

NOTES

- ALL ROADWAYS TO BE PRIVATE STREETS.
- ALL UTILITIES TO BE PLACED UNDERGROUND.
- FIRE LANES AND HYDRANTS TO MEET CITY OF MESA REQUIREMENTS.
- PROPOSED WATER ON FALCON FIELD PRESSURE ZONE.
- RETENTION WILL BE PROVIDED BY PROPOSED BASINS. RETENTION BASINS WILL RETAIN THE 100-YEAR 2-HR STORM EVENT.
- THE CITY OF MESA SHALL NOT BE RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY PRIVATE FACILITIES, LANDSCAPE AREAS, ETC. WITHIN THIS PROJECT
- RIGHT-OF-WAY ALONG BROWN ROAD TO BE DEDICATED PER PLAN. SAWCUT 2-FT OF EXISTING PAVEMENT AND INSTALL ADDITIONAL PAVEMENT WIDTH TO MEET CITY OF MESA STANDARDS.
- RIGHT-OF-WAY ALONG 32ND STREET TO BE DEDICATED PER PLAN. SAWCUT 2-FT OF EXISTING PAVEMENT AND INSTALL ADDITIONAL PAVEMENT WIDTH TO MEET CITY OF MESA STANDARDS.
- RIGHT-OF-WAY ALONG MIRAMAR TO BE DEDICATED PER PLAN. SAWCUT 2-FT OF EXISTING PAVEMENT AND INSTALL ADDITIONAL PAVEMENT WIDTH TO MEET CITY OF MESA STANDARDS.

ASCENSION

3259 E. BROWN ROAD

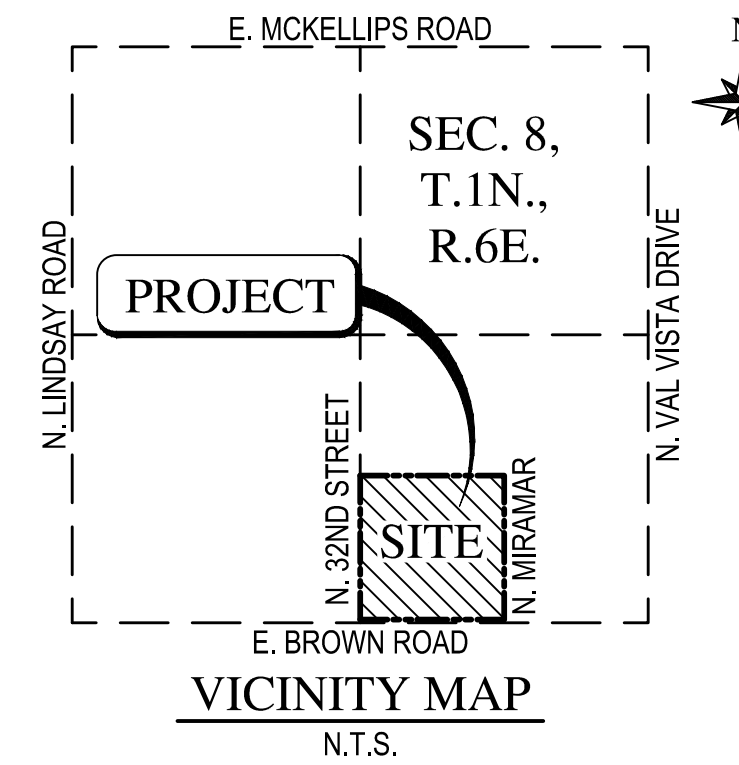
PRELIMINARY PLAT

A PROPOSED SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

PARCEL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



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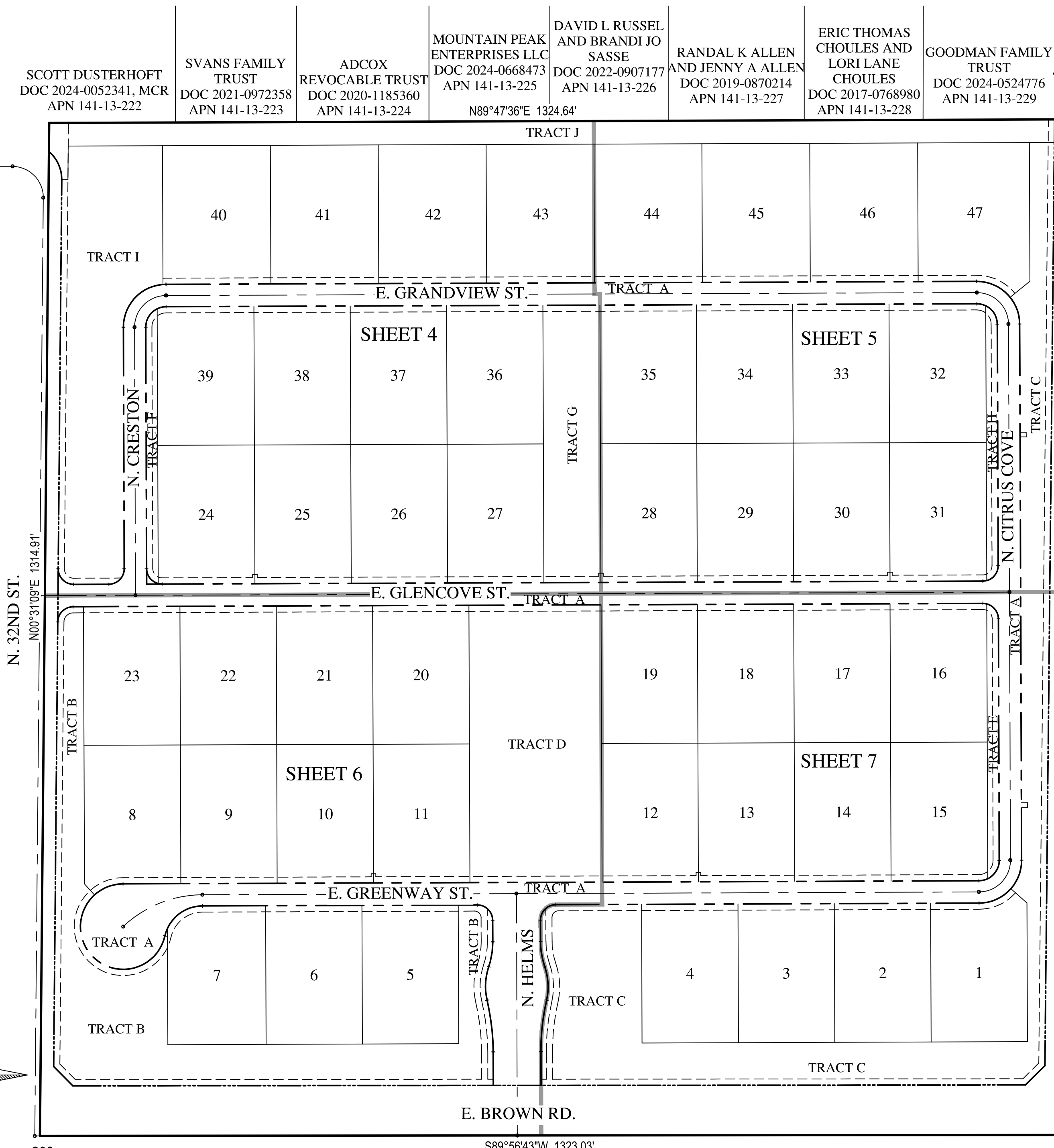


LEGEND & ABBREVIATIONS

	PROJECT BOUNDARY	B/C	BACK OF CURB
	POTABLE WATER PIPE & VALVE	F/C	FACE OF CURB
	SANITARY SEWER PIPE, MANHOLE & CLEANOUT	G	GUTTER
	STORM DRAIN PIPE & MANHOLE	INV	INVERT
	SINGLE CURB	P	PROPERTY LINE
	VERTICAL CURB & GUTTER	SD	STORM DRAIN
	CENTERLINE	SDMH	STORM DRAIN MANHOLE
	RIGHT-OF-WAY, R/W	SMH	SANITARY SEWER MANHOLE
	MONUMENT LINE	S	SANITARY SEWER
	PUBLIC UTILITY FACILITIES EASEMENT	W	WATER
	SEWER EASEMENT		
	VEHICULAR NON ACCESS EASEMENT		
	WATER EASEMENT		
	FIRE HYDRANT		

ASCENSION LAND USE SUMMARY TABLE			
EXISTING ZONING	AG		
PROPOSED ZONING	RS-15 PAD		
TOTAL NUMBER OF LOTS	47		
TOTAL GROSS AREA	1,742,932	SqFt	40.01 AC
TOTAL NET AREA	1,610,810	SqFt	36.98 AC
GROSS DENSITY	1.17	DU/GROSS ACRES	
NET DENSITY	1.27	DU/NET ACRES	
TOTAL LOT AREA	1,081,809	SqFt	62 %
TOTAL OPEN SPACE	369,866	SqFt	21 %

TRACT AREA TABLE			
TRACT NO.	TRACT AREA SQUARE FEET	TRACT AREA ACRES	USE
TRACT A	159,135	3.6532	PRIVATE STREET
TRACT B	70,231	1.6123	OPEN SPACE, RETENTION, PUF
TRACT C	99,682	2.2884	OPEN SPACE, RETENTION, PUF
TRACT D	61,740	1.4174	OPEN SPACE, RETENTION, PUF, AMENITY
TRACT E	5,174	0.1188	OPEN SPACE, PUF
TRACT F	5,174	0.1188	OPEN SPACE, PUF
TRACT G	26,640	0.6116	OPEN SPACE, PUF
TRACT H	5,174	0.1188	OPEN SPACE, PUF
TRACT I	56,254	1.2914	OPEN SPACE, RETENTION, PUF
TRACT J	39,797	0.9136	IRRIGATION DITCH ACCESS, OPEN SPACE, PUF
TOTAL	529,001	12.1443	



OWNER / DEVELOPER

TRI POINTE HOMES ARIZONA LLC
7001 N. SCOTTSDALE ROAD, SUITE 2020
SCOTTSDALE, ARIZONA 85253
PHONE: (480) 970-6000
CONTACT: MEGAN NEAL
EMAIL: MEGAN.NEAL@TRIPOINTEHOMES.COM

ENGINEER & SURVEYOR

WOOD, PATEL & ASSOCIATES, INC.
1630 S. STAPLEY DR, SUITE 219
MESA, ARIZONA 85204
PHONE: (480)834-3300
FAX: (602)335-8580
CONTACT: STEVEN MCKEE, P.E.
EMAIL: SMCKEE@WOODPATEL.COM

PUBLIC UTILITIES

WATER CITY OF MESA
SEWER CITY OF MESA
ELECTRIC SALT RIVER PROJECT
TELEPHONE COX COMMUNICATIONS/LUMEN
GAS CITY OF MESA
CABLE TV COX COMMUNICATIONS/LUMEN
WASTE DISPOSAL CITY OF MESA

CIVIL SHEET INDEX

1 - COVER SHEET
2-3 - DETAIL SHEET
4-7 - PRELIMINARY PLAT/SITE PLAN
TOTAL SHEETS - 7

BASIS OF BEARING

THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON INFORMATION OBTAINED FROM ON-LINE POSITIONING USER SERVICE (OPUS) PROVIDED BY THE NGS WEBSITE WWW.NGS.NOAA.GOV, OPUS RESULTS ON MARCH 30, 2025.

PROJECTION ARIZONA CENTRAL ZONE, NAD83, (EPOCH 2010)
DATUM GRS-80
UNITS INTERNATIONAL FEET
GEOID MODEL GEOID 2018

CONTROL POINT WOODPATEL CONTROL POINT 100
SOLUTION 00370840.250 OP1743352917000
LATITUDE 33°26'16.75374" N
LONGITUDE 111°45'27.58162" W
ELLIPSOID HEIGHT 367.537 METERS
DESCRIPTION SET 1/2" REBAR WITH WOODPATEL CONTROL CAP

MODIFIED TO GROUND AT (GRID) N: 886923.970 E: 748504.639, USING A SCALE FACTOR OF 1.0001550220.

HORIZONTAL ADJUSTMENT NONE
HORIZONTAL ROTATION NONE

BENCHMARK

THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON AN NGS BENCHMARK DESIGNATED AS V 517 (PID DU2312), AN NGS VERTICAL CONTROL DISK STAMPED V 517 1992 SET IN THE ABUTMENT OF A LARGE BRIDGE LOCATED ON THE WEST SIDE OF GREENFIELD ROAD BETWEEN BROWN ROAD AND MCKELLIPS ROAD, 1.0' SOUTHEAST OF THE NORTHWEST END OF THE SOUTHWEST CONCRETE ABUTMENT OF THE ROAD BRIDGE SPANNING THE ROOSEVELT CANAL, HAVING AN ELEVATION OF 1350.70 NAVD88 DATUM.

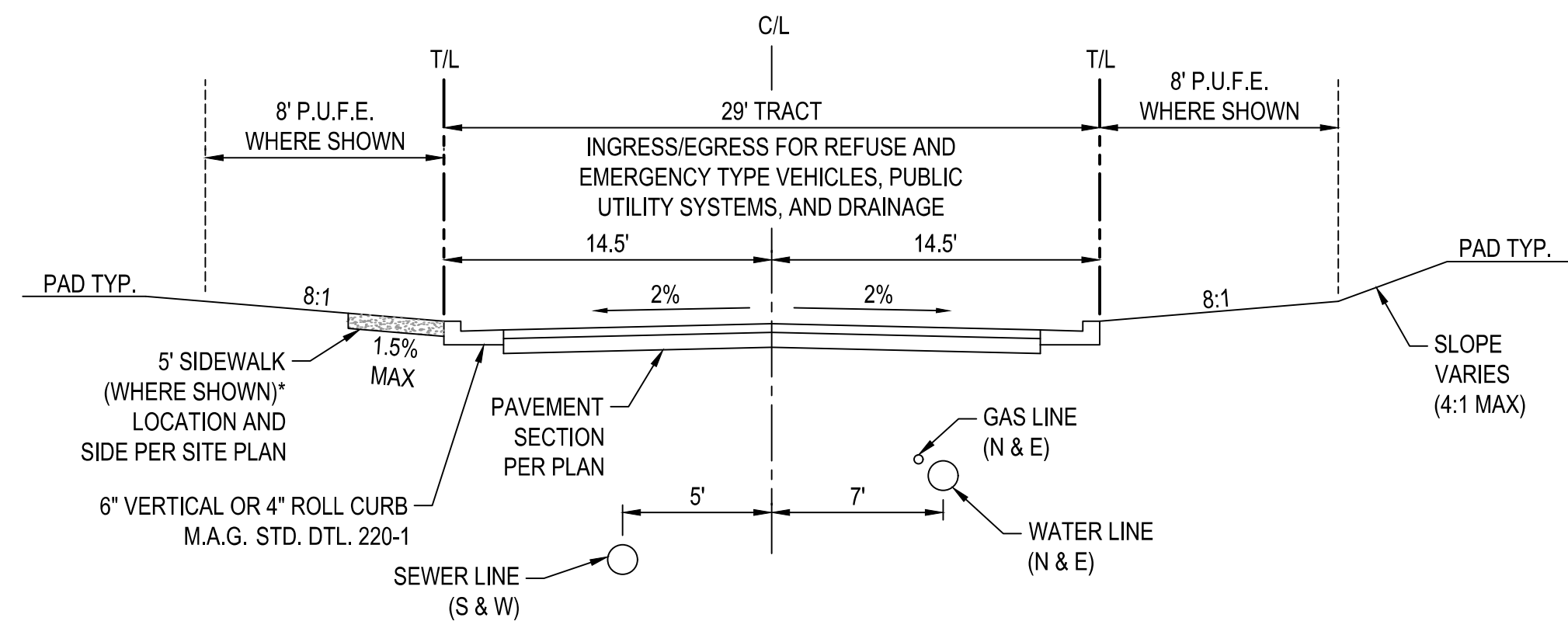
CENTERLINE CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C1	43°25'12"	149.82'	113.54'	S68°05'00"W	110.84'
C2	90°00'00"	41.00'	64.40'	N44°47'36"E	57.98'
C3	90°00'00"	41.00'	64.40'	N45°12'24"W	57.98'
C4	90°00'00"	41.00'	64.40'	S44°47'36"W	57.98'

ASCENSION
PRELIMINARY PLAT
3259 E. BROWN ROAD
COVER SHEET

REV	DATE	DESCRIPTION

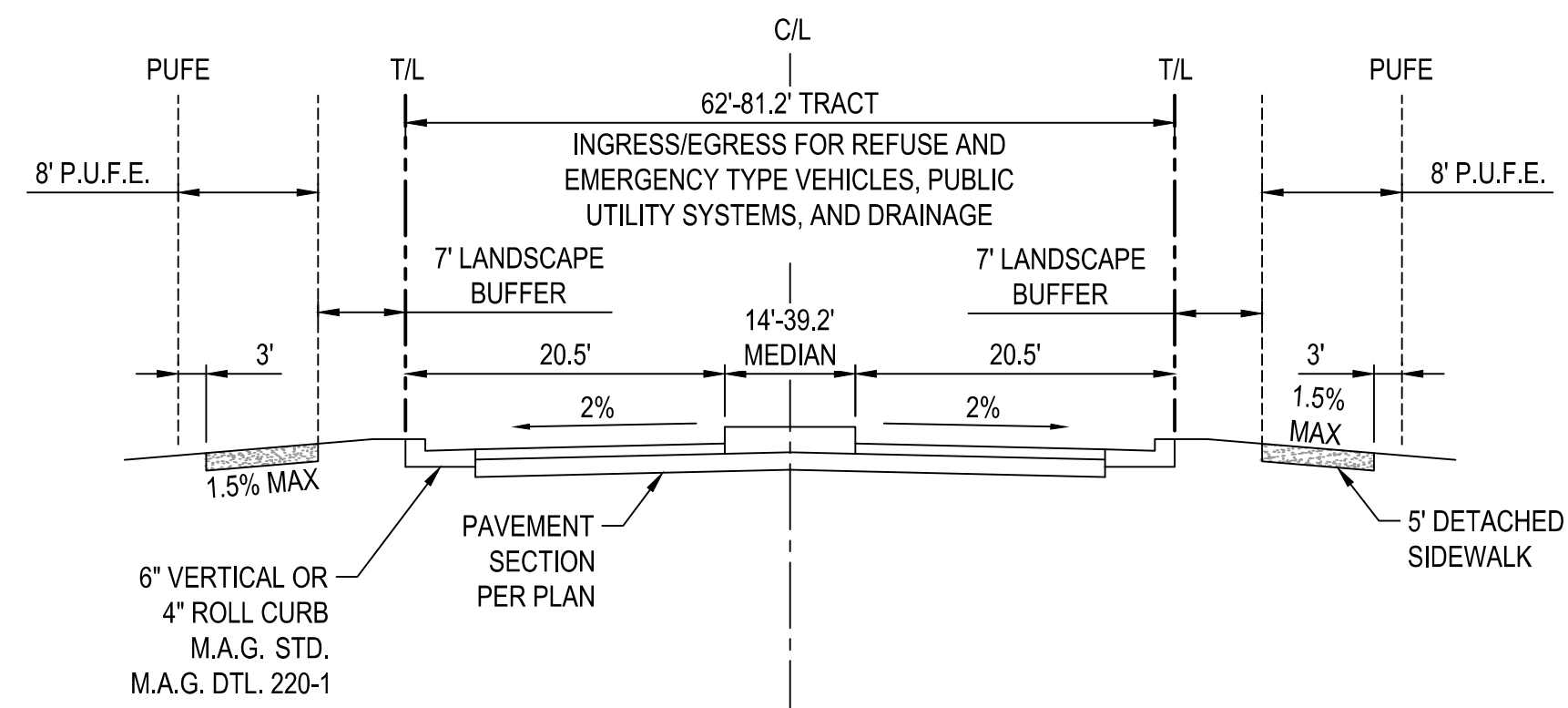
Steven C. McKee
Professional Engineer
Arizona, U.S.A.
Expires 03/31/26

SCALE (HORIZ.) N/A
SCALE (VERT.) N/A
DATE 03/05/2026
JOB NUMBER 255703
SHEET 1 OF 7

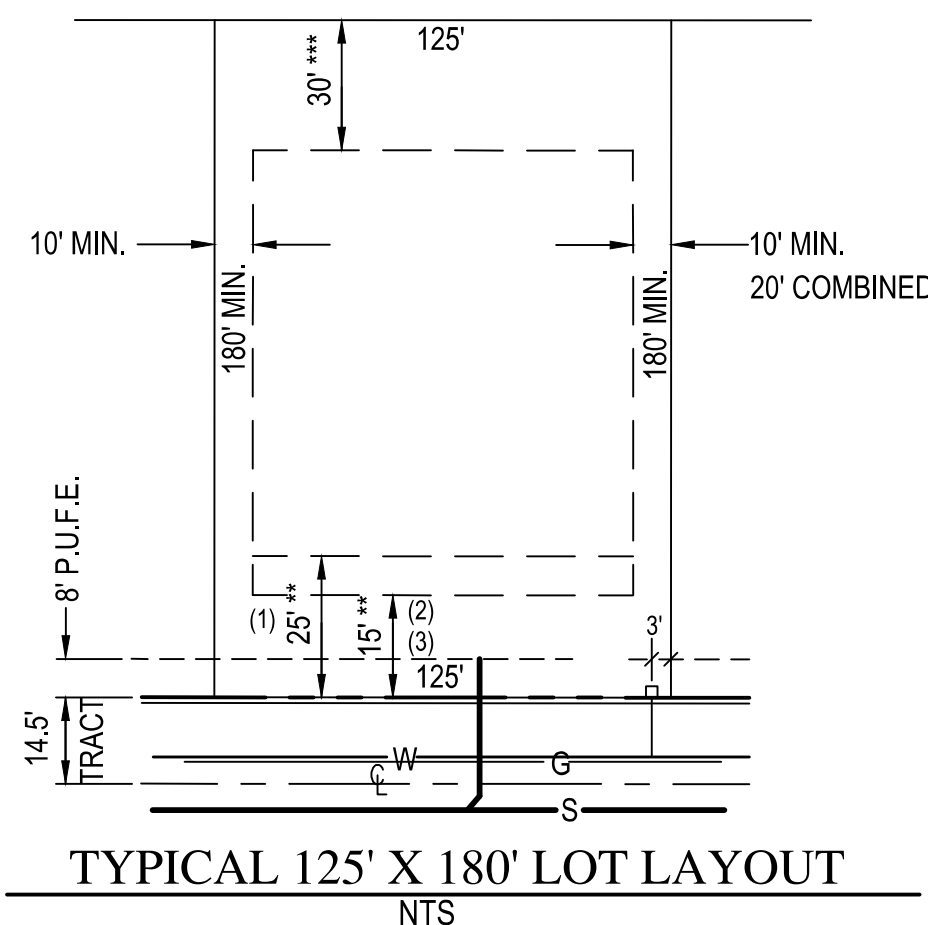


TYPICAL PRIVATE STREET - SECTION A
 INTERIOR STREETS
 CROWNED SECTION
 NTS

* 5-FT SIDEWALK WILL ONLY BE CONSTRUCTED ON ONE SIDE OF STREET WHERE SHOWN ON SITE PLAN.



TYPICAL ENTRY ROAD - SECTION B
 ENTRY ROAD
 (LOOKING NORTH)
 NTS



TYPICAL 125' X 180' LOT LAYOUT
 NTS

- *SIDEYARD SETBACKS:**
- 10' AND 10', 20' TOTAL SETBACK (MINIMUM AGGREGATE OF 2 SIDES)
- **FRONT YARD SETBACKS:**
- 25' MIN. SETBACK FROM FRONT PROPERTY LINE TO FACE OF FRONT FACING GARAGE DOOR.
 - 15' MIN. SETBACK FROM FRONT PROPERTY LINE TO SIDE OF SIDE TURN GARAGE
 - 15' MIN. SETBACK TO LIVABLE/FRONT OF PORCH.
- ***REARYARD SETBACKS:**
- 30' MIN. SETBACK TO LIVABLE SPACE/PORCH/COVERED REAR PATIO.

LOT AREA TABLE		
LOT NO.	LOT AREA SQUARE FEET	LOT AREA ACRES
LOT 1	22,929	0.5264
LOT 2	22,500	0.5165
LOT 3	22,500	0.5165
LOT 4	22,500	0.5165
LOT 5	22,500	0.5165
LOT 6	22,500	0.5165
LOT 7	22,575	0.5183
LOT 8	22,757	0.5224
LOT 9	22,500	0.5165
LOT 10	22,500	0.5165
LOT 11	22,500	0.5165
LOT 12	22,500	0.5165
LOT 13	22,500	0.5165
LOT 14	22,500	0.5165
LOT 15	22,580	0.5184
LOT 16	22,589	0.5186
LOT 17	22,500	0.5165
LOT 18	22,500	0.5165
LOT 19	22,500	0.5165
LOT 20	22,500	0.5165
LOT 21	22,500	0.5165
LOT 22	22,500	0.5165
LOT 23	22,500	0.5165
LOT 24	22,589	0.5186

LOT AREA TABLE		
LOT NO.	LOT AREA SQUARE FEET	LOT AREA ACRES
LOT 25	22,500	0.5165
LOT 26	22,500	0.5165
LOT 27	22,500	0.5165
LOT 28	22,500	0.5165
LOT 29	22,500	0.5165
LOT 30	22,500	0.5165
LOT 31	22,589	0.5186
LOT 32	22,580	0.5184
LOT 33	22,500	0.5165
LOT 34	22,500	0.5165
LOT 35	22,500	0.5165
LOT 36	22,500	0.5165
LOT 37	22,500	0.5165
LOT 38	22,500	0.5165
LOT 39	22,580	0.5184
LOT 40	25,200	0.5785
LOT 41	25,200	0.5785
LOT 42	25,200	0.5785
LOT 43	25,200	0.5785
LOT 44	25,200	0.5785
LOT 45	25,200	0.5785
LOT 46	25,200	0.5785
LOT 47	26,639	0.6115

ASCENSION RS-15 PAD DEVELOPMENT STANDARDS		
DEVELOPMENT STANDARD	RS-15 REQUIRED	PROPOSED RS-15 PAD
LOT AND DENSITY STANDARDS		
MIN. LOT AREA (SQ. FT.)	15,000	22,500
MIN. LOT WIDTH-INTERIOR LOT (FT.)	110	125
MIN. LOT DEPTH (FT.)	120	180
MIN. LOT DEPTH ABUTTING ARTERIAL STREET (FT.)	120	180
MAXIMUM DENSITY		
CONVENTIONAL SUBDIVISIONS (UNIT/GROSS ACRE)	BASED ON COMPLIANCE WITH MIN. LOT SIZE REQUIREMENTS, AND WITH OFF-SITE IMPROVEMENT AND RIGHT-OF-WAY REQUIREMENTS SPECIFIED IN MCC TITLE 9	
PLANNED AREA DEVELOPMENT (PAD) OVERLAY DISTRICT (UNITS/NET ACRE)	2.9	1.27
MAX. LOT COVERAGE (% OF LOT)	50%	50%
BUILDING FORM AND LOCATION		
MAX. HEIGHT (FT.)	30	30 (1 STORY)
GARAGE DEPTH (FT.)	22	21
MINIMUM YARDS		
FRONT YARD SETBACK - LIVABLE (FT.)	22	22
FRONT YARD SETBACK - GARAGE (FT.)	30	30
REAR YARD SETBACK (FT.)	30	30
REAR YARD SETBACK ABUTTING ARTERIAL STREET (FT.)	30	30
SIDE YARD SETBACK - MIN. EACH SIDE (FT.)	7	10
SIDE YARD SETBACK - MIN. AGGREGATE OF 2 SIDES (FT.)	20	20
STREET SIDE YARD SETBACK (FT.)	10	15
MAX. BUILDING COVERAGE (% OF LOT)	40%	50%

ASCENSION RS-15 PAD DEVELOPMENT STANDARDS CONT.		
DEVELOPMENT STANDARD	RS-15 REQUIRED	PROPOSED RS-15 PAD
ACCESSORY STRUCTURES		
STRUCTURE HEIGHT (FT.)	SHALL NOT EXCEED THE MAX. BUILDING HEIGHT OF THE UNDERLYING ZONING DISTRICT, OR THE HEIGHT OF THE PRIMARY BUILDING AS MEASURED AT THE PEAK OF THE ROOF, WHICHEVER IS LESS, UNLESS APPROVED BY A SPECIAL USE PERMIT	
MAX. STORY HEIGHT	N/A	ONE-STORY
STRUCTURES WITH A HEIGHT EQUAL TO OR LESS THAN 15 FT AT THE PEAK OF ROOF		
SIDE SETBACK (FT.)	5	5
REAR SETBACK (FT.)	5	5
STRUCTURES WITH A HEIGHT OVER 15 FT AT THE PEAK OF ROOF		
SIDE SETBACK (FT.)	10	10
REAR SETBACK (FT.)	30	15 ¹
ACCESSORY STRUCTURE SEPARATION FROM PRIMARY STRUCTURE (FT.)	6	6
WALL HEIGHT		
MAX. WALL/FENCE HEIGHT (FT.-IN.)	6	6'-6"
COLUMN AND ACCENT FEATURE HEIGHT (FT.)	N/A	7
ENTRY ARCHITECTURAL ELEMENT HEIGHT (FT.-IN.)	N/A	8'-6"
PERIMETER WALL ARTICULATION (ADJACENT TO STREET)	REQUIRED FOR PERIMETER WALLS EXCEEDING FORTY (40) LINEAR FEET ALONG ARTERIAL OR COLLECTOR ROADS	ARTICULATION PROVIDED AT MAX. FORTY (40) FOOT INTERVALS; ALTERNATIVE ARTICULATION METHODS PERMITTED AS DESCRIBED IN SECTION 7 OF THE PAD

NOTE:
 1. THE REDUCED REAR SETBACK FOR STRUCTURES EXCEEDING FIFTEEN (15) FEET IN HEIGHT SHALL NOT APPLY TO LOTS BACKING EAST BROWN ROAD. SUCH LOTS SHALL MAINTAIN A MINIMUM REAR SETBACK OF THIRTY (30) FEET IN ACCORDANCE WITH RS-15 STANDARDS.

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Arizona 811
 Call 811 or click Arizona811.com

ASCENSION
PRELIMINARY PLAT
 3259 E. BROWN ROAD
 DETAIL SHEET

REV	DATE	DESCRIPTION

Professional Engineer
 STEVEN C. MCKEE
 ARIZONA, U.S.A.
 Expires 03/31/26

SCALE (HORIZ.) N/A
 SCALE (VERT.) N/A
 DATE 03/05/2026
 JOB NUMBER 255703
 SHEET

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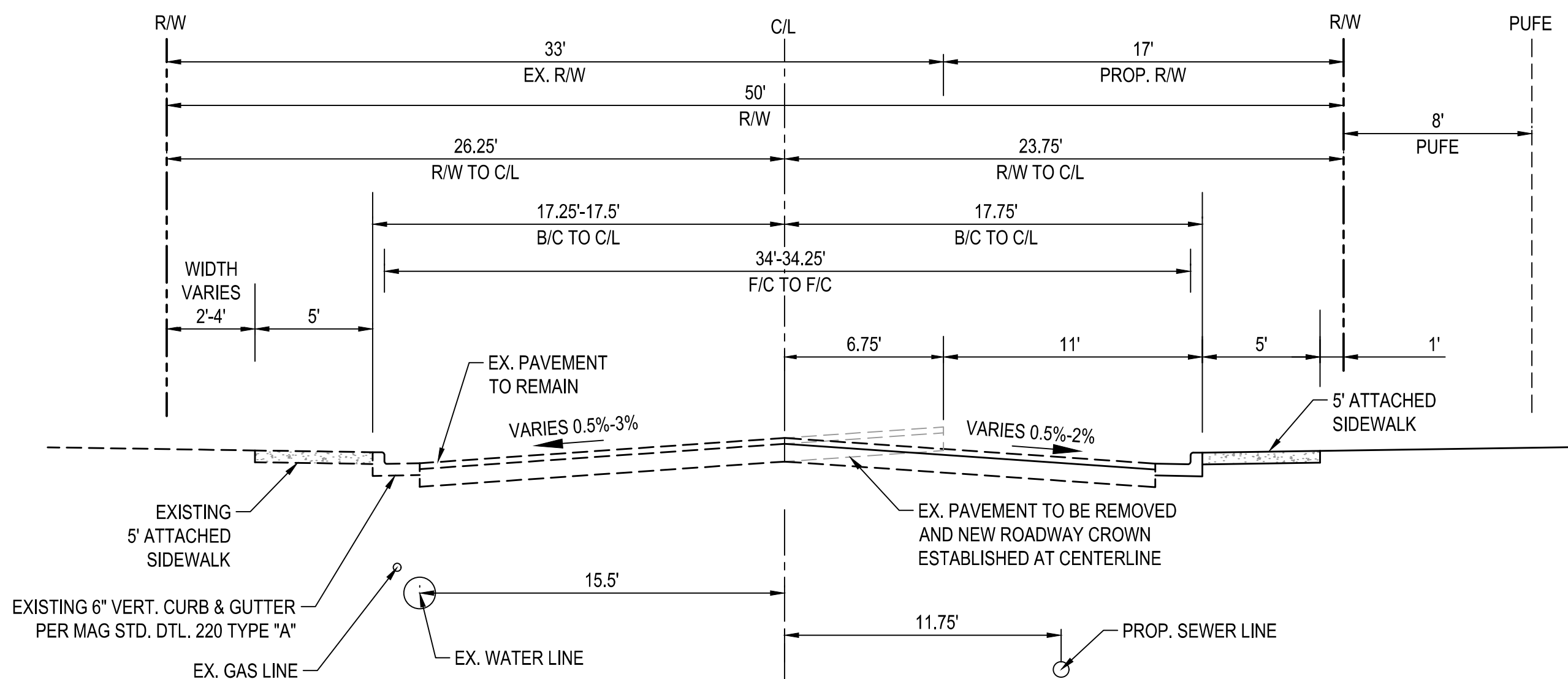
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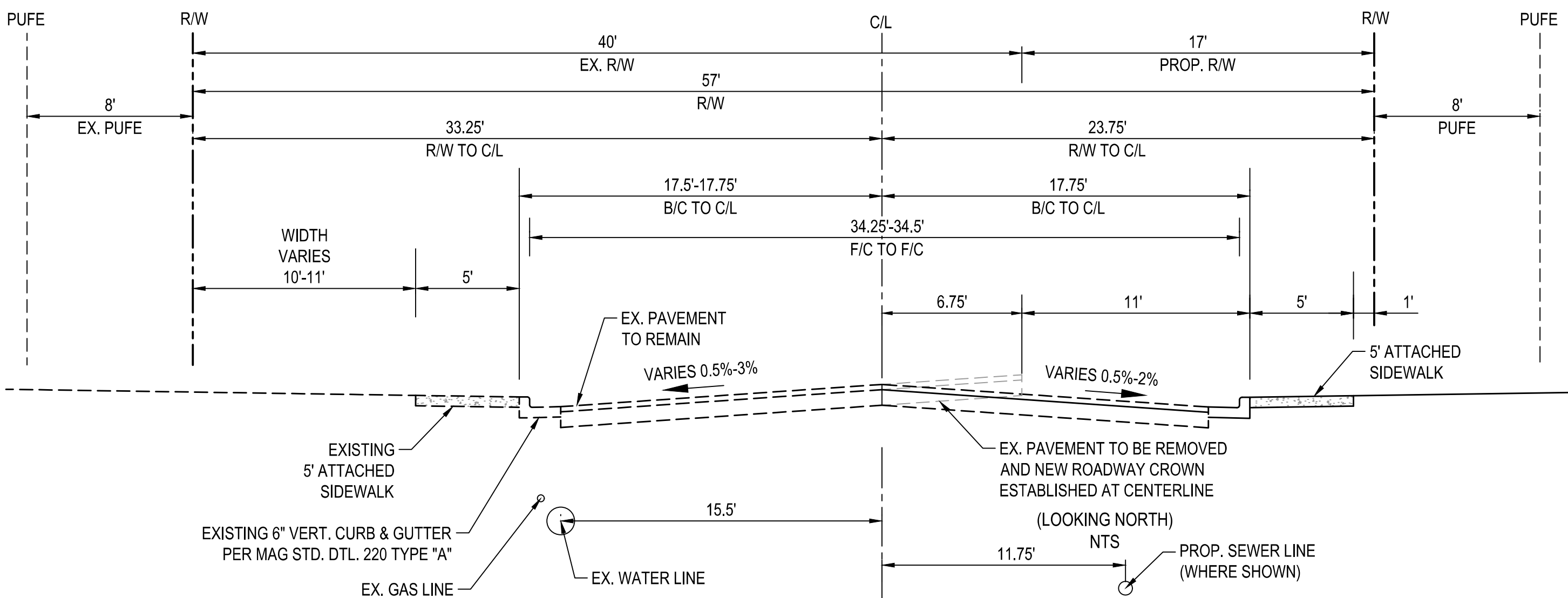
SCALE (HORIZ.)	N/A
SCALE (VERT.)	N/A
DATE	03/05/2026
JOB NUMBER	255703
SHEET	3 OF 7

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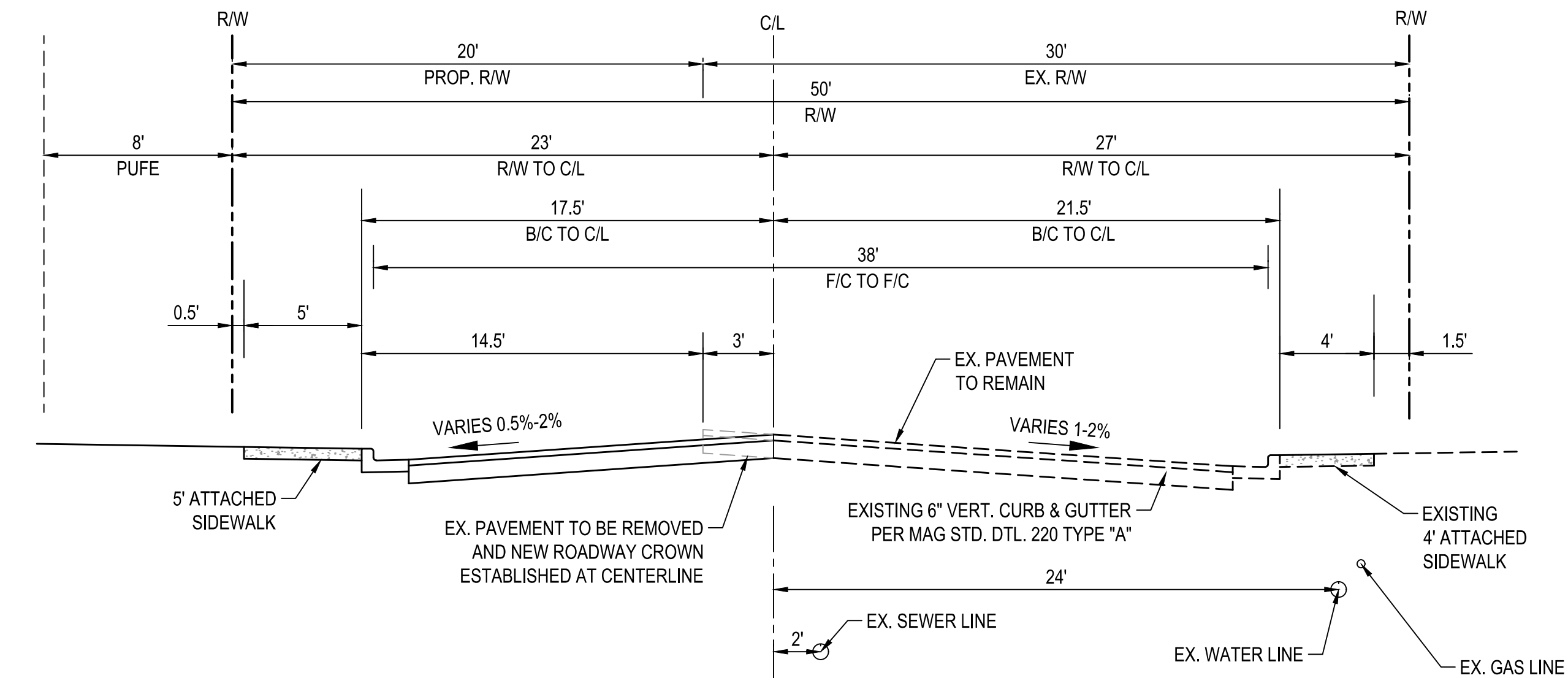
PROPOSED 32ND STREET SECTION
ADJACENT TO SRP SUBSTATION
LOCAL ROAD - SECTION C1

STA 10+52.38 TO STA 12+55.13
 (LOOKING NORTH)
 NTS
 * EX. WEST CURB LINE IS NOT PARALLEL WITH CENTERLINE.
 PROP. CURB ON EAST SIDE TO BE PARALLEL WITH CENTERLINE



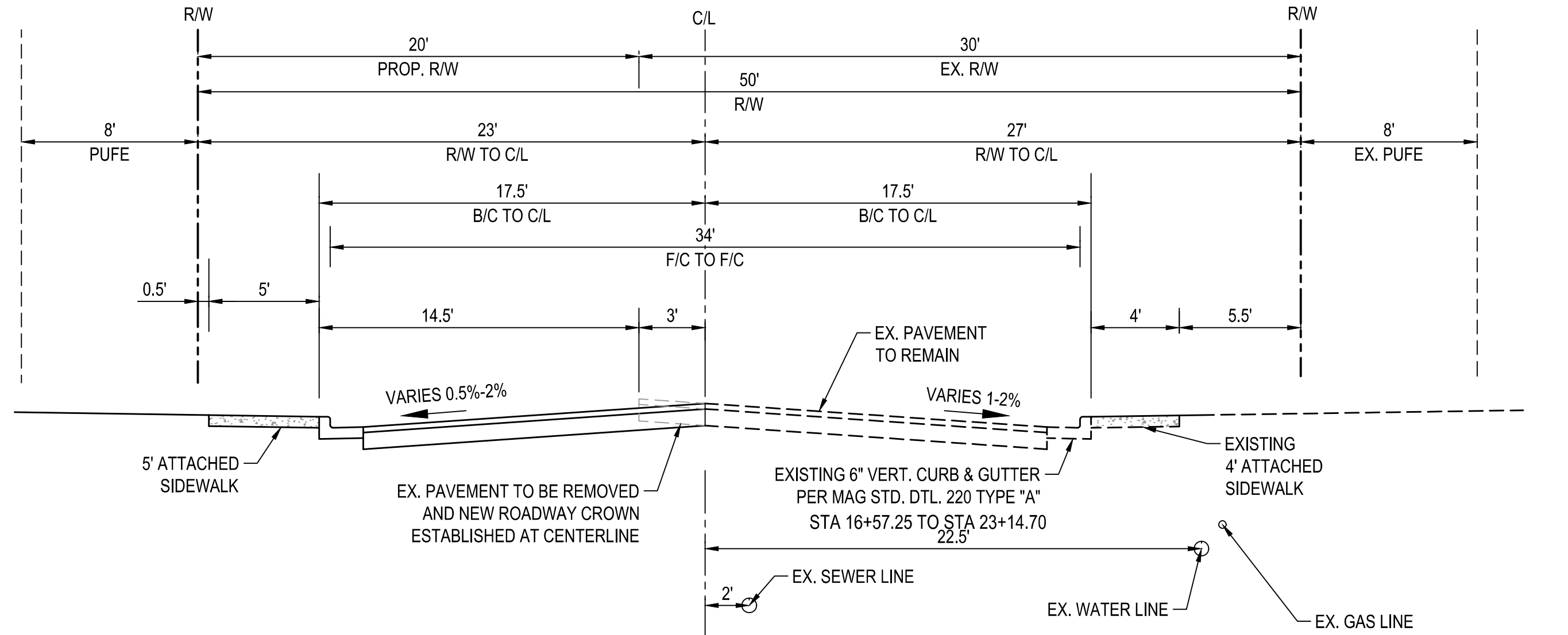
PROPOSED 32ND STREET SECTION
LOCAL ROAD - SECTION C2

STA 12+55.13 TO STA 22+17.97
 (LOOKING NORTH)
 NTS
 * EX. WEST CURB LINE IS NOT PARALLEL WITH CENTERLINE.
 PROP. CURB ON EAST SIDE TO BE PARALLEL WITH CENTERLINE



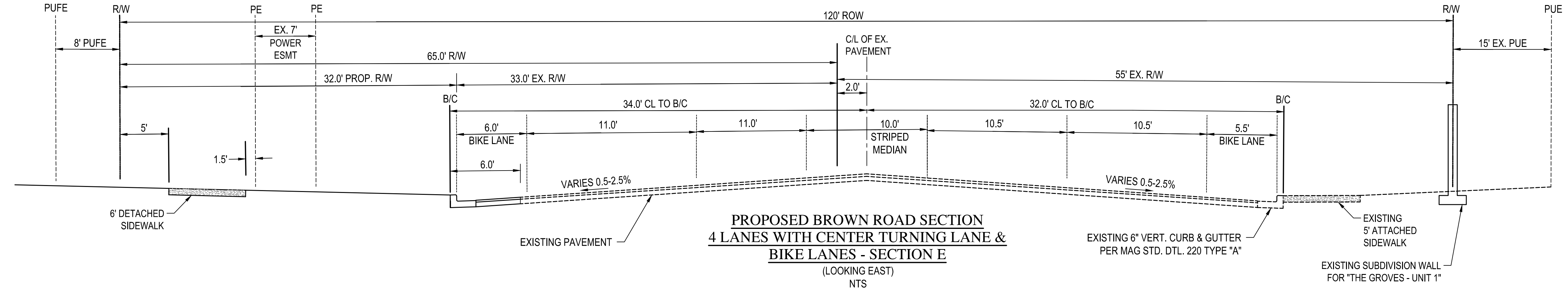
PROPOSED MIRAMAR SECTION
LOCAL ROAD - SECTION D1

STA 10+51.58 TO STA 16+09.68
 (LOOKING NORTH)
 NTS



PROPOSED MIRAMAR SECTION
LOCAL ROAD - SECTION D2

STA 16+57.25 TO STA 23+14.70
 (LOOKING NORTH)
 NTS



PROPOSED BROWN ROAD SECTION
4 LANES WITH CENTER TURNING LANE &
BIKE LANES - SECTION E

(LOOKING EAST)
 NTS

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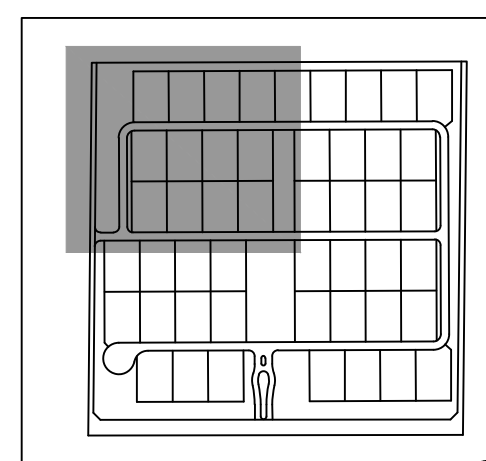
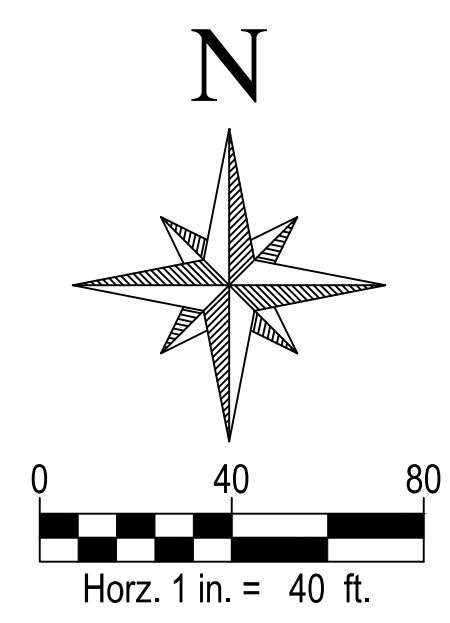
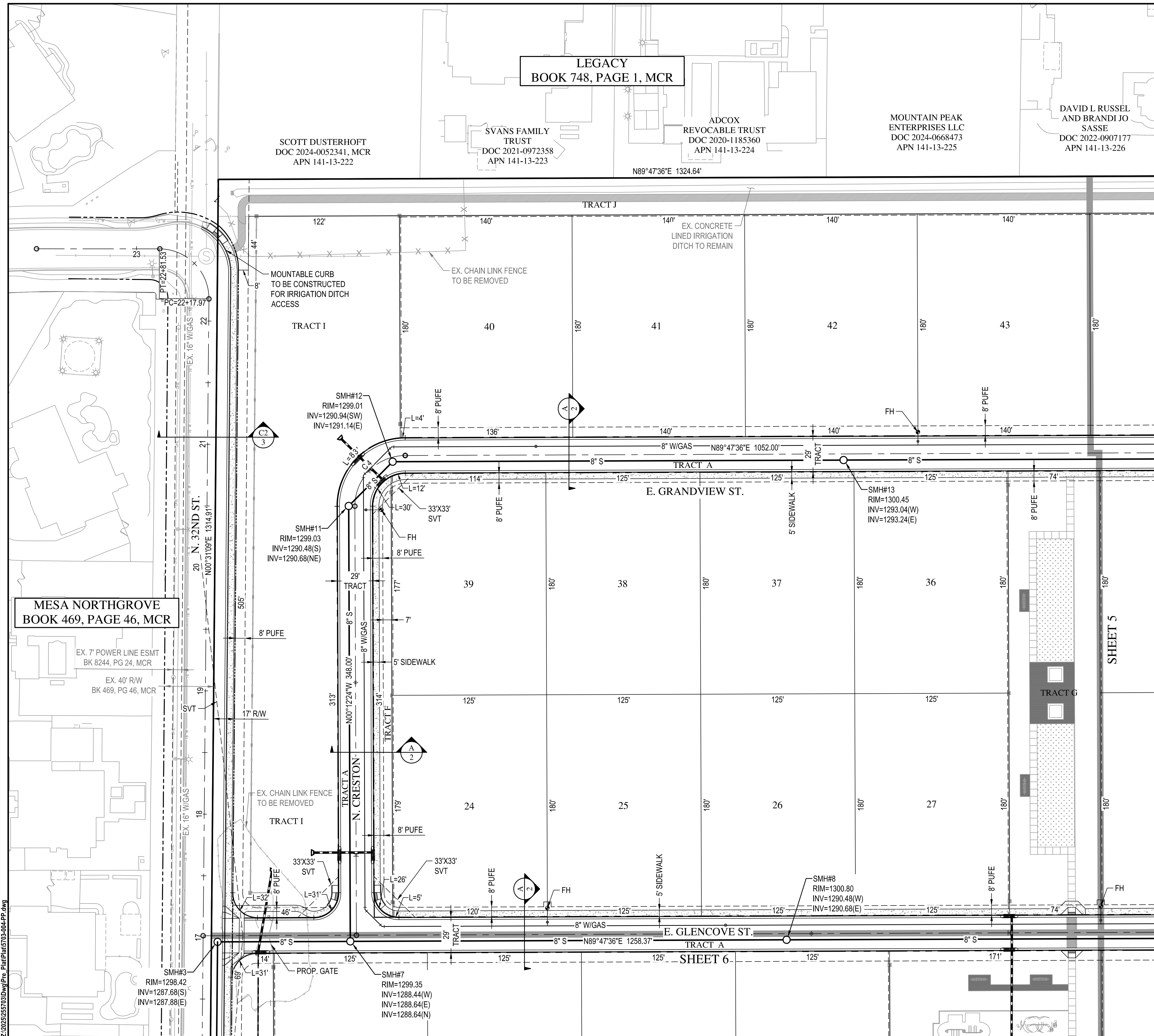


ASCENSION
PRELIMINARY PLAT
 3259 E. BROWN ROAD
 PRELIMINARY PLAT/SITE PLAN

REV	DESCRIPTION	DATE



Steven C. McKee
 PROFESSIONAL ENGINEER
 LICENSE NO. 12542
 STATE OF ARIZONA
 SCALE (HORIZ.) 1" = 40'
 SCALE (VERT.) N/A
 DATE 03/05/2026
 JOB NUMBER 255703
 SHEET 4 OF 7



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MESA NORTHGROVE
 BOOK 469, PAGE 46, MCR

LEGACY
 BOOK 748, PAGE 1, MCR

SCOTT DUSTERHOFT
 DOC 2024-0052341, MCR
 APN 141-13-222

SVANS FAMILY TRUST
 DOC 2021-0972358
 APN 141-13-223

ADCOX REVOCABLE TRUST
 DOC 2020-1185360
 APN 141-13-224

MOUNTAIN PEAK ENTERPRISES LLC
 DOC 2024-0668473
 APN 141-13-225

DAVID L RUSSEL AND BRANDI JO SASSE
 DOC 2022-0907177
 APN 141-13-226

EX. 7" POWER LINE ESMT
 BK 8244, PG 24, MCR
 EX. 40" R/W
 BK 469, PG 46, MCR

SMH#3
 RIM=1298.42
 INV=1287.68(S)
 INV=1287.88(E)

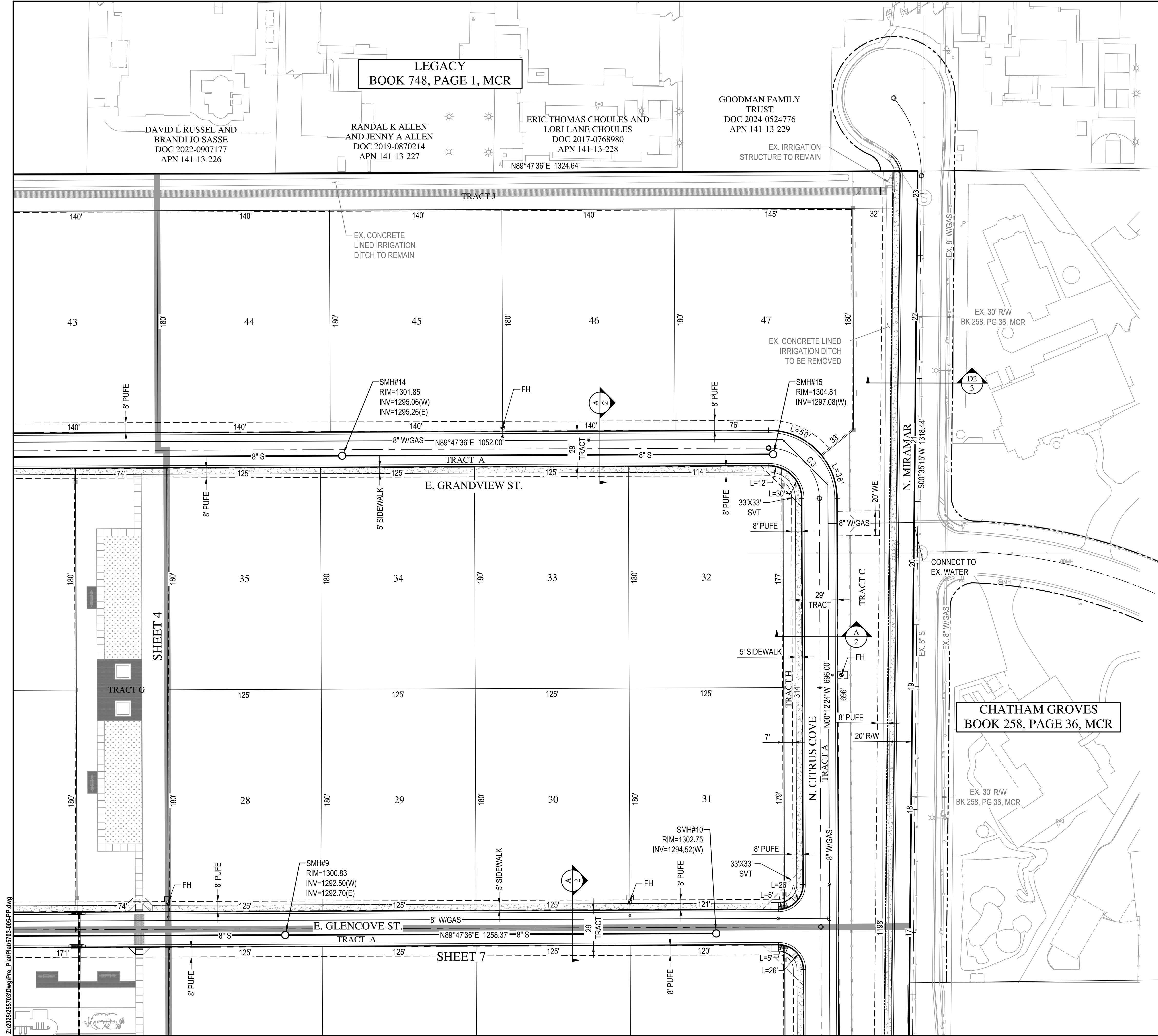
SMH#7
 RIM=1299.35
 INV=1288.44(W)
 INV=1288.64(E)
 INV=1288.64(N)

SMH#8
 RIM=1300.80
 INV=1290.48(W)
 INV=1290.68(E)

SMH#13
 RIM=1300.45
 INV=1293.04(W)
 INV=1293.24(E)

SMH#11
 RIM=1299.03
 INV=1290.48(S)
 INV=1290.68(NE)

SMH#12
 RIM=1299.01
 INV=1290.94(SW)
 INV=1291.14(E)



LEGACY
BOOK 748, PAGE 1, MCR

GOODMAN FAMILY
TRUST
DOC 2024-0524776
APN 141-13-229

DAVID L. RUSSEL AND
BRANDI JO SASSE
DOC 2022-0907177
APN 141-13-226

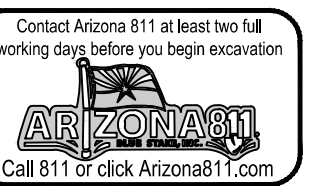
RANDAL K ALLEN
AND JENNY A ALLEN
DOC 2019-0870214
APN 141-13-227

ERIC THOMAS CHOULES AND
LORI LANE CHOULES
DOC 2017-0768980
APN 141-13-228

CHATHAM GROVES
BOOK 258, PAGE 36, MCR

**WOOD
PATEL**

Wood, Patel & Associates, Inc.
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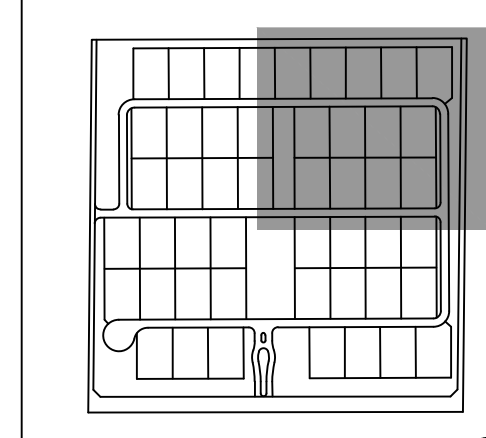
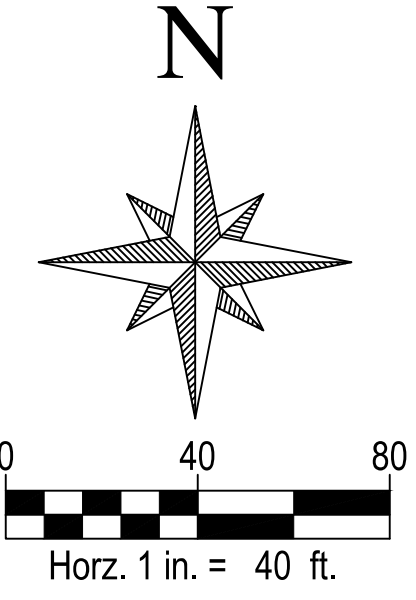
ASCENSION
PRELIMINARY PLAT
3259 E. BROWN ROAD
PRELIMINARY PLAT/SITE PLAN

REV	DESCRIPTION	DATE



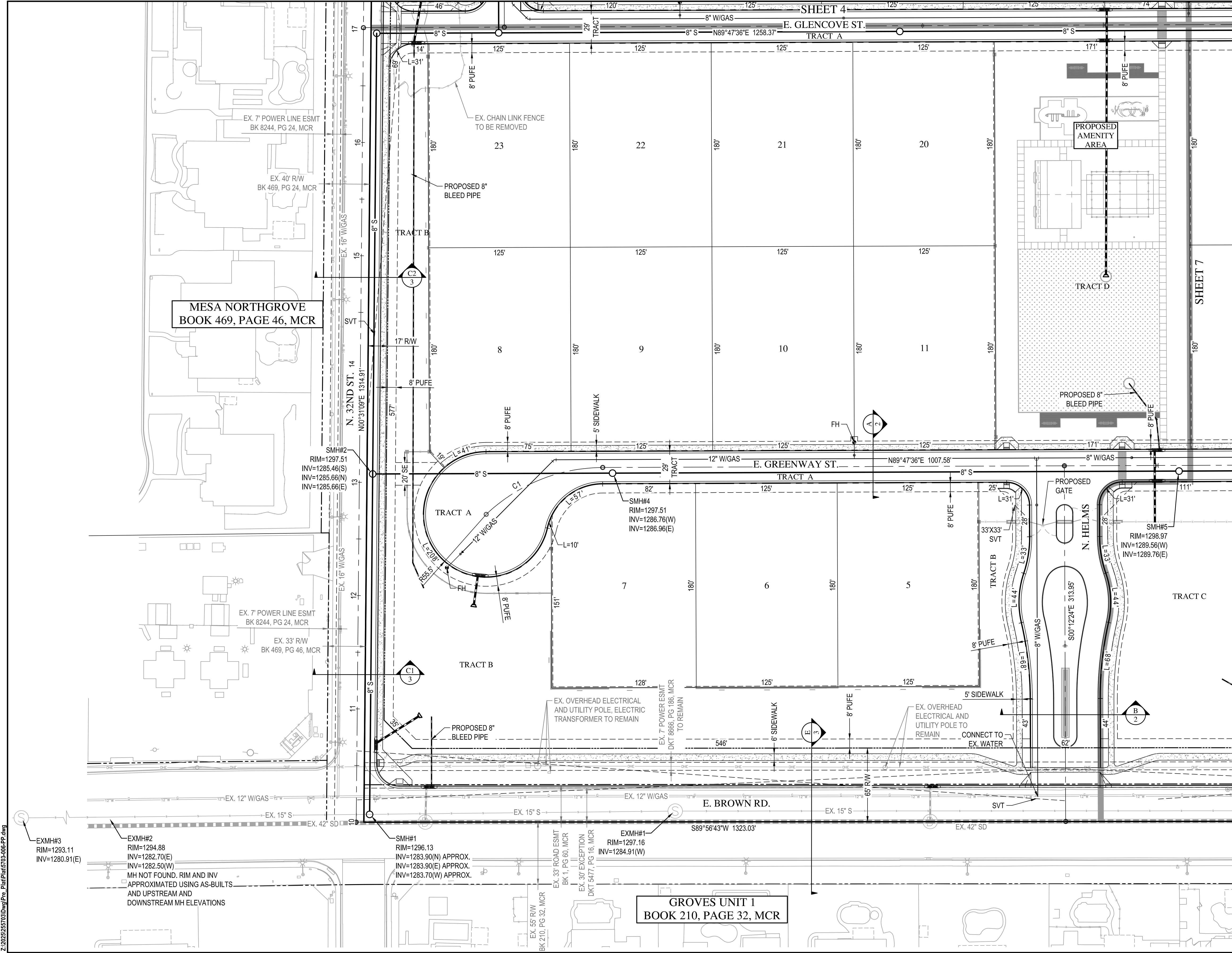
Steven C. McKee
Professional Engineer
No. 6316
State of Arizona
Expires 03/31/26

SCALE (HORIZ.) 1" = 40'
SCALE (VERT.) N/A
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SHEET 5 OF 7

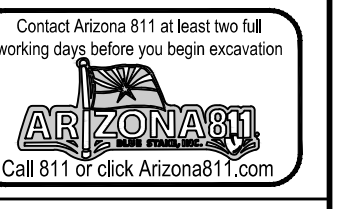


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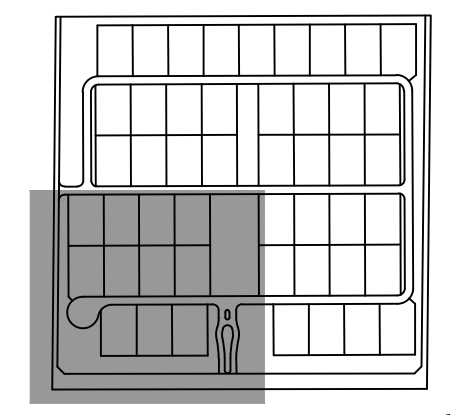
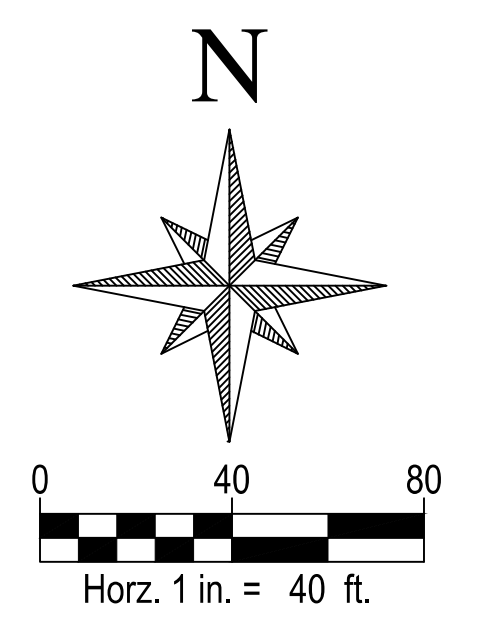


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PRELIMINARY PLAT/SITE PLAN

REV	DATE	DESCRIPTION

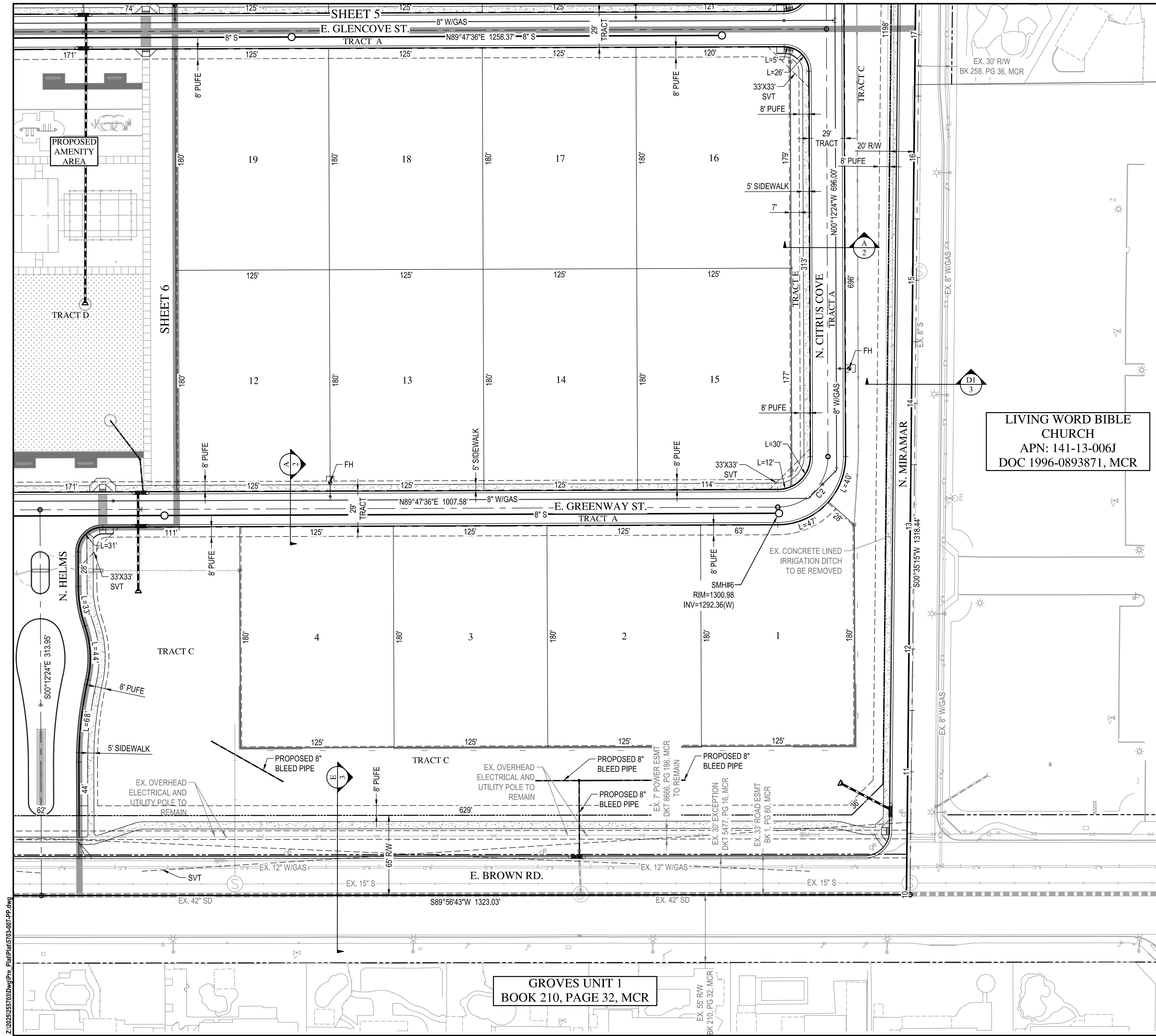


Steven C. McKee
Professional Engineer
No. 62502
State of Arizona

SCALE (HORIZ.) 1" = 40'
SCALE (VERT.) N/A
DATE 03/05/2026
JOB NUMBER 255703
SHEET 6 OF 7

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CHECKED BY: SM DESIGNED BY: SM DRAFTED BY: AL



LIVING WORD BIBLE CHURCH
 APN: 141-13-006J
 DOC 1996-0893871, MCR

GROVES UNIT 1
 BOOK 210, PAGE 32, MCR

WOOD PATEL

Wood, Patel & Associates, Inc.
 Civil Engineering
 Water Resources
 Land Survey
 Construction Management
 602.335.8500
 www.woodpatel.com

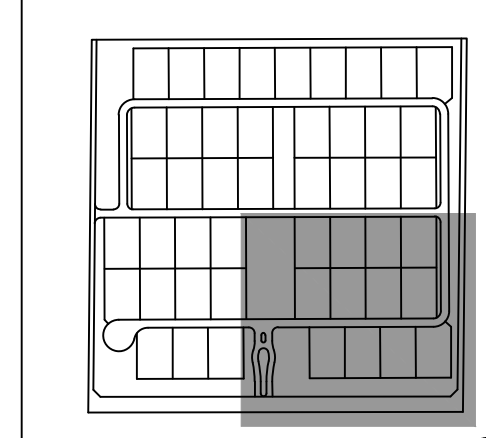
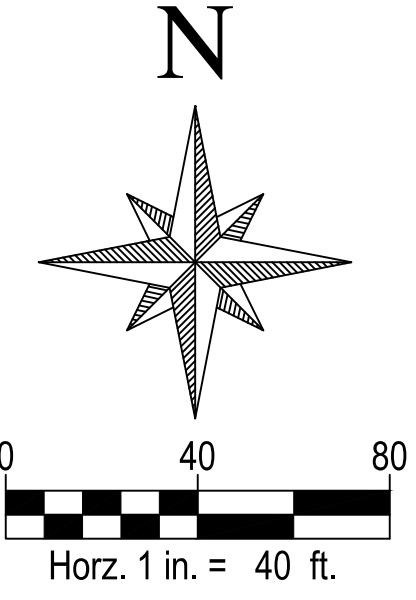


ASCENSION
PRELIMINARY PLAT
 3259 E. BROWN ROAD
 PRELIMINARY PLAT/SITE PLAN

REV	DESCRIPTION	DATE



Steven C. McKee
 SCALE (HORIZ.) 1" = 40'
 SCALE (VERT.) N/A
 DATE 03/05/2026
 JOB NUMBER 255703
 SHEET



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