



ASCENSION

Rezone Narrative



Development Team

Prepared For:

Tri Pointe Homes
Megan Neal
7001 N Scottsdale Road, Suite 220
Scottsdale, AZ 85253
P: (480) 369-6739
Megan.Neal@TriPointeHomes.com



Legal:

Ray Law Firm
Brennan Ray
P: (602) 558-9934
bray@raylawaz.com



Planning/ Landscape Architecture:

ABLA
Alex Fish, Lauren Colone
310 East Rio Salado Parkway
Tempe, AZ 85281
P: (480) 530-0077
alex.fish@ablastudio.com
lauren.colone@ablastudio.com



Civil Engineer:

Wood Patel & Associated Inc
Steven Mckee
12051 W Northern Ave #100
Phoenix, AZ 85021
P: (602) 554-9505
smckee@woodpatel.com



Table of Contents

1. INTRODUCTION	5
1.1 PURPOSE OF REQUEST	7
1.2 AUTHORITY	7
2. SITE CONDITIONS AND LOCATION	8
3. CONFORMANCE WITH CITY PLANS	12
3.1 CONFORMANCE WITH THE GENERAL PLAN	12
3.2 GENERAL PLAN AND CITRUS SUB-AREA PLAN CONFORMANCE	16
3.3 CONSISTENCY WITH RURAL RESIDENTIAL PLACETYPE (GENERAL PLAN PAGES 74-75)	18
4. REGULATORY FRAMEWORK	20
4.1 PERMITTED USES	20
4.1.1 RESIDENTIAL USES	20
4.1.2 DEVELOPMENT STANDARDS	20
5. OPEN SPACE, PARKS, AND TRAILS	23
5.1 OPEN SPACE	23
5.2 PARKS	25
5.3 PATHS AND TRAILS	28
6. STREETS	30
7. WALLS, FENCES, AND GATES	34
7.1 COLUMNS, ACCENTS, AND ENTRY ARCHITECTURAL ELEMENTS HEIGHTS	36
8. MONUMENTATION	40
9. LANDSCAPE	42
9.1 LOT LANDSCAPE REQUIREMENTS	42
10. ARCHITECTURE	45
11. LIGHTING STANDARDS	47
12. INFRASTRUCTURE AND UTILITIES	47
12.1 DRAINAGE	47
12.2 GRADING AND EARTHWORK	47
12.3 WASTEWATER	48
12.4 WATER	48
13. CONCLUSION	49

List of Exhibits

EXHIBIT 1: VICINITY MAP.....	6
EXHIBIT 2A: EXISTING LAND USE MAP.....	9
EXHIBIT 2B: EXISTING AND PROPOSED ZONING MAP.....	10
EXHIBIT 2C: SITE PLAN.....	11
EXHIBIT 5.1: OPEN SPACE PLAN.....	24
EXHIBIT 5.2A: AMENITY PLAN.....	26
EXHIBIT 5.2B: POCKET PARK.....	27
EXHIBIT 5.3: CIRCULATION PLAN.....	29
EXHIBIT 6A: MASTER TRANSPORTATION PLAN.....	31
EXHIBIT 6B: STREET SECTION.....	32
EXHIBIT 6C: PARKING PLAN.....	33
EXHIBIT 7A: WALL PLAN.....	37
EXHIBIT 7B: WALL, FENCE, AND GATE DETAILS.....	38
EXHIBIT 8: MONUMENTATION.....	41
EXHIBIT 9: LANDSCAPE PLAN.....	43
EXHIBIT 9.1: TYPICAL LOT TREE LAYOUT.....	44
EXHIBIT 10: ARCHITECTURAL CHARACTER IMAGES.....	46

List of Tables and Figures

TABLE 2: RELATIONSHIP WITH SURROUNDING PROPERTIES.....	8
TABLE 4.1.2: RS-15 PAD DEVELOPMENT STANDARDS.....	21

Please note that the numbering of exhibits, tables, and figures throughout this document are designed to correspond directly to the sections of text to which they are related.

1. INTRODUCTION

Ascension is a proposed single-family residential community located at the northeast corner of East Brown Road and North 32nd Street within Mesa, Arizona (the “Site”). The community is planned as a large-lot residential neighborhood that complements the surrounding rural and suburban context while introducing a cohesive framework of open space, amenities, and pedestrian connectivity.

The approximately 40.01 gross acre (37.26 net acre) Site presents an opportunity to reinforce the character of this transitioning area through a low-density residential development pattern, a centrally located community amenity, a connected pocket park corridor, and enhanced landscape edges. Together, these elements establish neighborhood structure that supports long-term livability and reflects the intended development pattern of the area.

This RS-15 Planned Area Development (“PAD”) overlay establishes tailored Development Standards and Design Guidelines (“Standards and Guidelines”) that reflect the Site’s scale and context. The Standards and Guidelines regulate key elements such as lot design, architecture, circulation, and open space to ensure a consistent and high-quality residential environment aligned with the City of Mesa’s (the “City”) long term planning vision. Refer to **Exhibit 1: Vicinity Map** for the Site’s location and surrounding context.



EXHIBIT 1: VICINITY MAP



1.1 PURPOSE OF REQUEST

The purpose of this request is to rezone the Site from Agricultural (AG) to Single Residence 15 ("RS-15") with a PAD overlay to enable the development of a high-quality residential community consisting of approximately forty-seven (47) large-lot detached homes, consistent with the City of Mesa's 2050 General Plan ("General Plan").

1.2 AUTHORITY

This narrative is part of a rezone submittal for a PAD Overlay District, enacted pursuant to the City of Mesa Zoning Ordinance ("Ordinance") and in conformance with the General Plan. All references to the Ordinance hereafter shall refer to the City of Mesa Zoning Ordinance, as amended. The RS-15 PAD establishes site-specific Standards and Guidelines that supersede the underlying zoning regulations, except where specifically referenced. These Standards and Guidelines govern the preparation of subdivision plats, development plans, and all associated improvements within the Site.

2. SITE CONDITIONS AND LOCATION

The Site is currently undeveloped and zoned Agricultural (AG). It is designated as a Rural Residential under the General Plan. A rezone is proposed to change the zoning designation to RS-15 with a PAD overlay (“RS-15 PAD”) to support the development of approximately forty-seven (47) single-family detached homes on large lots measuring approximately one hundred twenty-five (125) feet by one hundred eighty (180) feet, with an overall gross density of 1.27 dwelling units per acre (du/ac).

The surrounding area includes single-family residential neighborhoods, single-family residential neighborhoods under construction to the north and east, and a church to the east, with a mix of Traditional and Rural Residential General Plan land use designations. The Site provides a compatible transition between the existing low-density residential context and emerging development patterns. Refer to **Table 2: Relationship with Surrounding Properties** and **Exhibit 1: Vicinity Map** for the Site’s location and context.

TABLE 2: RELATIONSHIP WITH SURROUNDING PROPERTIES			
DIRECTION	EXISTING CITY GENERAL PLAN LAND USE CATEGORY	EXISTING ZONING	EXISTING USE
Site	Rural Residential	Agricultural (AG)	Undeveloped
North	Rural Residential	Single Residence (RS-35) PAD	Single-Family Residential under development
South	Traditional Residential	Single Residence (RS-15)	Single-Family Residential
East	Rural Residential	Single Residence (RS-35) PAD / Agricultural (AG)	Single-Family Residential / Church
West	Traditional Residential	Single Residence (RS-15)	Single-Family Residential

Refer to **Exhibit 2A: Existing Land Use Map** and **Exhibit 2B: Existing and Proposed Zoning Map** for additional context. The proposed layout of the Site is further illustrated in **Exhibit 2C: Site Plan**.



EXISTING & PROPOSED GENERAL PLAN LAND USE

□ RURAL RESIDENTIAL

EXHIBIT 2A: EXISTING LAND USE MAP





EXISTING ZONING
 AG AGRICULTURAL



PROPOSED ZONING
 RS-15 PAD

EXHIBIT 2B: EXISTING AND PROPOSED ZONING MAP





SITE DATA		
GROSS ACREAGE	40.01 AC	1.17 DU/AC
NET ACREAGE	37.26 AC	1.27 DU/AC
AMENITY	1.42 AC	3.8%
POCKET PARK	0.61 AC	1.6%
OPEN SPACE	6.46 AC	17.3%
TOTAL OPEN SPACE	8.49 AC	22.8%
UNIT	QTY	
125' x 180'	47 DU	
TOTAL	47 DU	

LEGEND

* 25,000 SF LOTS

NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.

EXHIBIT 2C: SITE PLAN



3. CONFORMANCE WITH CITY PLANS

3.1 CONFORMANCE WITH THE GENERAL PLAN

The Site is designated as Rural Residential under the General Plan. The proposed large-lot single-family residential development is compatible with the surrounding context, which includes a mix of rural residential, traditional residential, and institutional uses. The rezone reinforces the area's low-density character while introducing high-quality Standards and Guidelines, internal open space, and connectivity that support the City's broader goals for neighborhood identity and long-term livability.

Due to the fact that many of the General Plan's policies are interrelated and contribute to multiple goals, this Section outlines how the Ascension community supports specific objectives of the General Plan.

- A. **N1:** Promote complete communities in both existing and new neighborhoods.
 - 1. Response: Ascension promotes a complete community by introducing a cohesive, large-lot residential neighborhood with supporting open space and pedestrian access to shared amenities. The Site includes a centrally located amenity area, a landscape corridor that functions as a pocket park and paseo by connecting homes on the north side of the Site to the amenity, and sidewalks along one (1) side of the internal private streets. These features contribute to neighborhood completeness by supporting opportunities for recreation, gathering, and daily connectivity. While modest in scale, the open space framework and internal street design establish a functional neighborhood structure. Refer to **Exhibit 2C: Site Plan**, **Exhibit 5.1: Open Space Plan**, and **Exhibit 5.3: Circulation Plan** for additional detail.
- B. **N5:** Improve street and open space network connectivity within neighborhoods and to local-serving amenities.
 - 1. Response: Connectivity at Ascension is achieved through a layered approach that includes internal sidewalks, trails, and perimeter pedestrian routes. Sidewalks will be provided on one (1) side of all internal private streets, with parking provided on the other side, allowing residents to walk safely throughout the community and access the centrally located amenity. The pocket park creates a direct pedestrian route from the northern portion of the Site to the amenity area. Additionally, sidewalks are existing along the Site's perimeter road frontages, East Brown Road, North 32nd Street, and North Miramar, supporting future connections to local-serving amenities beyond the neighborhood. Refer to **Exhibit 5.1: Open Space Plan** and **Exhibit 5.3: Circulation Plan**.

- C. **P01:** Provide a diverse range of neighborhood, community, and regional parks within one-half (1/2) mile of all residential areas.
1. Response: All homes within the Site are located within approximately 1/8 mile of the community's centrally located amenity and pocket park, providing convenient access to recreational and open space opportunities. The amenity serves as the primary gathering area, while the pocket park offers passive use opportunities and a direct north-south pedestrian connection for residents. Together, these spaces create a walkable and well-distributed open space framework that supports neighborhood interaction and reinforces the community's overall recreational network. See **Exhibit 5.1: Open Space Plan**, **Exhibit 5.2A: Amenity Plan**, and **Exhibit 5.2B: Pocket Park** for locations and design intent.
- D. **P02:** Integrate bicycle and pedestrian pathways into the City's parks and open space system.
1. Response: The Ascension community supports integration into the City's broader active transportation network by providing both internal pedestrian connections and external connections to an existing bike lane on East Brown Road. This bike lane is part of the regional Mesa Bike Map network, enhancing multi-modal access to and from the Site. Within the neighborhood, there are sidewalks along internal streets and trails providing direct pedestrian access between the amenity and pocket park. Perimeter sidewalks further improve accessibility and position the community to connect with off-site sidewalks and destinations. Refer to **Exhibit 5.1: Open Space Plan** and **Exhibit 5.3: Circulation Plan**.
- E. **P03:** Continue to provide inclusive park and recreation programs for all residents, including underrepresented populations.
1. Response: The amenities at Ascension are designed to be inclusive and accessible, offering flexible recreation opportunities that serve a range of age groups and household types. Although the community is private and managed by a Homeowners' Association ("HOA"), both the amenity and pocket park may include features such as shaded seating, open turf, and play structures that support multigenerational use. Pedestrian-scale lighting, accessible paths, and open sightlines help ensure the amenities can be enjoyed safely and comfortably by all residents. Refer to **Exhibit 5.2A: Amenity Plan** and **Exhibit 5.2B: Pocket Park** for general layout and design intent.

- F. **P04:** Maintain the long-term viability of park and recreation facilities through ongoing maintenance and investment.
1. Response: All open space and recreation areas within Ascension will be privately owned and maintained by the HOA, ensuring long-term upkeep of the amenity, pocket park, and landscape areas. The landscape Standards and Guidelines and irrigation systems will be designed to support efficient, sustainable maintenance practices over time. Refer to **Exhibit 5.1: Open Space Plan** for common area locations and layout.
- G. **LU1:** Promote a balance of land uses to enhance the quality of life for current and future generations.
1. Response: The Site contributes to a balanced land use pattern by introducing low-density residential development in an area characterized by a mix of rural residential, traditional suburban, and institutional uses. The large-lot single-family homes provide a unique housing product that complements nearby neighborhoods while offering additional lifestyle choices for future City of Mesa residents. By transitioning vacant agricultural land into a thoughtfully designed residential neighborhood with integrated open space and private infrastructure, the rezoning supports the City's long-term vision for sustainable and orderly growth. Refer to **Exhibit 2C: Site Plan** for lot layout and neighborhood structure.
- H. **LU2:** Create opportunities for placemaking in neighborhoods that reinforce their unique character and sense of place.
1. Response: The Site establishes a clear sense of place through its large-lot design, single-story architecture, and cohesive open space network. Elements such as the amenity, pocket park, landscape design at the entry integrated with the monumentation design, and view fencing adjacent to perimeter open space contribute to a distinct neighborhood identity rooted in the Site's rural-edge setting. Architectural styles such as Ranch, Vineyard, and Farmhouse further reinforce the community's character and promote a unified aesthetic. Collectively, these features support placemaking by creating a neighborhood that is both visually cohesive and reflective of its surrounding context. Refer to **Exhibit 2C: Site Plan, Exhibit 5.2A: Amenity Plan, Exhibit 5.2B: Pocket Park, and Exhibit 8: Monumentation** for design features that contribute to placemaking.

- I. **LU4:** Create design and development standards that improve the City’s visual quality, urban form, and function to enhance the quality of life for current and future generations.
 - 1. **Response:** The rezone establishes site-specific Standards and Guidelines tailored to the Ascension community, promoting high visual quality and a functional neighborhood layout. These Standards and Guidelines define lot sizes, setbacks, building heights, and wall and fence treatments in a manner that reinforces the community’s identity while ensuring compatibility with surrounding land uses. Streetscape design, architectural variety, and integrated landscape buffers further contribute to an attractive and well-organized urban form. By providing a coordinated set of Standards and Guidelines, the RS-35 PAD ensures long-term consistency in development and supports the City’s broader goals for high-quality design. Refer to **Table 4.1.2: RS-15 PAD Development Standards**, **Exhibit 5.1: Open Space Plan**, and **Exhibit 7A: Wall and Fence Plan** for elements supporting visual quality and function.

- J. **ED1:** Attract business and employers that create jobs with wages at or above the regional average.
 - 1. **Response:** While the Ascension development is a residential neighborhood, it supports the City’s economic development objectives by providing high-quality housing in proximity to City’s employment corridors. The community offers a large-lot, single-story housing product that may appeal to professionals and families seeking access to nearby job centers, schools, and transportation infrastructure. By enhancing the City’s housing diversity and expanding residential options near key roadways and services, this community helps maintain a balanced jobs-to-housing ratio and supports the City’s broader workforce attraction and retention strategies. Refer to **Exhibit 1: Vicinity Map** for the Site’s location relative to surrounding development and infrastructure.

3.2 GENERAL PLAN AND CITRUS SUB-AREA PLAN CONFORMANCE

The Ascension community proposes RS-15 zoning with a PAD overlay at a net density of approximately 1.27 du/ac (47 units on 37.26 net acres) and a gross density of approximately 1.20 du/ac (47 units on 40.01 gross acres). While the proposed zoning district differs from the RS-35 recommendation in the Sub-Area Plan, the development achieves substantial conformance with the Sub-Area Plan's underlying objectives through the following considerations:

A. Density Consistency with the General Plan

1. The proposed net density of 1.27 du/ac falls within the Rural Residential Placetype maximum of 1.3 du/ac established by the General Plan, which is the controlling land use policy document for the City. The gross density of 1.20 du/ac is below the Sub-Area Plan's RS-35 PAD maximum of 1.24 du/ac. The marginal difference between 1.24 du/ac and 1.27 du/ac on a net basis (a difference of 0.03 du/ac) does not result in a materially different development pattern, visual character, or neighborhood impact than what would be achievable under RS-35 PAD zoning and effectively delivers the same large-lot, low-density residential environment contemplated by the Sub-Area Plan.

B. Lot Sizes Meet the Intent of the Sub-Area Plan

1. The proposed minimum lot size of 22,500 square feet, while below the Sub-Area Plan's 30,000 square foot minimum for RS-35 PAD development, is paired with lot dimensions of approximately one hundred twenty-five (125) feet by one hundred eighty (180) feet that produce a scale and proportion consistent with the estate-lot character of the Citrus Sub-Area. The total of forty-seven (47) homes across approximately 40.01 gross acres results in an average land area per unit that reinforces the spacious, low-density pattern the Sub-Area Plan seeks to preserve. The one hundred eighty (180) foot lot depths further reinforce a development pattern aligned with the estate-scale character envisioned by the Sub-Area Plan.

C. Preservation of Cirtus Sub-Area Character

1. The Sub-Area Plan's core intent, as described in Section 2-7, is to preserve the area's low-density, suburban-estate character, provide a transition between rural and urban uses, and maintain the citrus heritage landscape. The Ascension community supports these objectives through the following design elements: single-story architecture limited to thirty (30) feet in height; architectural styles (Ranch, Vineyard, and Farmhouse) that reinforce the area's rural-edge identity; orchard-inspired landscape design incorporating citrus and shade trees along lot perimeters consistent with the Sub-Area Plan's landscape recommendations; solid masonry perimeter walls with articulation complementing the established wall character of the area; generous landscape setbacks and perimeter open space; and over twenty-two (22) percent of the total site area dedicated to common open space, parks, and landscape areas.

D. Acknowledgement of Evolving Context

1. The Sub-Area Plan was adopted in 2003 and reflects the development conditions present at the time of adoption. Since adoption, the surrounding area has experienced continued development, including RS-35 PAD subdivisions to the north and east and RS-15 development to the south and west. The General Plan, most recently adopted as the Tomorrow's Mesa 2050 General Plan, designates the Site as Rural Residential with a density ceiling of 1.3 du/ac, a standard that the proposed development meets. The General Plan also recognizes that a zoning district not listed as supported in a Placetype may be found consistent if it meets the Placetype's Land Use, Density, Growth Strategy, and Urban Design Characteristics (discussed further below). The RS-15 PAD request, at a density that is functionally equivalent to what the Sub-Area Plan contemplates, represents a reasonable and context-sensitive approach to developing this Site within the framework of both the Sub-Area Plan and the current General Plan.

3.3 CONSISTENCY WITH RURAL RESIDENTIAL PLACETYPE (GENERAL PLAN PAGES 74-75)

The Site is designated as Rural Residential under the General Plan. The Rural Residential Placetype identifies Agricultural (AG), RS-90, RS-43, and RS-35 as supported zoning districts. The proposed RS-15 zoning is not listed among the supported districts. However, as stated on pages 103-104 of the General Plan, a zoning district that is not listed as supported may be found consistent with the General Plan if it satisfies the Placetype's Land Use, Density, Growth Strategy, and Urban Design Characteristics. The RS-15 PAD, as applied to the Ascension community, satisfies each of these criteria as follows:

A. Land Use

1. The Rural Residential Placetype identifies single-family residential as the principal land use, with public and semi-public uses as the only supporting land use category. The Ascension community consists exclusively of single-family detached homes, with approximately forty-seven (47) homes on large lots. No multi-family, commercial, mixed-use, or other non-residential uses are proposed. The development is therefore fully consistent with the principal land use envisioned for Rural Residential areas. The Placetype further describes Rural Residential areas as being characterized by large-lot, single-family residential development and agricultural uses, with streets that may take on a more rural character. The Ascension community reflects this description through its large-lot layout, single-story homes, and cohesive neighborhood design that reinforces the area's residential and agricultural heritage.

B. Density

1. The Rural Residential Placetype allows single-family residential density up to 1.3 dwelling units per acre. The proposed development yields a net density of approximately 1.27 du/ac and a gross density of approximately 1.20 du/ac, both within the 1.3 du/ac ceiling established by the General Plan. The proposed density is also within the General Plan's minor deviation threshold, which permits density or intensity no more than twenty-five (25) percent higher than those listed for the Site's Placetype (up to 1.625 du/ac). The proposed density is well below this threshold and functionally equivalent to what could be achieved under RS-35 PAD zoning. As a result, the RS-15 PAD does not introduce a density inconsistent with the Rural Residential Placetype, but instead delivers a comparable low-density residential development pattern.

C. Growth Strategy

1. The General Plan identifies two (2) Growth Strategies applicable to Rural Residential areas: Conserve and Sustain. The Conserve strategy applies to areas containing designated historic resources and anticipates minimal change beyond home improvements. The Sustain strategy applies to other Rural Residential areas and indicates that these areas should generally remain in their current condition while allowing improvements and minor changes consistent with the area's form and character over time. Such changes may include infrastructure improvements, home improvements, targeted infill, and adaptive reuse projects. The Site is currently undeveloped agricultural land and does not contain designated historic resources; therefore, the Sustain strategy applies. The development of the Site into a low-density residential neighborhood represents targeted infill consistent with the area's form and character. The surrounding context includes RS-35 PAD development to the north and east and RS-15 development to the south and west, demonstrating that low-density single-family residential development is the established development pattern in the area. The Ascension community reinforces that pattern through a compatible development design at a density and scale consistent with the surrounding neighborhood.

The RS-15 PAD, as tailored to the Ascension community through site-specific Development Standards and Design Guidelines, satisfies the criteria established by the General Plan for determining consistency when a non-listed zoning district is proposed. The development provides the land use, density, growth pattern, and urban design character envisioned for the Rural Residential Placetype, while the PAD overlay ensures that the flexibility of the RS-15 base district is implemented in a manner that reinforces the large-lot, low-density residential character contemplated by both the General Plan and the Citrus Sub-Area Plan.

4. REGULATORY FRAMEWORK

4.1 PERMITTED USES

4.1.1 Residential Uses

The Site is planned as a single-family residential community. Permitted uses within the RS-35 PAD are limited to detached single-family homes and associated community amenities. All residential uses shall comply with the Ordinance.

4.1.2 Development Standards

The Standards and Guidelines established in this RS-15 PAD reflect the large-lot, low-density character envisioned for the Ascension community and are tailored to the Site's scale, configuration, and surrounding development pattern. These Standards and Guidelines balance the flexibility needed to accommodate varied architectural styles and lot layouts with assurance of a consistent, high-quality residential environment. The coordinated approach to lot size, setbacks, building height, lot coverage, and other dimensional requirements supports the neighborhood's overall character while ensuring compatibility with adjacent residential areas.

Development within the Site shall comply with the applicable provisions of the Ordinance and the City design guidelines, except where modified by this rezone request. **Table 4.1.2: RS-15 PAD Development Standards** summarizes the specific development criteria applicable to the Site.

TABLE 4.1.2: RS-15 PAD DEVELOPMENT STANDARDS

Development Standard	RS-15 Required	Proposed RS-15 PAD
Lot and Density Standards		
Minimum Lot Area (sq. ft.)	15,000	22,500
Minimum Lot Width -Interior Lot (ft.)	110	125
Minimum Lot Depth (ft.)	120	180
Minimum Lot Depth abutting Arterial Street (ft.)	150	180
Maximum Density		
Conventional Subdivisions (unit/gross acre)	Based on compliance with minimum lot size requirements, and with off-site improvement and right-of-way requirements specified in MCC Title 9.	
Planned Area Development (PAD) Overlay District (units/net acre)	2.9	1.27
Maximum Lot Coverage (% of lot)	50%	50%
Building Form and Location		
Maximum Height (ft.)	30	30 (one-story)
Garage		
Depth (ft.)	22	21
Minimum Yards (ft.)		
Front (Enclosed Livable Areas, Porches and Porte Cocheres)	22	22
Garages and Carports - front and side yards	30	30
Interior Side: Minimum each side	7	10
Interior Side: Minimum aggregate of 2 sides	20	20
Street Side	10	15
Rear	30	30
Rear Yard abutting Arterial Street	30	30
Maximum Building Coverage (% of lot)	40%	50%

TABLE 4.1.2: RS-15 PAD DEVELOPMENT STANDARDS CONTINUED		
Development Standard	RS-15 Required	Proposed RS-15 PAD
Accessory Structures (ft.)		
Structure height	Shall not exceed the maximum building height of the underlying zoning district, or the height of the primary building as measured at the peak of the roof, whichever is less, unless approved by a Special Use Permit	
Maximum Story Height	N/A	One-story
Structures with a height equal to or less than 15 feet at the peak of the roof		
Side setback	5	5
Rear setback	5	5
Structures with a height over 15 feet at the peak of the roof		
Side setback	10	10
Rear setback	30	15'
Accessory structure separation from primary structure	6	6
Wall Height (ft.)		
Maximum Wall/Fence Height	6	6'-6"
Column and Accent Feature Height	N/A	7
Entry Architectural Element Height	N/A	8'-6"
Perimeter Wall Articulation (Adjacent to Street)	Required for perimeter walls exceeding forty (40) linear feet along arterial or collector roads	Articulation provided at maximum forty (40) foot intervals; alternative articulation methods permitted as described in Section 7 of the PAD

Note:

1. The reduced rear setback for structures exceeding fifteen (15) feet in height shall not apply to lots backing East Brown Road. Such lots shall maintain a minimum rear setback of thirty (30) feet in accordance with RS-15 standards.

Decrease from City standard shown in **red**

Increase from City standard shown in **purple**

5. OPEN SPACE, PARKS, AND TRAILS

The Ascension community offers a well-integrated open space framework that enhances neighborhood character and provides key lifestyle benefits for future residents. With approximately eight and forty-nine hundredths (8.49) acres of open space, accounting for twenty-two and eight-tenths (22.8) percent of the overall Site, the Site includes a central amenity, a pocket park, landscape along perimeter edges, and retention areas that support a cohesive and well-defined large-lot residential environment. Together, these elements form a connected system of outdoor spaces that are proportionate to the community's scale and intentionally distributed to offer accessible recreation, visual openness, and pedestrian connectivity throughout the neighborhood. The coordinated landscape design, integrated seating areas, shaded spaces, and open turf areas complement the Site's low-density character and support long-term livability through well-maintained shared spaces.

5.1 OPEN SPACE

Open space within the Site includes landscape and retention areas strategically located around the perimeter and along internal frontages. These areas establish a green edge, enhance neighborhood identity, and provide functional stormwater management while contributing to the overall openness of the community design.

A centrally located amenity and a pocket park are integrated into the open space network, offering pedestrian connections and supporting a variety of passive and active recreation opportunities. All homes are located within approximately 1/8 mile of the amenity and pocket park, ensuring convenient access for the entire neighborhood.

All open space is privately owned and maintained by the HOA and complies with the City's requirements for residential subdivisions.

Refer to **Exhibit 5.1: Open Space Plan** for the general layout and distribution of open space within the Site.



OPEN SPACE DATA		
GROSS AREA	40.01 AC	
NET AREA	37.26 AC	
AMENITY	1.42 AC	3.8%
POCKET PARK	0.61 AC	1.6%
OPEN SPACE	6.46 AC	17.3%
TOTAL OPEN SPACE	8.49 AC	22.8%

NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.

EXHIBIT 5.1: OPEN SPACE PLAN



5.2 PARKS

The centrally located, 1.42-acre community amenity serves as the focal point of the neighborhood and a key element of the open space network. While final design details will be determined through the Preliminary Plat process, the amenity is anticipated to include a mix of passive and active features such as shaded seating, open turf, play structures, and other community-scale recreation elements. Positioned near the main entry, the amenity creates a welcoming arrival experience and provides a defined gathering space for future residents. It is designed to complement the low-density character of the community while offering flexible recreational opportunities in a shared neighborhood setting.

In addition to the amenity, the Site includes a 0.61-acre pocket park located north of the amenity. This space enhances access for residents on the northern portion of the Site and provides an additional neighborhood gathering area. The pocket park may feature a mix of passive-use amenities such as open turf, raised planters, swing benches, and a connecting sidewalk, supporting both informal use and pedestrian connectivity. These elements establish a clear connection between the northern homes and the community's amenity while contributing to the overall open space framework.

Refer to **Exhibit 5.2A: Amenity Plan** and **Exhibit 5.3B: Pocket Park** for general location and design intent.



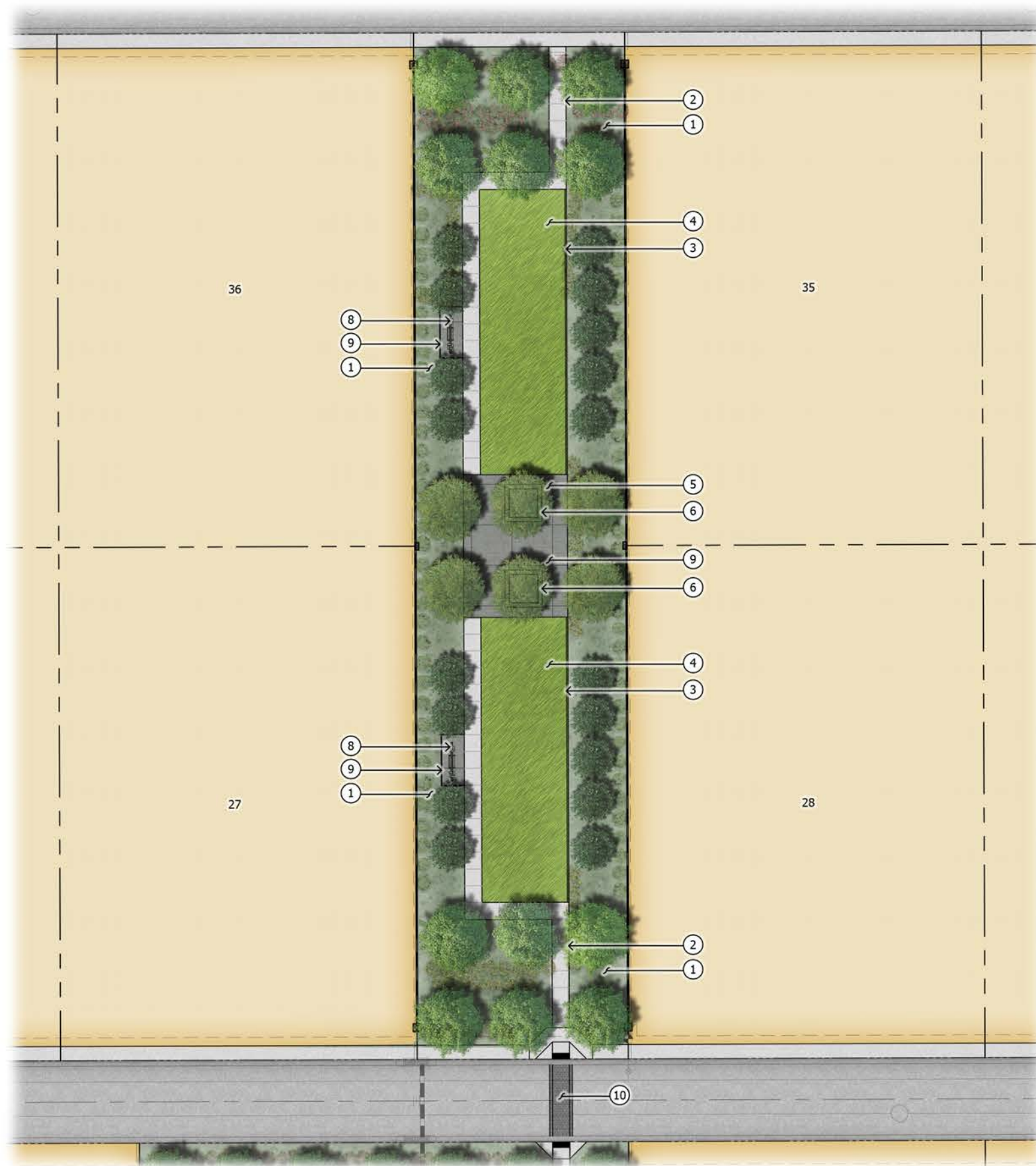
KEYNOTES

- ① LANDSCAPE AREA WITH DECOMPOSED GRANITE
- ② CONCRETE SIDEWALK
- ③ CONCRETE HEADER
- ④ CONCRETE HEADER TURNDOWN
- ⑤ CONCRETE TURNDOWN
- ⑥ TURF
- ⑦ WOOD CHIPS
- ⑧ PLAZA EVENT SPACE
- ⑨ FESTOON LIGHTS
- ⑩ PET WASTE STATION
- ⑪ TRASH RECEPTACLE
- ⑫ TOT LOT
- ⑬ SHADE STRUCTURE
- ⑭ PLANTER
- ⑮ FIREPLACE
- ⑯ SHADE TREES
- ⑰ SWING BENCH
- ⑱ PAVERS
- ⑲ BOTANICAL GARDEN
- ⑳ STAMPED ASPHALT

GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.

EXHIBIT 5.2A: AMENITY PLAN





KEYNOTES

- ① LANDSCAPE AREA WITH DECOMPOSED GRANITE
- ② CONCRETE SIDEWALK
- ③ CONCRETE HEADER
- ④ TURF
- ⑤ PLAZA SPACE
- ⑥ RAISED PLANTER
- ⑦ SHADE TREES
- ⑧ SWING BENCH
- ⑨ PAVERS
- ⑩ STAMPED ASPHALT

GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.

EXHIBIT 5.2B: POCKET PARK

ASCENSION



5.3 PATHS AND TRAILS

Pedestrian connectivity within the Site is supported by a combination of sidewalks along internal streets and an internal trail that connects residents to key open spaces. A trail segment runs through the amenity and pocket park, creating a north-south connection between homes on the northern portion of the Site and the amenity. This connection enhances internal walkability and offers a safe, attractive route for residents.

Enhanced paving treatments may be incorporated along key pedestrian connections between the amenity and pocket park to reinforce community character and support placemaking within the neighborhood.

All sidewalks, along with the trail connection through the amenity and pocket park, are constructed to meet ADA accessibility standards. Pedestrian crossings are provided where sidewalks and trails intersect internal streets to support safe and intuitive connections to open space areas. Pedestrian-scale lighting may be included to support usability during evening hours and reinforce neighborhood character, refer to **Section 11: Lighting Standards** for additional information.

Together, these facilities provide clear, functional, and convenient pedestrian connections to the community's open space amenities. Refer to **Exhibit 5.3: Circulation Plan** for the planned path and trail network and connectivity framework.

6. STREETS

The internal street network has been designed as an organized and efficient system that supports the Site's large-lot character and reinforces the neighborhood's overall layout. The configuration of private local streets, integrated sidewalks, and adjacent open space corridors provides a coordinate circulation framework that prioritizes safety, walkability, and a cohesive streetscape appearance. The design reflects the scale of the community and the rural-edge context of the area, while ensuring convenient access for residents, guests, and emergency services. Refer to **Exhibit 6A: Master Transportation Plan** for additional details on the overall street network and circulation framework.

Internal circulation is provided within a twenty-nine (29) foot-wide private tract that includes an attached sidewalk on one (1) side and on-street parking on the opposite side. On-street parking is permitted along one (1) side of the internal streets to serve residents and guests in a manner consistent with the community's design. This configuration supports low-speed vehicular travel and enhances pedestrian comfort without introducing unnecessary pavement width, resulting in an efficient and visually cohesive neighborhood street environment. Refer to **Exhibit 6B: Street Section** for additional details.

Access to the community is provided via one (1) full movement access point on East Brown Road. A secondary access point on North 32nd Street functions as an egress-only exit gate for residents and a secondary access point for emergency vehicles, as required. No traffic signals, dedicated turn lanes, or special intersection treatments are proposed at either access point. Half street improvements are included along both East Brown Road and North 32nd Street to meet City requirements and enhance the roadway frontage.

Refer to **Exhibit 6C: Parking Plan** for general parking locations and layout.



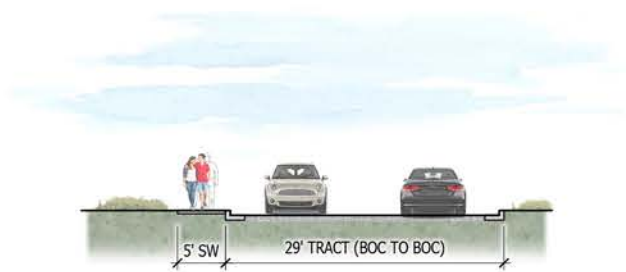
LEGEND

- - - 29' PRIVATE STREET
- = = = ENTRANCE STREET

NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.

EXHIBIT 6A: MASTER TRANSPORTATION PLAN





1 29' PRIVATE STREET
SCALE: 1"=10'-0"

EXHIBIT 6B: STREET SECTION

7. WALLS, FENCES, AND GATES

Walls, fences, and gates within the Site are used to provide privacy, define property boundaries, and contribute to the overall neighborhood character. All walls and fences comply with the Ordinance and City design guidelines, except where modified by this rezone request. Materials, heights, and finishes are selected to complement the architectural styles and the landscape palette of the community, creating a cohesive and visually unified streetscape.

Per the Ordinance Section 11-5-3.B.1.b.ii, perimeter walls along arterial or collector roads exceeding forty (40) linear feet must incorporate articulation through columns, varied heights, or recesses and protrusions in the horizontal plane, with posts or columns protruding at least six (6) inches.

Along East Brown Road, the perimeter wall consists of a solid CMU treatment, and articulation occurs at forty (40) foot intervals to match the spacing required by Ordinance Section 11-5-3.B.1.b.ii. Although the spacing meets the code requirement, the articulation method differs from the standard interpretation of the Ordinance and is therefore considered a modification through this rezone request. Instead of relying solely on CMU columns or recesses within the wall plane, articulation may be achieved through a coordinated combination of variation in wall type, wall height, and wall projections, including trellises placed at forty (40) foot intervals in front of a wall. These elements create depth, rhythm, and visual interest along the arterial frontage and provide a frontage treatment that meets or exceeds the visual quality intended by the Ordinance. This alternative approach supports the large-lot pattern of the community and complements the established character of the Citrus Sub-Area while offering a more intentional and cohesive streetscape than standard articulation methods. Transparent fencing portions comply with the articulation intent of Ordinance Section 11-5-3.B.1.b.ii through use of regularly spaced intermediate columns provided at forty (40) foot intervals.

Along North 32nd Street and Miramar Drive, the perimeter treatment consists of two (2) wall types, solid CMU wall segments and a four (4) foot CMU wall with a two (2) foot view fence above. Solid CMU wall segments are articulated at forty (40) foot intervals through visual modulation consistent with the approach along East Brown Road. Where the wall transitions to the two (2) foot view fence over four (4) foot CMU condition, articulation is provided at forty (40) foot intervals through the articulation methods outlined in this Section.

Lot walls located adjacent to public streets or open space tracts incorporate columns at both ends of each wall segment and a center column at the midpoint of the segment located on the lot line. This provides appropriate articulation at public-facing edges and reinforces the consistent streetscape character throughout the community.

To ensure flexibility while maintaining a coherent design framework, articulation methods may include, but are not limited to:

- A. Vertical elements such as columns or pilasters;
- B. Trellises or other architectural elements placed at required intervals
- C. Changes in material type, color, or texture;
- D. Wall segments that are recessed or offset to add visual depth;
- E. Inclusion of landscape pockets or decorative niches.

These methods may be used individually or in combination, allowing articulation to respond appropriately to roadway conditions, wall transitions, and the community's overall design character.

Gated access is provided at the primary community entry on East Brown Road and at the secondary egress point on North 32nd Street. Gate design is coordinated with adjacent wall and fence materials to ensure a consistent and cohesive streetscape appearance. All gates support safe vehicular movement and emergency access needs and are integrated into the community's overall architectural and landscape character.

Alternative wall, fence, and gate designs that remain consistent with the overall intent of this Section may be reviewed and approved by City staff during subsequent design review stages. Refer to **Exhibit 7A: Wall Plan** for the conceptual and **Exhibit 7B: Wall, Fence, and Gate Details** for conceptual designs.

7.1 COLUMNS, ACCENTS, AND ENTRY ARCHITECTURAL ELEMENTS HEIGHTS

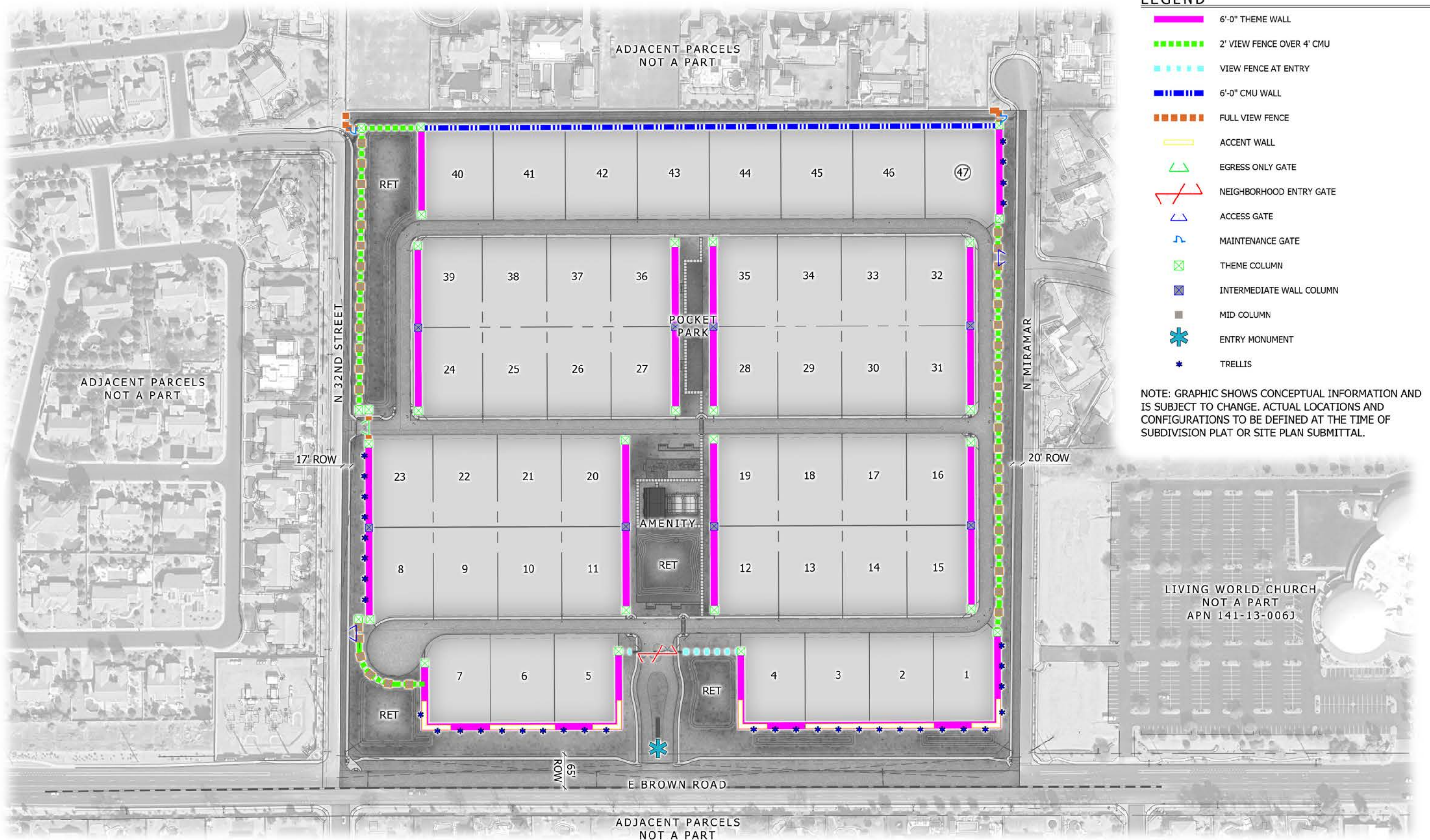
Per the Ordinance Section 11-30-4(C), the maximum permitted height for the perimeter walls and fences is six (6) feet. This RS-15 PAD establishes modified height Standards and Guidelines to permit the following maximum heights:

- A. Columns and accent features up to seven (7) feet; and
- B. Entry architectural elements up to eight feet, six inches (8'-6").

The increased height of columns and accent features provides appropriate articulation and vertical emphasis at key intervals along the wall, supporting the community's overall design intent and reinforcing the rural-edge character of the Citrus Sub-Area. The added height helps establish rhythm, provide visual breaks, and create a more refined, estate-scale streetscape consistent with the large-lot development pattern.

The increased height permitted for entry architectural elements accommodates components such as pedestrian portals, median column(s), and other vertical elements associated with the vehicular entry design. These components provide appropriate framing and definition for the primary entry while maintaining compatibility with the surrounding residential context.

The modified height Standards and Guidelines maintain the qualitative intent of the Ordinance while permitting the architectural elements necessary to implement the RS-15 PAD's cohesive perimeter and entry design framework.

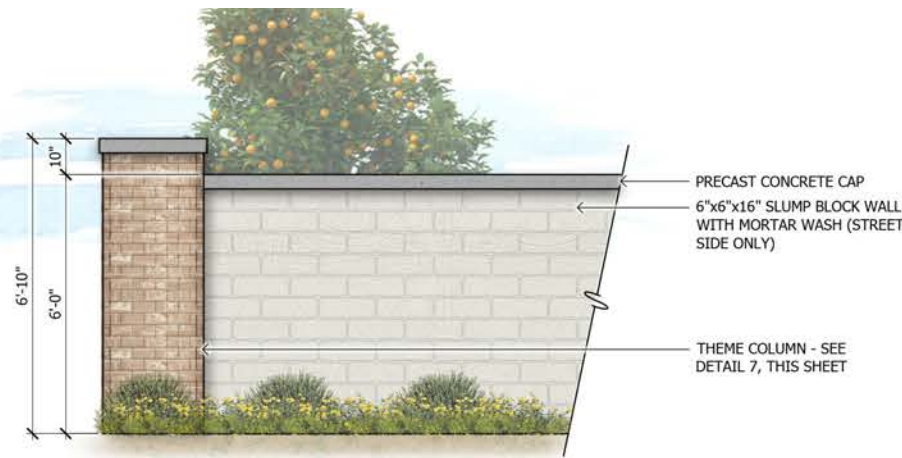


- LEGEND**
- ▬ 6'-0" THEME WALL
 - ▬ 2' VIEW FENCE OVER 4" CMU
 - ▬ VIEW FENCE AT ENTRY
 - ▬ 6'-0" CMU WALL
 - ▬ FULL VIEW FENCE
 - ▬ ACCENT WALL
 - △ EGRESS ONLY GATE
 - △ NEIGHBORHOOD ENTRY GATE
 - △ ACCESS GATE
 - △ MAINTENANCE GATE
 - ⊠ THEME COLUMN
 - ⊠ INTERMEDIATE WALL COLUMN
 - MID COLUMN
 - ✱ ENTRY MONUMENT
 - ✱ TRELLIS

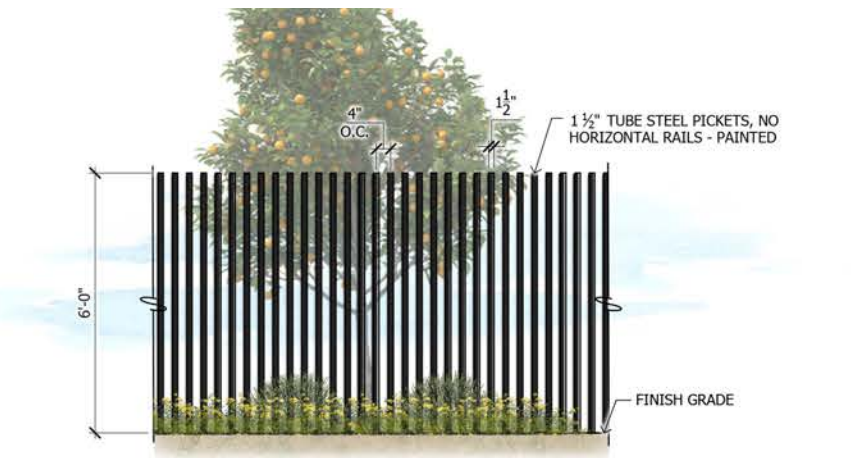
NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.

EXHIBIT 7A: WALL PLAN





1 6'-0" Theme Wall
SCALE: 1/2"=1'-0"



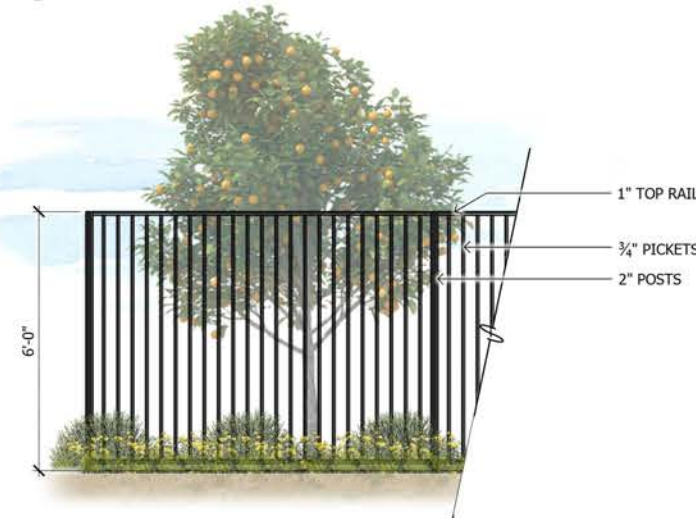
2 View Fence at Entry
SCALE: 1/2"=1'-0"



3 2'-0" View Fence over 4'-0" CMU Wall
SCALE: 1/2"=1'-0"



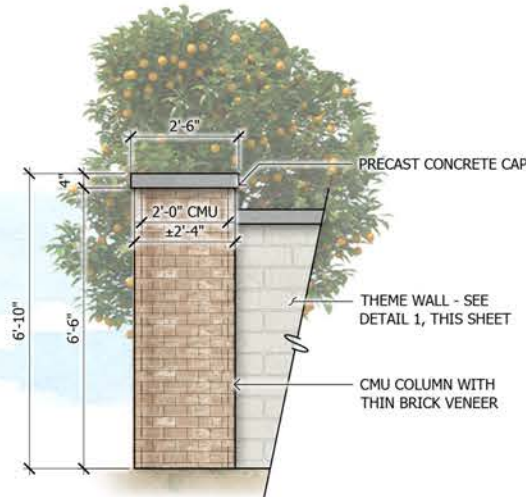
4 6'-0" CMU Wall
SCALE: 1/2"=1'-0"



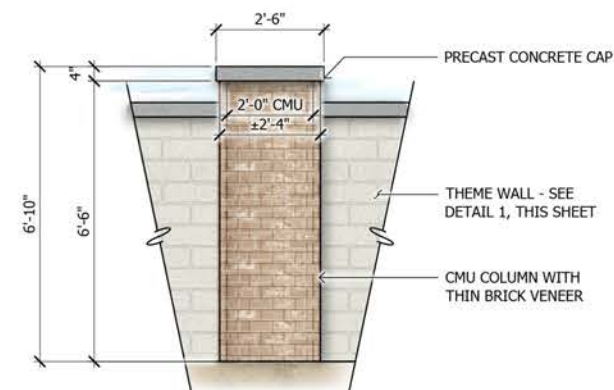
5 Full View Fence
SCALE: 1/2"=1'-0"



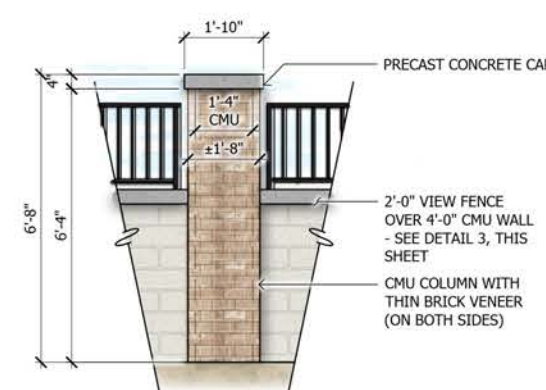
6 Accent Wall
SCALE: 1/2"=1'-0"



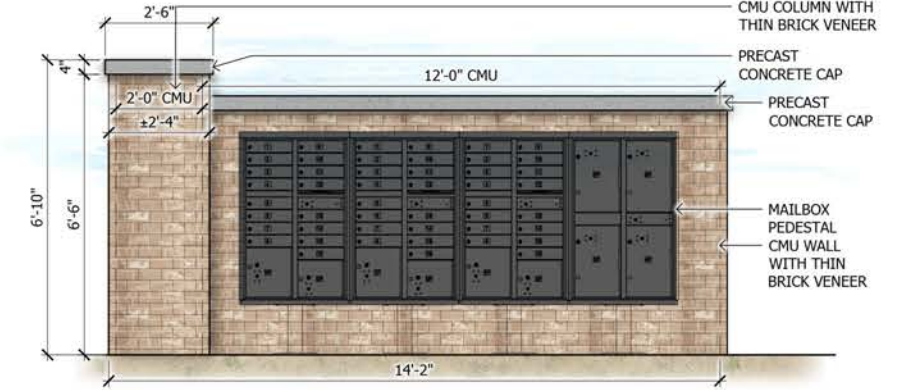
7 Theme Column
SCALE: 1/2"=1'-0"



8 Intermediate Wall Column
SCALE: 1/2"=1'-0"



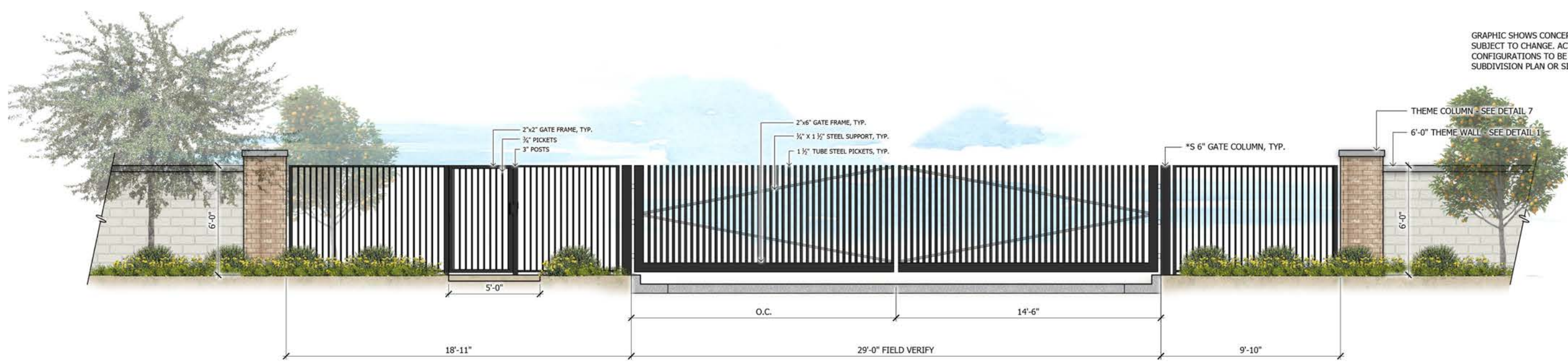
9 Mid Column
SCALE: 1/2"=1'-0"



10 Mailbox Enclosure
SCALE: 1/2"=1'-0"

GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DETERMINED AT TIME OF SUBDIVISION PLAN OR SITE PLAN SUBMITTAL.

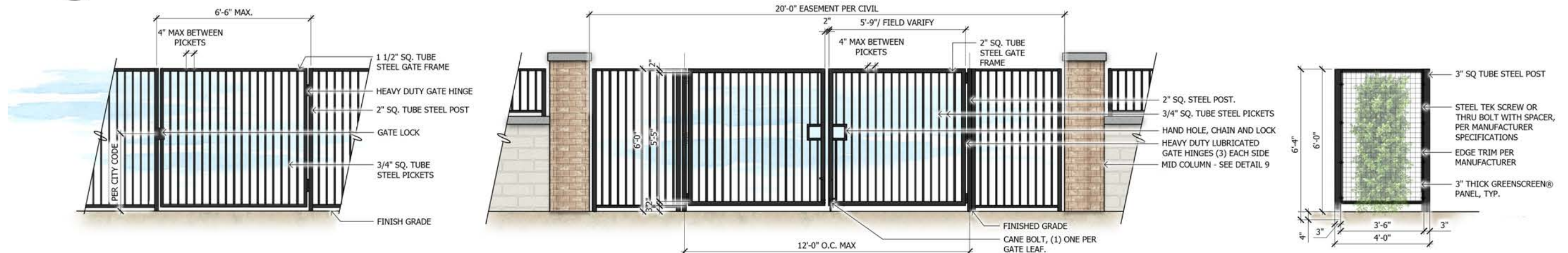
EXHIBIT 7B: WALL, FENCE, AND GATE DETAILS



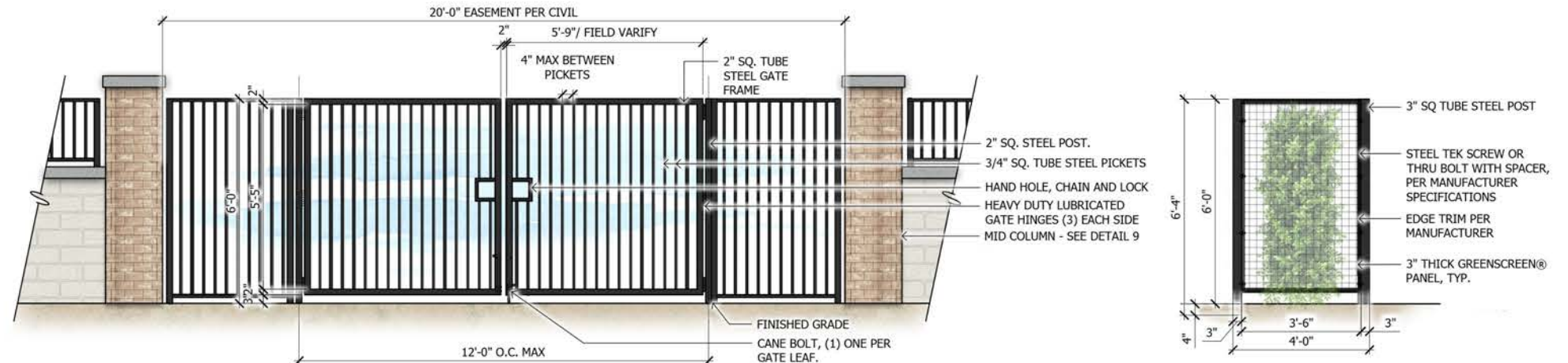
11 Egress Only Gate
SCALE: 3/8"=1'-0"



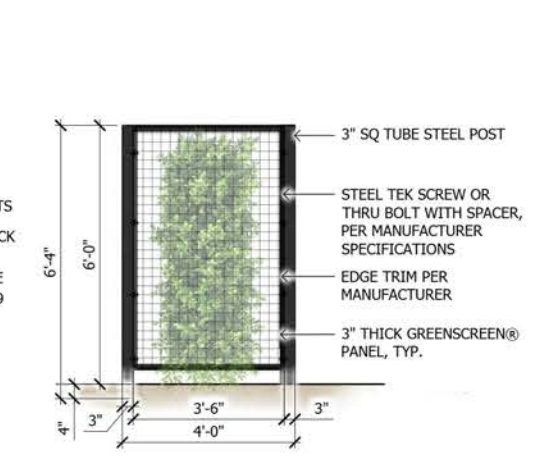
12 Neighborhood Entry Gate
SCALE: 1/4"=1'-0"



13 Maintenance Gate
SCALE: 1/2"=1'-0"



14 Access Gate
SCALE: 1/2"=1'-0"



15 Trellis
SCALE: 1/2"=1'-0"

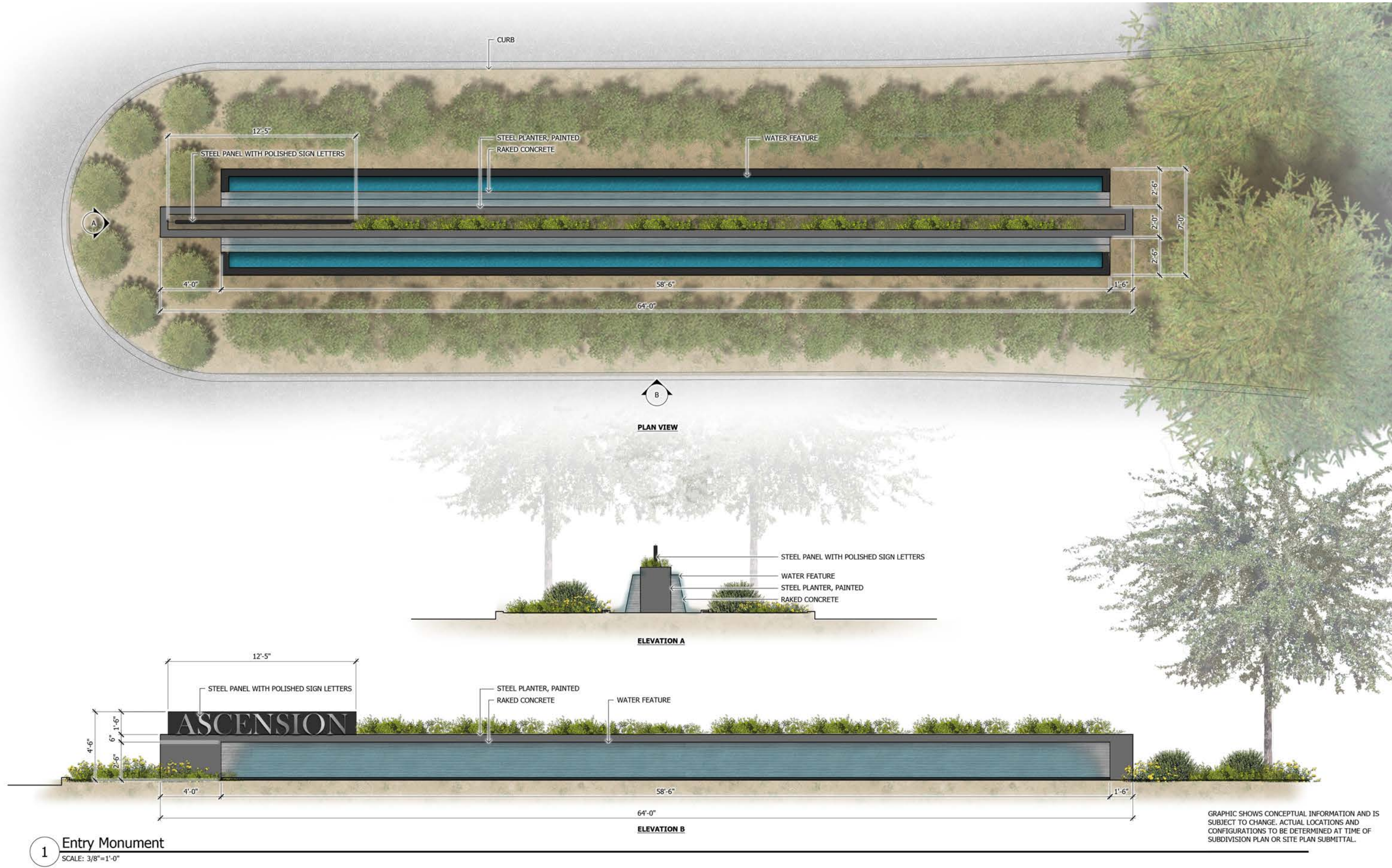
EXHIBIT 7B: WALL, FENCE, AND GATE DETAILS CONTINUED

8. MONUMENTATION

Entry monumentation establishes a clear sense of arrival and contributes to the overall identity of the community. Monument signage is designed to reflect the architectural character and landscape theme of the Site, using materials, colors, and finishes that are consistent with those found throughout the neighborhood.

Monumentation is located near the main entry on East Brown Road and is integrated into the surrounding landscape and wall treatments to enhance visibility and reinforce the Site's overall design aesthetic. Signage conforms to the applicable standards of the Ordinance and complements the adjacent wall and streetscape design.

Final design, size, and placement of monumentation will be refined through the Preliminary Plat process. Refer to **Exhibit 8: Monumentation** for preliminary design concepts illustrating the proposed design, scale, and **Exhibit 7A: Wall Plan** for the conceptual location of entry monumentation.



GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DETERMINED AT TIME OF SUBDIVISION PLAN OR SITE PLAN SUBMITTAL.

EXHIBIT 8: MONUMENTATION

9. LANDSCAPE

The Site is located within the Citrus Sub-Area, where landscape character plays an important role in reinforcing the area's historic agricultural identity. The Citrus Sub-Area encourages generous landscape, the use of orchard-inspired plant material, and the integration of shade trees and citrus trees throughout residential neighborhoods. The landscape approach for Ascension reflects these expectations while supporting the community's cohesive design aesthetic and large-lot rural character.

The landscape design for Ascension creates a unified and low-maintenance environment that enhances the community's aesthetic, reinforces its large-lot rural character, and supports long-term sustainability. All landscape and irrigation systems will comply with the Ordinance and City design guidelines.

A regionally appropriate plant palette shall be used throughout the community, emphasizing low-water-use species that provide seasonal interest, shade, and visual structure. Landscape areas are located along perimeter streets, within open space tracts, around the amenity and pocket park, within retention basins, and at entry areas. Landscape treatments are coordinated with walls, fencing, and signage to create a unified visual identity. All landscape areas within common tracts are maintained by the HOA. Refer to **Exhibit 9: Landscape Plan** for general layout and design intent. Final landscape design and plant selections will be refined at the Preliminary Plat stage.

9.1 LOT LANDSCAPE REQUIREMENTS

The Citrus Sub-Area Plan identifies citrus trees as an important component of the area's historic agricultural character and encourages incorporation into residential lot landscape design. Consistent with this expectation, lots within the Citrus Sub-Area traditionally include citrus trees along lot perimeters to reinforce the established orchard and rural-edge identity. To maintain flexibility while preserving the orchard inspired identity of the area, each lot may select only one (1) tree from the four (4) approved tree species identified in **Exhibit 9.1: Typical Lot Tree Layout**, which permits the use of citrus trees or shade trees along lot lines. These options provide subtle variation between lots, reinforce the overall community character and maintain the landscape softness traditionally associated with the Citrus Sub-Area. This approach provides flexibility for each lot to select from the approved tree species, allowing variation between lots while preserving a cohesive landscape character consistent with the Citrus Sub-Area.



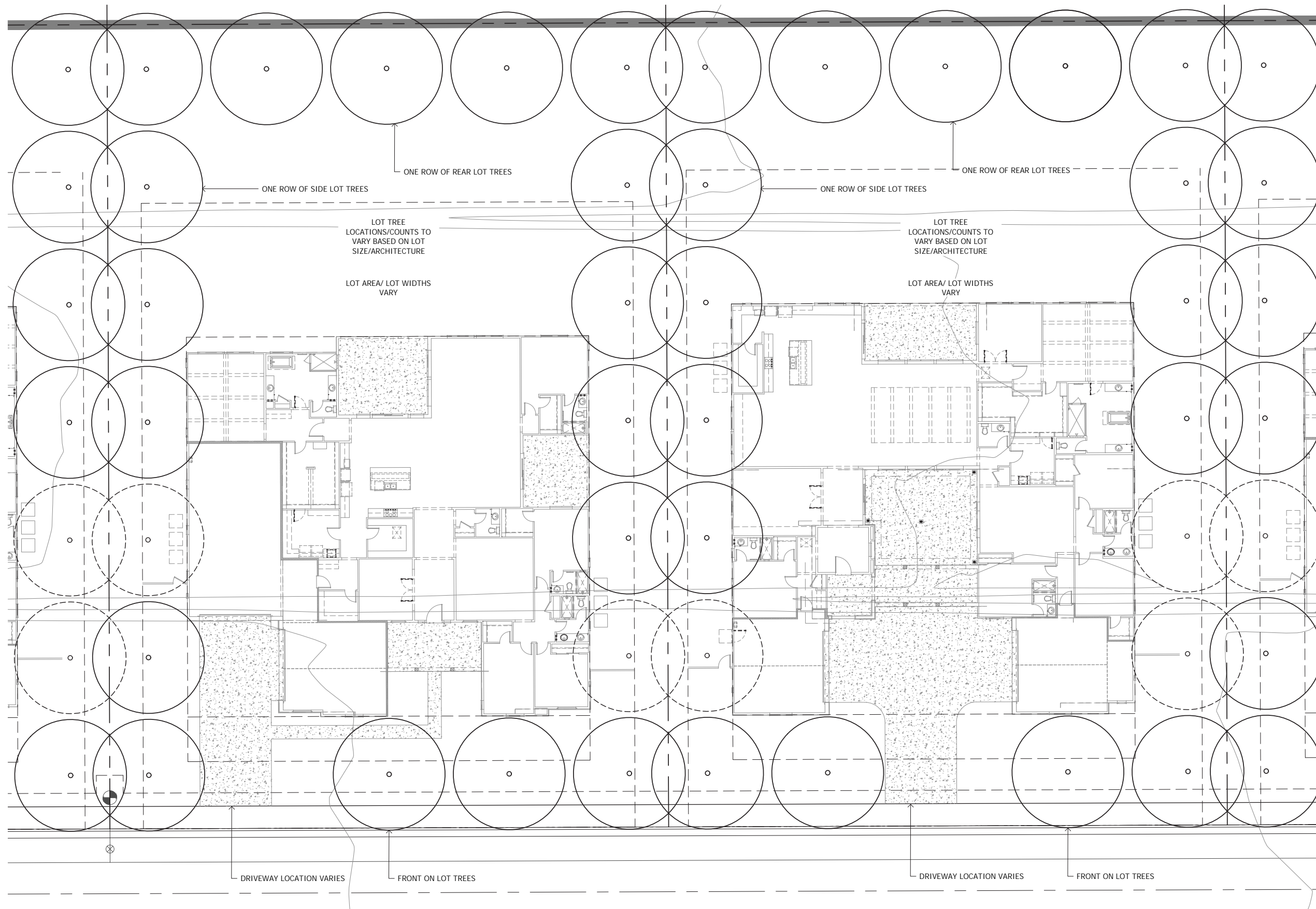
PLANT MATERIALS LEGEND

- Tree**
 - Olea europaea 'Wilsonii'
 - Fruitless Olive
 - Citrus spp.
 - Navel Orange
 - Pistacia x 'Red Push'
 - Red Push Pistache
 - Pistacia lentiscus
 - Mastic Tree
 - Prosopis hybrid 'Leslie Roy'
 - Leslie Roy Thornless Mesquite
 - Quercus fusiformis 'Joan Lionetti'
 - Joan Lionetti Live Oak
- Extra Large Shrubs**
 - ⊙ Bougainvillea 'California Gold'
 - ⊙ California Gold Bougainvillea
 - ⊙ Bougainvillea 'Barbara Karst'
 - ⊙ Barbara Karst Bougainvillea
 - ⊙ Bougainvillea 'Rosenka'
 - ⊙ Rosenka Bougainvillea
 - ⊙ Caesalpinia gillesii
 - ⊙ Yellow Bird of Paradise
 - ⊙ Caesalpinia pulcherrima
 - ⊙ Red Bird of Paradise
 - ⊙ Dodonaea viscosa
 - ⊙ Green Hopseed Bush
 - ⊙ Nerium oleander 'Sister Agnes'
 - ⊙ White Oleander
 - ⊙ Simmondsia Chinensis
 - ⊙ Jojoba
 - ⊙ Tecoma x 'Bells of Fire'
 - ⊙ Bells of Fire
 - ⊙ Tecoma alata 'Orange Jubilee'
 - ⊙ Orange Jubilee
 - ⊙ Tecoma 'Sparky'
 - ⊙ Sparky Bells
 - ⊙ Tecoma Stans
 - ⊙ Yellow Bells
- Large Shrubs**
 - ⊙ Calliandra californica
 - ⊙ Red Fairy Duster
 - ⊙ Cassia artemisioides 'Silver'
 - ⊙ Silver Cassia
 - ⊙ Cassia nemophila
 - ⊙ Desert Cassia
 - ⊙ Leucophyllum langmaniae 'Lynn's Legacy'
 - ⊙ Lynn's Legacy Sage
 - ⊙ Leucophyllum langmaniae 'Rio Bravo'
 - ⊙ Brave River/Rio Bravo
- Medium Shrubs**
 - ⊙ Bougainvillea 'Torch Glow'
 - ⊙ Torch Glow Bougainvillea
 - ⊙ Eremophila glabra spp. carnososa
 - ⊙ Winter Blaze
 - ⊙ Eremophila hygrophana Blue Bells
 - ⊙ Blue Bells
 - ⊙ Ericameria laricifolia
 - ⊙ Turpentine Bush
 - ⊙ Leucophyllum candidum 'Microburst'
 - ⊙ Microburst Texas Sage
 - ⊙ Leucophyllum x 'Heavenly Cloud'
 - ⊙ Heavenly Cloud Sage
 - ⊙ Leucophyllum langmaniae 'Little Lynn'
 - ⊙ Little Lynn Sage
 - ⊙ Nerium oleander 'Little Red'
 - ⊙ Little Red Oleander
 - ⊙ Nerium oleander 'Petite Pink'
 - ⊙ Petite Pink Oleander
 - ⊙ Olea europaea 'Little Ollie'
 - ⊙ Dwarf Olive
 - ⊙ Rosmarinus officinalis 'Tuscan Blue'
 - ⊙ Tuscan Blue Rosemary
 - ⊙ Ruellia peninsularis
 - ⊙ Desert Ruellia
- Small Shrubs**
 - ⊙ Bougainvillea glabra 'Yani's Delight'
 - ⊙ Yani's Delight Bougainvillea
 - ⊙ Calliandra eriophylla
 - ⊙ Pink Fairy Duster
 - ⊙ Callistemon viminalis 'Little John'
 - ⊙ Little John Bottle Brush
 - ⊙ Myrtus communis 'compacta'
 - ⊙ Dwarf Myrtle
 - ⊙ Sphaeralcea ambigua
 - ⊙ Desert mallow
- Groundcovers**
 - ⊙ Oo-La-La Bougainvillea
 - ⊙ Bougainvillea 'Monka'
 - ⊙ Eremophila prostrata
 - ⊙ Outback Sunrise Eremophila
 - ⊙ Lantana sp.
 - ⊙ 'New Gold' Lantana
 - ⊙ Lantana montevidensis
 - ⊙ Purple Trailing Lantana
 - ⊙ Rosmarinus officinalis 'Prostratus'
 - ⊙ Trailing Rosemary
 - ⊙ Ruellia 'Katie'
 - ⊙ Dwarf Ruellia 'Katie'
 - ⊙ Teucrium chamaedrys
 - ⊙ Germander
- Grasses**
 - ⊙ Bouteloua gracilis
 - ⊙ Blonde Ambition
 - ⊙ Muhlenbergia capillaris
 - ⊙ 'Regal Mist'
 - ⊙ Muhlenbergia lindheimeri
 - ⊙ 'Autumn Glow'
 - ⊙ Muhlenbergia rigida 'Nashville'
 - ⊙ Purple Muhly
 - ⊙ Muhlenbergia rigens
 - ⊙ Deer Grass
- Cacti / Accents**
 - ⊙ Agave 'Blue Glow'
 - ⊙ Blue Glow Agave
 - ⊙ Agave sisalana
 - ⊙ Sisal Agave
 - ⊙ Aloe barbadensis
 - ⊙ Medicinal Aloe
 - ⊙ Aloe hybr. 'Blue Elf'
 - ⊙ Blue Elf Aloe
 - ⊙ Asclepias subulata 'Butterfly Magic'
 - ⊙ Butterfly Magic Desert Milkweed i.gal.
 - ⊙ Dasyliiron wheeleri
 - ⊙ Desert Spoon
 - ⊙ Hesperaloe funifera
 - ⊙ Giant Hesperaloe
 - ⊙ Hesperaloe parviflora 'Stoplights'
 - ⊙ Stoplights Red Yucca
 - ⊙ Hesperaloe parviflora 'Yellow'
 - ⊙ Yellow Yucca
 - ⊙ Hesperaloe parviflora 'Little miss sunshine'
 - ⊙ Little Miss Sunshine
 - ⊙ Hesperaloe funifera 'Little Giant'
 - ⊙ Little Giant dwarf Hesperaloe
 - ⊙ Opuntia microdasys
 - ⊙ Bunny Ears Cactus
 - ⊙ Opuntia santa rita
 - ⊙ Purple Prickly Pear
 - ⊙ Opuntia basilaris
 - ⊙ Beavertail Prickly Pear
 - ⊙ Pedilanthus macrocarpus
 - ⊙ Slipper Plant
 - ⊙ Yucca baccata
 - ⊙ Banana Yucca
 - ⊙ Yucca pallida
 - ⊙ Pale Leaf Yucca
- Vines**
 - ⊙ Bougainvillea 'Barbara Karst'
 - ⊙ Barbara Karst Bougainvillea
 - ⊙ Hardenbergia violacea
 - ⊙ Purple Lilac Vine
- Inerts**
 - ⊙ Decomposed Granite
- Symbol**
 - Pavers
 - Wood Fiber
 - Turf

NOTE: GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DEFINED AT THE TIME OF SUBDIVISION PLAT OR SITE PLAN SUBMITTAL.

EXHIBIT 9: LANDSCAPE PLAN





LEGEND

APPROVED TREE LIST:

1. CITRUS SPP.
NAVEL ORANGE
2. RED PUSH PISTACHE
PISTACIA X 'RED PUSH'
3. FRUITLESS OLIVE
OLEA EUROPAEA 'WILSONII'
4. EVERGREEN ELM
ULMUS PARVIFOLIA

GENERAL NOTES:

1. YARD TREES SHALL BE SELECTED FROM THE APPROVED TREE LIST ABOVE.
2. THE FOLLOWING ARE REQUIRED PER THE CITY OF MESA CITRUS SUB-AREA PLAN ADOPTED APRIL 21, 2003 (THE SHADE TREES LISTED HAVE BEEN CITY APPROVED TO BE PLANTED IN PLACE OF THE CITRUS TREES): ONE (1) ROW OF CITRUS, RED PUSH PISTACHE, FRUITLESS OLIVE, OR EVERGREEN ELM TREES PLANTED ALONG THE SIDE AND REAR PROPERTY LINES AND A MINIMUM OF FOUR (4) CITRUS, RED PUSH PISTACHE, FRUITLESS OLIVE, OR EVERGREEN ELM TREES PLANTED IN THE FRONT AREA OF THE LOT. FRONT LOT TREES TO BE PLANTED, AS FEASIBLE, BASED ON VARYING WIDTHS OF LOT FRONTAGES AND SITE CONSTRAINTS SUCH AS DRIVEWAYS, UTILITIES, STREETLIGHTS, EASEMENTS, ETC. SIDE LOT TREES AND REAR LOT TREES TO BE PLANTED ALONG PROPERTY LINES EXCEPT AT LOCATIONS NOT FEASIBLE DUE TO SITE CONSTRAINTS SUCH AS SIDE DOORS, WALKWAYS, PROPERTY WALLS, UTILITIES, HVAC EQUIPMENT, ETC.
3. LANDSCAPE WILL BE REQUIRED TO BE SHOWN ON EACH LOT DURING THE BUILDING PERMIT PROCESS.
4. GRAPHIC SHOWS CONCEPTUAL INFORMATION AND IS SUBJECT TO CHANGE. ACTUAL LOCATIONS AND CONFIGURATIONS TO BE DETERMINED AT TIME OF SUBDIVISION PLAN OR SITE PLAN SUBMITTAL.

EXHIBIT 9.1: TYPICAL LOT TREE LAYOUT

10. ARCHITECTURE

The architectural design of the homes at Ascension establishes a cohesive neighborhood character while providing variety through distinct architectural styles. Homes incorporate high-quality materials, varied rooflines, and well-proportioned facades that promote visual interest and reduce repetition along the streetscape.

Architectural styles such as Ranch, Vineyard, and Farmhouse are incorporated to complement the Site's rural-edge setting and the surrounding Citrus Sub-Area character. These styles may include elements such as pitched or gabled roofs, stucco or siding finishes, covered porches, and/or detailed trim or shutter accents that reinforce an inviting and authentic residential character.

Architectural variety is achieved through changes in massing, façade composition, material use, and entry design. While unified in overall character, the individual homes introduce subtle variation that enhances curb appeal, supports neighborhood identity, and contributes to a visually engaging streetscape.

Final elevations, materials, and style details are reviewed and approved through the City's Design Review process to ensure consistency with the community's overall architectural Standards and Guidelines. Refer to **Exhibit 10: Architectural Character Images** for visual representation of the proposed architectural styles.



NOTE: THE ARCHITECTURAL CHARACTER IMAGERY PROVIDED HERE SERVES AS EXAMPLES TO ILLUSTRATE THE STYLE, LEVEL OF QUALITY, AND FINISH FOR ARCHITECTURAL DESIGN. THESE IMAGES ARE NOT EXACT REPRESENTATIONS OF COLOR, EMBELLISHMENTS, MATERIALS, FIXTURES, MASSING, ARTICULATION, AND FLOOR PLAN CONFIGURATIONS. FINAL ARCHITECTURAL DESIGN MAY VARY FROM WHAT IS SHOWN.

EXHIBIT 10: ARCHITECTURAL CHARACTER IMAGES

11. LIGHTING STANDARDS

All lighting shall comply with Article 4, Chapter 30, Section 11-30-5 of the Ordinance, ensuring consistency and safety across the Site. Street and site lighting shall be designed to minimize light pollution while maintaining adequate illumination for safety and functionality.

12. INFRASTRUCTURE AND UTILITIES

12.1 DRAINAGE

Stormwater runoff from the Site is managed through a series of on-site retention basins and engineered conveyance features designed to meet City standards. The drainage system complies with the City of Mesa's Engineering and Design Standards ("EDS") and is sized to accommodate both site-generated flows and off-site drainage, as applicable.

No natural washes or existing regional drainage features are present on the Site. All drainage conveyance is achieved through new, engineered infrastructure that integrates into the Site's open space network. These systems include surface basins and internal channels that complement the planned landscape and amenity areas while providing necessary stormwater management.

Refer to the Ascension Master Drainage Report submitted with this rezoning request for a detailed analysis of the Site's drainage patterns, retention calculations, and compliance with the City's hydrological requirements.

12.2 GRADING AND EARTHWORK

Grading and earthwork are completed in accordance with the EDS and the recommendations outlined in the Geotechnical Engineering Report prepared for the Site. Minor cuts and fills are expected to balance on-site, and grading is designed to promote positive drainage and overall stability.

Expansive and unsuitable surface soils are removed and replaced with properly compacted structural fill in all building, amenity, and pavement areas. Final grading will maintain a 2:1 slopes or flatter, and all slopes are stabilized with vegetation or hardscape as appropriate.

During construction, best management practices for erosion and sediment control are implemented in accordance with the City's environmental requirements. Dust control measures are employed to comply with local air quality standards. Clearly marking the limits of construction prevents unintended disturbances to surrounding areas. These measures will comply with the Ascension Master Drainage Report and the City's grading standards. Detailed grading and compaction specifications are addressed through the Preliminary Plat and permitting processes.

12.3 WASTEWATER

The Site is planned to connect to the City's wastewater system. Wastewater service is provided through an internal network of gravity sewer mains designed in accordance with the EDS. No lift stations or pump stations are anticipated to be required.

Off-site improvements, including connections to existing infrastructure and any required extensions, are evaluated through the City's review process. Public sewer lines are located within public rights-of-way or easements and are designed to avoid placement beneath proposed structures or retention areas.

A Basis of Design Report and utility plans are submitted during future planning stages to confirm system capacity, alignment, and compliance with City requirements. For more information, refer to the Master Technical Reports submitted with this rezoning request.

12.4 WATER

The Site is planned to connect to the City's water supply system. An internal looped distribution network is designed to provide adequate pressure and flow, meeting the City's fire protection and daily demand requirements. Fire hydrants are spaced to meet all applicable fire code requirements.

No pressure-reducing valves or booster stations are anticipated. Any required off-site improvements or extensions are coordinated through the City's review and permitting process.

Final water system design and modeling are addressed through the Preliminary Plat and utility planning stages to ensure full compliance with the EDS. For more information, refer to the Master Technical Reports submitted with this rezoning request.

13. CONCLUSION

The Ascension RS-15 PAD establishes a coordinated zoning framework that supports the development of a high-quality, low-density residential neighborhood consistent with the General Plan and the Citrus Sub-Area Plan. The community is organized around large lots, single-story homes, and a connected open space framework that together create a spacious, low-density environment consistent with the area's historic agricultural identity.

The centrally located amenity and pocket park form the heart of the neighborhood's pedestrian network, offering opportunities for recreation, informal gathering, and access between homes and shared spaces. Sidewalks along internal streets and perimeter frontages further support walkability and integrate the community with its surroundings.

The RS-15 PAD incorporates a coordinated approach to architecture, landscape, and perimeter edge design that reinforces a cohesive neighborhood character. Enhancements such as orchard-inspired planting, refined wall articulation, and contextual architectural styles ensure that the development complements nearby homes and contribute positively to the overall Citrus Sub-Area Plan vision.

Targeted modifications to the underlying RS-15 standards have been included, where appropriate, to implement this unified design approach, with justifications demonstrating that each modification maintains or exceeds the intent of the Ordinance. All other standards not modified through this rezone request shall comply with City requirements and further detailed through subsequent review stages, as applicable.

Together, these elements create a community framework that is compatible with its setting, respectful of surrounding development patterns, and supportive of high-quality residential growth in this portion of the City of Mesa.