) FEET (CENTER TO CENTER) BETWEEN STREET LIGHT POLES AND PULL BOXES.
24. PHOTOCELL RECEPTACLE SHALL BE POSITIONED ON LUMINAIRE SO THAT WHEN INSTALLED, THE PHOTOCELL WILL FACE NORTH.
25. ALL SHORTING CAPS TO BE LOW PROFILE TYPE, NO HIGHER THAN 1-1/2" ABOVE SOCKET.
26. ALL PHOTOCELL CIRCUIT CONDUIT MUST BE 1-1/2" OR LARGER (TO INCLUDE CONDUIT STUBBING UP AT PHOTOCELL LIGHT POLE).
27. ALL FINISHED POLE FOUNDATIONS, SERVICE ENTRANCE SECTIONS, LIGHTING CONTROL CABINET PADS AND PULLBOXES SHALL BE AT SIDEWALK GRADE UNLESS OTHERWISE NOTED.
28. WHEN CONCRETE FOUNDATIONS ARE POURED, THEY SHALL BE VIBRATED WITH A MECHANICAL VIBRATOR.
29. POLE FOUNDATIONS SHALL CURE FOR 72 HOURS BEFORE INSTALLING LIGHT POLES OR REMOVING POLE BRACING.
30. ALL POLE FOUNDATIONS SHALL HAVE A COPPER GROUNDING PLATE PER MESA STD DETAIL M-73.6, G-101.
31. ALL STEEL POLES AND STEEL POLE PARTS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH MAG STANDARD SPECIFICATION 771.
32. ALL POLES SHALL BE WIRE USING TWO (2) NO. 12 BLACK THIN/THIN 90 DEGREE C STRANDED COPPER CONDUCTORS, 600 VOLT, NEC APPROVED AND ONE (1) NO. 12 GREEN THIN/THIN STRANDED COPPER BOND WIRE GROUNDING THE LUMINAIRE. WIRES SHALL RUN FROM THE LUMINAIRE TO MINIMUM OF TWELVE (12) INCHES BELOW POLE HANDHOLE FOR TERMINATION. POLES HAVING MULTIPLE LUMINAIRES SHALL HAVE TWO (2) CONDUCTORS AND ONE (1) BOND WIRE PER LUMINAIRE, AND THE CONDUCTORS SHALL BE MARKED AS PAIRS AT THE HANDHOLE.
33. THREE WIRES SHALL BE RUN CONTINUOUSLY WITHOUT SPLICES FROM THE PHOTOCELL TO THE HAND HOLE COVER WHERE IT WILL BE BUTT SPLICED TO THE 14-4 TRAY (SEE NOTE 13 THIS PAGE). THEY SHALL BE NO. 12 THIN/THIN 90 DEGREE C STRANDED COPPER CONDUCTORS, 600 VOLT, NEC APPROVED. THE "POWER TO PHOTO" SHALL BE IDENTIFIED BY BLACK INSULATION. THE "POWER FROM PHOTO" SHALL BE IDENTIFIED BY WHITE INSULATION.
34. ALL LIGHTING CONDUCTORS AND BOND WIRES SHALL BE COPPER.
35. ALL PVC CONDUIT RUNS SHALL CONTAIN A MINIMUM NO. 8 GREEN XHHW INSULATED SEVEN (7) STRAND COPPER BOND WIRE.
36. ALL CONDUCTORS SHALL BE STRANDED.
37. THE NO. 8 STRANDED GROUNDING WIRE IN THE CONCRETE POLE FOUNDATION GOING TO THE GROUNDING PLATE SHALL BE INSULATED WITH XHHW INSULATION THROUGH THE CONCRETE FOUNDATION AND TWO (2) INCHES EACH SIDE OF THE CONCRETE FOUNDATION.
38. ALL LIGHTING CONTROL CABINETS SHALL BE INSTALLED WITHIN TWO (2) WEEKS OF BEGINNING THE STREET LIGHT IMPROVEMENTS.
39. EACH LUMINAIRE SHALL BE FUSED BEHIND THE POLE HANDHOLE COVER USING AN HEB TYPE FUSE HOLDER WITH INSULATING BOOTS AND A 5-AMP FIM FUSE OR APPROVED EQUAL.
40. ALL FINISHED STREET LIGHT POLE FOUNDATIONS AND CONTROLLER PAD SHALL BE AT SIDEWALK GRADE AND ADJACENT TO SIDEWALK UNLESS OTHERWISE NOTED. STREET LIGHT PULL BOXES SHALL BE AT SIDEWALK GRADE AND TWELVE (12) INCHES FROM SIDEWALK UNLESS OTHERWISE NOTED. (MESA STD DETAIL M-74.2, INSTALLATION NOTE 1).
41. PROJECT SHALL BE BLUE STAKED BEFORE ANY DIGGING IS STARTED BY CALLING 602-263-1100 OR 811.
42. ALL HIGH-PRESSURE SODIUM LAMPS SHALL CONFORM TO THE APPROPRIATE LAMP SPECIFICATION FOR ITS PARTICULAR WATTAGE. SEE LAMP SPECIFICATION, MESA STD DETAIL M-71.
43. ALL SPLICES INCLUDING GROUNDS AND BONDS SHALL BE DONE WITH A GEL CAP STUB SPLICE KIT, GEL CAP #SL-2/0-3 HOLE, OTHER GEL CAP PRODUCTS OF APPROPRIATE SIZE OR APPROVED EQUAL. FOR APPROVED STREET LIGHT MATERIALS SEE: <http://www.mesaaz.gov/business/engineering/approve-products-equipment-natural-gas-line-contractors>
44. STATION NUMBERS ARE APPROXIMATE. IN SUBDIVISIONS, LOCATE STREET LIGHT POLES AND LIGHTING CONTROL CABINETS ACCORDING TO LOT LINE MEASUREMENTS.
45. STREET PAVING PERMITTEE/CONTRACTOR IS HEREBY NOTIFIED THAT STREET PAVING WILL NOT BE ACCEPTED BY THE CITY OF MESA UNTIL ALL STREET LIGHTS, RETENTION BASINS AND LANDSCAPING IMPROVEMENTS ARE INSTALLED AND ACCEPTED.
46. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL WORK ASSOCIATED WITH THE STREET LIGHTING SYSTEM IS INSPECTED AND APPROVED BY THE CITY PRIOR TO BACKFILLING TRENCHES OR COVERING ANY WORK. CONTACT THE CITY OF MESA ENGINEERING FIELD INSPECTOR TO ARRANGE FOR STREET LIGHT SYSTEM INSPECTION.
47. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL P-301 POLES WHERE IMPACTED BY PROJECT REQUIREMENTS. ALL OTHER LIGHTING EQUIPMENT SHALL BE RETURNED TO THE LIGHTING FOREMAN (480-644-3178) WITH 48 HOURS NOTICE.

LANDSCAPE IRRIGATION GENERAL NOTES

(REVISED 02-15-18) (2018 VERSION)

1. IRRIGATION DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE INTENDED TO CONCEPTUALLY CONVEY FULL COVERAGE BY THE IRRIGATION SYSTEM. PRINTS SHALL NOT BE SCALED. IRRIGATION LINES SHALL BE PLACED IN PLANTERS AND TURF AREAS, RATHER THAN UNDER PAVEMENT, WHERE POSSIBLE. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION LAYOUT OF THE SYSTEM IN ACCORDANCE WITH THE DRAWINGS TO PROPORTIONALLY COVER THE OPEN AREAS AS SHOWN. THE LAYOUT MAY BE MODIFIED IF NECESSARY TO OBTAIN FULL COVERAGE TO SUIT THE MANUFACTURER'S STANDARD SPECIFIED HEADS. MODIFICATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE ANY MODIFICATIONS ARE TO BE INSTALLED. DO NOT DECREASE THE NUMBER OF IRRIGATION HEADS OR EMITTERS INDICATED UNLESS THE LANDSCAPE ARCHITECT IS NOTIFIED IN WRITING AND HAS ACCEPTED. THE SYSTEM SHALL BE TESTED FOR COMPLETE COVERAGE AND ALL NECESSARY AND PROPER ADJUSTMENTS HAVE BEEN MADE TO GET FULL AND PROPER COVERAGE PRIOR TO ACCEPTANCE BY THE OWNER.
2. PRIOR TO THE INSTALLATION OF ANY IRRIGATION SYSTEM COMPONENTS THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE OF THE AVAILABLE WATER POINT OF CONNECTION. IN THE EVENT THAT THE STATIC PRESSURE IS LESS THAN THE FIELD VERIFIED AMOUNT NOTED IN THE APPROVED PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE DISCREPANCY. THE LANDSCAPE ARCHITECT WILL ASSESS THE SITUATION AND ADJUST THE DESIGN IF NECESSARY. THE CONTRACTOR SHALL NOT CONTINUE IRRIGATION WORK UNTIL THE LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN APPROVAL TO DO SO.
3. ALL IRRIGATION PIPE TYPE AND SIZE PER THE APPROVED PLANS AND SPECIFICATIONS. ALL MAINLINE PIPE SHALL BE NEW PVC PIPE. ALL MAINLINE FITTINGS SHALL BE ASTM 2466 OR ASTM 2464 FITTINGS. ALL LATERAL LINE PIPE SHALL BE NEW PVC PIPE. FITTINGS ON ALL PVC LATERAL LINES SHALL BE ASTM 2466 FITTINGS UNLESS OTHERWISE SHOWN ON THE PLANS AND DETAILS.
4. LIVE IRRIGATION MAINLINES SHALL BE INSTALLED A MINIMUM OF 24" BELOW FINISH GRADE. BACKFILL THE TRENCH AROUND LIVE SERVICE MAINLINES ACCORDING TO CITY OF MESA STANDARDS. LATERAL LINES SHALL BE PLACED A MINIMUM OF 18" BELOW FINISH GRADE.
5. WATER SERVICE LINE TO METER WILL BE PROVIDED BY GENERAL CONTRACTOR. WATER METER WILL BE INSTALLED BY THE CITY. INSTALL THE IRRIGATION MAINLINE TO THE BACKFLOW PREVENTION DEVICE AND WATER METER. CONNECTIONS AND BACKFLOW SHALL BE INSTALLED AS PER INDUSTRY AND CITY OF MESA STANDARDS.
6. ALL VALVES SHALL BE LOCATED IN GROUPS AS SHOWN ON DRAWINGS IN LANDSCAPE AREAS. VALVES SHALL BE LOCATED A MINIMUM OF 12" AWAY FROM ANY BUILDING, FENCE, MOATBIP, SIDEWALK OR CURB.
7. ALL VALVES ARE TO BE WIRED TO CONTROLLERS USING #14 AWG DIRECT BURY WIRE AND WATER-RESISTANT WIRE CONNECTORS. COMMON WIRE SHALL BE #12 AWG DIRECT BURIAL WIRE AND WATER-RESISTANT WIRE CONNECTORS. ALL VALVE WIRES UNDER PAVING SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES BURIED 24" DEEP. RUN ONE EXTRA WIRE FROM THE CONTROLLER TO EACH GROUP OF VALVES FOR FUTURE USE AND COIL A 48" LOOP OF WIRE IN A PULL BOX. MARK THE WIRE COIL WITH A CHRISTY TAG NOTING ITS CORRESPONDING STATION NUMBER.
8. THE CONTRACTOR SHALL PROVIDE AND INSTALL THE NEW IRRIGATION CONTROLLER IN THE LOCATION INDICATED ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR POWER CONNECTIONS FROM THE ELECTRICAL METER AND ALL SYSTEMS.
9. PROVIDE AND INSTALL ALL THE MANUFACTURER'S RECOMMENDED SURGE AND LIGHTNING PROTECTION EQUIPMENT ON ALL CONTROLLERS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY SITE ITEMS DAMAGED DURING THE COURSE OF CONSTRUCTION WHERE CONSTRUCTION ACTIVITIES HAVE DISTURBED THE SITE INSIDE OR OUTSIDE OF THE CONTRACT LIMITS. ALL AREAS SHALL BE REPAIRED AND RESTORED TO ORIGINAL CONDITION. REPAIRED AREAS SHALL BE CONSTRUCTED TO PROVIDE A SMOOTH TRANSITION IN GRADING AND MATERIALS FROM EXISTING TO NEW CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM SHOWING EXACT MEASURED AND DIMENSIONED LOCATIONS OF ALL VALVE BOXES, PULL BOXES, QUICK COUPLERS, METER MANIFOLD EQUIPMENT, CONTROLLERS, SLEEVES AND OTHER ITEMS. THE DIMENSIONS TO PERMANENT FEATURES SUCH AS STRUCTURES.
12. IRRIGATION SLEEVES SHALL BE INSTALLED BENEATH ALL PAVEMENT, DRIVEWAYS AND DRAINAGE STRUCTURES THAT ARE CROSSED WITH IRRIGATION MAINLINE OR LATERAL PIPE OR CONTROLLER WIRE. ALL SLEEVES SHALL BE SCHEDULE 40 PIPE. SIZE SHALL BE 4" FOR ALL PIPING. SIZE SHALL BE 2" WHERE ONLY CONTROLLER WIRE IS PROVIDED. SLEEVES SHALL BE EXTENDED 6" INTO LANDSCAPE AREA.
13. ONLY ONE VALVE SHALL BE PROVIDED PER VALVE BOX. ALL HARDWARE SHALL BE STAINLESS STEEL. BOLTS SHALL HAVE WASHERS. EXPANSION COILS SHALL BE PROVIDED AT EACH WIRE CONNECTION IN VALVE BOX. WRAP WIRE AROUND 1/2" PVC PIPE 15 TIMES. COVER SHALL BE EMBOSSED WITH 1/2" LETTERS ON CONTROLLER AND ON VALVES WITH CORRESPONDING FIELD NUMBER.
14. ADEQUATE PRESSURE SHALL BE VERIFIED FOR ALL PIPE RUNS PRIOR TO COVERING PIPE IN TRENCHES. OWNER'S REPRESENTATIVE SHALL BE PRESENT FOR ALL IRRIGATION PRESSURE TESTING PRIOR TO COVERING TRENCHES.
15. ALL WORK AND MATERIALS MUST MEET CITY OF MESA STANDARDS.
16. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS INCLUDING ALL APPURTENANCES AND LABOR NECESSARY TO INSTALL THE COMPLETE AUTOMATIC SPRINKLER SYSTEM FROM THE METER. WATER USAGE CHARGES SHALL BE PAID BY CONTRACTOR UNTIL PROJECT FINAL ACCEPTANCE BY CITY OF MESA.
17. PROJECT RECORD DRAWINGS FOR IRRIGATION SYSTEM:
 - A. MAINTAIN ON SITE AND SEPARATE FROM DOCUMENTS USED FOR CONSTRUCTION, ONE COMPLETE SET OF CONTRACT DOCUMENTS AS PROJECT RECORD DOCUMENTS. KEEP DOCUMENTS CURRENT. DO NOT PERMANENTLY COVER WORK UNTIL AS-BUILT INFORMATION IS RECORDED.
 - B. RECORD PIPE AND WIRING NETWORK ALTERATIONS. RECORD WORK WHICH IS INSTALLED DIFFERENTLY THAN SHOWN ON THE CONSTRUCTION DRAWINGS. RECORD ACCURATE REFERENCE DIMENSIONS, MEASURED FROM AT LEAST TWO PERMANENT REFERENCE POINTS, OF EACH IRRIGATION SYSTEM VALVE, EACH BACKFLOW PREVENTION DEVICE, EACH CONTROLLER OR CONTROLLER UNIT, EACH SLEEVE END, EACH STUB-OUT FOR FUTURE PIPE OR WIRING CONNECTIONS, AND OTHER IRRIGATION COMPONENTS ENCLOSED WITHIN A VALVE BOX.

PARK LIGHTING GENERAL NOTES

(REVISED 02-15-12) (2018 VERSION)

1. ALL WORKMANSHIP, MATERIAL AND INSTALLATION SHALL COMPLY WITH THE CURRENT M.A.G. UNIFORM STANDARD DETAILS AND SPECIFICATIONS AS AMENDED BY THE CITY OF MESA, THE CITY OF MESA ENGINEERING & DESIGN STANDARDS AND THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRIC CODE.
2. DURING THE CONSTRUCTION OR WARRANTY PERIOD, IF THE CONTRACTOR FAILS TO OR IS UNABLE TO COMPLY WITHIN TWO (2) WORKING DAYS OF A REQUEST OF THE INSPECTOR OR IF A PARK LIGHT OUTAGE MAKES IT NECESSARY FOR CITY FORCES TO DO WORK THAT IS NORMALLY THE CONTRACTOR'S RESPONSIBILITY, THE CITY WILL BE JUSTIFIED IN BILLING THE CONTRACTOR. A SEPARATE BILLING SHALL COVER EACH INCIDENT REQUIRING WORK BY CITY FORCES. THE AMOUNT OF EACH BILLING SHALL BE EITHER \$350.00 OR THE ACTUAL ACCUMULATED CHARGES FOR EMPLOYEES' TIME, MATERIALS, AND EQUIPMENT, WHICHEVER IS GREATER. EMPLOYEES' TIME WILL BE BILLED AT EACH INDIVIDUAL'S HOURLY RATE PLUS THE APPLICABLE CITY OVERHEAD RATE.
3. INSPECTORS SHALL BE REQUESTED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE FOLLOWING LIST:
 - A. BEFORE STARTING PROJECT (PRE-JOB INSPECTION).
 - B. BEFORE FILLING PULL BOX HOLES WITH AGGREGATE.
 - C. BEFORE BACKFILLING TRENCH AND COVERING CONDUIT.
 - D. WHEN THE POLE FOUNDATIONS ARE DUG, ANCHOR BOLTS, GROUND WIRE AND GROUND PLATE ARE READY AND IN PLACE, PRIOR TO POURING CONCRETE.
 - E. BEFORE PULLING WIRE.
 - F. BEFORE INSTALLATION OF FIXTURES AND PHOTOCELL.
 - G. BEFORE MAKING SPLICES.
 - H. WHEN PROJECT IS COMPLETED.
 - I. IF NECESSARY, A LIST OF DISCREPANCIES WILL BE SUBMITTED TO THE CONTRACTOR FOR CORRECTIVE ACTION. FAILURE TO HAVE THESE ITEMS INSPECTED AND APPROVED BEFORE PROCEEDING WILL RESULT IN REJECTION OF THE WORK DONE, AND REMOVAL OF ALL SUCH WORK WILL BE REQUIRED.
4. ALL PARK LIGHTING SHALL BE CONNECTED TO THE PERMANENT POWER SUPPLY BY THE AGENCY SUPPLYING POWER. STREET LIGHT SYSTEMS WILL NOT BE ACCEPTED UNTIL THE SYSTEM HAS BEEN ENERGIZED AND FULLY OPERATIONAL FOR A MINIMUM ONE-HOUR TEST PERIOD AT RATED VOLTAGE.
5. BEFORE DISCONNECTING ANY EXISTING LIGHTS, THE NEW LIGHT SYSTEM SHALL BE WORKING OR TEMPORARY LIGHTING INSTALLED. EXISTING PARK LIGHTS TO BE REMOVED AND NEW PARK LIGHTS SHALL NOT OPERATE AT THE SAME TIME.
6. POLES HAVING MULTIPLE LUMINAIRES SHALL HAVE TWO (2) CONDUCTORS AND ONE (1) BOND WIRE PER LUMINAIRE. THE CONDUCTORS SHALL BE MARKED AS PAIRS AT THE HANDHOLE. ALL UNDERGROUND CIRCUIT CONDUCTORS SHALL BE BLACK, UNLESS OTHERWISE NOTED.
7. MINIMUM DEPTH FROM FINISHED GRADE TO TOP OF CONDUIT SHALL BE THIRTY-SIX (36) INCHES. MAXIMUM DEPTH SHALL BE FORTY-EIGHT (48) INCHES, UNLESS OTHERWISE APPROVED.
8. UNDERGROUND WIRING SHALL BE INSTALLED IN SCHEDULE 40 RIGID PVC CONDUIT, UL APPROVED FOR ABOVE GROUND AND UNDERGROUND USE WITH 90 DEGREE C WIRE. WHERE THIRTY-SIX (36) INCHES COVER IS NOT POSSIBLE, GALVANIZED RIGID STEEL CONDUIT (GRS) SHALL BE USED. GRS CONDUIT SHALL BE DOUBLE WRAPPED WITH 20-MIL TAPE TO SIX (6) INCHES PAST THE THREADED METAL COUPLING. COMPRESSION COUPLINGS ARE NOT ALLOWED. PRIOR APPROVAL IS NEEDED FOR ANY DESIGN USING GRS CONDUIT.
9. ALL CONDUITS SHALL BE BLOWN OUT USING 90-PSI AIR PRESSURE BEFORE PULLING WIRE.
10. A TWO-PIECE EXPANSION JOINT COUPLING SHALL BE INSTALLED IN PVC CONDUIT RUNS AT INTERVALS NOT TO EXCEED ONE-HUNDRED (100) FEET.
11. ALL FORTY-FIVE (45) AND NINETY (90) DEGREE BENDS OF CONDUIT SHALL HAVE A RADIUS OF NOT LESS THAN EIGHTEEN (18) INCHES. FACTORY BENDS ONLY SHALL BE USED.
12. ALL JOINTS BETWEEN PVC CONDUITS, COUPLINGS & FITTINGS SHALL BE PREPARED WITH PURPLE PRIMER AND CEMENTED TOGETHER WITH GRAY PVC CEMENT.
13. THE CONDUIT LOCATIONS SHOWN ON PLANS ARE DIAGRAMMATIC REPRESENTATIONS ONLY. CONTRACTOR IS TO INSTALL CONDUIT TO AVOID CONFLICTS. THE CONTRACTOR MAY, AT HIS OPTION BORE FOR THE PLACEMENT OF CONDUIT PER MESA STD DETAIL M-18 AND M-18.1. ALL CONDUITS SHALL BE PLACED WITHIN EXISTING RIGHT-OF-WAY UNLESS OTHERWISE APPROVED.
14. LIGHTING CONDUITS SHOULD BE INSTALLED PRIOR TO DRIVEWAY, PARKING LOT, OR SIDEWALK INSTALLATIONS. IF LIGHTING CONDUIT IS INSTALLED AFTER DRIVEWAY, PARKING LOT, OR SIDEWALK INSTALLATIONS, CONTRACTOR SHALL BORE CONDUIT UNDER DRIVEWAY.
15. BACKFILL REQUIREMENTS FOR ALL TRENCHES SHALL CONFORM TO ARTICLE 300 OF THE N.E.C., SECTION 601 OF THE UNIFORM STANDARD SPECIFICATIONS, AND MESA STD DETAIL M-18.4 FOR STREET TRENCH BACKFILL AND PAVEMENT REPLACEMENT.
16. WITH THE EXCEPTION OF DETACHED SIDEWALKS, PULL BOXES SHALL BE INSTALLED (SEE MESA STD DETAILS M-74.1 AND M-74.2) FIVE (5) FEET (CENTER TO CENTER) BETWEEN STREET LIGHT POLES AND PULL BOXES.
17. PHOTOCELL RECEPTACLE SHALL BE POSITIONED ON LUMINAIRE SO THAT WHEN INSTALLED THE PHOTOCELL WILL FACE NORTH.
18. ALL SHORTING CAPS TO BE LOW PROFILE TYPE, NO HIGHER THAN 1-1/2" ABOVE SOCKET.
19. ALL PHOTOCELL CIRCUIT CONDUIT MUST BE 1-1/2" OR LARGER (TO INCLUDE CONDUIT STUBBING UP AT PHOTOCELL LIGHT POLE).
20. ALL FINISHED POLE FOUNDATIONS, SERVICE ENTRANCE SECTIONS, LIGHTING CONTROL CABINET PADS AND PULLBOXES SHALL BE AT SIDEWALK GRADE UNLESS OTHERWISE NOTED.
21. WHEN CONCRETE FOUNDATIONS ARE POURED, THEY SHALL BE VIBRATED WITH A MECHANICAL VIBRATOR.
22. POLE FOUNDATIONS SHALL CURE FOR 72 HOURS BEFORE INSTALLING LIGHT POLES OR REMOVING POLE BRACING.
23. ALL POLE FOUNDATIONS SHALL HAVE A COPPER GROUNDING PLATE PER MESA STD DETAIL M-73.6, G-101.
24. ALL STEEL POLES AND STEEL POLE PARTS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH MAG STANDARD SPECIFICATION 771.
25. ALL POLES SHALL BE WIRE USING TWO (2) NO. 12 BLACK THIN/THIN 90 DEGREE C STRANDED COPPER CONDUCTORS, 600 VOLT, NEC APPROVED AND ONE (1) NO. 12 GREEN THIN/THIN STRANDED COPPER BOND WIRE GROUNDING THE LUMINAIRE. WIRES SHALL RUN FROM THE LUMINAIRE TO MINIMUM OF TWELVE (12) INCHES BELOW POLE HANDHOLE FOR TERMINATION. POLES HAVING MULTIPLE LUMINAIRES SHALL HAVE TWO (2) CONDUCTORS AND ONE (1) BOND WIRE PER LUMINAIRE, AND THE CONDUCTORS SHALL BE MARKED AS PAIRS AT THE HANDHOLE.
26. THREE WIRES SHALL BE RUN CONTINUOUSLY WITHOUT SPLICES FROM THE PHOTOCELL LIGHTING CONTROL CABINET. THEY SHALL BE NO. 12 THIN/THIN 90 DEGREE C STRANDED COPPER CONDUCTORS, 600 VOLT, NEC APPROVED. THE "POWER TO PHOTO" SHALL BE IDENTIFIED BY BLACK INSULATION. THE "POWER FROM PHOTO" SHALL BE IDENTIFIED BY RED INSULATION. THE NEUTRAL SHALL BE IDENTIFIED BY WHITE INSULATION.
27. ALL LIGHTING CONDUCTORS AND BOND WIRES SHALL BE COPPER.
28. ALL PVC CONDUIT RUNS SHALL CONTAIN A MINIMUM NO. 8 GREEN XHHW INSULATED SEVEN (7) STRAND COPPER BOND WIRE.
29. ALL CONDUCTORS SHALL BE STRANDED.
30. THE NO. 8 STRANDED GROUNDING WIRE IN THE CONCRETE POLE FOUNDATION GOING TO THE GROUNDING PLATE SHALL BE INSULATED WITH XHHW INSULATION THROUGH THE CONCRETE FOUNDATION AND TWO (2) INCHES EACH SIDE OF THE CONCRETE FOUNDATION.
31. ALL LIGHTING CONTROL CABINETS SHALL BE INSTALLED WITHIN TWO (2) WEEKS OF BEGINNING THE STREET LIGHT IMPROVEMENTS.
32. EACH LUMINAIRE SHALL BE FUSED BEHIND THE POLE HANDHOLE COVER USING AN HEB TYPE FUSE HOLDER WITH INSULATING BOOTS AND A 5-AMP FIM FUSE OR APPROVED EQUAL.
33. ALL PULLBOXES AND LIGHTING CONTROL CABINET PADS SHALL BE ADJACENT TO SIDEWALK UNLESS OTHERWISE NOTED.
34. PROJECT SHALL BE BLUE STAKED BEFORE ANY DIGGING IS STARTED BY CALLING 602-263-1100 OR 811.
35. ALL HIGH-PRESSURE SODIUM LAMPS SHALL CONFORM TO THE APPROPRIATE LAMP SPECIFICATION FOR ITS PARTICULAR WATTAGE. SEE LAMP SPECIFICATION, MESA STD DETAIL M-71.
36. ALL SPLICES INCLUDING GROUNDS AND BONDS SHALL BE DONE WITH A GEL CAP STUB SPLICE KIT, GEL CAP #SL-2/0-3 HOLE, OTHER GEL CAP PRODUCTS OF APPROPRIATE SIZE OR APPROVED EQUAL. FOR APPROVED STREET LIGHT MATERIALS SEE: <http://www.mesaaz.gov/business/engineering/approve-products-equipment-natural-gas-line-contractors>
37. THE EXISTING LIGHT AND ELECTRICAL EQUIPMENT SHALL BE RETURNED TO THE CITY OF MESA STORAGE YARD AT 2430 NORTH CENTER STREET. CONTRACTOR SHALL CALL THE PARK MAINTENANCE FOREMAN, AT 480-644-3097, 48 HOURS PRIOR TO DELIVERING THE EQUIPMENT. CITY PARK PERSONNEL WILL OPEN THE YARD AND SUPERVISE THE LOADING, HAULING AND UNLOADING OF THIS EQUIPMENT.

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Office: (702) 534-7555 Fax: (702) 534-1825

PROJECT NO.:	DATE:	16/07/24
PROJ. ENGR.:	DRAWN BY:	
PROJ. MGR.:	ENGR. CHK.:	
REVISIONS:		
1		
2		
3		
4		
5		

LEGACY SQUARE
NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
MESA
ARIZONA
DEVELOPER: WESTGATE COMPANIES
ADDRESS:
1950 N. 200 WEST, STE. 9
CONTACT: TRAVIS
PHONE: 601-694-9202 EMAIL: TRAVIS@WESTEDLLC.COM

DIGITAL SIGNATURE:

PRINTS REQUIRE ENGINEER'S SEAL AND SIGN FOR PROOF OF VALIDITY

SHEET #
C3

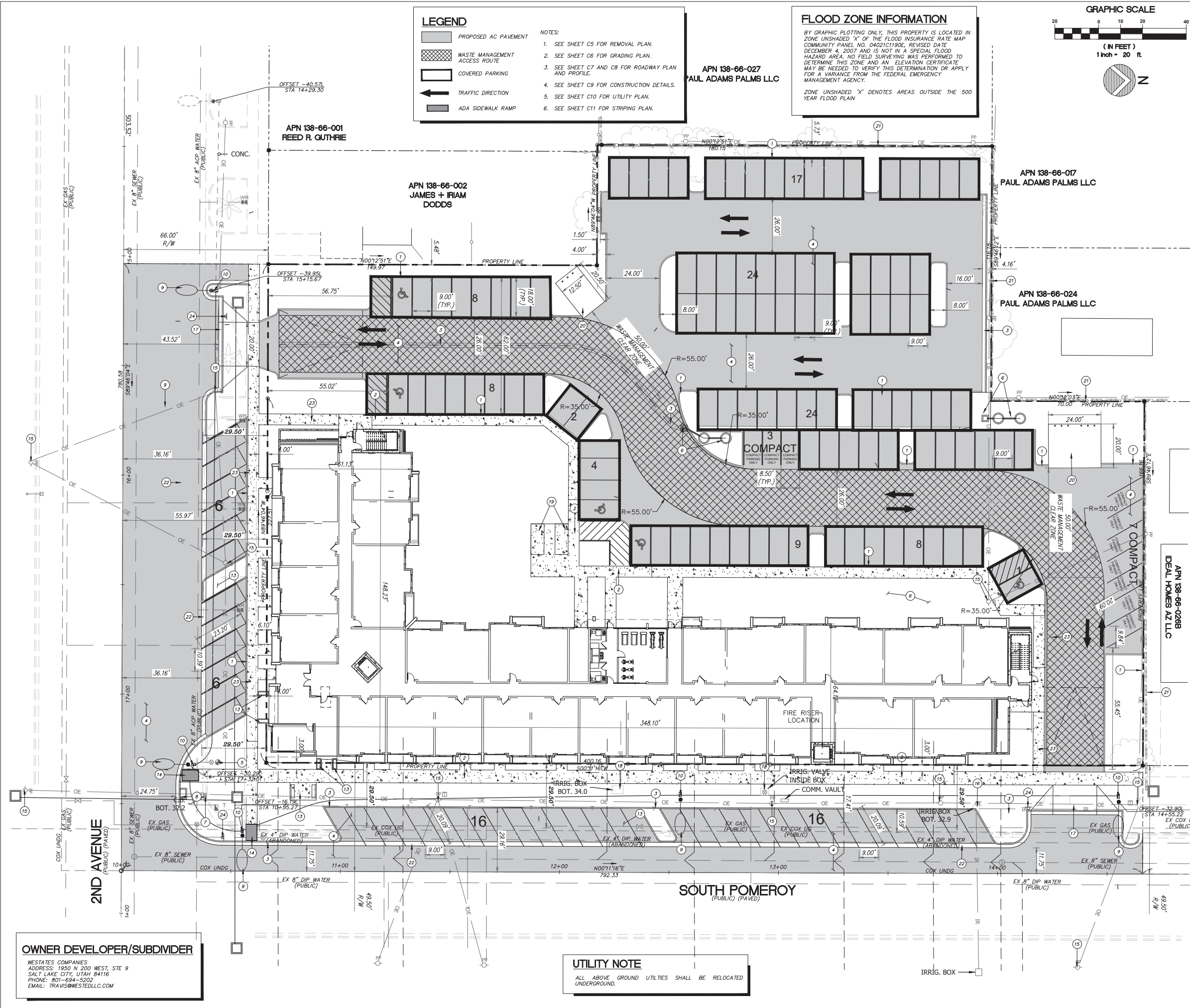
1 OF 2

Contact Arizona 811 at least two full working days before you begin excavation



Call 811 or click Arizona811.com

GENERAL NOTES



LEGEND

- PROPOSED AC PAVEMENT
- WASTE MANAGEMENT ACCESS ROUTE
- COVERED PARKING
- TRAFFIC DIRECTION
- ADA SIDEWALK RAMP

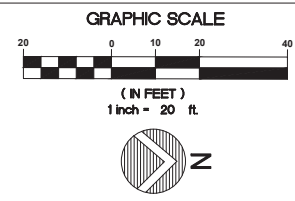
NOTES:

- SEE SHEET C5 FOR REMOVAL PLAN.
- SEE SHEET C6 FOR GRADING PLAN.
- SEE SHEET C7 AND C8 FOR ROADWAY PLAN AND PROFILE.
- SEE SHEET C9 FOR CONSTRUCTION DETAILS.
- SEE SHEET C10 FOR UTILITY PLAN.
- SEE SHEET C11 FOR STRIPING PLAN.

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE UNSHADED "X" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 04021C1190E, REVISED DATE DECEMBER 4, 2007 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONE UNSHADED "X" DENOTES AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN



SITE DATA

PARCEL NUMBER APN:
138-66-006
138-66-004
138-66-007A
138-66-008A
138-66-029A

EXISTING SITE DATA
2.21 ACRES
96630.19 SF

TOTAL NUMBER OF BUILDINGS
1

NUMBER OF UNITS

20	STUDIO UNITS
44	1 BED UNITS
42	2 BED UNITS
4	3 BED UNITS

TOTAL NUMBER OF UNITS = 110

BUILDING TYPE
V-A

TOTAL BUILDING AREA
24485.17 SF
0.58 ACRES

PARKING REQUIRED
1.2 SPACES PER DWELLING UNIT
94 DWELLING UNITS = 133 PARKING STALLS
COVERED PARKING SPACES REQUIRED = 94

2.1 SPACES PER LIVE WORK UNIT
16 LIVE WORK UNITS = 34 PARKING STALLS
TOTAL PARKING REQUIRED = 147 STALLS

105 REGULAR ONSITE RESIDENTIAL COVERED PARKING STALLS
44 RESIDENTIAL ON STREET PARKING STALLS
10 COMPACT ONSITE RESIDENTIAL PARKING STALLS
TOTAL PARKING STALLS = 159

ADA PARKING STALLS REQUIRED
5 SPACES

ADA PARKING STALLS PROVIDED
5 SPACES

BIKE PARKING STALLS REQUIRED
13 SPACES

BIKE PARKING STALLS PROVIDED
16 SPACES

PAVEMENT/PARKING AREA
72373.28 SF
1.66 ACRES

ZONING
DR-2 DR-3

UTILITIES

ELECTRICITY:
ARIZONA PUBLIC SERVICE

GAS:
ARIZONA PUBLIC WORKS

TELEPHONE:
CENTURY LINK

CABLE TV:
COX

WATER:
CITY OF MESA

SEWER:
ARIZONA PUBLIC WORKS

SANITATION:
WASTE MANAGEMENT (PRIVATE)

- CONSTRUCTION NOTES**
- 6" TYPE "A" CURB PER MAG DETAIL NO. 222
 - 6.0" ADA CONCRETE SIDEWALK PER MAG DETAIL NO. 230
 - 2.0" VERTICAL CURB AND GUTTER TYPE "A" PER MAG DETAIL NO. 220-1
 - AC PAVEMENT
 - EXISTING FIRE HYDRANT
 - STORM WATER RETENTION SYSTEM (MAXWELL PLUS)
 - EXISTING CATCH BASIN TO BE REMOVED.
 - PROPOSED CATCH BASIN LOCATION.
 - PROPOSED STREET LIGHT LOCATION.
 - PROPOSED STREET LIGHT PULL BOX LOCATION.
 - NOT USED
 - NOT USED
 - LANDSCAPE AREA PER LANDSCAPE IMPROVEMENTS
 - ADA SIDEWALK RAMP PER MAG DETAIL NO. 235-4
 - EXISTING OVERHEAD UTILITIES TO BE RELOCATED UNDERGROUND. POWER POLE TO BE REMOVED.
 - EXISTING IRRIGATION BOX TO BE RELOCATED UNDERGROUND. TRAFFIC RATED VAULT TO BE INSTALLED.
 - COMMERCIAL DRIVEWAY PER COM STD M-42
 - EXISTING IRRIGATION BOX TO BE REMOVED.
 - BICYCLE PARKING AREA.
 - WASTE MANAGEMENT LOCATION PER COM STD M-44.05 TRASH ENCLOSURE W/BALLARDS PER COM STD M-62.02.1, M-62.04.1 AND M-62.04.2
 - 6.0' HIGH CMU WALL.
 - 2.0' VALLEY GUTTER.
 - 5.0' ADA CONCRETE SIDEWALK PER MAG DETAIL NO. 230
 - PROPOSED R1-1 STOP SIGN LOCATION.

UTILITY NOTE

ALL ABOVE GROUND UTILITIES SHALL BE RELOCATED UNDERGROUND.

OWNER DEVELOPER/SUBDIVIDER

WESTATES COMPANIES
ADDRESS: 1950 N 200 WEST, STE 9
SALT LAKE CITY, UTAH 84116
PHONE: 801-694-5202
EMAIL: TRAVIS@WESTEDLLC.COM

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PROJECT NO.:	163074
DATE:	16/07/24
PROJ. ENGR.:	
PROJ. MGR.:	
REVISIONS:	

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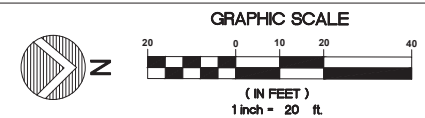
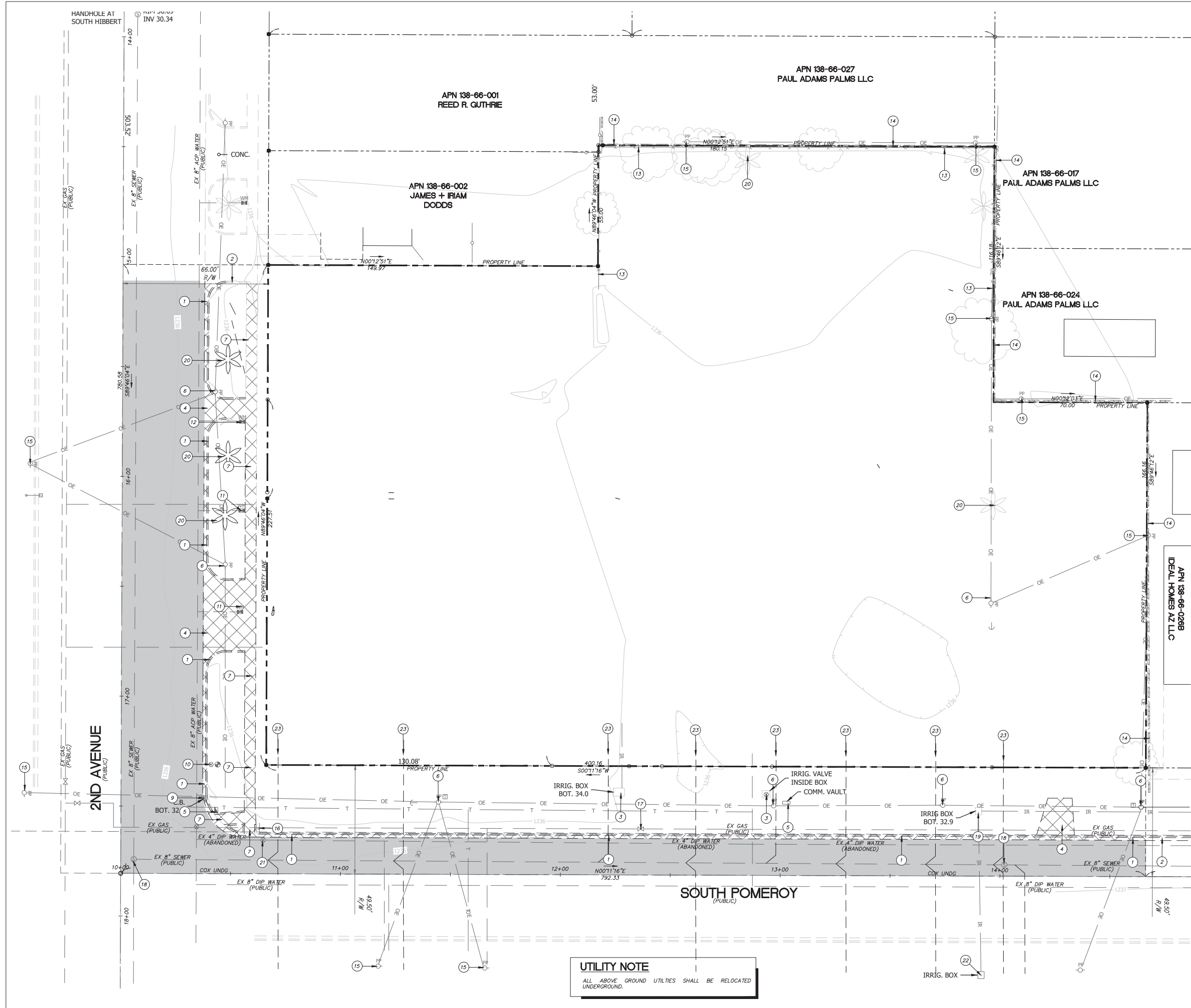
DIGITAL SIGNATURE:

PRINTS REQUIRE ENGINEER'S SEAL AND SIGN FOR PROOF OF VALIDITY

SITE PLAN

SHEET # C4

1 OF 2



LEGEND

- LIMITS OF EXISTING AC PAVEMENT REMOVAL
- LIMITS OF EXISTING CONCRETE REMOVAL

NOTES:

1. SEE SHEET C4 FOR SITE PLAN.
2. SEE SHEET C6 FOR GRADING PLAN.
3. SEE SHEET C7 AND C8 FOR ROADWAY PLAN AND PROFILE.
4. SEE SHEET C9 FOR CONSTRUCTION DETAILS.
5. SEE SHEET C10 FOR UTILITY PLAN.
6. SEE SHEET C11 FOR STRIPPING PLAN.

REMOVAL NOTES

- 1 EXISTING CURB AND GUTTER TO BE REMOVED.
- 2 EXISTING CURB AND GUTTER TO REMAIN. PROTECT IN PLACE.
- 3 EXISTING IRRIGATION BOX TO BE REMOVED.
- 4 EXISTING CONCRETE DRIVEWAY TO BE REMOVED. PROTECT IN PLACE.
- 5 EXISTING COMM VAULT TO REMAIN. PROTECT IN PLACE.
- 6 EXISTING POWER POLE TO BE REMOVED. OVERHEAD POWER LINES TO BE RELOCATED UNDERGROUND.
- 7 EXISTING SIDEWALK TO BE REMOVED.
- 8 EXISTING SIDEWALK TO REMAIN. PROTECT IN PLACE.
- 9 EXISTING CATCH BASIN TO REMAIN. PROTECT IN PLACE.
- 10 EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
- 11 EXISTING WATER METER TO BE REMOVED.
- 12 EXISTING WATER METER TO BE RELOCATED.
- 13 EXISTING FENCE TO BE REMOVED.
- 14 EXISTING WALL TO REMAIN. PROTECT IN PLACE.
- 15 EXISTING POWER POLE TO REMAIN. PROTECT IN PLACE.
- 16 EXISTING SIGN TO REMAIN. PROTECT IN PLACE.
- 17 EXISTING GAS VALVE TO REMAIN. PROTECT IN PLACE.
- 18 EXISTING SEWER MANHOLE TO REMAIN. PROTECT IN PLACE.
- 19 EXISTING IRRIGATION BOX TO BE RELOCATED.
- 20 EXISTING TREE TO BE REMOVED.
- 21 EXISTING WATER VALVE TO BE REMOVED.
- 22 EXISTING IRRIGATION BOX TO REMAIN. PROTECT IN PLACE.
- 23 EXISTING SEWER LATERAL TO BE REMOVED.

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE UNSHADED 'X' OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 04021C190E, REVISED DATE DECEMBER 4, 2007 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONE UNSHADED 'X' DENOTES AREAS OUTSIDE THE 500 YEAR FLOOD PLAN

UTILITY NOTE
ALL ABOVE GROUND UTILITIES SHALL BE RELOCATED UNDERGROUND.

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Office: (702) 534-7555 Fax: (702) 534-1825

PROJECT NO.:	16/0724
DATE:	16/07/24
DESIGNER:	TRAVIS
ENGR. NO.:	
REVISIONS:	

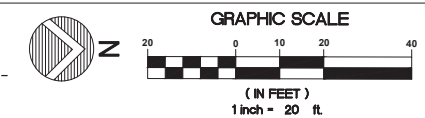
REMOVAL PLAN

LEGACY SQUARE
NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
MESA ARIZONA

DEVELOPER: WESTGATE COMPANIES
ADDRESS: 1950 N. 200 WEST, STE 9
CONTACT: TRAVIS
PHONE: 801-694-5202 EMAIL: TRAVIS@WESTEDLLC.COM

DIGITAL SIGNATURE:

PRINTS REQUIRE ENGINEER'S SEAL AND SIGN FOR PROOF OF VALIDITY



LEGEND

PROPOSED AC PAVEMENT

NOTES:

- SEE SHEET C4 FOR SITE PLAN.
- SEE SHEET C5 FOR REMOVAL PLAN.
- SEE SHEET C7 AND C8 FOR ROADWAY PLAN AND PROFILE.
- SEE SHEET C9 FOR CONSTRUCTION DETAILS.
- SEE SHEET C10 FOR UTILITY PLAN.

CONSTRUCTION NOTES

- 6" "A" CURB PER MAG DETAIL No. 222
- 5.0' CONCRETE SIDEWALK PER MAG DETAIL No. 230
- INSTALL 2.0' VERTICAL CURB PER MAG DETAIL No. 220-1
- AC PAVEMENT
- STORM WATER RETENTION SYSTEM (MAXWELL PLUS) SEE DETAIL X SHEET X.
- LANDSCAPE AREA PER LANDSCAPE IMPROVEMENTS
- INSTALL ZERO FACE CURB. SEE DETAIL X SHEET C8
- INSTALL 2.0' CONCRETE VALLEY GUTTER.
- BEGIN ZERO FACE CURB TRANSITION.
- END ZERO FACE CURB TRANSITION.
- ZERO FACE CURB TRANSITION AREA.
- SAWCUT AND MATCH EXISTING AC PAVEMENT.
- ADA SIDEWALK RAMP PER MAG DETAIL No. 235-4
- EXISTING CATCH BASIN TO BE REMOVED.
- EXISTING VALVE TO REMAIN. ADJUST RIM TO FINISHED GRADE.
- EXISTING GAS VALVE TO REMAIN. INSTALL TRAFFIC VAULT AND COVER.
- INSTALL COMMERCIAL DRIVEWAY PER COM STD M-42
- INSTALL COMMERCIAL POWER/COMMUNICATIONS FULL BOX VAULT
- INSTALL 24"x24" CATCH BASIN TYPE G PER MAG DETAIL No. 537 AND RECONNECT TO EXISTING STORM DRAIN
- ADJUST RIM TO FINISHED GRADE
- INSTALL CONCRETE SIDEWALK PER MAG DETAIL No. 230

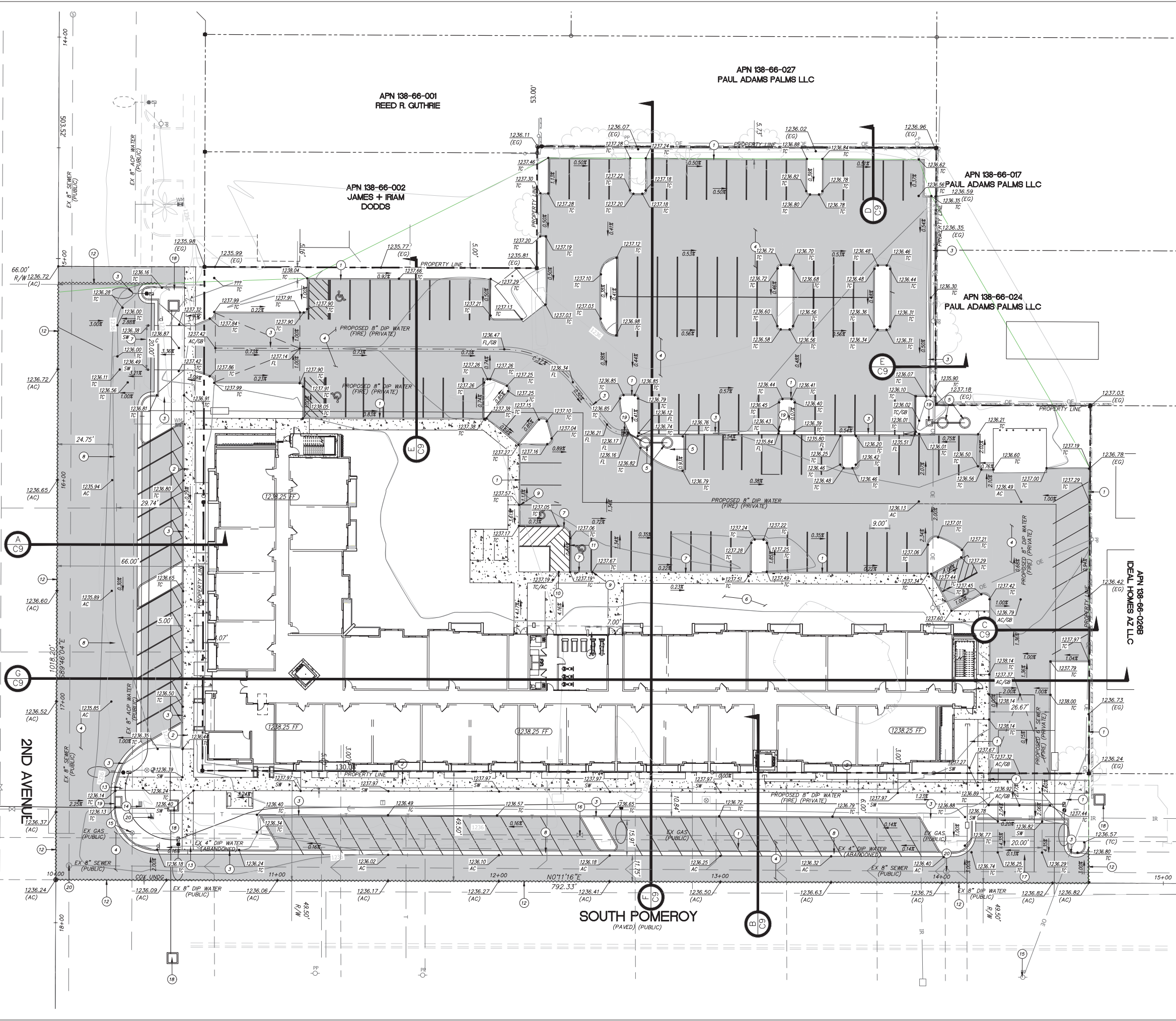
FLOOD ZONE INFORMATION

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ZONE UNSHADED 'X' DENOTES AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN

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THE LOFTS LEGACY SQUARE
NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
MESA ARIZONA

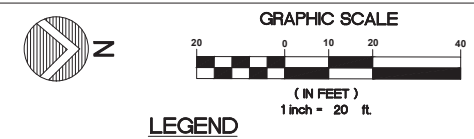
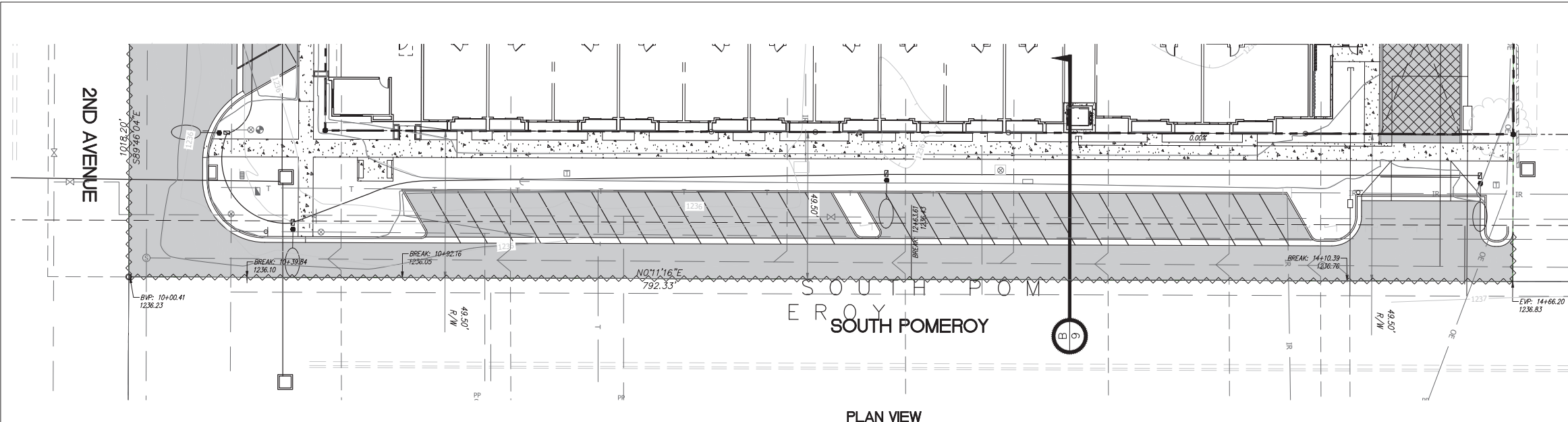
DEVELOPER: WESTSTATES COMPANIES, LLC
1950 N. 2200 WEST, STE. 9
SALT LAKE CITY, UTAH 84116
CONTACT: TRAVIS TAYLOR
PHONE: 804-694-5202 EMAIL: TTAYLOR@WESTCOLL.CM

DIGITAL SIGNATURE:

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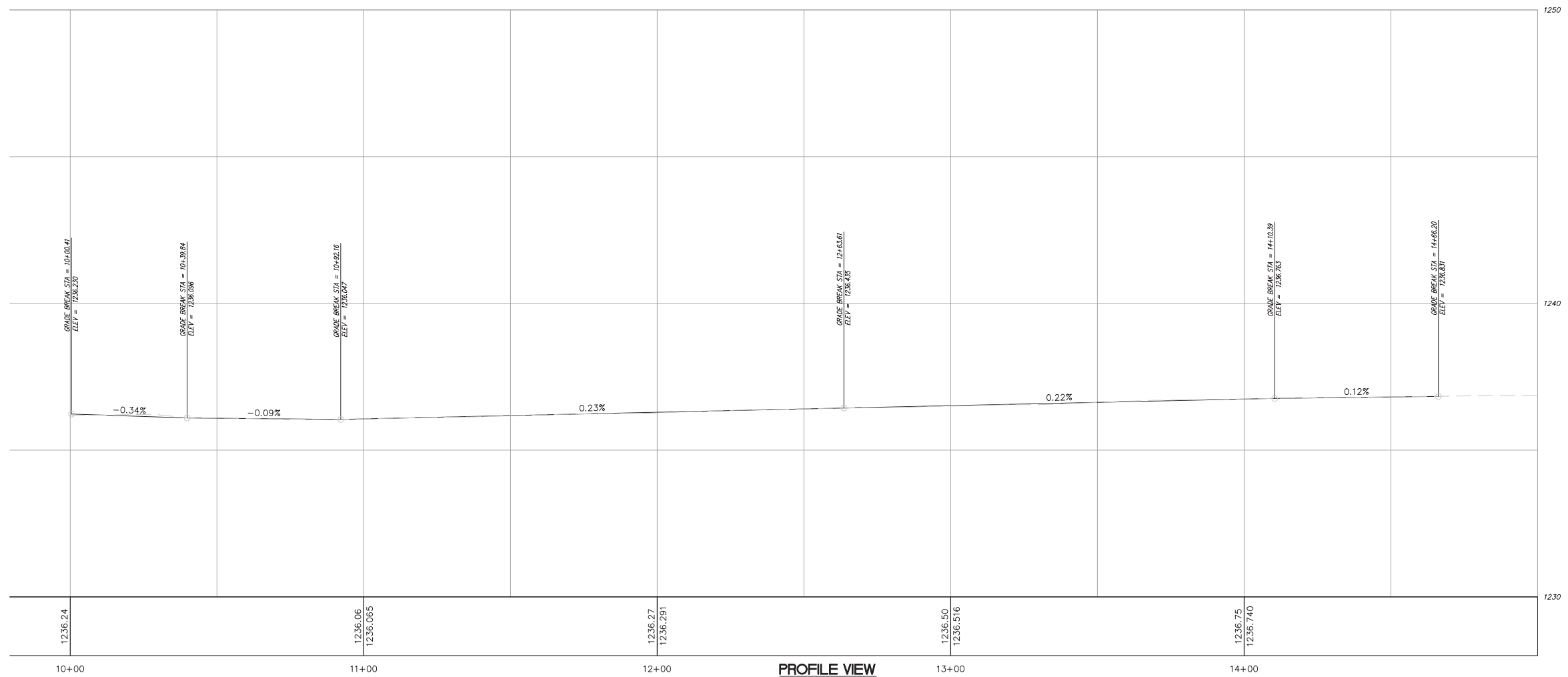
SHEET # **C6** 1 OF 1

GRADING PLAN



- LEGEND**
- PROPOSED AC PAVEMENT
- NOTES:**
- SEE SHEET C4 FOR SITE PLAN.
 - SEE SHEET C5 FOR REMOVAL PLAN.
 - SEE SHEET C7 AND C8 FOR ROADWAY PLAN AND PROFILE.
 - SEE SHEET C9 FOR CONSTRUCTION DETAILS.
 - SEE SHEET C10 FOR UTILITY PLAN.
 - SEE SHEET C11 FOR STRIPPING PLAN.

- CONSTRUCTION NOTES**
- 6" "A" CURB PER MAG DETAIL No. 2222
 - 5.0' CONCRETE SIDEWALK PER MAG DETAIL No. 230
 - INSTALL 2.0' VERTICAL CURB PER MAG DETAIL No. 220-1
 - AC PAVEMENT
 - STORM WATER RETENTION SYSTEM (MAXWELL PLUS) SEE DETAIL X SHEET X.
 - LANDSCAPE AREA PER LANDSCAPE IMPROVEMENTS
 - INSTALL ZERO FACE CURB. SEE DETAIL X SHEET C8
 - INSTALL 2.0' CONCRETE VALLEY GUTTER.
 - BEGIN ZERO FACE CURB TRANSITION.
 - END ZERO FACE CURB TRANSITION.
 - ZERO FACE CURB TRANSITION AREA.
 - SAWCUT AND MATCH EXISTING AC PAVEMENT.
 - ADA SIDEWALK RAMP PER MAG DETAIL No. 235-4
 - EXISTING CATCH BASIN TO REMAIN.
 - EXISTING VALVE TO REMAIN. ADJUST RIM TO FINISHED GRADE.
 - EXISTING GAS VALVE TO REMAIN. INSTALL TRAFFIC VAULT AND COVER.



FLOOD ZONE INFORMATION

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ZONE UNSHADED 'X' DENOTES AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN

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DATE: 16/07/24	BY: [Signature]
DESIGN: [Signature]	ENGR. CHK: [Signature]
PROJ. ENGR: [Signature]	REVISIONS: [Table]
PROJ. MGR: [Signature]	

ROADWAY PLAN AND PROFILE

THE LOFTS LEGACY SQUARE
 NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
 MESA ARIZONA
 DEVELOPER: WESTSTATES COMPANIES, LLC
 1950 N. 2200 WEST, STE. 9
 SALT LAKE CITY, UTAH 84116
 CONTACT: TRAVIS TAYLOR
 PHONE: 804-694-5202 EMAIL: TTAYLOR@WESTCOLL.COM

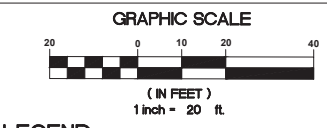
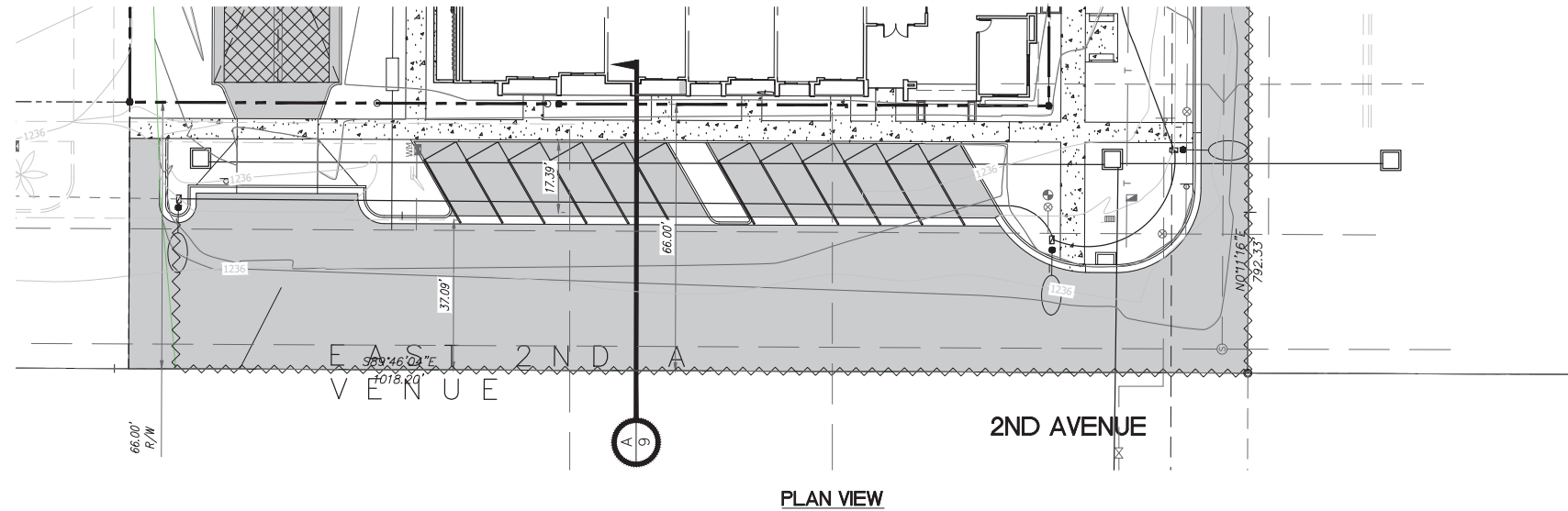
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SHEET # **C7** 1 OF 1

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LEGEND

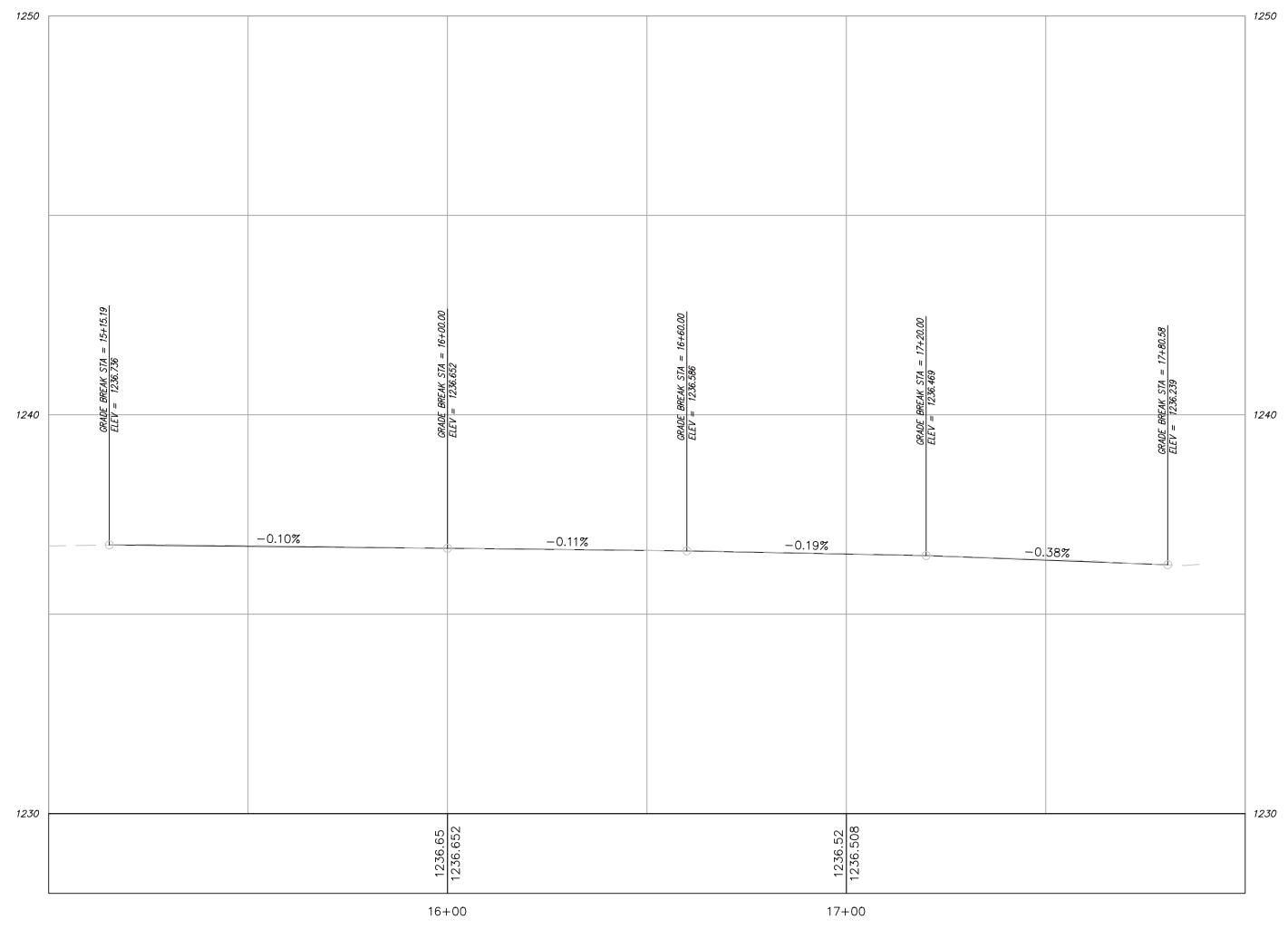
PROPOSED AC PAVEMENT

NOTES:

1. SEE SHEET C4 FOR SITE PLAN.
2. SEE SHEET C5 FOR REMOVAL PLAN.
3. SEE SHEET C7 AND C8 FOR ROADWAY PLAN AND PROFILE.
4. SEE SHEET C9 FOR CONSTRUCTION DETAILS.
5. SEE SHEET C10 FOR UTILITY PLAN.
6. SEE SHEET C11 FOR STRIPPING PLAN.

CONSTRUCTION NOTES

- 1 6" "A" CURB PER MAG DETAIL No. 2222
- 2 5.0' CONCRETE SIDEWALK PER MAG DETAIL No. 230
- 3 INSTALL 2.0' VERTICAL CURB PER MAG DETAIL No. 220-1
- 4 AC PAVEMENT
- 5 STORM WATER RETENTION SYSTEM (MAXWELL PLUS) SEE DETAIL X SHEET X.
- 6 LANDSCAPE AREA PER LANDSCAPE IMPROVEMENTS
- 7 INSTALL ZERO FACE CURB. SEE DETAIL X SHEET C8
- 8 INSTALL 2.0' CONCRETE VALLEY GUTTER.
- 9 BEGIN ZERO FACE CURB TRANSITION.
- 10 END ZERO FACE CURB TRANSITION.
- 11 ZERO FACE CURB TRANSITION AREA.
- 12 SAWCUT AND MATCH EXISTING AC PAVEMENT.
- 13 ADA SIDEWALK RAMP PER MAG DETAIL No. 235-4
- 14 EXISTING CATCH BASIN TO REMAIN.
- 15 EXISTING VALVE TO REMAIN. ADJUST RIM TO FINISHED GRADE.
- 16 EXISTING GAS VALVE TO REMAIN. INSTALL TRAFFIC VAULT AND COVER.



PROFILE VIEW

FLOOD ZONE INFORMATION

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ROADWAY PLAN AND PROFILE

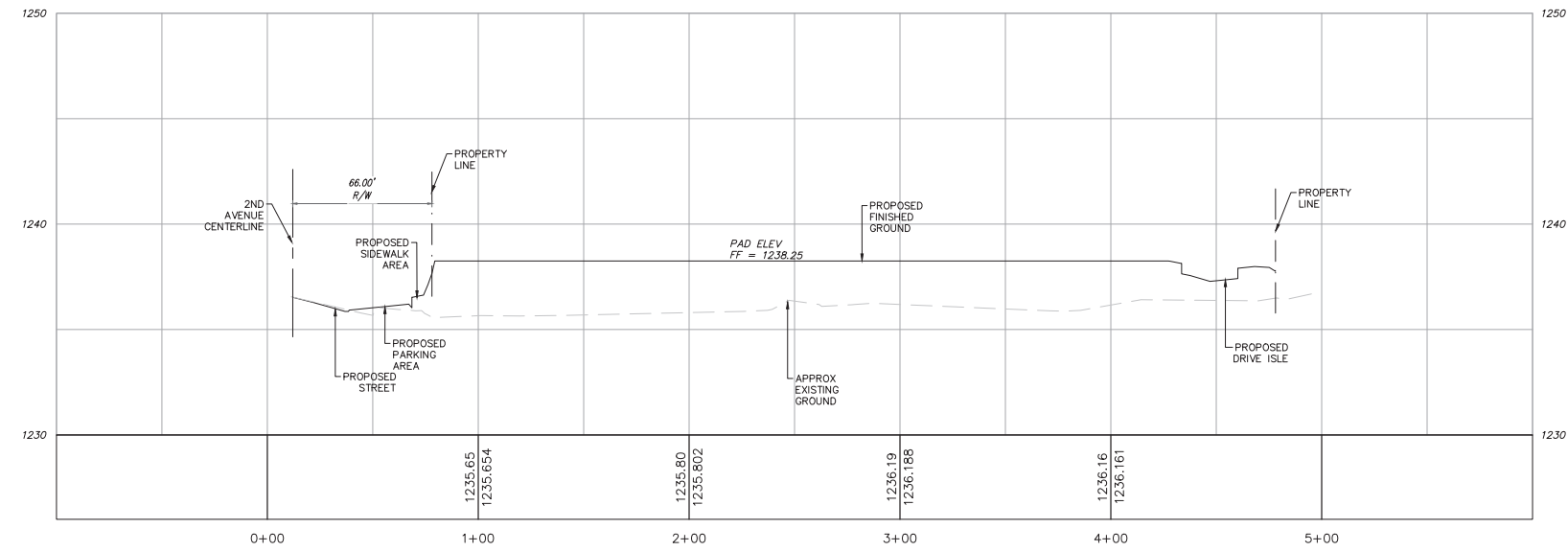
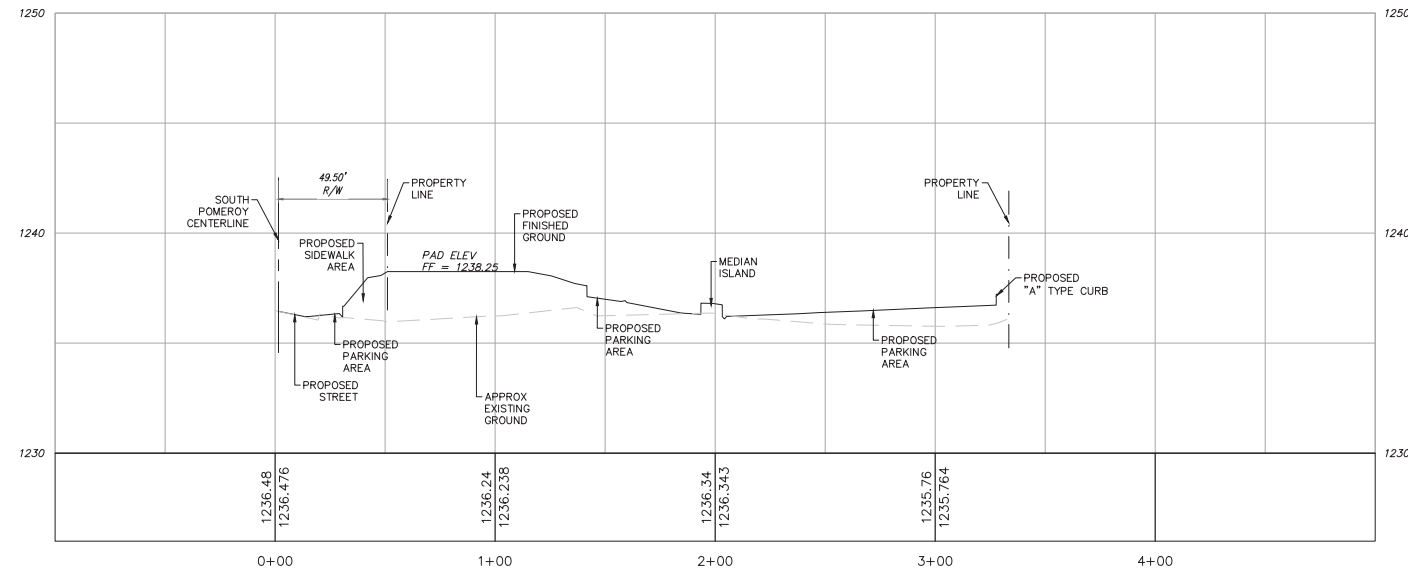
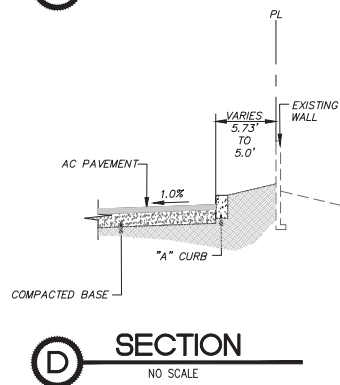
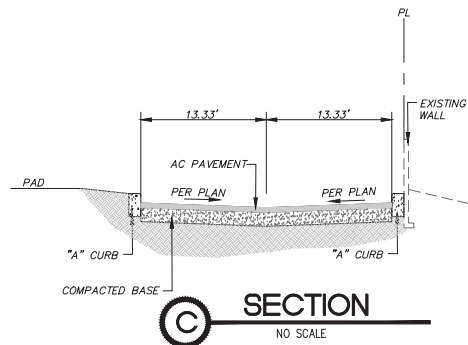
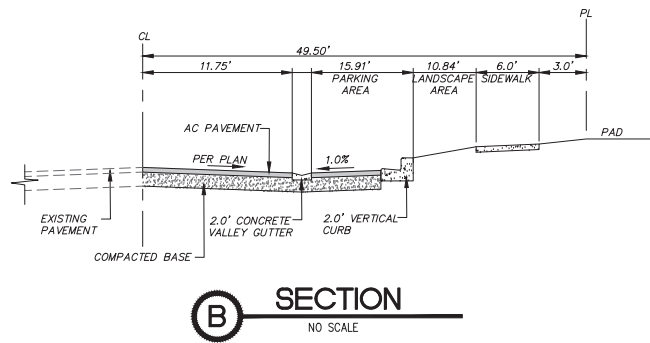
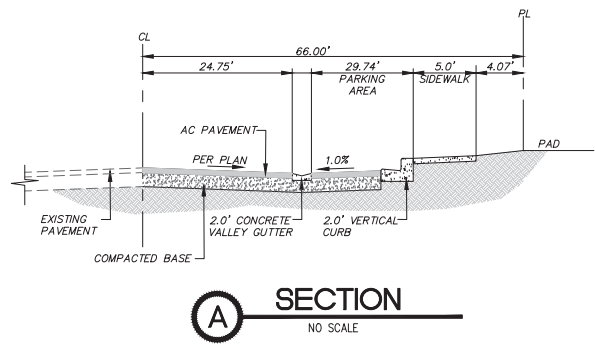
THE LOFTS LEGACY SQUARE
 NORTH WEST CORNER OF 2ND AVENUE AND POMEROY MESA ARIZONA
 DEVELOPER: WESTSTATES COMPANIES, LLC
 1950 N. 2200 WEST, STE. 9
 SALT LAKE CITY, UTAH 84116
 CONTACT: TRAVIS TAYLOR
 PHONE: 804-694-5202 EMAIL: TTAYLOR@WESTCOLL.COM

DIGITAL SIGNATURE:

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DATE:	16/07/24
PROJ. ENGR.:	
PROJ. MGR.:	
ENGR. CHK.:	
REVISIONS:	
	△
	△
	△
	△



TYPICAL SECTIONS AND DETAILS

THE LOFTS LEGACY SQUARE
NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
MESA ARIZONA
DEVELOPER: WESTSTATES COMPANIES, LLC
1950 N. 2200 WEST, STE 9
SALT LAKE CITY, UTAH 84116
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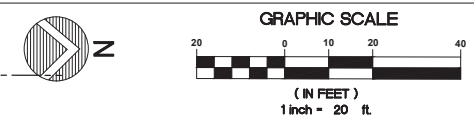
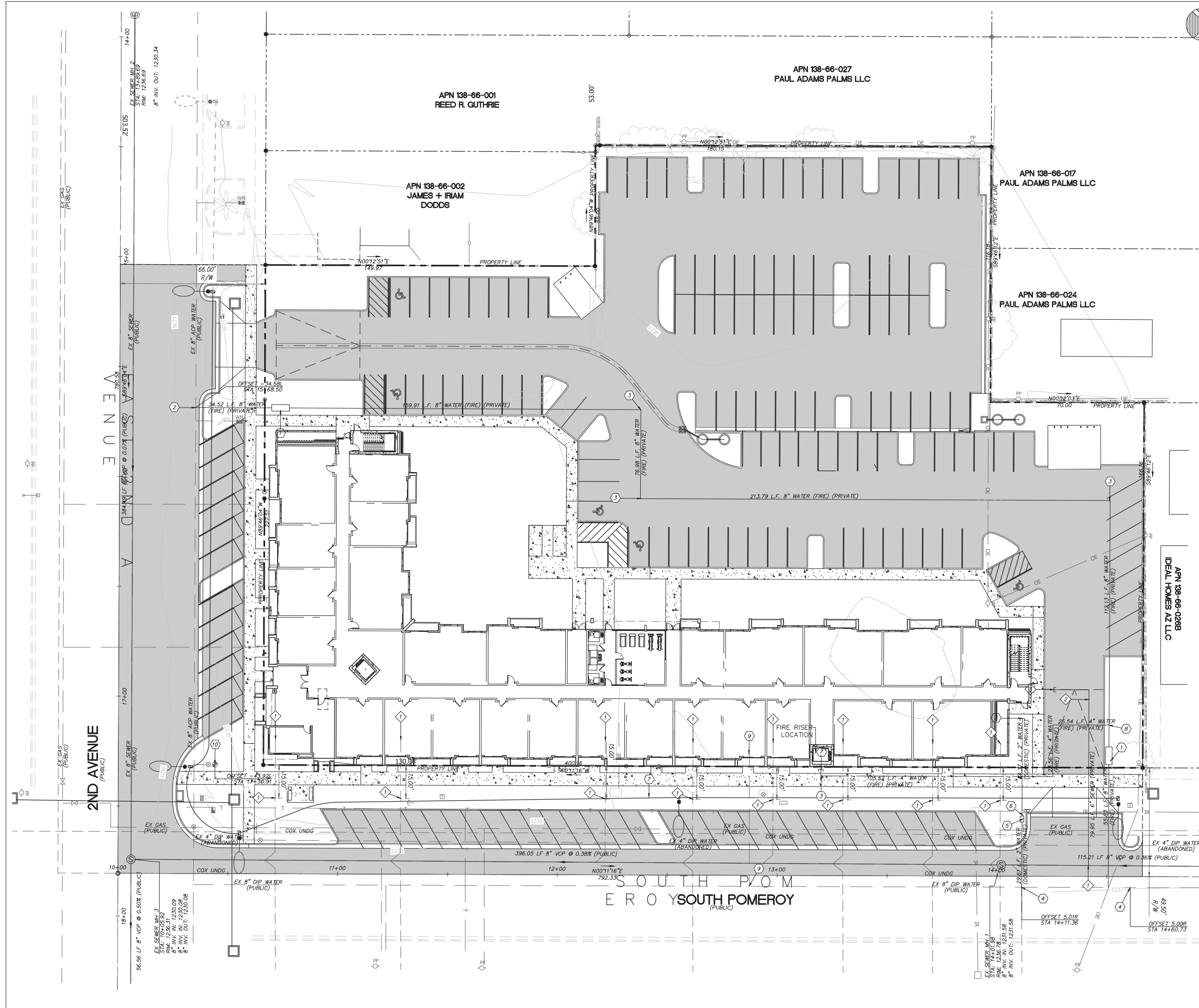
DATE: 16/07/24	REVISIONS:
BY: [Signature]	1
CHECKED: [Signature]	2
ENGR. CHK: [Signature]	3
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- NOTES:
- SEE SHEET C4 FOR SITE PLAN.
 - SEE SHEET C5 FOR REMOVAL PLAN.
 - SEE SHEET C6 FOR GRADING PLAN.
 - SEE SHEET C7 AND C8 FOR ROADWAY PLAN AND PROFILE.
 - SEE SHEET C9 FOR CONSTRUCTION DETAILS.
 - SEE SHEET C11 FOR STRIPPING PLAN.

- WATER CONSTRUCTION NOTES:**
- INSTALL 4" FIRE WATER METER ASSEMBLY PER COM DETAIL M-27.01.1 AND M-27.01.2
 - INSTALL TAPPING SLEEVE PER MAG DETAIL 340.
 - INSTALL 90° ELBOW (MATCH SIZE AND MATERIAL).
 - INSTALL TAPPING SLEEVE PER MAG DETAIL 340.
 - INSTALL 1-1/2" DOMESTIC WATER METER PER MAG DETAIL M-29.01
 - INSTALL REDUCED PRESSURE BACK FLOW ASSEMBLY PER MAG DETAIL M-29.01
 - STUB AND CAP FOR BUILDING CONNECTION.
 - INSTALL TEE (MATCH SIZE AND MATERIAL).
 - EXISTING WATER LATERAL TO BE ABANDONED. CORPORATION STOP TO BE CLOSED AT THE SERVICE SADDLE. EXISTING WATER LINE TO BE CUT WITHIN 12 INCHES OF THE CONNECTION TO THE MAIN.
 - EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.

- SEWER CONSTRUCTION NOTES:**
- INSTALL 6" SEWER LATERAL PER MAG DETAIL 440-3
 - INSTALL SDR-35 SEWER
 - STUB AND CAP FOR BUILDING CONNECTION.
 - EXISTING SEWER LATERAL TO BE REMOVED. STUB AND CAP 15' BEYOND PROPERTY LINE. (TYP.)

FLOOD ZONE INFORMATION

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ZONE UNSHADED 'X' DENOTES AREAS OUTSIDE THE 500 YEAR FLOOD PLAIN

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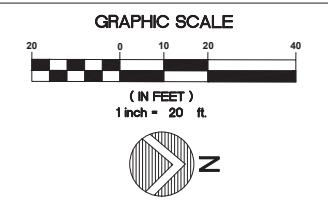
PROJECT NO.:	16-0174
DATE:	16/01/24
PROJ. ENGR.:	ENGR. CHR. ...
PROJ. MGR.:	
REVISIONS:	

UTILITY PLAN

LEGACY SQUARE
 NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
 MESA ARIZONA
 DEVELOPER: WESTGATE COMPANIES
 ADDRESS: 1950 N. 200 WEST, STE 9
 CONTACT: TRAVIS
 PHONE: 601-694-5202 EMAIL: TRAVIS@WESTEDLLC.COM

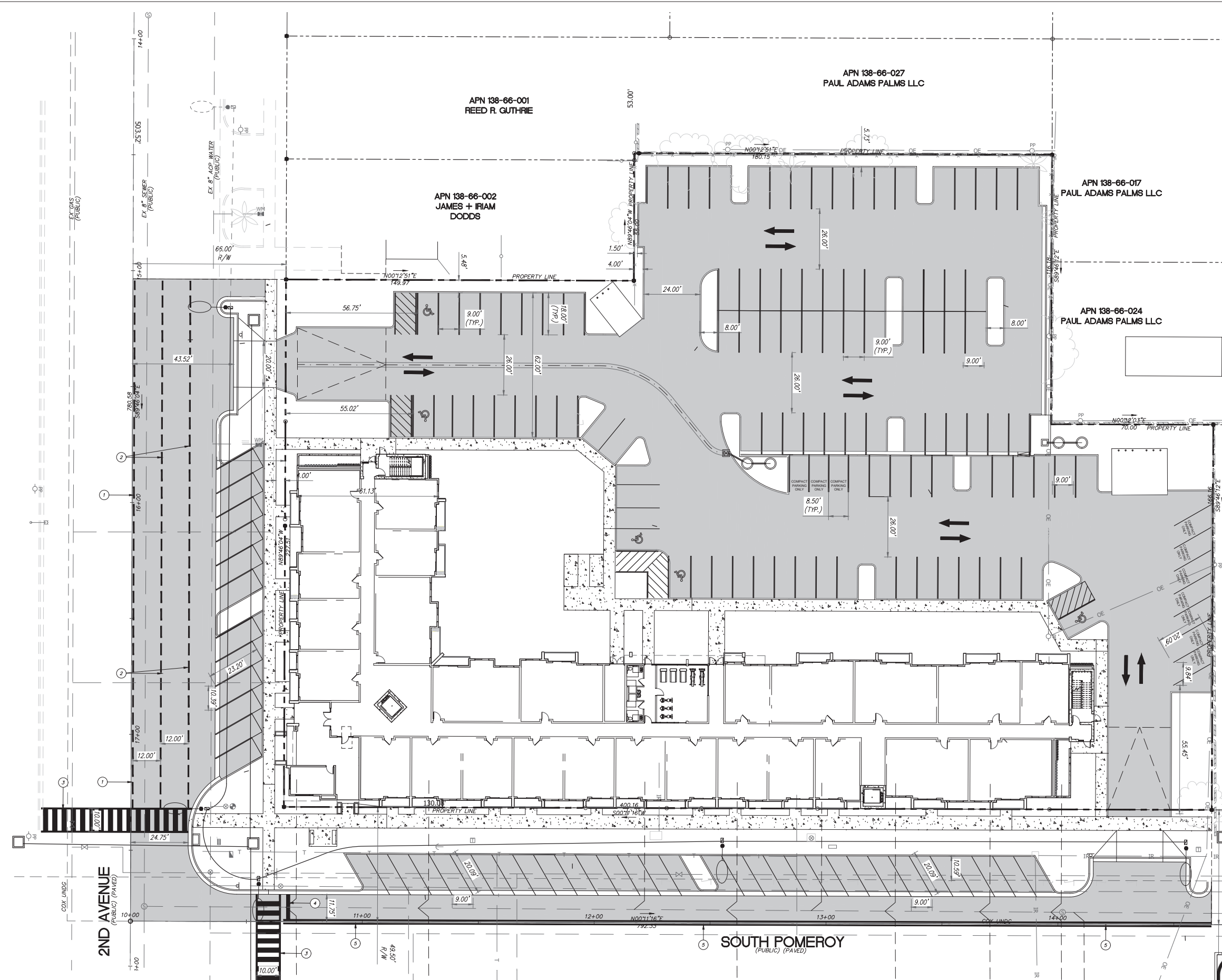
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- LEGEND**
- PROPOSED AC PAVEMENT
 - TRAFFIC DIRECTION
- NOTES:**
1. SEE SHEET C5 FOR REMOVAL PLAN.
 2. SEE SHEET C6 FOR GRADING PLAN.
 3. SEE SHEET C7 AND C8 FOR ROADWAY PLAN AND PROFILE.
 4. SEE SHEET C9 FOR CONSTRUCTION DETAILS.
 5. SEE SHEET C10 FOR UTILITY PLAN.

- CONSTRUCTION NOTES**
- 1 SINGLE 6" SOLID YELLOW PAVEMENT STRIPING.
 - 2 6" WHITE 10' DASHED PAVEMENT LANE STRIPING.
 - 3 10" CROSS WALK PER ADOT DETAIL M-2
 - 4 18" STOP BAR PER ADOT DETAIL M-2
 - 5 TWO 6" SOLID YELLOW PAVEMENT STRIPING



OWNER DEVELOPER/SUBDIVIDER
 WESTATES COMPANIES
 ADDRESS: 1950 N 200 WEST, STE 9
 SALT LAKE CITY, UTAH 84116
 PHONE: 801-694-5202
 EMAIL: TRAVIS@WESTEDLLC.COM

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PROJECT NO.:	16-0724
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PROJ. ENGR.:	
PROJ. MGR.:	
REVISIONS:	

LEGACY SQUARE
 NORTH WEST CORNER OF 2ND AVENUE AND POMEROY
 MESA ARIZONA
 DEVELOPER: WESTGATE COMPANIES
 ADDRESS: 1950 N. 200 WEST, STE 9
 CONTACT: TRAVIS
 PHONE: 801-694-5202 EMAIL: TRAVIS@WESTEDLLC.COM

DIGITAL SIGNATURE:
 PRINTS REQUIRE ENGINEER'S SEAL AND SIGN FOR PROOF OF VALIDITY

STRIPING PLAN

SHEET # **C11** 11 OF 2

KEYNOTES:	
#	NOTE
50	STUCCO V REVEAL
53	STEEL RAILING
54	METAL AWNING
63	DARK BRONZE METAL SHADE DEVICE
64	STEEL SCREEN
84	CMU BLOCK
87	STUCCO COLOR 1 - LIGHT GREY
88	STUCCO COLOR 2 - DARK GREY
89	HORIZONTAL SIDING



1 EAST ELEVATION - SOUTH
1/8" = 1'-0"



2 EAST ELEVATION - NORTH
1/8" = 1'-0"



LEGACY SQUARE
APARTMENTS

LEGACY SQUARE
BUILDING ADDRESS

MATERIAL EXTERIOR ELEVATIONS

REVISIONS:

SHEET #
A205
REVIEW SET

PRINT DATE: 8/30/2024 12:33:31 PM

KEYNOTES:	
#	NOTE
50	STUCCO V REVEAL
53	STEEL RAILING
54	METAL AWNING
59	STANDING SEAM METAL ROOF
63	DARK BRONZE METAL SHADE DEVICE
66	SCHEDULED GLAZING
84	CMU BLOCK
87	STUCCO COLOR 1 - LIGHT GREY
88	STUCCO COLOR 2 - DARK GREY
89	HORIZONTAL SIDING



1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



LEGACY SQUARE
APARTMENTS

LEGACY SQUARE
BUILDING ADDRESS

MATERIAL EXTERIOR ELEVATIONS

REVISIONS:

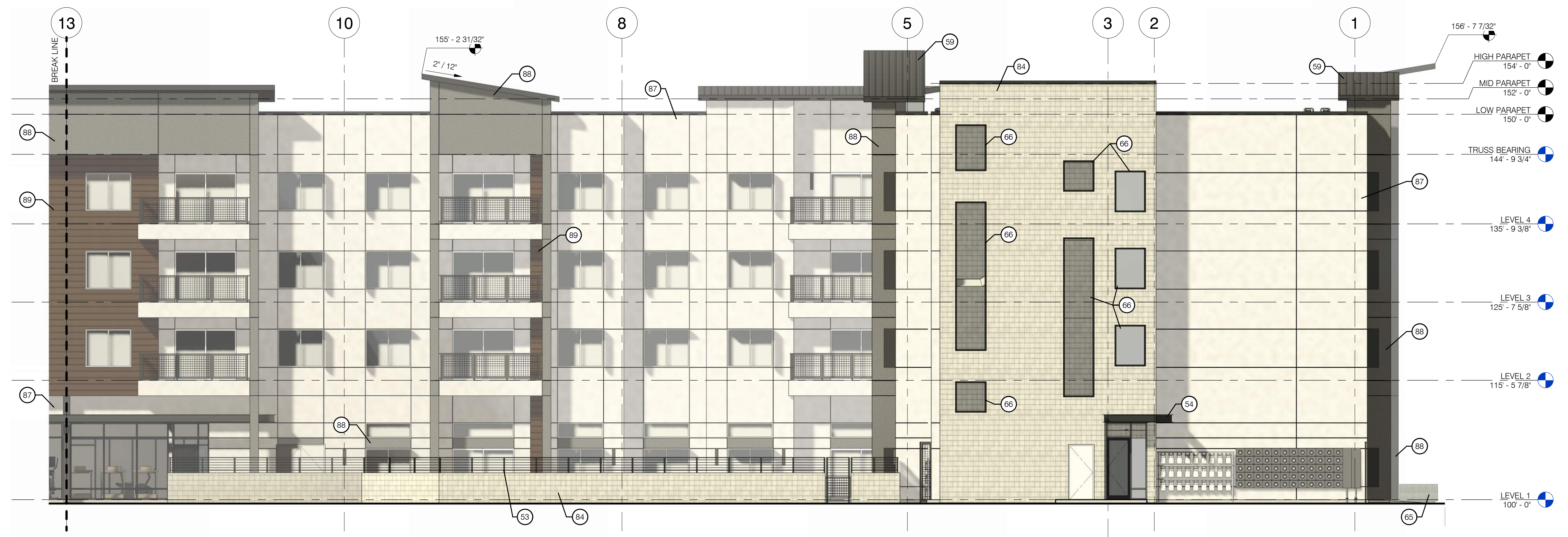
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KEYNOTES:	
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50	STUCCO V REVEAL
53	STEEL RAILING
54	METAL AWNING
59	STANDING SEAM METAL ROOF
63	DARK BRONZE METAL SHADE DEVICE
65	CONCRETE PLANTER
66	SCHEDULED GLAZING
84	CMU BLOCK
87	STUCCO COLOR 1 - LIGHT GREY
88	STUCCO COLOR 2 - DARK GREY
89	HORIZONTAL SIDING



1 WEST ELEVATION - NORTH
1/8" = 1'-0"



2 WEST ELEVATION - SOUTH
1/8" = 1'-0"



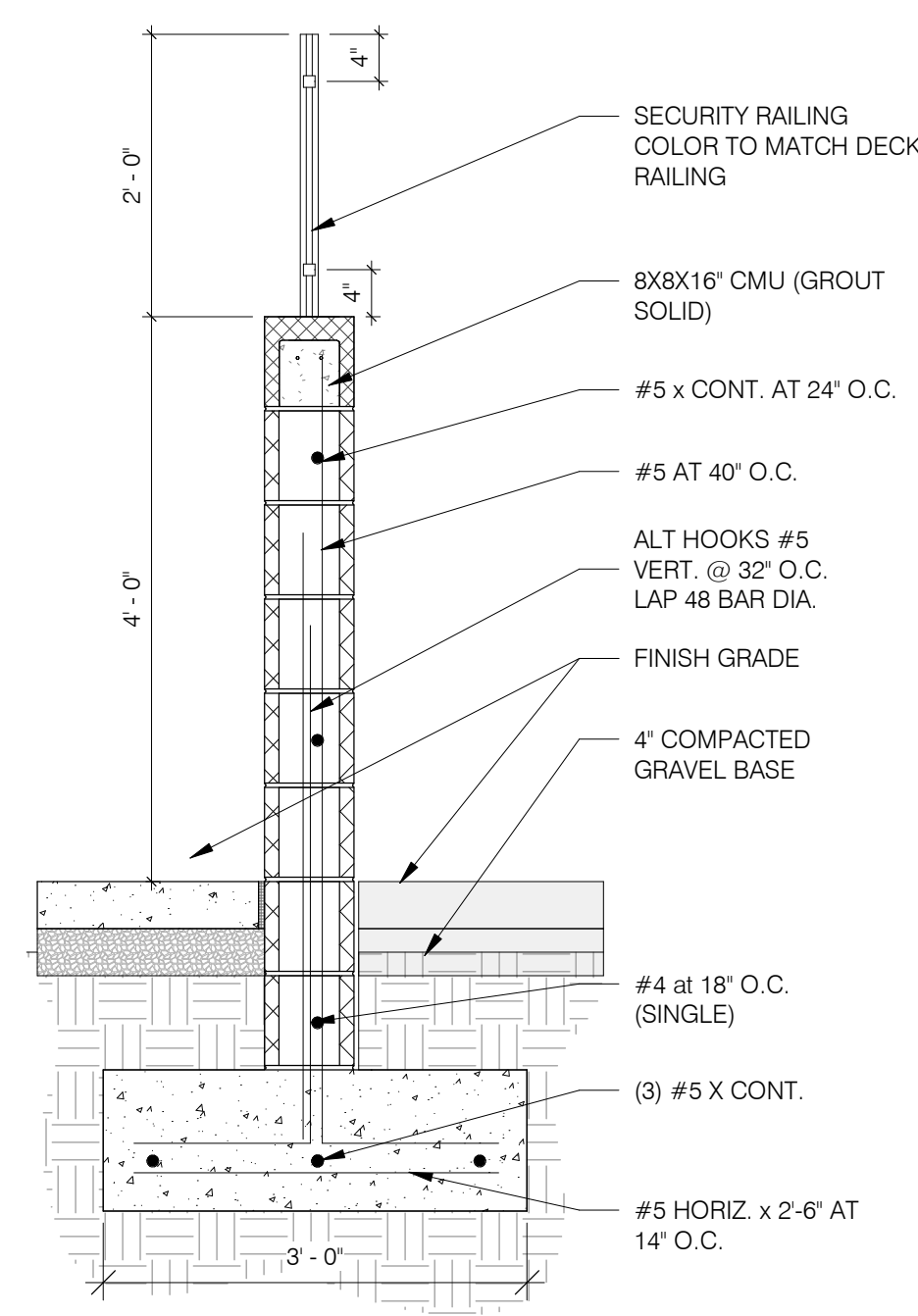
LEGACY SQUARE
APARTMENTS

LEGACY SQUARE
BUILDING ADDRESS

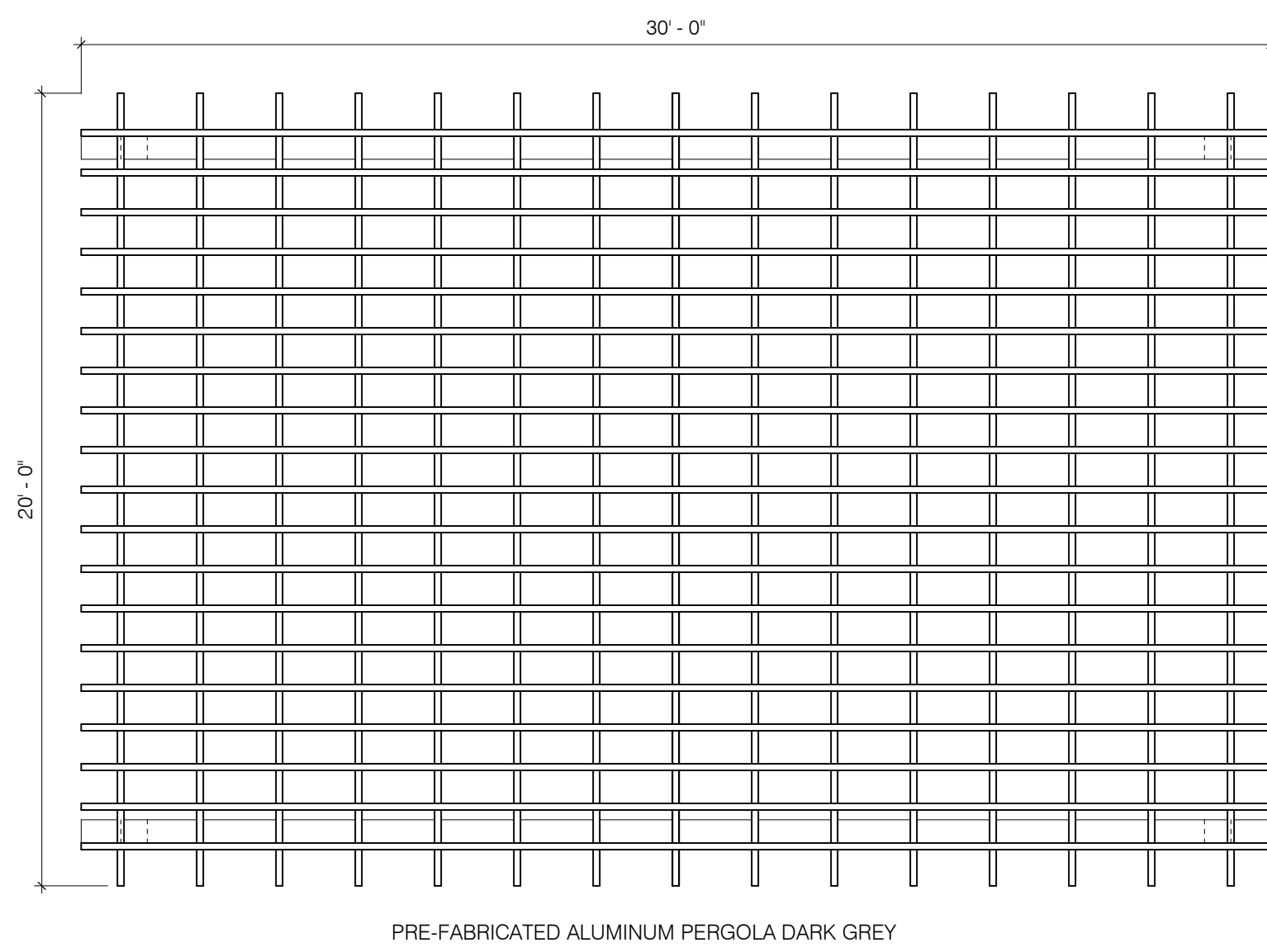
MATERIAL EXTERIOR ELEVATIONS

REVISIONS:

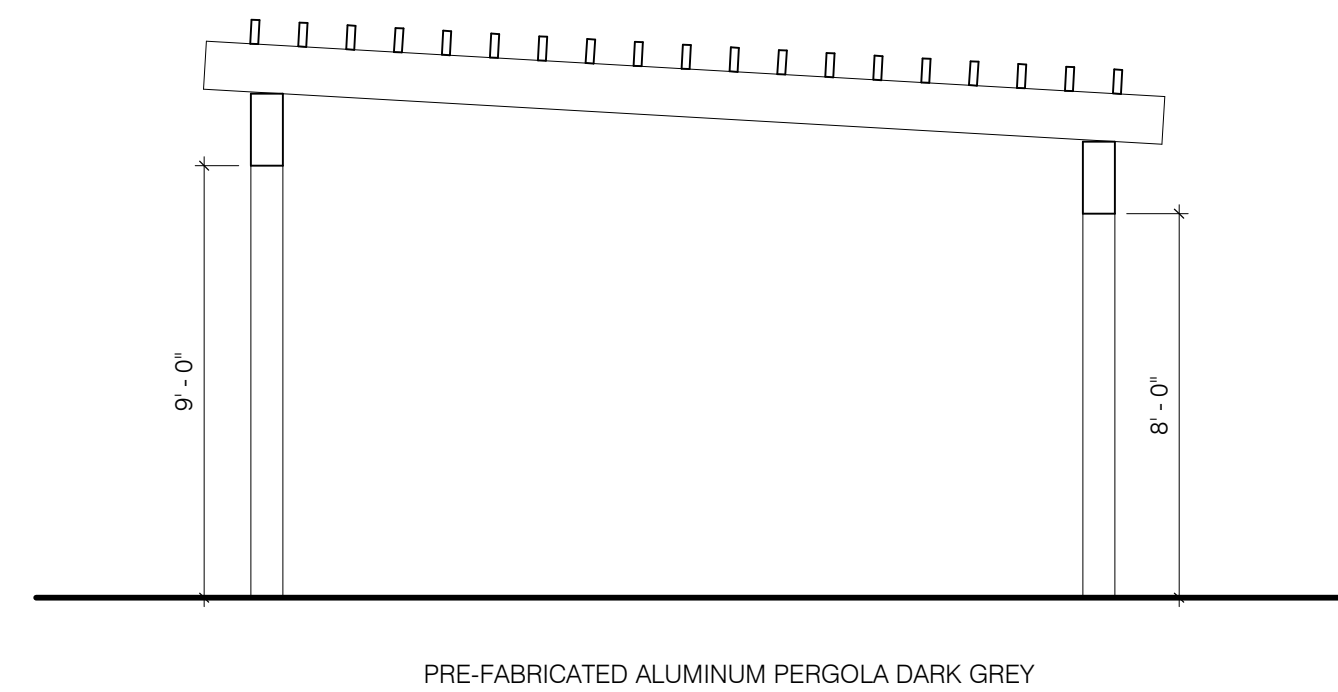
SHEET #
A207
REVIEW SET



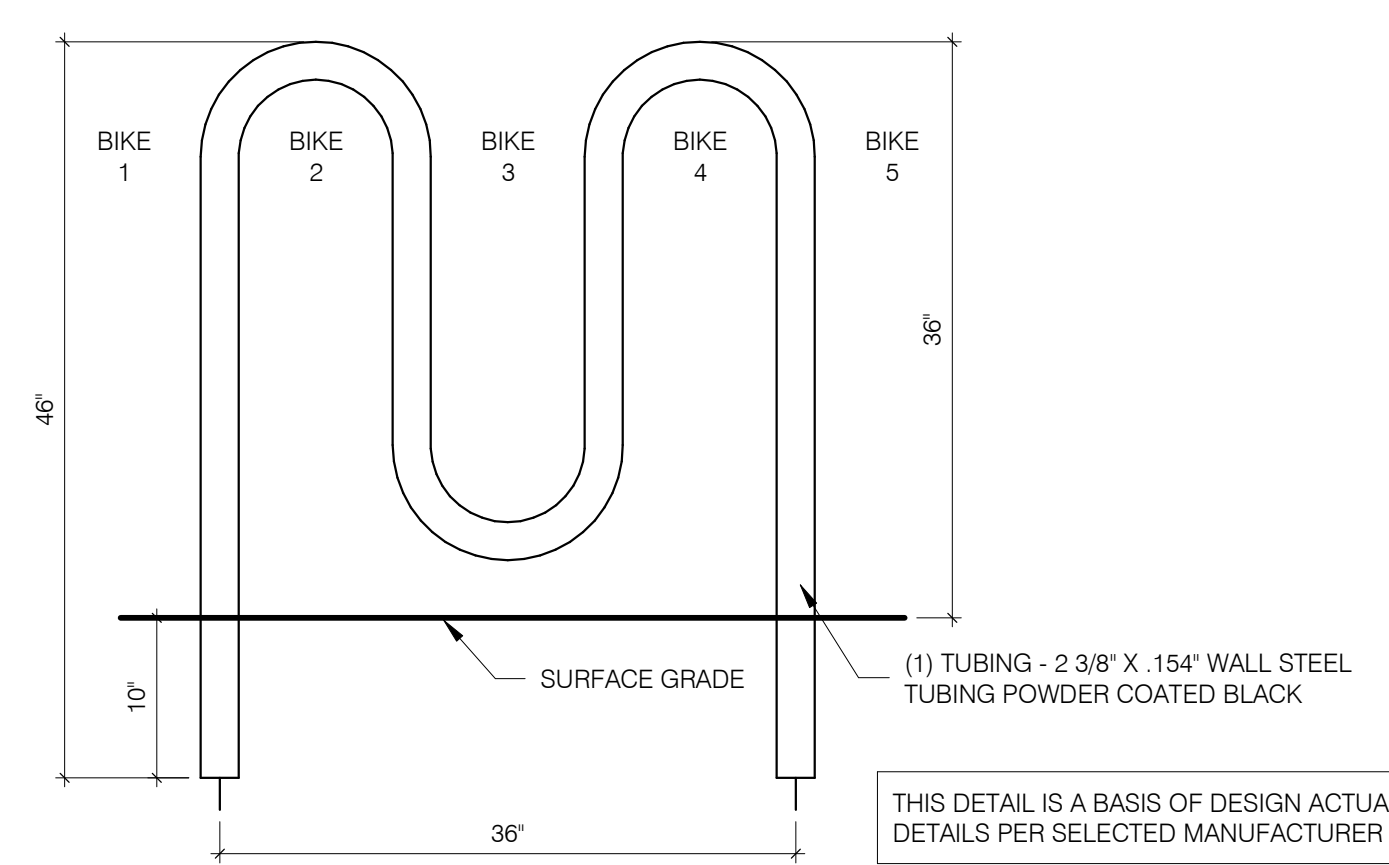
6 POOL FENCE SECTION
3/4" = 1'-0"



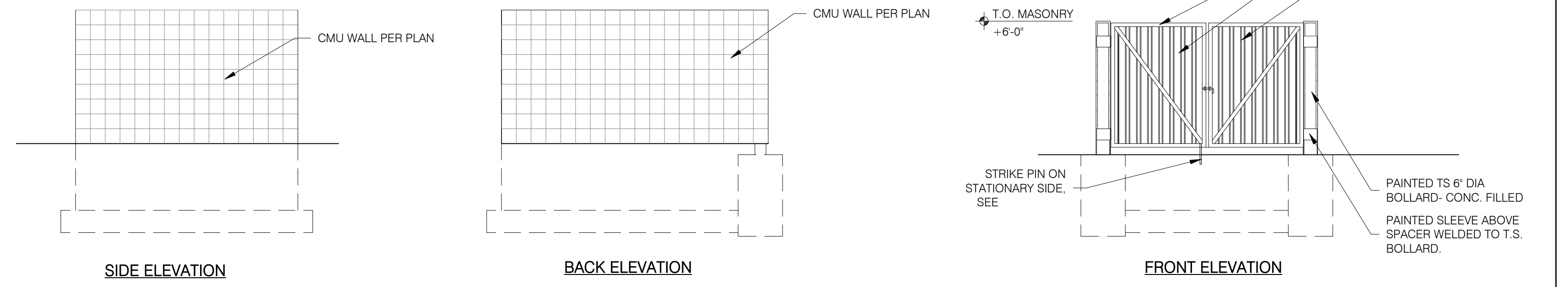
7 PERGOLA
1/4" = 1'-0"



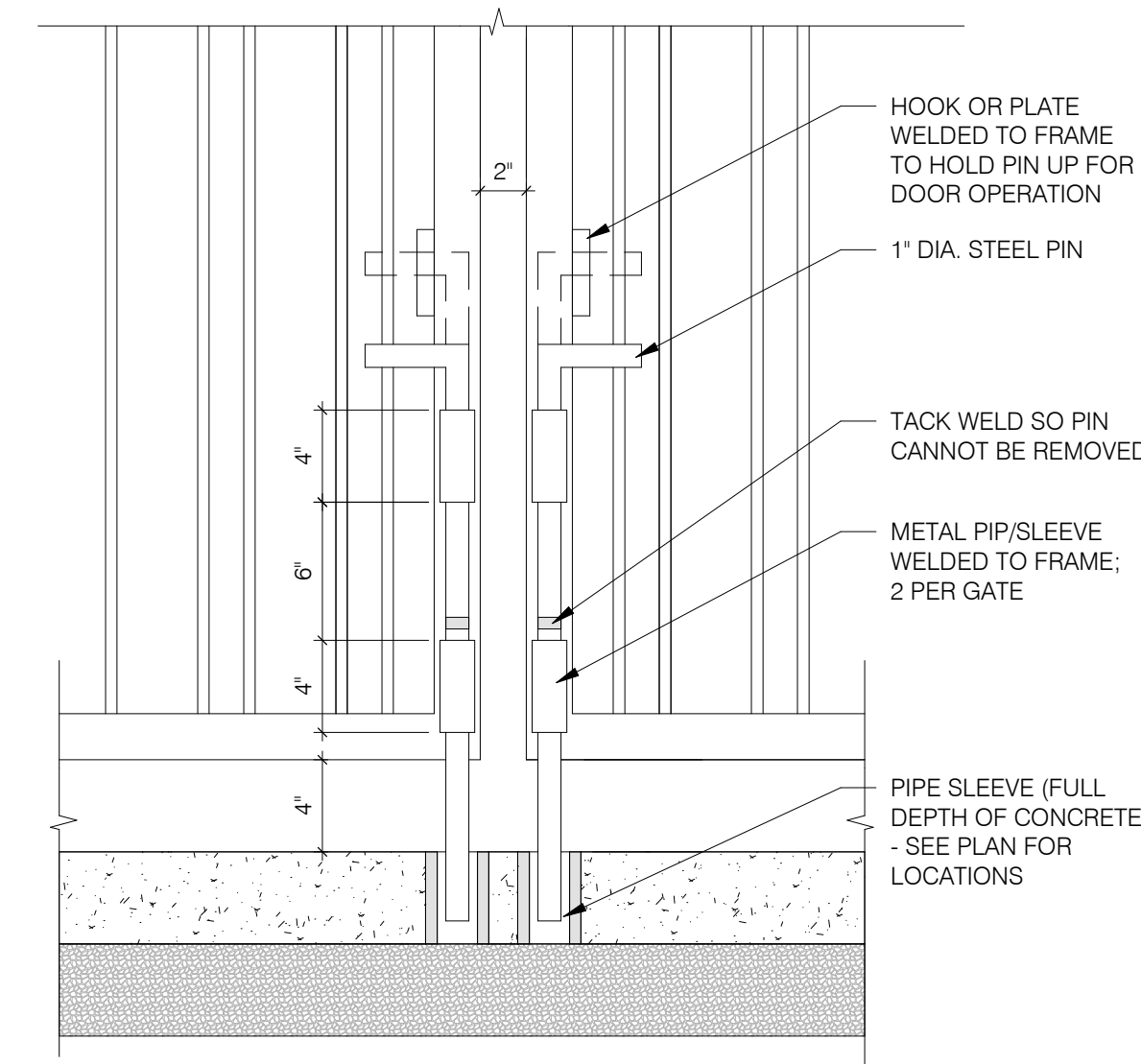
8 PERGOLA SECTION
1/4" = 1'-0"



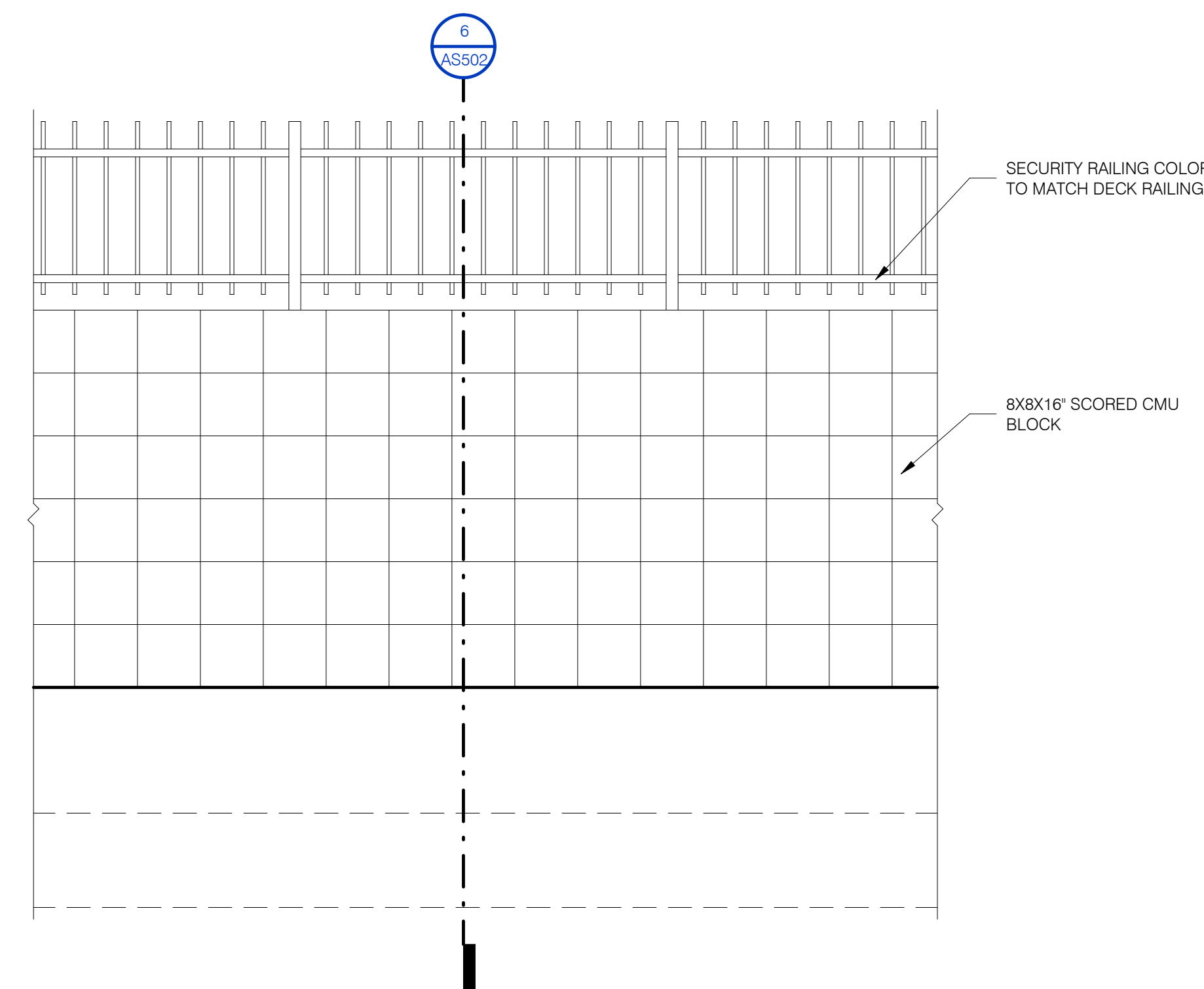
9 BIKE RACK
1" = 1'-0"



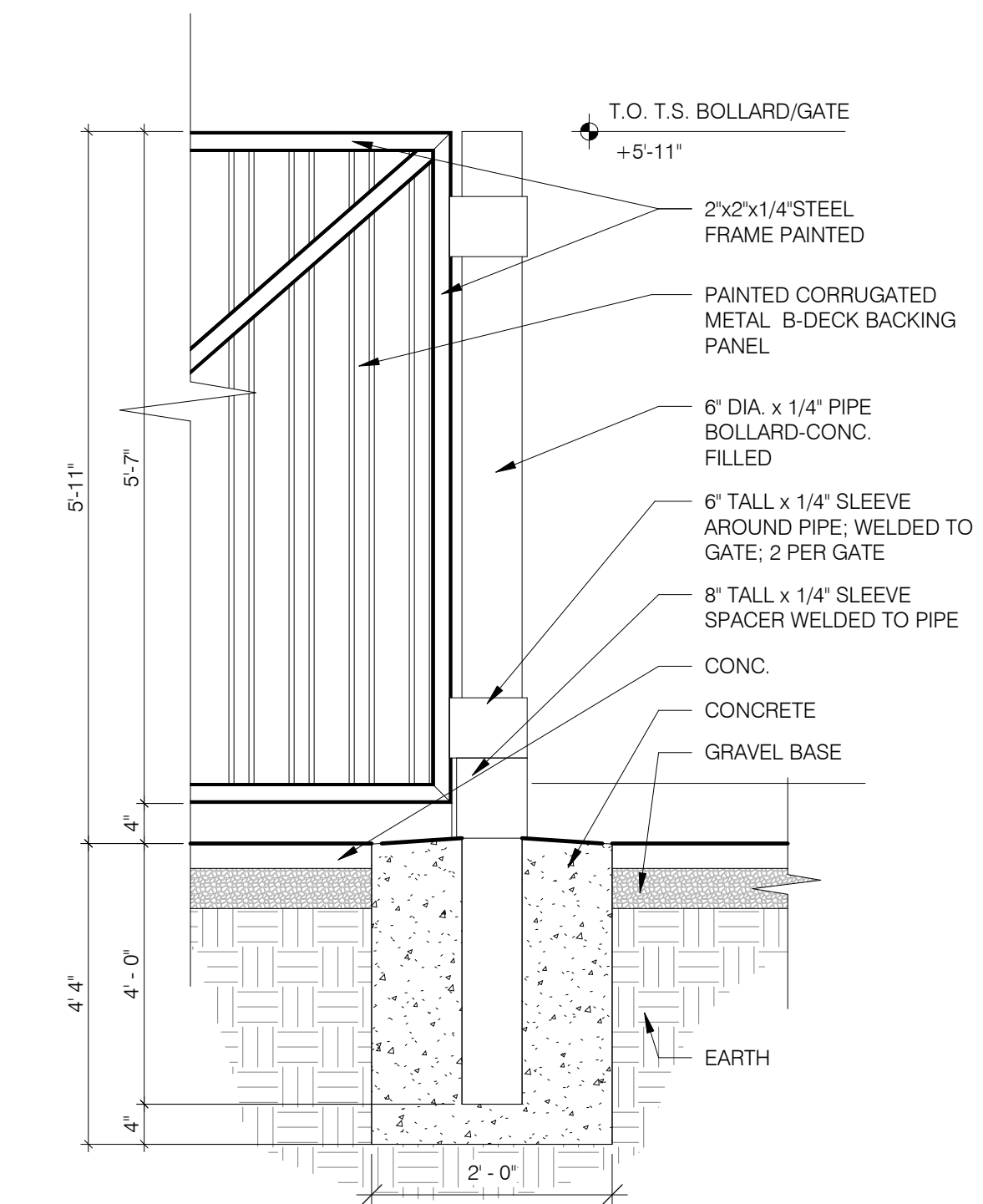
1 ENCLOSURE ELEVATIONS
1/4" = 1'-0"



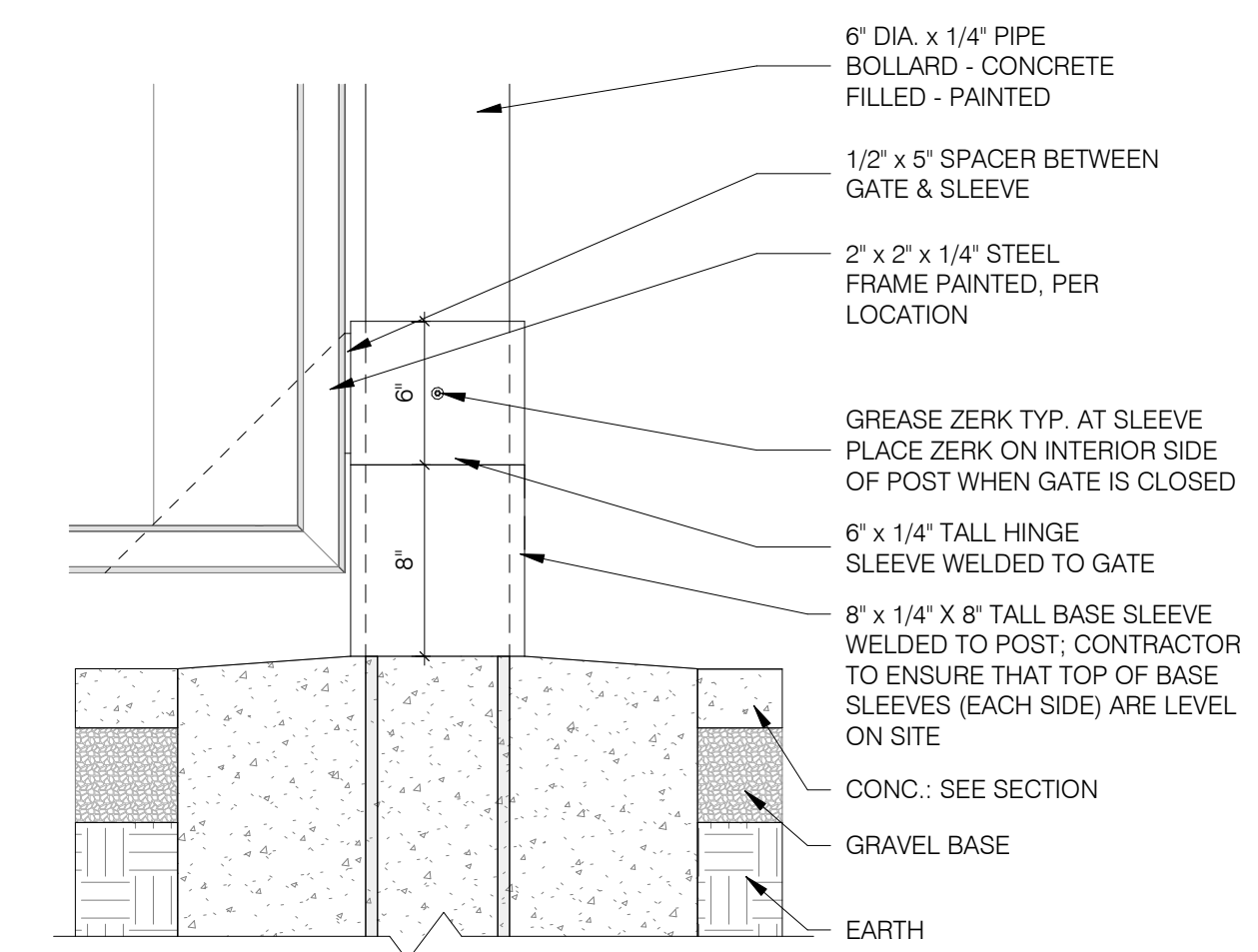
4 ENCLOSURE GATE PIN
1 1/2" = 1'-0"



5 POOL FENCE ELEVATION
3/4" = 1'-0"



2 ENCLOSURE GATE WALL SECTION
3/4" = 1'-0"



3 ENCLOSURE GATE JAMB
1 1/2" = 1'-0"





LEGACY SQUARE











Legacy Square

CITIZEN PARTICIPATION PLAN

November 2023

DRAFT

Citizen Participation Plan for Legacy Square

November 25, 2023

Purpose: The purpose of this Citizen Participation Plan is to inform citizens, property owners, neighborhood associations, agencies, schools and businesses in the vicinity of the site of an application for **Legacy Square**. The site is located at the northwest corner of 2nd Avenue and Pomeroy. The application is for the rezoning of 2.19 acres from the DR-2 and DR-3 zoning districts to the DR-3 zoning district with a BIZ Overlay for the development of a 110-unit multi-family residential building. This plan will ensure that those who may be affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Sean Lake

1744 S Val Vista Drive, Ste 217

Mesa, AZ 85204

(480) 461-4670

Sean.lake@pewandlake.com

Pre-Submittal Conference: The Pre-Submittal Conferences with the City of Mesa Development Services staff were held on February 4, 2022 with a follow up on August 18, 2022. Staff reviewed the application and recommended that adjacent residents, the Mesa School District and nearby registered neighborhoods be contacted.

Action Plan: In order to provide effective citizen participation in conjunction with this application, the following actions will be taken to provide opportunities to understand and address any real or perceived impacts that members of the community may have.

- 1) A contact list will be developed for citizens and agencies in this area including:
 - a. All registered neighborhood associations within one mile of the project.
 - b. Homeowner's Associations within one half mile of the project.
 - c. Interested neighbors – focused on 1,000 feet from the site but may include more.

- d. Mesa Public School District, in writing, with copies to Mesa High School, Kino Jr High and Lowell Elementary School, who may be affected by this application.

2) All person listed on the contact list will receive a letter describing the project, project schedule, site plan, and invitation to a series of two neighborhood meetings to be held at Mesa Public Library Main Branch **XXX Meeting Room.**

- a. The first meeting will be an introduction to the project, and opportunity to ask questions and state concerns. A sign-in list will be used and comment forms provided. Copies of the sign-in list and any comments will be given to the City of Mesa Planner assigned to this project.
- b. The second meeting will be held two weeks later and will include responses to questions and concerns of the first meeting. Copies of the sign-in list and comment cards for this meeting will also be given to the City of Mesa Planner assigned to this project.

3) Presentations will be made to groups of citizens or neighborhood associations upon request.

Schedule:

Pre-Submittal Conferences: February 4, 2022 and August 18, 2022

Application Submittal: November 27, 2023

First Neighborhood Meeting: January 4, 2024 **(tentative)**

Second Neighborhood Meeting: January 18, 2024 **(tentative)**

Submittal of Citizen Participation Report & Notification Materials: February 1, 2024

Planning & Zoning Board Hearing: March 13, 2024



Legacy Square

Case Nos. ZON23-00970
& DRB23-00971

CITIZEN PARTICIPATION REPORT

July 2024

Citizen Participation Plan for Legacy Square

July 17, 2024

Overview: This report provides results of the implementation of the Citizen Participation for **Legacy Square**. The site is located at the northwest corner of 2nd Avenue and Pomeroy. The application is for the rezoning of 2.19 acres from the DR-2 and DR-3 zoning districts to the Downtown Core (DC) zoning district for the development of a 110-unit multi-family residential building. This plan will ensure that those who may be affected by this application will have an adequate opportunity to learn about and comment on the proposal.

Contact:

Sean Lake

1744 S Val Vista Drive, Ste 217

Mesa, AZ 85204

(480) 461-4670

Sean.lake@pewandlake.com

Neighborhood Meeting: A neighborhood meeting where residents were invited to discuss the proposal was held on July 16, 2024 at City of Mesa Main Library Board Room at 64 E First Street, Mesa, AZ 85201. The meeting started at 6:00 pm. There were four residents in attendance. (The sign-in sheet is attached.)

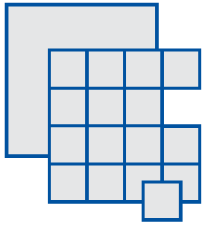
Correspondence and Telephone Calls: The details for project communications is listed below:

- 1) On July 1, 2024, neighborhood meeting letters were mailed to the contact list of property owners within 1,000 feet of the project site.
 - a. The list of recipients, the letter and the site plan exhibit included with the letter are attached to this report.
- 2) On July 11, 2024 a phone conference was held with an adjacent property owner who had requested additional information about the project and indicated support for the proposal. A follow up email with the project narrative was provided to the resident.
- 3) On July 16, 2024 a neighborhood meeting was held in the Mesa Public Library Downtown board meeting room.

Results:

At the neighborhood meeting the following items were discussed:

- 1) The following concerns and issues were raised and addressed:
 - a. Will there be enough parking? *Yes the project will have the required parking. Parking will be available both onsite and on street. (In fact we have more than the minimum required parking being provided.)*
 - b. What about at the time of the [Easter] pageant, will the parking, specifically the street parking, still be available to the residents. *We will pass that information along to the property owner/management so they are aware that they may need to do some postings or additional noticing to retain parking for their residents during that time.*
 - c. What is the different between the D-2 and D-3 zones and then the DC (Downtown Core) zone? *The levels of intensity of the development and allowable density increases from the D-2, to the D-3 with the City's most intense and highest density levels permitted in the DC zone, which is consistent with the City's General Plan and future vision of the type of development that was anticipated to occur in this area.*
 - d. Do the City approvals ever expire? If the developer chooses not to move forward with the construction? *City [site plan] approvals are valid for 2 years at which time the applicant can request an extension.*
 - e. When do you plan on construction and how long will it take? Building this project increase the value of my property. *The intent is to get through the City approvals the next few months to be able to submit for building permits and be under construction by the end of the year with a target date of being built by fourth quarter of 2025. We anticipate construction to take approximately one year.*
- 2) The issues or concerns not specifically addressed and why:
 - a. What other projects are being proposed in the area? *The City will be the ones to have that information on what other applications have been received and are currently being processed. We are only aware that there has been more activity starting to occur back from Main Street on these more secondary roads.*
 - b. What is the City planning along 2nd Avenue? There is currently nothing there. *The City would be the one that would need to provide additional information on whether not 2nd Avenue is one of their current (or planned for) roadway projects.*



Pew & Lake, P.L.C.
Real Estate and Land Use Attorneys

W. Ralph Pew
Certified Real Estate Specialist
Sean B. Lake
Reese L. Anderson

July 1, 2024

NOTICE OF NEIGHBORHOOD MEETING

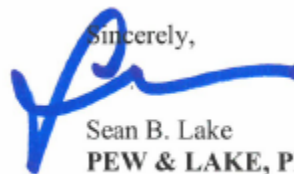
Dear Neighbor,

Together with our client, Westates Companies, we are pleased to invite you to a neighborhood meeting regarding the 2.19 acres located at the northwest corner of 2nd Avenue and Pomeroy. We are requesting a change from the current zoning of DR-2 and DR-3 to the Downtown Core (DC) zoning district to allow for a 110-unit multi-family residential development. We are also seeking site plan and design review approval from the City. A conceptual site plan has been included with this letter for your review so you can see the proposed layout of this exciting new community.

This neighborhood meeting has been scheduled to give interested property owners in this area an opportunity to meet with the Developer and learn more about the proposed project. Consistent with the City of Mesa's Zoning Ordinance, this notice is being sent to property owners within 1000' of the development site. If you are aware of other individuals interested in this project, please share this information with them. The details of the meeting are as follows:

Date:	July 16th, 2024
Time:	6:00 p.m.
Place:	Mesa Main Library (Board Room) 64 E. First Street Mesa, Arizona 85201

If you have any questions regarding this matter prior to the neighborhood meeting, please contact me at our office at (480) 461-4670 or Sean.lake@pewandlake.com. The City of Mesa has assigned this case to Jennifer Merrill, Jennifer.Merrill@MesaAZ.gov, who can also be reached at (480) 644-6439. Please let any of us know if you have questions or concerns regarding this proposed project. Your input will be part of the public record for this case and provided to the Planning and Zoning Board and City Council as part of the public record for this project.

Sincerely,

Sean B. Lake
PEW & LAKE, PLC



OWNER DEVELOPER/SUBDIVIDER

WESTATES COMPANIES
 ADDRESS: 1540 N 200 WEST, STE 9
 SALT LAKE CITY, UTAH 84116
 PHONE: 801-696-5202
 EMAIL: TRAVIS@WESTEDLLC.COM

LANDSCAPE ARCHITECT

SMART DEVELOPMENT LANDSCAPE ARCHITECTURE
 ADDRESS: 5415 N. MAGNOLIA LANE
 SCOTTSDALE, ARIZONA 85251
 PHONE: 480-516-8845
 EMAIL: SMORIC@SMART-DEVELOPMENT.COM

VICINITY MAP



VEGETATION CREDIT TABLE

TOTAL OPEN SPACE AREA	21,990 SQ.FT.
SIZE LIVE PLANT MATERIAL REQUIRED	10,995 SQ.FT.
LIVE PLANT MATERIAL PROVIDED	14,300 SQ.FT.
EVERGREEN TREES (CREDIT 100 SQ.FT. EA)	26 EA 3,600 SQ.FT. (36X100)
DECIDUOUS SHADE TREES (CREDIT 50 SQ.FT. EA)	43 EA 2,150 SQ.FT. (43X50)
MEDIUM SHRUBS (CREDIT 25 SQ.FT. EA)	300 EA 7,500 SQ.FT. (300X25)
SMALL SHRUBS & GROUNDCOVER (CREDIT 10 SQ.FT. EA)	105 EA 1,050 (105X10)

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
TREES			
	Acacia stenophylla / Shoestring Acacia	15-Gal	11
	Chilopsis linearis / Desert Willow	15-Gal	6
	Fraxinus vetulina 'Fan-Tex' / Fan-Tex Velvet Ash	24"-Box	9
	Olinya tesota / Desert Ironwood	24"-Box	4
	Pistacia leniscus / Red Push	24"-Box	30
	Quercus shumardii / Shumard Red Oak	36"-Box	9
	Ulmus parvifolia / Evergreen Elm	24"-Box	13
SHRUBS			
	Groundcover / Shrub	1 gal / 5 gal	458

LANDSCAPE GENERAL NOTES

- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK FOR THE PLANS.
- ALL NEW PLANT MATERIAL TO RECEIVE AUTOMATIC IRRIGATION.
- SIGHT VISIBILITY TRIANGLE SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 3 FEET. TREES WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A CANOPY THAT RECESSES AT 7 FEET IN HEIGHT UPON INSTALLATION.
- ALL NON PAVED AREAS TO RECEIVE DECOMPOSED GRANITE COVER IN 2"-3" OD DPTH. COLOR TO BE NATURAL IN EARTH TONES.
- ALL PLANT MATERIAL TO KEEP A MINIMUM OF 3' DISTANCE FROM ANY FIRE HYDRANTS.
- NO TREES TO BE PLANTED WITHIN ANY PUBLIC UTILITY EASEMENT.
- NO SHRUBS WITHIN A PLANTER ISLAND OF AN ON-SITE PARKING SHALL BE MAINTAINED TO A HEIGHT IN EXCESS OF THREE FEET, AND ALL TREES WITHIN SUCH PLANTERS SHALL MAINTAIN A MINIMUM CLEARANCE OF FIVE FEET FROM THE LOWEST BRANCH TO THE ADJACENT GRADE ELEVATION.
- SWIMMING POOL AND SPA TO MEET ALL LOCAL MUNICIPAL POOL BARRIER CODES.

SMART Development
 Landscape Architecture
 3418 N. Kachina Lane
 Scottsdale, Arizona 85251
 Office 480.516.8845

REVISIONS:

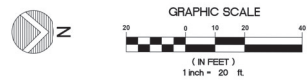
LEGACY SQUARE
 MESA, ARIZONA
 PRELIMINARY LANDSCAPE PLAN



DESIGNED: SM
 DRAWN: STAFF
 CHECKED: SM PLOT DATE: 03/19/24
 SHEET: 1
 PROJECT NO.: SD2209

REVIEWED BY: SM DATE: _____
 DRAFTED BY: STAFF DATE: _____
 CHECKED BY: SM DATE: _____

ALL ABOVE GROUND UTILITIES SHALL BE RELOCATED UNDERGROUND.



Owner Name *	Mailing Address1	Mailing Address City	Mailing Address State	Mailing Address Zip Code
1 2 3 ENTERPRISES LLC	108 S PASADENA	MESA	AZ	85210
115 S HIBBERT LLC	6335 E BROWN RD #1147	MESA	AZ	85205
140 S SPENCER LLC	256 E 10TH DR	MESA	AZ	85210
1ST AVENUE HOLDINGS LLC	447 E 1ST AVE	MESA	AZ	85204
220 S HIBBERT TRUST	1309 COFFEEEN AVE STE 11113	SHERIDAN	WY	82801
330 BROADWAY LLC	9301 WILSHIRE BLVD STE 206	BEVERLY HILLS	CA	90210
ADAIR THOMAS MICHAEL/ANITA JO	240 E BROADWAY RD	MESA	AZ	85210
ALANO CLUB OF MESA INC THE	PO BOX 5383	MESA	AZ	85211
ALLEN ZACHARY C	713 N JACKSON CIR	MESA	AZ	85205
AMADOR MARIA DE LA LUZ TREJO	253 S UDALL	MESA	AZ	85204
AMANDA MARIE MARTIN TRUST	501 E 2ND AVE UNIT 32	MESA	AZ	85204
ARIZONA LLC	4645 N 12TH ST UNIT 200	PHOENIX	AZ	85014
ARIZONA LLC	4735 E ARROYO VERDE DR	PARADISE VALLEY	AZ	85253
AROS SHERYL MOLEN/JESSE RICHARD	501 E 2ND AVE UNIT 33	MESA	AZ	85204
ARRINGTON DAVID K/MARY L	458 E KIMBALL	MESA	AZ	85204
ARTSPACE MESA LP	7150 E CAMELBACK RD 455	SCOTTSDALE	AZ	85251
ARV PROPERTIES LLC	1753 E BROADWAY RD UNIT 101-144	TEMPE	AZ	85282
AWERKAMP DWAYNE ROGER/JACQUELINE LYNETTE TR	1845 E STEPHENS DR	TEMPE	AZ	85283
BADAL JOHNNY/MARGARIT	8031 W ALEX AVE	PEORIA	AZ	85382
BARTON T & NINA SUE EAMES TRUST	501 E 2ND AVE UNIT 29	MESA	AZ	85204
BERGESON LINDA P/JAMES A	2150 N MESA DR	MESA	AZ	85201
BLOOMER ZACHARY	543 S 900 E UNIT A1	SALT LAKE CITY	UT	84102
BONN DENNIS EUGENE ESTATE OF/VAN HORN BEVERLY A	519 S VOIGT ST	SPRINGERVILLE	AZ	85938
BOYLE ADAM/WOLVEN JESSICA RAE	162 E 2ND AVE	MESA	AZ	85210
BR REAL ESTATE PHX LLC	8338 E KAEL ST	MESA	AZ	85210
BRYANT JOSEPH/JENNIFER	132 S HIBBERT	MESA	AZ	85210
BUESING SERVICES LLC	204 S MESA DR	MESA	AZ	85210
BYRD BRIAN T	132 S PASADENA	MESA	AZ	85210
BYRDS PASADENA MANSION LLC	106 S OGDEN CIR	MESA	AZ	85206
BYRDS PASADENA NEIGHBOR LLC	106 S OGDEN CIR	MESA	AZ	85206
CARNICERIA SONORA 1 INC	3135 S 48TH ST 107	TEMPE	AZ	85282
CASTILLO RODNEY/JEANENE B	501 E 2ND AVE UNIT 30	MESA	AZ	85204
CASTILLO SAMUEL CALDERON/PEREZ OWAN CALDERON	201 S MESA DR	MESA	AZ	85210
CHANNELL GORDON E JR/MARTHA CADENA SOLIS	128 S PASADENA	MESA	AZ	85210
CHRISTIAN SCIENCE SOCIETY MESA TR	134 E 2ND AVE	MESA	AZ	85210
CISNEROS DIEGO/HAGGARD TRAVIS ETHAN	138 S HIBBERT	MESA	AZ	85210
COLLINS JULIE MYREE	18205 S ARIZONA AVE	CHANDLER	AZ	85286
CORP OF PRESIDING BISHOP CH OF LDS	50 E NORTH TEMPLE RM 2225	SALT LAKE CITY	UT	84150
CORPORATION OF PRESIDING BISHOP LDS	50 E NORTH TEMPLE RM 2225	SALT LAKE CITY	UT	84150
COX JEFFREY L/JENNIFER A	2048 E FOUNTAIN ST	MESA	AZ	85213
CRANDELL KAREN	501 E 2ND AVE UNIT 35	MESA	AZ	85204
DALE AND MARTHA JANE FOOTE TRUST	58 S UDALL	MESA	AZ	85204
DANG JOSEPH CUONG/KATHLEEN TR	4088 ASH ST	VANCOUVER CANADA	BC	V5Z 0H2
DAVIS GRANT	501 E 2ND AVE UNIT 31	MESA	AZ	85204
DODDS JAMES M/MIRIAM J	2147 S CHOLLA	MESA	AZ	85202
DODGE PRESTON ALLEN	145 S PASADENA	MESA	AZ	85210
DRAPER 8 HOLDINGS LLC	21738 E ORION WY	QUEEN CREEK	AZ	85242-6448
DT MESA HOLDCO II LLC	8901 E MOUNTAIN VIEW RD STE 150	SCOTTSDALE	AZ	85258
EAGER GRANT ARTHUR/NOGUERA SOFIA IVANA	125 E 2ND AVE	MESA	AZ	85210
EJB ENTERPRISES LLC	2606 N HALL CIR	MESA	AZ	85203
EMPACT-SUICIDE PREVENTION CENTER	618 S MADISON DR	TEMPE	AZ	85281
ENTRUST ARIZONA LLC FBO JUAN CRUZ IRA #12855	946 E CITATION LN	TEMPE	AZ	85284
ENTRUST ARIZONA LLC FBO JUAN CRUZ IRA #12855	946 E CITATION LN	TEMPE	AZ	85286
ERENBERG BROTHERS - ARIZONA LLC	12100 WILSHIRE BLVD STE 550	LOS ANGELES	CA	90025
ERENBERG BROTHERS-ARIZONA LLC	PO BOX 1870	SANTA YNEZ	CA	93460
ERICKSEN JAMES W TR	1832 E YALE DR	TEMPE	AZ	85283
ERICKSEN JAMES W/SUSAN J	1832 E YALE DR	TEMPE	AZ	85283
EVERGREEN TDS 1 LLC	3441 E DECATUR ST	MESA	AZ	85213
FELIDA 1 LLC	344 W LEATHERWOOD AVE	SAN TAN VALLEY	AZ	85140
FELIDA2 LLC	130 S MESA DR	MESA	AZ	85210
FENN MACK H/RACHEL ROGERS	2045 E GLENCOVE CIR	MESA	AZ	85213
FLAKE FAMILY LIVING TRUST	6371 S SKY CT	GILBERT	AZ	85298
FLORES CARLOS Q/ESTHER T	205 S MESA DR	MESA	AZ	85210
FOX ERIC/VALERIE	253 E 1ST AVE APT 1	MESA	AZ	85210
FRASER FIELD APARTMENTS LLC	125 N FRASER DR E	MESA	AZ	85203
FREEMAN CRAIG DANA/CATHLEEN MILLETT TR	1615 E LAUREL CIR	MESA	AZ	85203
GAJ PROPERTIES LLC	256 E BROADWAY RD	MESA	AZ	85210
GAJ PROPERTIES LLC	163 S 107TH DR	AVONDALE	AZ	85323
GARCIA JESSICA H	6335 E BROWN RD UNIT 1147	MESA	AZ	85205
GENET FAMILY TRUST/GENET ROBERT I JR	1000 N CENTRAL AVE	SHOW LOW	AZ	85901

GKP&B LP	203 N MACDONALD	MESA	AZ	85201
GKP&B LTD PARTNERSHIP	203 N MCDONALD DR	MESA	AZ	85201
GUTHRIE REED R	119 S 1300 E	SPRINGVILLE	UT	84663
HARDY RICHARD E/SHARON V	501 E 2ND AVE UNIT 9	MESA	AZ	85204
HATCH JAMES L/VICKI L TR	52 S LESEUR	MESA	AZ	85204
HELGUERA MIGUEL	114 S LESJEUR	MESA	AZ	85204
HIGHMARK CAPITAL LLC	4018 E HUBER ST	MESA	AZ	85205
IDEAL HOMES AZ LLC	1891 W APACHE TRL	APACHE JUNCTION	AZ	85120
IRVING JUNIOR PROPERTIES LLC/R&S BURBIDGE FAMILY LLC	4885 S 900 E 105	SALT LAKE CITY	UT	84117
J & S LEGACY INVESTMENTS LLC	2626 N CHESTNUT CIR	MESA	AZ	85213
JD FILTER PROPERTIES LLC	130 N 39TH AVE	PHOENIX	AZ	85009
JOHNSTAR LLC	306 N FRASER DR W	MESA	AZ	85203
KAY W LINES AND SUSAN LYN LINES REVOCABLE TRU	441 E 1ST AVE	MESA	AZ	85204
KESSLER KYLA	2784 W 5275 S UNIT B	ROY	UT	84067
LAMAR RENTALS LLC	6808 SHOSHONE AVE	LAKE BALBOA	CA	91406
LAND EQUITY INVESTORS L L C	525 W BASELINE RD	MESA	AZ	85210-6013
LAND EQUITY INVESTORS LLC	525 W BASELINE RD	MESA	AZ	85210
LAND EQUITY INVESTORS LLC	65 S MESA DR	MESA	AZ	85210
LAND EQUITY INVESTORS LLC	1850 N CENTRAL AVE STE 1200	PHOENIX	AZ	85004-4590
LAND EQUITY INVESTORS LLC	4915 E BASELINE RD 105	GILBERT	AZ	85234
LAND EQUITY INVESTORS LLC	50 E NORTH TEMPLE RM 2225	GILBERT	AZ	85234
LEGACY SQUARE OPZONE LLC	1223 S CLEARVIEW AVE 105	MESA	AZ	85209
LISA MALO-DETVILER LIVING TRUST	306 E CARTER RD	PHOENIX	AZ	85042
LYNCH CHARLES W III	140 S PASADENA	MESA	AZ	85210
LYON JAMES M/MELANIE B	444 E 3RD AVE	MESA	AZ	85204
MAHNUD PROPERTIES LLC	3512 E ELWOOD ST	MESA	AZ	85213
MCEACHRAN LINDA DAWN	909 ST CLAIR PKY	MOORETOWN	ON	NON 1M0
City of Mesa ATTN: Marc Hershberg	20 E Main St Ste 750	Mesa	AZ	85201
City of Mesa ATTN: Marc Hershberg	20 E Main St Ste 750	Mesa	AZ	85201
City of Mesa ATTN: Marc Hershberg	20 E Main St Ste 750	Mesa	AZ	85201
MICHALOS ANTHONY M	144 S HIBBERT	MESA	AZ	85210
MICHALOWICZ-MACON JOHN ALEX	160 S HIBBERT	MESA	AZ	85210
MILANI MICHAEL/MARTHA	501 E 2ND AVE 2	MESA	AZ	85204
MIRANDA MARIA L/ROMERO RAYMOND R	136 S PASADENA	MESA	AZ	85210
MONTOYA ISMERALDA ESPINOZA	454 E KIMBALL AVE	MESA	AZ	85204
MONTY R HERBOLD LIVING TRUST	125 S PASADENA	MESA	AZ	85210
MOORE BROTHERS PROPERTIES LLC	741 S JONES ST	MESA	AZ	85204
MORALES JOSE/LINARES JASMINE	116 S HIBBERT	MESA	AZ	85210
MORRIS GREGORY A	134 S HIBBERT	MESA	AZ	85210
NIKOLICH BRENDAN DERRICK	102 N WALNUT ST	TONKAWA	OK	74653
ODC GRIFFIN MESA LLC	9700 HIGGINS RD STE 900	ROSEMONT	IL	60018
PARTIDA FLAVIA/FLORES YESENIA	141 E 2ND AVE	MESA	AZ	85210
PAUL ADAMS PALMS LLC	904 BRACERO RD	ENCINITAS	CA	92024
PAYNE MARK/STEPHANIE	501 E 2ND AVE UNIT 4	MESA	AZ	85204-1087
PEARCE LESTER N FAMILY TRUST	1457 E HACKAMORE	MESA	AZ	85203
PEARCE LESTER TR	1457 E HACKAMORE	MESA	AZ	85203
PERSUASIONS LLC	721 E ENCINAS AVE	GILBERT	AZ	85234
PHOENIX AIRBAGIT PARTNERS LLC	260 S HIBBERT	MESA	AZ	85210
PONDEROSA BLUE RIDGE LLC	430 E TREMAINE AVE	GILBERT	AZ	85299
PONTET YOALLI MABEL HIDALGO	131 E 2ND AVE	MESA	AZ	85210
PRES BISHOP CH JESUS CHRIST OF LDS	50 E NORTH TEMPLE RM 2225	SALT LAKE CITY	UT	84150
PRESSER HELMUT/DARLENE D	1418 W 4TH AVE	OSHKOSH	WI	54902
PROPERTIES EVERYWHERE LLC	732 E LEHI RD	MESA	AZ	85203
PROPERTY RESERVE ARIZONA LLC	PO BOX 511196	SALT LAKE CITY	UT	84151-1196
PROPERTY RESERVE ARIZONA LLC	51 S MAIN ST STE 301	SALT LAKE CITY	UT	84111
PROVIDENTIAL LENDING SERVICES LLC	1543 E IVYGLEN ST	MESA	AZ	85203
RATHJEN NORMAN P/RATHJEN SHIRLEY ANN TR	2208 S COTTONWOOD DR	TEMPE	AZ	85282
RICHARD KARRY AND MARY F KARRY REVOCABLE LIVING TR	244 E BROADWAY RD	MESA	AZ	85210
ROBERTS GLENDA/THOMAS	461 E 1ST AVE	MESA	AZ	85204
ROBLEDO LUIS CHIMAL/CHIMAL CINDY	202 E BROADWAY RD	MESA	AZ	85210
ROCKIE LEE SUTTLE LIVING TRUST/JEREMIRAH DALE WEST R	445 E HUBER ST	MESA	AZ	85203
RODRIGUEZ EDUARDO M SANTOYO	255 E 1ST AVE	MESA	AZ	85202
ROOSEVELT LAKE LLC	1618 E LELAND CIR	MESA	AZ	85203
SANCHEZ LUIS ANGEL	5419 N 63RD	GLENDALE	AZ	85301
SANCHEZ YASSER FERNANDO/EMILY ROMNEY	110 S MESA DR	MESA	AZ	85210
SB6 LLC	1429 N ROCHESTER DR	GILBERT	AZ	85234
SCHMIT MARCIA J	137 E 2ND AVE	MESA	AZ	85210
SCHNEBLY HAROLD K/EDITH	443 E 2ND AVE	MESA	AZ	85203
SCHNEBLY RUTH	143 S PASADENA ST	MESA	AZ	85210
SCOUT REAL ESTATE LLC	1865 E 3RD ST	TEMPE	AZ	85281
SEVILLA TONYA	1820 E LOCKWOOD ST	MESA	AZ	85203

SIMPSON HOWARD	119 E 1ST AVE	MESA	AZ	85210
SMITH JASON PERSONAL REP FOR THE ESTATE OF ROY ALLE	125 S HIBBERT	MESA	AZ	85210
SMITH LESLIE C/THOMSON PAMELA F	126 S HIBBERT ST	MESA	AZ	85210
SORN GERALD WILLIAM	131 S PASADENA	MESA	AZ	85210
SOUTH HALL LLC	2020 HOMEVIEW CT	LAS VEGAS	NV	89117
SPRINGWELL ASSOCIATION	126 S MESA DR	MESA	AZ	85210
SS HEIGHTS LLC	847 W KNOWLES CIR	MESA	AZ	85210
SUBURBAN LAND RESERVE INC	PO BOX 511196	SALT LAKE CITY	UT	84151
SWALLOW TRAVIS	1713 N ALAMO CIR	MESA	AZ	85213
SWALLOW TRAVIS/JENNIFER	1713 N ALAMO CIR	MESA	AZ	85213
TANTRUM LLC	22605 S 173RD WAY	GILBERT	AZ	85298
TOMALAVAGE 2015 REVOCABLE TRUST/CARPENTER 2015 R	1007 W MOUNTAIN VIEW RD	MESA	AZ	85201
TURLEY LIVING TRUST	501 E 2ND AVE UNIT 28	MESA	AZ	85204
TW2 PROPERTIES LLC	3531 N SONORAN HEIGHTS	MESA	AZ	85207
TW2 PROPERTIES LLC	3327 E FOUNTAIN ST	MESA	AZ	85213-5524
UNION PACIFIC RAILROAD CO	1400 DOUGLAS STOP 1640	OMAHA	NE	68179-1640
VILLAGE BLOOM LLC	2008 E MARSHALL AVE	PHOENIX	AZ	85016
VILLALOBOS MAYELA	2622 E GARNET AVE	MESA	AZ	85204
WE DID OUR BEST TRUST	157 E 2ND AVE	MESA	AZ	85210
WENTLAND HOLDINGS LLC	254 S MESA DR	MESA	AZ	85210
WILDFLOWER COTTAGE LLC	530 E TREMAINE	GILBERT	AZ	85234
WILSON SEAN/TANA R	830 E MAIN	SPRINGVILLE	AZ	85938
YEE PAUL/OLIVIA	1833 E FLINTLOCK WAY	CHANDLER	AZ	85286-1168
Councilmember Jenn Duff	PO Box 1466	Mesa	AZ	85211-1466
Priscilla Gutierrez	PO Box 1466	Mesa	AZ	85211-1466
City of Mesa Development Services Department ATTN: Jenn	PO Box 1466	Mesa	AZ	85211-1466
PLANNING OUTPOST ATTN: VALERIE CLAUSSEN	930 CHAMBERS ST, SUITE 2	SOUTH OGDEN	UT	84403
PEW & LAKE ATTN: SEAN LAKE	1744 S VAL VISTA DR, SUITE 217	MESA	AZ	85204
WESTATES ATTN: TRAVIS TAYLOR	1950 N 2200 W, SUITE 9	SALT LAKE CITY	UT	84116

Neighborhood Meeting
Sign-In Sheet

Applicant:
Pew & Lake, PLC/Westates Companies

Property Location:
2.19 acres located at the NWC of 2nd Avenue and Pomeroy

Date:
July 16th, 2024

Meeting Location:
Mesa Main Library (Board Room)
64 E. First Street Mesa, Arizona 85201




Time:

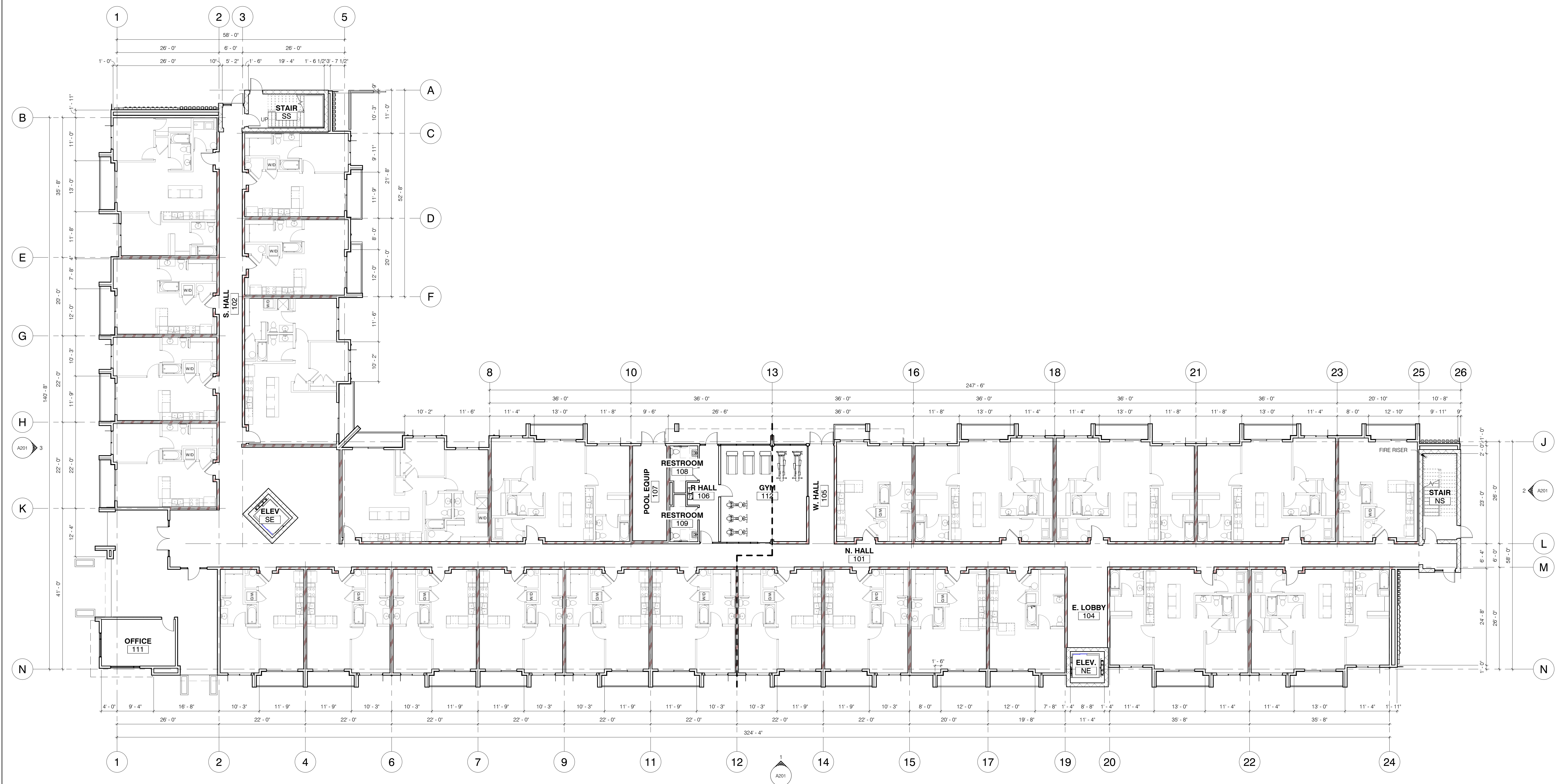
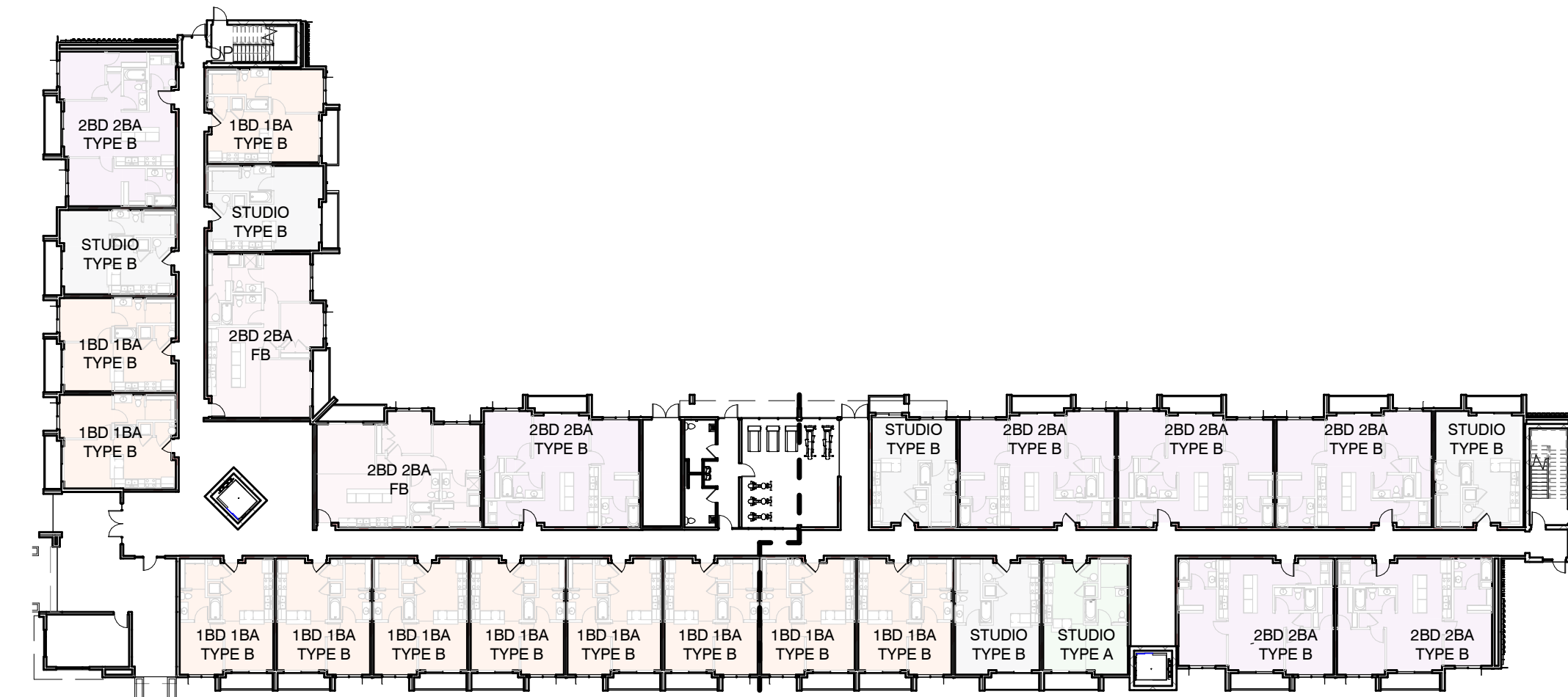
Case:

6:00 PM

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Jeff + Sarah Cox	135 S Mesa Drive	85210	Coxfrogs@gmail.com	480-215-6822
2	Alex Macan	160 S Hibbert	85210	Aamacan200@gmail.com	443-614-7842
3	Ted Dunham	163 S Mesa Drive	85210	tdunham@cox.net	480-861-5068
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

This sign-in sheet will be provided to the reviewing jurisdiction and will become a part of the public record for this case.

FIRE RATING LEGEND	
	1-HR FIRE RATING
	2-HR FIRE RATING
	NON-RATED



LEGACY SQUARE
APARTMENTS

LEGACY SQUARE
BUILDING ADDRESS

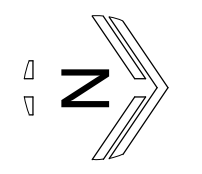
FLOOR PLAN - LEVEL 1

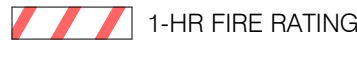
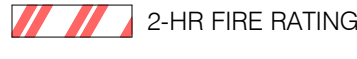
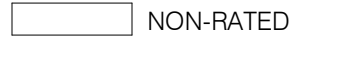
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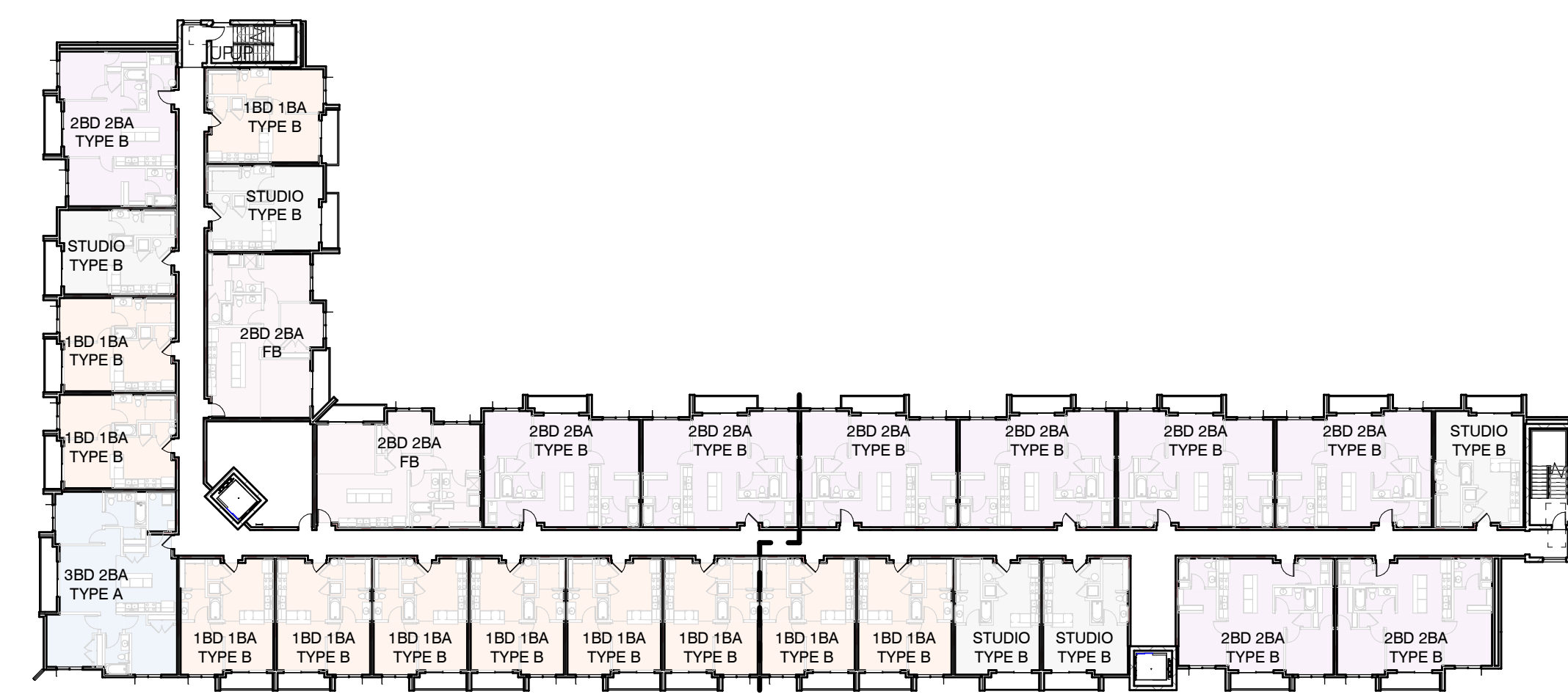
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A111
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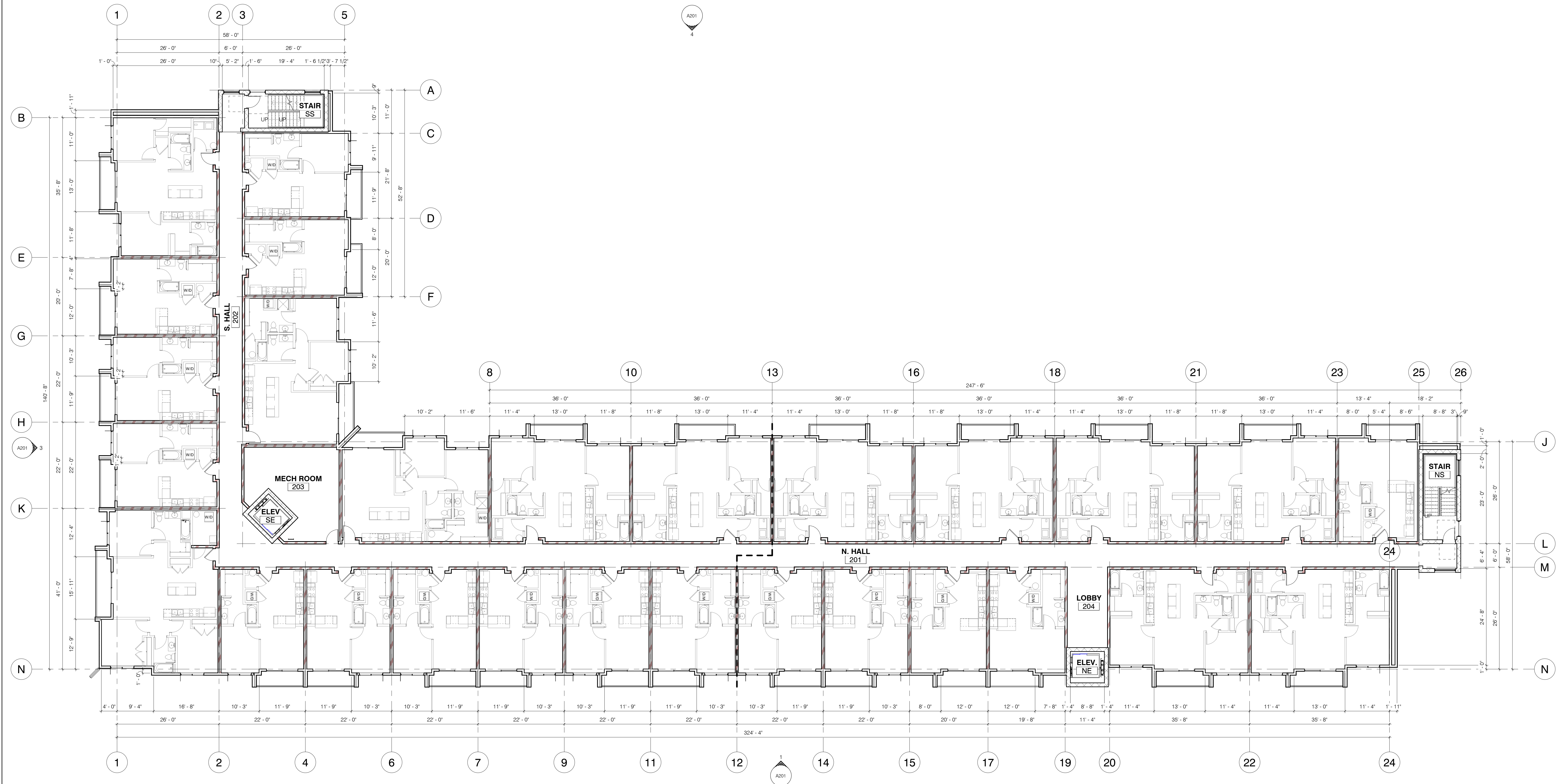
1 FLOOR PLAN - LEVEL 1
3/32" = 1'-0"



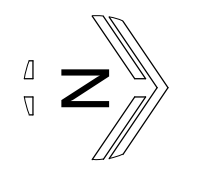
FIRE RATING LEGEND	
	1-HR FIRE RATING
	2-HR FIRE RATING
	NON-RATED



2 UNIT TYPE PLAN - LEVEL 2
1/32" = 1'-0"



1 FLOOR PLAN - LEVEL 2
3/32" = 1'-0"



LEGACY SQUARE
APARTMENTS

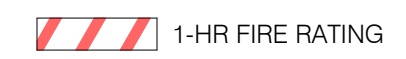
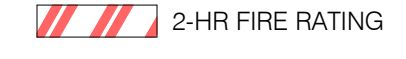

LEGACY SQUARE
BUILDING ADDRESS

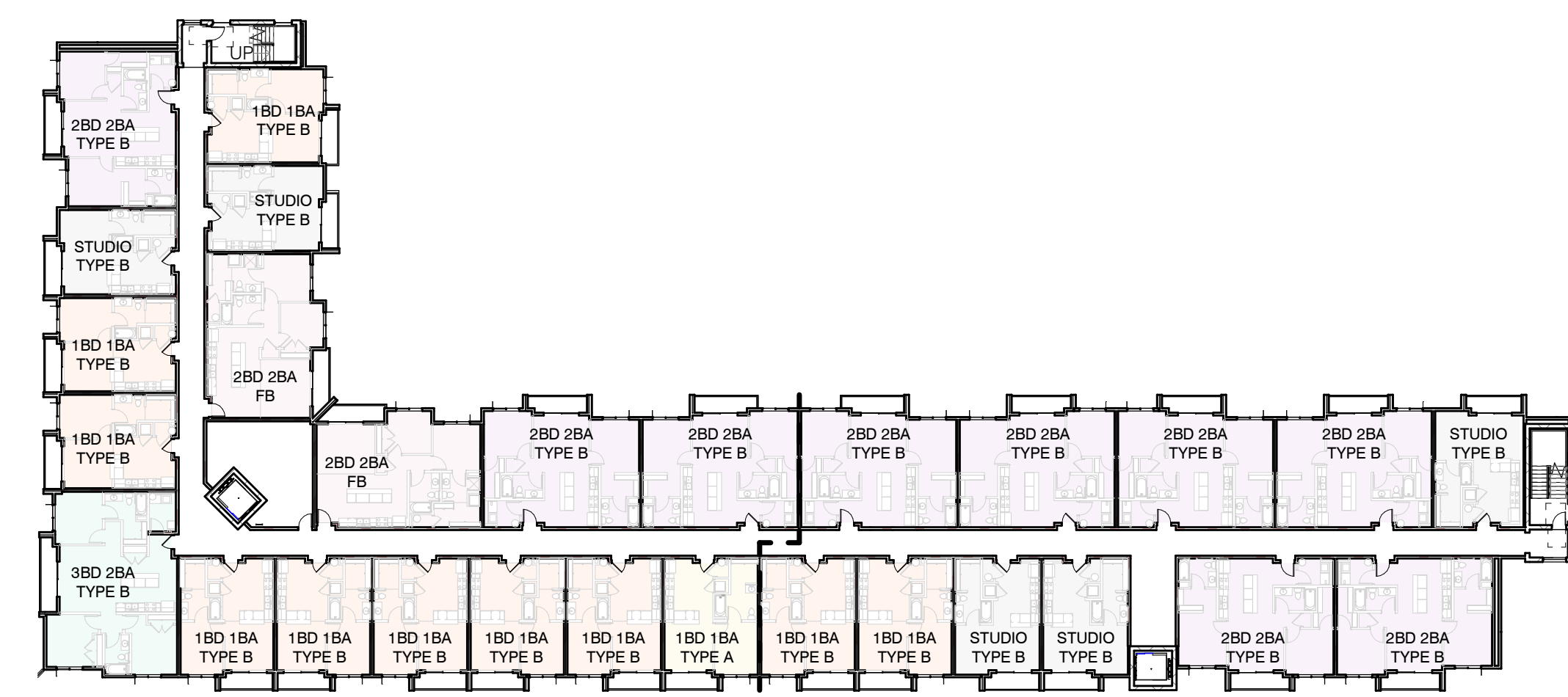
FLOOR PLAN - LEVEL 2

REVISIONS:

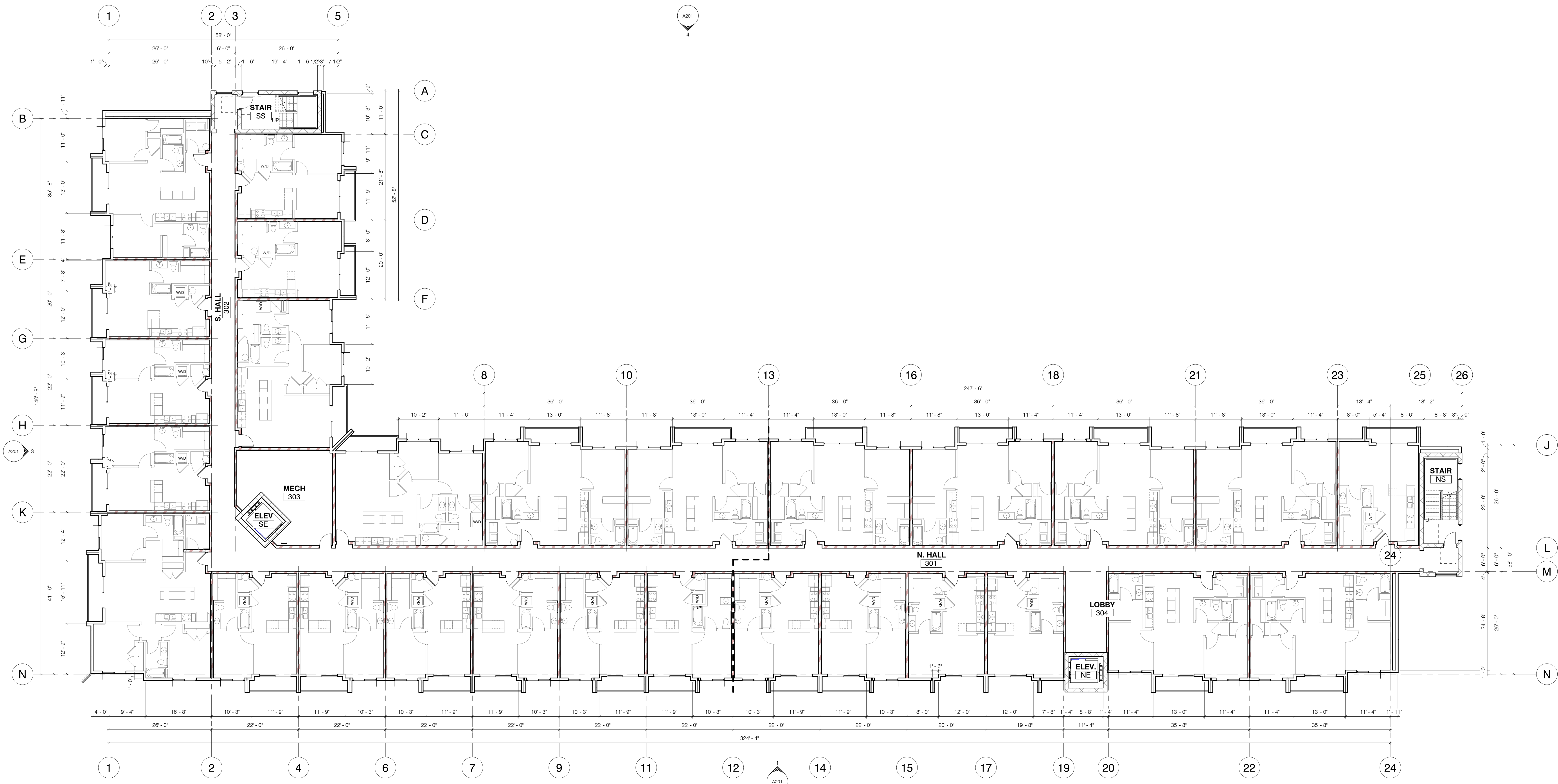
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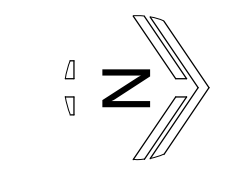
FIRE RATING LEGEND	
	1-HR FIRE RATING
	2-HR FIRE RATING
	NON-RATED



24 UNIT TYPE PLAN - LEVEL 3
1/32" = 1'-0"



1 FLOOR PLAN - LEVEL 3
3/32" = 1'-0"



LEGACY SQUARE
APARTMENTS

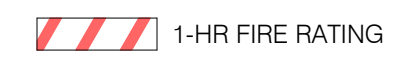
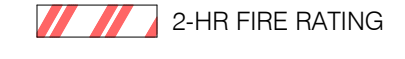

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BUILDING ADDRESS

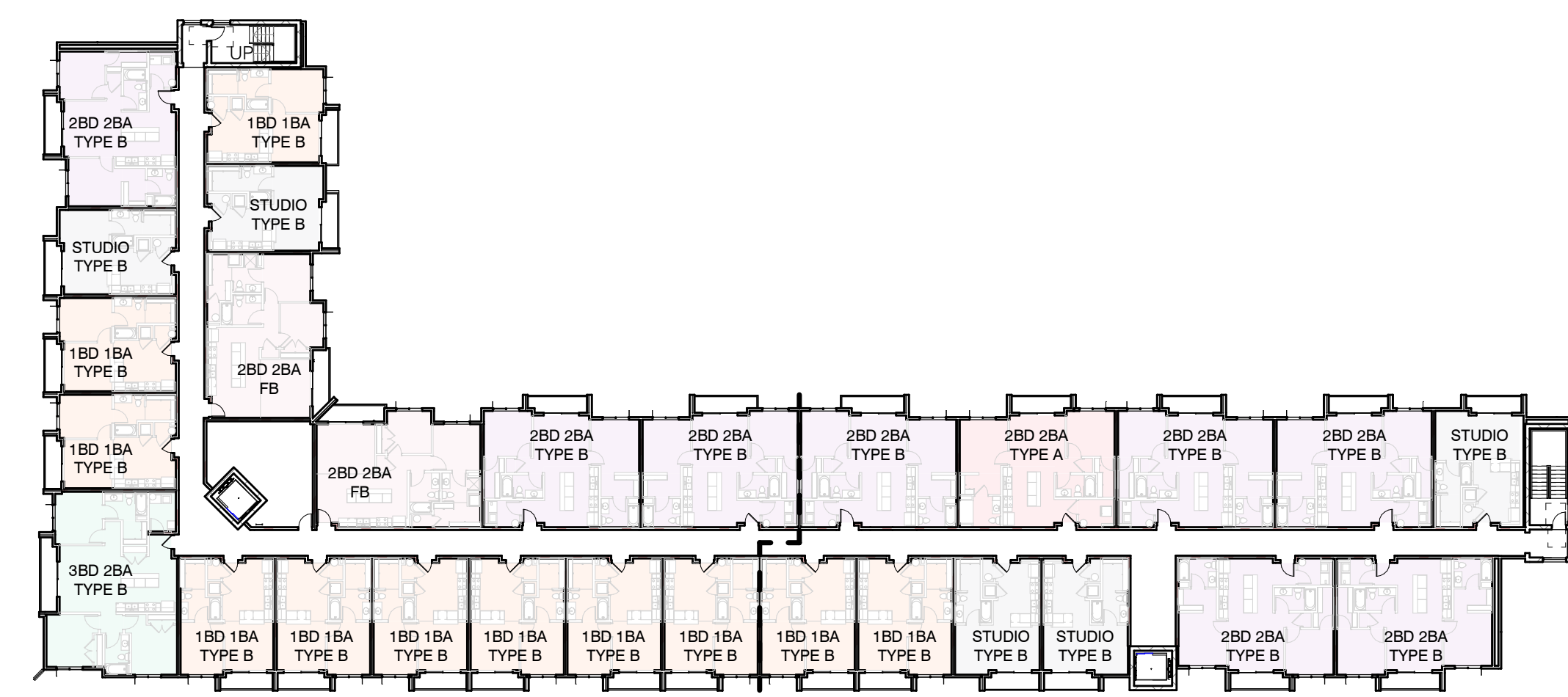
FLOOR PLAN - LEVEL 3

REVISIONS:

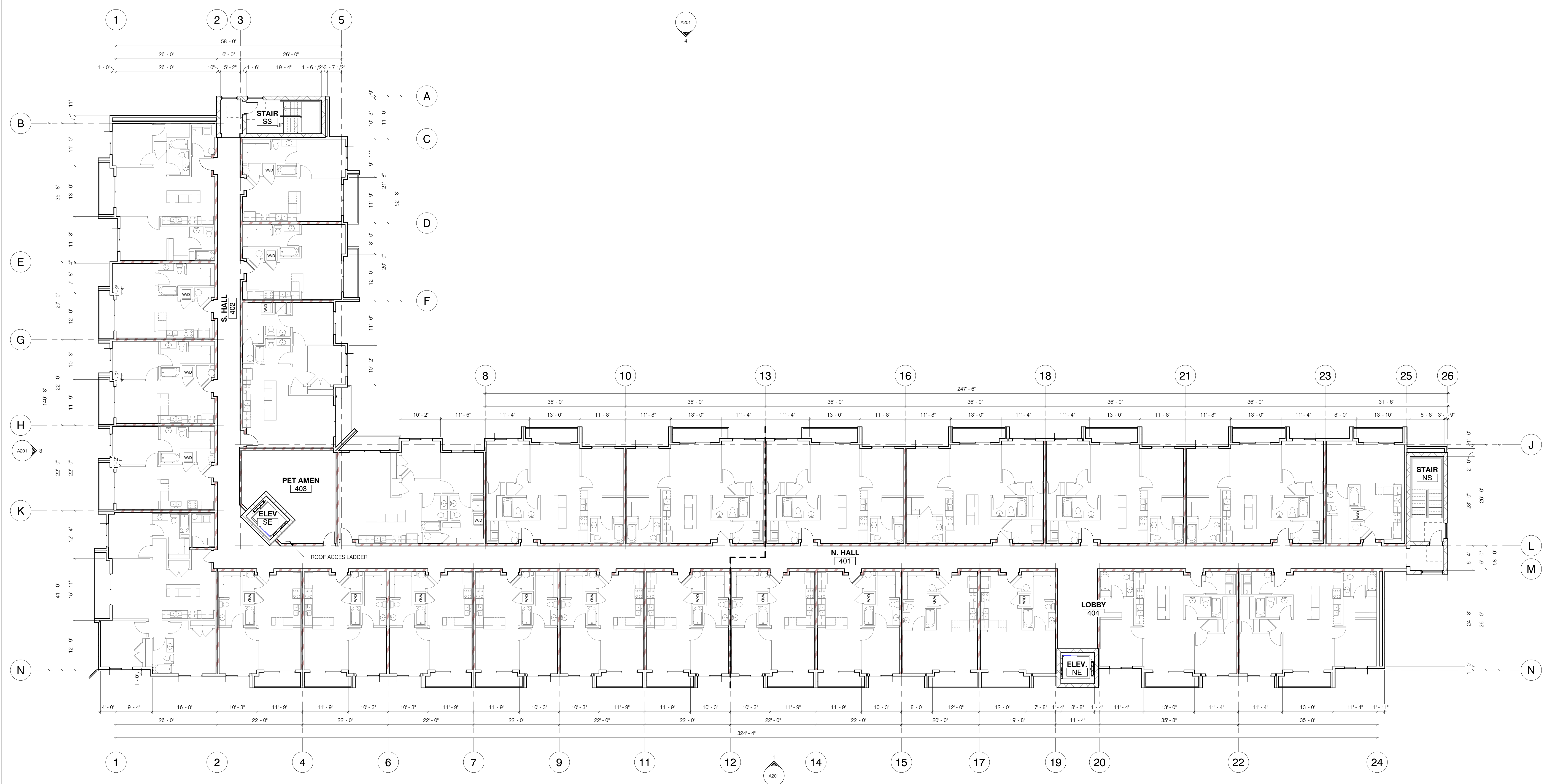
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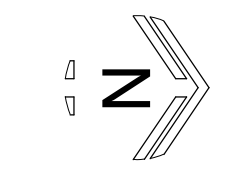
FIRE RATING LEGEND	
	1-HR FIRE RATING
	2-HR FIRE RATING
	NON-RATED



2 UNIT TYPE PLAN - LEVEL 4
1/32" = 1'-0"



1 FLOOR PLAN - LEVEL 4
3/32" = 1'-0"



LEGACY SQUARE
APARTMENTS

LEGACY SQUARE
BUILDING ADDRESS

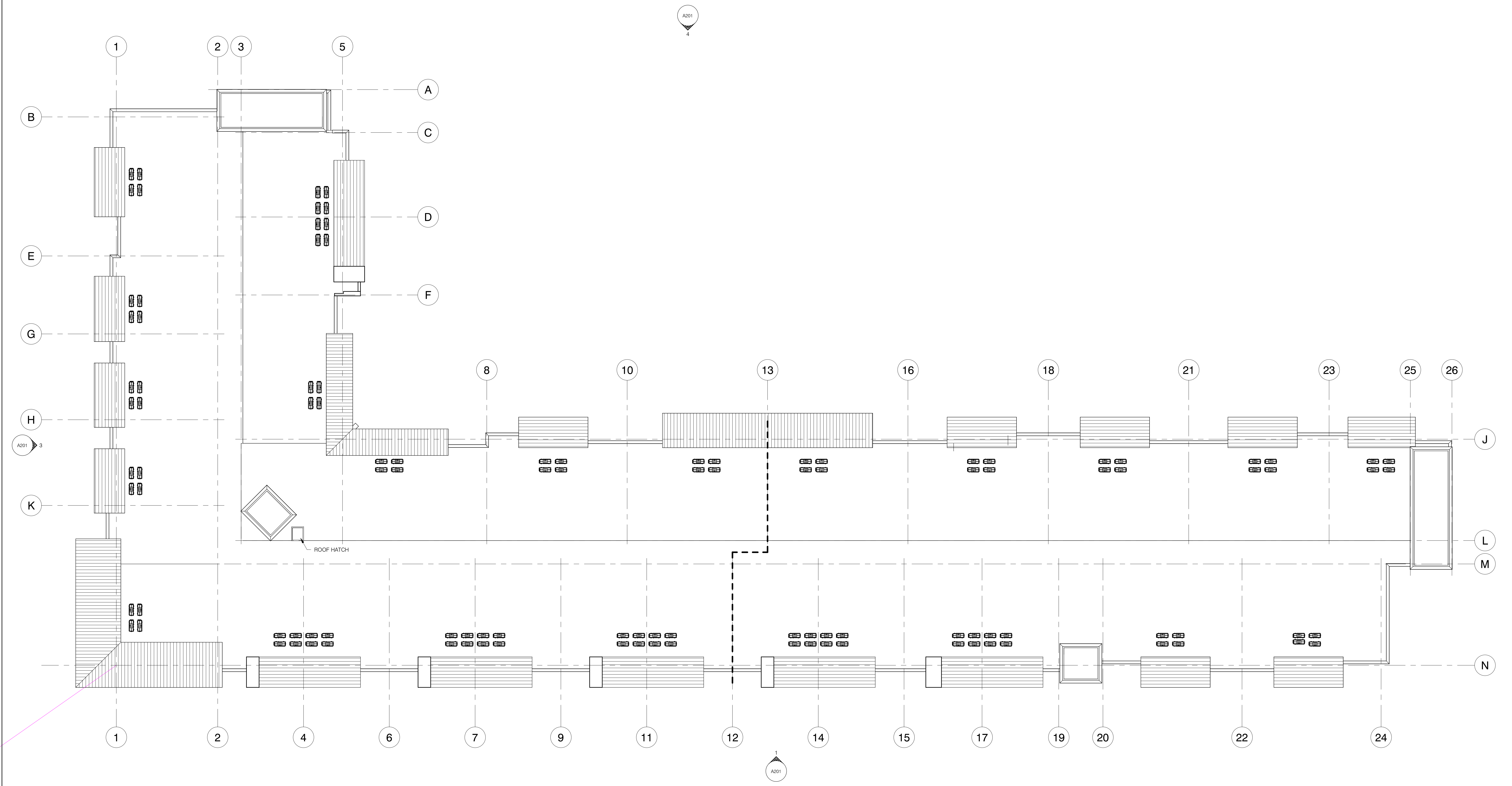
FLOOR PLAN - LEVEL 4

REVISIONS:

SHEET #
A141
REVIEW SET

PRINT DATE: 7/8/2024 7:56:51 PM

NOTE:
PROVIDE CUSTOM 4" METAL ROOF DRAIN WITH HEAT TRACE
DOWN ENTIRE DROP TO 3" BELOW GRADE (COORDINATE
WITH ELECTRICAL CONTRACTOR). PROVIDE AND INSTALL
AUXILIARY COW'S TONGUE SCUPPER, ELEVATE 1'-2" ABOVE
PRIMARY ROOF DRAIN INLET.



1 ROOF PLAN
3/32" = 1'-0"

