

DEVELOPER
McDONALD'S USA, LLC
3800 KILROY AIRPORT WAY
LONG BEACH, CA 90806
TEL: (480) 341-5344
CONTACT: SCOTT AUDSLEY

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1001 W SOUTHERN AVE. SUITE 131
MESA, ARIZONA 85210
TEL: (480) 207-2666
FAX: (602) 944-7423
CONTACT: STERLING MARGETTS, PE

SITE INFORMATION

ADDRESS: 1328 S SIGNAL BUTTE RD
MESA, ARIZONA 85209
220-81-985
LC-PAD
LC-PAD

EXISTING LAND USE: N/A
PROPOSED LAND USE: DRIVE-THRU RESTAURANT

NET AREA: 1.17 AC (50,901 SF)
GROSS AREA: 1.88 AC (81,808 SF) (AREA TAKEN TO ADJACENT ¶)

BUILDING AREA: 4,408 SF
BUILDING HEIGHT: 23.00' (PARAPET)

PARKING SUMMARY

McDONALDS:
REQUIRED PARKING RATIO: 1 SPACE PER 100 SF
1 SPACE PER 200 SF OF OUTDOOR SEATING
GFA (4,408 SF) (0 SF OF PATIO)
GFA (5,201 SF) (0 SF OF PATIO)

(WITH PLAY PLACE)

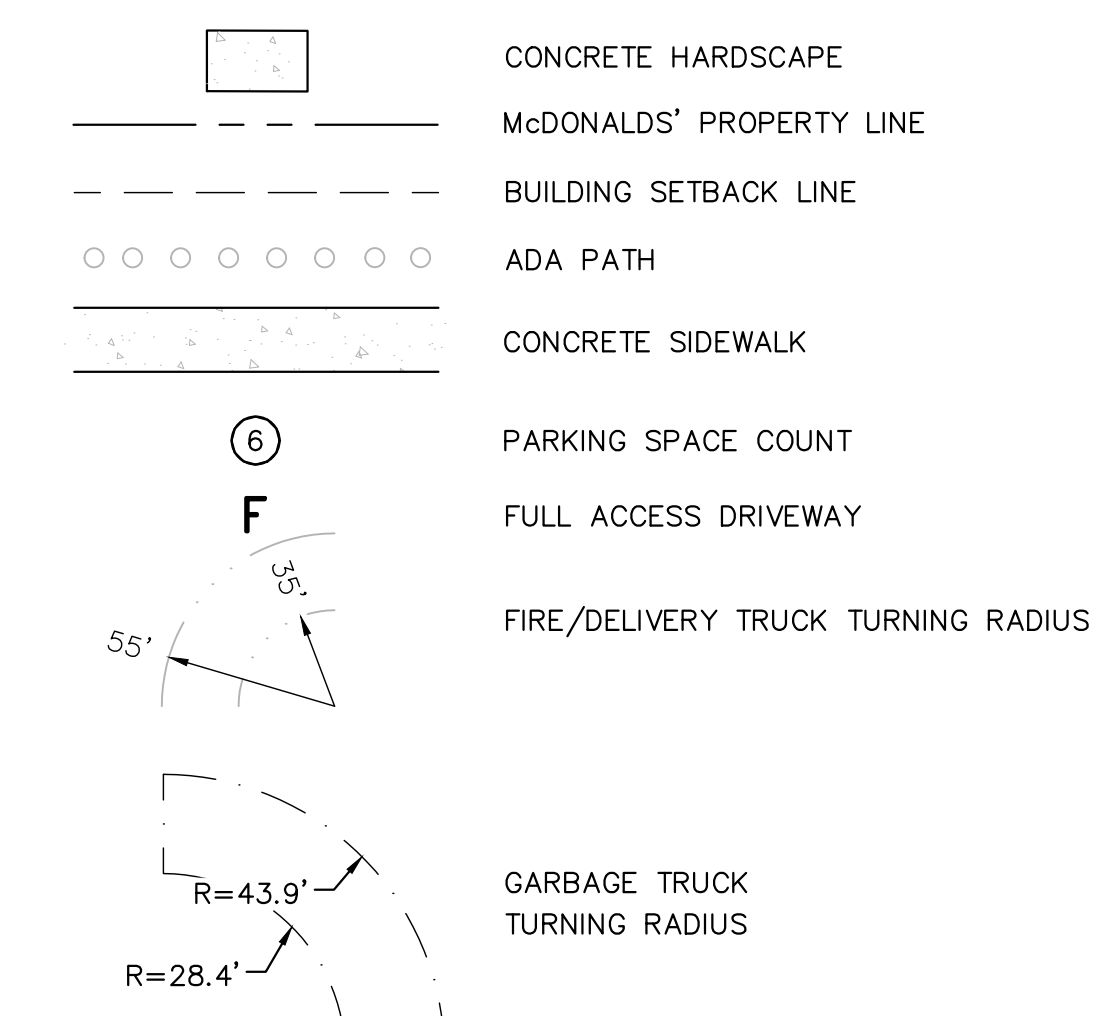
INDIVIDUAL PARKING:	REQUIRED	REQUIRED (WITH PLAY PLACE)	PROVIDED
STANDARD	42	49	61
ACCESSIBLE PER ADA	2	3	3
TOTAL PARKING	44	52	64*

*INCLUDING 26 SHARED CENTER SPACES PER SHARED PARKING ALLOCATION EXHIBIT FOR MOUNTAIN VISTA MARKETPLACE BY KITCHELL DEVELOPMENT.

FOUNDATION BASE*

BUILDING FACE	AREA(SF)	LENGTH(LF)	AVERAGE DEPTH(LF)
NORTH**	1834	119.0	15.6
WEST**	1208	46.2	26.1
EAST**	540	46.2	11.7
SOUTH***	196	98.0	2.0

- * PER CITY OF MESA ZONING ORDINANCE CHAPTER 33: LANDSCAPING 11-33-5
- ** WITH FUTURE PLAY PLACE
- *** COMBINATION OF LANDSCAPING AND AT-GRADE DECORATIVE CONCRETE.

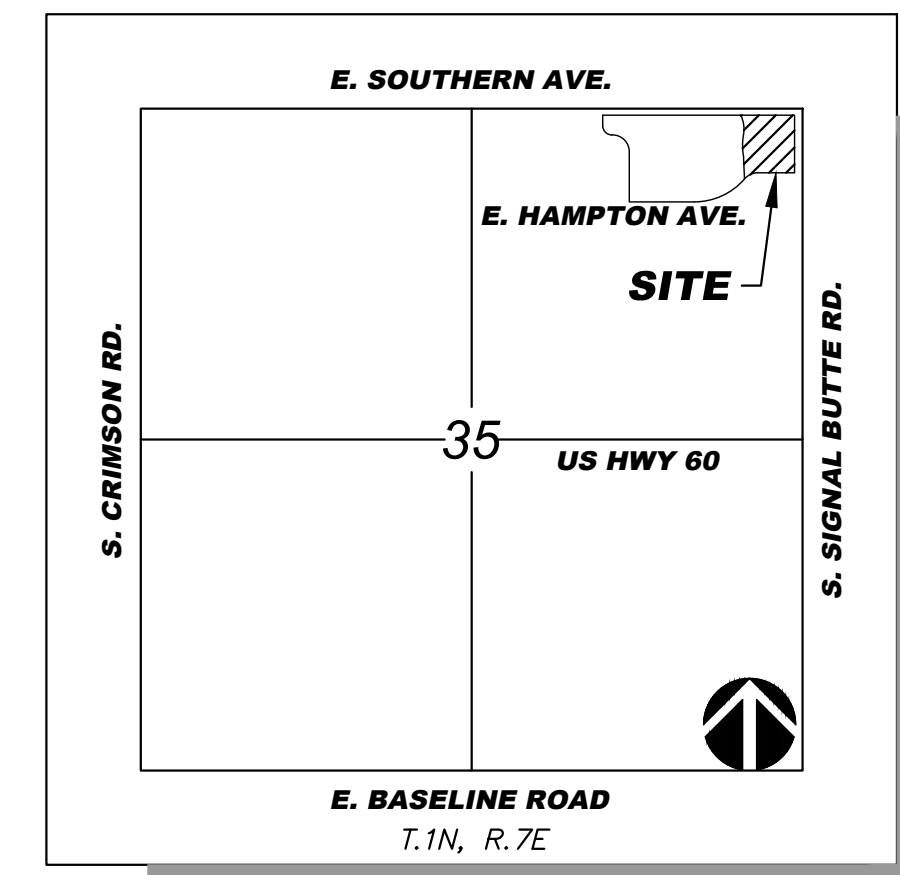


LEGAL DESCRIPTION

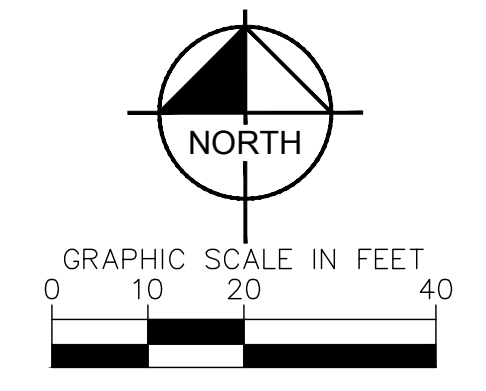
LOT 6, OF MOUNTAIN VISTA MARKETPLACE PHASE 1, ACCORDING TO BOOK 1400 OF MAPS, PAGE 32, RECORDS OF MARICOPA COUNTY, ARIZONA.

NOTES

1. FINISHED FLOORS ARE FREE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS.
2. SEWER SERVICE PROVIDED BY CITY OF MESA.
3. WATER SERVICE PROVIDED BY CITY OF MESA.



SIGHT VISIBILITY NOTE
NO STRUCTURE, LANDSCAPING, FENCE, WALL, TERRACE OR OTHER OBSTRUCTION VIEW IN EXCESS OF TWO FEET IN HEIGHT, MEASURED FROM THE LOWEST ESTABLISHED ELEVATION OF THE NEAREST STREET CENTERLINE, SHALL BE PLACED WITHIN THE TRIANGLE FORMED BY MEASURING ALONG STREET-SIDE AND/OR ALLEY-SIDE PROPERTY LINES A DISTANCE OF 25 FEET FROM THE POINT OF INTERSECTION AND BY CONNECTING THE ENDS OF THE RESPECTIVE 25 FEET DISTANCES. (MCZO ARTICLE 1501.3.3 AND ARTICLE 1111.4, 1111.4.2, AND 1111.4.3.)



TITLE	DATE	BY	DESCRIPTION
SITE PLAN			
DESCRIPTION			
SITE ID			
SITE ADDRESS			
SCALE (H):			
SCALE (V):			
PREPARED FOR:			
PREPARED BY:			
REGISTERED PROFESSIONAL ENGINEER			
47183			
STERLING MARGETTS			
(Professional Seal)			
ARIZONA, USA			
Expire: 12/31/18			
REV	DATE	DESCRIPTION	
1	OF	1	